

GENERAL NOTES

- SUBJECT PROPERTY IS ZONED "R-20" PER THE 2/02/04 COMPREHENSIVE ZONING PLAN AND THE "COMPLITE" ZONING AMENDMENTS EFFECTIVE 7/2008.
- GROSS AREA OF SITE SUBJECT TO SUBDIVISION = 5.07 AC.±
- NET AREA OF SITE = 5.07 AC.±
- AREA OF PROPOSED PUBLIC ROW = 0.58 AC.±
- NUMBER OF PROPOSED BUILDABLE LOTS: 8
- AREA OF PROPOSED BUILDABLE LOTS: 3.67 AC.±
- NUMBER OF PROPOSED OPEN SPACE LOTS: 2
- AREA OF PROPOSED OPEN SPACE LOT: 0.82 AC.±
- OPEN SPACE REQUIRED (6% OF GROSS AREA OF SITE SUBJECT TO SUBDIVISION): 0.30 AC.±
- CREDITED OPEN SPACE PROVIDED: 0.80 AC.±
- NON-CREDITED OPEN SPACE PROVIDED: 0.02 AC.±
- TOTAL OPEN SPACE PROVIDED: 0.82 AC.±
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- THIS PROPERTY IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2003 PER COUNCIL BILL 15-2003.
- PUBLIC WATER AND PUBLIC SEWER WILL BE USED WITHIN THIS SITE. WATER AND SEWER SERVICE WILL BE PROVIDED BY AN EXTENSION OF CONTRACT #34-4345 UNDER CONTRACT # 34-4575-D.
- HOWARD COUNTY SOILS MAP 15.
- BOUNDARY SURVEY AND TOPOGRAPHY WERE PREPARED BY SILL, ADCOCK & ASSOCIATES, LLC. ON OR ABOUT FEBRUARY, 2008.
- THERE ARE NO STEEP SLOPES, WETLANDS, FLOODPLAIN, HISTORIC STRUCTURES OR CEMETERIES WITHIN THE PROJECT BOUNDARY.
- NO WETLANDS EXIST ON-SITE PER SITE VISIT PERFORMED BY SILL, ADCOCK AND ASSOCIATES, LLC. ON OR ABOUT MARCH 4, 2008.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.

STATE HIGHWAY ADMINISTRATION	410.531.5533
BGE (CONTRACTOR SERVICES)	410.850.4600
BGE (UNDERGROUND DAMAGE CONTROL)	410.787.9068
MISS UTILITY	1.800.257.7777
COLONIAL PIPELINE COMPANY	410.755.1390
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES	410.313.4900
HOWARD COUNTY HEALTH DEPARTMENT	410.313.2640
AT&T	1.800.252.1133
VERIZON	1.800.743.0333/410.224.9210
- PREVIOUS HOWARD COUNTY FILE NUMBERS: SP-08-15; WP-09-166; CONTR.#34-4575-D; RECORD PLAT NO. 21710, F-12-028.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MARYLAND STATE HIGHWAY AUTHORITY STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL HDPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST, PRIOR TO CONSTRUCTION.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS NUMBERS 35AA AND 35BB WERE USED FOR THIS PROJECT.
- DRIVEWAY ENTRANCES PER HOWARD COUNTY DESIGN MANUAL IV, DETAIL R.6.03.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
 - WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE);
 - SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM);
 - GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
 - STRUCTURES (CULVERTS) - CAPABLE OF SUPPORTING 25 GROSS TONS (26,400 LBS.);
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- ALL DITCHES AND SWALES WILL HAVE EROSION CONTROL MATTING.
- STORMWATER MANAGEMENT IS PROVIDED FOR THIS PROJECT. WATER QUALITY AND RECHARGE OBLIGATIONS WILL BE MET BY UTILIZING ROOFTOP DISCONNECTS, DRYWELLS, BIORETENTION FACILITIES AND SHEET FLOW TO BUFFER CREDITS. CHANNEL PROTECTION IS NOT REQUIRED BECAUSE THE POST DEVELOPED 1 YEAR STORM FLOW IS LESS THAN 2 CFS. BIORETENTION FACILITIES TO BE LOCATED ON A LOT SHALL BE OWNED AND MAINTAINED BY EACH LOT OWNER. BIORETENTION FACILITY 'A' SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$4,800.00 (16 SHADE TREES @ \$300.00 EACH). STREET TREES AND PERIMETER LANDSCAPE TREES WILL BE PLANTED AT THE SITE DEVELOPMENT PLAN STAGE. LANDSCAPING LOTS 1 THRU 8 WILL BE PROVIDED FOR AT THE SITE DEVELOPMENT PLAN STAGE IN ACCORDANCE WITH SECTION 18.124 OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF TWENTY FEET (20') SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A TWO INCH (2") GALVANIZED STEEL PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A TWO AND A HALF INCH (2-1/2") GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) THREE FEET (3') LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- ARTICLES OF INCORPORATION FOR THE HOMEOWNERS ASSOCIATION WERE ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON JANUARY 21, 2010 INCORPORATION NO. 100236199273679.
- THE TRAFFIC STUDY FOR THIS PROJECT WERE PREPARED BY MARS GROUP, DATED MARCH 2008.
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.125 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH REQUIRES A 35' BUFFER OF EXISTING FOREST OR WOODED AREA BETWEEN THE SCENIC ROAD AND THE PROPOSED DEVELOPMENT.
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 18.1203 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE ON-SITE RETENTION OF 0.69 ACRES (26,136 SF) OF FOREST, REFORESTATION PLANTING OF 0.11 ACRES (4,792 SF) OF FOREST, AND THE REMAINING 1.04 ACRES (45,302.4 SF) OF FOREST PLANTING WILL BE PROVIDED BY THE FRIENDSHIP LAKES FOREST RESTORATION BANK (SDP-02-117). SURETY IN THE AMOUNT OF \$7,623.20 (26,136SF x \$0.29 + 4,792SF x \$0.50 = \$2,386.00) SHALL BE PAID WITH THE DEVELOPER'S AGREEMENT FOR THIS PLAN.
- THE FOREST CONSERVATION BANK SDP (FRIENDSHIP LAKES) MUST BE RED-LINED TO REFLECT THE OBLIGATION MET WITH THE BANK PRIOR TO THE RECORDATION OF THIS SUBDIVISION.
- THE EXISTING WELLS WILL BE SEALED BY A LICENSED WELL DRILLER AND STATE WELL ABANDONMENT FORMS SUBMITTED IN ACCORDANCE WITH HOWARD COUNTY HEALTH DEPARTMENT REQUIREMENTS.
- THE EXISTING SEPTIC TANKS WILL BE PUMPED AND PROPERLY ABANDONED. DRY WELLS WILL BE LOCATED AND PROPERLY ABANDONED. PROPER DOCUMENTATION WILL BE PROVIDED TO THE HEALTH DEPARTMENT IN ACCORDANCE WITH THEIR REQUIREMENTS.
- OPEN SPACE LOTS 9 AND 10 WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE DIVISION OF LAND DEVELOPMENT HAS DETERMINED THE MINOR DISTURBANCE TO THE STREAM BUFFER TO BE ESSENTIAL BECAUSE THE SITE LACKS A VIABLE ACCESS ALTERNATIVE.
- A DESIGN MANUAL WAIVER REQUEST TO DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-1.01, TO ALLOW OPEN SECTION ROADS IN THE PLANNED SERVICE AREA, WAS DENIED ON SEPTEMBER 3, 2008.
- A WAIVER PETITION (WP-09-166) TO WAIVE SECTION 18.144(3)(3) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO GRANT AN EXTENSION OF THE DEADLINE TO SUBMIT FINAL PLANS FOR INITIAL REVIEW WAS APPROVED ON APRIL 18, 2009, SUBJECT TO THE FOLLOWING CONDITION:
 - THE FINAL PLAN AND PLAN MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING ON OR BEFORE OCTOBER 18, 2009.
- THE PROPOSED ENTRANCE SIGN ON THE SOUTHWEST CORNER OF THE INTERSECTION OF SCENIC HILLS COURT AND TROTTER ROAD MAY NOT EXCEED THE REQUIREMENT OF SECTION 128.A.1.1 OF THE ZONING REGULATIONS FOR SIGN ENTRANCE FEATURES LOCATED ON A SCENIC ROAD. THE ENTRANCE SIGN SHALL BE NO MORE THAN 4 FEET HIGH BY 12 FEET LONG.
- BASED ON AN UPDATED ENVIRONMENTAL ASSESSMENT OF THE INTERMITTENT STREAM SYSTEM LOCATED WITHIN OPEN SPACE LOT 9, IT WAS DETERMINED THAT THE INTERMITTENT STREAM EXTENDS BEYOND OPEN SPACE LOT 9 AND ONTO LOT 8 RESULTING IN A CHANGE IN THE STREAM CHANNEL DELINEATION. THE 50' STREAM BUFFER AND THE 35' ENVIRONMENTAL SRL BASED ON A MEETING WITH DPZ OFFICIALS ON JUNE 17, 2011, IT WAS DETERMINED THAT THE 50' STREAM BUFFER AND 35' BRL ENCROACHMENTS WERE DETERMINED TO BE NECESSARY DISTURBANCES BASED ON SECTION 18.116(c) OF THE SUBDIVISION LAND REGULATIONS IN THIS PARTICULAR SITUATION TO ACCOMMODATE THE NECESSARY SITE IMPROVEMENTS.
- NO GRADING, REMOVAL OF VEGETATION OR TREES, PAVING OR NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS, EXCEPT FOR THE DISTURBANCES LOCATED WITHIN THE 50' STREAM BUFFER AS APPROVED ON THE PLANS BY DPZ FOR LOT 8.

FINAL ROAD CONSTRUCTION PLAN

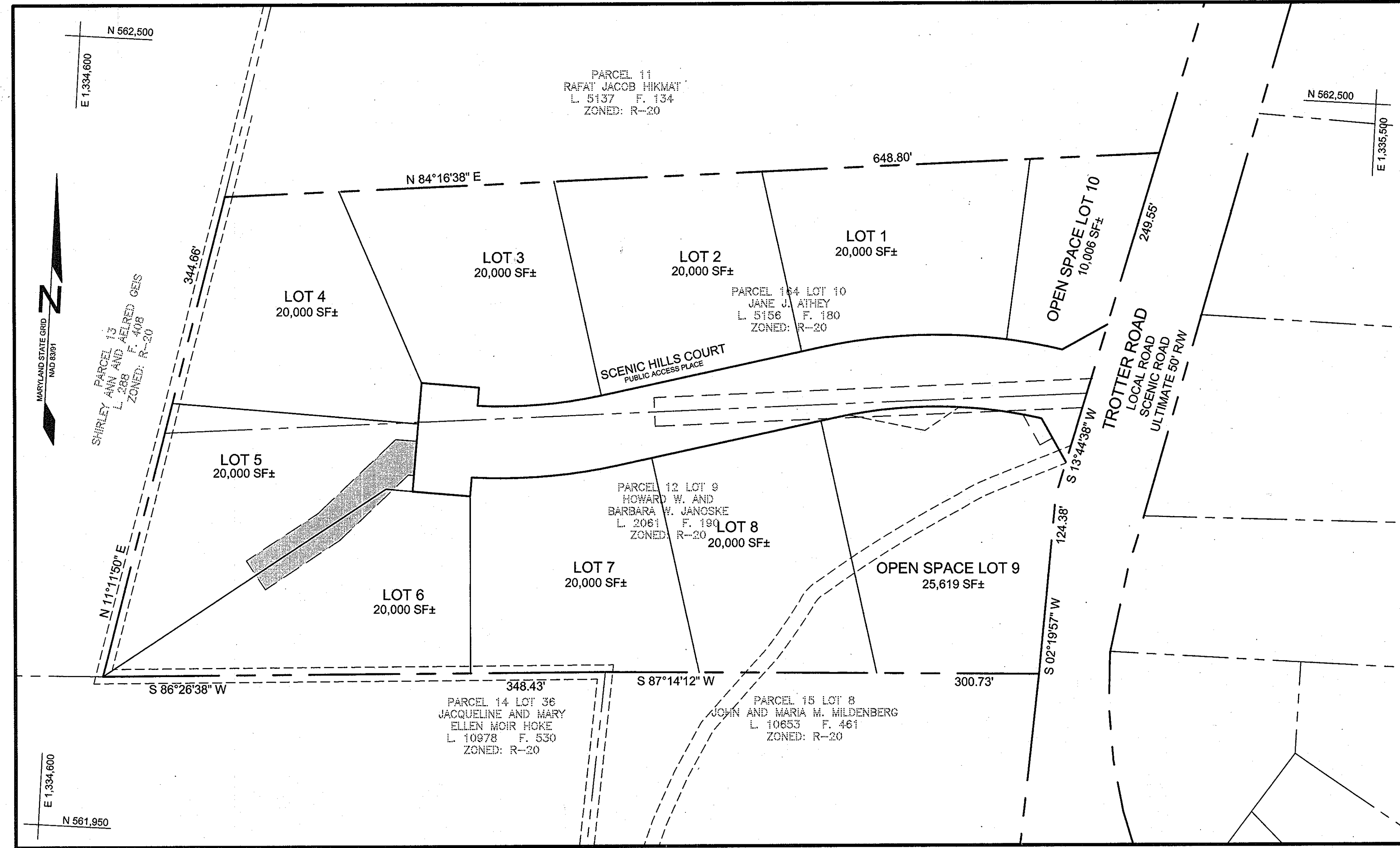
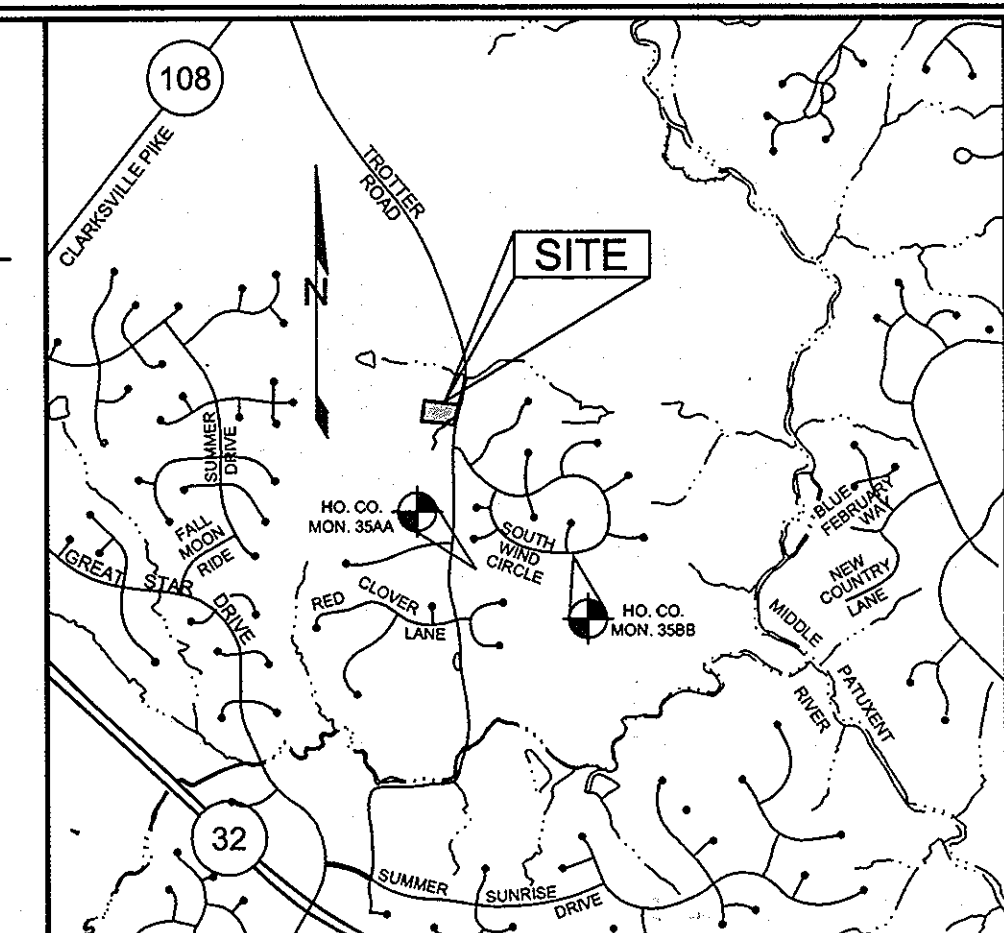
TROTTER LANDING

LOTS 1-8 AND OPEN SPACE LOTS 9-10

HOWARD COUNTY, MARYLAND

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREES TO REMAIN
- WALK OUT BASEMENT
- PROPOSED STREET LIGHT
- STORMWATER MANAGEMENT
- TEST BORING



BENCHMARKS

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
35AA	560,767.7141	1,335,483.8630	430.969	CONCRETE MONUMENT ON THE EAST SIDE OF TROTTER ROAD 1.2 MILES SOUTH OF RT-108
35BB	560,790.4056	1,336,537.2789	394.339	CONCRETE MONUMENT ON THE SOUTH SIDE OF SOUTH WIND CIRCLE 100' WEST OF MISTY TOP PATH

STREET LIGHT TABLE

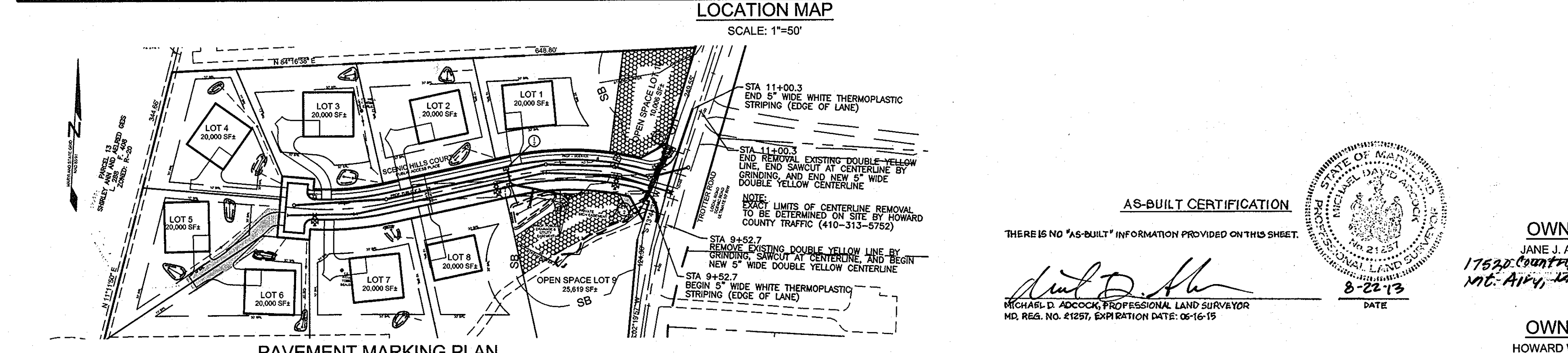
FIXTURE TYPE	POLE TYPE	LOCATION	STREET
150 WATT HPS VAPOR PREMIER POST TOP MOUNTED	14" BLACK FIBERGLASS	@ STA. 0+33.41, 17.85' RIGHT	SCENIC HILLS COURT
100 WATT HPS VAPOR PREMIER POST TOP MOUNTED	14" BLACK FIBERGLASS	@ STA. 0+45.93, 15.76' RIGHT	SCENIC HILLS COURT

ROAD CLASSIFICATION

ROAD NAME	CLASSIFICATION	PAVING TYPE	DESIGN SPEED	LIMITS OF CONSTRUCTION	R/W
SCENIC HILLS CT	LOCAL ROAD (ACCESS STREET)	P-2	30	0+00 TO 4+90.70	50'

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	ROAD PLAN AND PROFILE
3	GRADING, SEDIMENT AND EROSION CONTROL PLAN
4	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
5	STORM DRAIN DRAINAGE AREA MAP
6	STORM DRAIN PROFILES & CHARTS
7	BORING LOGS
8	BORING LOGS
9	STORMWATER MANAGEMENT - BIORETENTION PLAN, PROFILES, AND CHARTS
10	STORMWATER MANAGEMENT - BIORETENTION PLAN, PROFILES, AND CHARTS
11	STORMWATER MANAGEMENT - BIORETENTION PLAN, PROFILES, AND CHARTS
12	FINAL LANDSCAPE PLAN
13	FINAL FOREST CONSERVATION PLAN



AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Michael D. Adcock
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD. REG. NO. #1257, EXPIRATION DATE: 06-16-15

DATE: 8-22-13

OWNER
JANE J. ATHEY
17520 Country View Way
MC. AIRY, MD. 21111

OWNER
HOWARD W. AND BARBARA W. JANOSKE
5888 TROTTER ROAD
CLARKSVILLE, MD 21029

DEVELOPER
WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBET
5485 HARPERS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
410.997.8800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Robert Shalton
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5-24-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. Sill
CHIEF, BUREAU OF HIGHWAYS
DATE: 5-24-10

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John L. Robertson
HOWARD SCD
DATE: 3/26/10

ENGINEERS CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Paul M. Sill, PE, LEED AP
SIGNATURE OF ENGINEER
DATE: 3-23-10

DEVELOPER'S CERTIFICATE
"WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
William J. Sill
SIGNATURE OF DEVELOPER
DATE: 3-21-10

AS-BUILT

08-08-2011 REVISED GENERAL NOTES TO EXPLAIN ENVIRONMENTAL CHANGES ON LOTS 7, 8, AND OPEN SPACE LOT 9

REVISION

COVER SHEET
TROTTER LANDING
LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10

TAX MAP 35 GRID 2
5TH ELECTION DISTRICT

PARCEL 164 AND 12
HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@sillandco.com

DESIGN BY: JT/SJT
DRAWN BY: AM/SJT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: MARCH 23, 2010
PROJECT #: 07-105
SHEET #: 1 OF 13

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 30, 2011.

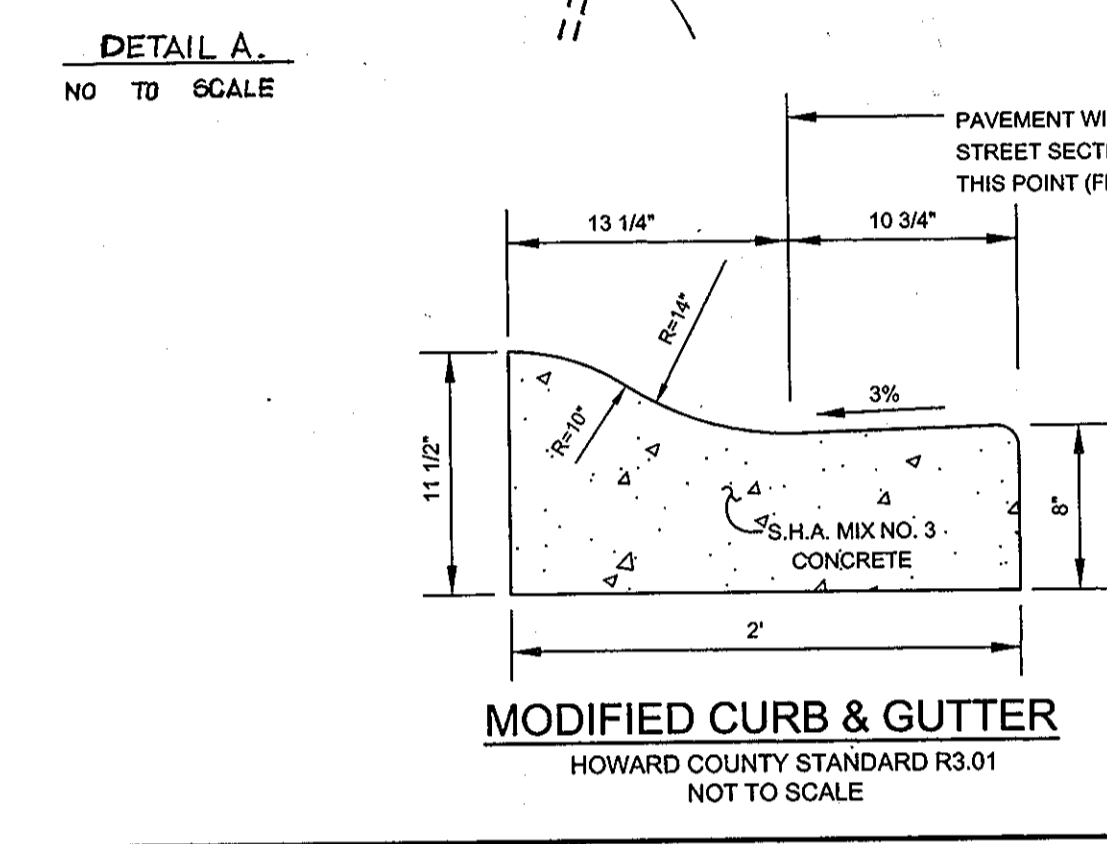
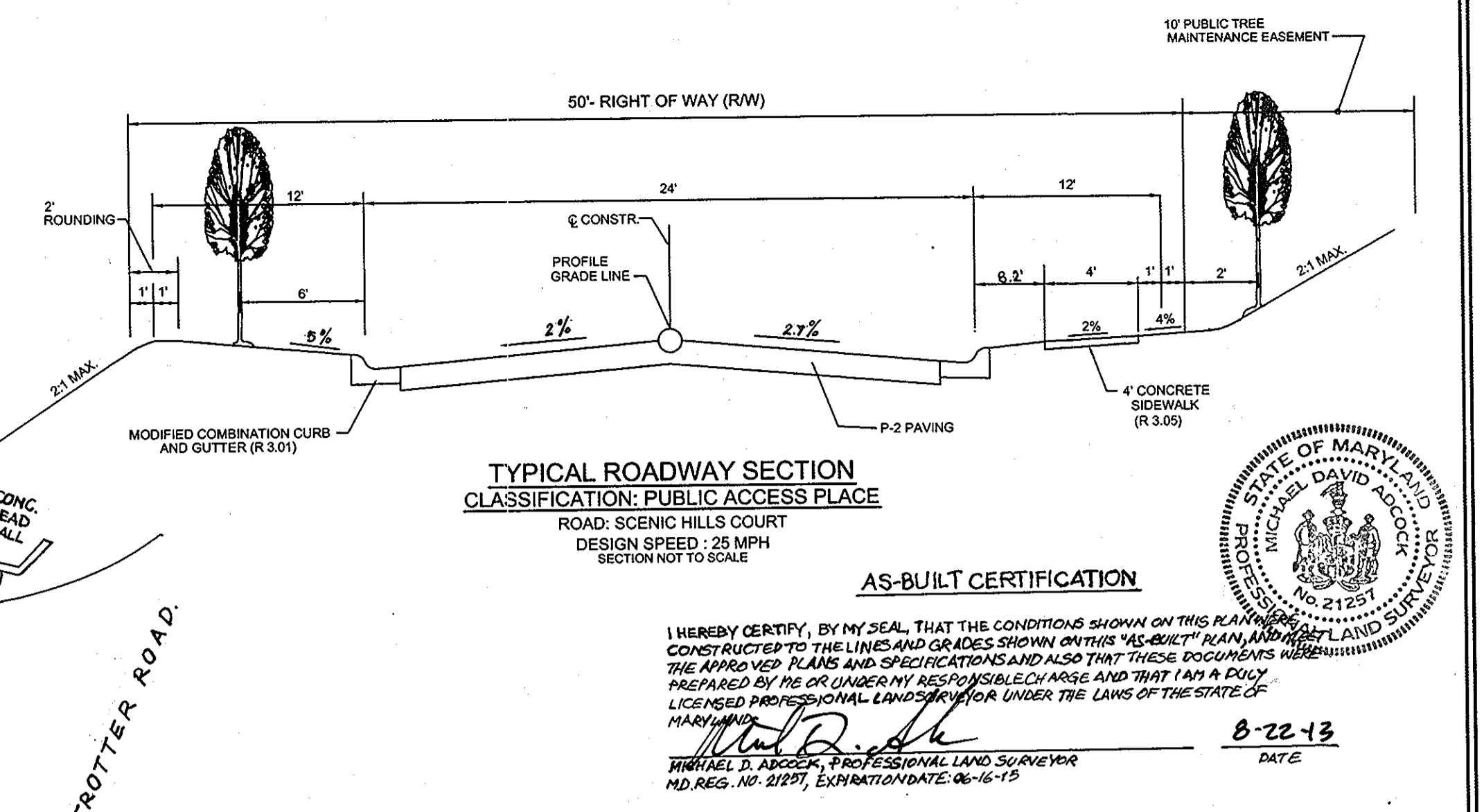
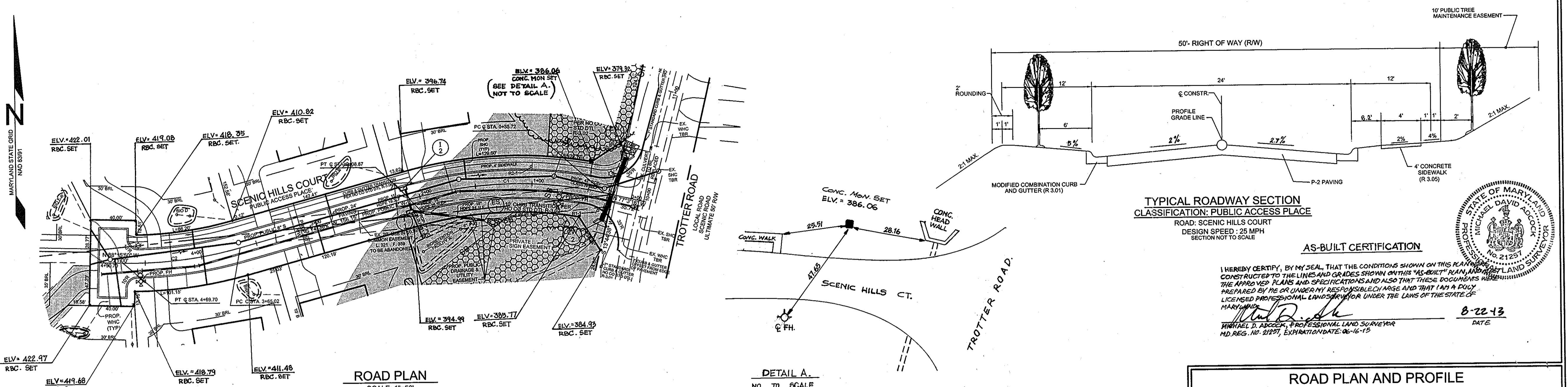
PAVING SECTIONS								
SEC. NO.	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <= 5 TO <= 7			3 TO <= 5 TO <= 7		
			MIN HMA WITH GAB	MIN HMA WITH CONSTANT GAB	MIN HMA WITH GAB	MIN HMA WITH CONSTANT GAB	MIN HMA WITH GAB	MIN HMA WITH CONSTANT GAB
P-2	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
	LOCAL ROADS: ACCESS PLACE, ACCESS STREET	HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
	CUL-DE-SACS: RESIDENTIAL	HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0	2.0
P-3	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
	LOCAL ROADS: ACCESS PLACE, ACCESS STREET	HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
	CUL-DE-SACS: NON-RESIDENTIAL MINOR COLLECTOR STREETS: RESIDENTIAL	HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)	3.0	3.0	3.0	4.5	3.0	2.0
		GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0

