

SUMMARY OF DEVELOPMENT CRITERIA (PER S-06-16)

Open Space (OS)

PERMITTED USES
ANY USES WHICH DO NOT INVOLVE ANY EXTENSIVE COVERAGE OF LAND WITH STRUCTURES, INCLUDING, BUT NOT LIMITED TO, PARKS, PLAYING FIELDS, PLAYGROUNDS, TENNIS, BASKETBALL, AND ALL PURPOSE COURTS, GOLF COURSES, POOLS, PATHWAYS, ANY OTHER OUTDOOR RECREATIONAL USES, AND ENVIRONMENTAL FACILITIES SUCH AS STORM WATER MANAGEMENT FACILITIES OR WATER QUALITY FACILITIES.

OTHER PERMITTED USES
a. PUBLIC OR PRIVATE CHILD CARE CENTER.
b. COMMUNITY CENTER FOR CUSTOMARY COMMUNITY ACTIVITIES INCLUDING BUT NOT LIMITED TO: 1. THE PRESENTATION AND PERFORMANCE OF OUTDOOR COMMUNITY ACTIVITIES, PUBLIC OR PRIVATE, SUCH AS MUSICAL AND THEATRICAL PERFORMANCES, OUTDOOR PICNICS, ART SHOWS, AND CARNIVALS.
2. RUMAGE SALES, WHITE ELEPHANT SALES, CAKE SALES, DANCES, AND SIMILAR ACTIVITIES.
3. OPERATION OF A COMMUNITY HALL, INCLUDING LEASING OF SAME FOR PUBLIC OR PRIVATE USE.

LOT AREA
NO MINIMUM MAXIMUM LOT SIZES APPLY WITHIN OPEN SPACE LAND USE AREAS EXCEPT THAT 35% OF THE GROSS ACRES OF ALL RECORDED LAND MUST BE OPEN SPACE AND 10% OF THE OPEN SPACE MUST BE AVAILABLE FOR ACTIVE RECREATION.

SETBACKS
BUILDINGS OR STRUCTURES WITHIN OPEN SPACE LAND USE AREAS SHALL BE A MINIMUM OF 10' FROM ANY RIGHT-OF-WAY OR PROPERTY LINE, EXCEPT THAT PARK-LIKE STRUCTURES SUCH AS GAZEBOS, PAVILIONS, BEACHES, FOUNTAINS AND SIMILAR STRUCTURES MAY BE LOCATED ANYWHERE WITHIN AN OPEN SPACE LOT; EXCEPT, HOWEVER, THAT BUILDINGS AND STRUCTURES MAY BE PERMITTED ANYWHERE WITHIN OPEN SPACE LAND USE AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

HEIGHT
HEIGHT SHALL BE NO HEIGHT LIMITATIONS FOR BUILDINGS OR STRUCTURES IN OPEN SPACE LAND USE AREAS, PROVIDED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

COVERAGE
NO COVERAGE REQUIREMENT IS IMPOSED UPON LOTS WITHIN OPEN SPACE LAND USE AREAS.

PARKING
HEALTH CLUB 100 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
SWIMMING POOL, COMMUNITY 10 SPACE PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME BY THE HEALTH DEPT.
TENNIS COURT 2.0 SPACES PER COURT

SUCH PARKING AREAS MAY BE IN PARKING LOTS, PARALLEL SPACES LOCATED ON PAVED AREAS IN AND/OR ADJACENT TO PUBLICLY MAINTAINED ROADWAYS, ADJACENT TO PUBLIC OR PRIVATE SERVICE DRIVES OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS OR SERVICE DRIVES.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTIONS 193.2.9 (PARKING STUDIES), AND 193.1E (SHARED PARKING).

ACCESSORY USES
ANY USE NORMALLY AND CUSTOMARILY INCIDENTAL TO ANY USE PERMITTED IN ANY LAND USE AREA SHALL BE PERMITTED.
SINGLE FAMILY DETACHED (SFD)
PERMITTED USES
ALL LOTS WITHIN SINGLE FAMILY DETACHED LAND USE AREAS SHALL BE USED ONLY FOR ONE SINGLE FAMILY DETACHED DWELLING, OR ONE ZERO LOT LANE DWELLING UNIT PER LOT. PRIVATE RECREATIONAL FACILITIES, SUCH AS SWIMMING POOLS, TENNIS COURTS AND BASKETBALL COURTS RESERVED FOR THE ON-SITE RESIDENTS AND THEIR GUESTS ARE ALSO PERMITTED. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

ANY OF THE PERMITTED USES MAY INCLUDE HOME OCCUPATIONS WITHIN THE PRINCIPAL STRUCTURE.
THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE RR DISTRICT, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE SINGLE FAMILY DETACHED LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN.

- ANTIQUE SHOPS, ART GALLERIES AND CRAFT SHOPS
BED AND BREAKFAST INNS
CONCERT OR REGAL ESTABLISHMENTS
HOME OCCUPATIONS (ALSO SEE SECTION 129.6.I FOR ACCESSORY USE PROVISIONS)
CHARITABLE AND PHILANTHROPIC INSTITUTIONS
NURSING HOMES, GROUP CARE FACILITIES, CHILDREN'S HOMES
ATHLETIC FACILITIES-ATHLETIC FIELDS, COMMERCIAL OR COMMUNITY SWIMMING POOLS, TENNIS CLUBS AND SIMILAR USES
COUNTRY CLUBS AND GOLF COURSES
PUBLIC UTILITY USES, LIMITED TO: (A) UTILITY SUBSTATION, (B) ABOVE GROUND PIPELINES, (C) PUMPING STATIONS, (D) TELEPHONE EXCHANGES, (E) OTHER UTILITY DEVICES SUCH AS TRANSFORMERS, SWITCH GEAR, TELEPHONE CABINETS, ETC.
ENTRANCE FEATURES FOR SUBDIVISIONS
ACCESSORY DWELLING UNITS (SUCH UNITS SHALL NOT COUNT TOWARDS THE MAXIMUM NUMBER OF DWELLING UNITS, SUCH UNITS SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE PRINCIPAL DWELLING UNIT; ALSO SEE SECTION 104).

FOR ALL LOTS AND PARCELS WHICH ARE TECHNICALLY IN THE SFD LAND USE, BUT LATER RECORDED AS ADDITIONAL OPEN SPACE (E.G. NCOS & HALLOWAY PARCELS) THE PROVISIONS OF THE OPEN SPACE CRITERIA SHALL BE USED IN LIEU OF THE SFD CRITERIA.

DENSITY
AVERAGE DENSITY SHALL NOT EXCEED 2.0 DWELLING UNITS PER GROSS ACRE BASED ON THE ENTIRE AREA OF THE SINGLE FAMILY DETACHED LAND USE.

SUMMARY OF DEVELOPMENT CRITERIA (CONTINUED)

Table with columns: LOT TYPE, MINIMUM LOT SIZE, MIN. LOT WIDTH AT FRONT BRL. Rows include Cottage, Manor, Villa, Estate with their respective sizes.

EXCEPT FOR LOTS IDENTIFIED ON AMENDED COP, WHICH SHALL NOT BE LESS THAN 100' AT FRONT BRL.
LOT TYPE SHALL BE DESIGNATED ON FINAL PLATS FOR ALL SINGLE FAMILY DETACHED AREAS. ESTATE LOTS SHALL BE LOCATED AS SHOWN ON THIS PLAN.

Table with columns: LOT TYPE, MIN. FRONT SETBACK, MIN. SIDE SETBACK, MIN. REAR SETBACK TO PRINCIPAL STRUCTURE, TO REAR GARAGE (ATTACHED OR DETACHED) OR TO ACCESSORY STRUCTURE. Rows include SINGLE FAMILY ATTACHED, LIVE-WORK, SEMI-DETACHED, TWO-FAMILY, APARTMENT.

A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (1) NO PART OF THE DWELLINGS SHALL ENCRUCH ONTO THE ADJOINING LOT; (11) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.

HABITABLE SPACE AND/OR OPEN/ENCLOSED DECKS MAY BE BUILT OVER ATTACHED GARAGES. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN.
OTHER DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.

FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROAD) SHALL BE A MINIMUM OF 30' APART.
STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

EXCEPTIONS TO SETBACK REQUIREMENTS
EXCEPT FOR THE FOLLOWING, SECTION 129.A1 APPLIES:
• PORCHES MAY ENCRUCH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAGES WITHIN 12' FOR ESTATES. PORCHES MAY ENCRUCH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAGES; TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRUCH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAGES TO WITHIN 12' FOR ESTATES.
• STOODS AND STEPS MAY ENCRUCH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAGES WITHIN 12' FOR ESTATES.
• GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES. AN ARCHWAY OR OVERFLOW PARKING MAY BE UP TO 4'.

ACCESS
PERMANENT ACCESS TO LOTS MAY BE PROVIDED BY MEANS OF ALLEYS, USING PERPETUAL RECIPROCAL EASEMENTS OR OTHER ACCEPTABLE LEGAL PROVISIONS.

BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT ON ALL LOTS SHALL BE 30' TO THE MIDPOINT OF THE ROOF. HEIGHT MEASURED FROM THE HIGHEST ADJOINING GROUND ELEVATION ADJACENT TO THE BUILDING, EXCEPT AS OTHERWISE APPROVED ON A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

COVERAGE
LOT COVERAGE FOR ESTATE LOTS SHALL NOT EXCEED 50 PERCENT, INCLUDING PRINCIPAL AND ACCESSORY STRUCTURES BUT NOT INCLUDING SIDEWALKS, PAVED PARKING AREAS, DRIVEWAYS, PORCHES, STOODS, STEPS, DECKS, PATIOS, IN-GROUND POOLS, LANDSCAPING AND SIMILAR STRUCTURES.

PARKING
NO LESS THAN TWO PARKING SPACES SHALL BE PROVIDED FOR EACH SINGLE FAMILY DETACHED DWELLING UNIT. NO LESS THAN ONE PARKING SPACE SHALL BE PROVIDED FOR EACH ACCESSORY DWELLING UNIT. SUCH SPACES MAY CONSIST OF GARAGE, DRIVEWAY AND/OR SIMILAR OFF-STREET PARKING SPACES. VISITOR PARKING AND OVERFLOW PARKING MAY BE ACCOMMODATED AS ON-STREET PARKING WITHIN THE PUBLIC RIGHT-OF-WAY.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTION 193.1E (SHARED PARKING).

OTHER RESIDENTIAL (OR)
PERMITTED USES
APARTMENT DWELLINGS (INCLUDING STACKED TOWNHOUSES AND OTHER ARCHITECTURAL LAYOUTS WITH BOTH HORIZONTAL AND VERTICAL PARTY WALLS), SINGLE-FAMILY ATTACHED DWELLINGS, LIVE-WORK UNITS, SEMI-DETACHED DWELLINGS AND TWO-FAMILY DWELLINGS SHALL BE PERMITTED WITHIN OTHER RESIDENTIAL LAND USE AREAS. MIDTOWN PARCEL A-1 AND THE OR AREA OF THE WESTSIDE DISTRICT MAY CONTAIN LIVE-WORK UNITS.

STACKED TOWNHOUSES HAVE THE APPEARANCE OF CONVENTIONAL TOWNHOUSES, BUT ARE ACTUALLY SEPARATED BOTH HORIZONTALLY AND VERTICALLY. THE UNITS MAY OR MAY NOT HAVE INTEGRAL AT-GRADE GARAGES.
LIVE-WORK UNITS ARE VERTICALLY INTEGRATED BUILDING TYPES, WHERE THE FIRST FLOOR (AND BASEMENT, IF PROVIDED) SHALL BE UTILIZED AS COMMERCIAL SPACE AND THE UPPER FLOOR(S) SHALL BE RESIDENTIAL USE ONLY.

UPPER FLOORS OF ALL OTHER RESIDENTIAL STRUCTURES SHALL BE RESIDENTIAL USE ONLY.
APARTMENT BUILDING TYPES MAY ALSO INCLUDE ACCESSORY USES, SUPPORT SERVICES, AND AMENITIES INCLUDING BUT NOT LIMITED TO EXERCISE FACILITY, ADMINISTRATIVE OFFICES, MAIL ROOM, MEETING ROOMS, ETC. WITH NO LIMITATIONS IN SIZE. COMMERCIAL/RETAIL SPACE ON THE FIRST FLOOR OF AN APARTMENT BUILDING MAY NOT EXCEED 1,000 SQUARE FEET OR 15% OF THE GROSS FIRST FLOOR AREA, WHICHEVER IS GREATER. THIS CRITERIA IS NOT MEANT TO PROHIBIT VERTICALLY INTEGRATED USES WHERE THE FIRST FLOOR IS COMMERCIAL/RETAIL AND THE UPPER FLOORS RESIDENTIAL.

OTHER PERMITTED USES INCLUDE PRIVATE RECREATIONAL FACILITIES SUCH AS TOT LOTS, SWIMMING POOLS, BASKETBALL COURTS AND TENNIS COURTS, RESERVED FOR THE USE OF A SPECIFIC PROJECT'S RESIDENTS AND THEIR GUESTS. SUCH FACILITIES MAY BE LOCATED WITHIN CONDOMINIUM DEVELOPMENTS AS WELL AS WITHIN COMMUNITIES WHERE ALL PROPERTIES ARE INCLUDED WITHIN RECORDED COVENANTS AND LIENS, WHICH GOVERN AND PROVIDE FINANCIAL SUPPORT FOR OPERATION OF THE FACILITIES.

ANY OF THE PERMITTED USES MAY INCLUDE HOME OCCUPATIONS WITHIN THE PRINCIPAL STRUCTURE.
ACCESSORY STRUCTURES AND USES ARE ALSO PERMITTED FOR ALL OTHER RESIDENTIAL LAND USE AREAS.
THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE RR DISTRICT, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE OTHER RESIDENTIAL LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN.

- ANTIQUE SHOPS, ART GALLERIES AND CRAFT SHOPS
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ENTRANCE FEATURES FOR SUBDIVISIONS
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FOR ALL LOTS AND PARCELS WHICH ARE TECHNICALLY IN THE OR LAND USE, BUT LATER RECORDED AS ADDITIONAL OPEN SPACE (E.G. NCOS & HALLOWAY PARCELS) THE PROVISIONS OF THE OPEN SPACE CRITERIA SHALL BE USED IN LIEU OF THE OR CRITERIA.

DENSITY
AVERAGE DENSITY SHALL NOT EXCEED 14.0 UNITS PER GROSS ACRE BASED ON THE ENTIRE AREA OF OTHER RESIDENTIAL LAND USE.

LOT SIZE
NO MINIMUM OR MAXIMUM LOT SIZE IS ESTABLISHED FOR THE OTHER RESIDENTIAL LAND USE AREAS.

SUMMARY OF DEVELOPMENT CRITERIA (CONTINUED)

Table with columns: LOT TYPE, MIN. FRONT SETBACK, MIN. SIDE SETBACK, MINIMUM REAR SETBACK TO FRONT STRUCTURE, TO REAR GARAGE (ATTACHED OR DETACHED) OR TO ACCESSORY STRUCTURE. Rows include SINGLE FAMILY ATTACHED, LIVE-WORK, SEMI-DETACHED, TWO-FAMILY, APARTMENT.

HABITABLE SPACE AND/OR OPEN/ENCLOSED DECKS MAY BE BUILT OVER ATTACHED GARAGES. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN. WHERE THE REAR LOT LINE IS CONTIGUOUS TO GROUND SPACE, THE REAR SETBACK FOR DECKS MAY BE REDUCED TO 3'.
OTHER DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.

FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROAD) SHALL BE A MINIMUM OF 30' APART.
BETWEEN APARTMENT BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK, 50' FRONT TO BACK, AND 15' FOR ALL OTHER CONDITIONS.

STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
IN THE HILLSIDE DISTRICT, THE FRONT AND SIDE SETBACKS FROM MAPLE LAWN BLVD. MAY BE REDUCED TO 5'. ON PARCEL A-1 IN MIDTOWN, THE FRONT SETBACK FOR APARTMENTS, ALONG MAPLE LAWN BLVD. MAY BE REDUCED TO 10'.

EXCEPTIONS TO SETBACK REQUIREMENTS
EXCEPT FOR THE FOLLOWING, SECTION 129.A1 APPLIES:
• PORCHES MAY ENCRUCH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR THE RIGHT-OF-WAY FOR ALL OTHER RESIDENTIAL LOT TYPES.
• STOODS AND STEPS MAY ENCRUCH INTO THE FRONT YARD TO WITHIN 1' FROM THE FRONT PROPERTY LINE FOR ALL OTHER RESIDENTIAL TYPES.
• GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE PROPERTY LINE, NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES. AN ARCHWAY OR OVERFLOW PARKING MAY BE UP TO 4'.

ACCESS
PERMANENT ACCESS TO LOTS MAY BE PROVIDED BY MEANS OF ALLEYS, USING PERPETUAL RECIPROCAL EASEMENTS OR OTHER ACCEPTABLE LEGAL PROVISIONS.

BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT IN THE OTHER RESIDENTIAL LAND USE AREAS SHALL BE 50' FOR ATTACHED, SEMI-DETACHED, OR TWO-FAMILY DWELLING UNITS, AND 60' FOR LIVE-WORK UNITS AND APARTMENTS IN EACH CASE TO THE MIDPOINT OF THE ROOF HEIGHT MEASURED FROM THE HIGHEST ADJOINING GROUND ELEVATION ADJACENT TO THE BUILDING, EXCEPT AS OTHERWISE APPROVED ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD.

COVERAGE
NO COVERAGE REQUIREMENTS ARE IMPOSED IN OTHER RESIDENTIAL LAND USE AREAS.

PARKING
NO LESS THAN TWO PARKING SPACES SHALL BE PROVIDED FOR EACH SINGLE FAMILY ATTACHED, LIVE-WORK, SEMI-DETACHED, AND TWO-FAMILY DWELLING UNIT. NO LESS THAN ONE AND ONE-HALF PARKING SPACES SHALL BE PROVIDED FOR EACH APARTMENT UNIT. SUCH SPACES MAY CONSIST OF GARAGE, DRIVEWAY AND/OR SIMILAR OFF-STREET PARKING SPACES. NO LESS THAN ONE PARKING SPACE SHALL BE PROVIDED FOR EACH ACCESSORY DWELLING UNIT. SUCH PARKING SHALL BE PROVIDED IN PROXIMITY TO SUCH DWELLING UNIT AND MAY BE INCLUDED AS PART OF A COMMON PARKING AREA PROVIDED FOR RESIDENTS, TENANTS, AND GUESTS. PRINCIPAL STRUCTURES SHALL BE NO CLOSER THAN 15' TO THE CURB OF COMMON PARKING AREAS WITH HEAD-IN OR ANGLED PARKING, AND NO CLOSER THAN 10' TO THE CURB FOR PARALLEL PARKING, UNLESS SUFFICIENT LANDSCAPING IS PROVIDED TO JUSTIFY A REDUCTION IN THE SETBACK. PER THE HOWARD COUNTY LANDSCAPE MANUAL, LIVE-WORK UNITS ARE EXEMPT FROM THIS SETBACK REQUIREMENT. VISITOR PARKING AND OVERFLOW PARKING MAY ALSO BE ACCOMMODATED AS ON STREET AND PARALLEL PARKING WITHIN THE PUBLIC RIGHT-OF-WAY.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTION 193.1E (SHARED PARKING).

HOUSING FOR ELDERLY AND/OR HANDICAPPED PERSONS
IN THE EVENT A FACILITY QUALIFIES UNDER FEDERAL STATE OR COUNTY PROGRAMS INTENDED TO PROMOTE HOUSING FOR THE ELDERLY OR HANDICAPPED, THE PARKING REQUIREMENTS MAY BE MODIFIED TO PROVIDE FOR FOUR PARKING SPACES FOR EVERY TEN DWELLING UNITS PARTICIPATING IN SUCH PROGRAM. IN THE EVENT THE UNITS ARE WITHDRAWN FROM SUCH HOUSING PROGRAM, THE OWNER OF THE FACILITY SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF PLANNING AND ZONING AND SHALL CONSTRUCT, PRIOR TO FURTHER OCCUPANCY OF THE WITHDRAWN UNITS, SUCH ADDITIONAL PARKING SPACES AS ARE NECESSARY TO PROVIDE ONE AND ONE-HALF PARKING SPACE FOR EACH DWELLING UNIT WITHDRAWN.

ANY OF THE PERMITTED USES MAY INCLUDE HOME OCCUPATIONS WITHIN THE PRINCIPAL STRUCTURE.
ACCESSORY STRUCTURES AND USES ARE ALSO PERMITTED FOR ALL OTHER RESIDENTIAL LAND USE AREAS.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE RR DISTRICT, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE OTHER RESIDENTIAL LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN.

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DENSITY
AVERAGE DENSITY SHALL NOT EXCEED 14.0 UNITS PER GROSS ACRE BASED ON THE ENTIRE AREA OF OTHER RESIDENTIAL LAND USE.

LOT SIZE
NO MINIMUM OR MAXIMUM LOT SIZE IS ESTABLISHED FOR THE OTHER RESIDENTIAL LAND USE AREAS.

OVERALL TRACKING CHART

Table with columns: PHASE NO., FILE REF. NO., GROSS ACREAGE, NON-BUILDABLE (SF, OR, EMP, OS, %), SFD, AC. (%), OR, AC. (%), EMP, AC. (%), OS, AC. (%), PUB. RD., PRIV. RD. ACREAGE, SFD UNITS, OR UNITS (APT./S.F.A.), SFD DENSITY, OR DENSITY, EMP BLDG. AREA, EMP. FAR. Rows include 1-7, TOTALS, and OVERALL DENSITY TABULATION.

PROPOSED ALLOWED LAND USE ACREAGES
OVERALL SFD/DENSITY: 2.6 UNITS/AC.
OVERALL OR/DENSITY: 14.0 UNITS/AC.
OVERALL EMPLOYMENT F.A.R.: 0.35
OVERALL SFD/OR DENSITY: 2.0 UNITS/AC.
2.3 UNITS/AC.
2.2 UNITS/AC.

OVERALL OPEN SPACE TRACKING CHART

Table with columns: PHASE NO., FILE REF. NO., GROSS ACREAGE, OS, AC. (%), ACTIVE OS, AC. (%). Rows include 1-7, TOTAL.

* The percent of active open space is based upon the total open space provided. 100% RECREATIONAL OPEN SPACE IS REQUIRED.
1) 152 ACRES = Community Center (05 125 - 5.01 Ac.), 05 126 (0.55 Ac.) and 05 230 (1.96 Ac.)
2) 0.24 ACRES = Pathways
3) 4.76 ACRES = OS Lot 4 (4.76 Ac.)

NON-BUILDABLE TRACKING CHART

Table with columns: PARCEL, TOTAL NON-BUILDABLE PARCEL AREA, FILE INDR WHICH PARCEL WAS CREATED, FILE INDR WHICH PARCEL WAS CONVERTED, AREA CONVERTED, CONVERTED TO, AREA REMAINING. Rows include A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, TOTAL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Chief, Bureau of Highways
Date: 5-19-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief, Division of Land Development
Chief, Development Engineering Division
Date: 5/19/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE, SUITE 250 - BURTONTVILLE OFFICE PARK
BURTONTVILLE, MARYLAND 20868
TEL: 301-421-4024 FAX: 301-989-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
G&R MAPLE LAWN, INC.
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: Mark Bennett
410-484-8400

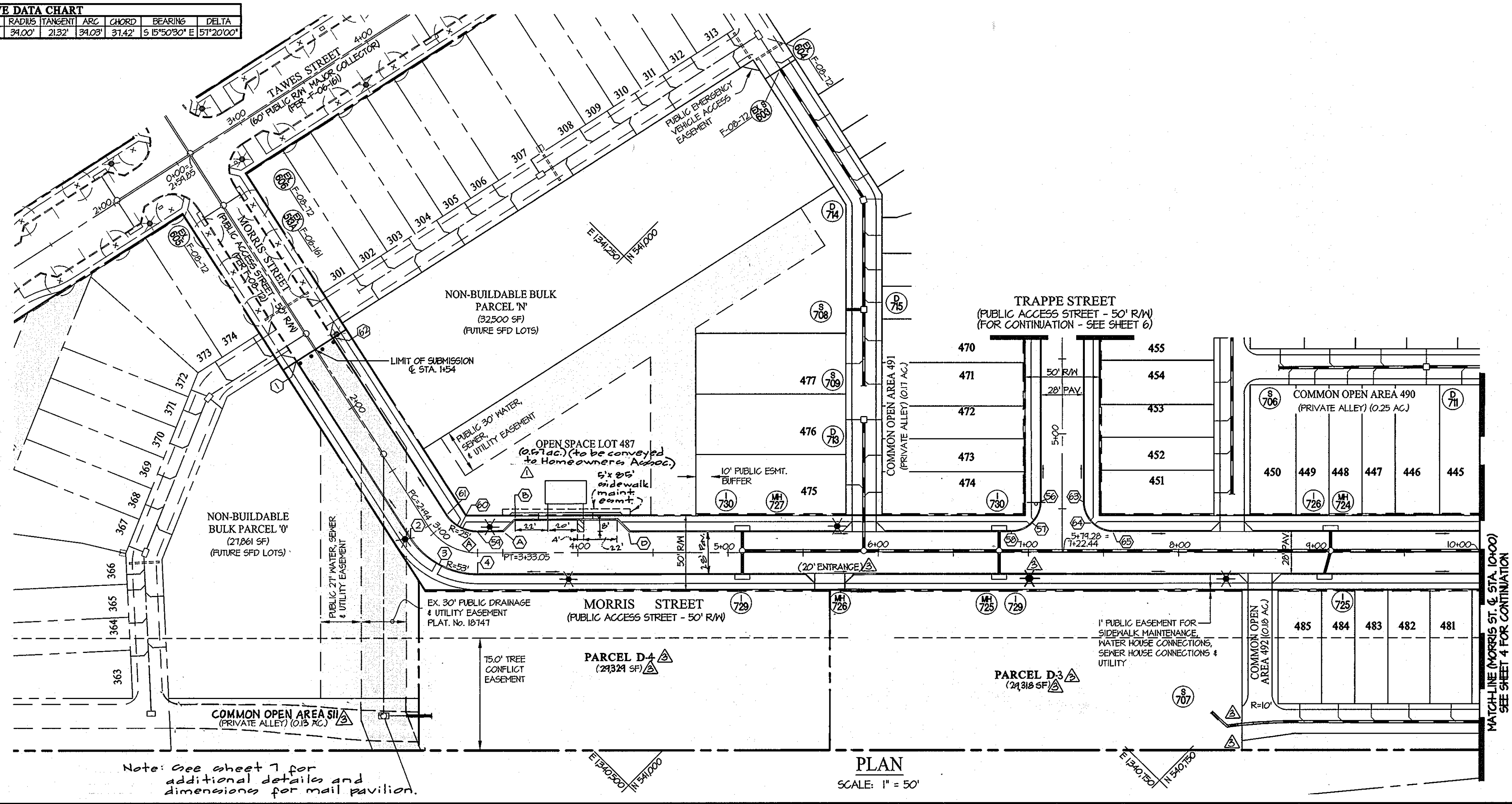
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
EXPIRATION DATE: MAY 26, 2012

GENERAL NOTES AND INFORMATION
SCALE: AS SHOWN
ZONING: MXD-3
G. L. W. FILE NO.: 07001
DATE: APRIL, 2010
TAX MAP - GRID: 41-22
SHEET: 2 OF 20
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

LOT 4000 (DRAWINGS 04001) (07001) (FNLMS) (07001) (CS01) (02) (04) PLOTTED BY: Tony Leggett

TOP OF CURB ELEVATION TABLE FOR MORRIS STREET				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
1	1+54	14.0' RL	*	
2	2+44.03	14.0' RL	421.90	
3	3+13.54	14.0' RL	422.22	
4	3+33.05	14.0' RL	422.43	
5	7+08.44	34.0' LT.	409.00	
6	7+02.58	18.86' LT.	409.70	
7	6+88.44	14.0' LT.	412.05	
8	3+33.05	14.0' LT.	422.43	
9	3+13.54	14.0' LT.	422.22	
10	2+44.03	14.0' LT.	421.90	
11	1+54	14.0' LT.	*	
12	7+36.44	34.0' LT.	409.00	
13	7+42.30	18.86' LT.	409.70	
14	7+56.44	14.0' LT.	408.82	
* MATCH EXISTING				
A	3+50.00	14.0' LT.	422.37	
B	3+50.00	14.0' LT.	422.50	
C	4+10.00	14.0' LT.	422.21	
D	4+24.00	14.0' LT.	421.92	
*Match Existing				

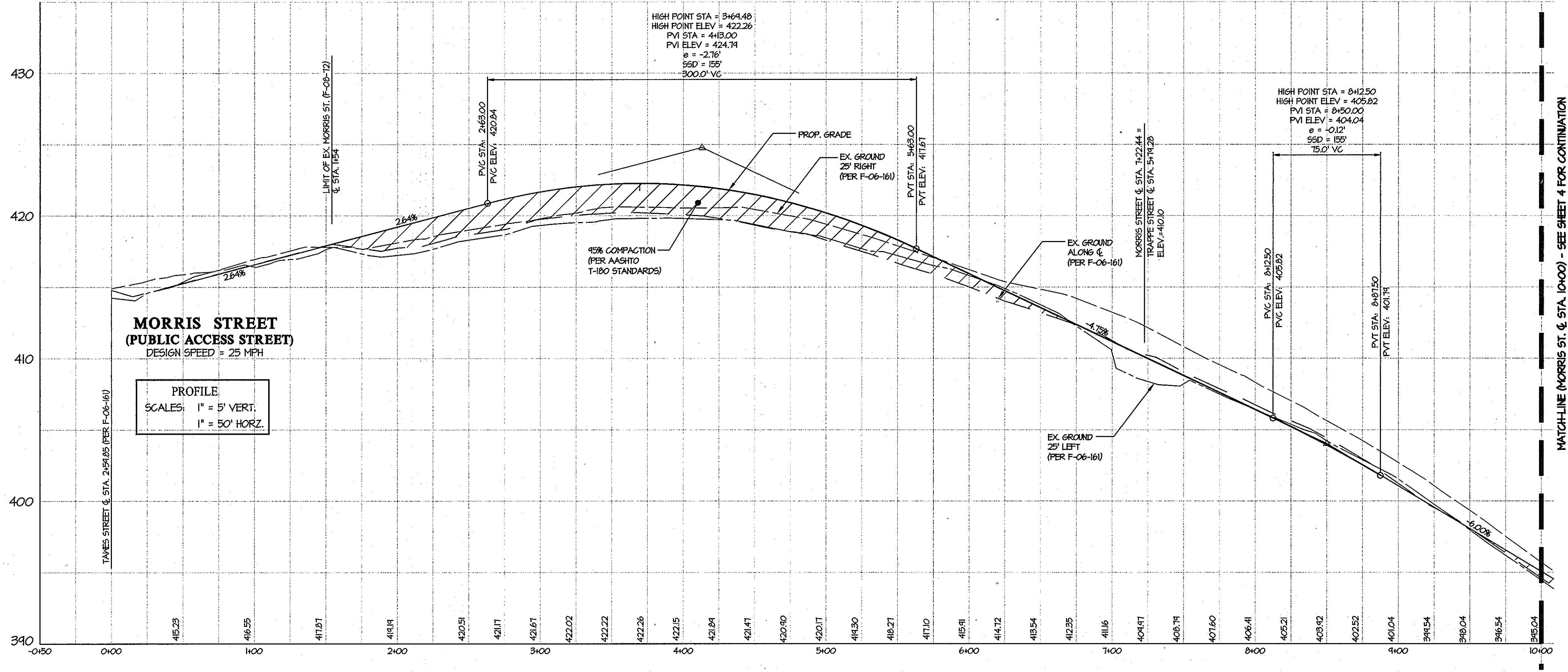
C.I. CURVE DATA CHART									
STREET NAME	CURVE	PC STA.	PT STA.	RADIUS	TANGENT	ARC	CHORD	BEARING	DELTA
MORRIS STREET	(A)	2+44.03	3+33.05	34.00'	21.92'	34.00'	31.42'	S 15° 30' 30" E	57° 20' 00"



- NOTES**
- ALL CURB RADII ARE 20' UNLESS OTHERWISE NOTED.
 - ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - FOR STORM DRAIN INFORMATION, SEE STORM DRAIN INFORMATION PLAN SHEET II.
 - FOR STREET TREE AND STREET LIGHT INFORMATION, SEE SHEET D.
 - A 1' PUBLIC EASEMENT FOR SIDEWALK MAINTENANCE, WATER HOUSE CONNECTIONS, SEWER HOUSE CONNECTIONS & UTILITY HAS BEEN ADDED TO LOTS WITH FRONT AND/OR SIDE LOT LINES ADJACENT TO A PUBLIC RIGHT-OF-WAY.
 - ALL SIDEWALKS WILL END WITH A HANDICAP RAMP MEETING HOWARD COUNTY STANDARD R-4.02 (SIDEWALK RAMP TYPE B).