NOTES:
 1. HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
 2. HMA SUPERPAVE LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN TO 4.0" MAX), 12.5 MM SURFACE (1.5" MIN TO 3.0" MAX), AND 9.5 MM SURFACE (1.0" MIN TO 2.0" MAX).
 3. GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX COMPACTED THICKNESS LAYERS.
 4. THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.
 5. IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL, INDUSTRIAL, ENTRANCE APRONS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
 6. THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
Walter R. White 5-24-10
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Kent D. Shuler 6/6/10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Michael D. Tucker 5/22/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



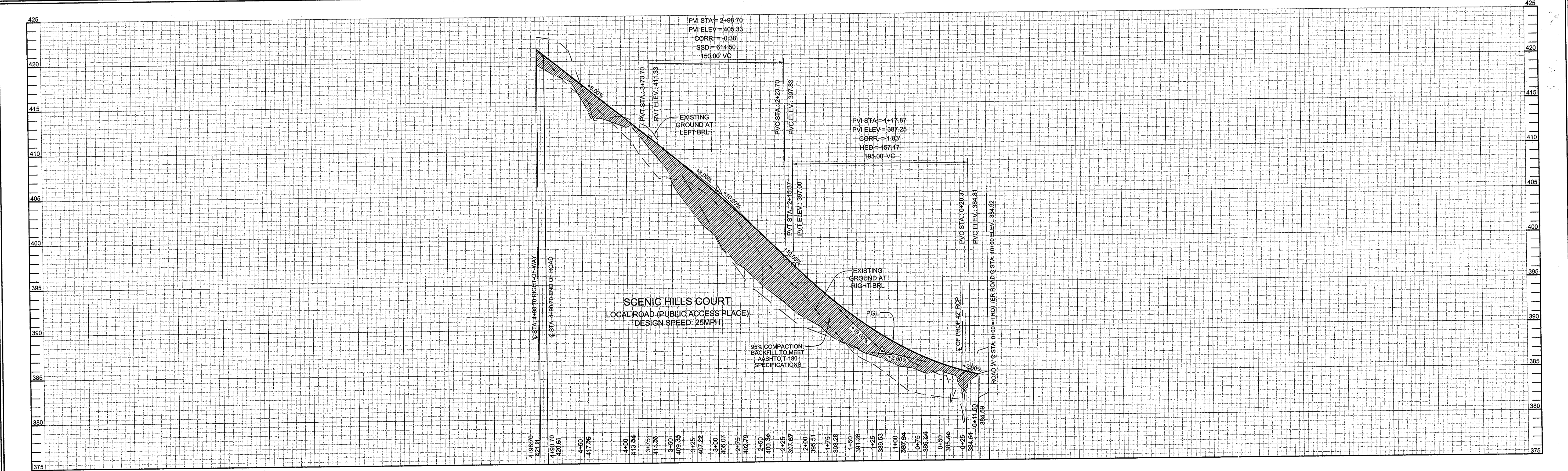
ROAD PLAN AND PROFILE
 SCENIC HILLS COURT
 TROTTER LANDING
 LOTS 1 THRU 8 AND OPEN SPACES LOTS 9 AND 10

TAX MAP 35 GRID 2
 5TH ELECTION DISTRICT
 PARCEL 235
 HOWARD COUNTY, MARYLAND

DESIGN BY: JT / SJT
 DRAWN BY: AM / SJT
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: MARCH 23, 2010
 PROJECT #: 07-105
 SHEET #: 2 OF 13

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 100
 Elliott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@saaland.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2011.



SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
CgC2	CHESTER GRAVELLY SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
MnD	MANOR VERY STONY LOAM, 3 TO 25 PERCENT SLOPES	B
MID2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MgC2	MANOR GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B

HOWARD COUNTY SOILS MAP 23

LEGEND	
EXISTING CONTOUR	--- 382 ---
PROPOSED CONTOUR	--- 382 ---
EXISTING SPOT ELEVATION	382.3
PROPOSED SPOT ELEVATION	+ 82.3
DIRECTION OF FLOW	→
EXISTING TREELINE	~~~~~
PROPOSED TREELINE	~~~~~
EXISTING WELL	⊙
STABILIZED CONSTRUCTION ENTRANCE	▢
SILT FENCE	--- SF --- SF ---
SUPER SILT FENCE	--- SSF --- SSF ---
SUPER DIVERSION FENCE	--- SDF --- SDF ---
LIMIT OF DISTURBANCE	--- LOD ---
SOIL BOUNDARY	---
PROPOSED DRY WELL	⊗
AT GRADE INLET PROTECTION	▢ AGIP
TO BE REMOVED	TBR
PROPOSED PRIVATE BIORETENTION FACILITY	BIO
FOREST CONSERVATION EASEMENT	▨
TYPE 'B' SOIL GROUP	□
TYPE 'C' SOIL GROUP	▨
EROSION CONTROL MATTING	... ECM ...



N 562,400
E 1,334,600

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Michael D. Adcock
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21297, EXPIRATION DATE: 06-16-19



0-22-13
DATE

SEDIMENT TRAP #1 (ST-II)

EXISTING DRAINAGE AREA: 1.96AC±
PROPOSED DRAINAGE AREA: 1.99AC±
WET STORAGE REQUIRED: 3.582CF
WET STORAGE PROVIDED: 4.680CF
DRY STORAGE REQUIRED: 3.892CF
DRY STORAGE PROVIDED: 4.657CF
WEIR LENGTH: 12.0'
STORAGE DEPTH BELOW OUTLET: 6.46'
CLEANOUT ELEVATION: 431.02
EMBANKMENT HEIGHT: 2.5'
TRAP BOTTOM: 385.00
TRAP DIMENSIONS: 11'X27'
WET STORAGE ELEVATION: 391.46
CREST ELEVATION: 392.50

NOTE: EXISTING DRAINAGE AREA ASSUMES THAT SUPER FENCE DIVERSION IS IN PLACE.

08-08-2011 TO SHOW WETLANDS, WETLANDS BUFFER, STREAM BANK, STREAM BUFFER, ENVIRONMENTAL SETBACK, & CHANGES TO MASS GRADING

REVISION

**GRADING, SEDIMENT AND EROSION CONTROL PLAN
TROTTER LANDING**

LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10

TAX MAP 35 GRID 2 PARCEL 164 AND 12
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

OWNER
JANE J. ATHEY
5848 TROTTER ROAD
CLARKSVILLE, MD 21029

OWNER
HOWARD W. AND
BARBARA W. JANOSKE
5858 TROTTER ROAD
CLARKSVILLE, MD 21029

DEVELOPER
WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD,
SUITE 200
COLUMBIA, MD 21044
410.997.8800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Kathleen L... *Gladio*
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

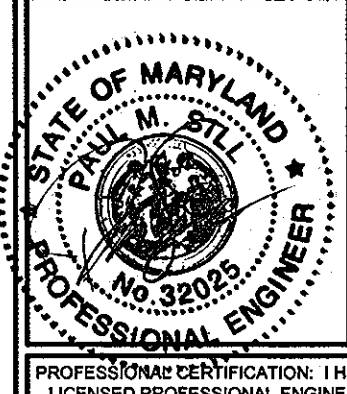
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Michael R. ... *5-24-10*
CHIEF, BUREAU OF HIGHWAYS DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND
SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John R. ... *3/26/10*
HOWARD SCD DATE

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL
REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY
PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS
PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD
SOIL CONSERVATION DISTRICT."
Paul M. Sill *3/23/10*
SIGNATURE OF ENGINEER DATE
PAUL M. SILL, PE, LEED AP

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE
ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT
ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT
WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE
ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF
SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE
REGULATORY ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
Paul M. Sill *3/21/10*
SIGNATURE OF DEVELOPER DATE

AS-BUILT



Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

DESIGN BY: JT / SJT
DRAWN BY: AM / SJT
CHECKED BY: PS
SCALE: 1"=30'
DATE: MARCH 23, 2010
PROJECT #: 07-105
SHEET #: 3 of 13

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2011

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOILS

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION, AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF TWO OR MORE SOILS. TOPSOIL SHALL CONTAIN LESS THAN 5% BY VOLUME OF ONDERS, STONE, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIAL LARGER THAN 1" AND 1/2" IN DIAMETER.

2. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, CHRISOPHASS, NUTCRACK, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONNECTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

IV. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

II. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.

B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.

C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.

D. NO 500 OR SEED SHALL BE PLACED ON SOIL SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION

I. WHEN TOPSOILING, MAINTAIN NEARBY EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT AND SEDIMENT TRAPS AND BASINS.

II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"8" HIGHER IN ELEVATION.

III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"2" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPRACING SHALL BE PERFORMED IN SUCH A MANNER THAT SPRACING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1880).

2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERE TO.

3. FOLLOWING INITIAL SOIL DISTURANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAP/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR PERMANENT SEEDING, SOIL, TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS:

TOTAL AREA:	5.07 ACRES
AREA DISTURBED:	3.88 ACRES
AREA TO BE ROOFED OR PAVED:	1.21 ACRES
AREA TO BE VEGETATIVELY STABILIZED:	2.67 ACRES
TOTAL CUT:	3,000 CY
TOTAL FILL:	3,000 CY

OFFSITE WATER/BORROW AREA LOCATION:

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1. THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS PER WORKING DAY, WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICH SHALL BE SHORTER.

** EXISTING QUANTITIES ARE SOLELY FOR THE PURPOSE OF CALCULATING FEES AND ARE NOT TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT.

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Michael D. Adcock
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 21291, EXPIRATION DATE: 06-16-15

8-22-13
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

6/26/10
 DATE

5/26/10
 DATE

8-22-10
 DATE

3/26/10
 DATE

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (2 LBS/1000 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT THE TIME OF SEEDING. APPLY 400 LBS PER ACRE 30-0-4 UREAFORM FERTILIZER (9 LBS/1000 SQ.FT.)

2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (2 LBS/1000 SQ.FT.) AND APPLY 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 90 LBS PER ACRE (14 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.05 LBS/1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOIL OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (6 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (6 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3 LBS/1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.07 LBS/1000 SQ.FT.). FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOIL.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL, OR 218 GALLONS PER ACRE (6 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (6 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

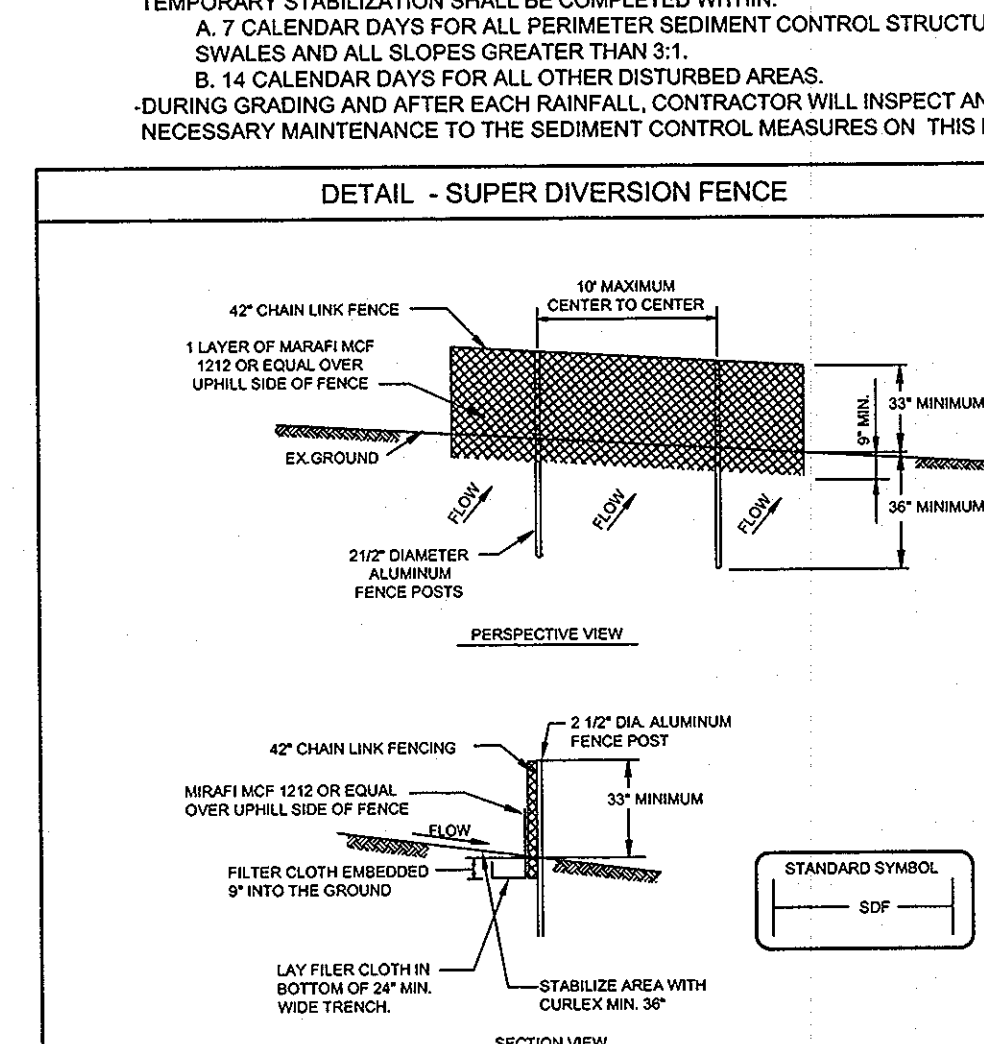
OPERATION AND MAINTENANCE SCHEDULE FOR BIORETENTION AREAS (F-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 OR 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSE AND PERMITS AT (410) 313-1880 AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, 42" CULVERT PIPE, SILT FENCE, SUPER SILT FENCE, TREE PROTECTIVE FENCING, SUPER FENCE DIVERSION, AND SEDIMENT TRAP AS SHOWN OF THE GRADING, SEDIMENT AND EROSION CONTROL PLAN. (1 WEEK)
- INSTALL INLETS, PERMANENT STORM DRAIN PIPING BETWEEN INLETS, AND TEMPORARY STORM DRAIN PIPE TO SEDIMENT TRAP. (1 DAY)
- SAVI CUT EXISTING PAVEMENT AND AREAS OF EXISTING PAVEMENT ALONG TROTTER ROAD PROPOSED TO BE REMOVED. (2 DAYS)
- ROUGH GRADE SITE AND BEGIN ROAD CONSTRUCTION. DELAY GRADING AT REAR OF LOTS 5 AND 6 UNTIL REMOVAL OF SUPER FENCE DIVERSION. (1 MONTH)
- INSTALL WATER & SEWER MAINS AND ASSOCIATED HOUSE CONNECTIONS. (3 WEEKS)
- INSTALL CURB & GUTTER, SIDEWALK, PAVE ROADWAY. (2 WEEKS)
- UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SUPER FENCE DIVERSION AND GRADE THE REAR OF LOTS 5 AND 6. (5 DAYS)
- FINE GRADE SITE AND INSTALL EROSION CONTROL MATTING. (3 DAYS)
- COMPLETE PAVEMENT STRIPPING IN ACCORDANCE WITH PAVEMENT MARKING PLAN. (1 DAY)
- STABILIZE ALL DISTURBED AREAS. (2 WEEKS)
- UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND STABILIZE ANY REMAINING DISTURBED AREA. (1 WEEK)

DETAIL - SUPER DIVERSION FENCE

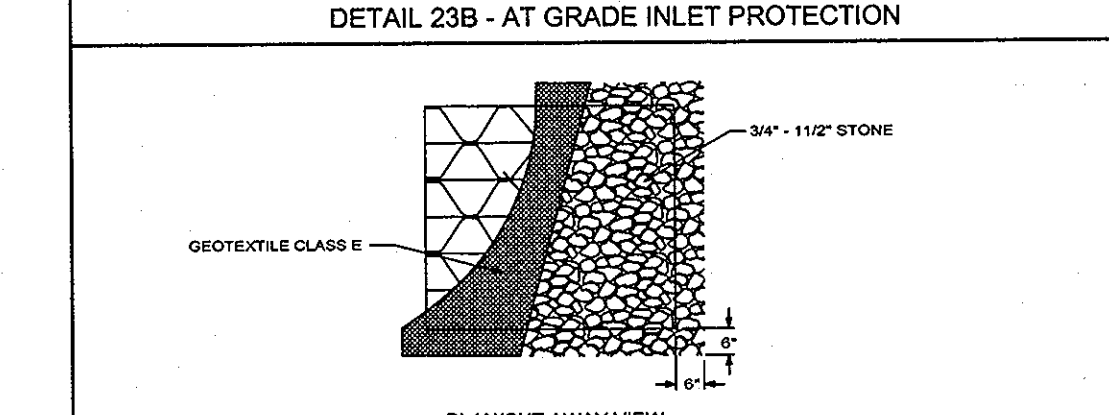
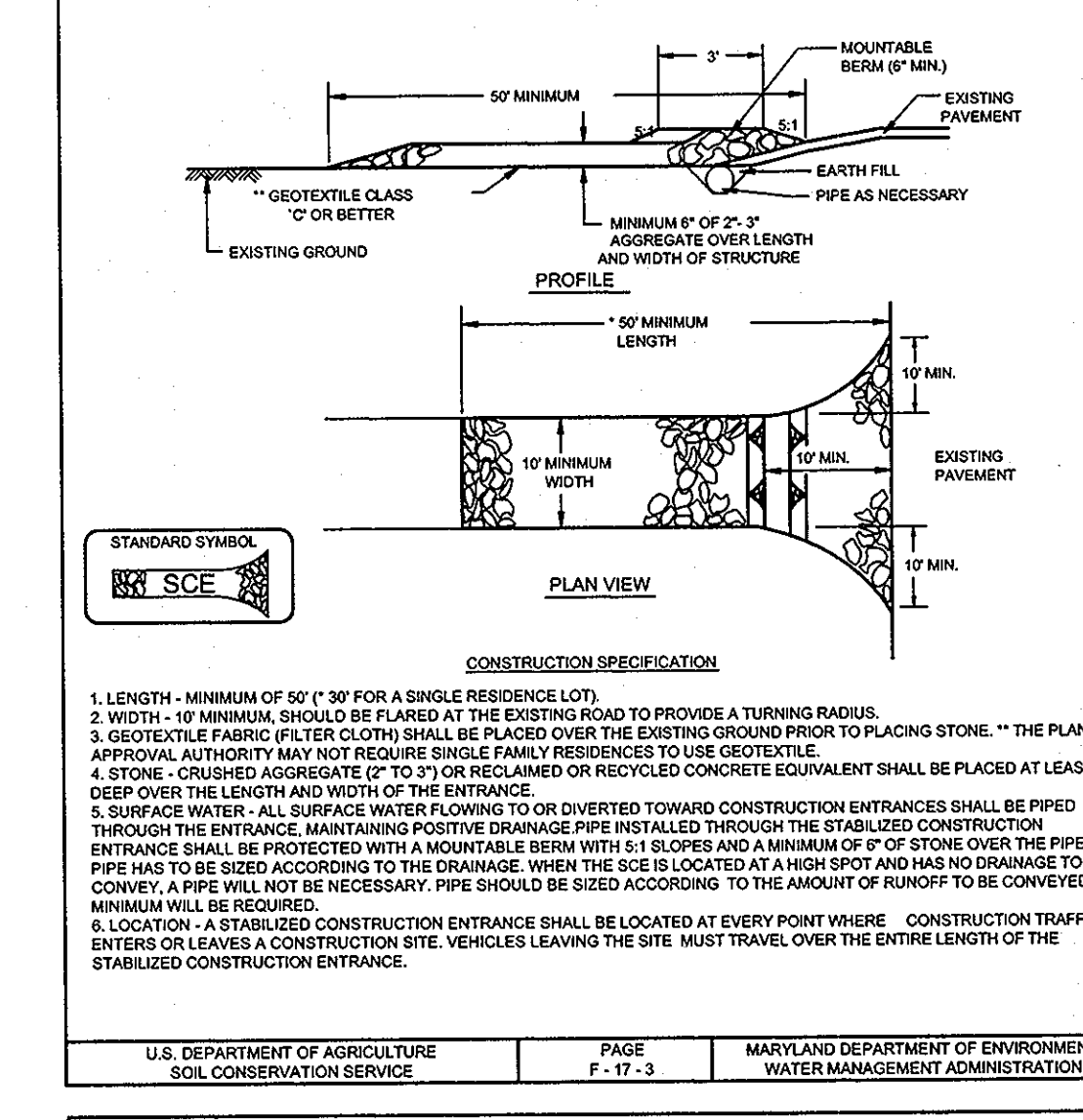


U.S. DEPARTMENT OF AGRICULTURE
 SOIL CONSERVATION SERVICE

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 E-11-3A

MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

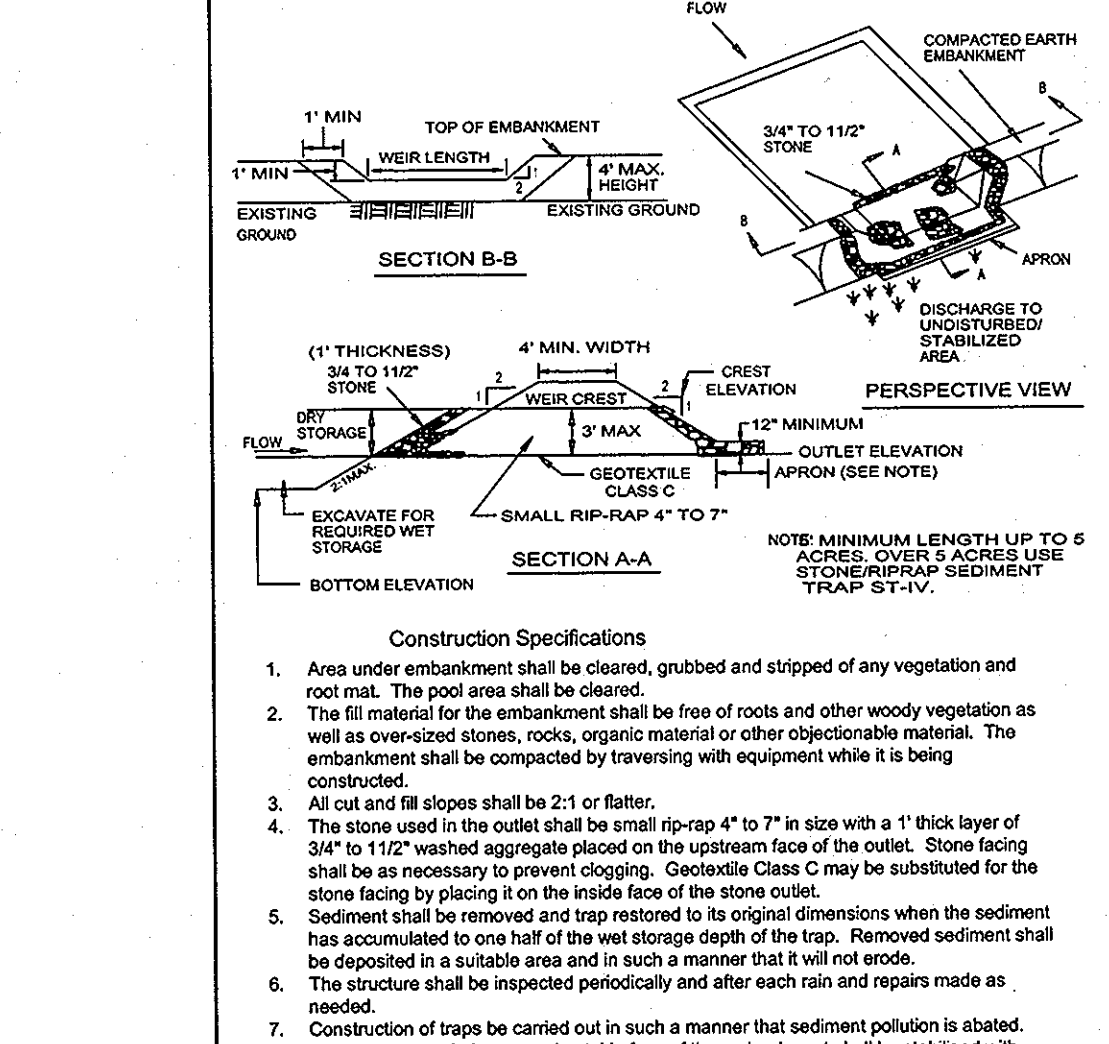


U.S. DEPARTMENT OF AGRICULTURE
 SOIL CONSERVATION SERVICE

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 E-11-3A

MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

DETAIL 9 - STONE OUTLET SEDIMENT TRAP - ST II

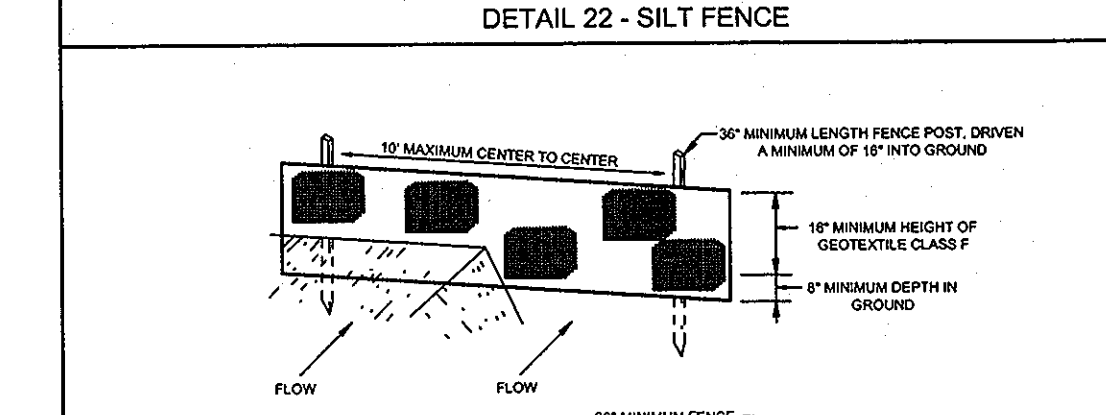
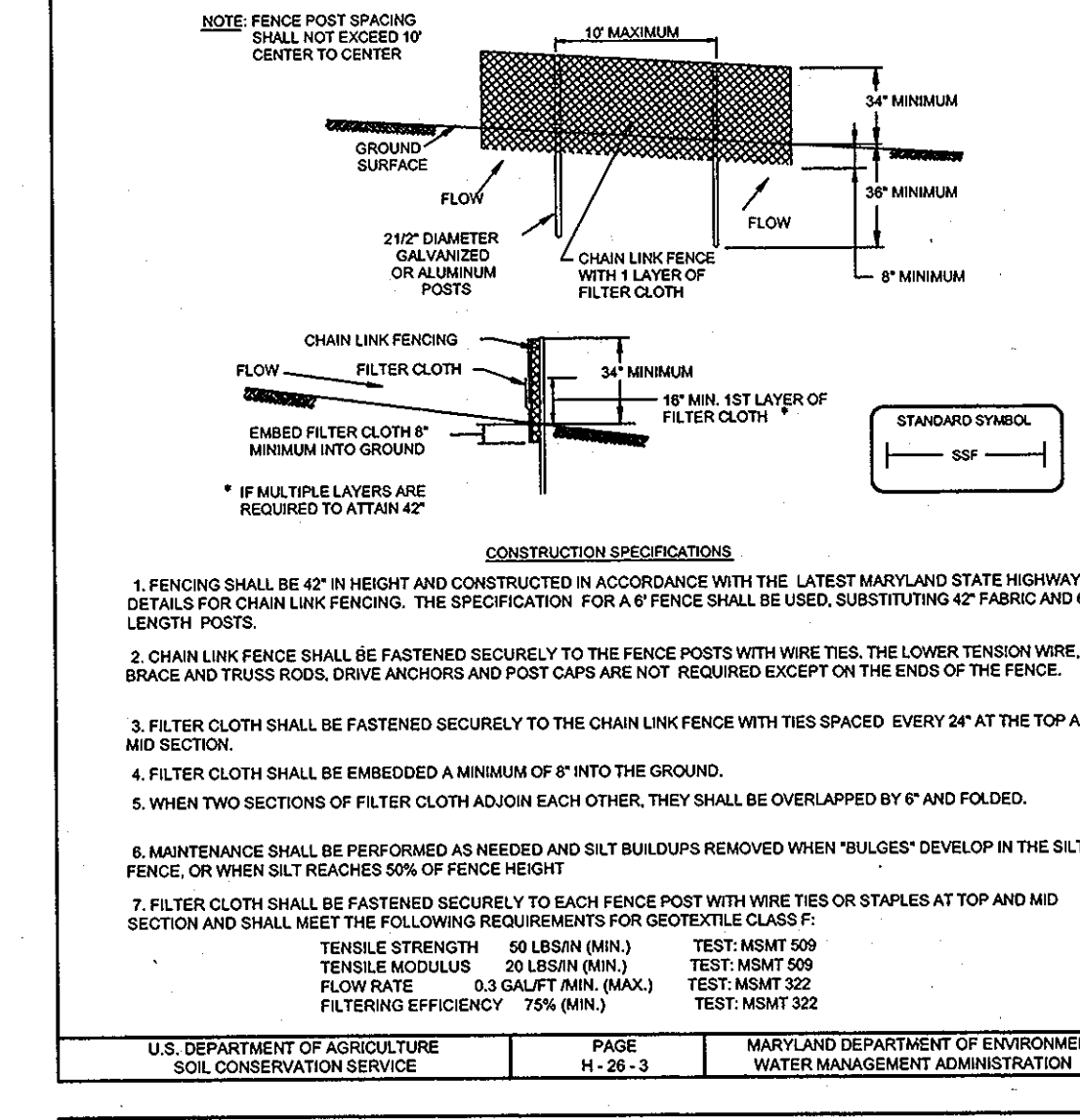


U.S. DEPARTMENT OF AGRICULTURE
 SOIL CONSERVATION SERVICE

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MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE

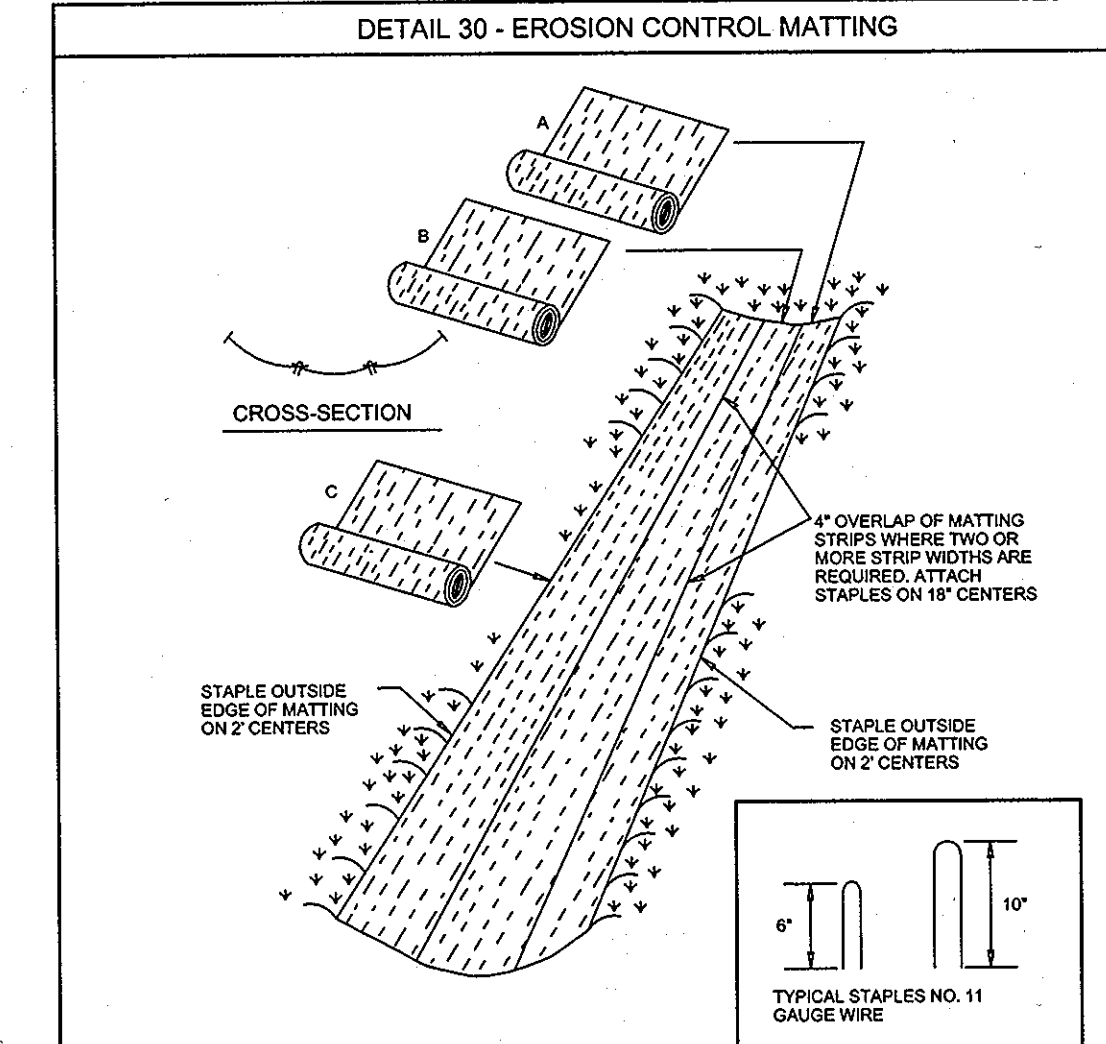


U.S. DEPARTMENT OF AGRICULTURE
 SOIL CONSERVATION SERVICE

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 E-11-3

MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

DETAIL 30 - EROSION CONTROL MATTING

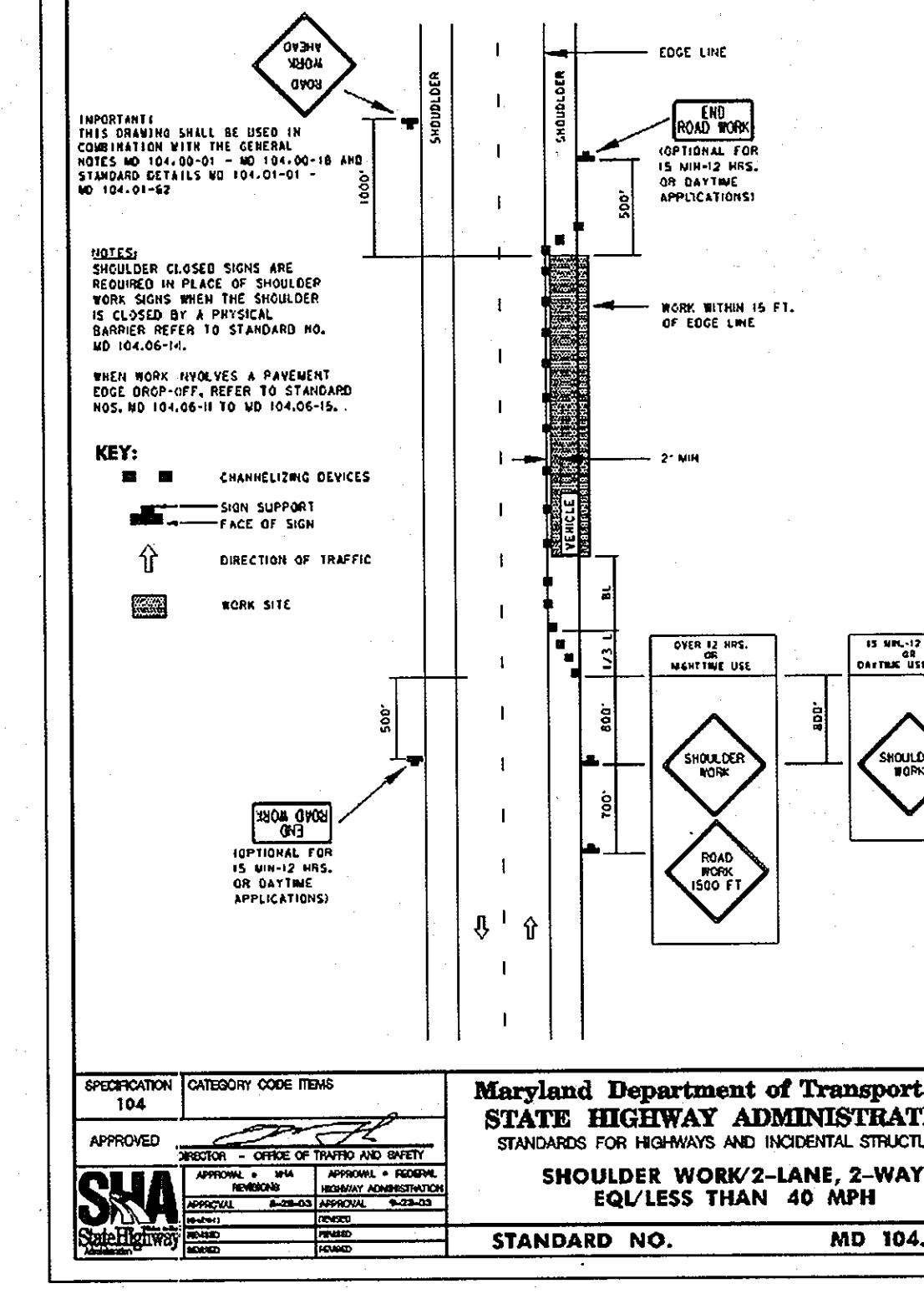


U.S. DEPARTMENT OF AGRICULTURE
 SOIL CONSERVATION SERVICE

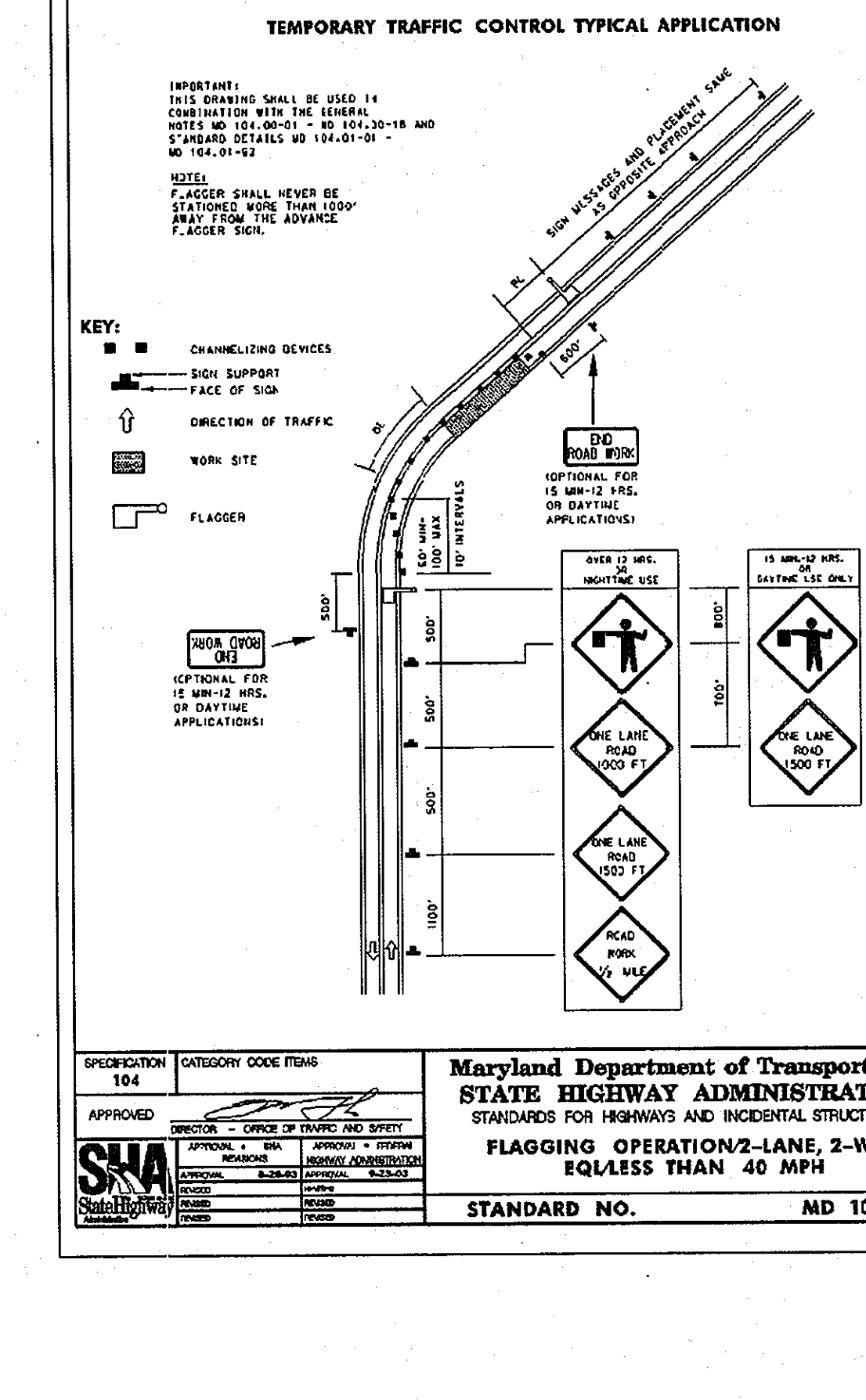
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 C-22-2

MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



OWNER
 JANE J. ATHEY
 5848 TROTTER ROAD
 CLARKSVILLE, MD 21029

OWNER
 HOWARD W. AND BARBARA W. JANOSKE
 5858 TROTTER ROAD
 CLARKSVILLE, MD 21029

DEVELOPER
 WILLIAMSBOURG GROUP, LLC
 C/O ROBERT CORBETT
 5485 HARPERS FARM ROAD,
 SUITE 200
 COLUMBIA, MD 21044
 410.997.8800

DESIGN BY: JT / SJT
DRAWN BY: AM / SJT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: MARCH 23, 2010
PROJECT #: 07-105
SHEET #: 4 OF 13

STATE OF MARYLAND
PROFESSIONAL ENGINEER
 No. 21257
 No. 21257

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7652 Fax: 443.325.7655
 Email: info@sillandco.com

PARCEL 164 AND 12
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TAX MAP 35 GRID 2
5TH ELECTION DISTRICT

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 30, 2011

SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
TROTTER LANDING
 LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10

DESIGN BY: JT / SJT
DRAWN BY: AM / SJT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: MARCH 23, 2010
PROJECT #: 07-105
SHEET #: 4 OF 13

STATE OF MARYLAND
PROFESSIONAL ENGINEER
 No. 21257
 No. 21257

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7652 Fax: 443.325.7655
 Email: info@sillandco.com

PARCEL 164 AND 12
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TAX MAP 35 GRID 2
5TH ELECTION DISTRICT

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 30, 2011

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
CgC2	CHESTER GRAVELLY SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MnD	MANOR VERY STONY LOAM, 3 TO 25 PERCENT SLOPES	B
MID2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MgC2	MANOR GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C

HOWARD COUNTY SOILS MAP 23

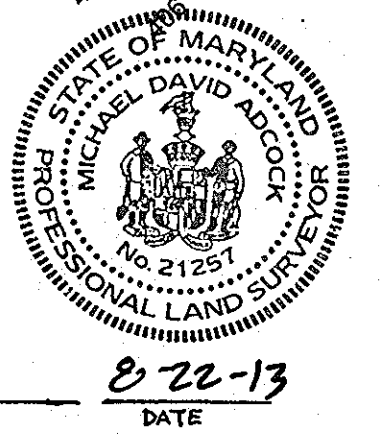
LEGEND	
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING SPOT ELEVATION	+
PROPOSED SPOT ELEVATION	+
DIRECTION OF FLOW	→
EXISTING TREELINE	~
PROPOSED TREELINE	~
EXISTING WELL	⊙
EXISTING OVERHEAD UTILITY	OH
FOREST CONSERVATION EASEMENT	▨
TO BE REMOVED	TBR
TYPE 'B' SOIL GROUP	▨
TYPE 'C' SOIL GROUP	▨
DRAINAGE DIVIDE	↕



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Kent Smalwood 6/6/10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
Walter R. ... S-24-10
 CHIEF, BUREAU OF HIGHWAYS DATE

AS-BUILT CERTIFICATION
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
Michael D. Adcock
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 21257, EXPIRATION DATE: 06-15-15
 DATE: 8-22-13



OWNER
 JANE J. ATHEY
 17520 COUNTRY VIEW WAY
 MT. AIRY, MARYLAND 21771

OWNER
 HOWARD W. AND
 BARBARA W. JANOSKE
 5858 TROTTER ROAD
 CLARKSVILLE, MD 21029

DEVELOPER
 WILLIAMSBURG GROUP, LLC
 C/O ROBERT CORBETT
 5485 HARPERS FARM ROAD,
 SUITE 200
 COLUMBIA, MD 21044
 410.997.8800

AS-BUILT

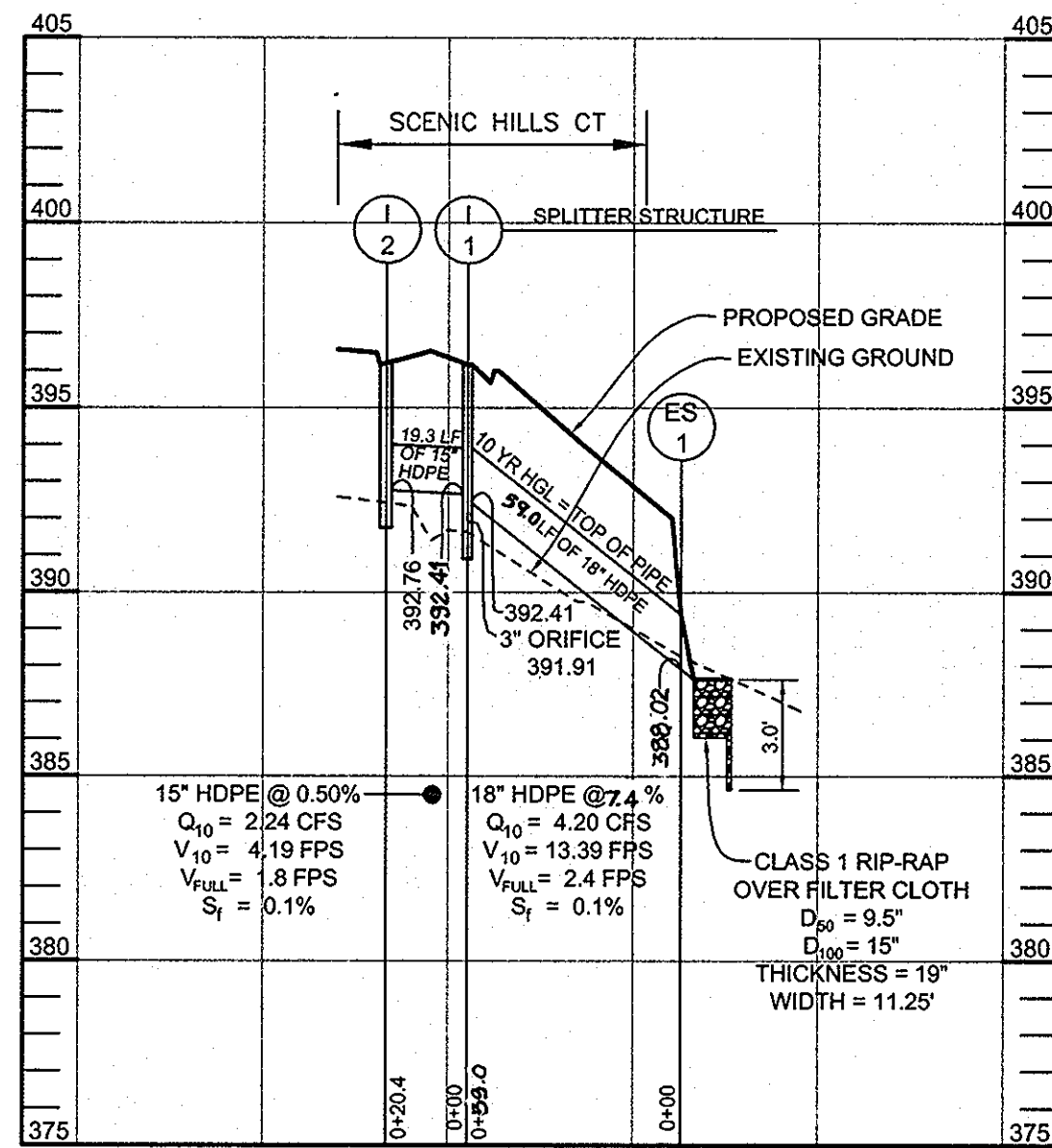
STORM DRAIN DRAINAGE AREA MAP
 TROTTER LANDING
 LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10

TAX MAP 35 GRID 2
 5TH ELECTION DISTRICT
 PARCEL 164 AND 12
 HOWARD COUNTY, MARYLAND

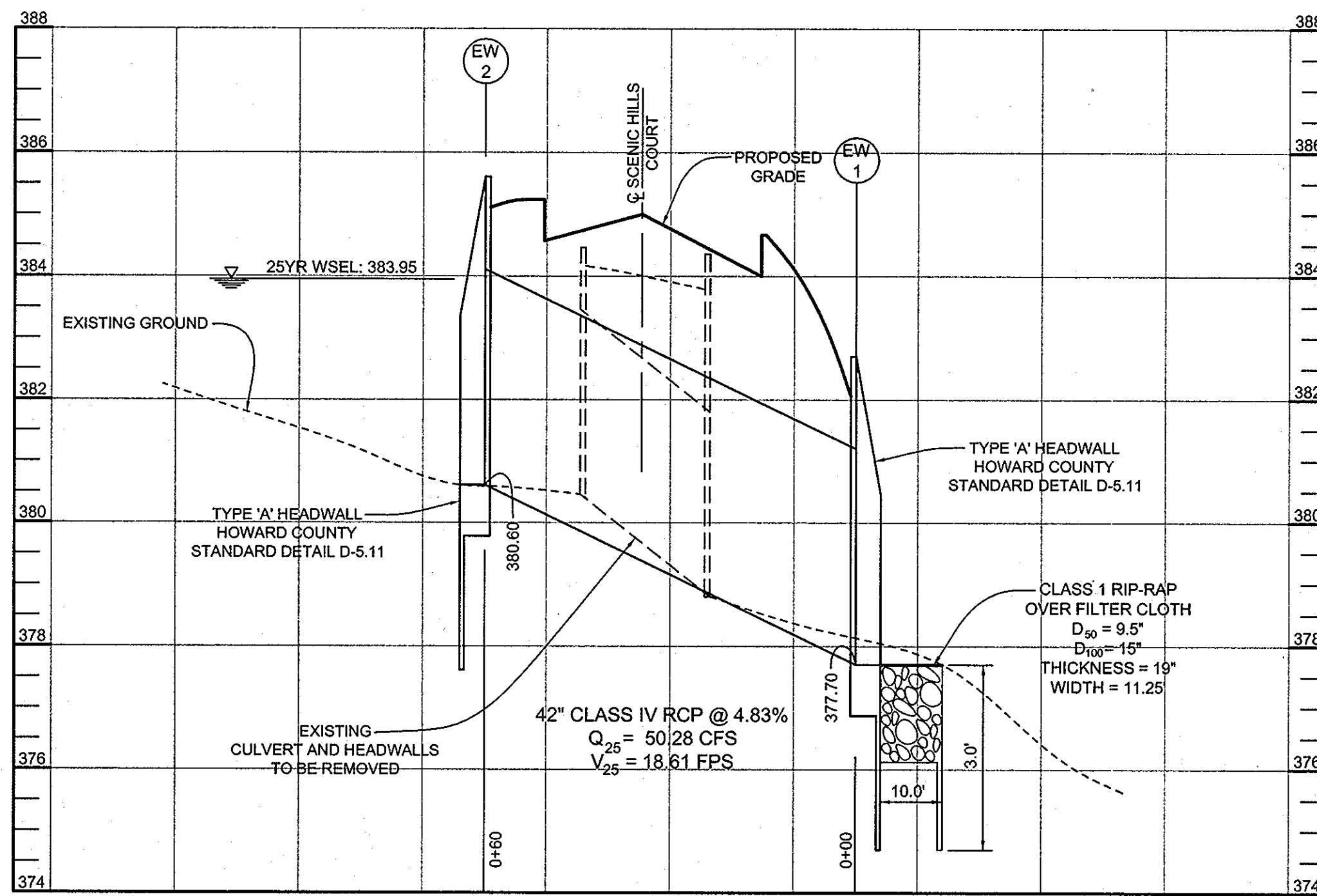
DESIGN BY: JT/SJT
 DRAWN BY: AM/SJT
 CHECKED BY: PS
 SCALE: 1"=30'
 DATE: MARCH 23, 2010
 PROJECT #: 07-105
 SHEET #: 5 of 13

PROFESSIONAL ENGINEER
 Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
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 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@silladcock.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2011



STORM DRAIN PROFILE
SCALE-HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

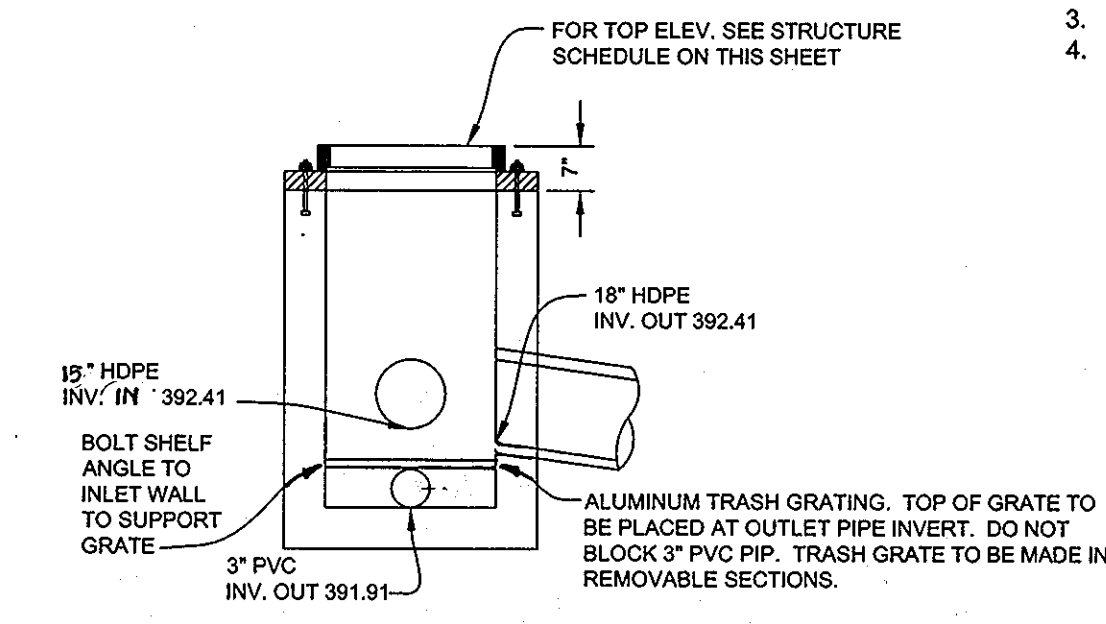


CULVERT PROFILE
SCALE-HORIZONTAL: 1"=20'
VERTICAL: 1"=2'