LEGEND

-----	EXISTING GRADE
-----	EXISTING GRADE LEFT
-----	EXISTING GRADE RIGHT
-----	PROPOSED GRADE



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter R. Smith 5-19-10
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
K. J. S. [Signature] 5/27/10
 Chief, Division of Land Development

[Signature] 5/27/10
 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20868
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
8/14/11	Update Parcel ID's Per Plat F 11-079	JK	
9/29/10	added indented parking for mail pavilion & top of curb elev.	klp	

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12275
 EXPIRATION DATE: MAY 28, 2012

ROAD CONSTRUCTION PLAN - MORRIS STREET (STA. 1+54-10+00)

MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	3 OF 20

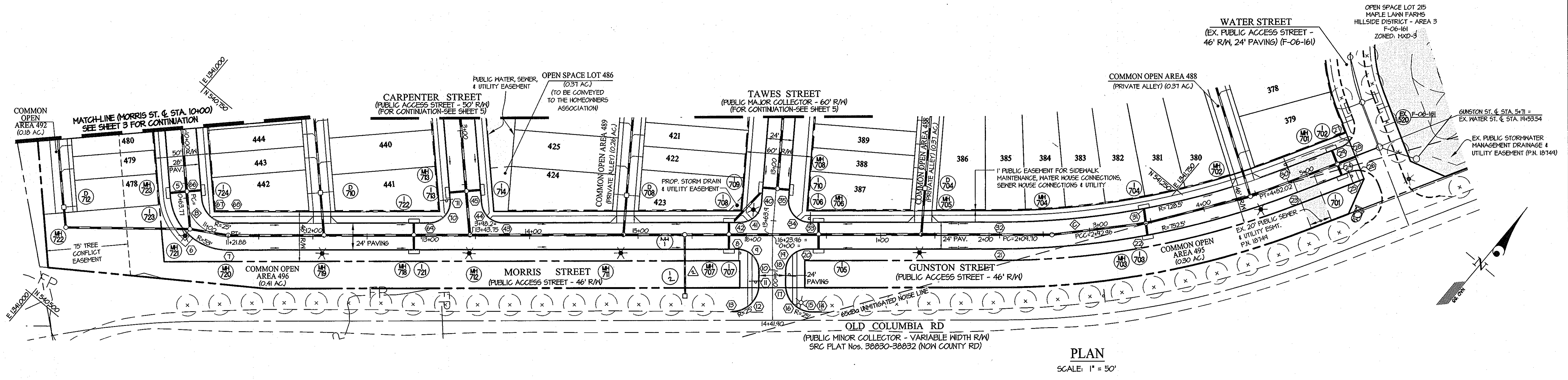
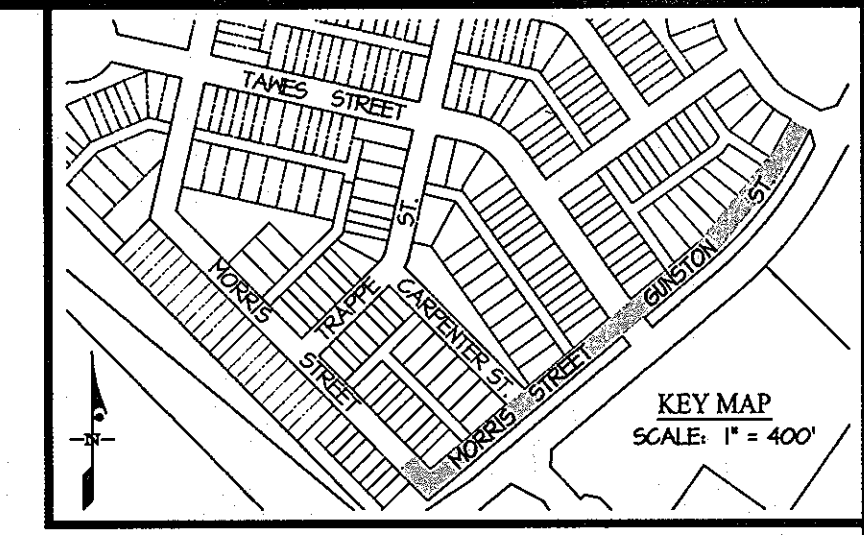
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TOP OF CURB ELEVATION TABLE FOR MORRIS STREET				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
5	10+61.76	14.0' RL	314.47	
6	10+11.71	12.66' RL	310.26	
7	11+21.75	12.0' RL	304.02	
8	15+41.96	12.0' RL	310.50	
9	16+06.10	17.86' RL	304.82	
10	16+11.96	32.0' RL	*	
11	16+11.96	45.1' RL	*	
12	16+04.47	62.94' RL	*	
13	15+86.51	70.1' RL	*	
14	16+14.30	30.30' LT.	311.23	
15	16+00	17.3' LT.	310.04	
16	15+44.45	12.0' LT.	310.44	
17	13+75.21	12.0' LT.	305.34	
18	13+61.71	17.3' LT.	314.64	
19	13+53.34	30.34' LT.	300.23	
20	10+66.84	13.42' LT.	314.52	
21	10+45	12.6' LT.	310.01	
22	11+22.04	12.0' LT.	308.41	
23	13+07.05	12.0' LT.	301.54	
24	13+21.75	18.44' LT.	314.86	
25	13+26.40	33.61' LT.	300.45	

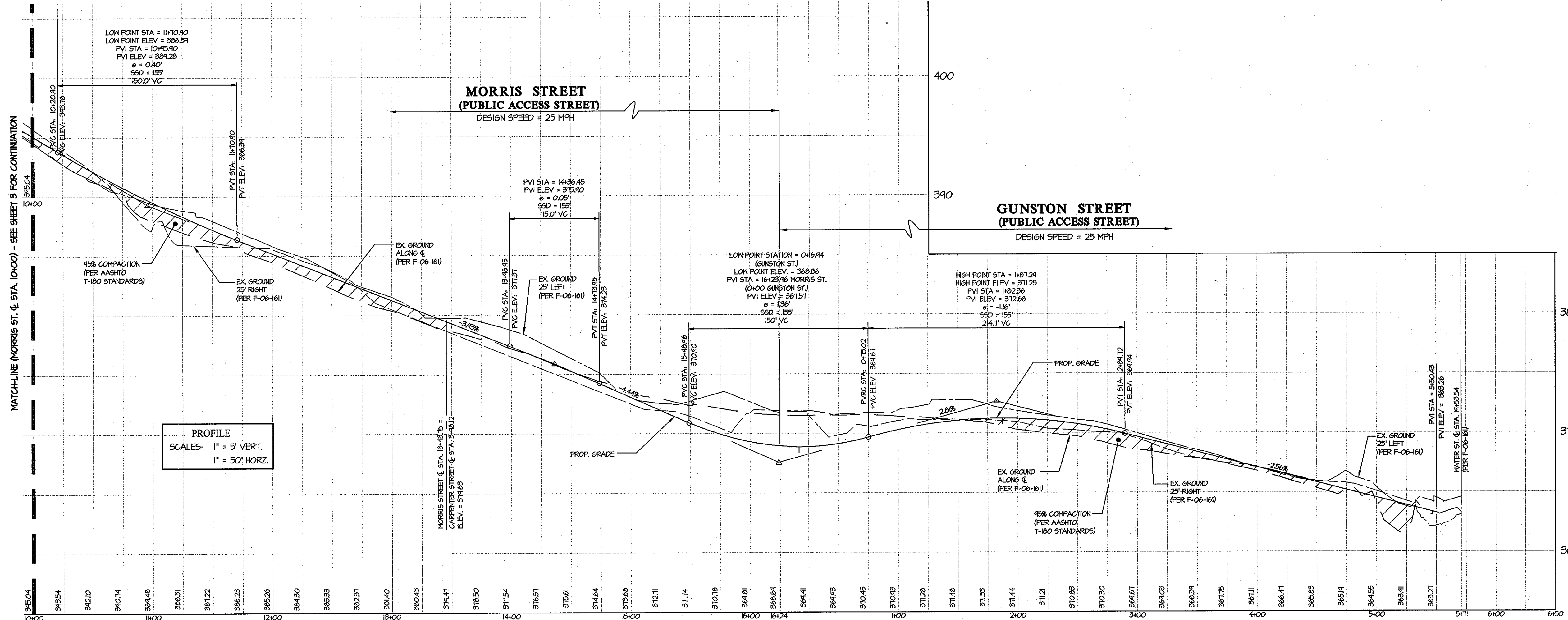
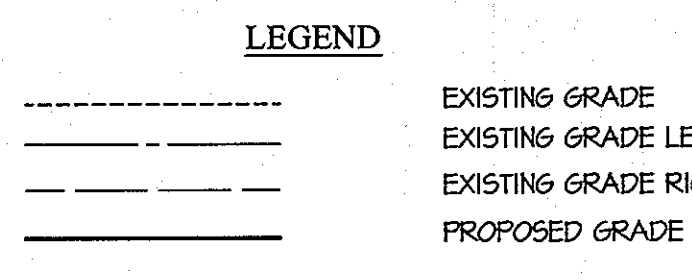
TOP OF CURB ELEVATION TABLE FOR GUNSTON STREET				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
14	0+45.40	10.54' RL	*	
15	0+31.35	70.7' RL	310.13	
16	0+14.45	63.5' RL	304.61	
17	0+12.00	45.1' RL	304.60	
18	0+12.00	32.0' RL	304.60	
19	0+17.86	17.86' RL	304.72	
20	0+32.00	12.0' RL	310.01	
21	2+04.70	12.0' RL	311.82	
22	3+45.86	12.0' RL	308.3	
23	4+82.02	12.0' RL	305.46	
24	5+34.00	12.0' RL	304.01	
25	5+43.62	12.54' RL	303.84	
26	5+48.00	14.14' RL	*	
27	5+48.00	14.14' LT.	*	
28	5+43.62	12.54' LT.	303.84	
29	5+34.00	12.0' LT.	304.01	
30	4+82.02	12.0' LT.	305.41	
31	3+45.86	12.0' LT.	308.96	
32	2+04.70	12.0' LT.	311.83	
33	0+34.70	12.0' LT.	305.01	
34	0+20.00	18.44' LT.	304.16	
35	0+14.71	33.62' LT.	311.51	

CL. CURVE DATA CHART						
STREET NAME	CURVE	PC STA.	PT STA.	RADIUS	TANGENT	ARC
MORRIS STREET	⊖	10+63.71	11+21.80	34.00'	35.44'	58.11'
					52.88'	5 81°11'39" E
						85°22'02"

CL. CURVE DATA CHART						
STREET NAME	CURVE	PC STA.	PT STA.	RADIUS	TANGENT	ARC
GUNSTON STREET	⊖	2+04.10	4+82.02	140.51'	173.12'	272.32'
						231.02'
						N 38°01'45" E
						21°04'13"



- NOTES:
- ALL CURB RADII ARE 20' UNLESS OTHERWISE NOTED.
 - ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - FOR STORM DRAIN INFORMATION, SEE STORM DRAIN INFORMATION PLAN, SHEET 11.
 - FOR STREET TREE AND STREET LIGHT INFORMATION, SEE SHEET 8.
 - A 1' PUBLIC EASEMENT FOR SIDEWALK MAINTENANCE, WATER HOUSE CONNECTIONS, SEWER HOUSE CONNECTIONS & UTILITY HAS BEEN ADDED TO LOTS WITH FRONT AND/OR SIDE LOT LINES ADJACENT TO A PUBLIC RIGHT-OF-WAY.
 - ALL SIDEWALKS WILL END WITH A HANDICAP RAMP MEETING HOWARD COUNTY STANDARD R-1.02 (SIDEWALK RAMP TYPE 1B).



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William R. Galloway 5/15/10
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Kurt Schubert 5/27/10
 Chief, Division of Land Development

John Deane 5/27/10
 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-983-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
2/1/2011	Add storm drain run 1/2 to 1/4 to plan view	BEV	

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: *Mark Bennett*
 410-484-8400

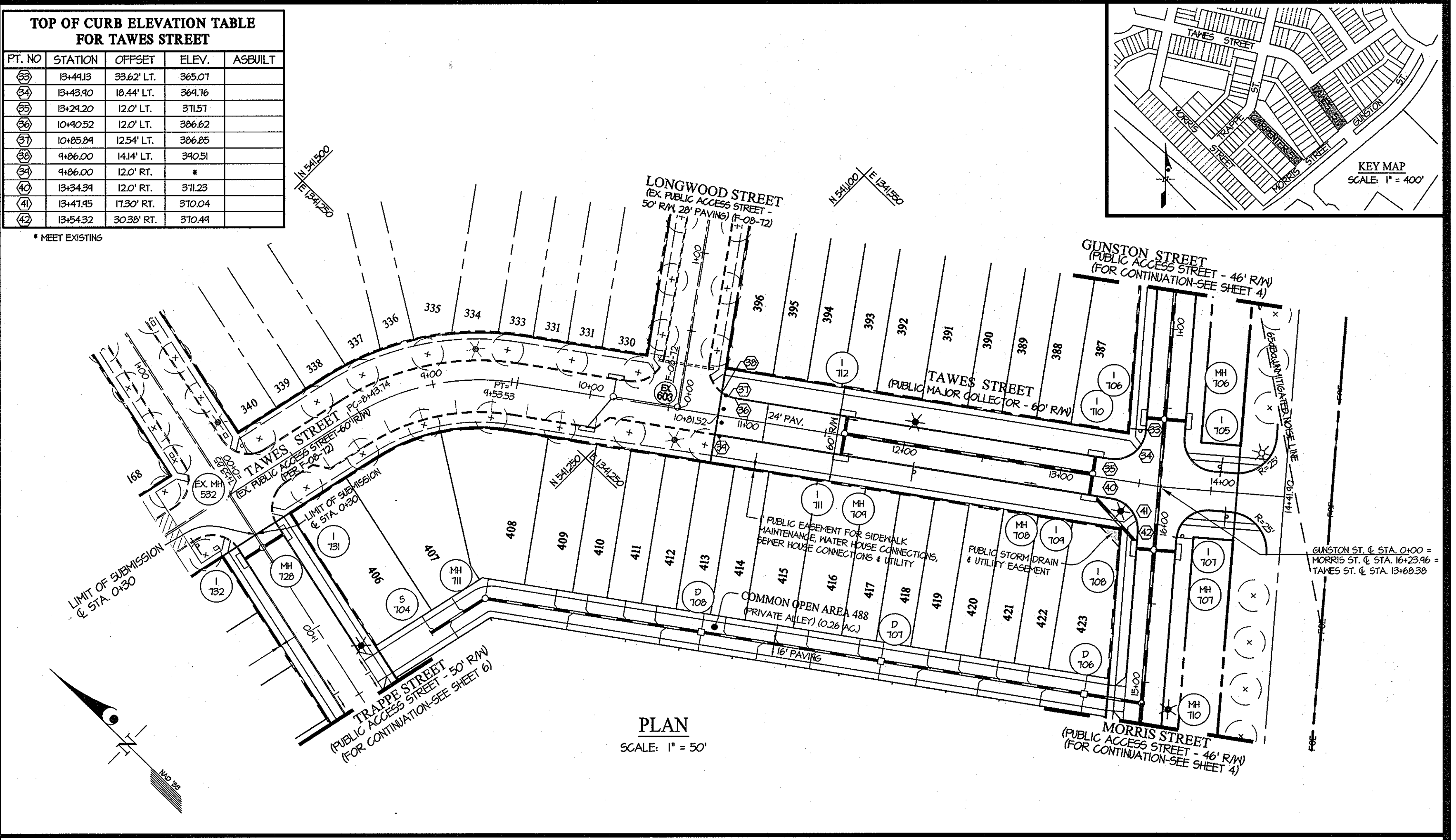
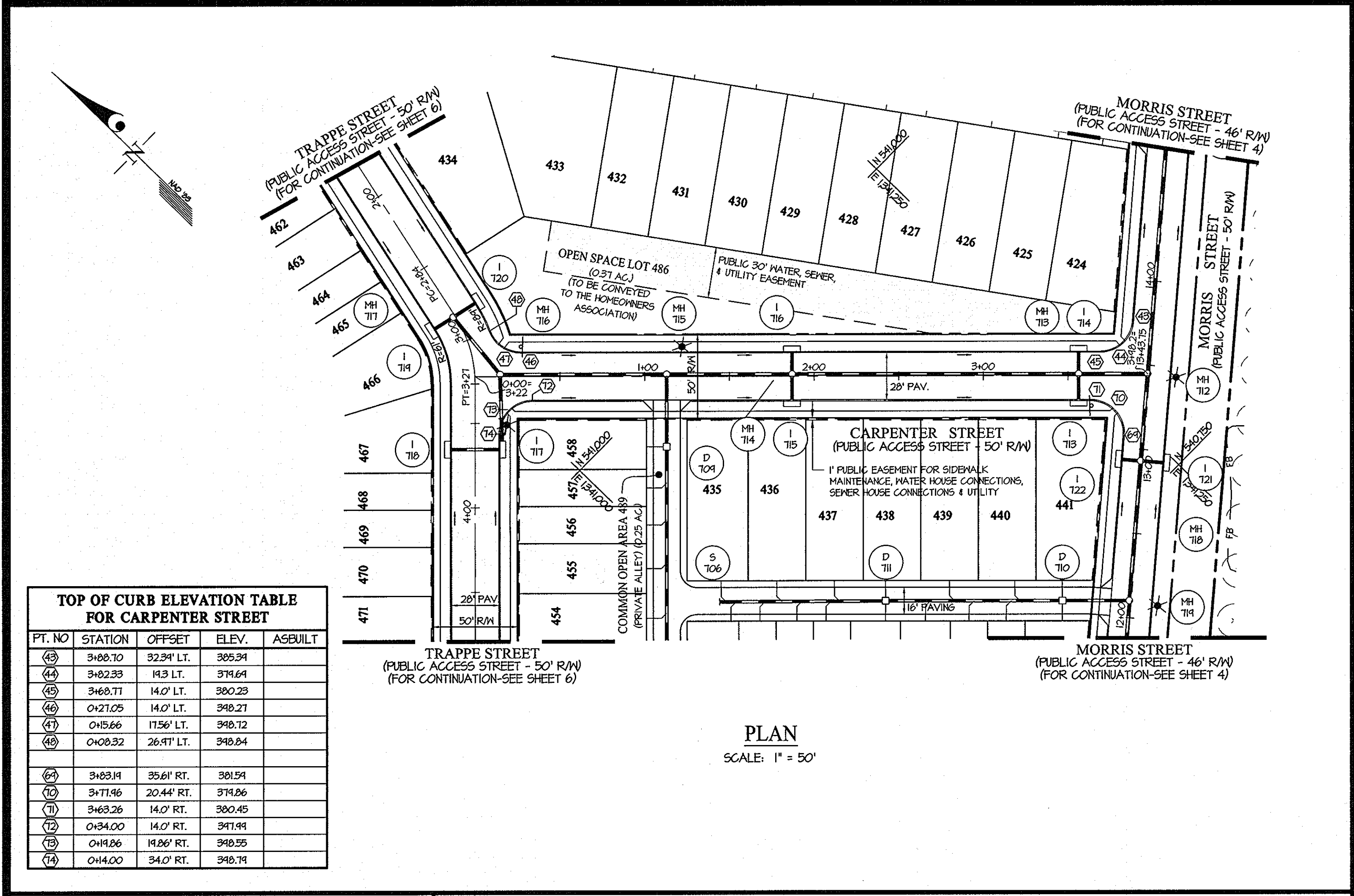
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12973
 EXPIRATION DATE: MAY 26, 2012



ROAD CONSTRUCTION PLAN - MORRIS STREET AND GUNSTON STREET
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 496, PARCELS D-1 & D-2, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 AND 474
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	4 OF 20

L:\CAD\DRAWINGS\04001\07001\FINALS\07001_S003-04.dwg DES. DEV. DRN. AML. CHK. DEV. DATE: 5/15/10
 PLOTTED: 4/23/2010 1:38 PM, LAST SAVED: 4/14/2010 10:13 AM, PLOTTED BY: Tony Lippert



NOTES:

- ALL CURB RADII ARE 20' UNLESS OTHERWISE NOTED.
- ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
- FOR STORM DRAIN INFORMATION, SEE STORM DRAIN INFORMATION PLAN, SHEET II.
- FOR STREET TREE AND STREET LIGHT INFORMATION, SEE SHEET 8.
- A 1' PUBLIC EASEMENT FOR SIDEWALK MAINTENANCE, WATER HOUSE CONNECTIONS, SEWER HOUSE CONNECTIONS & UTILITY HAS BEEN ADDED TO LOTS WITH FRONT AND/OR SIDE LOT LINES ADJACENT TO A PUBLIC RIGHT-OF-WAY.
- ALL SIDEWALKS WILL END WITH A HANDICAP RAMP MEETING HOWARD COUNTY STANDARD R-4.02 (SIDEWALK RAMP TYPE B).

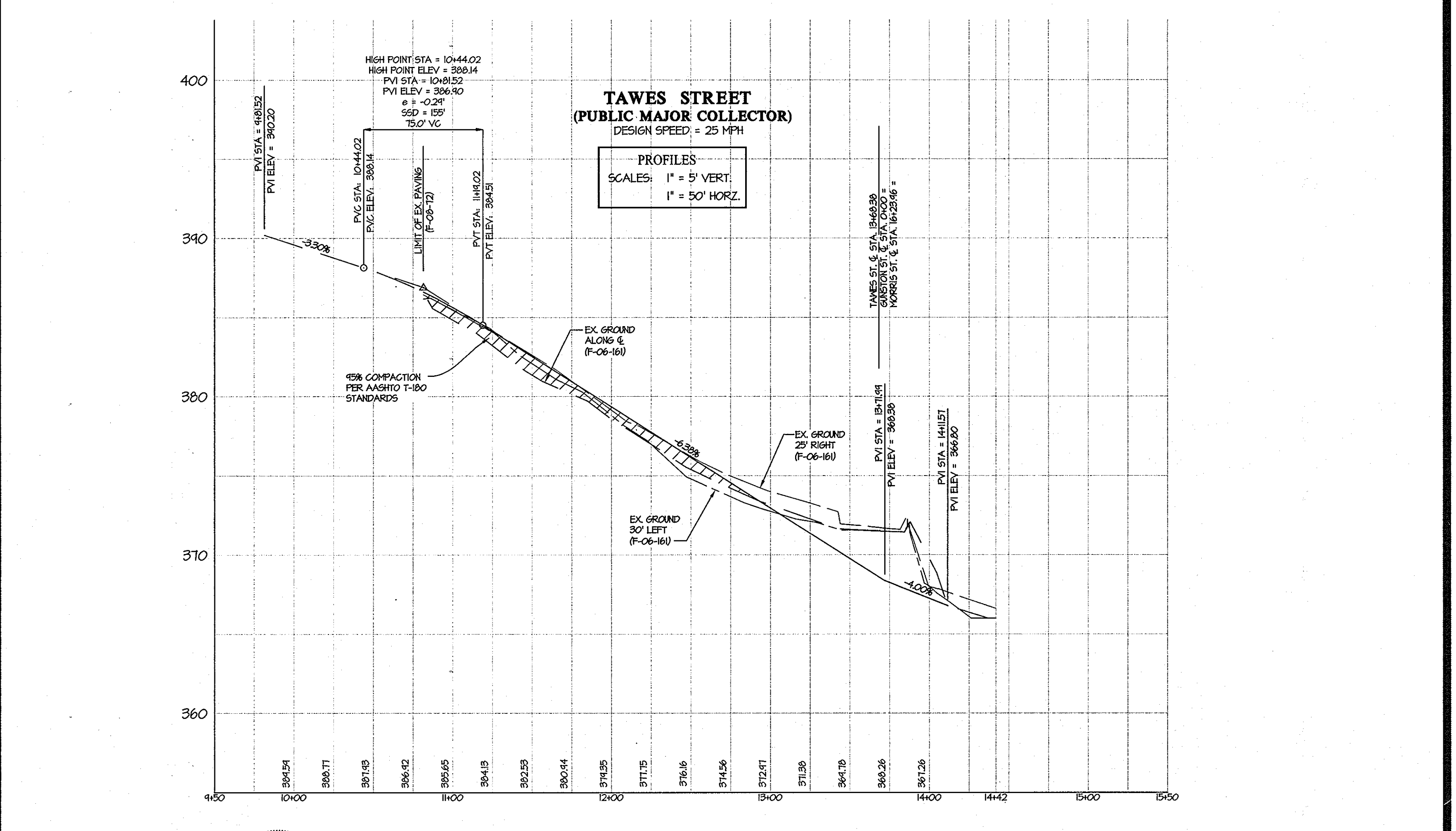
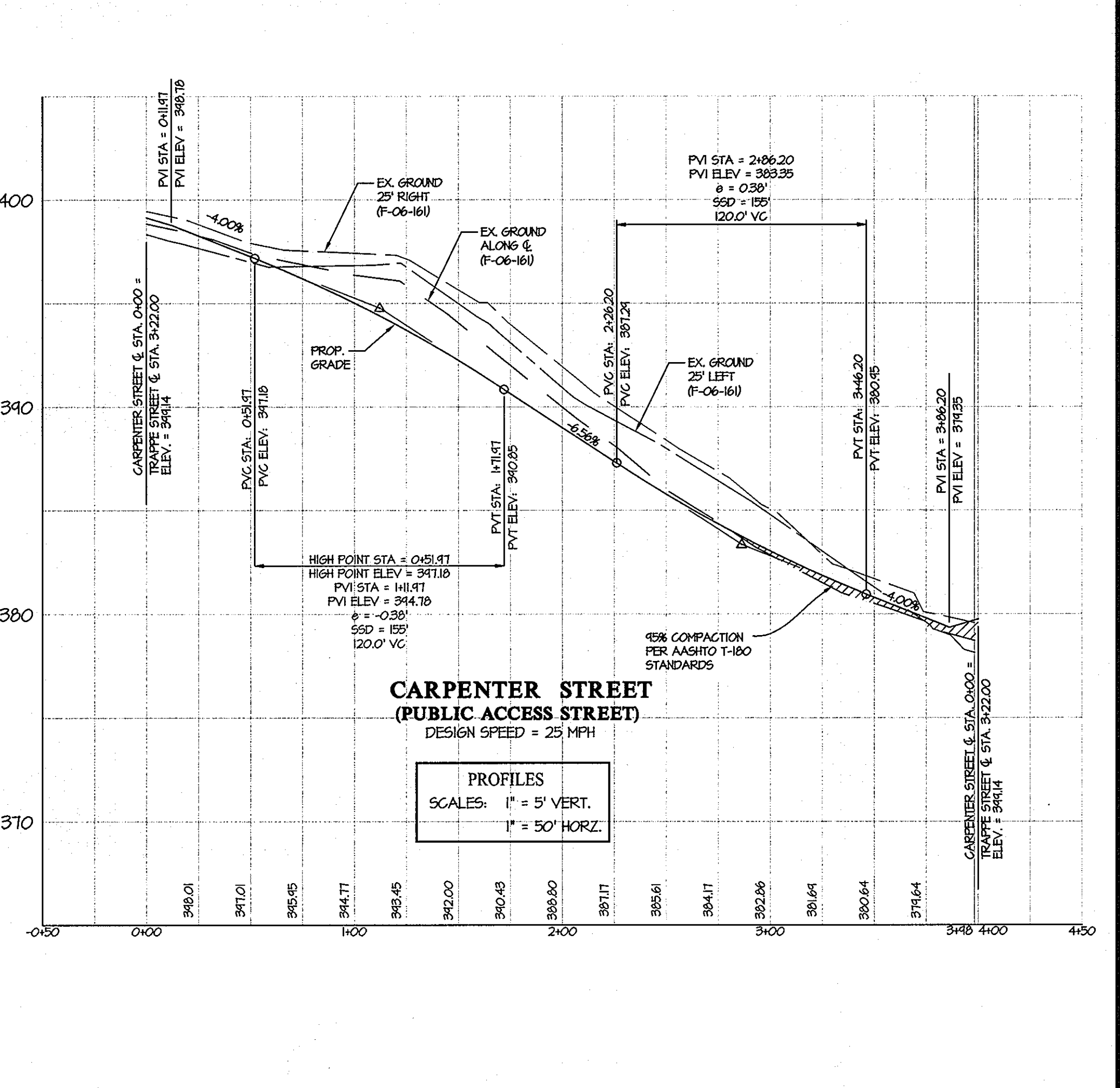
LEGEND

- EXISTING GRADE
- EXISTING GRADE LEFT
- EXISTING GRADE RIGHT
- PROPOSED GRADE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-19-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/21/10

Chief, Development Engineering Division
 Date: 5/21/10



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

8/14/11 Update Parcel ID's Per Plot F 11-079
 DATE REVISION

DES. DEV. DRN. AML. CHK. DEV.