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
15" PUBLIC	HDPE	19 LF
18" PUBLIC	HDPE	57 LF
42" PUBLIC	CLASS IV RCP	60 LF

STRUCTURE SCHEDULE						
NO.	TYPE & OWNERSHIP	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
EW-1	TYPE 'A' END WALL PUBLIC	N 562,321.052 E 1,335,322.077	382.25	-	377.70	D-5.11
EW-2	TYPE 'A' END WALL PUBLIC	N 562,265.349 E 1,335,299.779	385.61	380.60	-	D-5.11
I-1	TYPE "DOUBLE WR" INLET PUBLIC	N 562,275.241 E 1,335,130.887	396.16	-	392.75	D-4.35
I-2	TYPE "DOUBLE WR" INLET PUBLIC	N 562,296.027 E 1,335,125.162	396.16	392.68	392.41	D-4.35
ES-1	18" HDPE END SECTION PUBLIC	N 562,266.956 E 1,335,196.656	-	-	387.90	SEE BELOW

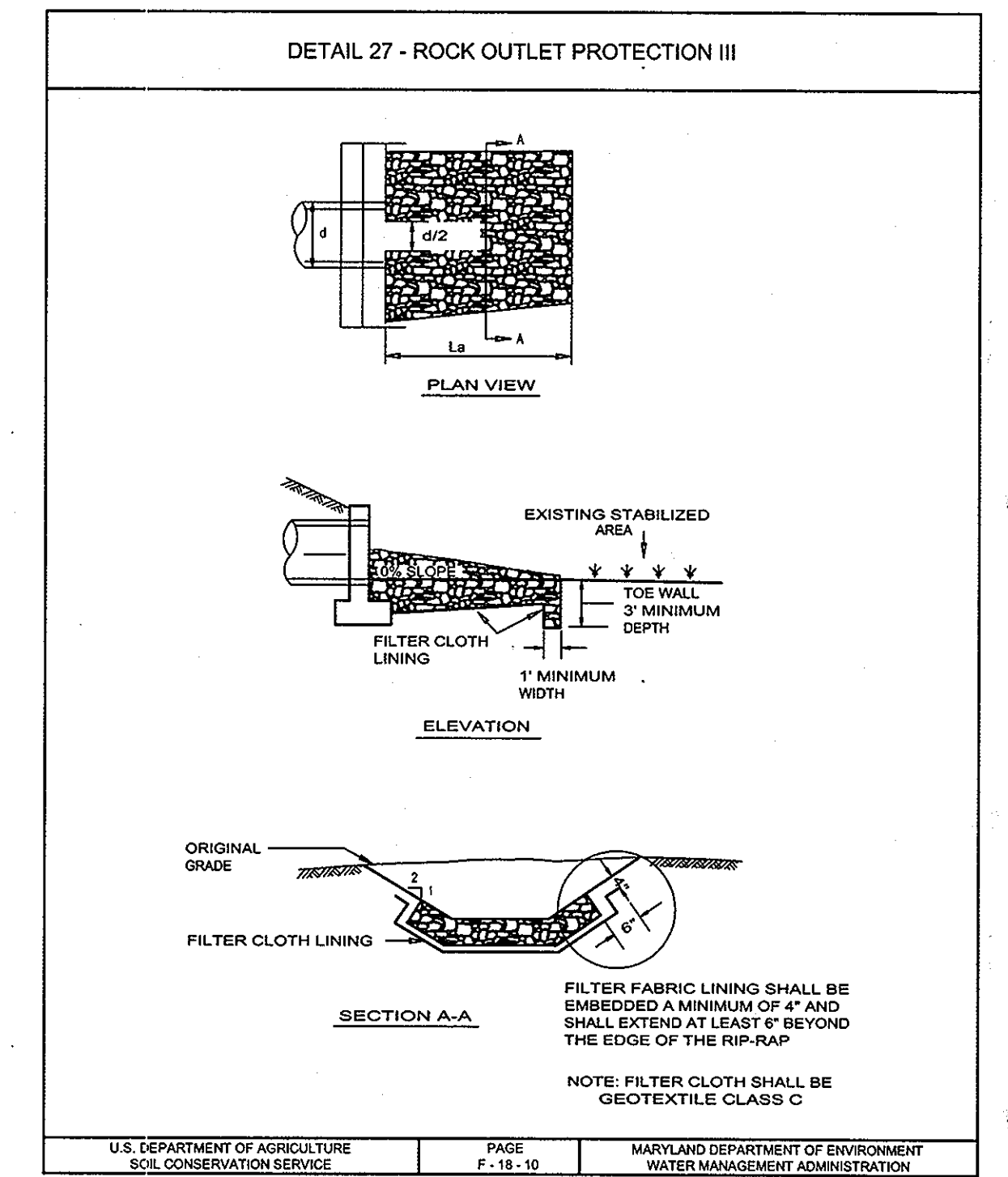
- NOTES:
 1. COORDINATES AND TOP ELEVATIONS FOR "DOUBLE WR" INLETS ARE TO THE CENTER TOP OF GRATE.
 2. COORDINATES FOR END SECTION ARE TO THE JUNCTION OF THE END SECTION WITH THE PIPING.
 3. COORDINATES FOR TYPE 'A' END WALLS ARE TO INVERT OF PIPE AT THE FACE OF WALL.
 4. TOP SLOPE OF STRUCTURES TO CONFORM TO SLOPE OF PAVING.



- NOTES:
 1. THIS STRUCTURE WILL ACT AS A SPLITTER STRUCTURE TO DIVERT WQV TO THE BIORETENTION FACILITY.
 2. STRUCTURAL SPECIFICATIONS ARE TO BE VERIFIED BY CONTRACTOR.
 3. FOR INVERTS IN AND OUT, SEE STRUCTURE SCHEDULE ON THIS SHEET.

INLET I-1 DETAIL
SCALE: NOT TO SCALE

RIP RAP OUTLET PROTECTION CHART					
OUTLET LOCATION	LENGTH (L _s)	WIDTH (W)	PIPE DIAMETER (d)	DISCHARGE (10 YR)	TYPE
ES-1	10 FT	11.5 FT	18 INCH	4.20 CFS	III



PIPE DIAMETER - In (mm)						
Diameter	12	15	18	24	30	36
A	300	375	450	600	750	900
B	6.5	8.5	10.5	13.5	16.5	19.5
C	10.0	12.0	15.0	18.0	22.0	25.0
D	12.5	15.0	18.0	22.0	25.0	28.0
E	15.0	18.0	22.0	25.0	28.0	32.0
F	18.0	22.0	25.0	28.0	32.0	36.0
G	22.0	25.0	28.0	32.0	36.0	40.0
H	25.0	28.0	32.0	36.0	40.0	45.0
I	28.0	32.0	36.0	40.0	45.0	50.0
J	32.0	36.0	40.0	45.0	50.0	55.0
K	36.0	40.0	45.0	50.0	55.0	60.0
L	40.0	45.0	50.0	55.0	60.0	65.0
M	45.0	50.0	55.0	60.0	65.0	70.0
N	50.0	55.0	60.0	65.0	70.0	75.0
O	55.0	60.0	65.0	70.0	75.0	80.0
P	60.0	65.0	70.0	75.0	80.0	85.0
Q	65.0	70.0	75.0	80.0	85.0	90.0
R	70.0	75.0	80.0	85.0	90.0	95.0
S	75.0	80.0	85.0	90.0	95.0	100.0
T	80.0	85.0	90.0	95.0	100.0	105.0
U	85.0	90.0	95.0	100.0	105.0	110.0
V	90.0	95.0	100.0	105.0	110.0	115.0
W	95.0	100.0	105.0	110.0	115.0	120.0
X	100.0	105.0	110.0	115.0	120.0	125.0
Y	105.0	110.0	115.0	120.0	125.0	130.0
Z	110.0	115.0	120.0	125.0	130.0	135.0

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 [Signature] DATE
 CHIEF, BUREAU OF HIGHWAYS

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY, BY MYS&A, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBILITY AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
 [Signature] DATE 8-22-13
 MICHAEL D. ADCKO, PROFESSIONAL LAND SURVEYOR, MD REG. NO. 31291, EXPIRATION DATE: 04-16-15

OWNER
 JANE J. ATHEY
 17520 COUNTRY VIEW WAY
 MT. AIRY, MARYLAND 21771

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STORM DRAIN PROFILES & CHARTS
TROTTER LANDING
 LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10
 TAX MAP 35 GRID 2 PARCEL 164 AND 12
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

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 Engineers · Surveyors · Planners
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 Email: info@sasalland.com

DESIGN BY: JT / SJT
 DRAWN BY: AM / SJT
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: MARCH 23, 2010
 PROJECT #: 07-105
 SHEET #: 6 OF 13

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2011

AS-BUILT

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Trotter Woods, Howard County, Maryland, Job # 09245A

Client: Trotter Woods, Howard County, Maryland, Job # 09245A

Driller: R. Yonkers, Inspector: R. Yonkers

Start Date: 10-27-08, Date Completed: 10-27-08

Elevation (Depth)	Soil Sample Location	Description	Boring and Sampling Notes	Flow	Flow	SPT Blows	SPT Blows	SPT Blows	SPT Blows
0		Change from fine sand to very silty sand (SS)	0" Topsoil and Rootmat						
10		Groundwater encountered at 9'							
10.7		Bottom of Hole at 10.7'	Backfilled at completion						

STANDARD PENETRATION TEST (SPT) DATA: 10-27-08, SAMPLER WITH 60MM TAPERED POINT, COUNT MADE AT 1' INTERVALS

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Trotter Woods, Howard County, Maryland, Job # 09245A

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STANDARD PENETRATION TEST (SPT) DATA: 10-27-08, SAMPLER WITH 60MM TAPERED POINT, COUNT MADE AT 1' INTERVALS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 6/16/10
DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 5-24-10
DATE

CHIEF, BUREAU OF HIGHWAYS

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

[Signature] 8-22-13
DATE

MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 2127, EXPIRATION DATE 06-16-15



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JANE J. ATHEY
17520 COUNTRY VIEW WAY
MT. AIRY, MARYLAND 21771

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BORING LOGS

TROTTER LANDING

LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10

TAX MAP 35 GRID 2 5TH ELECTION DISTRICT

PARCEL 164 AND 12 HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners

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Phone: 443.325.7688 Fax: 443.325.7685
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DESIGN BY: JT/SJT
DRAWN BY: AM/SJT
CHECKED BY: PS
SCALE: NOT TO SCALE
DATE: MARCH 23, 2010
PROJECT #: 07-105
SHEET #: 7 of 13

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30225, EXPIRATION DATE: JUNE 20, 2011

AS-BUILT

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Trotter Woods, Location: Howard County, Maryland

Drill No: SWM-10, Job # 08455

Date: 10-27-08

Depth	Description	Soils and Sampling Notes	Rec	NA	SPT Blows	SPT Blows/ft
0	4" Topsoil					
0.5	4" Topsoil					
1.0	4" Topsoil					
1.5	4" Topsoil					
2.0	4" Topsoil					
2.5	4" Topsoil					
3.0	4" Topsoil					
3.5	4" Topsoil					
4.0	4" Topsoil					
4.5	4" Topsoil					
5.0	4" Topsoil					
5.5	4" Topsoil					
6.0	4" Topsoil					
6.5	4" Topsoil					
7.0	4" Topsoil					
7.5	4" Topsoil					
8.0	4" Topsoil					
8.5	4" Topsoil					
9.0	4" Topsoil					
9.5	4" Topsoil					
10.0	4" Topsoil					
10.5	4" Topsoil					
11.0	4" Topsoil					
11.5	4" Topsoil					
12.0	4" Topsoil					
12.5	4" Topsoil					
13.0	4" Topsoil					
13.5	4" Topsoil					
14.0	4" Topsoil					
14.5	4" Topsoil					
15.0	4" Topsoil					
15.5	4" Topsoil					
16.0	4" Topsoil					
16.5	4" Topsoil					
17.0	4" Topsoil					
17.5	4" Topsoil					
18.0	4" Topsoil					
18.5	4" Topsoil					
19.0	4" Topsoil					
19.5	4" Topsoil					
20.0	4" Topsoil					
20.5	4" Topsoil					
21.0	4" Topsoil					
21.5	4" Topsoil					
22.0	4" Topsoil					
22.5	4" Topsoil					
23.0	4" Topsoil					
23.5	4" Topsoil					
24.0	4" Topsoil					
24.5	4" Topsoil					
25.0	4" Topsoil					
25.5	4" Topsoil					
26.0	4" Topsoil					
26.5	4" Topsoil					
27.0	4" Topsoil					
27.5	4" Topsoil					
28.0	4" Topsoil					
28.5	4" Topsoil					
29.0	4" Topsoil					
29.5	4" Topsoil					
30.0	4" Topsoil					
30.5	4" Topsoil					
31.0	4" Topsoil					
31.5	4" Topsoil					
32.0	4" Topsoil					
32.5	4" Topsoil					
33.0	4" Topsoil					
33.5	4" Topsoil					
34.0	4" Topsoil					
34.5	4" Topsoil					
35.0	4" Topsoil					
35.5	4" Topsoil					
36.0	4" Topsoil					
36.5	4" Topsoil					
37.0	4" Topsoil					
37.5	4" Topsoil					
38.0	4" Topsoil					
38.5	4" Topsoil					
39.0	4" Topsoil					
39.5	4" Topsoil					
40.0	4" Topsoil					
40.5	4" Topsoil					
41.0	4" Topsoil					
41.5	4" Topsoil					
42.0	4" Topsoil					
42.5	4" Topsoil					
43.0	4" Topsoil					
43.5	4" Topsoil					
44.0	4" Topsoil					
44.5	4" Topsoil					
45.0	4" Topsoil					
45.5	4" Topsoil					
46.0	4" Topsoil					
46.5	4" Topsoil					
47.0	4" Topsoil					
47.5	4" Topsoil					
48.0	4" Topsoil					
48.5	4" Topsoil					
49.0	4" Topsoil					
49.5	4" Topsoil					
50.0	4" Topsoil					

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Trotter Woods, Location: Howard County, Maryland

Drill No: SWM-11, Job # 08455

Date: 10-27-08

Depth	Description	Soils and Sampling Notes	Rec	NA	SPT Blows	SPT Blows/ft
0	4" Topsoil					
0.5	4" Topsoil					
1.0	4" Topsoil					
1.5	4" Topsoil					
2.0	4" Topsoil					
2.5	4" Topsoil					
3.0	4" Topsoil					
3.5	4" Topsoil					
4.0	4" Topsoil					
4.5	4" Topsoil					
5.0	4" Topsoil					
5.5	4" Topsoil					
6.0	4" Topsoil					
6.5	4" Topsoil					
7.0	4" Topsoil					
7.5	4" Topsoil					
8.0	4" Topsoil					
8.5	4" Topsoil					
9.0	4" Topsoil					
9.5	4" Topsoil					
10.0	4" Topsoil					
10.5	4" Topsoil					
11.0	4" Topsoil					
11.5	4" Topsoil					
12.0	4" Topsoil					
12.5	4" Topsoil					
13.0	4" Topsoil					
13.5	4" Topsoil					
14.0	4" Topsoil					
14.5	4" Topsoil					
15.0	4" Topsoil					
15.5	4" Topsoil					
16.0	4" Topsoil					
16.5	4" Topsoil					
17.0	4" Topsoil					
17.5	4" Topsoil					
18.0	4" Topsoil					
18.5	4" Topsoil					
19.0	4" Topsoil					
19.5	4" Topsoil					
20.0	4" Topsoil					
20.5	4" Topsoil					
21.0	4" Topsoil					
21.5	4" Topsoil					
22.0	4" Topsoil					
22.5	4" Topsoil					
23.0	4" Topsoil					
23.5	4" Topsoil					
24.0	4" Topsoil					
24.5	4" Topsoil					
25.0	4" Topsoil					
25.5	4" Topsoil					
26.0	4" Topsoil					
26.5	4" Topsoil					
27.0	4" Topsoil					
27.5	4" Topsoil					
28.0	4" Topsoil					
28.5	4" Topsoil					
29.0	4" Topsoil					
29.5	4" Topsoil					
30.0	4" Topsoil					
30.5	4" Topsoil					
31.0	4" Topsoil					
31.5	4" Topsoil					
32.0	4" Topsoil					
32.5	4" Topsoil					
33.0	4" Topsoil					
33.5	4" Topsoil					
34.0	4" Topsoil					
34.5	4" Topsoil					
35.0	4" Topsoil					
35.5	4" Topsoil					
36.0	4" Topsoil					
36.5	4" Topsoil					
37.0	4" Topsoil					
37.5	4" Topsoil					
38.0	4" Topsoil					
38.5	4" Topsoil					
39.0	4" Topsoil					
39.5	4" Topsoil					
40.0	4" Topsoil					
40.5	4" Topsoil					
41.0	4" Topsoil					
41.5	4" Topsoil					
42.0	4" Topsoil					
42.5	4" Topsoil					
43.0	4" Topsoil					
43.5	4" Topsoil					
44.0	4" Topsoil					
44.5	4" Topsoil					
45.0	4" Topsoil					
45.5	4" Topsoil					
46.0	4" Topsoil					
46.5	4" Topsoil					
47.0	4" Topsoil					
47.5	4" Topsoil					
48.0	4" Topsoil					
48.5	4" Topsoil					
49.0	4" Topsoil					
49.5	4" Topsoil					
50.0	4" Topsoil					

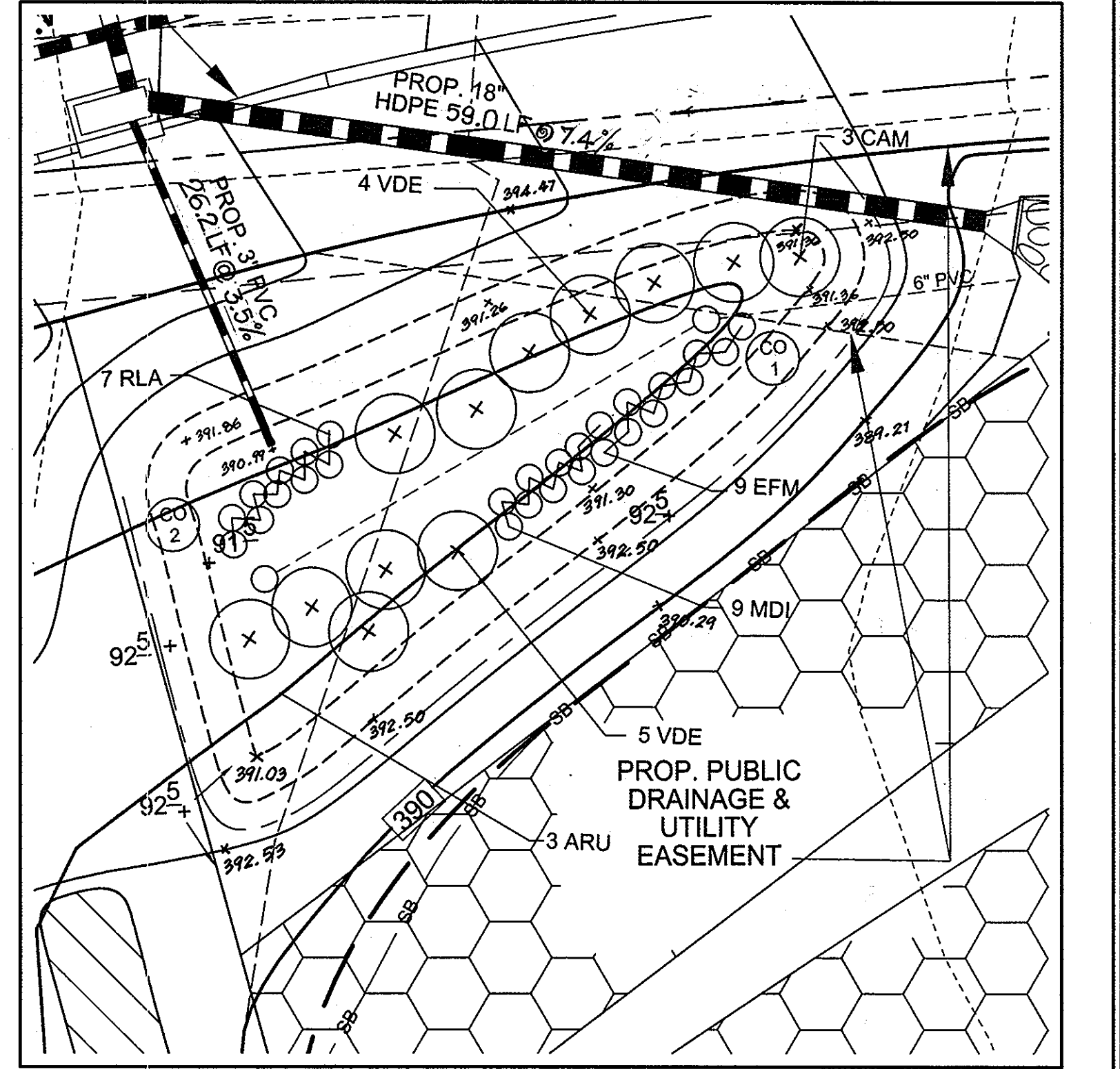
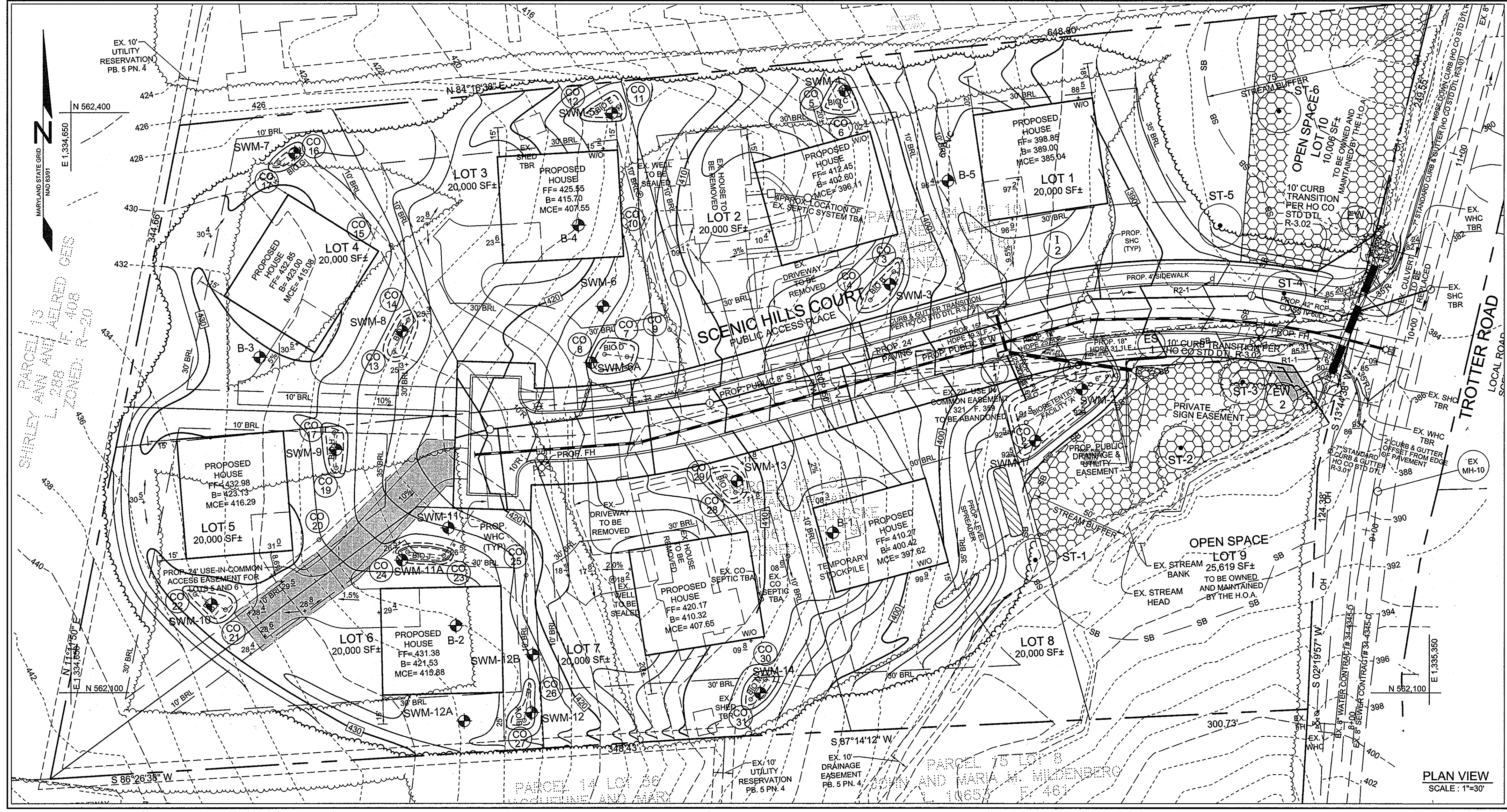
HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Trotter Woods, Location: Howard County, Maryland

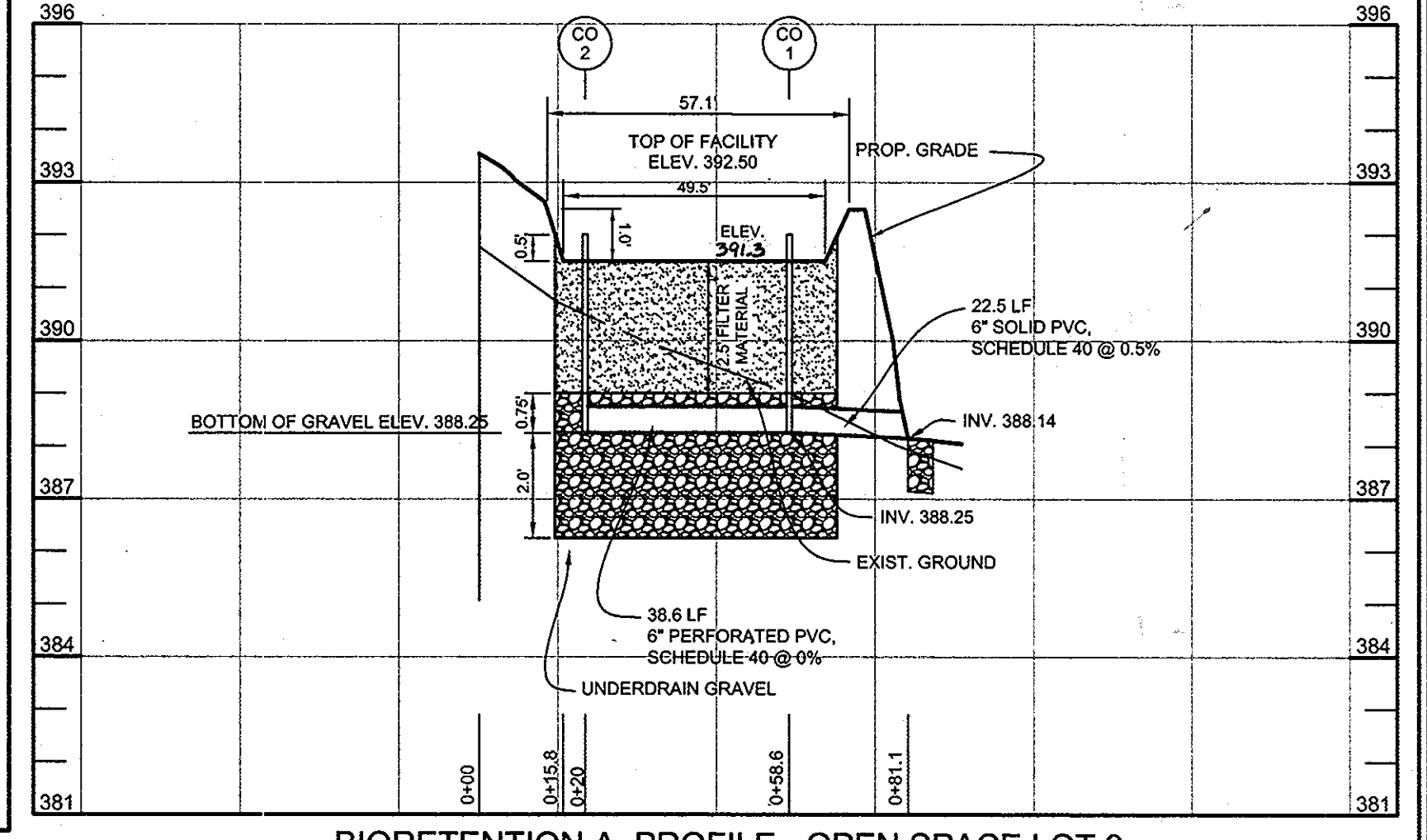
Drill No: SWM-12, Job # 08455

Date: 10-27-08

Depth	Description	Soils and Sampling Notes	Rec	NA	SPT Blows	SPT Blows/ft
0	4" Topsoil					
0.5	4" Topsoil					
1.0	4" Topsoil					
1.5	4" Topsoil					
2.0	4" Topsoil					
2.5	4" Topsoil					
3.0	4" Topsoil					
3.5	4" Topsoil					
4.0	4" Topsoil					
4.5	4" Topsoil					
5.0	4" Topsoil					
5.5	4" Topsoil					
6.0	4" Topsoil					
6.5	4" Topsoil					
7.0	4" Topsoil					
7.5	4" Topsoil					
8.0	4" Topsoil					
8.5	4" Topsoil					
9.0	4" Topsoil					
9.5	4" Topsoil					
10.0	4" Topsoil					
10.5	4" Topsoil					



PLAN VIEW - BIORETENTION "A" - OPEN SPACE LOT 9
SCALE: 1"=10'

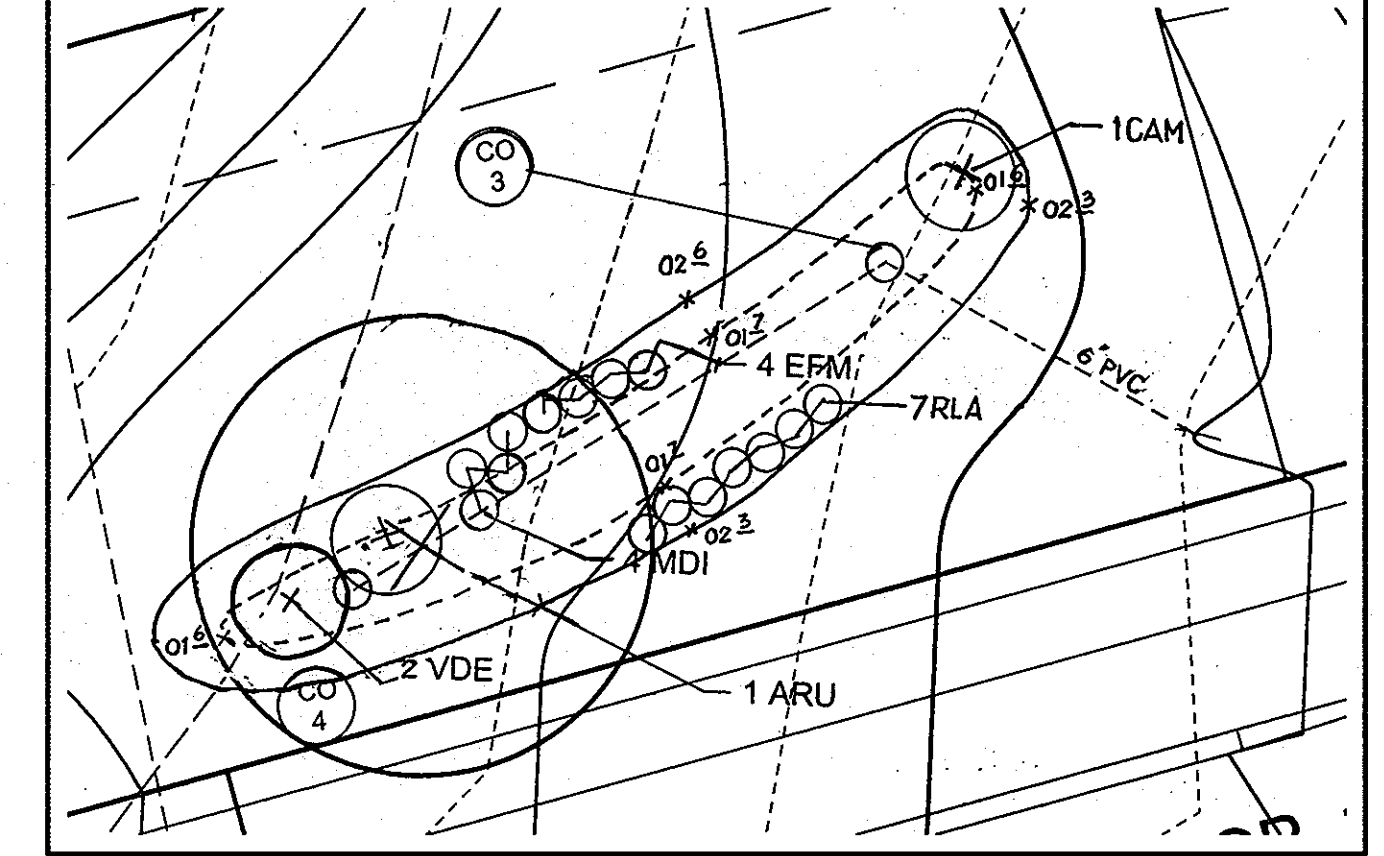


BIORETENTION A PROFILE - OPEN SPACE LOT 9
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

BIORETENTION PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY
TREES						
ARU	ACER RUBRUM	RED MAPLE	AS SHOWN	1"-1 1/2" CAL.	BB	3 1
SHRUBS						
CAM	CORNUS ANOMUM	SILKY DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	3 1
VDE	VIBURNUM DENTATUM	ARROWWOOD	AS SHOWN	18"-24" HT.	CONT.	9 2
HERBACEOUS SPECIES						
EFM	EUPATORIUM FISTULOSUM	JOE-PYE WEED	AS SHOWN	1 QT./12" HT.	CONT. (3" O.C.)	9 4
MDI	MONARDA DIDYMA	BEEBALM	AS SHOWN	1 QT.	CONT.	9 4
RLA	RUDEBECKIA LACINIATA	TALL CONEFLOWER	AS SHOWN	1 QT.	CONT.	10 7

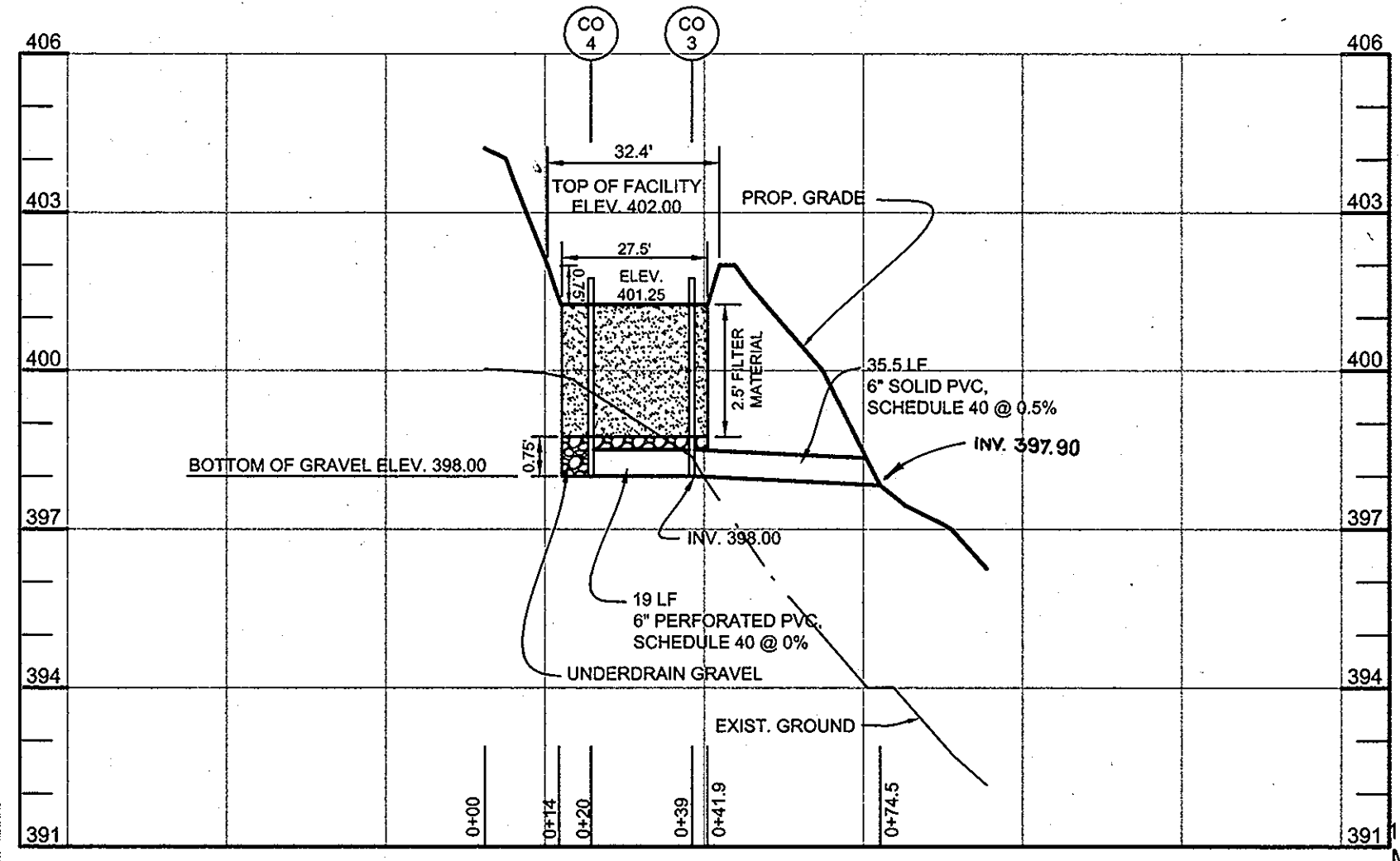
BIORETENTION "A" - OS LOT 9 = 766 S.F. OR 0.018 AC.
 REQUIRED: 800 TREES AND SHRUBS PER ACRE = 15 TREES AND SHRUBS
 PROVIDED: 3 SHADE TREES, 12 SHRUBS AND 28 HERBACEOUS SPECIES

BIORETENTION "B" - LOT 2 = 207 S.F. OR 0.005 AC.
 REQUIRED: 800 TREES AND SHRUBS PER ACRE = 4 TREES AND SHRUBS
 PROVIDED: 1 SHADE TREE, 3 SHRUBS AND 15 HERBACEOUS SPECIES



PLAN VIEW - BIORETENTION "B" - LOT 2
SCALE: 1"=10'

MATERIAL SPECIFICATIONS FOR BIORETENTION FACILITIES			
MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE PLANT LIST THIS SHEET	N/A	PLANTINGS ARE SITE SPECIFIC, SEE PLANT LIST THIS SHEET
PLANTING SOIL (2.5' TO 4' DEEP)	SAND 35% - 60% SILT 0% - 20% GROUND COMPOST 40%-50%	N/A	
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM
PEA GRAVEL DIAPHRAGM AND CURTAIN DRAIN, IF REQUIRED	PEA GRAVEL: ASTM-D-448 ORNAMENTAL STONE: WASHED COBBLES	PEA GRAVEL: NO. 8 STONE: 2" TO 5"	
GEOTEXTILE	CLASS "SE" - APPARENT OPENING SIZE (ASTM-D-4751), GRAB TENSILE STRENGTH (ASTM-D-4632), PUNCTURE RESISTANCE (ASTM-D-4833)	N/A	FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY
UNDERDRAIN GRAVEL	AASHTO M-43	0.375" TO 0.75"	
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW, MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES



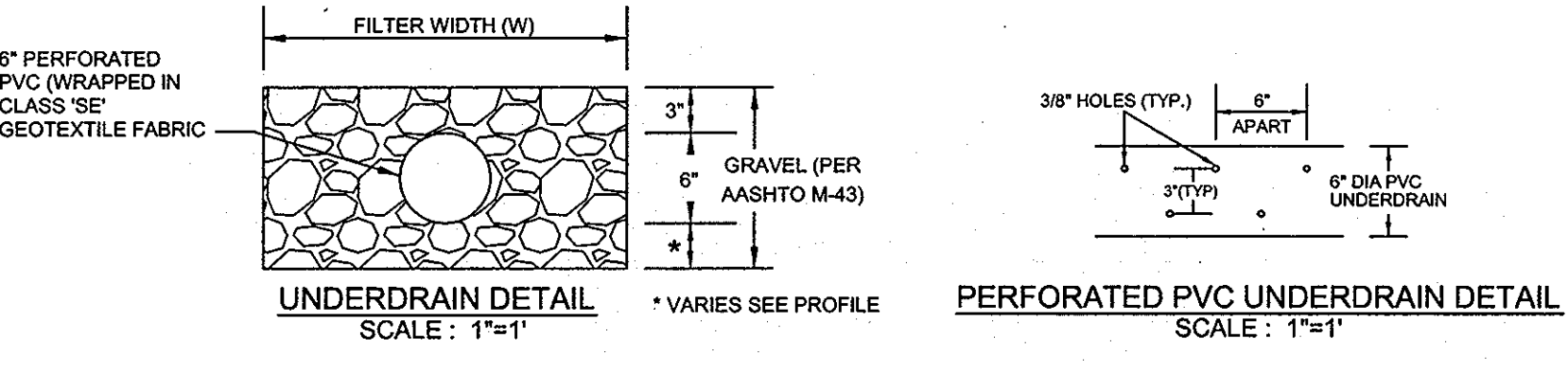
BIORETENTION B PROFILE - LOT 2
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND DIMENSIONS SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

Michael D. Adcock
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 81287, EXPIRATION DATE: 06-16-15

8-22-13
 DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Kent Shelton
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/24/10

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William R. Williams
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 5-24-10

OWNER
 JANE J. ATHEY
 17520 COUNTRY VIEW WAY
 MT. AIRY, MARYLAND 21771

OWNER
 HOWARD W. AND BARBARA W. JANOSKE
 5858 TROTTER ROAD
 CLARKSVILLE, MD 21029

DEVELOPER
 WILLIAMSBURG GROUP, LLC
 C/O ROBERT CORBETT
 5485 HARPERS FARM ROAD,
 SUITE 200
 COLUMBIA, MD 21044
 410.997.8800

STORMWATER MANAGEMENT - BIORETENTION PLANS, PROFILES, & CHARTS TROTTER LANDING

LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10

TAX MAP 35 GRID 2
 5TH ELECTION DISTRICT

PARCEL 164 AND 12
 HOWARD COUNTY, MARYLAND

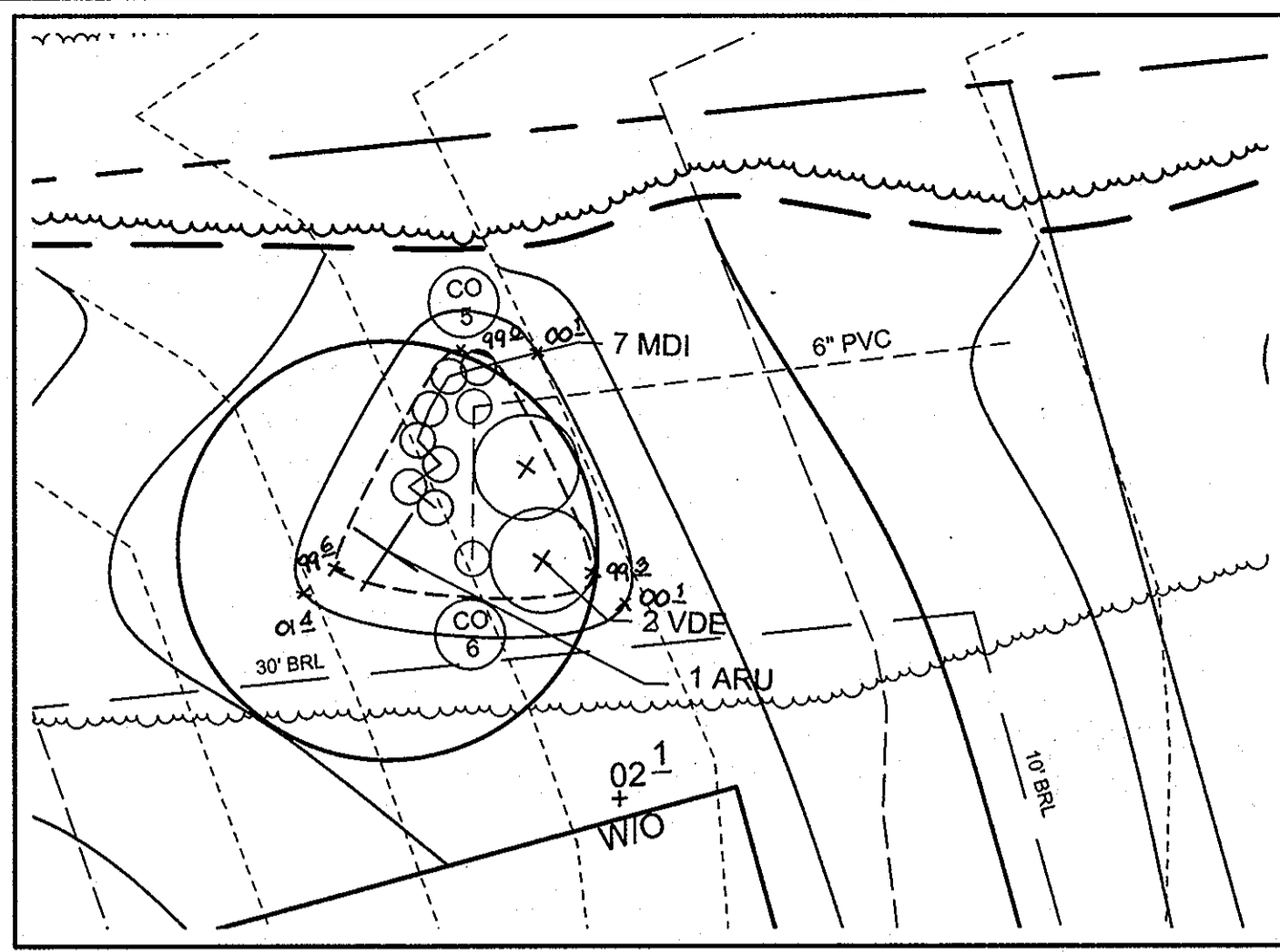
Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners

2300 North Ridge Road, Suite 160
 Elklicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@silladcock.com

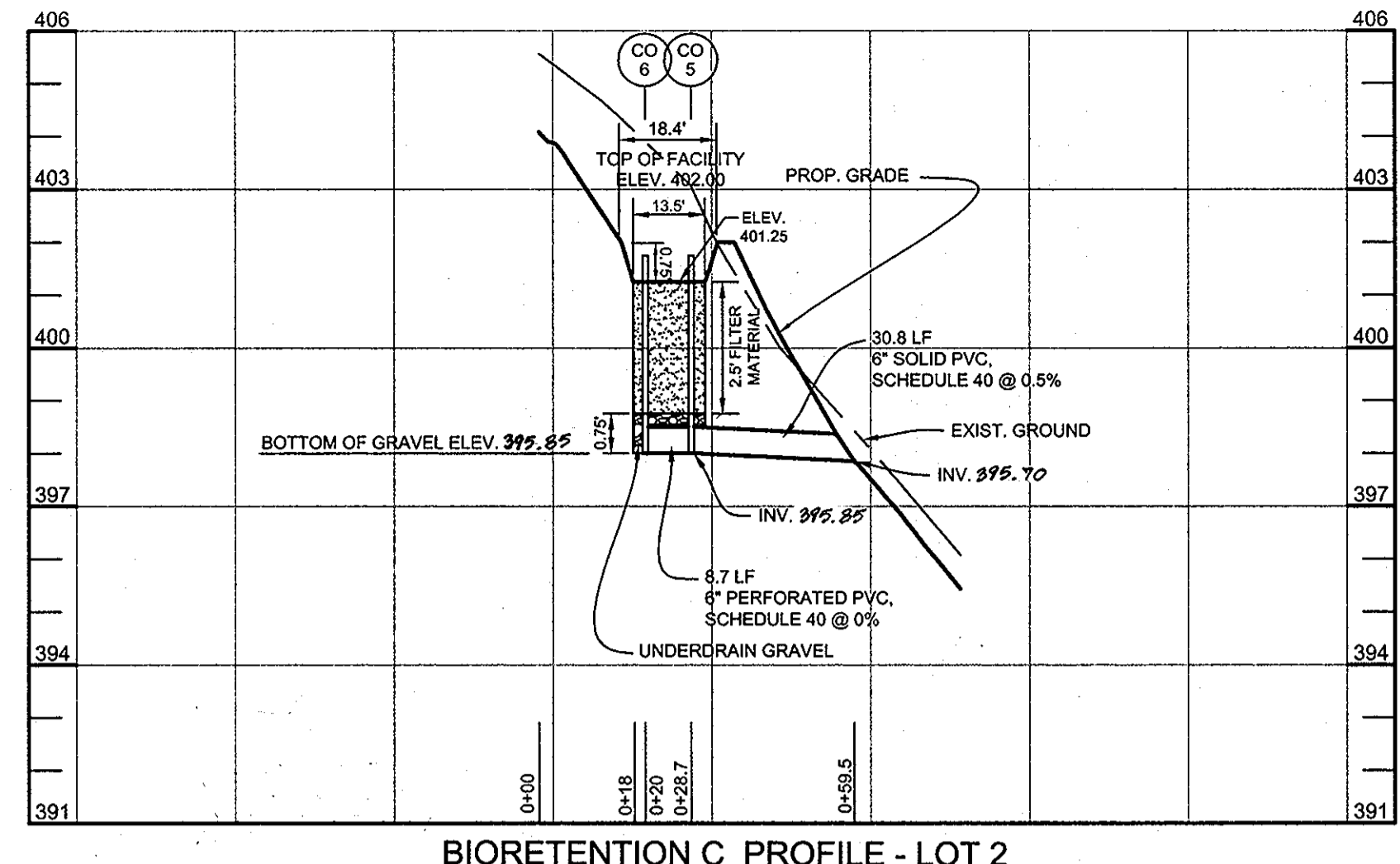
DESIGN BY: JT / SJT
 DRAWN BY: AM / SJT
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: MARCH 23, 2010
 PROJECT #: 07-105
 SHEET #: 9 of 13

AS-BUILT

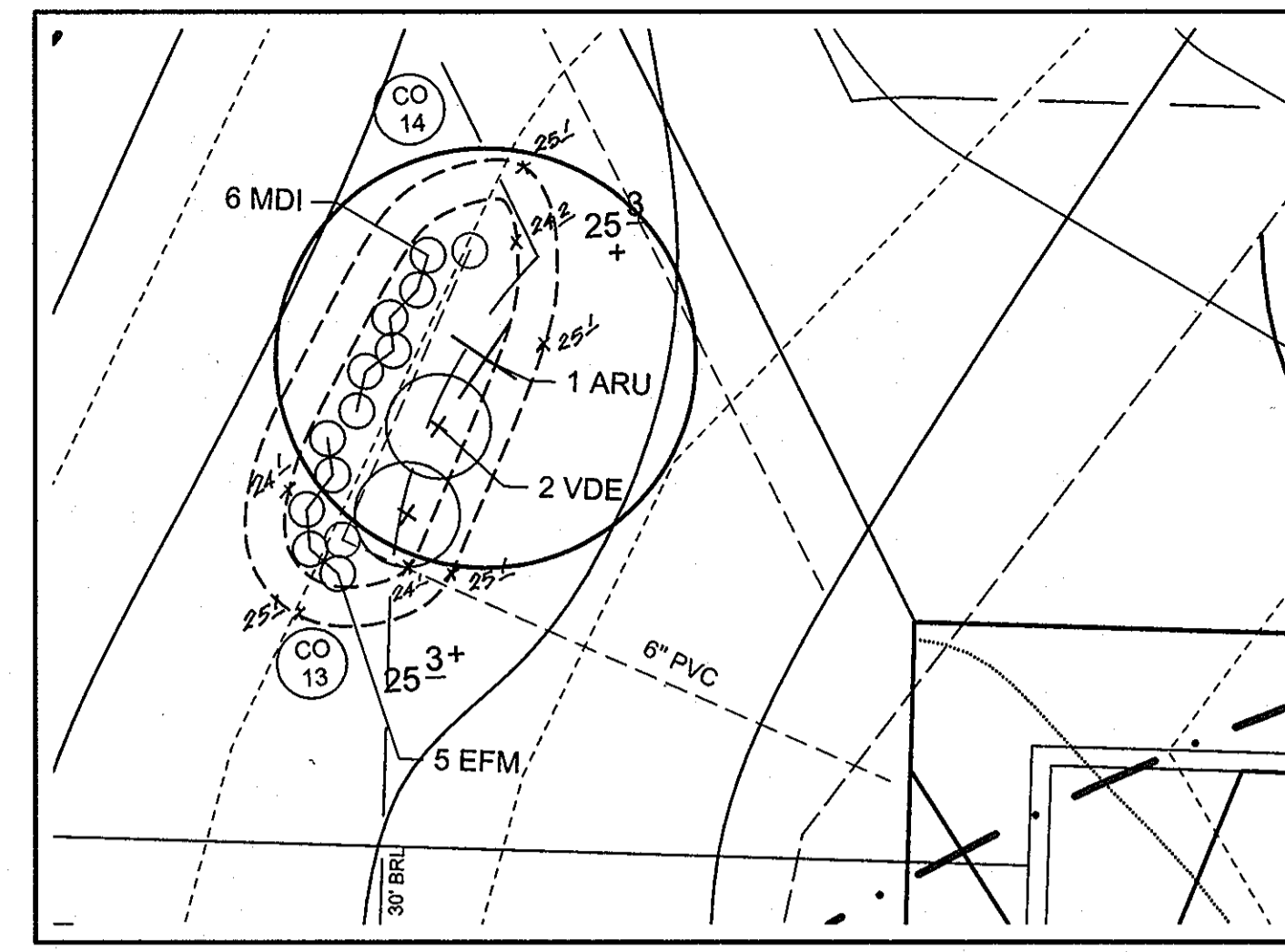
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30205, EXPIRATION DATE: JUNE 29, 2011.