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
 EXPIRATION DATE: MAY 26, 2012

ELECTION DISTRICT No. 5

ROAD CONSTRUCTION PLAN - TAWES STREET AND CARPENTER STREET

MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

SCALE: AS SHOWN
 ZONING: MXD-3
 C. L. W. FILE NO.: 07001

DATE: APRIL, 2010
 TAX MAP - GRID: 41-22
 SHEET: 5 OF 20

HOWARD COUNTY, MARYLAND

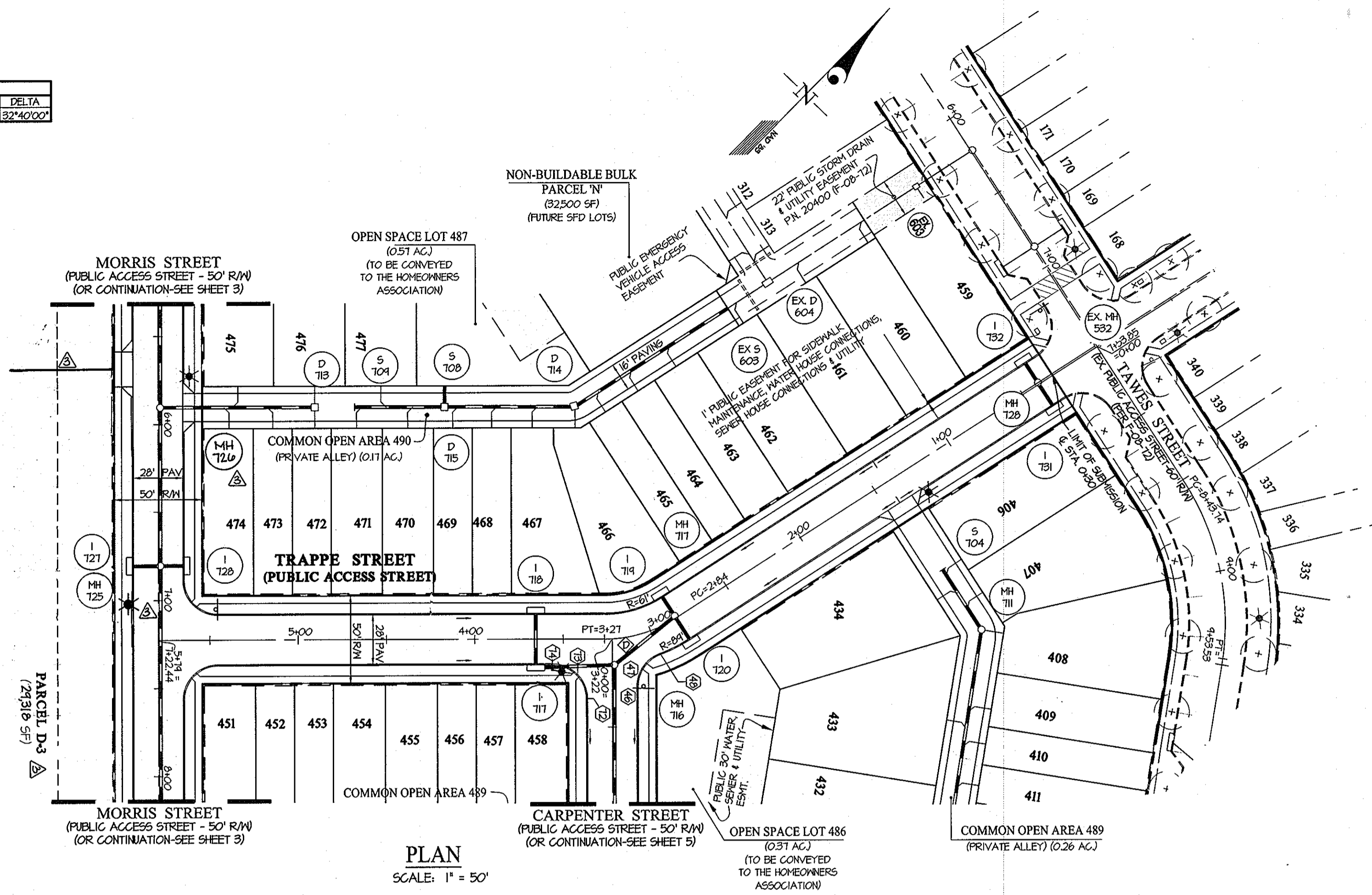
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CL CURVE DATA CHART									
STREET NAME	CURVE	PC STA	PT STA	RADIUS	TANGENT	ARC	CHORD	BEARING	DELTA
TRAPPE STREET	⊕	2+83.82	3+26.50	15.00'	21.48'	42.16'	42.16'	S 24°04'30" W	83°24'00"00"

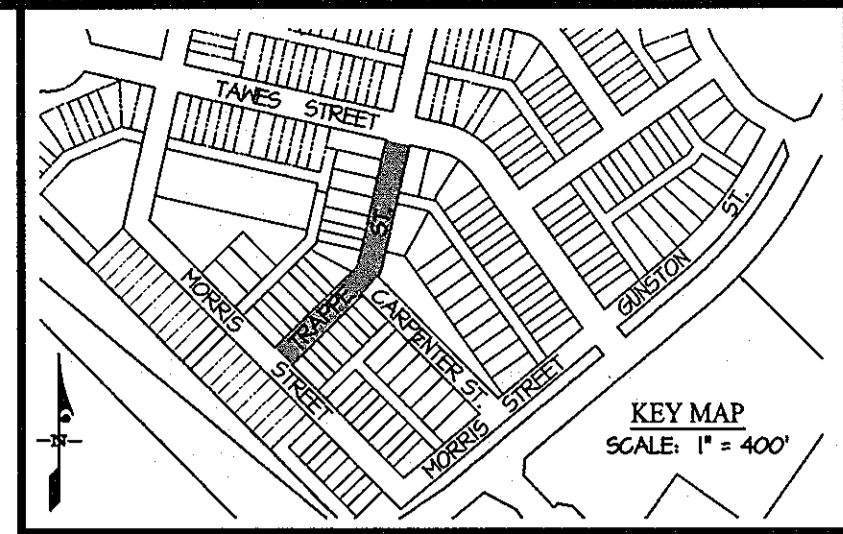
TOP OF CURB ELEVATION TABLE FOR TRAPPE STREET

PT. NO.	STATION	OFFSET	ELEV.	AGE/BLT.
66	3+32.21	28.80' LT.	398.21	
67	3+08.83	18.26' LT.	398.12	
68	2+44.65	14.0' LT.	398.84	
69	2+41.74	14.0' LT.	398.74	
70	2+83.82	14.0' LT.	398.78	
71	0+30.00	14.1' LT.	*	
72	0+30.00	14.1' RL.	*	
73	2+83.82	14.0' RL.	398.78	
74	3+05.20	14.0' RL.	398.84	
75	3+26.50	14.0' RL.	399.11	
76	5+45.28	14.0' RL.	404.00	
77	5+51.42	14.86' RL.	404.10	
78	5+65.28	34.0' RL.	412.05	
79	5+45.28	14.0' LT.	404.00	
80	5+51.42	14.86' LT.	404.10	
81	5+65.28	34.0' LT.	408.82	
82	3+36.28	34.0' LT.	399.40	
83	3+42.14	14.86' LT.	399.54	
84	3+56.28	14.0' LT.	399.86	

* MEET EXISTING



PLAN
SCALE: 1" = 50'

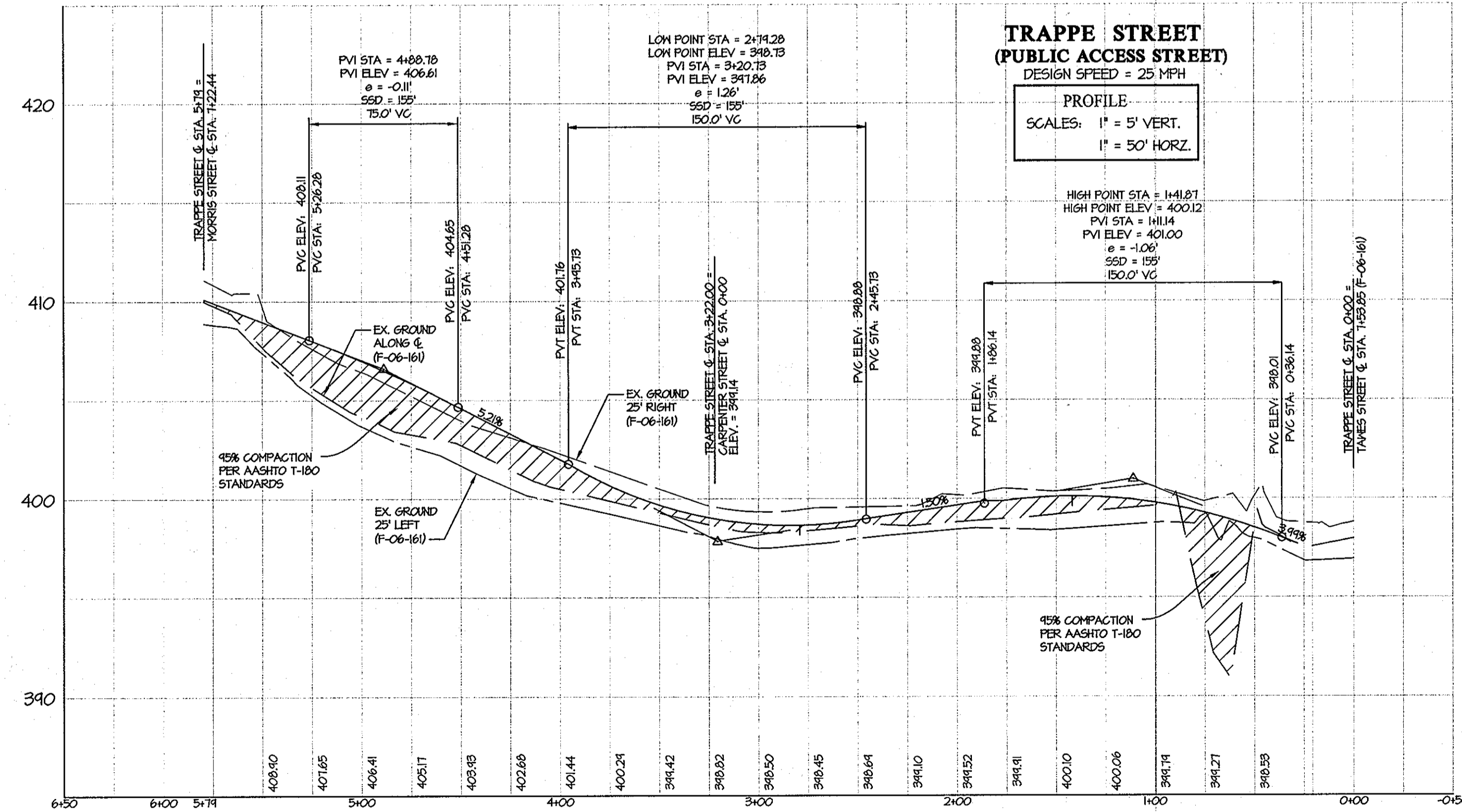


KEY MAP
SCALE: 1" = 400'

- NOTES:**
- ALL CURB RADI ARE 20' UNLESS OTHERWISE NOTED.
 - ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - FOR STORM DRAIN INFORMATION, SEE STORM DRAIN INFORMATION PLAN, SHEET II.
 - FOR STREET TREE AND STREET LIGHT INFORMATION, SEE SHEET 8.
 - A 1' PUBLIC EASEMENT FOR SIDEWALK MAINTENANCE, WATER HOUSE CONNECTIONS, SEWER HOUSE CONNECTIONS & UTILITY HAS BEEN ADDED TO LOTS WITH FRONT AND/OR SIDE LOT LINES ADJACENT TO A PUBLIC RIGHT-OF-WAY.
 - ALL SIDEWALKS WILL END WITH A HANDICAP RAMP MEETING HOWARD COUNTY STANDARD R-4.02 (SIDEWALK RAMP TYPE B).

LEGEND

-----	EXISTING GRADE
-----	EXISTING GRADE LEFT
-----	EXISTING GRADE RIGHT
-----	PROPOSED GRADE



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter R. McNeil 5-19-10
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Walter R. McNeil 5/19/10
 Chief, Division of Land Development

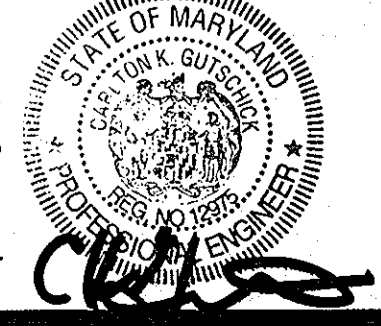
Mark Bennett 5/27/10
 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	BY	APP'R.
5/24/11	Update Parcel IDs Per Plat F-11-019A	
REVISION		

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2012



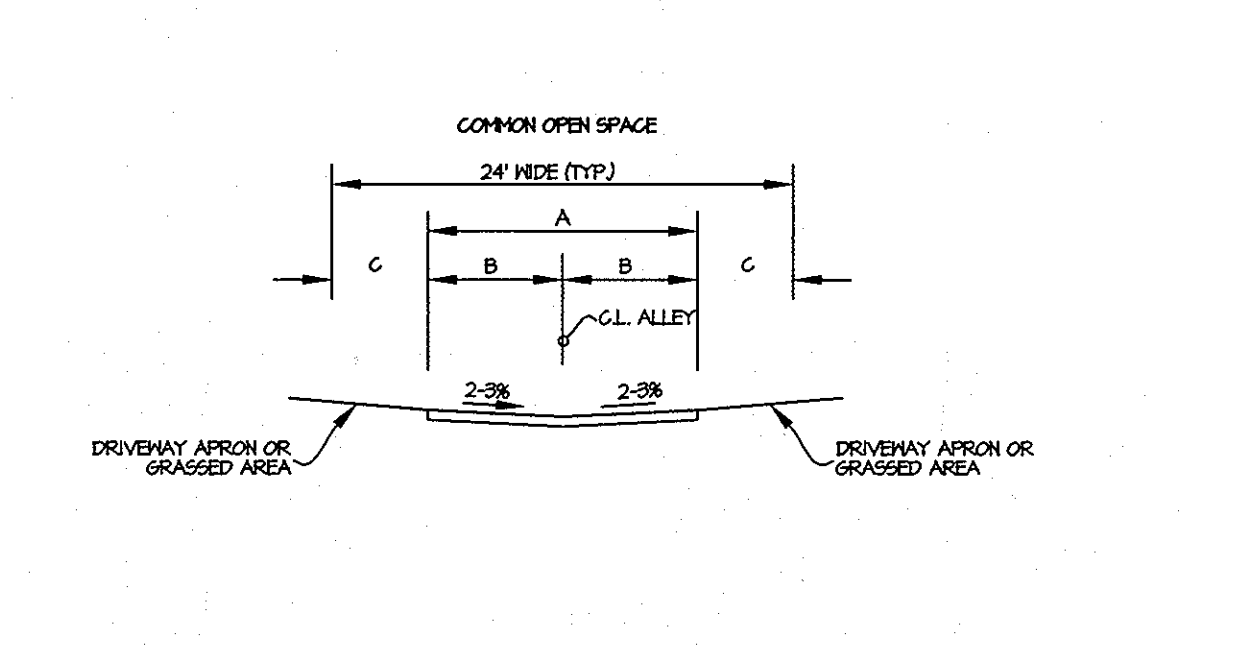
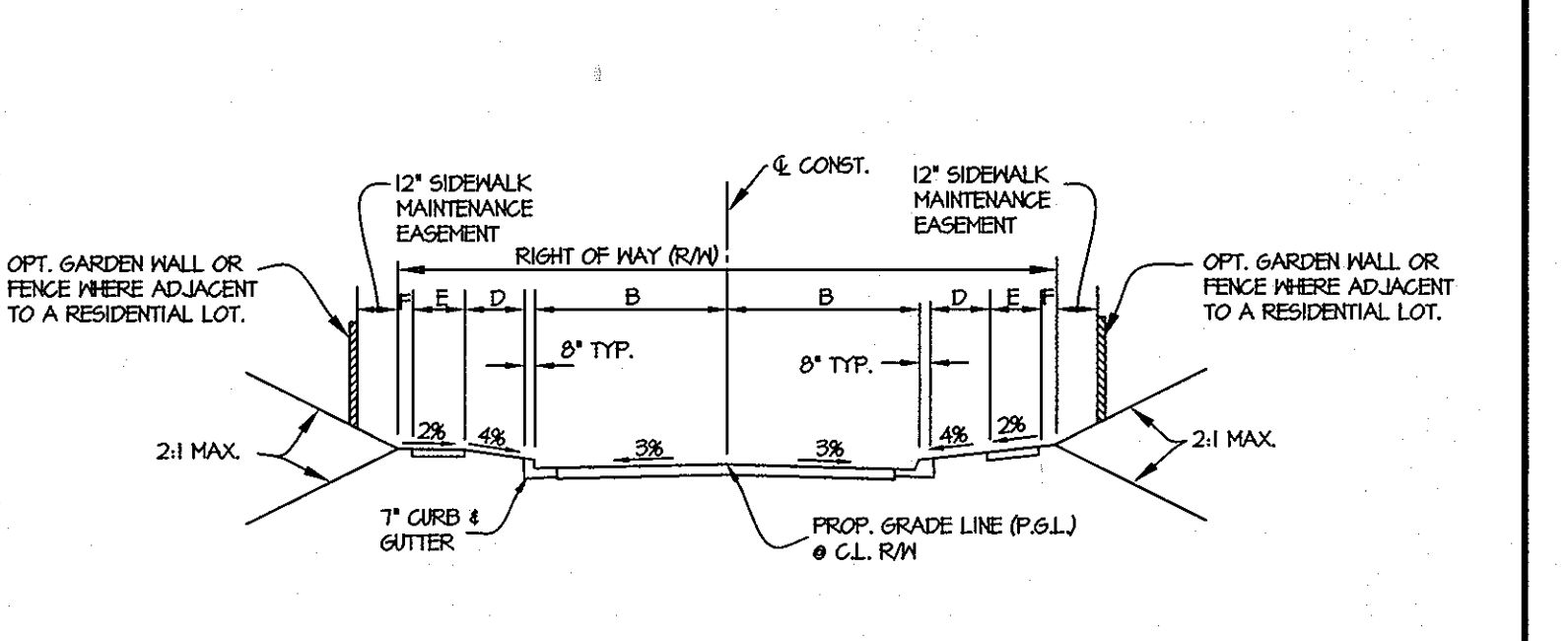
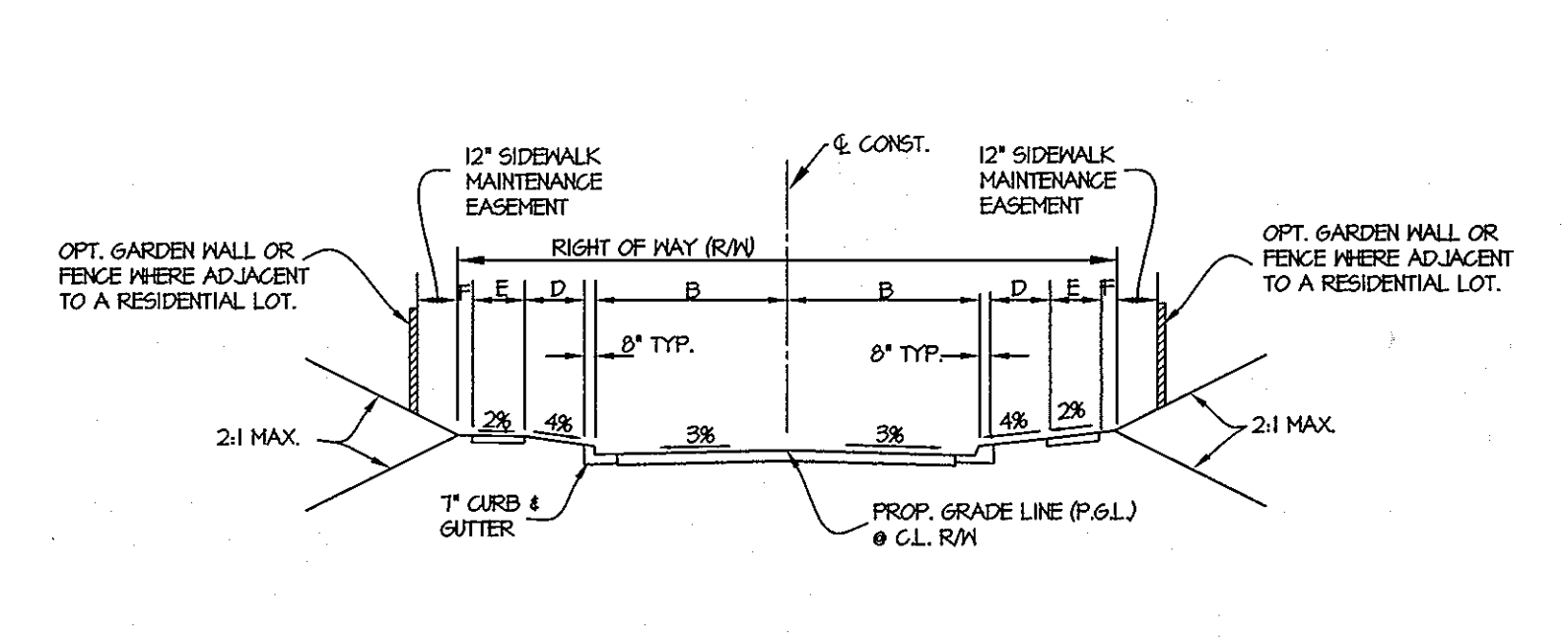
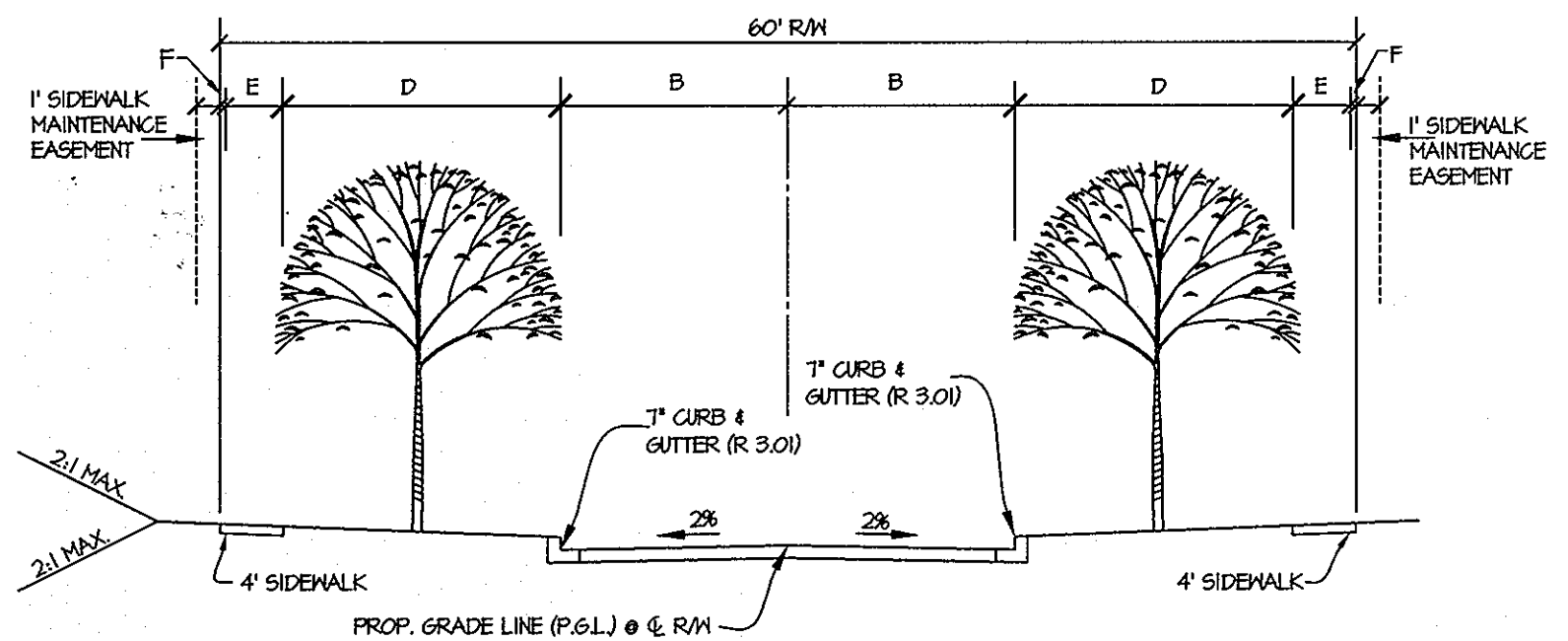
ROAD CONSTRUCTION PLAN - TRAPPE STREET

MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	6 OF 20

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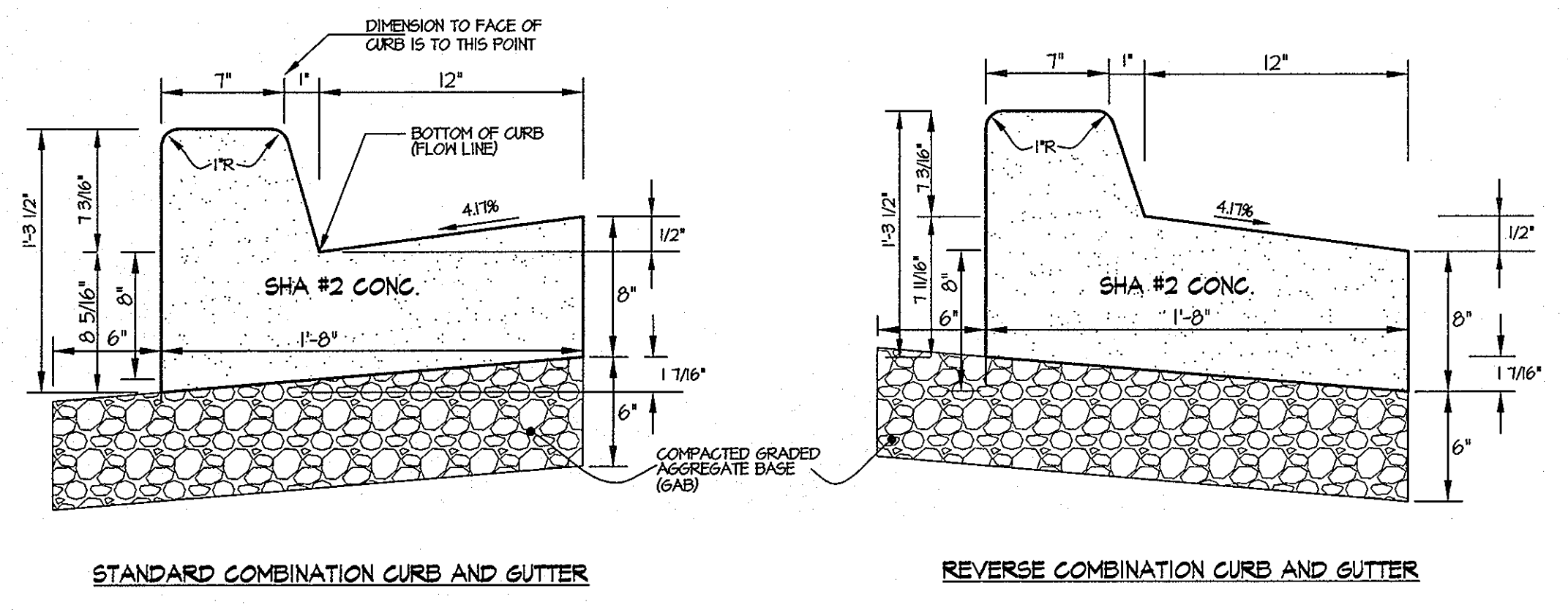