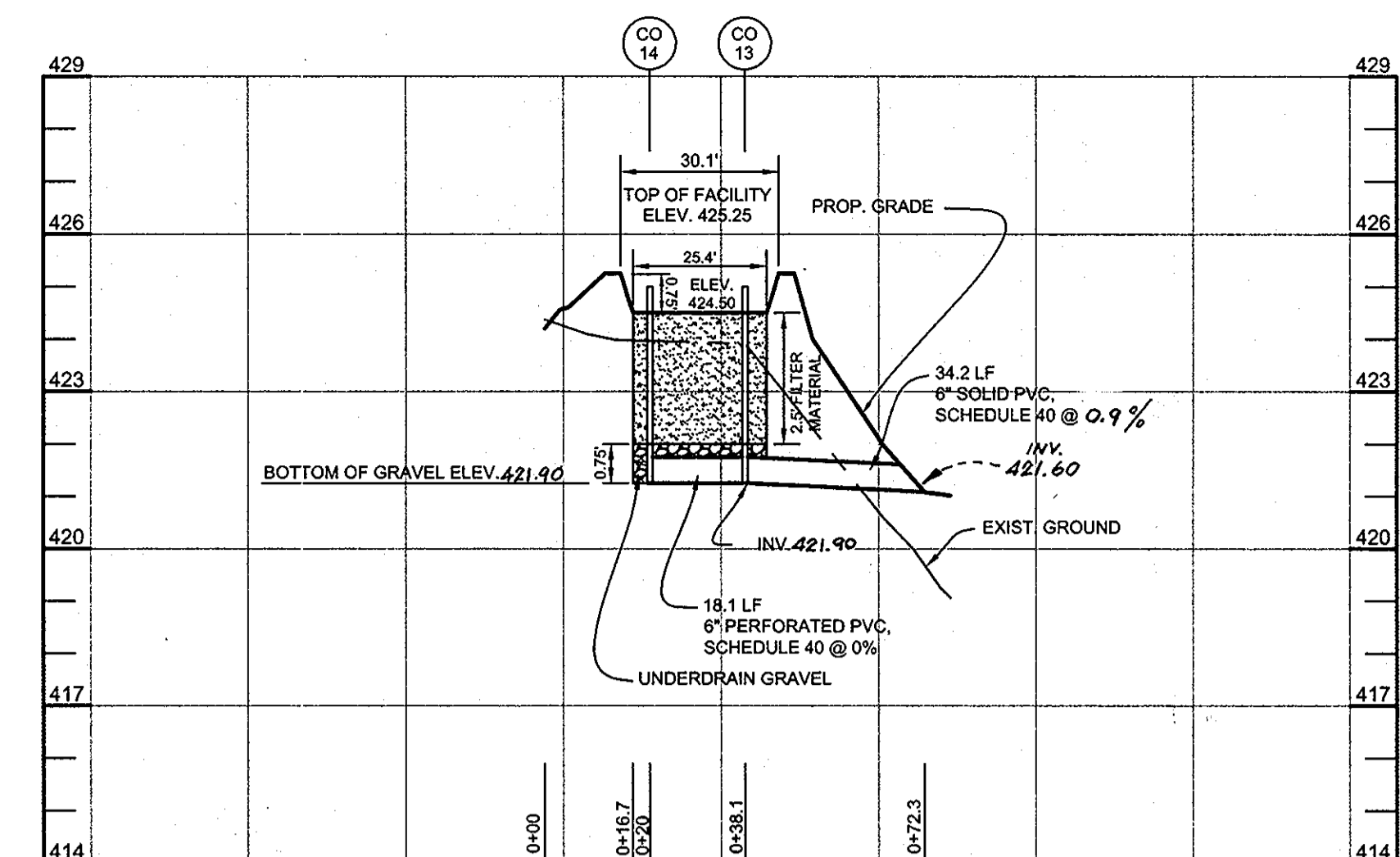
PLAN VIEW - BIORETENTION "C" - LOT 2
SCALE: 1"=10'



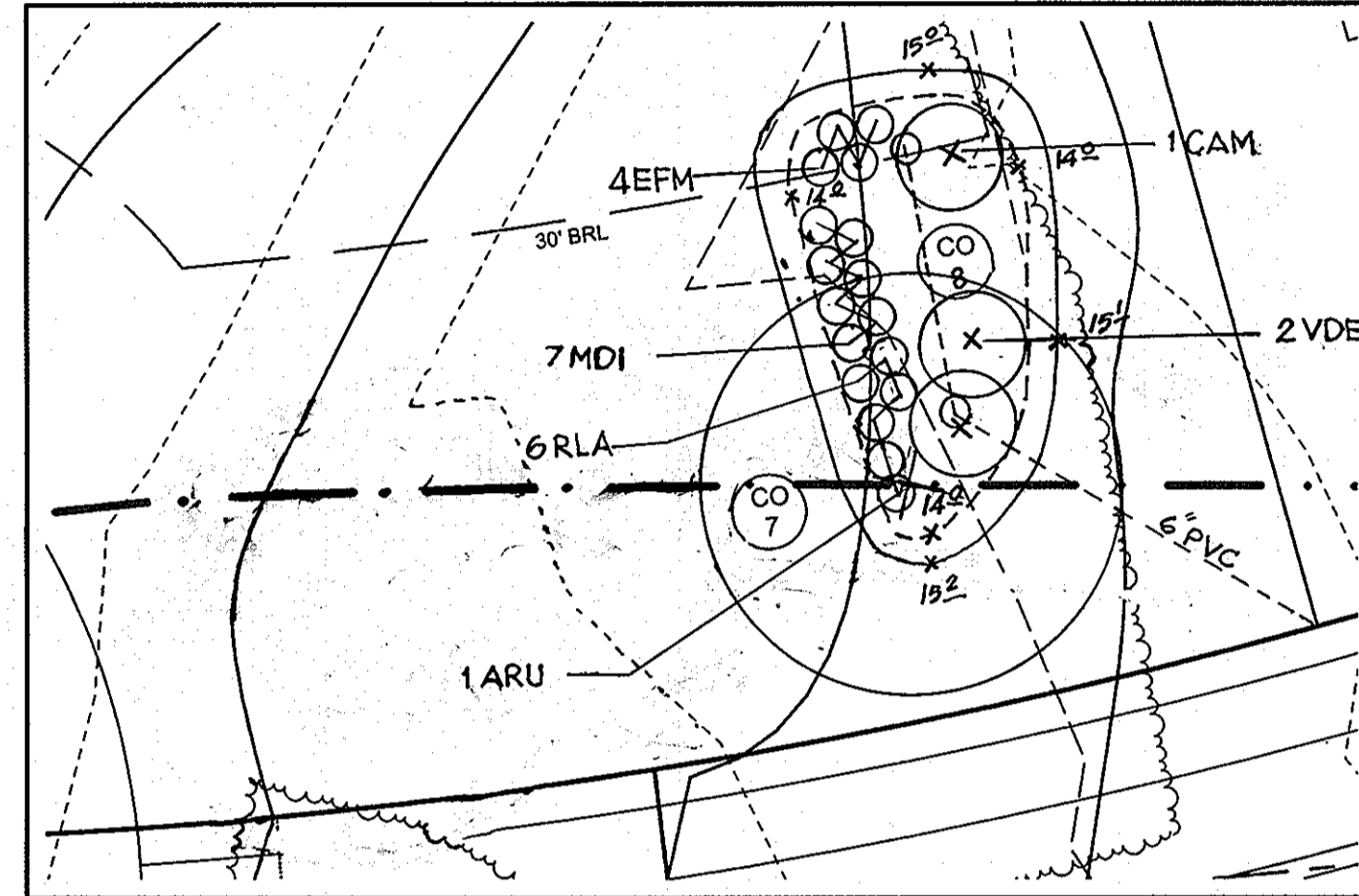
BIORETENTION C PROFILE - LOT 2
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



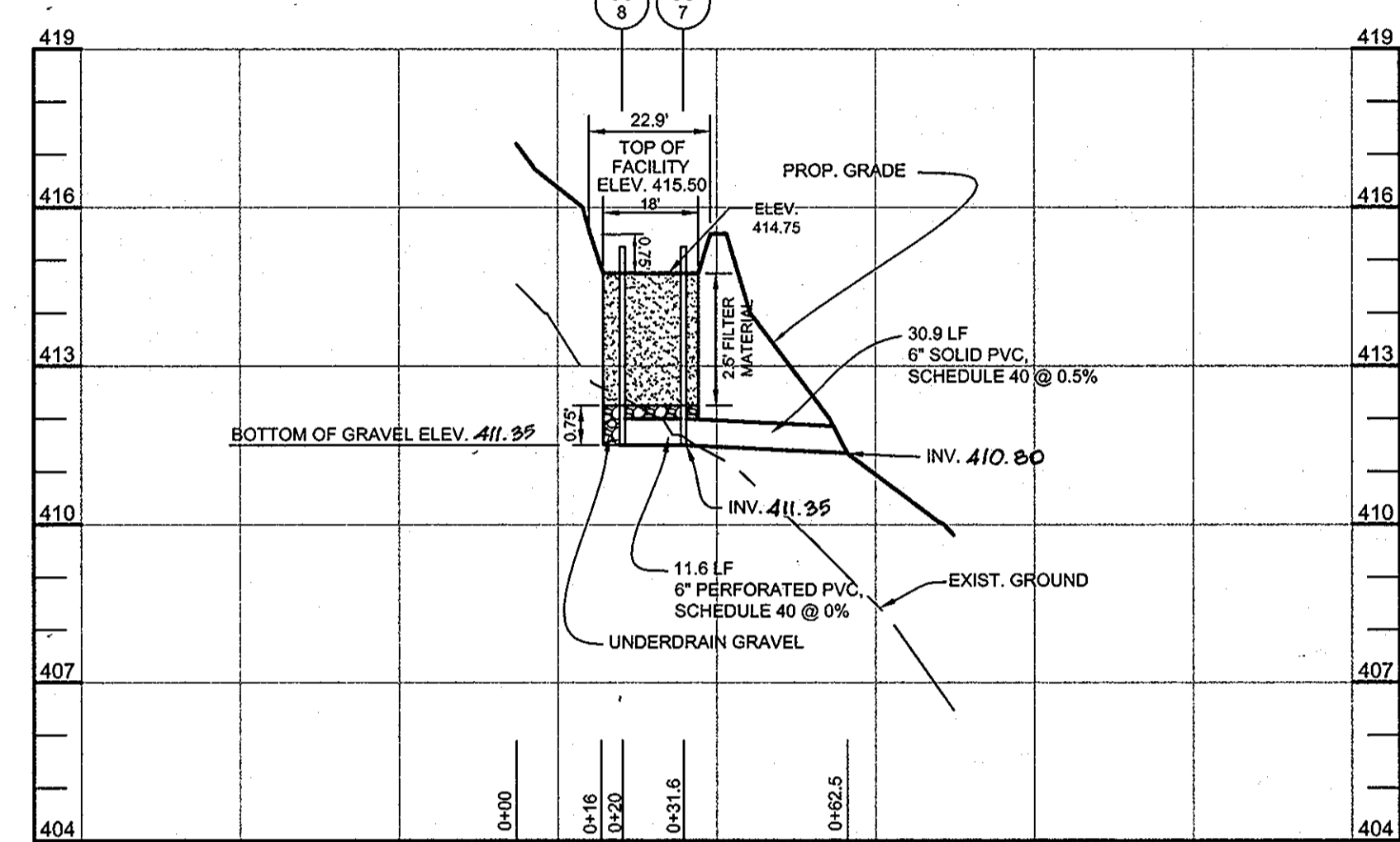
PLAN VIEW - BIORETENTION "F" - LOT 4
SCALE: 1"=10'



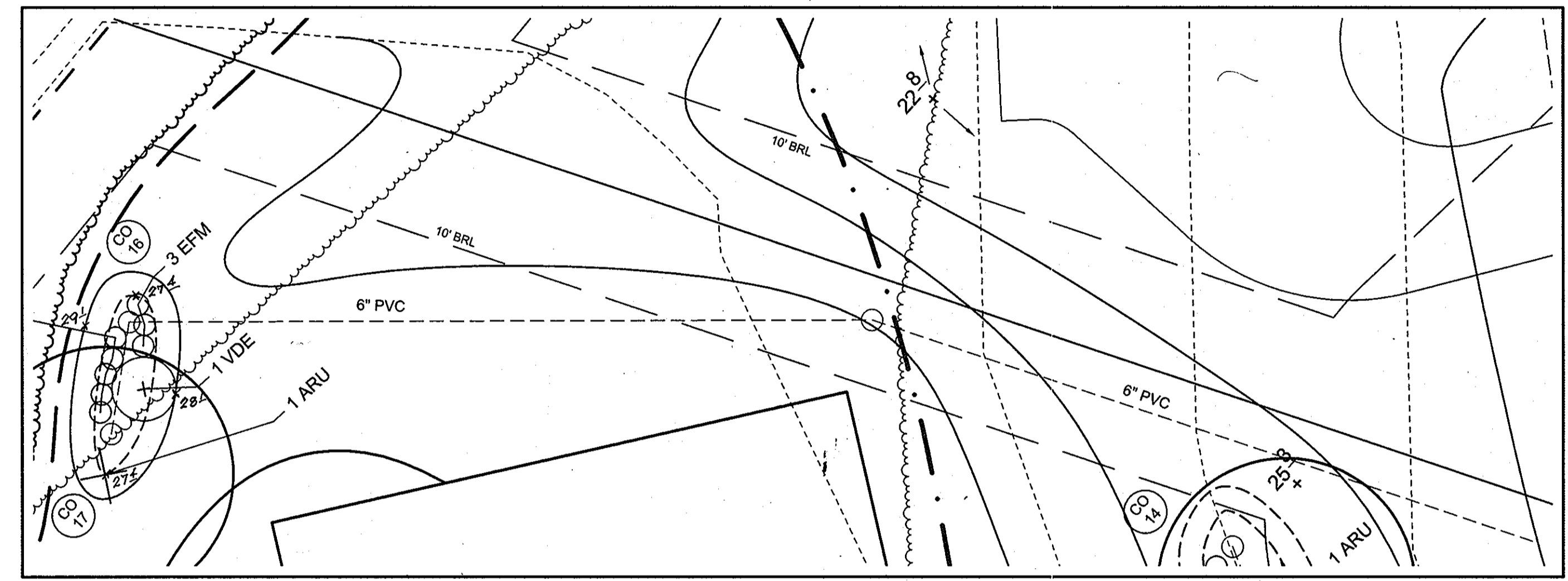
BIORETENTION F PROFILE - LOT 4
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



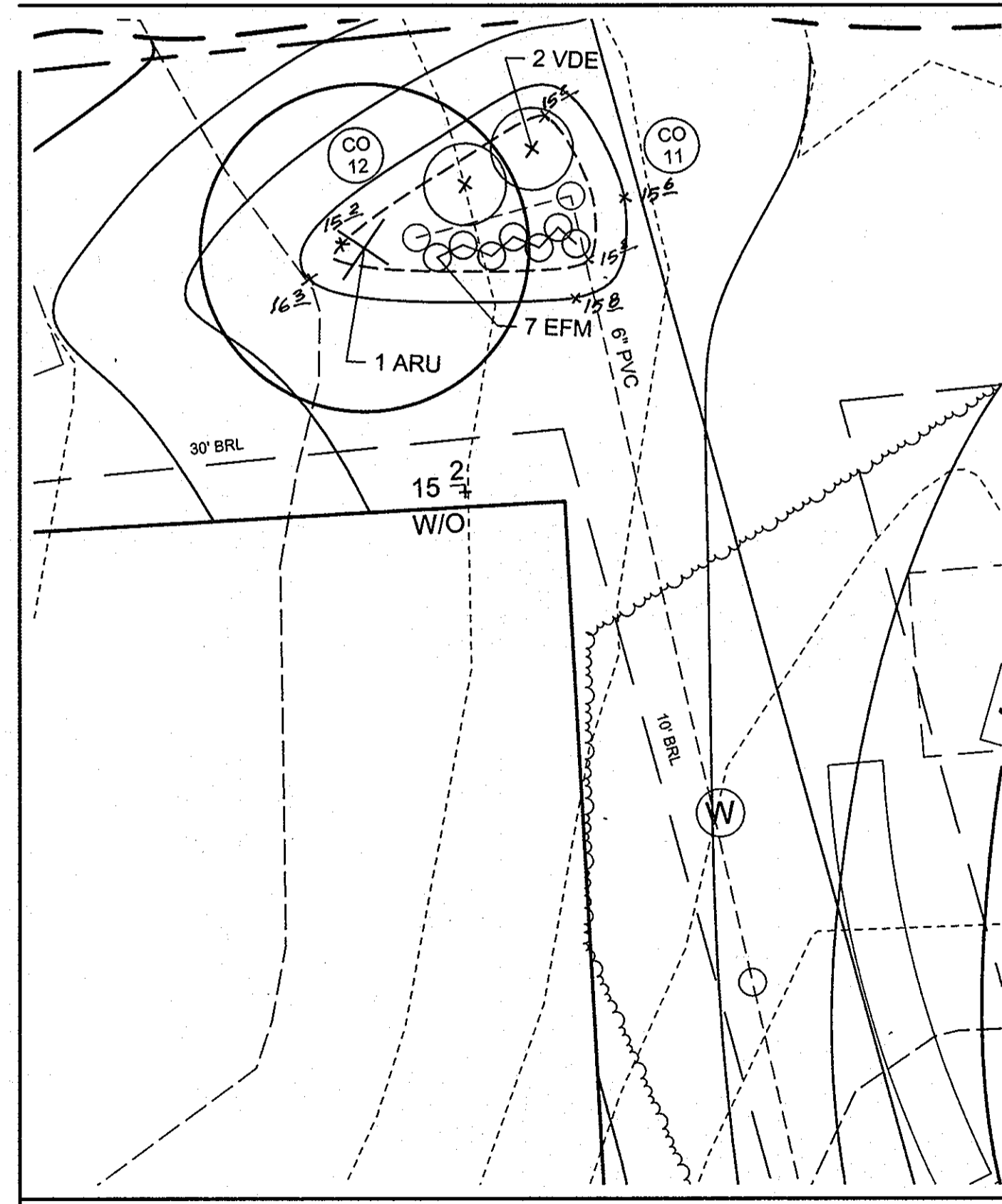
PLAN VIEW - BIORETENTION "D" - LOT 3
SCALE: 1"=10'



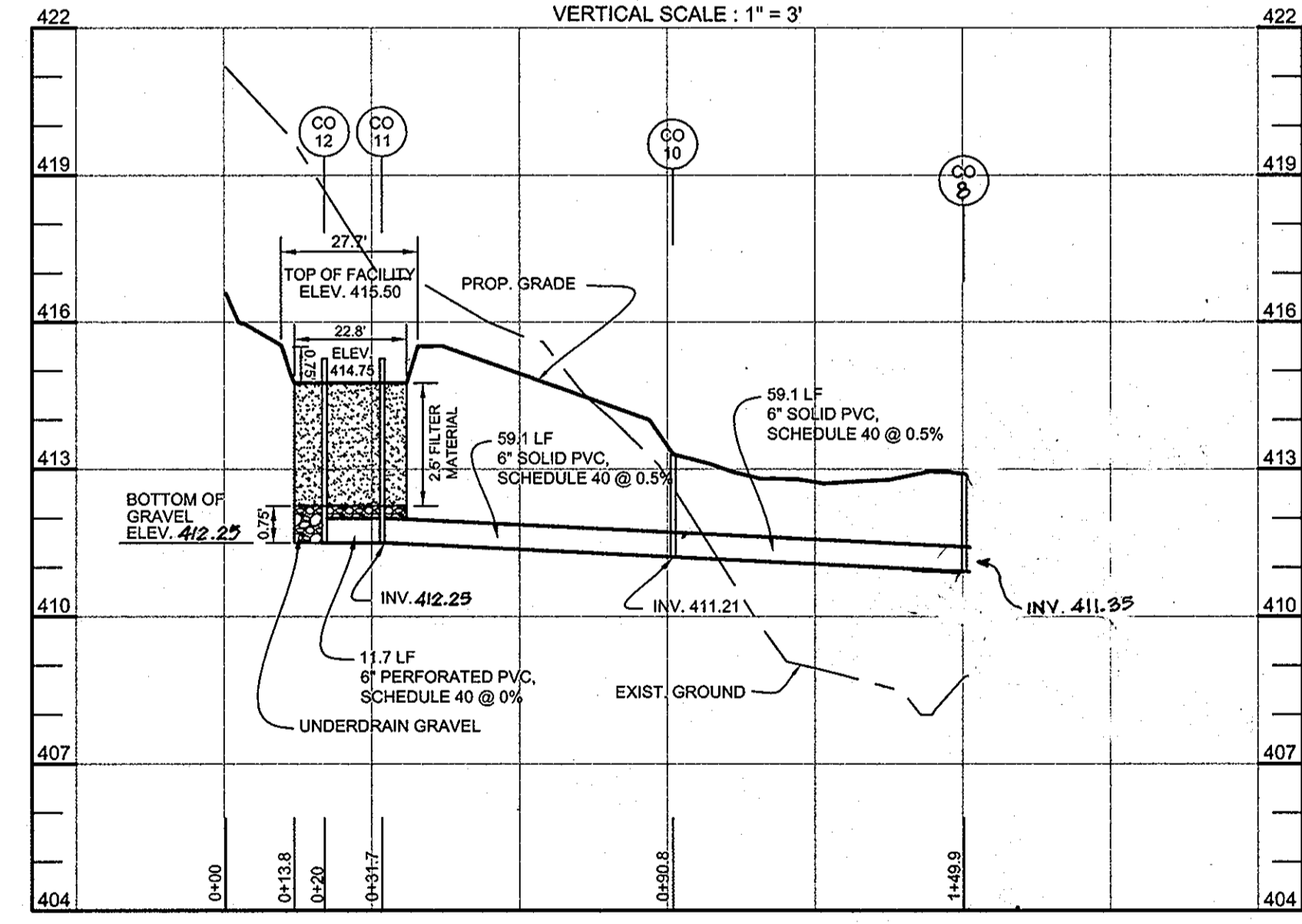
BIORETENTION D PROFILE - LOT 3
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



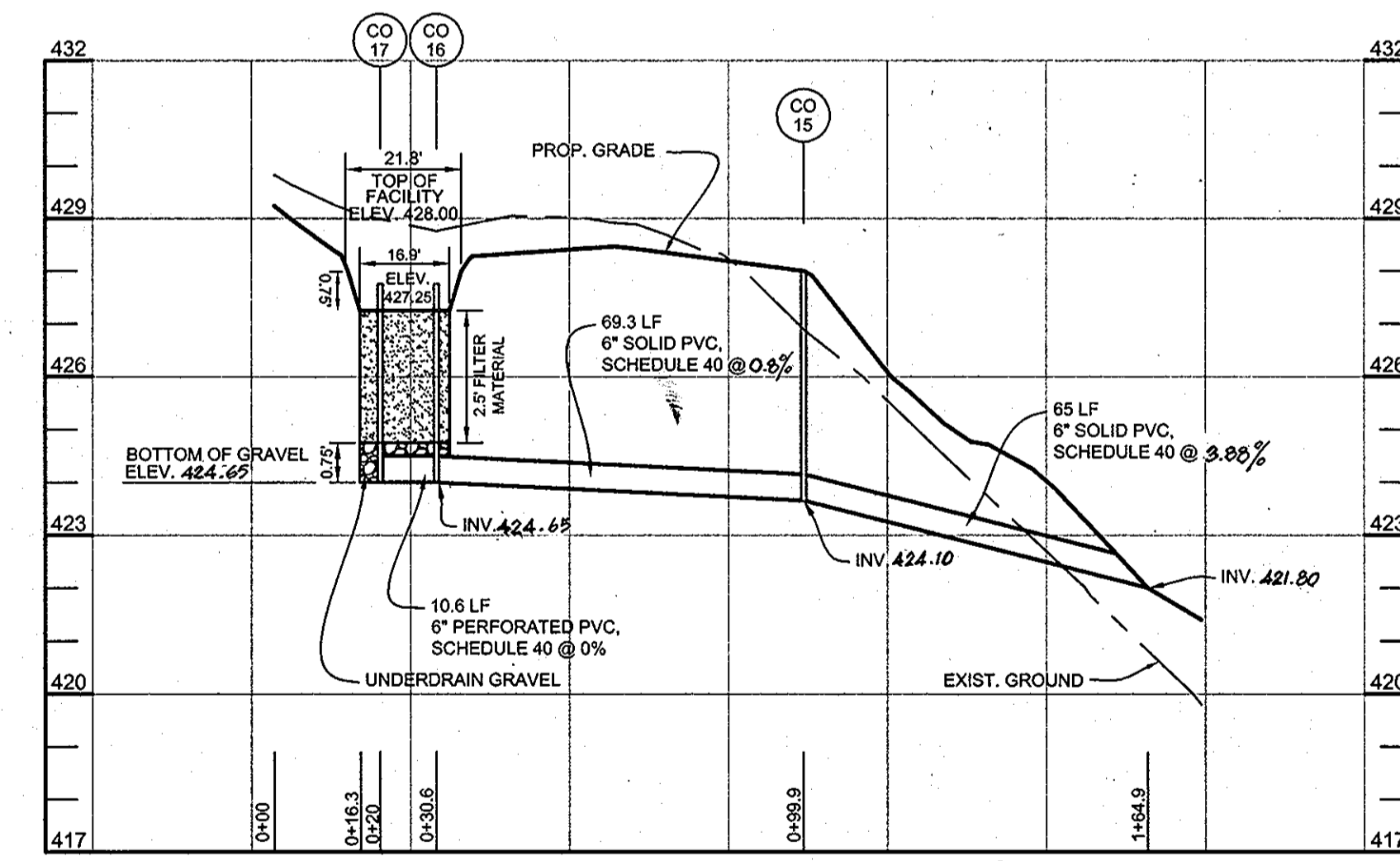
PLAN VIEW - BIORETENTION "G" - LOT 4
SCALE: 1"=10'



PLAN VIEW - BIORETENTION "E" - LOT 3
SCALE: 1"=10'



BIORETENTION E PROFILE - LOT 3 CO. 9 WAS ELIMINATED
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



BIORETENTION G PROFILE - LOT 4
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'

NOTE: FOR UNDERDRAIN DETAILS AND MATERIAL SPECIFICATIONS FOR BIORETENTION FACILITIES, SEE SHEET 9.

BIORETENTION PLANT LIST										
TREES										
KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY BIO C - LOT 2	QUANTITY BIO D - LOT 3	QUANTITY BIO E - LOT 3	QUANTITY BIO F - LOT 4	QUANTITY BIO G - LOT 4
ARU	ACER RUBRUM	RED MAPLE	AS SHOWN	1'-1 1/2" CAL.	BB	1	1	1	1	1
SHRUBS										
CAM	CORNUS AMOMUM	SILKY DOGWOOD	AS SHOWN	18'-24" HT.	CONT.	0	1	0	0	0
VDE	VIBURNUM DENTATUM	ARROWWOOD	AS SHOWN	18'-24" HT.	CONT.	2	2	2	2	1
HERBACEOUS SPECIES										
EFM	EUPATORIUM FISTULOSUM	JOE-PYE WEED	AS SHOWN	1 QT./12" HT.	CONT. (3" O.C.)	0	2	7	6	3
MDI	MONARDA DIDYMA	BEEBALM	AS SHOWN	1 QT.	CONT.	7	7	0	5	0
RLA	RUDEBECKIA LACINIATA	TALL CONEFLOWER	AS SHOWN	1 QT.	CONT.	0	6	0	0	5
BIORETENTION "C" - LOT 2 = 136 S.F. OR 0.003 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3 PROVIDED: 1 SHADE TREES, 2 SHRUBS AND 7 HERBACEOUS SPECIES										
BIORETENTION "D" - LOT 3 = 235 S.F. OR 0.005 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 4 PROVIDED: 1 SHADE TREES, 3 SHRUBS AND 15 HERBACEOUS SPECIES										
BIORETENTION "E" - LOT 3 = 137 S.F. OR 0.003 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3 PROVIDED: 1 SHADE TREES, 2 SHRUBS AND 7 HERBACEOUS SPECIES										
BIORETENTION "F" - LOT 4 = 170 S.F. OR 0.004 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3 PROVIDED: 1 SHADE TREES, 2 SHRUBS AND 11 HERBACEOUS SPECIES										
BIORETENTION "G" - LOT 4 = 68 S.F. OR 0.002 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 2 PROVIDED: 1 SHADE TREES, 1 SHRUBS AND 7 HERBACEOUS SPECIES										

STATE OF MARYLAND
MICHAEL D. ADCOCK
PROFESSIONAL LAND SURVEYOR
No. 21257
EXPIRES 12/31/2015

AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

8-22-13
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith Redwood
CHIEF, DIVISION OF LAND DEVELOPMENT
6/11/10
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

William J. Adams
CHIEF, BUREAU OF HIGHWAYS
5-24-10
DATE

OWNER
JANE J. ATHEY
17520 COUNTRY VIEW WAY
MT. AIRY, MARYLAND 21771

OWNER
HOWARD W. AND BARBARA W. JANKOSKE
5858 TROTTER ROAD
CLARKSVILLE, MD 21029

DEVELOPER
WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD,
SUITE 200
COLUMBIA, MD 21044
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STORMWATER MANAGEMENT - BIORETENTION PLANS, PROFILES, & CHARTS
TROTTER LANDING
LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10