1 TYPICAL ROAD SECTION FOR TAWES STREET SCALE: 1"=10'

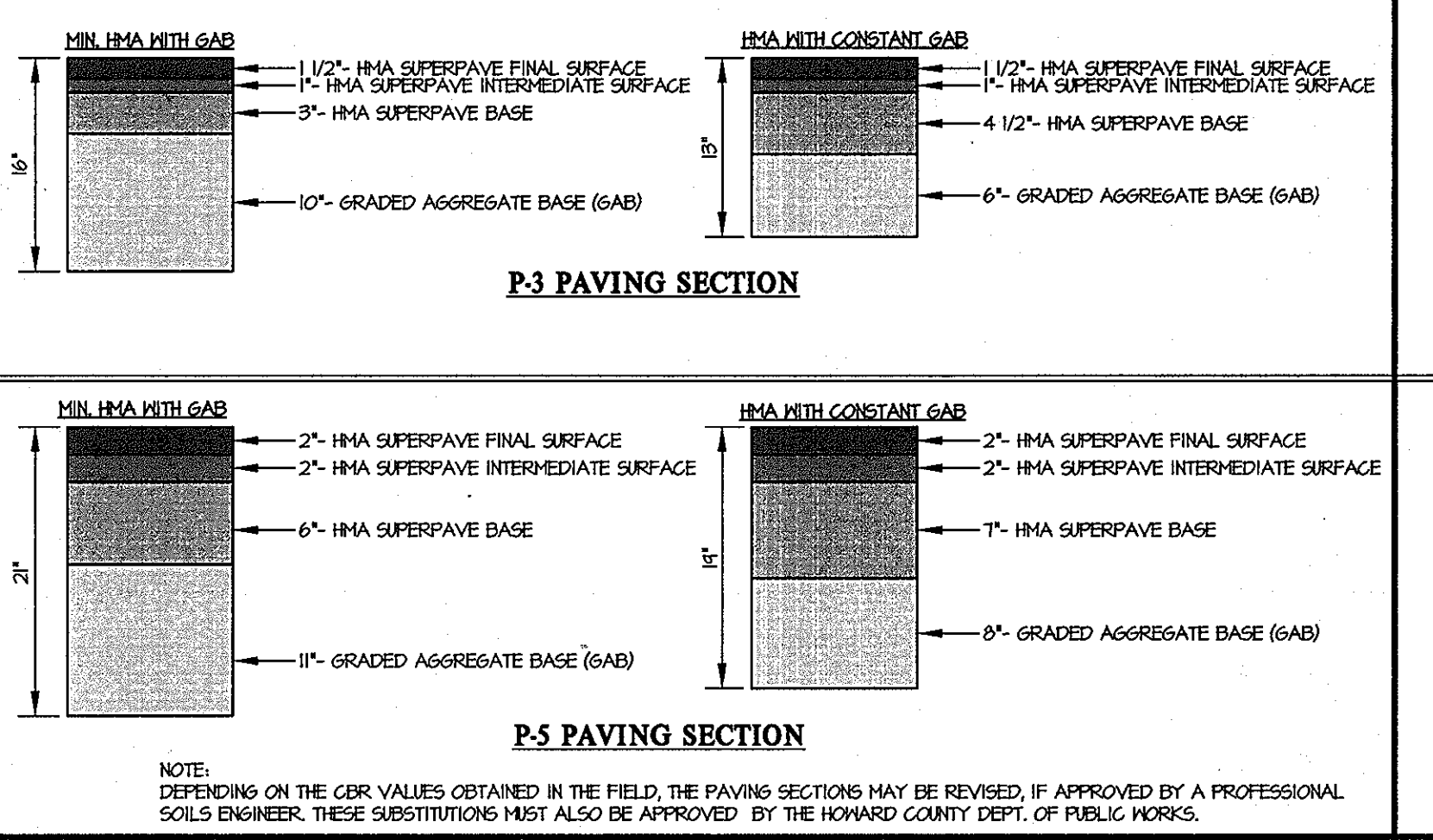
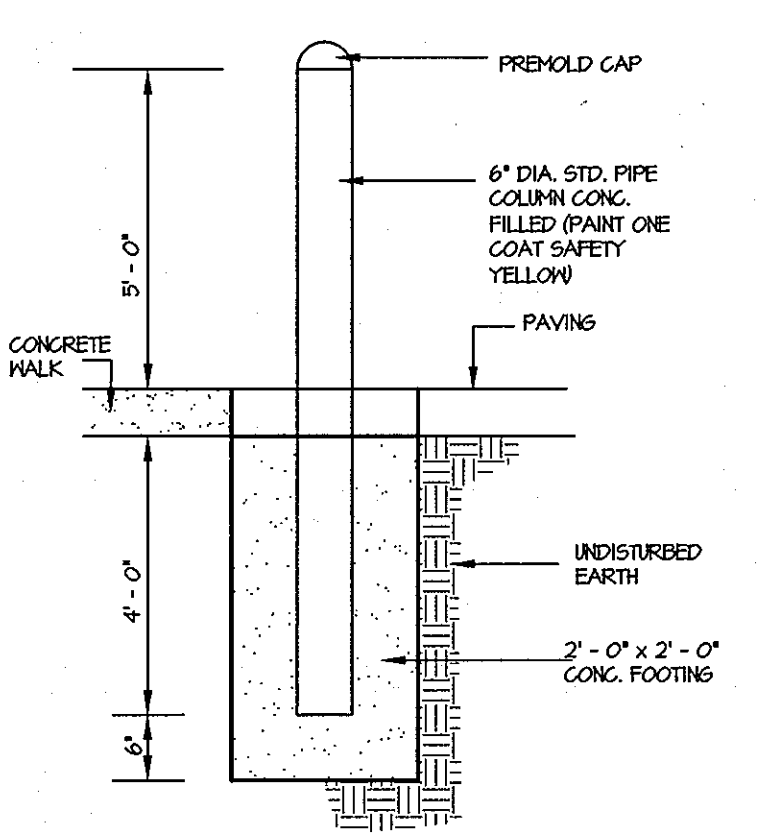
2 TYPICAL ROAD SECTION FOR TRAPPE, CARPENTER & GUNSTON STREETS NO SCALE

3 TYPICAL ROAD SECTION FOR MORRIS STREET NO SCALE

4 TYPICAL ROAD SECTION FOR ALLEYS SCALE: 1"=10'



NOTES:
 1. STANDARD 7" COMBINATION CURB AND GUTTER TO BE USED IN ALL PUBLIC RIGHTS OF WAY.
 2. GUTTER PAN AT MEDIAN EDGE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

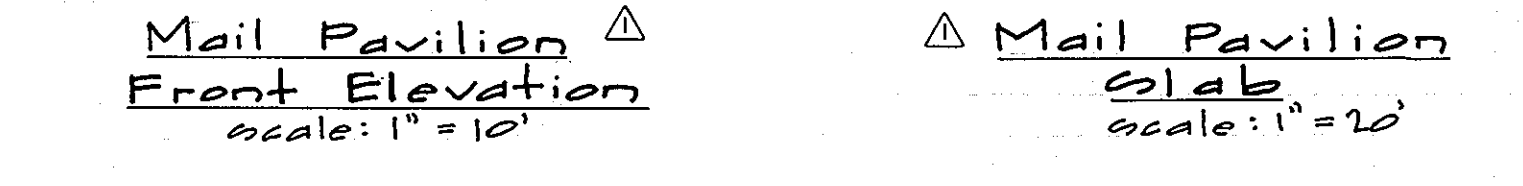
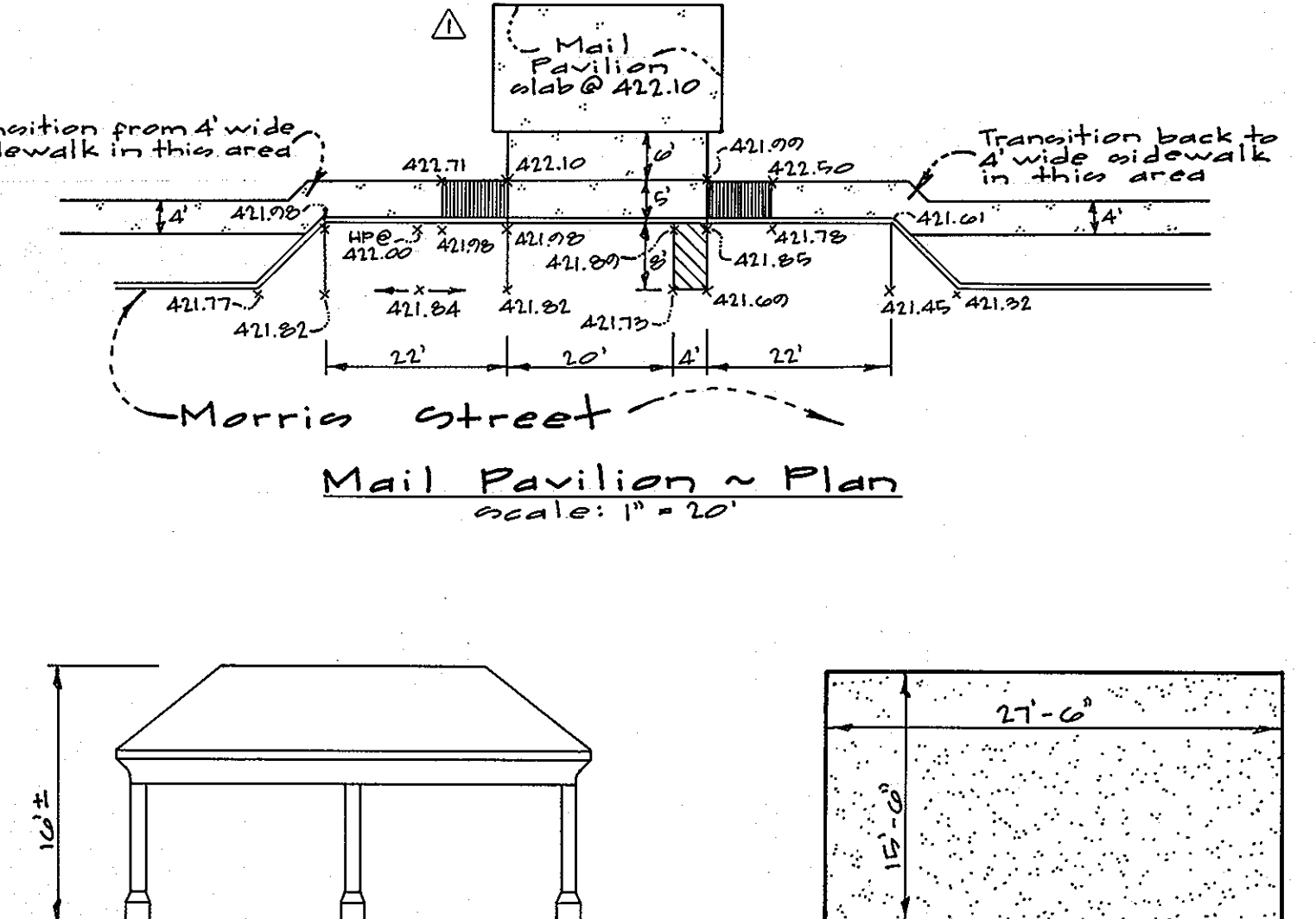
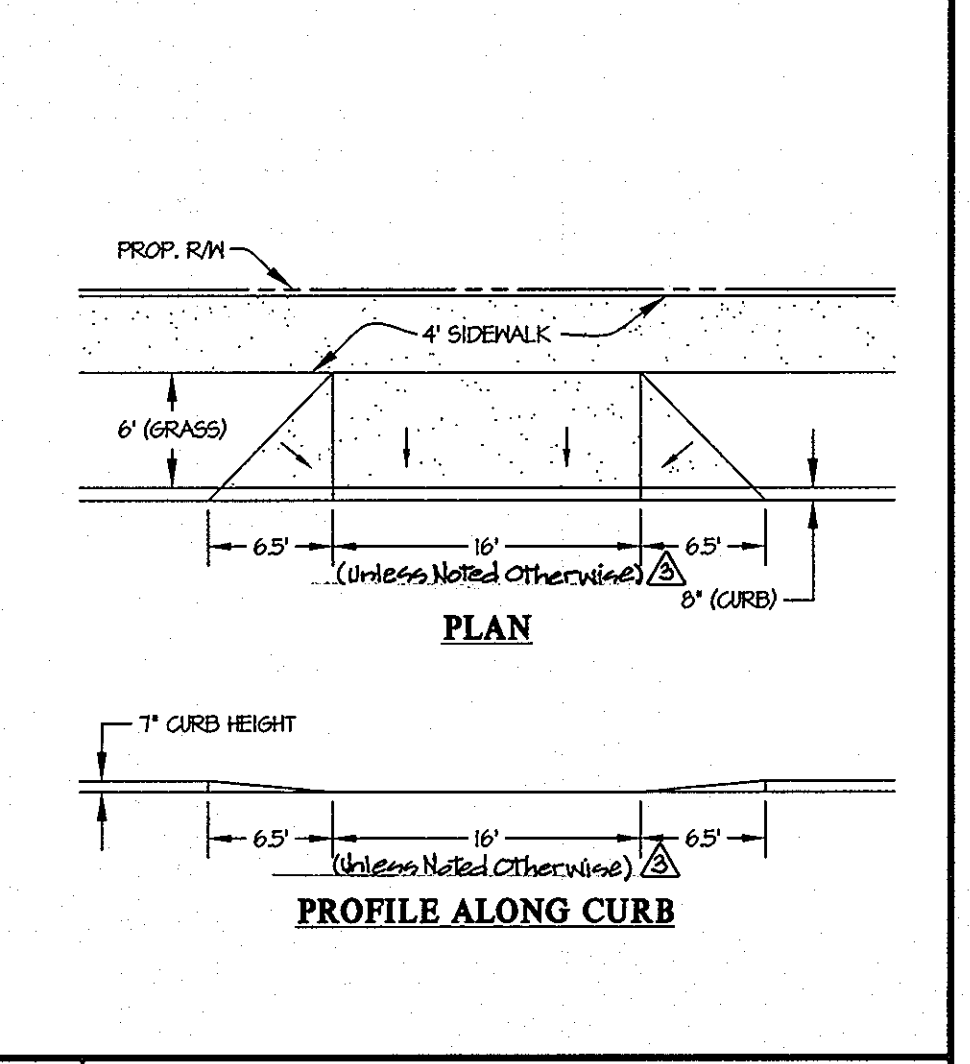


5 7" CONCRETE CURB AND GUTTER (STANDARD AND REVERSE) NO SCALE

6 BOLLARD DETAIL SCALE: 1"=3'

7 PAVING SECTIONS NO SCALE

8 TYPICAL UTILITY LOCATIONS SCALE: 1"=6'



The pavilion is exempt from the 10' BRL in accordance with the comprehensive sketch plan.

9 TYPICAL ALLEY ENTRANCE DETAIL NO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-19-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/22/10

Chief, Development Engineering Division
 Date: 5/22/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
8/14/11	Update Parcel ID's Per Plat F-11-219	gt	
10/20/10	Added plan view details & section for mail pavilion	kfp	

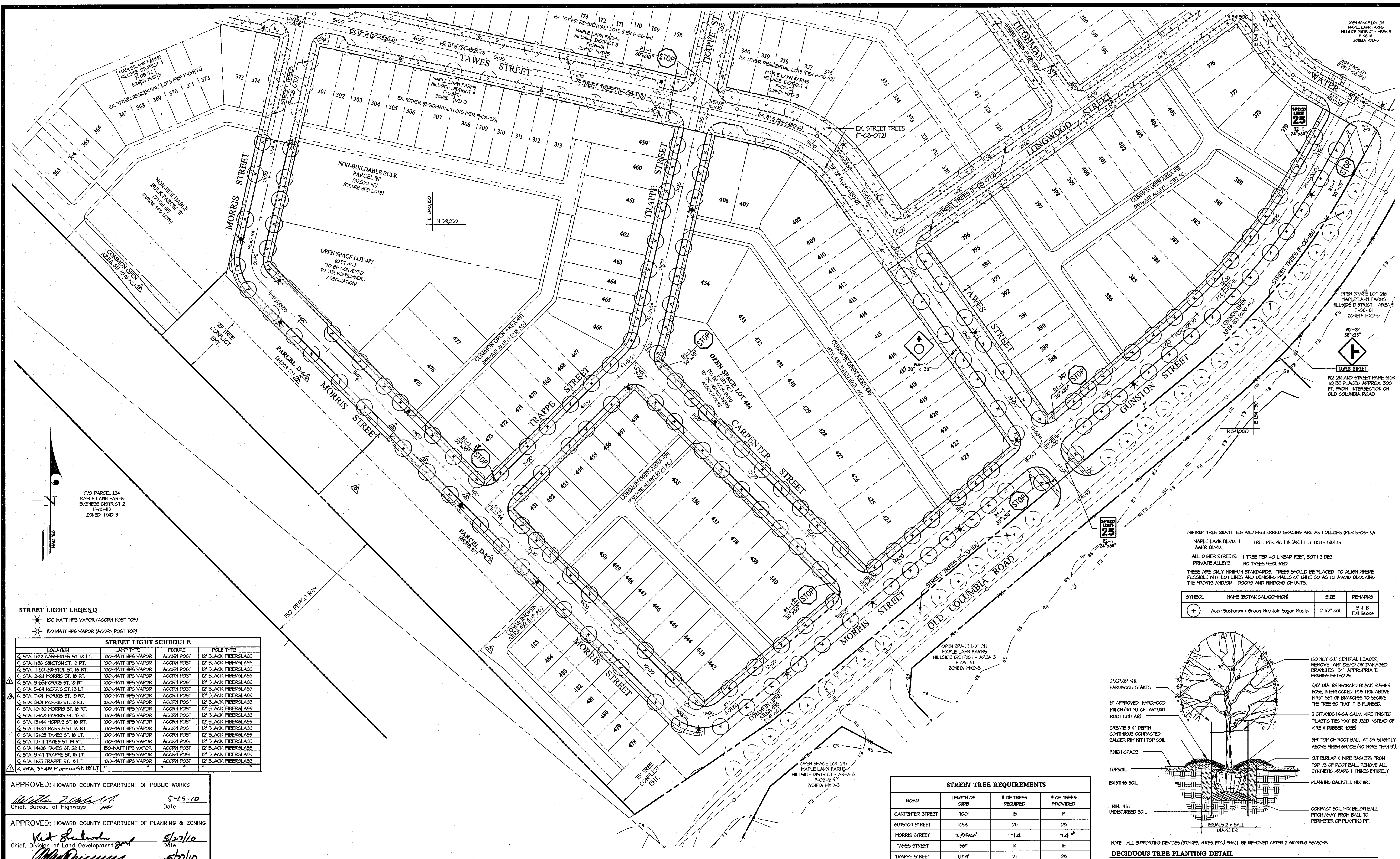
PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12912
 EXPIRATION DATE: MAY 26, 2012

ROAD DETAILS
 MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	7 OF 20

U:\North\Drawings\04001\07001\FINALS\07001_5007.dwg
 PLOTTER: PLOT2000 24x36 Plot Size: 4725/2500 2.43 Plot: PLOTTED BY: bony_cyphar



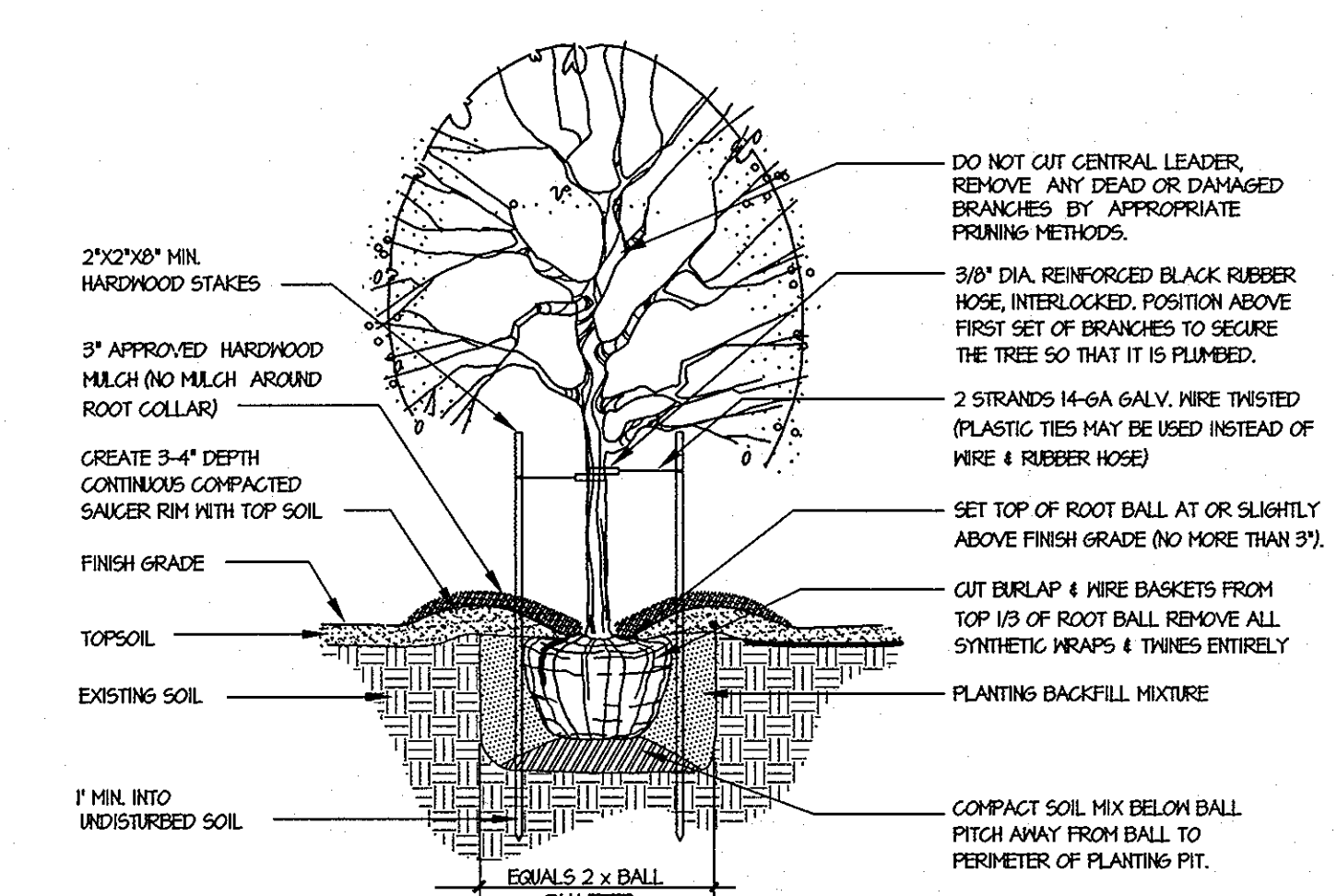
STREET LIGHT LEGEND
 * 100 WATT HPS VAPOR (ACORN POST TOP)
 * 150 WATT HPS VAPOR (ACORN POST TOP)

STREET LIGHT SCHEDULE

LOCATION	LAMP TYPE	FIXTURE	POLE TYPE
STA. 1422 CARPENTER ST. 10 LT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1436 GUNSTON ST. 16 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 4150 GUNSTON ST. 16 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 2481 MORRIS ST. 10 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 3454 MORRIS ST. 10 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 3464 MORRIS ST. 10 LT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1401 MORRIS ST. 10 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 0431 MORRIS ST. 10 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1040 MORRIS ST. 16 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1208 MORRIS ST. 16 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1344 MORRIS ST. 16 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1404 MORRIS ST. 16 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1205 TAWES ST. 16 LT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1341 TAWES ST. 14 RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1426 TAWES ST. 26 LT.	150-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 3447 TRAPPE ST. 10 LT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 1425 TRAPPE ST. 10 LT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
STA. 3448 MORRIS ST. 10 LT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS

MINIMUM TREE QUANTITIES AND PREFERRED SPACING ARE AS FOLLOWS (PER 5-06-16):
 MAPLE LAWN BLVD. 1 TREE PER 40 LINEAR FEET, BOTH SIDES.
 LAGER BLVD.
 ALL OTHER STREETS: 1 TREE PER 40 LINEAR FEET, BOTH SIDES.
 PRIVATE ALLEYS NO TREES REQUIRED
 THESE ARE ONLY MINIMUM STANDARDS. TREES SHOULD BE PLACED TO ALIGN WHERE POSSIBLE WITH LOT LINES AND DEMISING WALLS OF UNITS SO AS TO AVOID BLOCKING THE FRONTS AND/OR DOORS AND WINDOWS OF UNITS.

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	REMARKS
+	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	B & B Full Heads



STREET TREE REQUIREMENTS

ROAD	LENGTH OF CURB	# OF TREES REQUIRED	# OF TREES PROVIDED
CARPENTER STREET	700'	18	14
GUNSTON STREET	1,036'	26	26
MORRIS STREET	2,956'	74	74*
TAWES STREET	564'	14	16
TRAPPE STREET	1,054'	21	26

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 5-19-10
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 5/27/10
 Chief, Division of Land Development

[Signature] 5/27/10
 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20868
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
5/24/11	Update Parcel ID's Per Plat F-11-0719	klp	
2/20/10	Added indented parking, relocate street trees & lights, rev charts accordingly	klp	

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2012

SIGNING, STREET TREE AND LIGHTING PLAN

MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

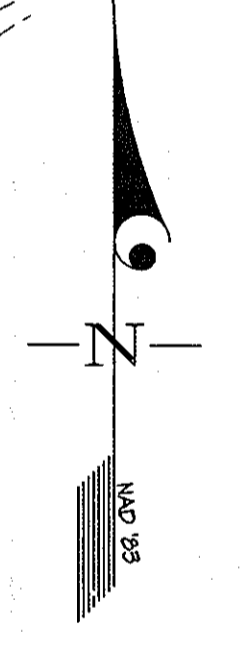
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	8 OF 20

L:\CAD\DRAWINGS\04001\07001\FINALS\07001_S068.dwg PLOTTED: 4/23/2010 2:51 PM. LAST SAVER: 4/23/2010 2:48 PM. PLOTTED BY: Tony Vesicera.



- LEGEND**
- 410 — EXISTING CONTOURS
 - MB — WETLAND BUFFER
 - SB — STREAM BUFFER
 - SB — 100 YR. FLOODPLAIN
 - SF — SILT FENCE
 - SSF — SUPER SILT FENCE
 - → → EXISTING EARTH DIKE (F-06-16)
 - ▨▨▨▨▨ TEMPORARY MACADAM BERM
 - ▨▨▨▨▨ STABILIZED CONSTRUCTION ENTRANCE
 - — — — — LIMIT OF PLAN SUBMISSION



DEVELOPER'S/BUILDER'S CERTIFICATE

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A HARTLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Mark Bennett 4-27-10
SIGNATURE OF DEVELOPER/BUILDER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Photos 5/10/10
HOWARD S.C.D. DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Walter R. Swartz 5-19-10
Chief, Bureau of Highways DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Ved Shihoh 5/20/10
Chief, Division of Land Development DATE

Chris Deane 5/20/10
Chief, Development Engineering Division DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Mark Bennett 4-28-10
DATE

- CONTRACTOR NOTES:**
- FOR STORM DRAIN SIZES SEE SHEET 11.
 - WHERE THE L.O.D. IS NOT SHOWN, THE SEDIMENT CONTROL DEVICES WILL INDICATE THE LIMIT OF DISTURBANCE.
 - CONTRACTOR MUST TURN ALL SILT FENCE AND SUPER SILT FENCE UPHILL BY 2' IN ELEVATION.
 - FOR SEQUENCE OF CONSTRUCTION SEE SHEET 10.
 - ALL PROPOSED SEDIMENT CONTROL DEVICES LIE WITHIN PROPERTY CONTROLLED BY OWNER. THE LIMIT OF PLAN SUBMISSION IS NOT THE LIMIT OF DISTURBANCE.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3609 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
BURTONTOWN, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
8/24/11	Updates Parcel ID's Per Plat F-11-074		
2/17/11	added storm drain run 12 ft wall to plan view		
9/20/10	added indented parking, mail pavilion, rev. grading		

PREPARED FOR:
G&R MAPLE LAWN, INC.
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: Mark Bennett
410-484-8400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
EXPIRATION DATE: MAY 28, 2012



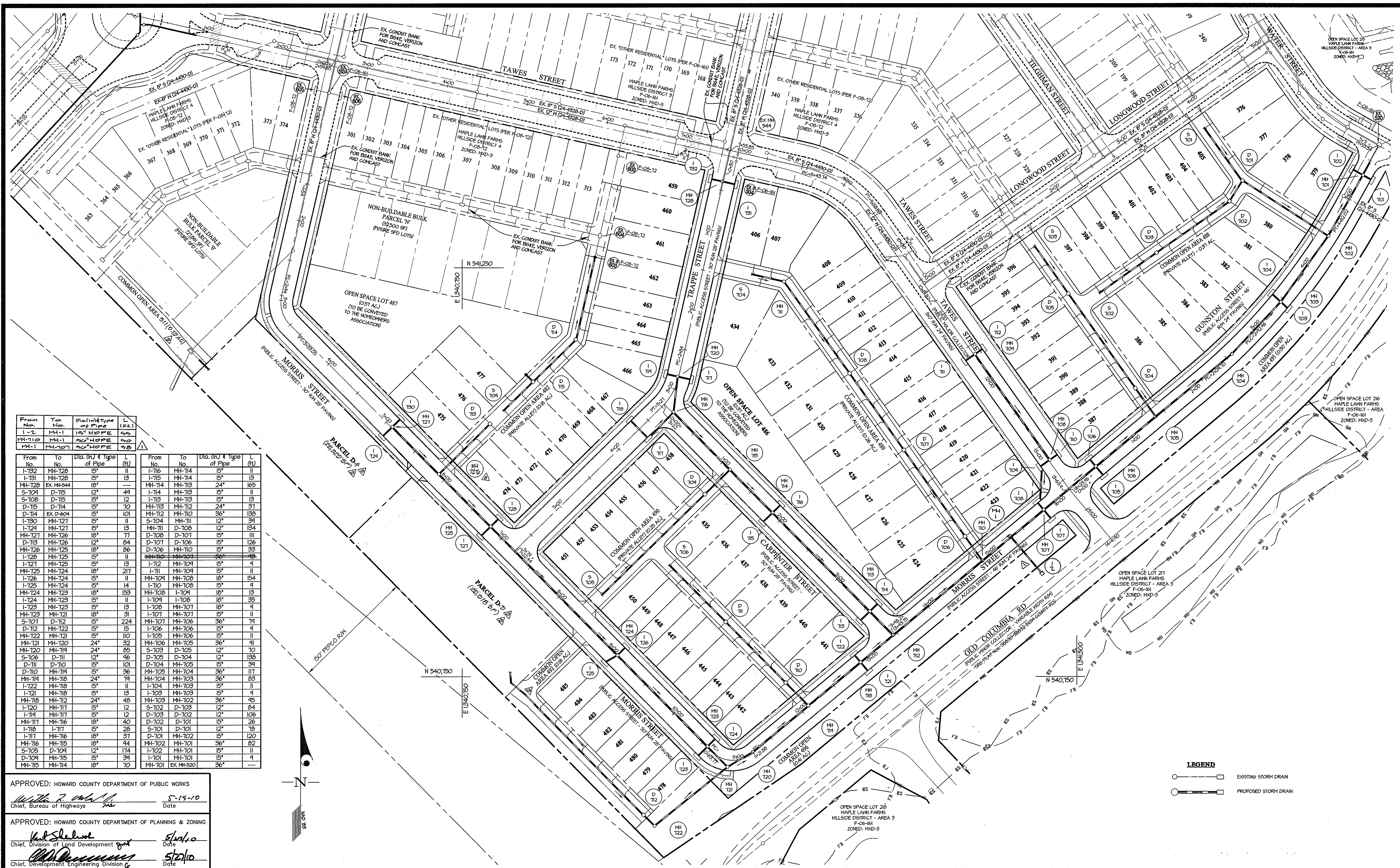
SEDIMENT CONTROL PLAN

MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
TAX MAP 41 PARCELS 129 and 474

ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	9 OF 20

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From No.	To No.	Dia. (in.)	Type of Pipe	L (ft.)
I-1	MH-1	15"	HDPE	55
MH-110	MH-1	36"	HDPE	50
MH-1	MH-107	36"	HDPE	28

From No.	To No.	Dia. (in.)	Type of Pipe	L (ft.)
I-132	MH-120	15"	II	15
I-131	MH-120	15"	II	13
MH-120	EX MH-544	18"	---	165
S-104	D-115	12"	49	11
S-108	D-115	15"	12	11
D-115	D-114	15"	70	11
D-114	EX D-604	15"	101	11
I-130	MH-121	15"	II	11
I-124	MH-121	15"	13	11
MH-121	MH-126	18"	11	11
D-113	MH-126	12"	84	11
MH-126	MH-125	18"	86	11
I-120	MH-125	15"	II	11
I-121	MH-125	15"	13	11
MH-125	MH-124	18"	217	11
I-126	MH-124	15"	II	11
I-125	MH-124	15"	14	11
MH-124	MH-123	18"	153	11
I-124	MH-123	15"	11	11
I-123	MH-123	15"	13	11
MH-123	MH-121	18"	31	11
S-101	D-112	15"	224	11
D-112	MH-122	15"	15	11
MH-122	MH-121	15"	110	11
MH-120	MH-119	24"	32	11
MH-120	MH-119	24"	85	11
S-106	D-111	12"	46	11
D-111	D-110	15"	101	11
D-110	MH-119	15"	36	11
MH-119	MH-118	24"	74	11
I-122	MH-118	15"	II	11
I-121	MH-118	15"	13	11
MH-118	MH-112	24"	40	11
I-120	MH-111	15"	12	11
I-119	MH-111	15"	12	11
MH-111	I-117	18"	20	11
I-117	MH-116	18"	31	11
MH-116	MH-115	18"	44	11
S-105	D-104	12"	114	11
D-104	MH-115	15"	34	11
MH-115	MH-114	18"	70	11

From No.	To No.	Dia. (in.)	Type of Pipe	L (ft.)
I-116	MH-114	15"	II	11
I-115	MH-114	15"	13	11
MH-114	MH-113	24"	165	11
I-114	MH-113	15"	II	11
I-113	MH-113	15"	13	11
MH-113	MH-112	24"	31	11
MH-112	MH-110	36"	158	11
S-104	MH-111	12"	34	11
MH-111	D-108	12"	154	11
D-108	D-101	15"	111	11
D-101	D-106	15"	126	11
D-106	MH-110	15"	33	11
MH-110	MH-107	36"	98	11
I-112	MH-109	15"	4	11
J-111	MH-109	15"	11	11
MH-109	MH-108	18"	154	11
I-110	MH-108	15"	4	11
MH-108	I-109	18"	13	11
I-109	I-108	18"	35	11
I-108	MH-107	18"	4	11
I-107	MH-107	15"	11	11
MH-107	MH-106	36"	74	11
I-106	MH-106	15"	4	11
I-105	MH-106	15"	11	11
MH-106	MH-105	36"	41	11
S-103	D-105	12"	70	11
D-105	D-104	12"	158	11
D-104	MH-105	15"	34	11
MH-105	MH-104	36"	117	11
MH-104	MH-103	36"	83	11
I-104	MH-103	15"	4	11
I-103	MH-103	15"	4	11
MH-103	MH-102	36"	45	11
S-102	D-103	12"	84	11
D-103	D-102	12"	106	11
D-102	D-101	15"	26	11
S-101	D-101	12"	78	11
D-101	MH-102	15"	120	11
MH-102	MH-101	36"	82	11
I-102	MH-101	15"	11	11
I-101	MH-101	15"	4	11
EX MH-520	EX MH-520	36"	---	---

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
With 2 only
 Chief, Bureau of Highways
 Date: 5-15-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
W. J. Shalwell
 Chief, Division of Land Development
 Date: 5/14/10

W. J. Shalwell
 Chief, Development Engineering Division
 Date: 5/22/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3609 NATIONAL DRIVE, SUITE 200 - BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/WA: 301-989-2524 PA: 301-421-4186

DATE	REVISION	BY	APPR.
02/01/2011	Add storm drain run I-2 to MH-106 Plan view & Rev. Pipe Inset	WJL	DEW
8/24/11	UPDATE PARCEL 10'S PER PLAT F 11-079	WJL	DEW

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 28, 2012.

STORM DRAIN INFORMATION PLAN
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-2 & D-4 AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 AND 474

SCALE: 1"=50'
 ZONING: MXD-3
 G. L. W. FILE NO.: 07001
 DATE: APRIL, 2010
 TAX MAP - GRID: 41-22
 SHEET: 11 OF 20

HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5

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'C' FACTOR COMPUTATIONS			
STRUCTURE	AREA	'C'	IMPERVIOUS
I-101	0.14 Ac.	0.71	75%
I-102	0.36 Ac.	0.71	75%
I-103	0.14 Ac.	0.71	75%
I-104	0.21 Ac.	0.71	75%
I-105	0.10 Ac.	0.71	75%
I-106	0.12 Ac.	0.71	75%
I-107	0.15 Ac.	0.71	75%
I-108	0.22 Ac.	0.71	75%
I-109	0.28 Ac.	0.71	75%
I-110	0.24 Ac.	0.71	75%
I-111	0.35 Ac.	0.71	75%
I-112	0.16 Ac.	0.71	75%
I-113	0.21 Ac.	0.71	75%
I-114	0.40 Ac.	0.71	75%
I-115	0.22 Ac.	0.71	75%
I-116	0.56 Ac.	0.71	75%
I-117	0.26 Ac.	0.71	75%
I-118	0.24 Ac.	0.71	75%
I-119	0.21 Ac.	0.71	75%
I-120	0.14 Ac.	0.71	75%
I-121	0.16 Ac.	0.71	75%
I-122	0.20 Ac.	0.71	75%
I-123	0.14 Ac.	0.71	75%
I-124	0.24 Ac.	0.71	75%
I-125	0.28 Ac.	0.71	75%
I-126	0.15 Ac.	0.71	75%
I-127	0.22 Ac.	0.71	75%
I-128	0.10 Ac.	0.71	75%
I-129	0.18 Ac.	0.71	75%
I-130	0.08 Ac.	0.71	75%
I-131	0.10 Ac.	0.71	75%
I-132	0.11 Ac.	0.71	75%
D-101	0.12 Ac.	0.71	75%
D-102	0.11 Ac.	0.71	75%
D-103	0.12 Ac.	0.71	75%
D-104	0.13 Ac.	0.71	75%
D-105	0.10 Ac.	0.71	75%
D-106	0.04 Ac.	0.71	75%
D-107	0.08 Ac.	0.71	75%
D-108	0.13 Ac.	0.71	75%
D-109	0.15 Ac.	0.71	75%
D-110	0.07 Ac.	0.71	75%
D-111	0.08 Ac.	0.71	75%
D-112	0.23 Ac.	0.71	75%
D-113	0.05 Ac.	0.71	75%
D-114	0.32 Ac.	0.71	75%
D-115	0.18 Ac.	0.71	75%
S-101	0.61 Ac.	0.71	75%
S-102	0.51 Ac.	0.71	75%
I-2	1.0 Ac.	0.10	0%

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 5/19/10
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 5/20/10
 Chief, Division of Land Development Date

[Signature] 5/20/10
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSHILLE OFFICE PARK
 BURTONSHILLE, MARYLAND 20886
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
02/01/11	UPDATE PARCEL 10'S PER PLAT F-11-079	CLB	

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
 EXPIRATION DATE: MAY 26, 2012



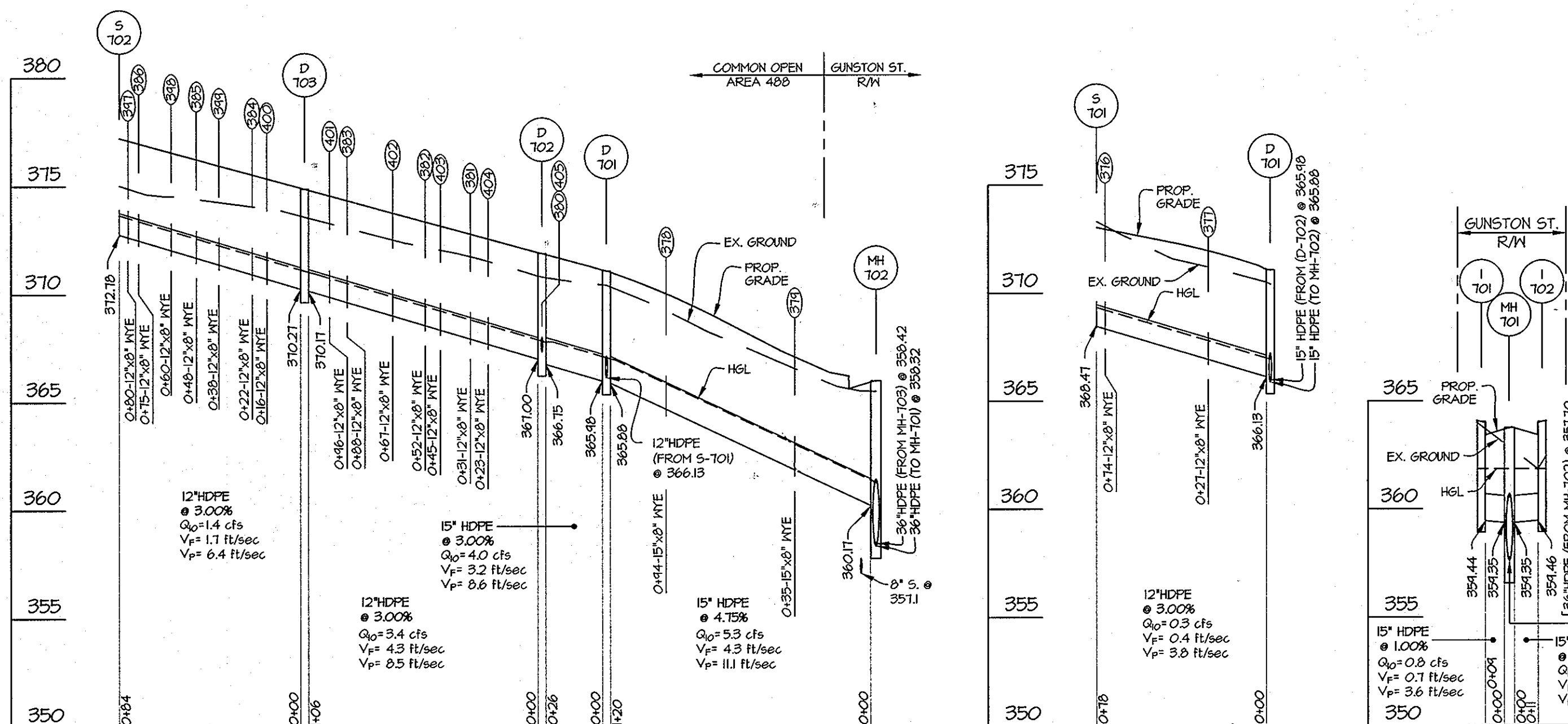
STORM DRAIN DRAINAGE AREA MAP
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-2 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

SCALE: 1"=50'
 ZONING: MXD-3
 G. L. W. FILE NO.: 07001

DATE: APRIL, 2010
 TAX MAP - GRID: 41-22
 SHEET: 12 OF 20

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

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YARD DRAIN SCHEDULE			
LOT NO.	INV. OF MAIN LINE	INV. 8" HDPE @ MAIN	INV. 8" HDPE @ PROP. LINE
(376)	360.35	360.52	360.65
(377)	366.43	367.04	367.22
(378)	364.64	364.94	365.07
(379)	361.84	362.13	362.26
(380)	---	367.34	367.44
(381)	367.43	368.10	368.23
(382)	360.56	360.72	360.85
(383)	364.63	364.80	364.93
(384)	370.94	371.11	371.24
(385)	371.71	371.88	372.01
(386)	372.51	372.67	372.80
(387)	366.91	367.20	367.33
(388)	360.20	360.44	360.57
(389)	364.27	364.43	364.56
(390)	370.26	370.43	370.56
(391)	371.25	371.41	371.54
(392)	372.55	372.72	372.85
(393)	---	374.31	374.41
(394)	374.70	374.95	375.00
(395)	375.77	375.94	376.07
(396)	376.95	377.12	377.25
(397)	372.66	372.82	372.95
(398)	372.06	372.22	372.35
(399)	371.40	371.56	371.64
(400)	370.14	370.30	370.35
(401)	364.00	370.04	370.17
(402)	364.01	364.17	364.30
(403)	360.35	360.51	360.64
(404)	367.64	367.85	367.98
(405)	---	367.34	367.44

STRUCTURE SCHEDULE													
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATIONS	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
I-101	A-10 INLET	3'-0"	364.17	363.91	---	---	354.44	---	---	HO. CO. D-4.02	N 541,251 E 1,341,860		
I-102	A-10 INLET	3'-0"	364.17	363.91	---	---	354.46	---	---	HO. CO. D-4.02	N 541,371 E 1,341,835		
I-103	A-10 INLET	3'-0"	360.90	360.64	---	---	363.84	---	---	HO. CO. D-4.02	N 541,200 E 1,341,757		
I-104	A-10 INLET	3'-0"	360.90	360.64	---	---	363.86	---	---	HO. CO. D-4.02	N 541,214 E 1,341,737		
I-105	A-10 INLET	3'-0"	364.40	364.20	---	---	365.14	---	---	HO. CO. D-4.02	N 540,945 E 1,341,532		
I-106	A-10 INLET	3'-0"	364.40	364.20	---	---	365.12	---	---	HO. CO. D-4.02	N 541,071 E 1,341,514		
D-101	SINGLE 5' INLET	2'-7"	371.10	371.07	---	---	366.13	365.88	---	HO. CO. D-4.22	N 541,251 E 1,341,701		
D-102	DOUBLE 5' INLET	2'-7-1/2"	371.43	371.85	---	---	367.00	366.75	---	HO. CO. D-4.23	N 541,332 E 1,341,805		
D-103	DOUBLE 5' INLET	2'-7-1/2"	374.92	374.84	---	---	370.27	370.17	---	HO. CO. D-4.23	N 541,268 E 1,341,546		
D-104	DOUBLE 5' INLET	2'-7-1/2"	372.50	372.36	---	---	367.67	367.42	---	HO. CO. D-4.23	N 541,028 E 1,341,571		
D-105	DOUBLE 5' INLET	2'-7-1/2"	378.62	378.55	---	---	373.98	373.88	---	HO. CO. D-4.23	N 541,400 E 1,341,668		
MH-101	STD. 5' MANHOLE	5'-0"	---	363.75	---	---	354.35	357.60	---	HO. CO. G-5.13	N 541,363 E 1,341,848		
MH-102	STD. 5' MANHOLE	5'-0"	---	365.96	---	---	360.17	358.32	---	HO. CO. G-5.13	N 541,284 E 1,341,805		
MH-103	STD. 5' MANHOLE	5'-0"	---	360.44	---	---	363.75	354.13	---	HO. CO. G-5.13	N 541,208 E 1,341,748		
MH-104	STD. 5' MANHOLE	5'-0"	---	370.54	---	---	354.96	354.86	---	HO. CO. G-5.13	N 541,145 E 1,341,688		
MH-105	STD. 5' MANHOLE	5'-0"	---	370.84	---	---	365.85	360.83	---	HO. CO. G-5.13	N 541,068 E 1,341,545		
MH-106	STD. 5' MANHOLE	5'-0"	---	364.01	---	---	365.03	361.61	---	HO. CO. G-5.13	N 541,007 E 1,341,523		
MH-107	STD. 5' MANHOLE	5'-0"	---	364.54	---	---	366.35	362.30	---	HO. CO. G-5.13	N 540,954 E 1,341,494		
MH-110	STD. 5' MANHOLE	5'-0"	---	373.48	---	---	364.64	365.67	---	HO. CO. G-5.13	N 540,841 E 1,341,384		

NOTE: ALL YARD DRAINS ARE 8" HDPE RUN @ 1.00% UNLESS OTHERWISE NOTED.

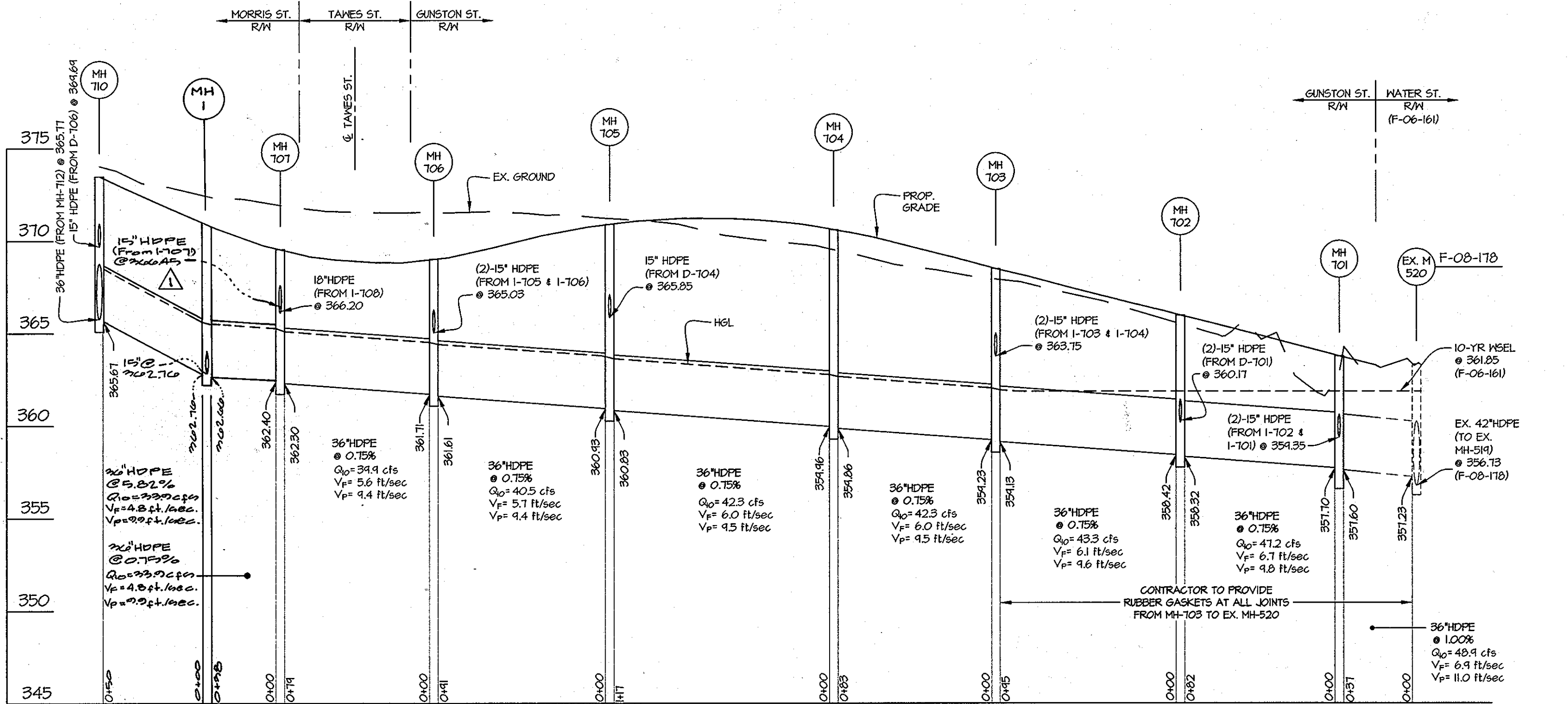
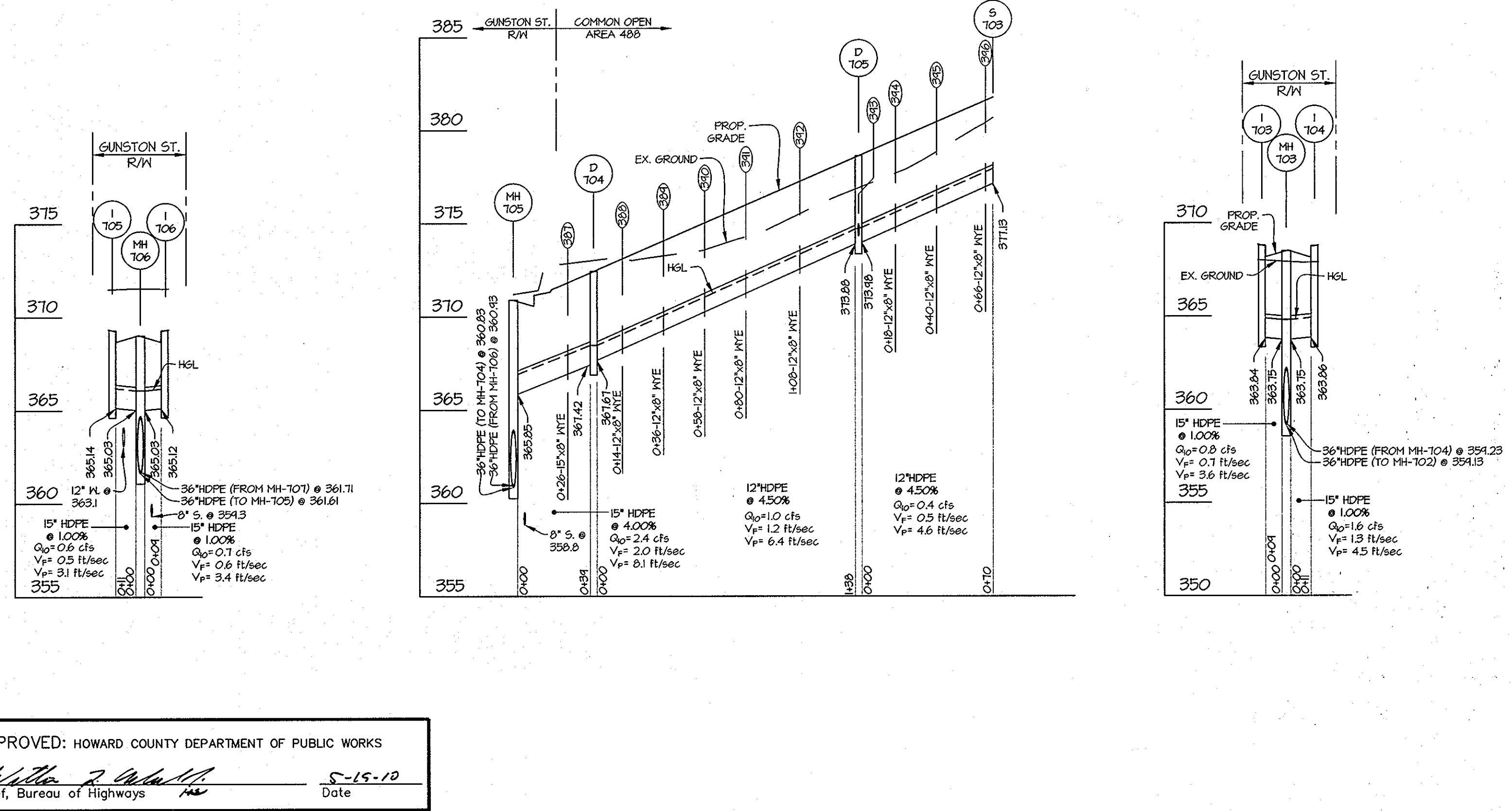
COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.

- NOTES:
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 - ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - Pre-caster shall verify Structure Schedule information to profiles prior to fabrication. In the event of a discrepancy, notify Gutschick, Little & Weber, P.A.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
8" (YARD DRAINS)	HDPE	340	
12"	HDPE	476	
15"	HDPE	245	
36"	HDPE	640	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hancox or an approved equal. Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and H.D.P.E."