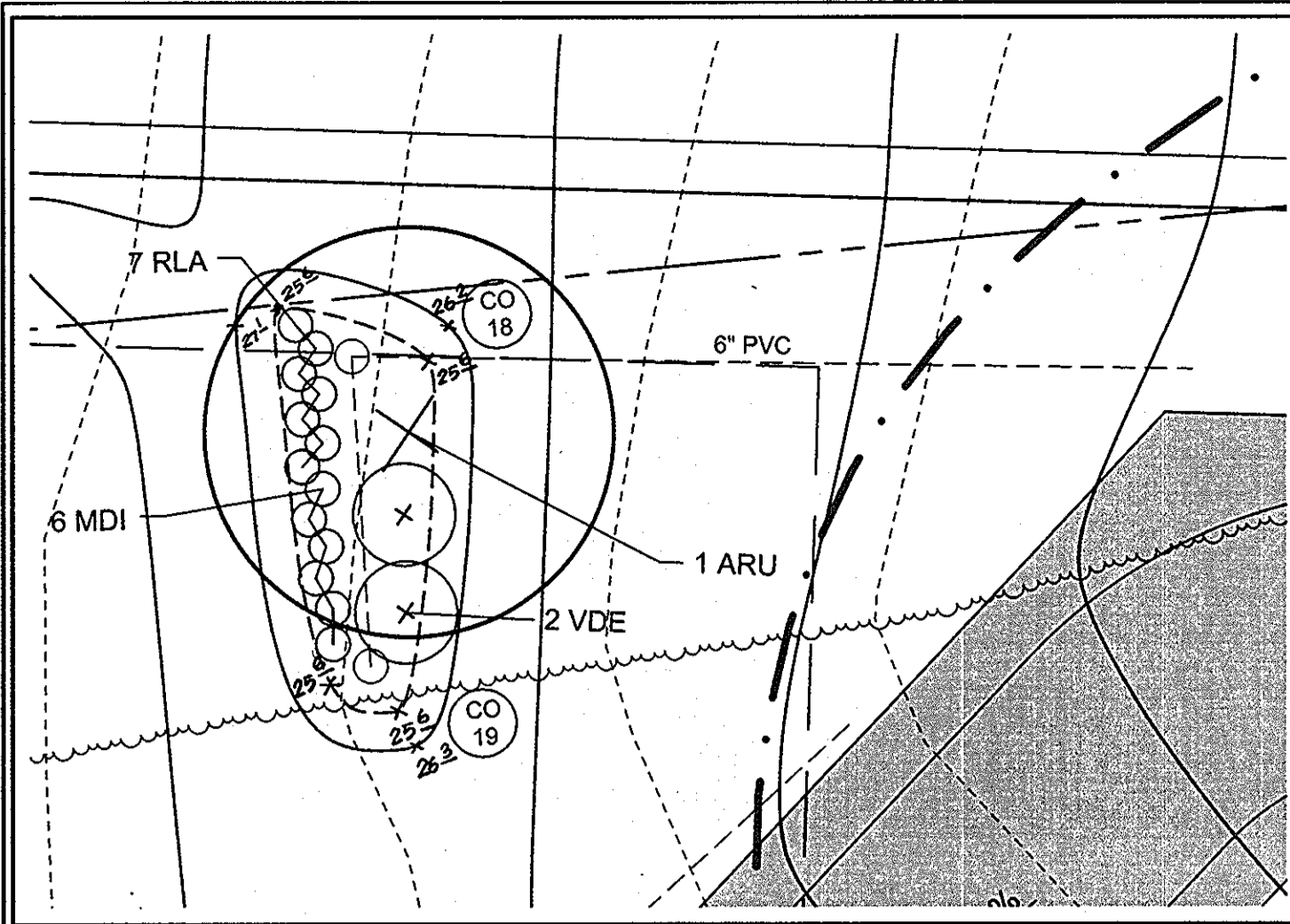
TAX MAP 35 GRID 2
5TH ELECTION DISTRICT

PARCEL 164 AND 12
HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

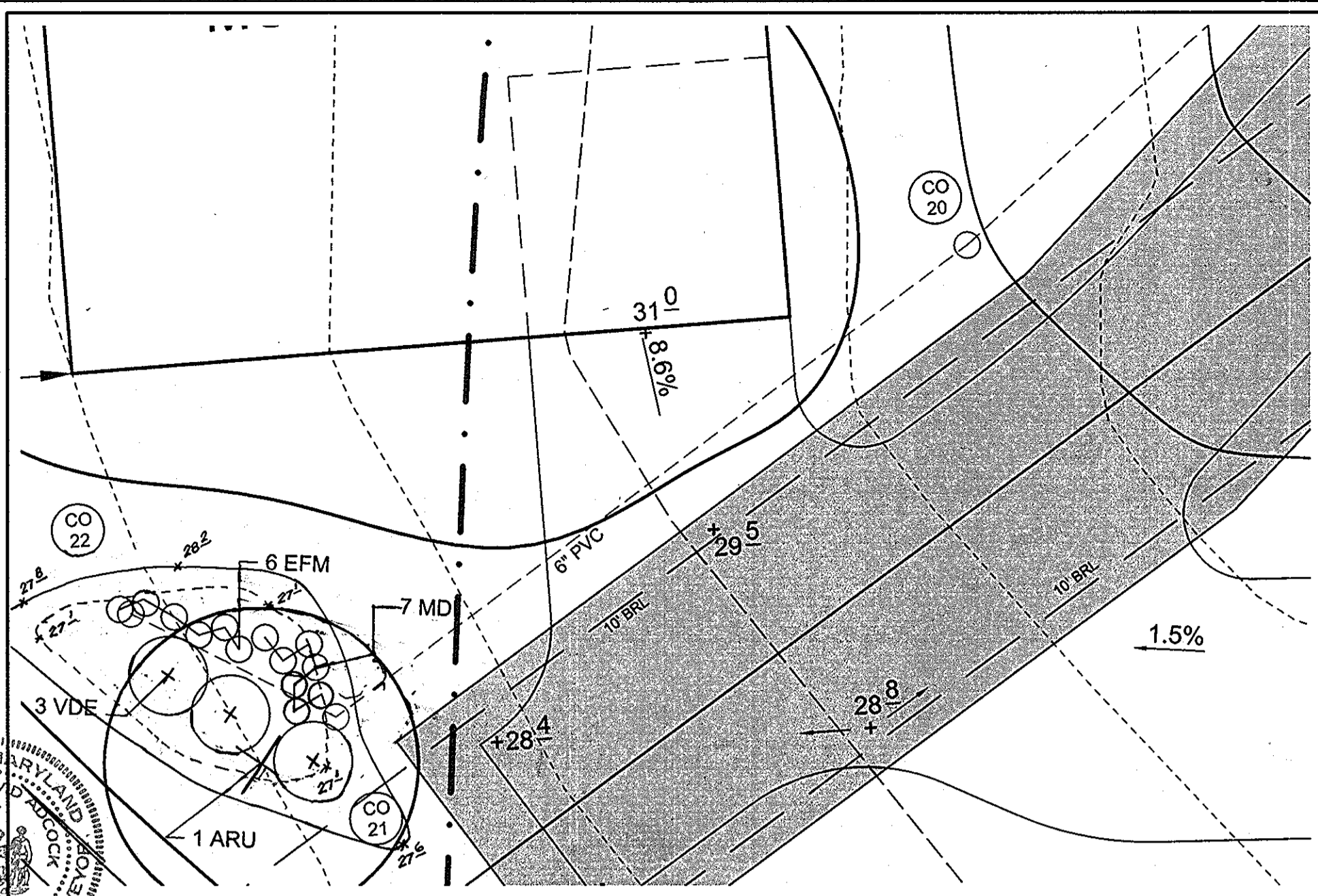
DESIGN BY: JT / SJT
DRAWN BY: AM / SJT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: MARCH 23, 2010
PROJECT #: 07-105
SHEET #: 10 of 13

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30205, EXPIRATION DATE: JUNE 30, 2011

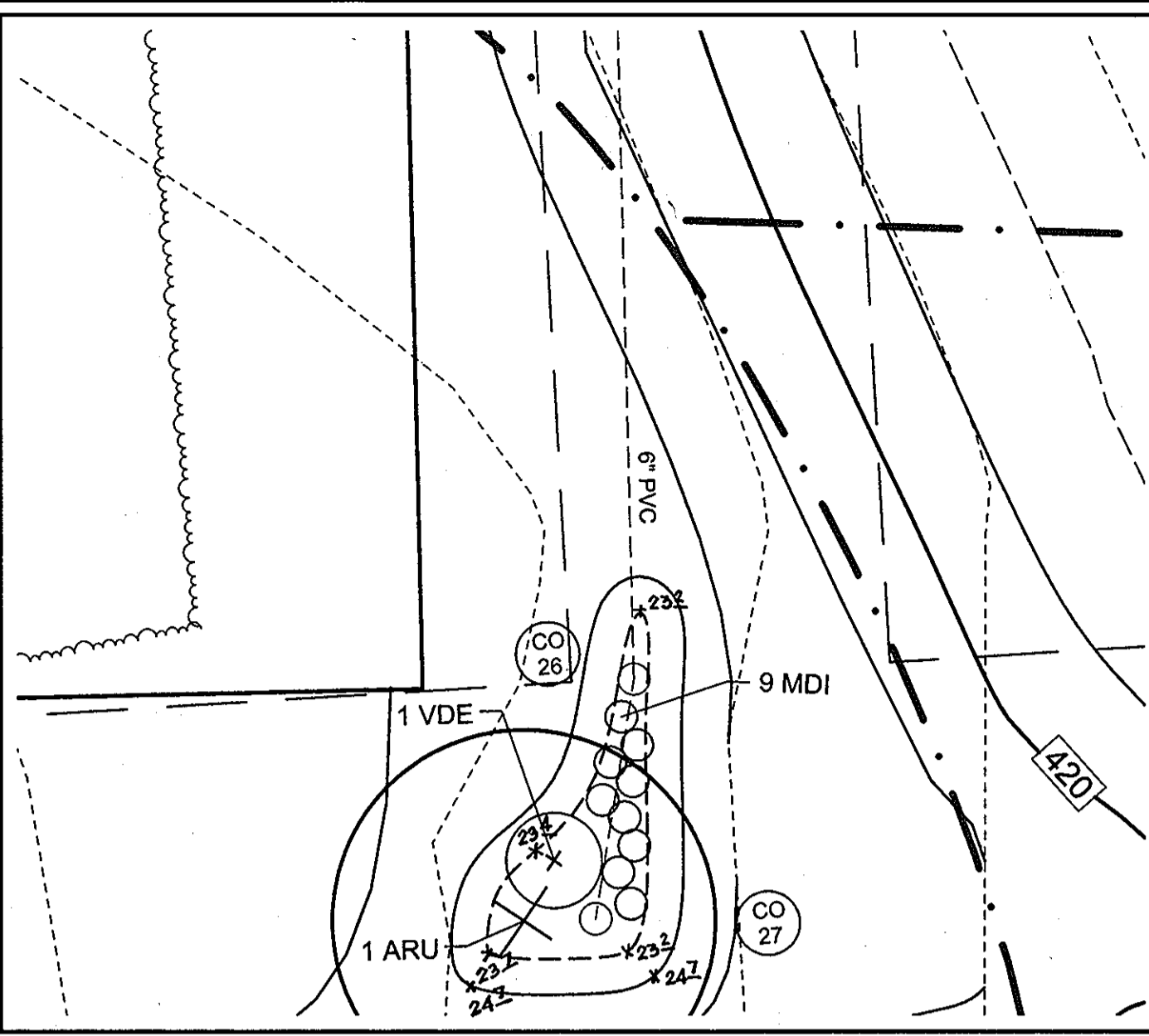


PLAN VIEW - BIORETENTION "H" - LOT 5
SCALE: 1"=10'
AS-BUILT CERTIFICATION

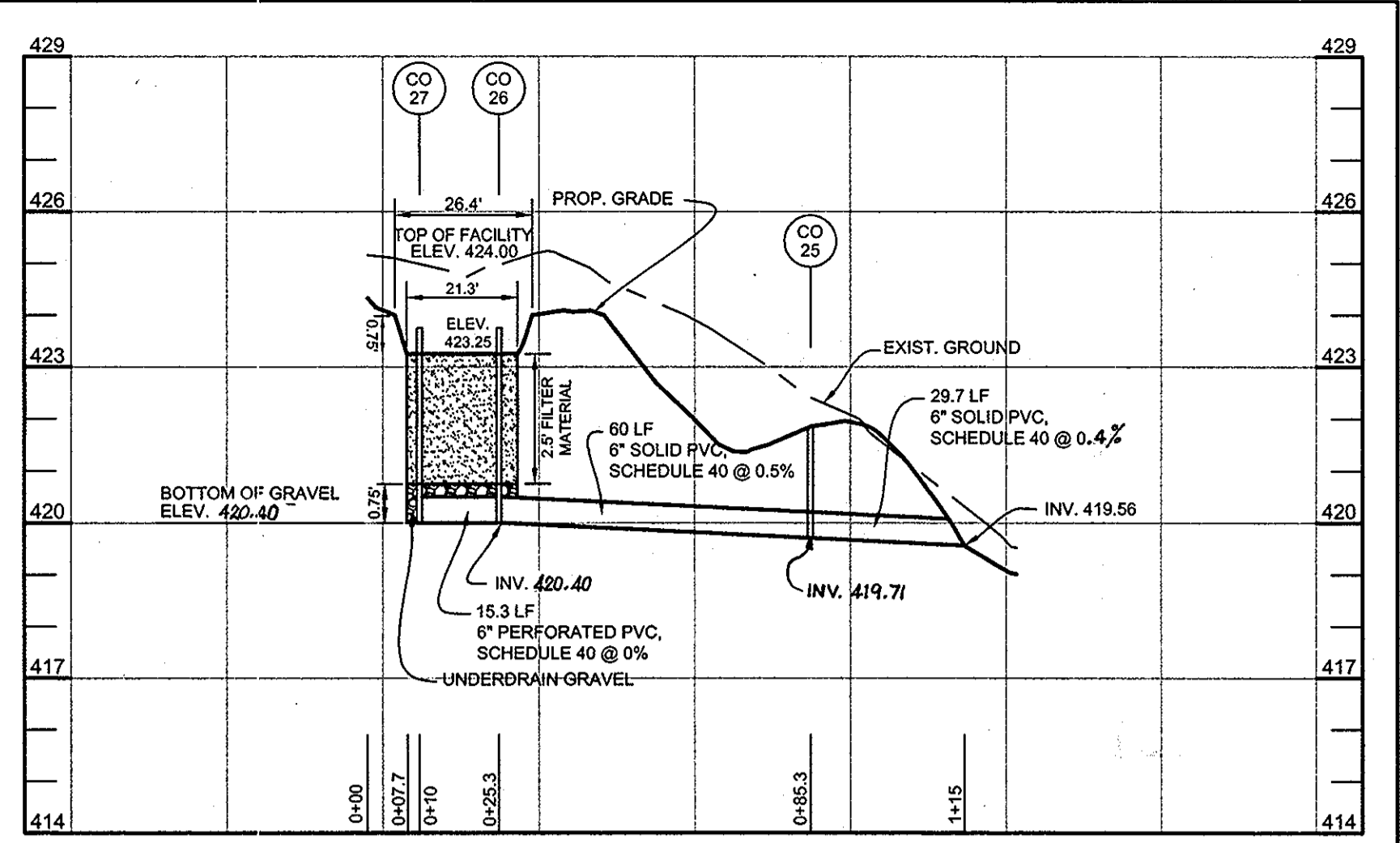
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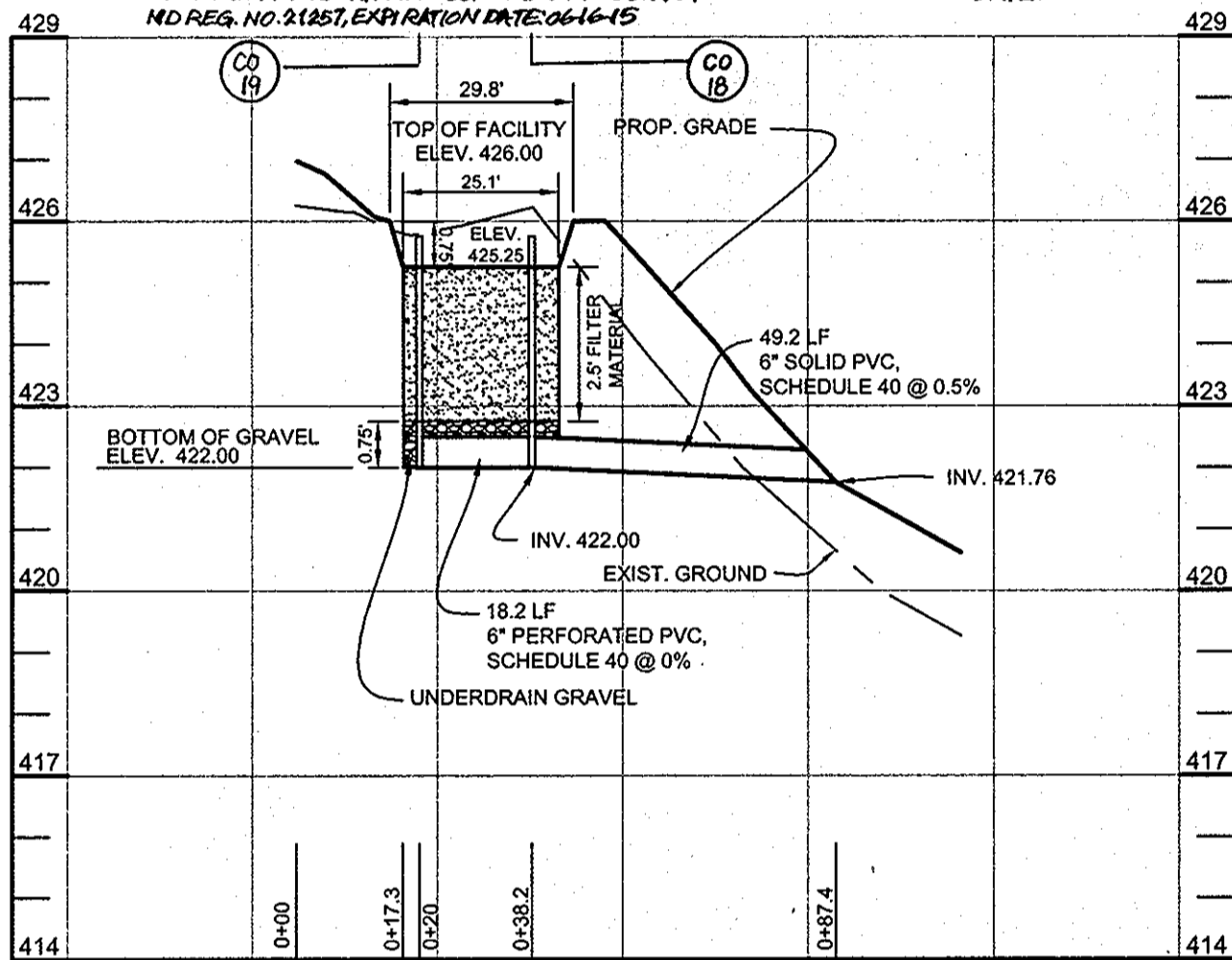
PLAN VIEW - BIORETENTION "I" - LOT 5
SCALE: 1"=10'



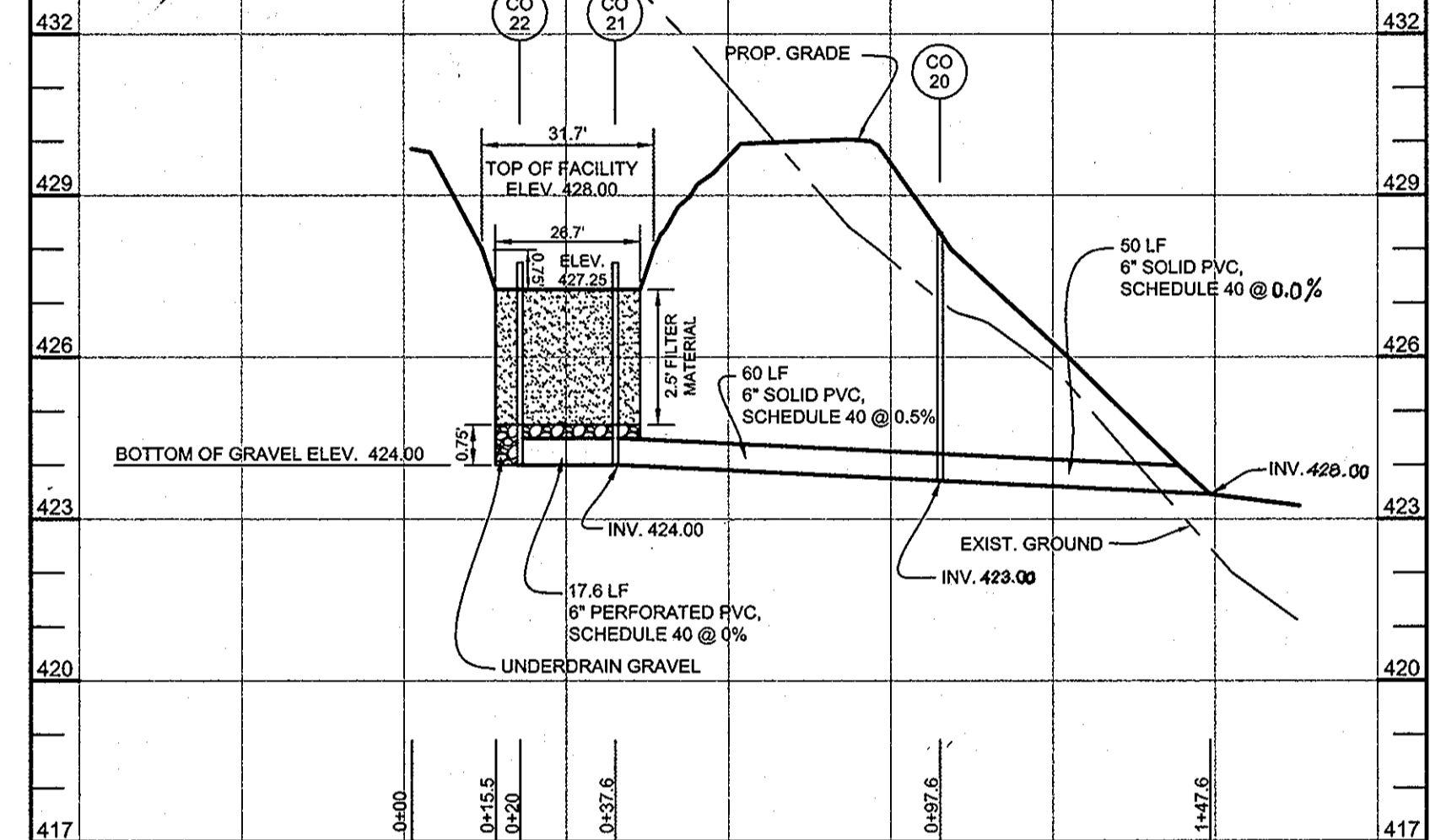
PLAN VIEW - BIORETENTION "K" - LOT 6
SCALE: 1"=10'



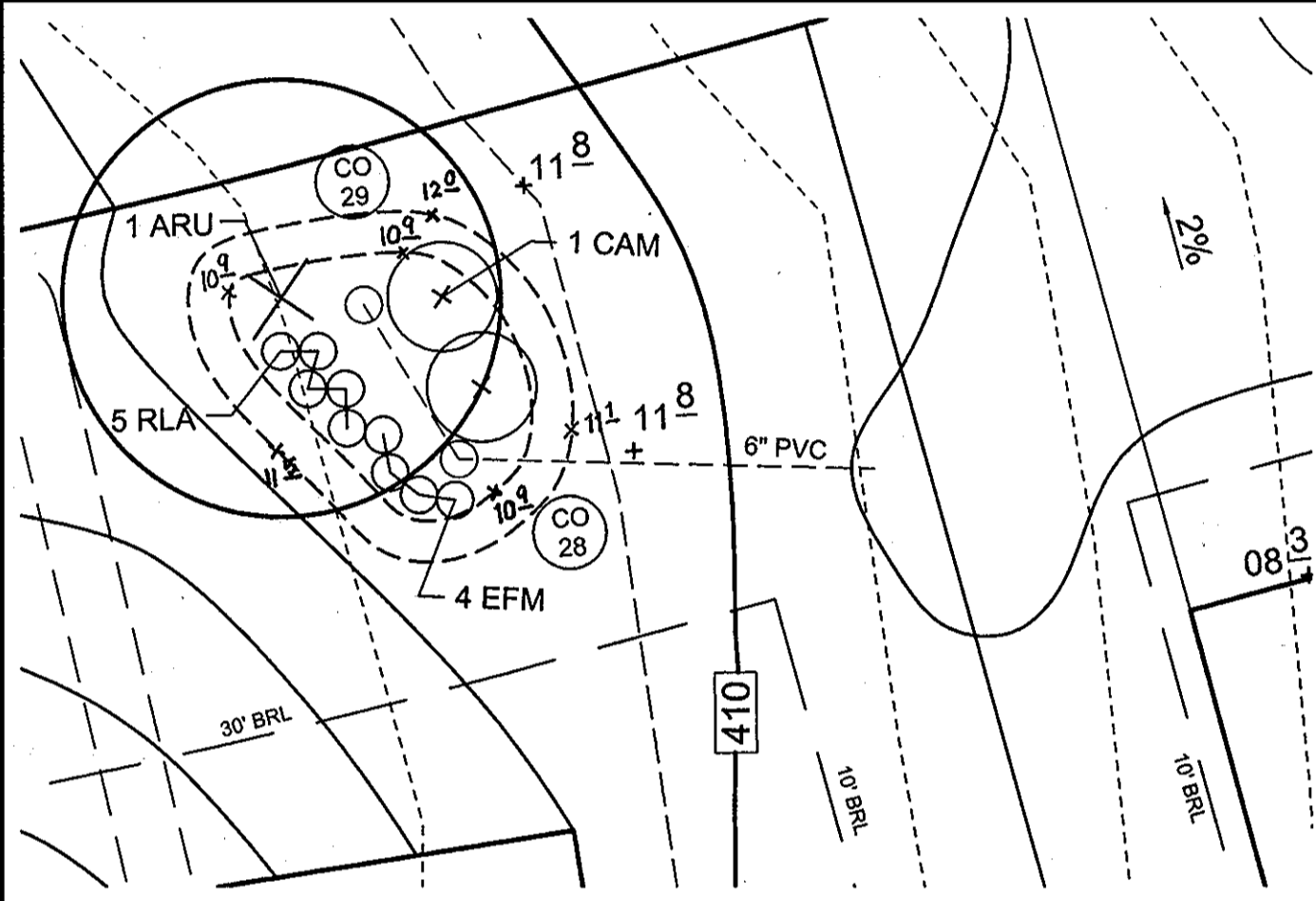
BIORETENTION K PROFILE - LOT 6
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



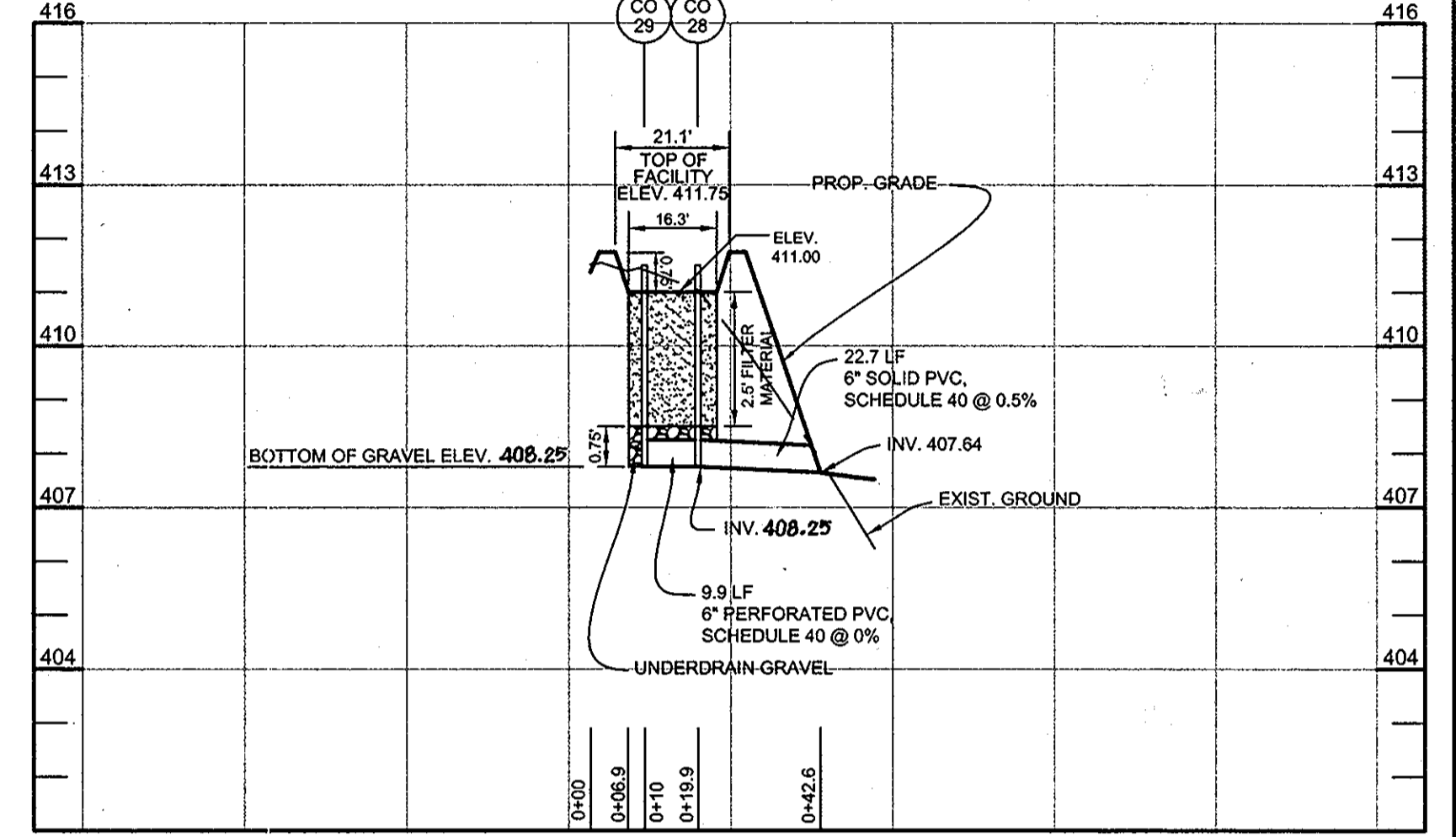
BIORETENTION H PROFILE - LOT 5
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