PROFILE SCALES:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 5-15-10
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 5/23/10
 Chief, Division of Land Development

[Signature] 5/23/10
 Chief, Development Engineering Division

NO.	DATE	DESCRIPTION	BY	APP'R.
02/01/2011		Rev. To storm drain profile to reflect addition of MH 1		
8/24/11		UPDATE PARCEL 10'S PER PLAT 11-079		

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

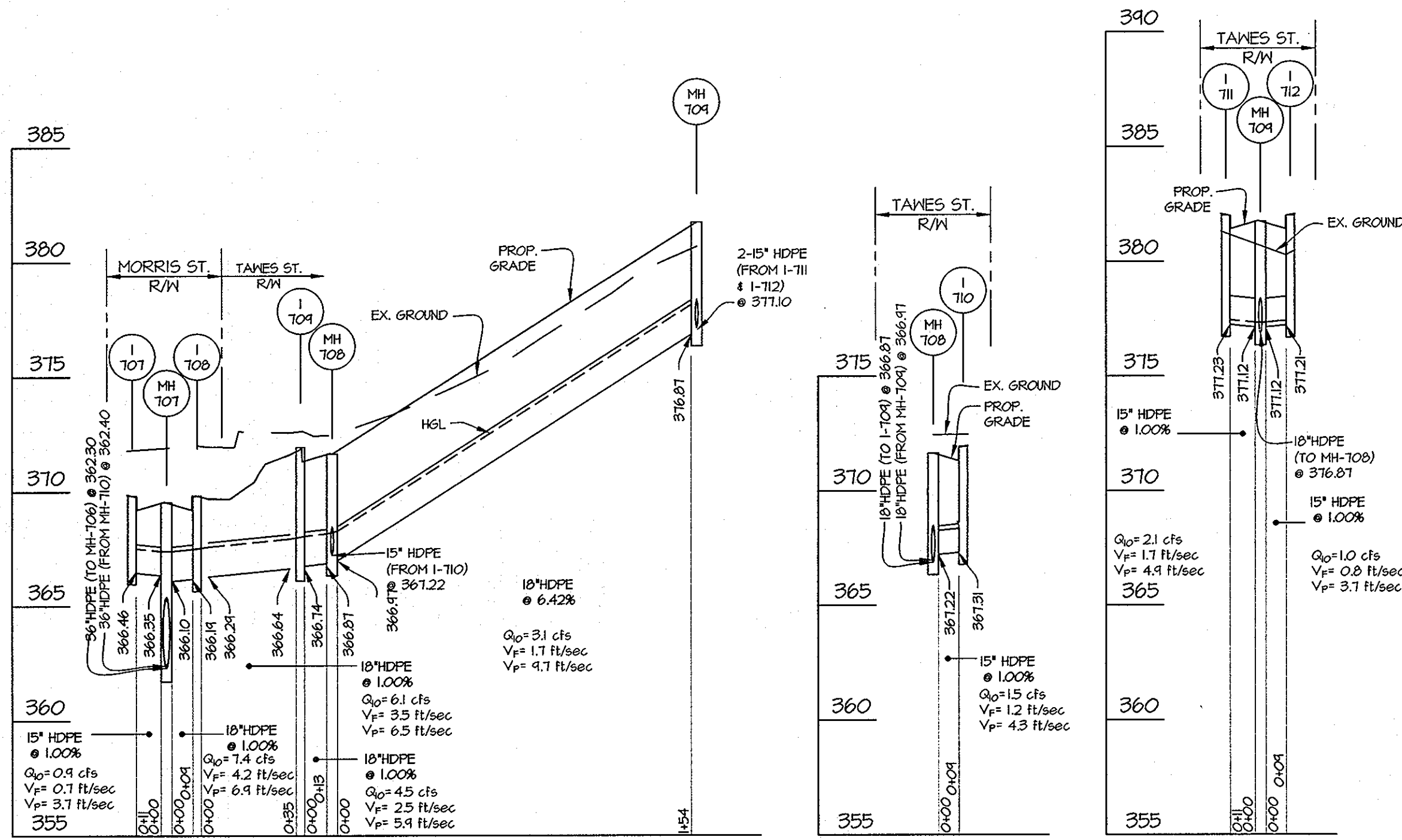
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
 EXPIRATION DATE: MAY 26, 2012



STORM DRAIN PROFILES
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-2 & D-3, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

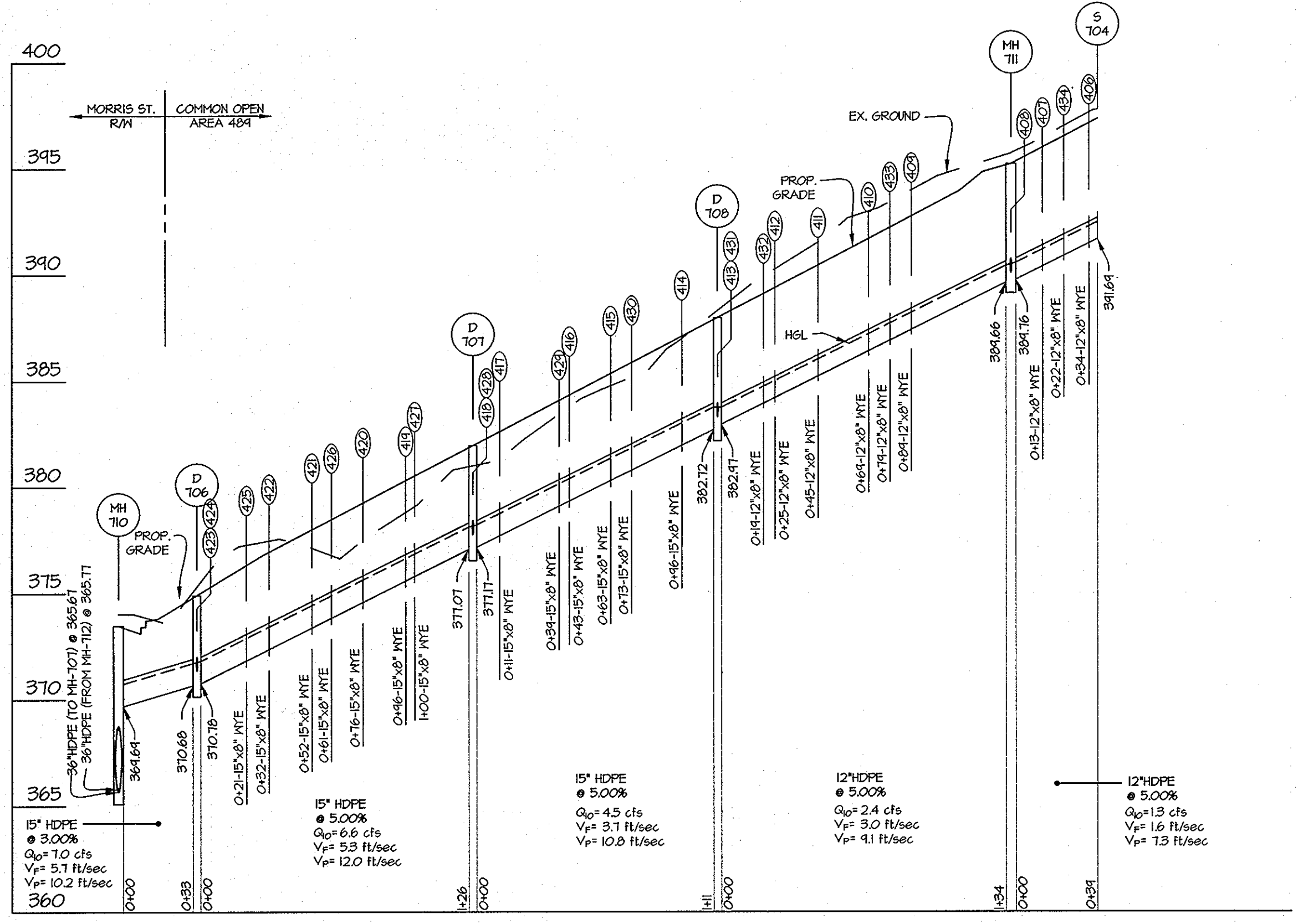
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	13 OF 20

L:\CAD\DRAWINGS\04001\07001\FINALS\07001SD-PROF13-16.dwg DES. A.M.L. DRN. T.W.L. CHK. DEV. DATE: 8/24/11
 PLOTTED: 4/23/2010 3:46 PM, LST: SAVD: 4/23/2010 3:46 PM, PLOTTED BY: Tony Kasper



LOT No.	YARD DRAIN SCHEDULE	
	INV. OF MAIN LINE	INV. OF PROP. LINE
406	341.47	341.64
407	340.34	340.55
408	---	340.10
409	387.43	387.54
410	386.43	386.54
411	385.24	385.40
412	384.23	384.34
413	---	383.31
414	381.98	382.27
415	380.31	380.60
416	379.34	379.63
417	377.10	377.94
418	---	377.16
419	375.54	375.80
420	374.54	374.81
421	373.34	373.68
422	372.38	372.67
423	---	371.37
424	---	371.37
425	371.85	372.14
426	373.85	374.14
427	375.80	376.04
428	---	371.16
429	379.10	379.34
430	380.80	381.04
431	---	383.31
432	383.96	384.12
433	386.98	387.04
434	390.00	391.03
435	391.61	391.40
436	391.86	390.15
437	398.08	398.31
438	---	399.23
439	399.44	399.74
440	400.54	400.83
441	401.56	401.85
442	402.47	403.14
443	404.42	404.54
444	403.13	403.90

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	REMARKS
			PROPOSED	AS-BUILT	PROPOSED	AS-BUILT			
I-107	A-10 INLET	3'-0"	370.02	369.64	---	366.46	HO. CO. D-4.02	N 540,942 E 1,414,691	
I-108	A-10 INLET	3'-0"	370.02	369.64	366.24	366.19	HO. CO. D-4.02	N 540,964 E 1,341,451	
I-109	C06-15 INLET	3'-0"	372.42	371.46	366.74	366.64	MD-374.62	N 541,006 E 1,341,454	
I-110	A-10 INLET	3'-0"	372.26	371.62	---	367.31	HO. CO. D-4.02	N 541,023 E 1,341,471	
I-111	A-10 INLET	3'-0"	382.32	381.68	---	371.23	HO. CO. D-4.02	N 541,136 E 1,341,363	
I-112	A-10 INLET	3'-0"	382.32	381.68	---	371.21	HO. CO. D-4.02	N 541,152 E 1,341,385	
I-131	A-10 INLET	3'-0"	348.53	348.13	---	343.44	HO. CO. D-4.02	N 541,352 E 1,341,084	
I-132	A-10 INLET	3'-0"	348.53	348.13	---	343.42	HO. CO. D-4.02	N 541,354 E 1,341,053	
D-106	DOUBLE 'S' INLET	2'-7-1/2"	375.41	375.24	370.78	370.68	HO. CO. D-4.23	N 540,922 E 1,341,363	
D-107	SINGLE 'S'	2'-7"	382.04	381.88	371.17	371.07	HO. CO. D-4.22	N 541,027 E 1,341,288	
D-108	DOUBLE 'S' INLET	2'-7-1/2"	388.06	387.90	382.97	382.72	HO. CO. D-4.23	N 541,121 E 1,341,222	
D-114	DOUBLE 'S' INLET	2'-7-1/2"	---	405.63	398.33	398.23	HO. CO. D-4.23	N 541,162 E 1,340,888	
D-115	SINGLE 'S'	2'-7"	407.16	407.08	402.17	401.82	HO. CO. D-4.22	N 541,111 E 1,340,836	
MH-108	STD. 4' MANHOLE	4'-0"	---	371.65	367.22	366.87	HO. CO. G-5.12	N 541,015 E 1,341,466	
MH-109	STD. 4' MANHOLE	4'-0"	---	381.74	377.12	376.87	HO. CO. G-5.12	N 541,144 E 1,341,375	
MH-110	STD. 5' MANHOLE	5'-0"	---	373.48	369.69	365.67	HO. CO. G-5.13	N 540,841 E 1,341,384	
MH-111	STD. 4' MANHOLE	4'-0"	---	395.22	390.10	389.66	HO. CO. G-5.12	N 541,233 E 1,341,142	
MH-128	STD. 4' MANHOLE	4'-0"	---	348.10	343.31	341.33	HO. CO. G-5.12	N 541,356 E 1,341,067	



PROFILE SCALES:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

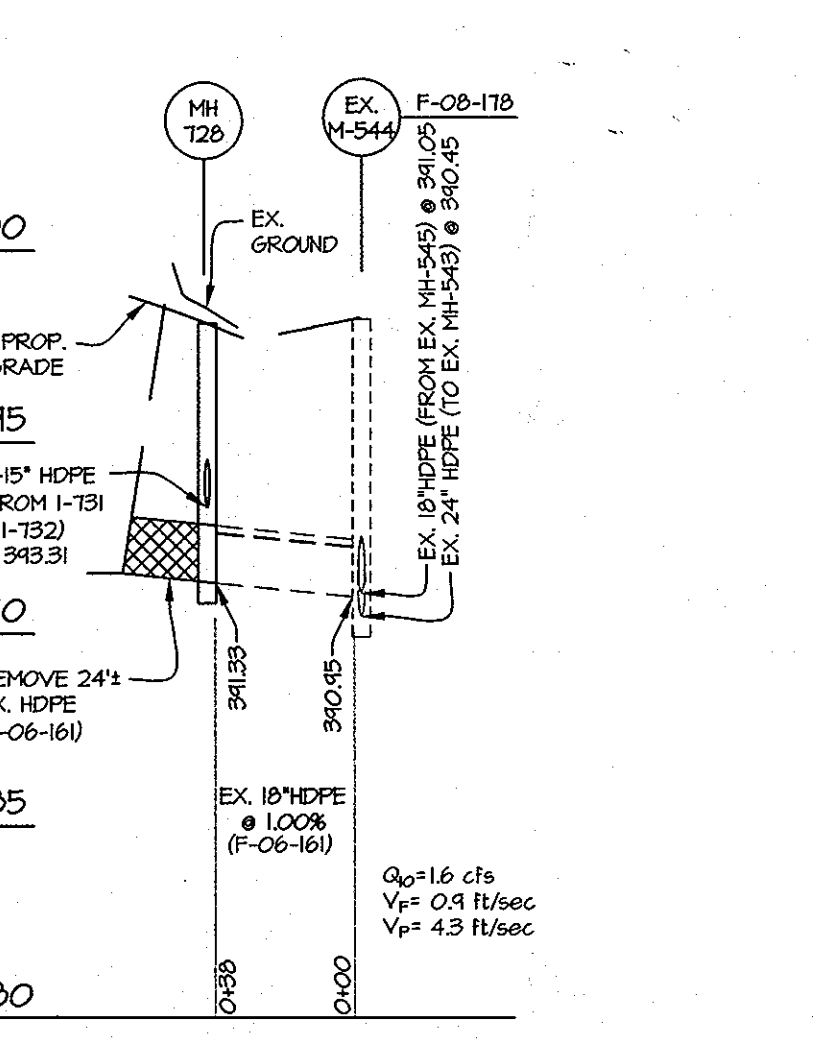
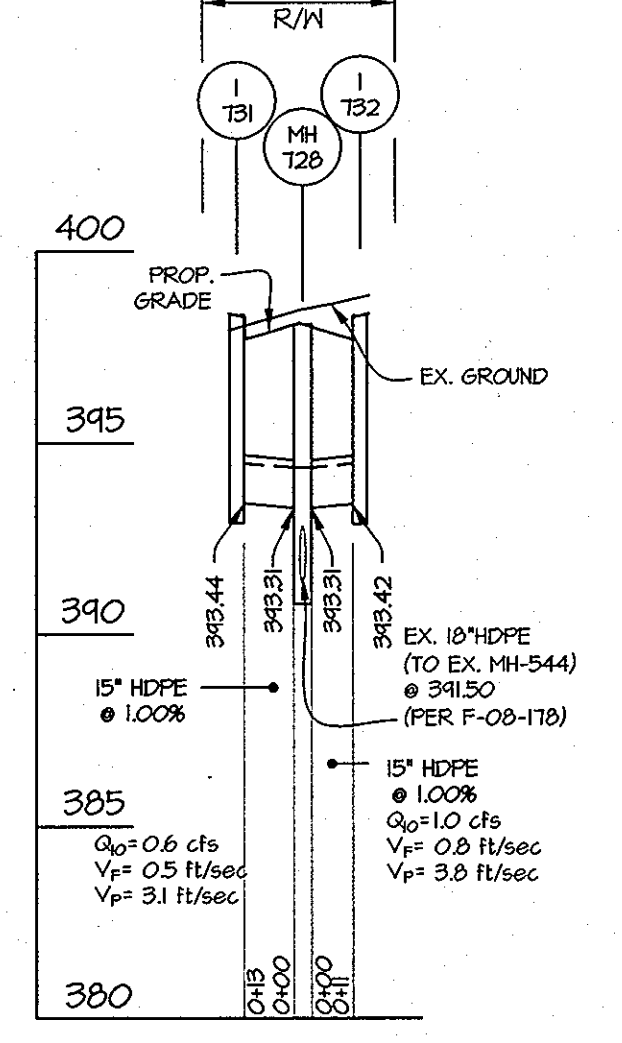
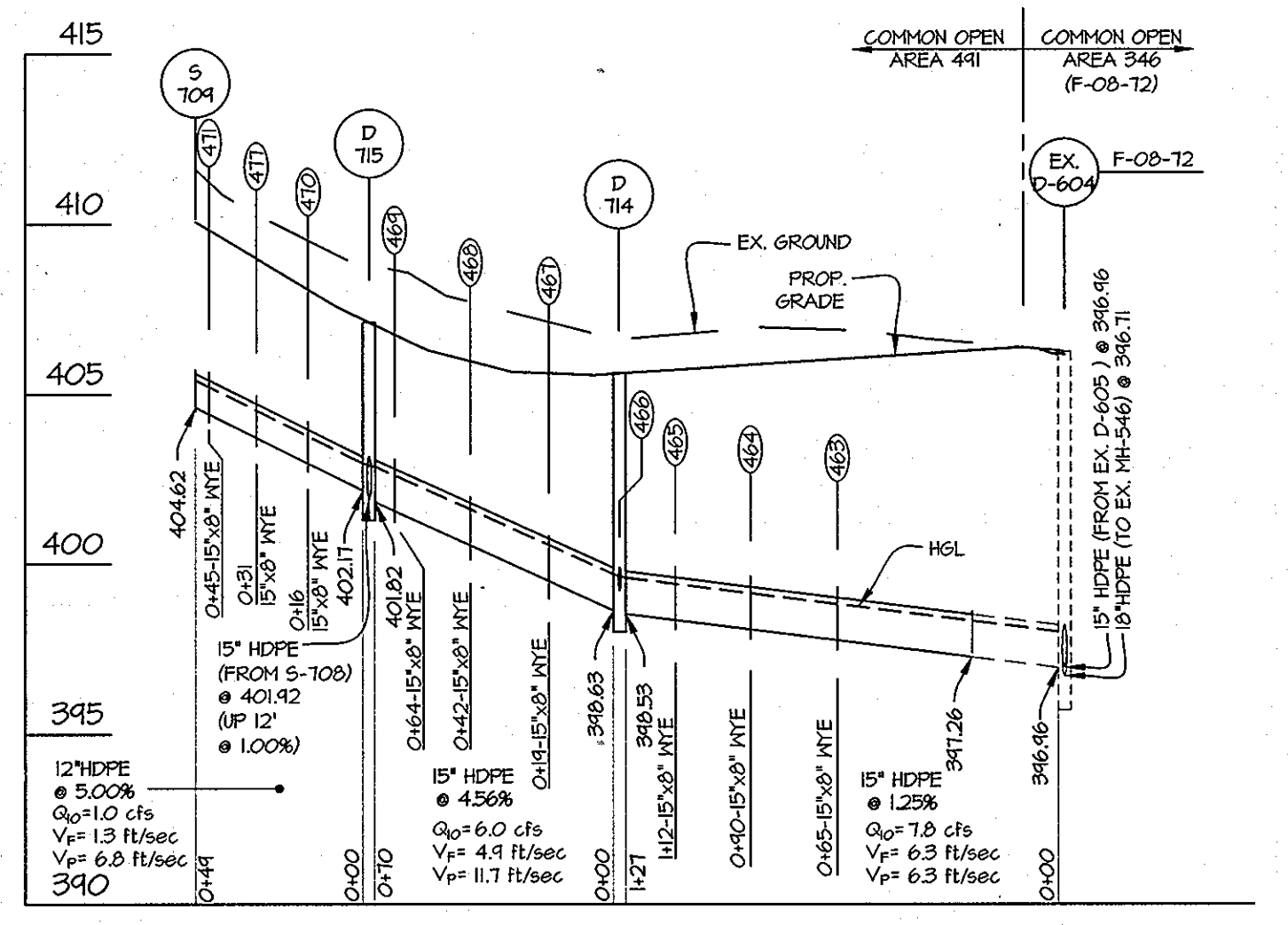
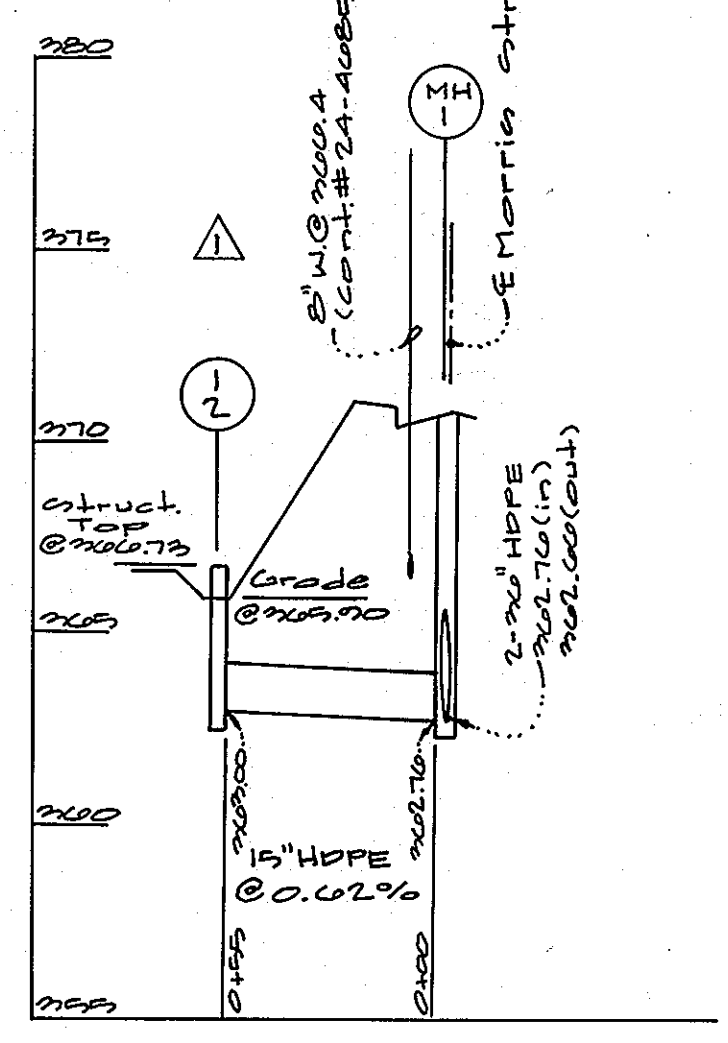
- COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
- NOTES:
1. ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4646-D
2. ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
3. Fabricator shall verify structure schedule information to profiles prior to fabrication. In the event of a discrepancy, notify Gutschick, Little & Weber, P.A.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (I.F.)	REMARKS
8" (YARD DRAINS)	HDPE	507	
12"	HDPE	222	
15"	HDPE	526	
18"	HDPE	211	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hanco or an approved equal.
Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and H.D.P.E."

Structure Number	Type	Width (Inside)	Top Elevation		Invert		Std. Detail	Location	Remarks
			Proposed	As-Built	Proposed	As-Built			
			Upper	Lower	Upper	Lower			
MH-1	Std. 5' Manhole	5'-0"	390.89	---	390.70	390.60	Ho. Co. G. 5.13	N 540,977.13 E 1,341,476.77	
I-1-2	'K' Type Inlet	3'-0"	390.73	---	390.00	---	Ho. Co. D 4.12	N 540,881.89 E 1,341,404.02	

Coordinate point given is to centerline of structure at the face of curb for inlets and to the center of structure for inlets and end sections. See structure schedule above for additional notes that may be applicable.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-15-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/27/10

Chief, Development Engineering Division
 Date: 5/27/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20838
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APP'R.
8/24/11	UPDATE PARCEL 10'S PER PLAT P 11-079	CLB	

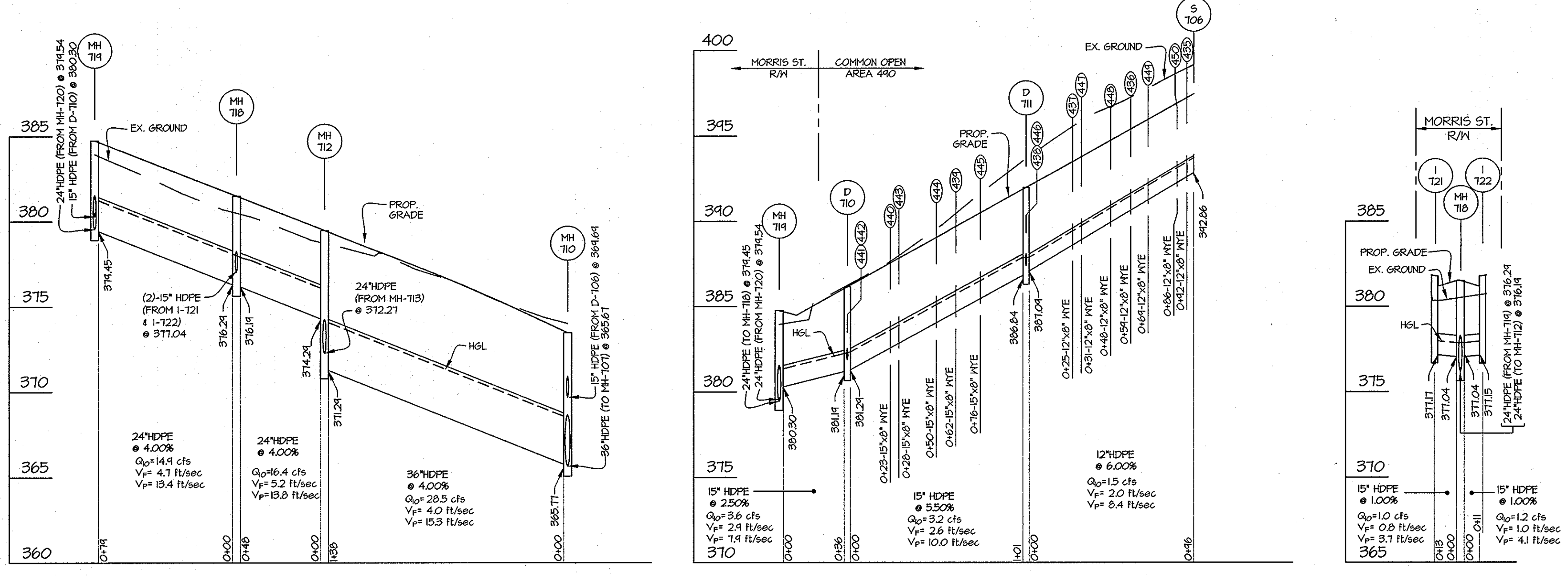
PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
 EXPIRATION DATE: MAY 28, 2012



STORM DRAIN PROFILES
 MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 \$111
 PARCELS D-2 & D-4; AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	14 OF 20



NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATIONS	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
I-713	A-10 INLET	3'-0"	380.74	380.34			---	373.72			HO. CO. D-4.02	N 540,818 E 1341,235	
I-714	COG-15 INLET	3'-0"	380.84	380.24			---	373.70			MD-374.62	N 540,840 E 1341,258	
I-715	A-10 INLET	3'-0"	340.17	384.51			---	384.46			HO. CO. D-4.02	N 540,938 E 1341,116	
I-716	COG-15 INLET	3'-0"	340.34	384.35			---	384.44			MD-374.62	N 540,961 E 1341,391	
I-717	A-10 INLET	3'-0"	400.81	400.36			---	345.41	345.11		HO. CO. D-4.02	N 541,042 E 1340,977	
I-718	A-10 INLET	3'-0"	400.81	400.36			---	345.64			HO. CO. D-4.02	N 541,064 E 1340,954	
I-719	A-10 INLET	3'-0"	348.44	348.44			---	344.12			HO. CO. D-4.02	N 541,120 E 1340,998	
I-720	A-10 INLET	3'-0"	348.44	348.44			---	344.12			HO. CO. D-4.02	N 541,113 E 1341,024	
I-721	A-10 INLET	3'-0"	381.60	381.60			---	371.17			HO. CO. D-4.02	N 540,756 E 1341,246	
I-722	A-10 INLET	3'-0"	381.98	381.60			---	371.15			HO. CO. D-4.02	N 540,777 E 1341,228	
D-704	DOUBLE 5' INLET	3'-0"	345.16	344.91			340.13	384.55			HO. CO. D-4.23	N 540,973 E 1341,046	
D-710	DOUBLE 5' INLET	3'-0"	386.31	386.00			381.88	381.14			HO. CO. D-4.23	N 540,743 E 1341,145	
D-711	DOUBLE 5' INLET	3'-0"	342.14	341.83			387.42	386.84			HO. CO. D-4.23	N 540,817 E 1341,071	
MH-710	STD. 5' MANHOLE	5'-0"	---	373.48			364.64	365.67			HO. CO. G-5.13	N 540,841 E 1341,384	
MH-712	STD. 5' MANHOLE	5'-0"	---	374.48			374.24	371.24			HO. CO. G-5.13	N 540,800 E 1341,276	
MH-713	STD. 4' MANHOLE	4'-0"	---	380.36			373.54	372.64			HO. CO. G-5.12	N 540,830 E 1341,247	
MH-714	STD. 4' MANHOLE	4'-0"	---	384.61			384.33	383.58			HO. CO. G-5.12	N 540,950 E 1341,228	
MH-715	STD. 4' MANHOLE	4'-0"	---	344.06			388.84	388.74			HO. CO. G-5.12	N 541,003 E 1341,076	
MH-716	STD. 4' MANHOLE	4'-0"	---	348.38			343.47	343.25			HO. CO. G-5.12	N 541,073 E 1341,007	
MH-717	STD. 4' MANHOLE	4'-0"	---	348.73			344.00	343.75			HO. CO. G-5.12	N 541,117 E 1341,014	
MH-718	STD. 4' MANHOLE	4'-0"	---	381.50			371.04	376.14			HO. CO. G-5.12	N 540,764 E 1341,236	
MH-719	STD. 4' MANHOLE	4'-0"	---	384.76			380.30	374.45			HO. CO. G-5.12	N 540,714 E 1341,172	

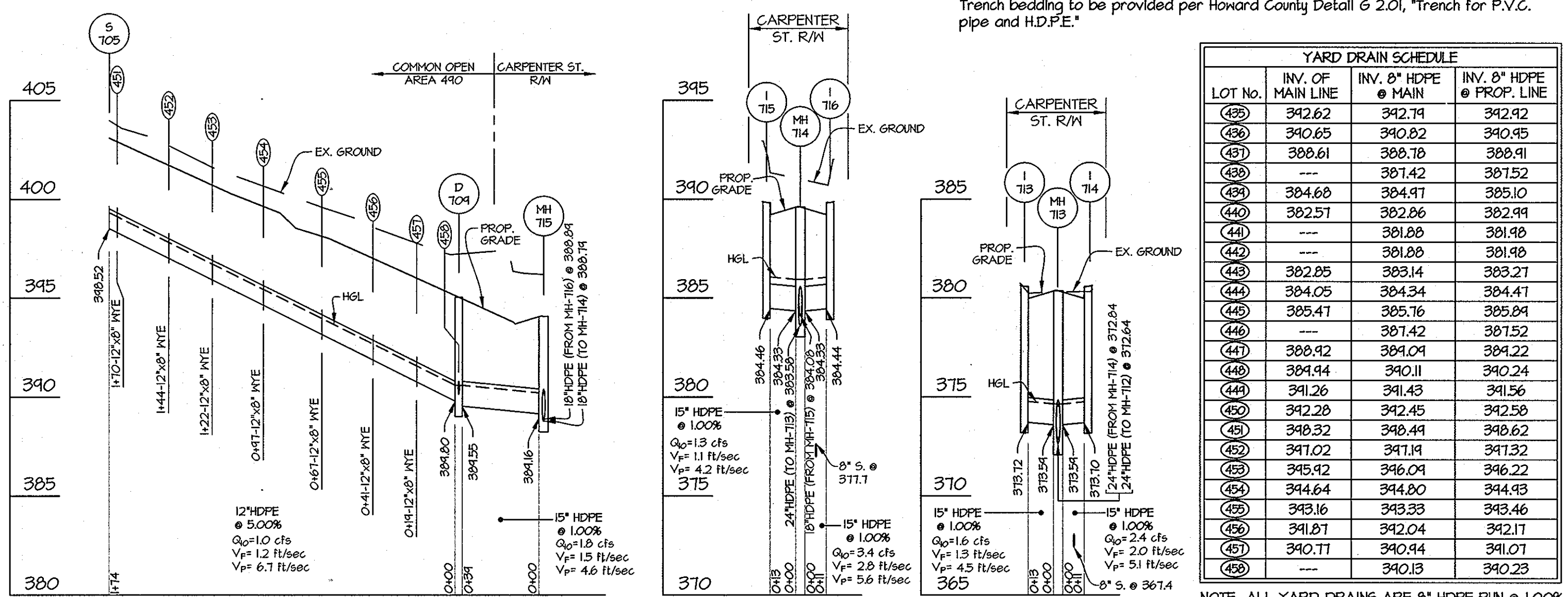
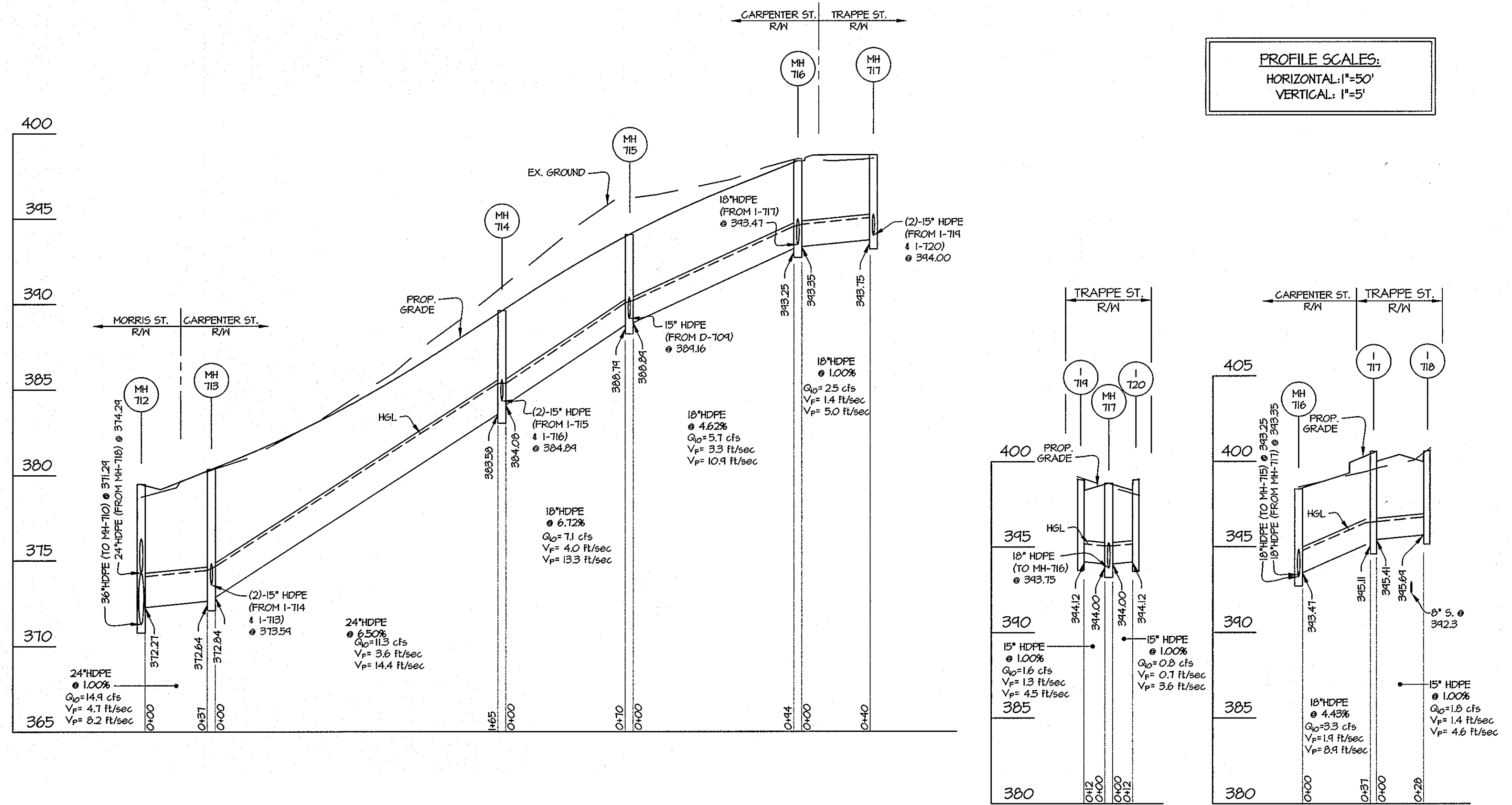
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- NOTES:
- ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4646-D
 - ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - Pre-caster shall verify structure schedule information to profiles prior to fabrication. In the event of a discrepancy, notify Gutschick, Little & Weber, P.A.

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
8" (YARD DRAINS)	HDPE	312	
12"	HDPE	270	
15"	HDPE	300	
18"	HDPE	241	
24"	HDPE	324	
36"	HDPE	138	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hancon or an approved equal. Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and H.D.P.E."

PROFILE SCALES:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'



LOT NO.	INV. OF MAIN LINE	INV. 8" HDPE @ MAIN	INV. 8" HDPE @ PROP. LINE
(428)	342.62	342.74	342.42
(429)	340.65	340.82	340.95
(431)	388.61	388.78	388.91
(438)	---	387.42	387.52
(434)	384.68	384.47	385.10
(440)	382.57	382.86	382.94
(441)	---	381.88	381.98
(442)	---	381.88	381.98
(443)	382.85	383.14	383.27
(444)	384.05	384.34	384.47
(445)	385.47	385.76	385.84
(446)	---	387.42	387.52
(447)	388.42	388.04	384.22
(448)	384.44	340.11	340.24
(444)	341.26	341.43	341.56
(450)	342.28	342.45	342.58
(451)	348.32	348.44	348.62
(452)	347.02	347.11	347.32
(453)	345.42	346.04	346.22
(454)	344.64	344.80	344.93
(455)	343.16	343.28	343.46
(456)	341.87	342.04	342.17
(457)	340.77	340.94	341.07
(458)	---	340.13	340.23

NOTE: ALL YARD DRAINS ARE 8" HDPE RUN @ 1.00% UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 With R. Chubb
 Chief, Bureau of Highways
 Date: 5-19-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Kurt Stalwood
 Chief, Division of Land Development
 Date: 5-21-10

Chief, Development Engineering Division
 Date: 5/21/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
8/24/11	UPDATE PARCEL 10'S PER PLAT P 11-079	CLB	

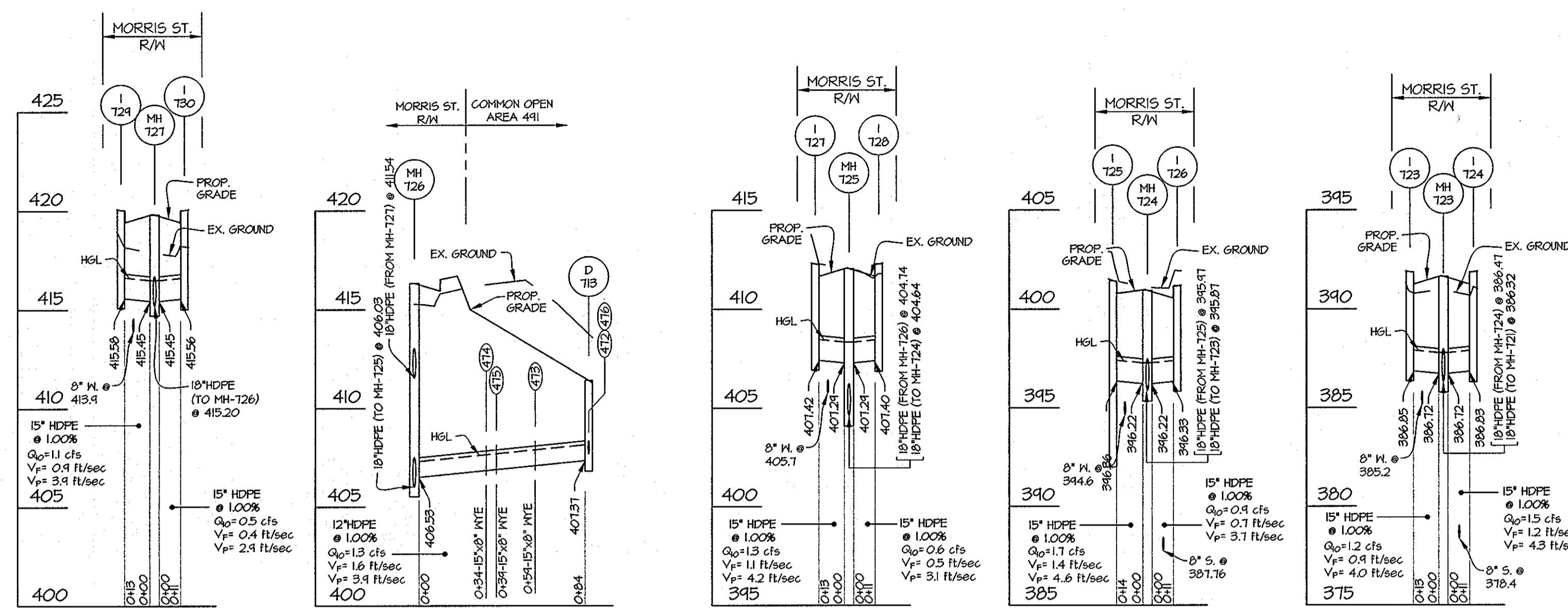
PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 28, 2012

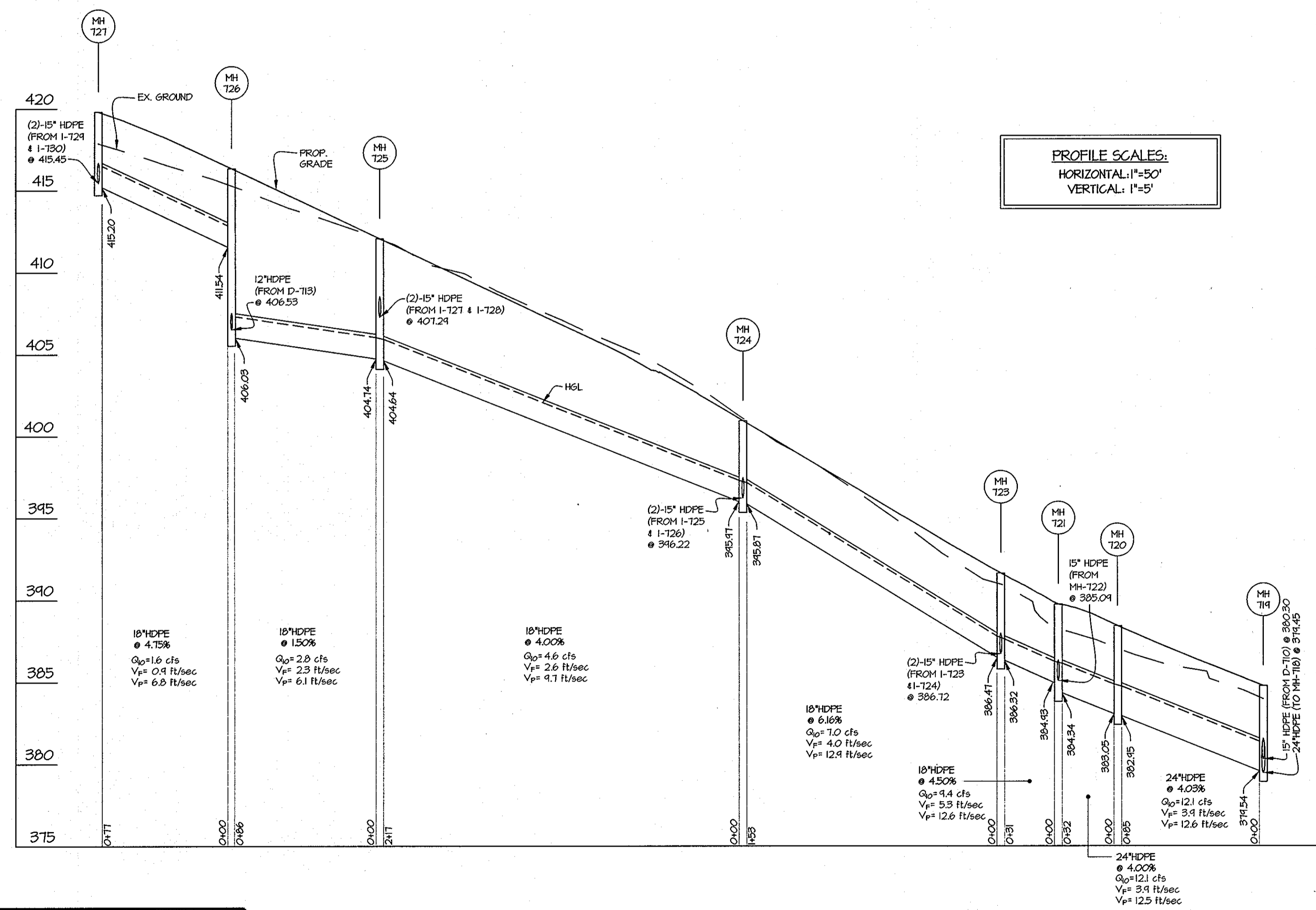
STORM DRAIN PROFILES
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 493, 496 & 511
 PARCELS D-2 & D-3, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 AND 474

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	15 OF 20

L:\CAD\DRAWINGS\04001\07001\YPLANS\07001SD-PROF13-16.dwg
 PLOTTED: 4/23/2010 3:44 PM, LAST SAVED: 2/24/2010 12:47 PM, PLOTTED BY: Tony Longoria



NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATIONS	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
I-123	A-10 INLET	3'-0"	392.07	391.67					386.85		HO. CO. D-4.02	N 540,654 E 1,341,038	
I-124	A-10 INLET	3'-0"	392.07	391.67					386.83		HO. CO. D-4.02	N 540,674 E 1,341,058	
I-125	A-10 INLET	3'-0"	401.71	401.11					396.36		HO. CO. D-4.02	N 540,766 E 1,340,928	
I-126	A-10 INLET	3'-0"	401.49	400.89					396.33		HO. CO. D-4.02	N 540,785 E 1,340,948	
I-127	A-10 INLET	3'-0"	412.67	412.19					407.42		HO. CO. D-4.02	N 540,923 E 1,340,774	
I-128	A-10 INLET	3'-0"	412.67	412.19					407.40		HO. CO. D-4.02	N 540,943 E 1,340,794	
I-129	A-10 INLET	3'-0"	420.28	419.80					415.58		HO. CO. D-4.02	N 541,045 E 1,340,654	
I-130	A-10 INLET	3'-0"	420.28	419.80					415.56		HO. CO. D-4.02	N 541,065 E 1,340,674	
D-112	DOUBLE 8" INLET	2'-1-1/2"	391.31	391.01					387.13	386.44	HO. CO. D-4.23	N 540,581 E 1,340,971	
D-118	DOUBLE 8" INLET	2'-1-1/2"	411.57	411.27					407.61	407.37	HO. CO. D-4.23	N 541,059 E 1,340,784	
MH-119	STD. 4" MANHOLE	4'-0"		384.76					380.30	379.45	HO. CO. G-5.12	N 540,714 E 1,341,172	
MH-120	STD. 4" MANHOLE	4'-0"		388.44					383.05	382.45	HO. CO. G-5.12	N 540,656 E 1,341,005	
MH-121	STD. 4" MANHOLE	4'-0"		389.75					385.09	384.34	HO. CO. G-5.12	N 540,640 E 1,341,078	
MH-122	STD. 4" MANHOLE	4'-0"		390.12					386.29	386.19	HO. CO. G-5.12	N 540,568 E 1,340,985	
MH-123	STD. 4" MANHOLE	4'-0"		391.64					386.72	386.32	HO. CO. G-5.12	N 540,664 E 1,341,049	
MH-124	STD. 4" MANHOLE	4'-0"		400.94					396.22	395.87	HO. CO. G-5.12	N 540,776 E 1,340,939	
MH-125	STD. 4" MANHOLE	4'-0"		412.06					407.29	404.64	HO. CO. G-5.12	N 540,934 E 1,340,784	
MH-126	STD. 4" MANHOLE	4'-0"		416.34					411.54	406.03	HO. CO. G-5.12	N 540,998 E 1,340,721	
MH-127	STD. 4" MANHOLE	4'-0"		419.81					415.45	415.20	HO. CO. G-5.12	N 541,055 E 1,340,665	

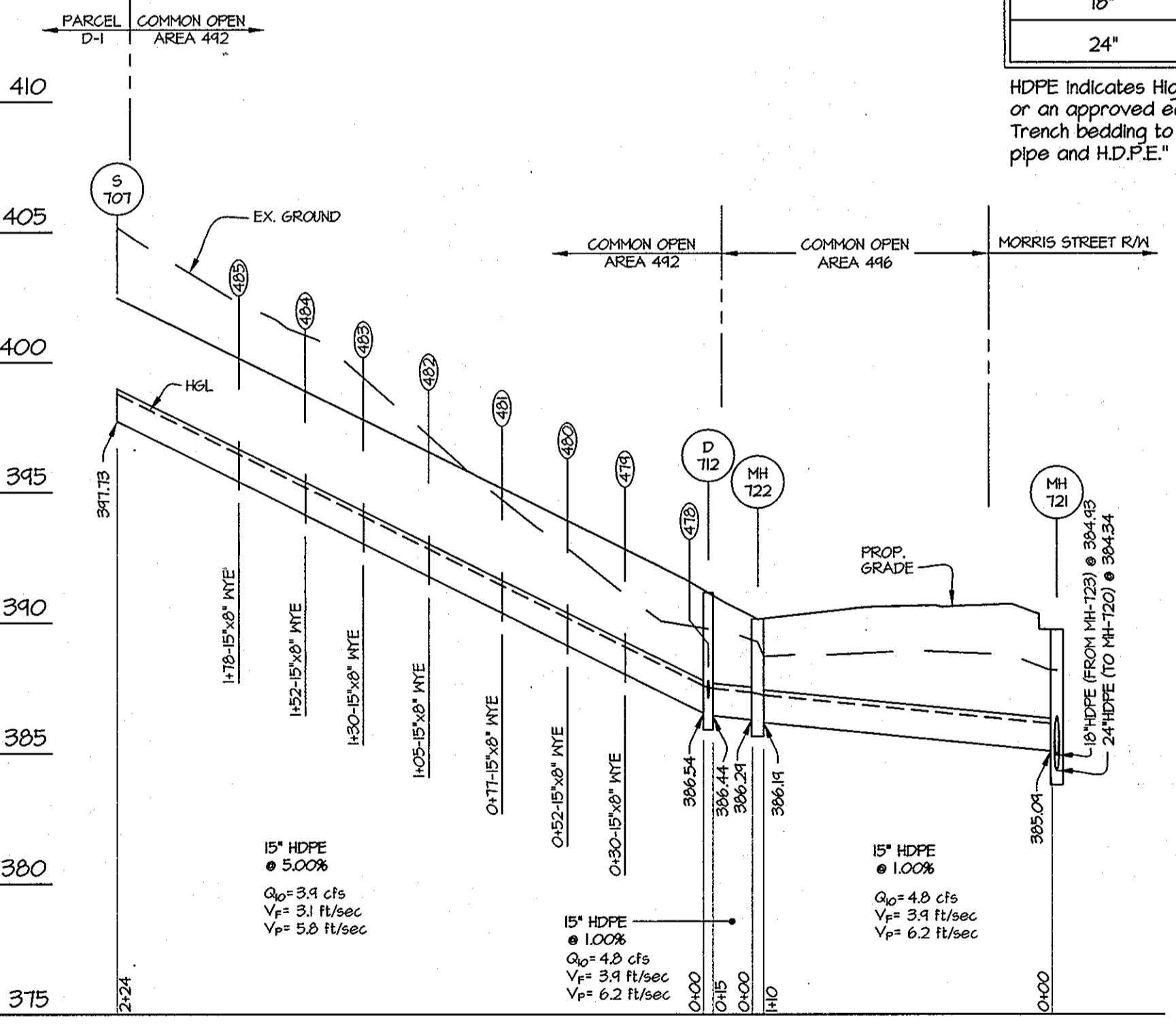


COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.

- NOTES:
- ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT; 24-4646-D
 - ALL STORM DRAINS IN COMMON OPEN AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - Freezeater shall verify Structure Schedule information to profiles prior to fabrication. In the event of a discrepancy, notify Gutschick, Little & Weber, P.A.

PIPE SCHEDULE			REMARKS
SIZE	TYPE	QUANTITY (LF)	
8" (YARD DRAINS)	HDPE	169	
12"	HDPE	84	
15"	HDPE	445	
18"	HDPE	564	
24"	HDPE	117	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hanco or an approved equal. Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and HDPE."



YARD DRAIN SCHEDULE			
LOT No.	INV. OF MAIN LINE	INV. 8" HDPE @ MAIN	INV. 8" HDPE @ PROP. LINE
478	---	387.13	387.23
479	388.04	388.33	388.46
480	389.14	389.43	389.56
481	390.39	390.68	390.81
482	391.79	392.08	392.21
483	393.04	393.33	393.46
484	394.14	394.43	394.56
485	395.42	395.71	395.84
472	---	407.10	407.80
473	407.12	407.28	407.41
474	406.87	407.04	407.17
475	406.91	407.08	407.21
476	---	407.10	407.80

NOTE: ALL YARD DRAINS ARE 8" HDPE RUN @ 1.00% UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-19-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/21/10

Chief, Development Engineering Division
 Date: 5/27/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
8/24/11	UPDATE PARCEL 10'S PER PLAT F 11-079	CLB	

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
 EXPIRATION DATE: MAY 26, 2012



STORM DRAIN PROFILES
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511
 PARCELS D-2 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

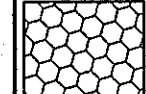


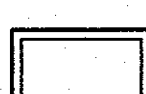

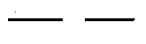
ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	16 OF 20

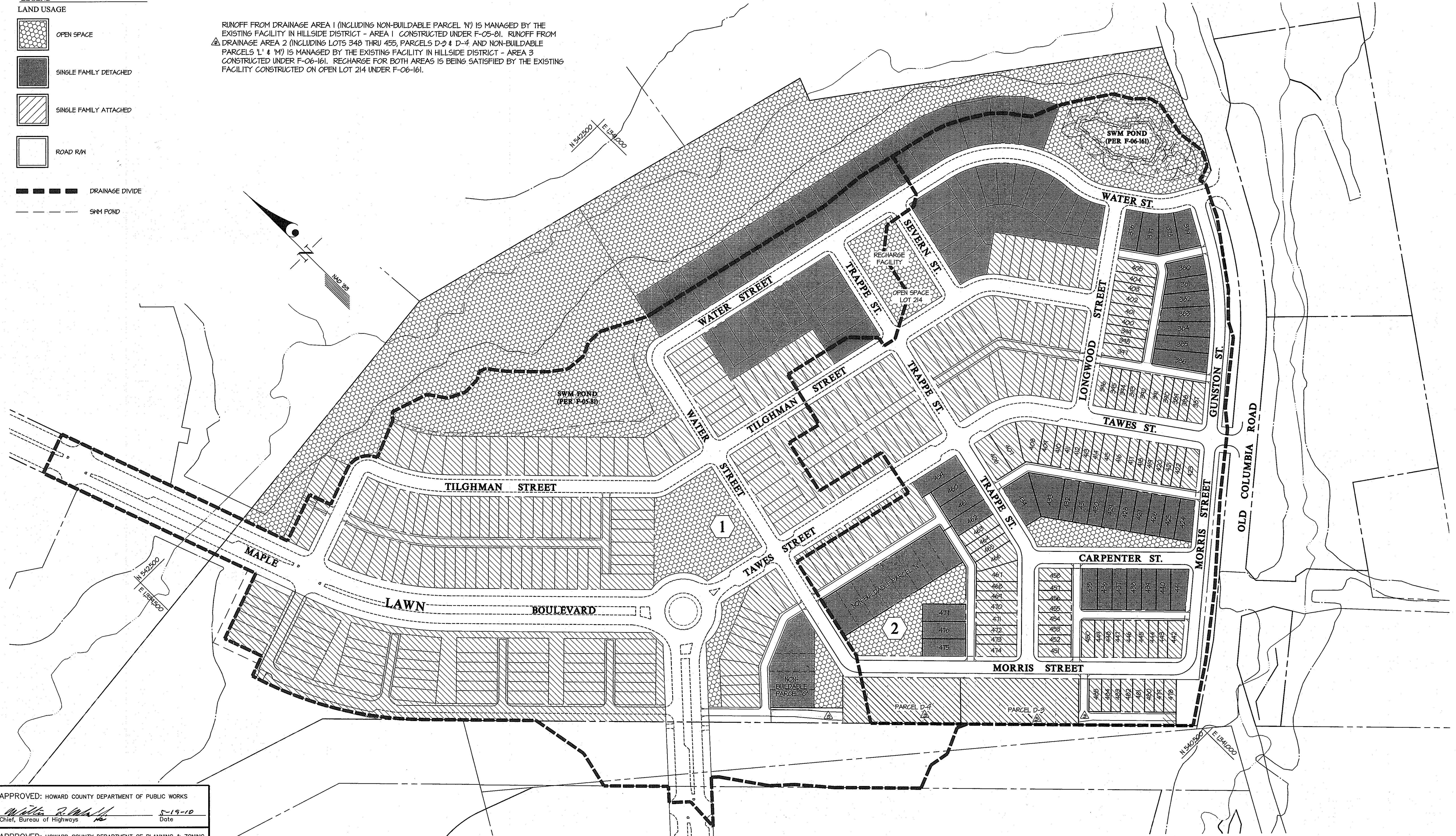
L:\CAD\DRAWINGS\04001\07001\PLANS\07001SD-PROF13-16.dwg PLOTTED: 4/23/2010 3:42 PM, LAST SAVED: 2/24/2010 12:47 PM, PLOTTED BY: Tony Longtin

LEGEND

LAND USAGE

-  OPEN SPACE
-  SINGLE FAMILY DETACHED
-  SINGLE FAMILY ATTACHED
-  ROAD R/W
-  DRAINAGE DIVIDE
-  SWM POND

RUNOFF FROM DRAINAGE AREA 1 (INCLUDING NON-BUILDABLE PARCEL 'N') IS MANAGED BY THE EXISTING FACILITY IN HILLSIDE DISTRICT - AREA 1 CONSTRUCTED UNDER F-05-01. RUNOFF FROM DRAINAGE AREA 2 (INCLUDING LOTS 340 THRU 455, PARCELS D-2 & D-4 AND NON-BUILDABLE PARCELS 'L' & 'M') IS MANAGED BY THE EXISTING FACILITY IN HILLSIDE DISTRICT - AREA 3 CONSTRUCTED UNDER F-06-161. RECHARGE FOR BOTH AREAS IS BEING SATISFIED BY THE EXISTING FACILITY CONSTRUCTED ON OPEN LOT 214 UNDER F-06-161.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William R. Kelly 5-19-10
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Kent Sheeloch 5/27/10
 Chief, Division of Land Development Date

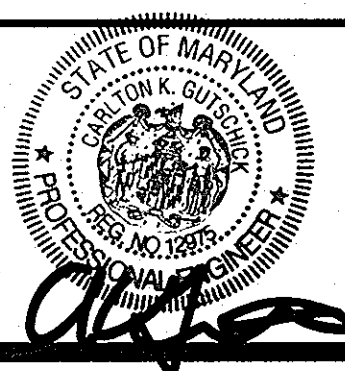
Mark Bennett 5/27/10
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
8/24/11	UPDATE PARCEL 10'S PER PLAT F 11-079 B	CLB	

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

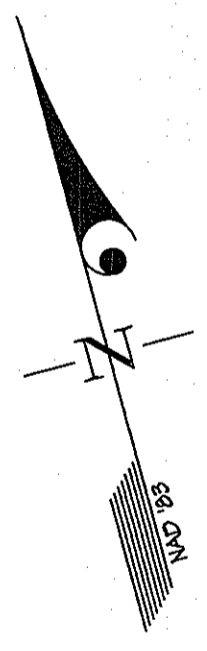
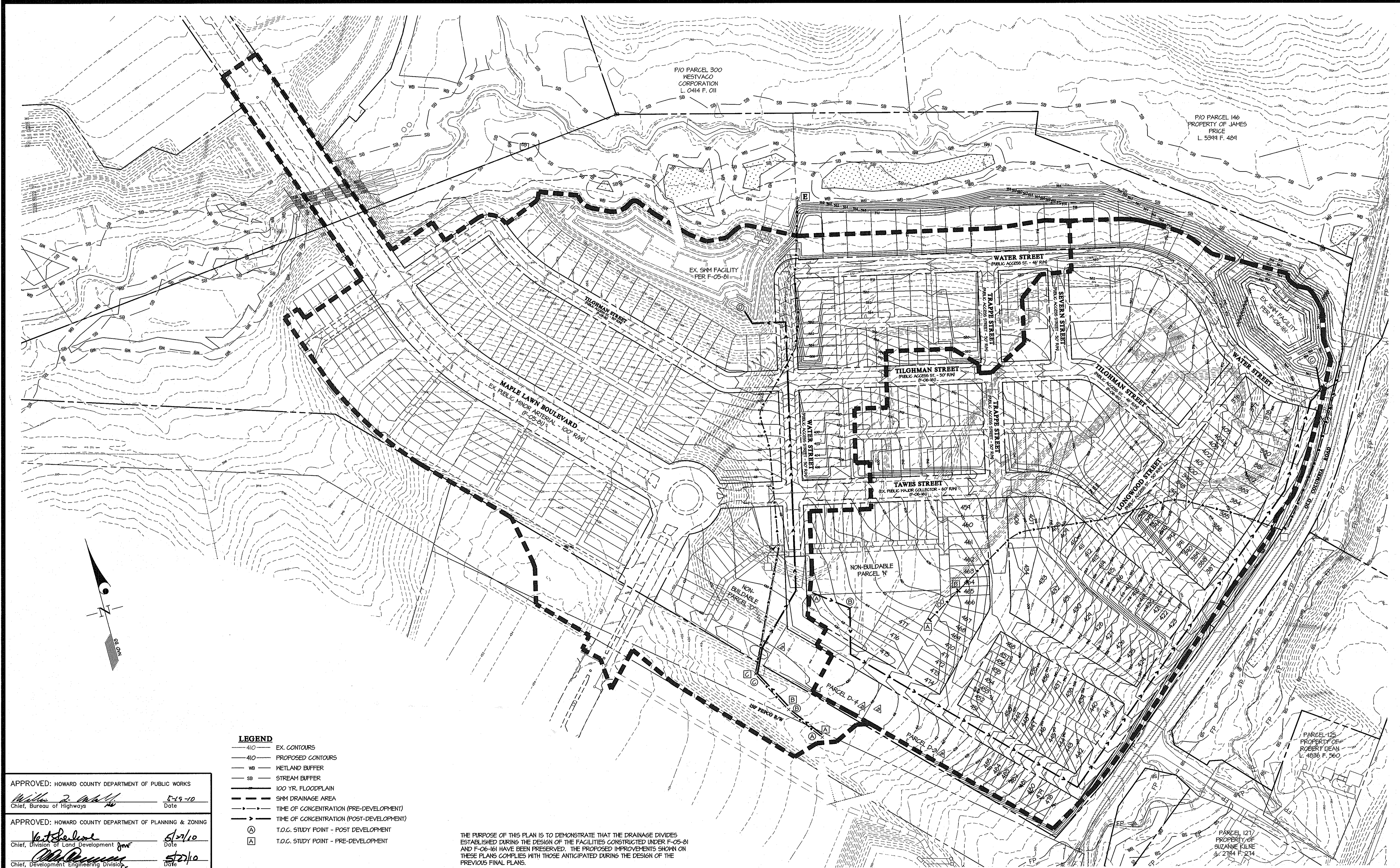
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2017



THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THAT THE DRAINAGE DIVIDES ESTABLISHED DURING THE DESIGN OF THE FACILITIES CONSTRUCTED UNDER F 05-01 AND F 06-61 HAVE BEEN PRESERVED. THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS COMPLIES WITH THOSE ANTICIPATED DURING THE DESIGN OF THE PREVIOUS FINAL PLANS.

LAND USE FOR DRAINAGE AREA MAP		SCALE	ZONING	G. L. W. FILE No.
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 495, 496 & 511 PARCELS D-2 & D-4 AND NON-BUILDABLE BULK PARCELS 'N' AND 'O' TAX MAP 41 PARCELS 129 AND 474		1" = 100'	MXD-3	07001
		DATE	TAX MAP - GRID	SHEET
ELECTION DISTRICT No. 5		APRIL, 2010	41-22	17 OF 20
		HOWARD COUNTY, MARYLAND		

L:\CAD\DRAWINGS\04001\07001\FINALS\07001 Land Use.dwg DES. DEV DRN. AWL CHK. DEV 8/24/11 UPDATE PARCEL 10'S PER PLAT F 11-079 B



- LEGEND**
- 410 EX. CONTOURS
 - 410 PROPOSED CONTOURS
 - WB WETLAND BUFFER
 - SB STREAM BUFFER
 - 100 YR. FLOODPLAIN
 - 5M DRAINAGE AREA
 - TIME OF CONCENTRATION (PRE-DEVELOPMENT)
 - TIME OF CONCENTRATION (POST-DEVELOPMENT)
 - (A) T.O.C. STUDY POINT - POST DEVELOPMENT
 - (B) T.O.C. STUDY POINT - PRE-DEVELOPMENT

THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THAT THE DRAINAGE DIVIDES ESTABLISHED DURING THE DESIGN OF THE FACILITIES CONSTRUCTED UNDER F-05-01 AND F-06-161 HAVE BEEN PRESERVED. THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS COMPLY WITH THOSE ANTICIPATED DURING THE DESIGN OF THE PREVIOUS FINAL PLANS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William P. Webb 5/29/10
 Chief, Bureau of Highways Date

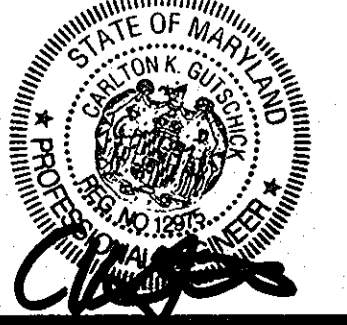
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Robert Deane 5/27/10
 Chief, Division of Land Development Date

Michael J. ... 5/27/10
 Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: MARK BENNETT
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12972, EXPIRATION DATE: MAY 26, 2012



STORMWATER MANAGEMENT DRAINAGE AREA MAP

MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 408, 400 & 511
 PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 100'	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	18 OF 20

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PLANT LIST					
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
SHADE TREES					
AR	8	Acer rubrum 'Autumn Flame'	2 1/2-3' Cal.	B4B	
OP	1	Acer rubrum 'Autumn Flame'	2 1/2-3' Cal.	B4B	
EVERGREEN TREES					
PS	24	Pinus strobus	6'-8' Ht.	B4B	
PO	24	Picea omorika	6'-8' Ht.	B4B	
ORNAMENTAL TREES					
CC	10	Cercis canadensis	2-2 1/2' Cal.	B4B	
CK	10	Cornus Kousa 'National'	2-2 1/2' Cal.	B4B	



- NOTES:**
- SEE SHEET 8 FOR STREET TREE REQUIREMENTS AND QUANTITIES.
 - INTERNAL PLANTING, PARKING LOT LANDSCAPING AND STORMWATER MANAGEMENT BUFFERING WILL BE PROVIDED WITH THE SITE DEVELOPMENT PLANS.
 - THE BUFFERS SHOWN IN THE SCHEDULES ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL, ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA, THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED:
 - ALONG A PERIMETER EDGE:
 - SHADE TREE: 1.00 LINEAR FEET OF MEASURED PERIMETER EDGE AND
 - SMALL ORNAMENTAL DECIDUOUS TREE: 1.60 LINEAR FEET OF MEASURED PERIMETER EDGE AND
 - EVERGREEN TREE: 1.20 LINEAR FEET OF MEASURED PERIMETER EDGE.
 - AFFORESTATION PLANTING SIZE SHALL BE LARGE ENOUGH TO MEET THE LANDSCAPE BUFFERING REQUIREMENT ALONG EXTERNAL PERIMETERS WHERE APPLICABLE.

Projected Bond Requirement - Surety for Schedule A:

Schedule 'A' Number of Shade Trees for bonding:	15 x \$300 =	\$ 4,500.00
Schedule 'A' Number of Evergreen and Ornamental Trees for bonding:	78 x \$150 =	\$ 11,700.00
Schedule 'A' Number of Shrubs for bonding:	0 x \$150 =	\$ 0.00
TOTAL:		\$ 16,200.00

COMMENTS:

BUILDING TYPE	FRONT YARD		SIDE AND REAR YARD	
	SHADE TREES	SHRUBS	SHADE TREES	SHRUBS
SINGLE FAMILY ATTACHED	NONE REQUIRED	1/4' OF LOT WIDTH AT BRL	NONE REQUIRED	NONE REQUIRED
COTTAGE	NONE REQUIRED	1/4' OF LOT WIDTH AT BRL	1 PER LOT	NONE REQUIRED

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-15-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/27/10

Chief, Development Engineering Division
 Date: 5/27/10

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual and the MLF Landscape Design Criteria. I/We further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Date: 4-27-10
 Developer's/Owner's Name: [Signature]

RESIDENTIAL LOT LINE	LENGTH OF SIDE PERIMETER	BUFFER REQUIRED	NUMBER OF PLANTS REQUIRED			HOW LANDSCAPING WILL BE PROVIDED
			*SHADE TREES	EVERGREEN TREES	**SHRUBS	
R-1	42'	PER MAPLE LAWN		PER RESIDENTIAL LOT		
R-2	40'	LANDSCAPE DESIGN		INTERNAL LANDSCAPING		
R-3	45'	CRITERIA		CRITERIA		
R-4	45'					
R-5	100'					
R-6	45'					
R-7	96'					
R-8	102'					
R-9	46'					
R-10	80'					
R-11	76'					
R-12	76'					
R-13	114'					
R-14	45'					
R-15	100'					
R-16	100'					

PERIMETER	LAND USE	ADJACENT LAND USE	TYPE OF BUFFER	LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	NUMBER OF PLANTS REQUIRED			HOW REQUIRED BUFFER IS BEING PROVIDED
							SHADE TREES	ORNAMENTAL TREES	EVERGREEN TREES	
PERIMETER A	COMMON OPEN AREA	ROADWAY	'B' Buffer *	630'	NO	NO	0	11	32	SEE THIS PLAN
PERIMETER B	COMMON OPEN AREA	ROADWAY	'B' Buffer *	511'	NO	NO	7	9	26	SEE THIS PLAN

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 200 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20986
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
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 1829 REISTERSTOWN ROAD
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 ATTN: MARK BENNETT
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 EXPIRATION DATE: MAY 26, 2012

FINAL LANDSCAPE PLAN, NOTES AND DETAILS
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 493, 496 & 511
 PARCELS D-3 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474

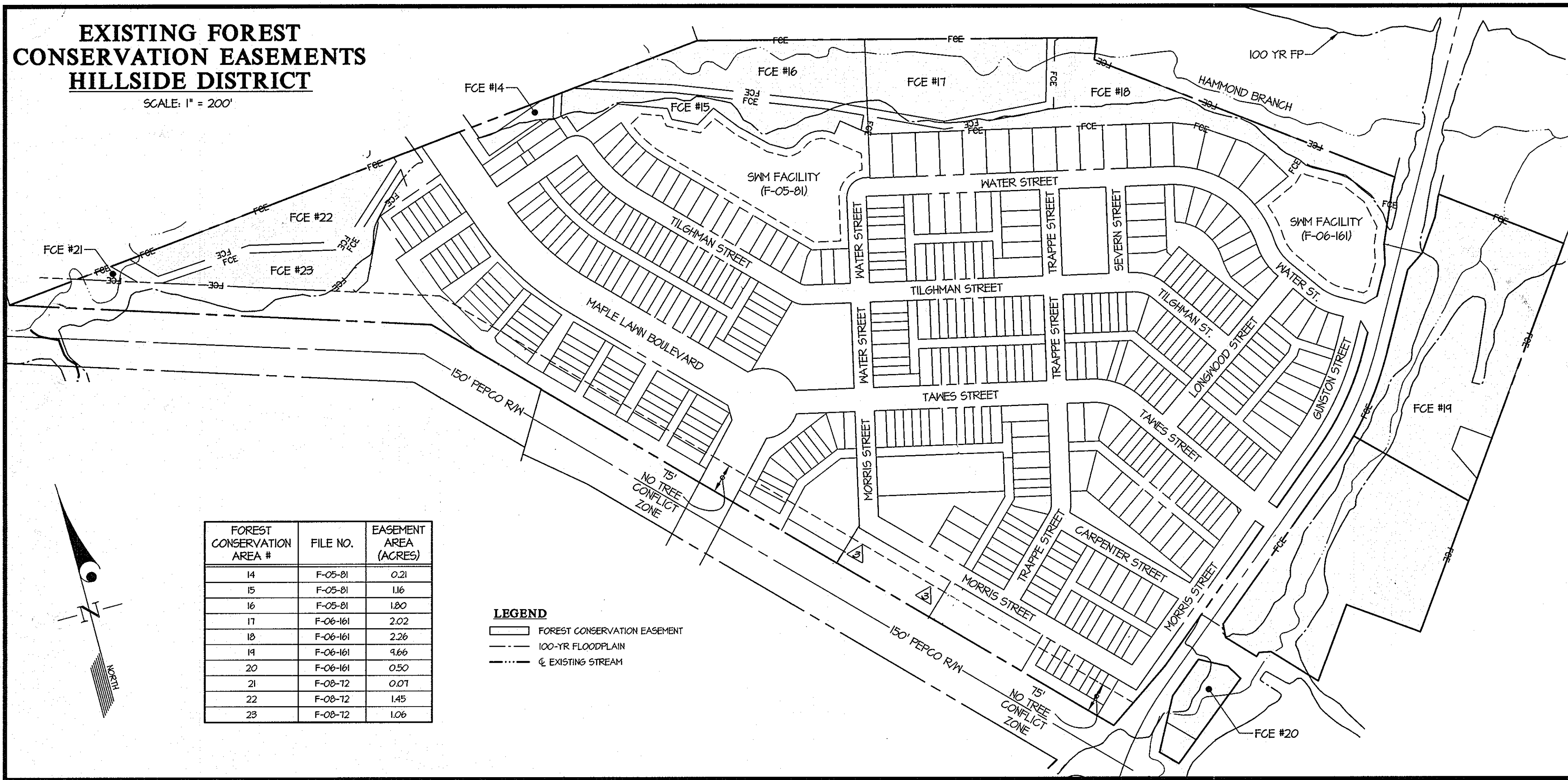
SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	19 OF 20

HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5

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 PLOT DATE: 4/27/2010 4:30 PM. LAST SAVER: 4/27/2010 4:04 PM. PLOTTED BY: Tony Espinoza

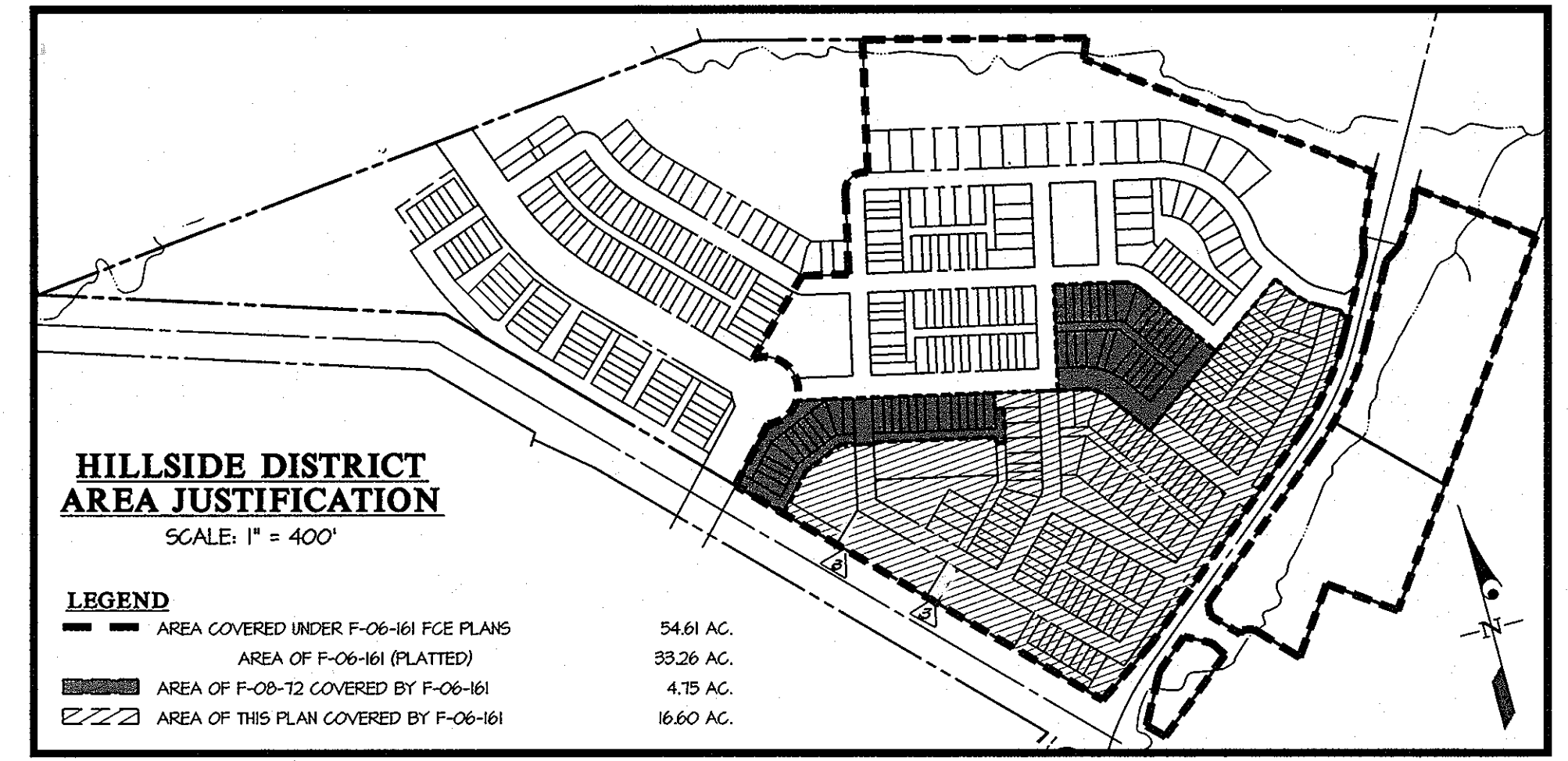
EXISTING FOREST CONSERVATION EASEMENTS HILLSIDE DISTRICT

SCALE: 1" = 200'



FOREST CONSERVATION AREA #	FILE NO.	EASEMENT AREA (ACRES)
14	F-05-81	0.21
15	F-05-81	1.16
16	F-05-81	1.80
17	F-06-161	2.02
18	F-06-161	2.26
19	F-06-161	4.66
20	F-06-161	0.50
21	F-08-12	0.07
22	F-08-12	1.45
23	F-08-12	1.06

LEGEND
 - - - - - FOREST CONSERVATION EASEMENT
 - - - - - 100-YR FLOODPLAIN
 - - - - - EXISTING STREAM



LEGEND
 - - - - - AREA COVERED UNDER F-06-161 FCE PLANS 54.61 AC.
 - - - - - AREA OF F-06-161 (PLATTED) 33.26 AC.
 - - - - - AREA OF F-08-12 COVERED BY F-06-161 4.75 AC.
 - - - - - AREA OF THIS PLAN COVERED BY F-06-161 16.60 AC.

GENERAL NOTES
 1. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16-1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR PHASE 1 OF THIS PROJECT WAS PROVIDED UNDER F-06-161. NO FOREST CONSERVATION SURETY IS NECESSARY WITH THIS SUBMISSION.
 2. THE '15' TREE CONFLICT EASEMENT SHOWN ON THESE PLANS GRANTS PERCO THE RIGHT TO ENTER THE EASEMENT FOR THE PURPOSE OF CUTTING DOWN, TRIMMING, REMOVING AND/OR KEEPING CUT ALL TREES WHICH MAY INTERFERE WITH ANY TOWERS, POLES, STRUCTURES, WIRES, CABLES, CONDUITS OR OTHER IMPROVEMENTS WITHIN THE PERCO R/W AS PER LIBER. 2305 FOLIO 53.

FOREST CONSERVATION PLANTING NOTES

RETENTION / AFFORESTATION / REFORESTATION SUMMARY TABLE FOR MAPLE LAWN FARM PROJECT

PHASE NO.	GROSS AC.	FLOODPLAIN AC.	NET TRACT AREA	EXG. FOREST IN AC.	FOREST CLEARED	FOREST RETAINED	EXCESS RETENTION	REF/AFF REQUIRED	CREDITED PLANTING PROVIDED	EXCESS FOREST CON. (PLANTING+RETENTION)	COMMENTS
1	51.98	3.40	48.58	9.45	0.51	8.94	0.63	0.00	4.56	5.14	Per F-03-01
2	75.20	2.38	72.82	0.00	0.00	0.00	0.00	10.42	6.61	-4.25	Per F-03-40
2	5.10	0.00	5.10	0.00	0.00	0.00	0.00	0.26	0.00	-0.26	Per SDP-03-140
3	11.04	14.85	4.24	0.21	0.00	0.21	0.00	0.43	10.44	10.06	Per F-04-42
3	-	-	-	-	-	-	-	-	-1.16	-1.16	(4) Per F-05-82
4a	15.48	3.00	12.48	1.92	1.65	0.27	0.00	3.21	0.28	-2.93	Per F-05-81
4b	3.12	0.35	2.77	0.00	0.00	0.00	0.00	0.42	-0.12	-0.54	Per F-05-194
4c	3.00	0.00	3.00	0.00	0.00	0.00	0.00	0.45	0.00	-0.45	Per F-05-112
5a	0.00	-	-	-	-	-	-	-	-	-	Per F-06-43
5b	54.61	7.27	47.34	3.76	0.51	3.25	0.00	4.36	5.74	1.38	Per F-06-161
6a	10.30	3.84	6.46	0.00	0.00	0.00	0.00	0.91	1.70	0.79	F-08-12
SDP-M6	25.06	0.00	25.06	0.00	0.00	0.00	0.00	3.76	0.00	-3.76	SDP-01-43
6b	64.86	1.22	63.64	4.54	2.10	2.44	0.00	4.91	11.22	1.91	F-08-54/F-08-55
7	0.00	-	-	-	-	-	-	-	-	-	PER THIS PLAN
TOTAL	333.41	36.31	297.10	19.43	4.77	15.16	0.63	35.24	34.98	5.52	

(1) INCLUDES FUTURE PHASE AREAS OF MAPLE LAWN FARMS. WHEN THOSE AREAS ARE RECORDED IN FUTURE PHASES, THE FOREST CONSERVATION REQUIREMENTS WILL ALREADY HAVE BEEN MET.
 (2) 11.04 ACRES = 51.92 ACRES (PHASE 3 SITE TOTAL) - 40.71 ACRES (AREA OF FOREST CON. IN PHASE 3 ALREADY PROVIDED BY F-03-40 (35.01 AC) AND SDP-03-140 (5.70 AC))
 (3) REDUCED FROM 6.71 AC. AS SHOWN ON F-03-40 TO 6.61 AC. BECAUSE OF THE 0.16 AC. REDUCTION OF CONSERVATION EASEMENT #4 ON F-04-74 AND THE 0.14 AC. REDUCTION OF CONSERVATION EASEMENT #5 ON F-04-80.
 (4) F-05-82 IS A REVISION OF OPEN SPACE LOTS 221 & 222, AND A CONVERSION OF PARCEL 'E' TO R/W. FOREST CONSERVATION EASEMENT (FCE) #1 WILL ABANDON 0.25 AC. AND FCE #9 WILL ABANDON 0.91 AC.
 (5) 3.12 ACRES = 4.39 ACRES (PHASE 4 SITE TOTAL) - 1.26 ACRES (AREA OF FOREST CON. IN PHASE 4 ALREADY PROVIDED BY F-03-40 AND F-04-42).
 (6) 0.12 ACRES - AREA SUBTRACTED FROM FOREST CONSERVATION AREA #11 TO CREATE PUBLIC DRAINAGE AND UTILITY EASEMENT
 (7) PHASE 5A IS A REVISION OF NON-BUILDABLE PARCELS F & G. THIS AREA HAS BEEN COVERED UNDER F-05-81.
 (8) TOTAL AREA FOR PHASE 5B (54.61 AC) = AREA PLATTED (33.26 AC) + AREA BEING MASS GRADED OUTSIDE PLATTED AREA (21.35 AC)
 (9) 0.21 ACRES OF PROVIDED PLANTING IN FCE #16 TO BE REMOVED UNDER F-06-162, LEAVING -2.33 AC. EXCESS UNDER F-05-81
 (10) TOTAL AREA FOR PHASE 6a (10.31 AC) = AREA PLATTED (15.05 AC) - AREA ALREADY COVERED UNDER F-06-161 (4.75 AC)
 (11) TOTAL AREA FOR PHASE 6b (64.86 AC) = AREA OF P. 116 PRIOR TO PLATTING (94.21 AC) - AREA OF SDP-01-43 WITHIN LIMITS OF THIS SUBMISSION (29.34 AC) - AREA COVERED BY F-08-12 (0.56 AC)
 (12) ALL OF THE AREA FOR PHASE 7 (16.60 AC) HAS BEEN ACCOUNTED FOR IN THE 54.61 ACRES COVERED UNDER F-06-161.

FOREST CONSERVATION WORKSHEET

SITE DATA	
A. GROSS SITE AREA	0.00*
B. AREA WITHIN 100-YEAR FLOOD PLAIN	0.00
C. NET TRACT AREA	0.00
D. LAND USE CATEGORY	MXD-3
E. AFFORESTATION THRESHOLD (5% x NET TRACT AREA)	0.00
F. CONSERVATION THRESHOLD (15% x NET TRACT AREA)	0.00
EXISTING FOREST COVER	
G. EXISTING FOREST ON NET TRACT AREA	0.00
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD (On Net Tract Area)	0.00
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD (On Net Tract Area)	0.00
PROPOSED FOREST CLEARING	
J. FOREST AREAS TO BE CLEARED (On Net Tract Area)	0.00
K. FOREST AREAS TO BE RETAINED (On Net Tract Area)	0.00
PLANTING REQUIREMENTS	
L. TOTAL REFORESTATION ABOVE THRESHOLD REQUIRED (L x 0.25)	0.00
M. TOTAL REFORESTATION REQUIRED ((L+J) x 2.00)	0.00
N. TOTAL AFFORESTATION REQUIRED (E - G)	0.00
O. TOTAL AFFORESTATION AND REFORESTATION REQUIRED	0.00
P. PLANTING TO BE PROVIDED	0.00

* ALL OF AREA FOR THIS PHASE HAS BEEN COVERED UNDER THE F-06-161 PLANS. (SEE AREA JUSTIFICATION MAP ABOVE).

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division

STATE OF MARYLAND
 Michael B. Tran
 REGISTERED LANDSCAPE ARCHITECT
 933
 DATE: 4-27-2010

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 G&R MAPLE LAWN, INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: MARK BENNETT
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 28, 2012

FINAL FOREST CONSERVATION PLAN, NOTES AND DETAILS
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 5
 LOTS 376 THRU 485, OPEN SPACE LOTS 486 & 487, COMMON OPEN AREAS 488 THRU 492, 105, 106 & 111
 PARCELS D-2 & D-4, AND NON-BUILDABLE BULK PARCELS 'N' AND 'O'
 TAX MAP 41 PARCELS 129 and 474
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	07001
DATE	TAX MAP - GRID	SHEET
APRIL, 2010	41-22	20 OF 20

L:\CADD\DRAWINGS\04001\07001\FINALS\07001_F020.dwg DES. TML DRN. AWL CHK. DEV 10/28/11 UPDATE PARCEL 10% PER PLAT F-11-079-D
 1: \CADD\DRAWINGS\04001\07001\FINALS\07001_F020.dwg PLOTTER: 4/23/2010 4:15 PM, LAST SAVE: 4/23/2010 4:15 PM, PLOTTED BY: Tony Lippert