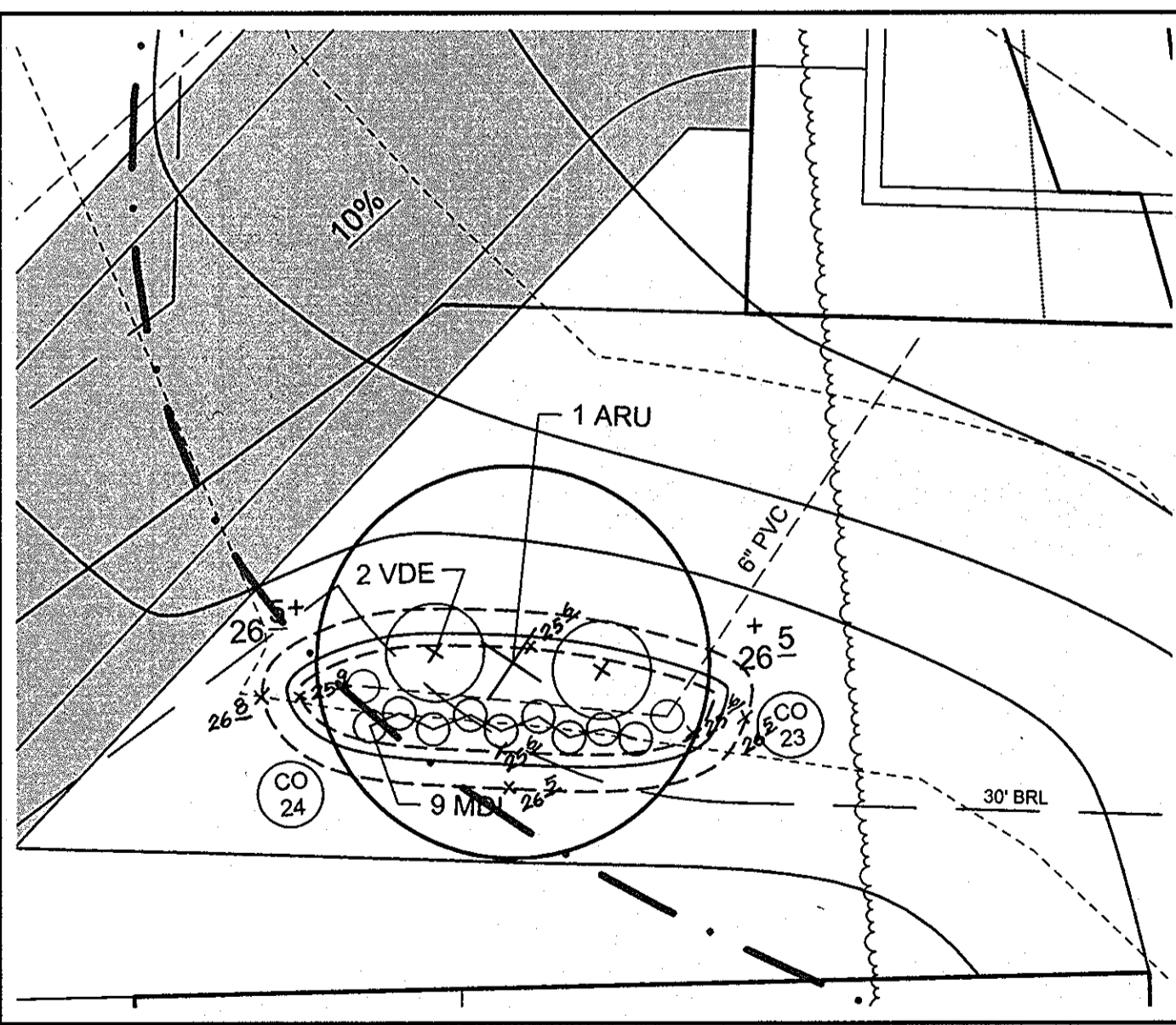
BIORETENTION I PROFILE - LOT 5
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



PLAN VIEW - BIORETENTION "L" - LOT 7
SCALE: 1"=10'

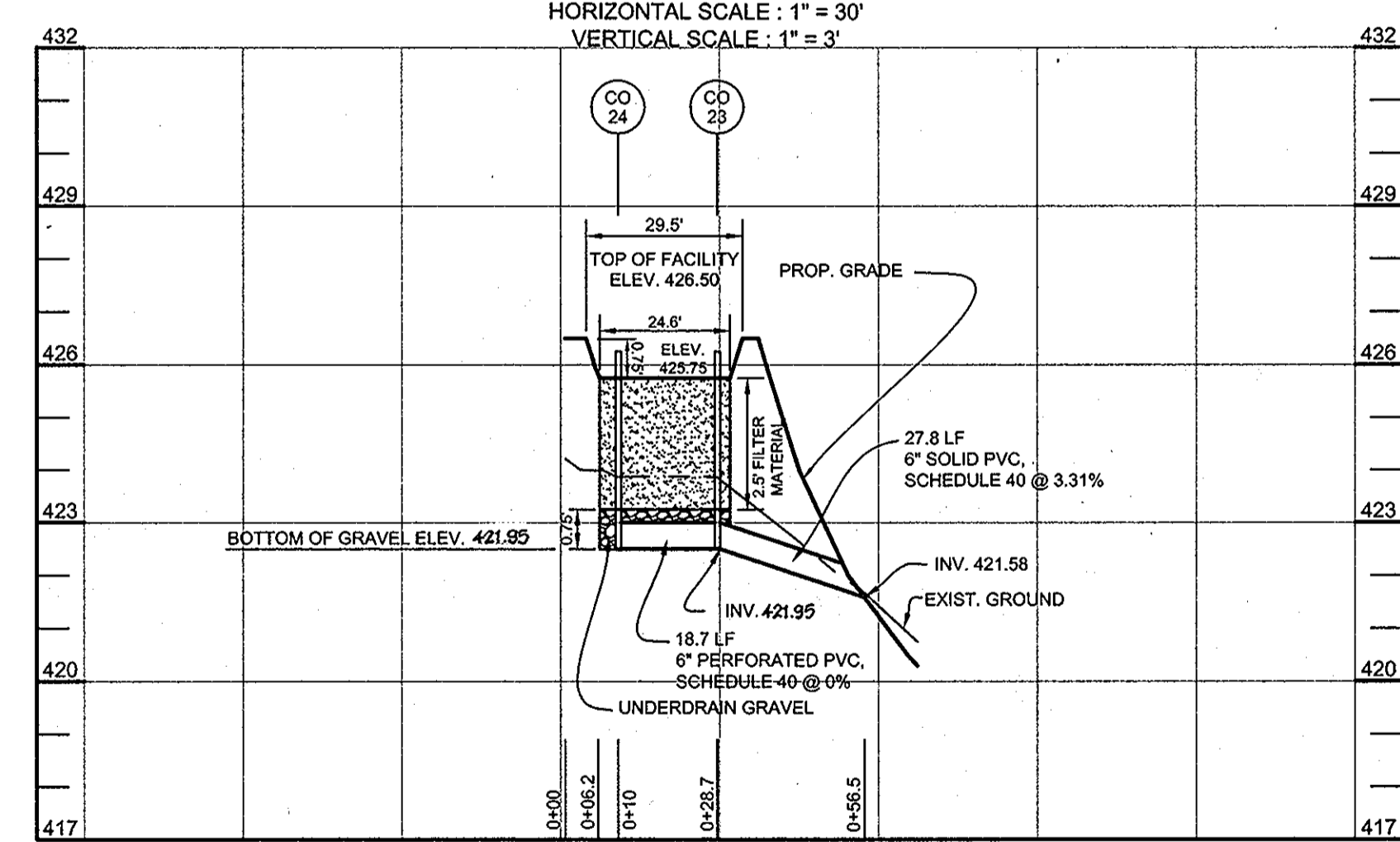


BIORETENTION L PROFILE - LOT 7
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

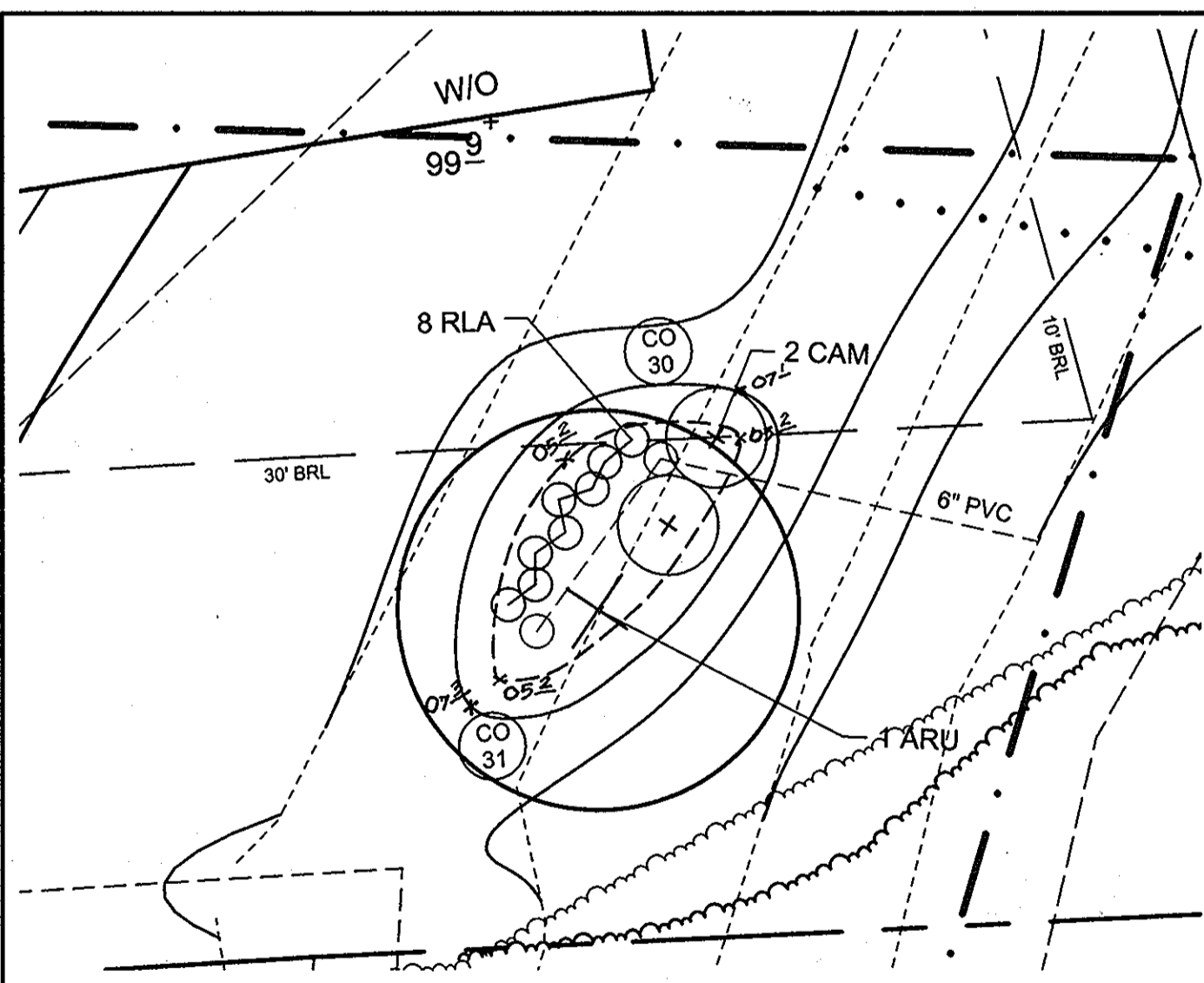


PLAN VIEW - BIORETENTION "J" - LOT 6
SCALE: 1"=10'

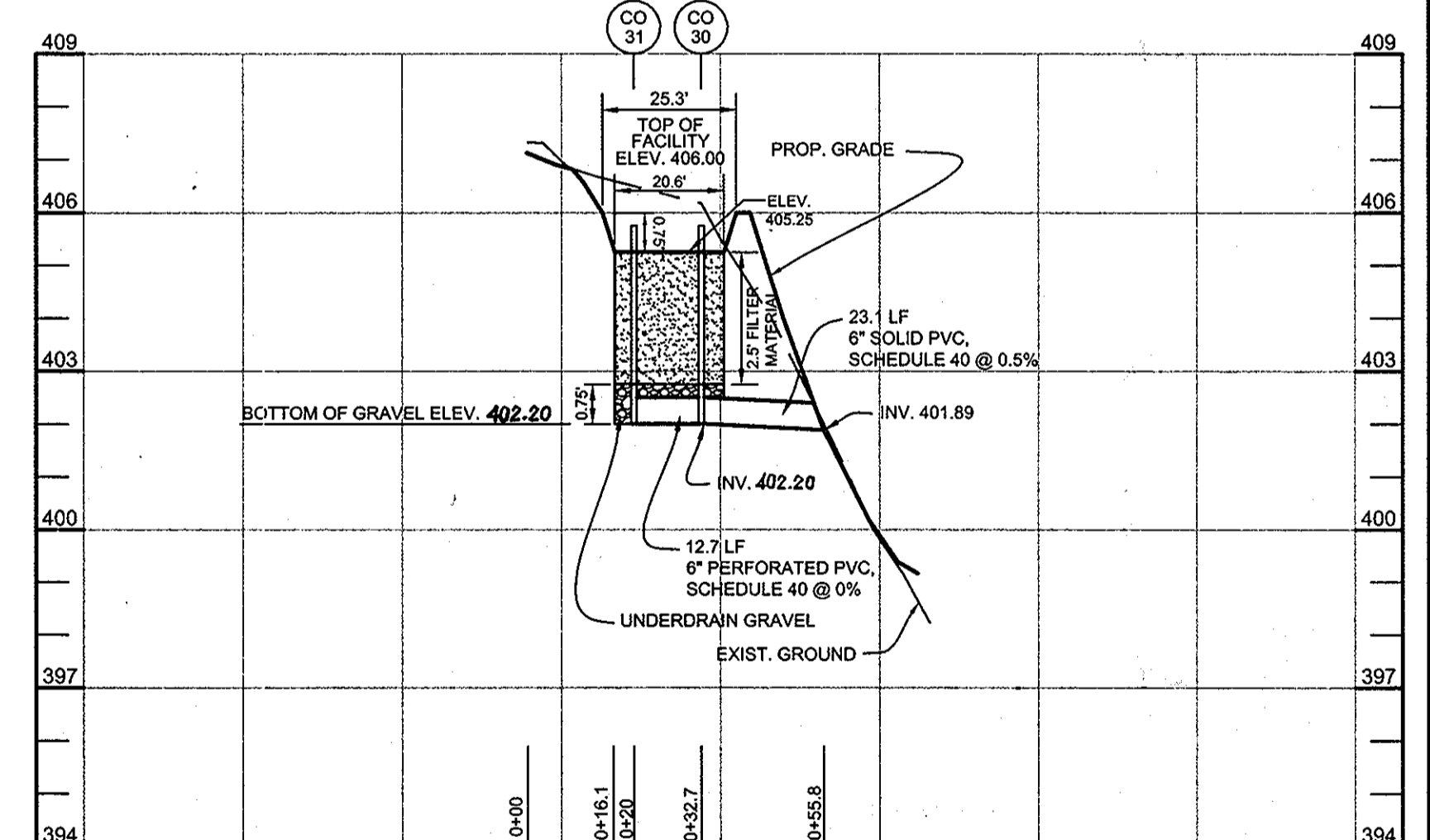
NOTE: FOR UNDERDRAIN DETAILS AND MATERIAL SPECIFICATIONS FOR BIORETENTION FACILITIES, SEE SHEET 9.



BIORETENTION J PROFILE - LOT 6
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



PLAN VIEW - BIORETENTION "M" - LOT 7
SCALE: 1"=10'



BIORETENTION M PROFILE - LOT 7
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

BIORETENTION PLANT LIST											
TREES											
KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY BIO H - LOT 5	QUANTITY BIO I - LOT 5	QUANTITY BIO J - LOT 6	QUANTITY BIO K - LOT 6	QUANTITY BIO L - LOT 7	QUANTITY BIO M - LOT 7
ARU	ACER RUBRUM	RED MAPLE	AS SHOWN	1 1/2" CAL.	BB	1	1	1	1	1	1
SHRUBS											
CAM	CORNUS AMOMUM	SILKY DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	0	0	0	0	2	2
VDE	VIBURNUM DENTATUM	ARROWWOOD	AS SHOWN	18"-24" HT.	CONT.	2	3	2	1	0	0
HERBACEOUS SPECIES											
EFM	EUPATORIUM FISTULOSUM	JOE-PYE WEED	AS SHOWN	1 QT./12" HT.	CONT. (3" O.C.)	0	6	0	0	4	0
MDI	MONARDA DIDYMA	BEEBALM	AS SHOWN	1 QT.	CONT.	6	7	9	9	0	0
RLA	RUDEBECKIA LACINATA	TALL CONEFLOWER	AS SHOWN	1 QT.	CONT.	7	0	0	0	5	8

BIORETENTION "H" - LOT 5 = 171 S.F. OR 0.004 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3
BIORETENTION "I" - LOT 5 = 202 S.F. OR 0.005 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 4
BIORETENTION "K" - LOT 6 = 103 S.F. OR 0.002 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 2
BIORETENTION "L" - LOT 7 = 168 S.F. OR 0.004 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3
BIORETENTION "M" - LOT 7 = 135 S.F. OR 0.003 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3
BIORETENTION "J" - LOT 6 = 171 S.F. OR 0.004 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3
BIORETENTION "I" - LOT 5 = 202 S.F. OR 0.005 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 4
BIORETENTION "K" - LOT 6 = 103 S.F. OR 0.002 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 2
BIORETENTION "L" - LOT 7 = 168 S.F. OR 0.004 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3
BIORETENTION "M" - LOT 7 = 135 S.F. OR 0.003 AC. REQUIRED: 800 TREES AND SHRUBS PER ACRE = 3

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
K. J. [Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/20/10

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
M. S. [Signature]
CHIEF, BUREAU OF HIGHWAYS
DATE: 5-20-10

OWNER
JANE J. ATHEY
17520 COUNTRY VIEW WAY
MT. AIRY, MARYLAND 21771

OWNER
HOWARD W. AND BARBARA W. JANOSKE
5858 TROTTER ROAD
CLARKSVILLE, MD 21029

DEVELOPER
WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD,
SUITE 200
COLUMBIA, MD 21044
410.997.8800

STORMWATER MANAGEMENT -
BIORETENTION PLANS, PROFILES, & CHARTS
TROTTER LANDING
LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10
TAX MAP 35 GRID 2
5TH ELECTION DISTRICT
PARCEL 164 AND 12
HOWARD COUNTY, MARYLAND



Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

DESIGN BY: JT / SJT
DRAWN BY: AM / SJT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: MARCH 23, 2010
PROJECT #: 02-105
SHEET #: 11 of 13

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32023, EXPIRATION DATE: JUNE 23, 2011

NOTES

- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$4,800.00 (16 SHADE TREES @ \$300.00 EACH). STREET TREES AND PERIMETER LANDSCAPE TREES WILL BE PLANTED AT THE SITE DEVELOPMENT PLAN STAGE IN ACCORDANCE WITH SECTION 16.124 OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL.
- FOR BIORETENTION PLANTING, SEE DETAILS ON SHEET 9 THRU 11.

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES		
	1	2	3	4	5
PERIMETER/FRONTAGE DESIGNATION	B	B	A	A	A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	125	150	650	345	649
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES (1) 125 LF	YES (1) 150 LF	YES (1) 378 LF	YES (1) 144 LF	YES (1) 196 LF
REMAINING PERIMETER LENGTH CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	NO
REMAINING PERIMETER LENGTH	1:50 = 0	1:50 = 0	1:50 = 5	1:50 = 3	1:50 = 8
NUMBER OF PLANTS REQUIRED	SHADE TREES	SHADE TREES	SHADE TREES	SHADE TREES	SHADE TREES
EVERGREEN TREES	1:40 = 0	1:40 = 0	-	-	-
SHRUBS	-	-	-	-	-

1. CREDIT TAKEN FOR EXISTING WOODS

KEY	QUANTITY	BOTANICAL NAME	SIZE	NOTE
⊙	6	QUERCUS PALustris 'PIN OAK'	2 1/2"-3" CAL.	B & B
⊙	5	QUERCUS COCCINEA 'SCARLET OAK'	2 1/2"-3" CAL.	B & B
⊙	5	TILIA CORDATA 'GREENSPIRE' 'GREENSPIRE LITTLELEAF LINDEN'	2 1/2"-3" CAL.	B & B
⊙	26	ACER RUBRUM 'OCTOBER GLORY' 'OCTOBER GLORY RED MAPLE'	2 1/2"-3" CAL.	B & B

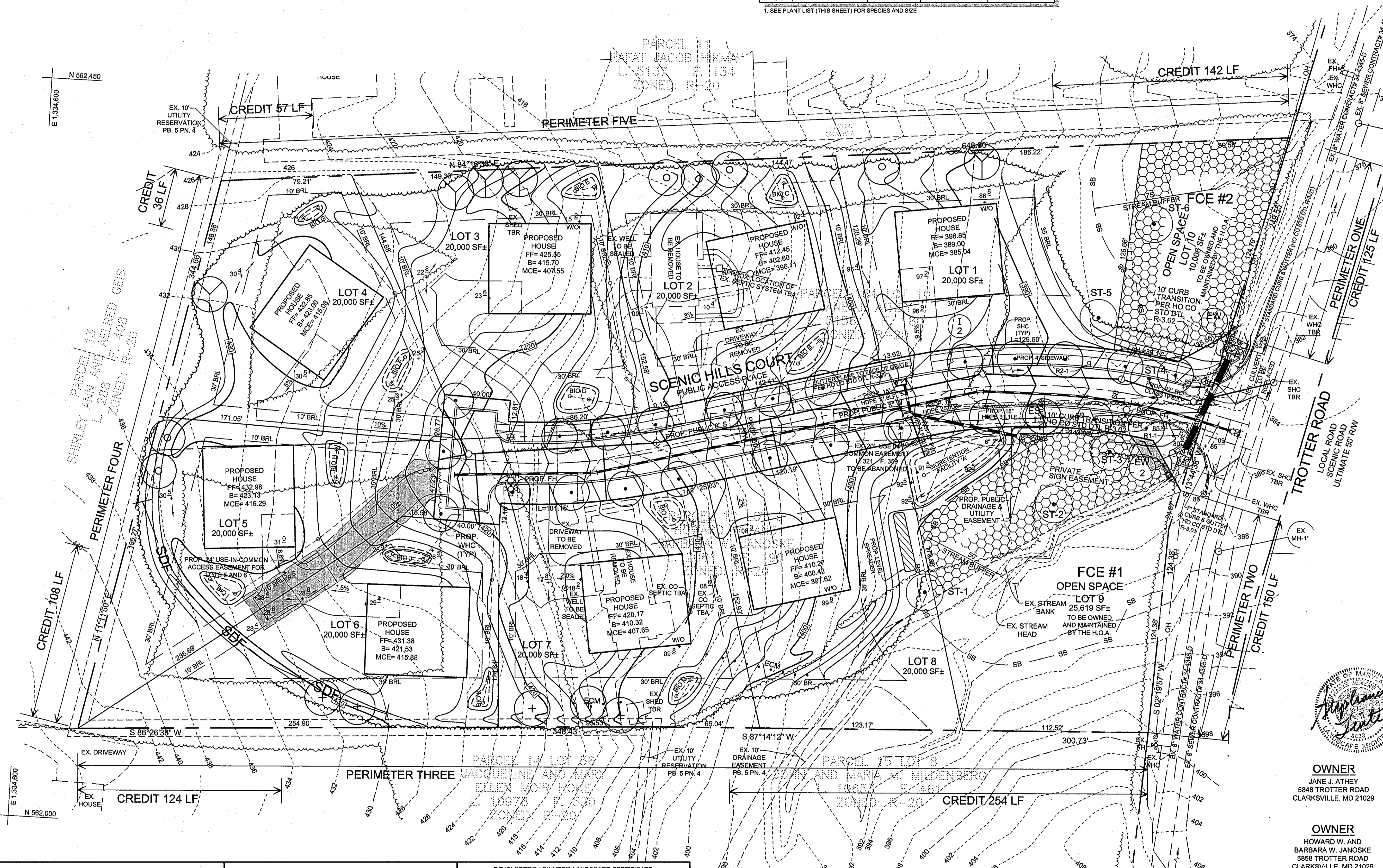
STREET TREE SCHEDULE				
SYMBOL	STREET NAME	LF REQUIRED	TREES REQUIRED	TREES PROVIDED
⊙	SCENIC HILLS COURT	1052'	26	26

1. SEE PLANT LIST (THIS SHEET) FOR SPECIES AND SIZE

SPECIMEN TREE TABLE					
KEY	SIZE	TYPE	CONDITION	LOCATION	REMARKS
ST-1	54"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-2	33"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-3	30"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-4	36"	TULIP POPLAR	GOOD	L-1	TO BE REMOVED
ST-5	38"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-6	33"	TULIP POPLAR	GOOD	L-1	TO REMAIN

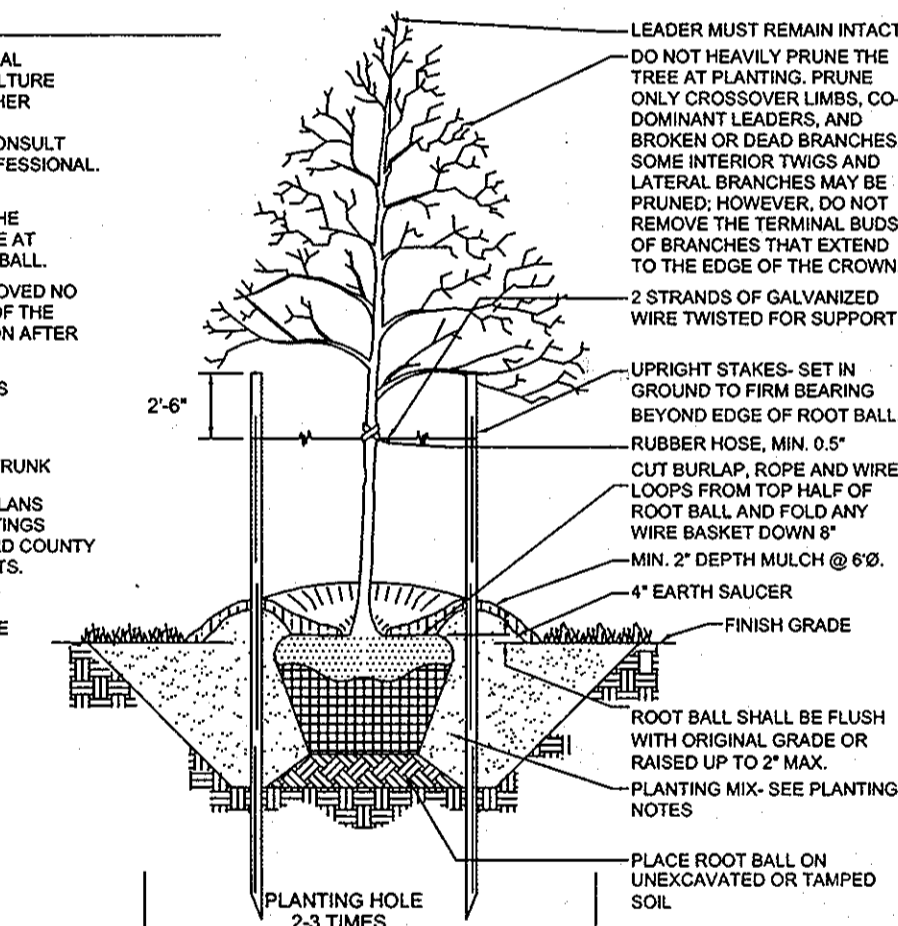
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREELINE
- PROPOSED TREELINE
- FOREST CONSERVATION EASEMENT



NOTES

- CONSULT INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES FOR FURTHER DETAILS OF PLANTING SPECIFICATIONS, OR CONSULT WITH A QUALIFIED PROFESSIONAL.
- EACH TREE SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
- STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
- PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.



TYPICAL TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 Michael D. Adcock, PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 21253, EXPIRATION DATE: 06-16-15
 DATE: 8-22-13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 8/10/13
 CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-22-13
 CHIEF, BUREAU OF HIGHWAYS

DEVELOPER'S / OWNER'S LANDSCAPE CERTIFICATE
 I / WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I / WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 Bob Corbett, WILLIAMSBURG GROUP, DEVELOPER DATE: 8-21-13

OWNER
 JANE J. ATHEY
 5848 TROTTER ROAD
 CLARKSVILLE, MD 21029

OWNER
 HOWARD W. AND BARBARA W. JANOSKE
 5858 TROTTER ROAD
 CLARKSVILLE, MD 21029

DEVELOPER
 WILLIAMSBURG GROUP, LLC
 C/O ROBERT CORBETT
 5485 HARPERS FARM ROAD,
 SUITE 200
 COLUMBIA, MD 21044
 410.997.8800

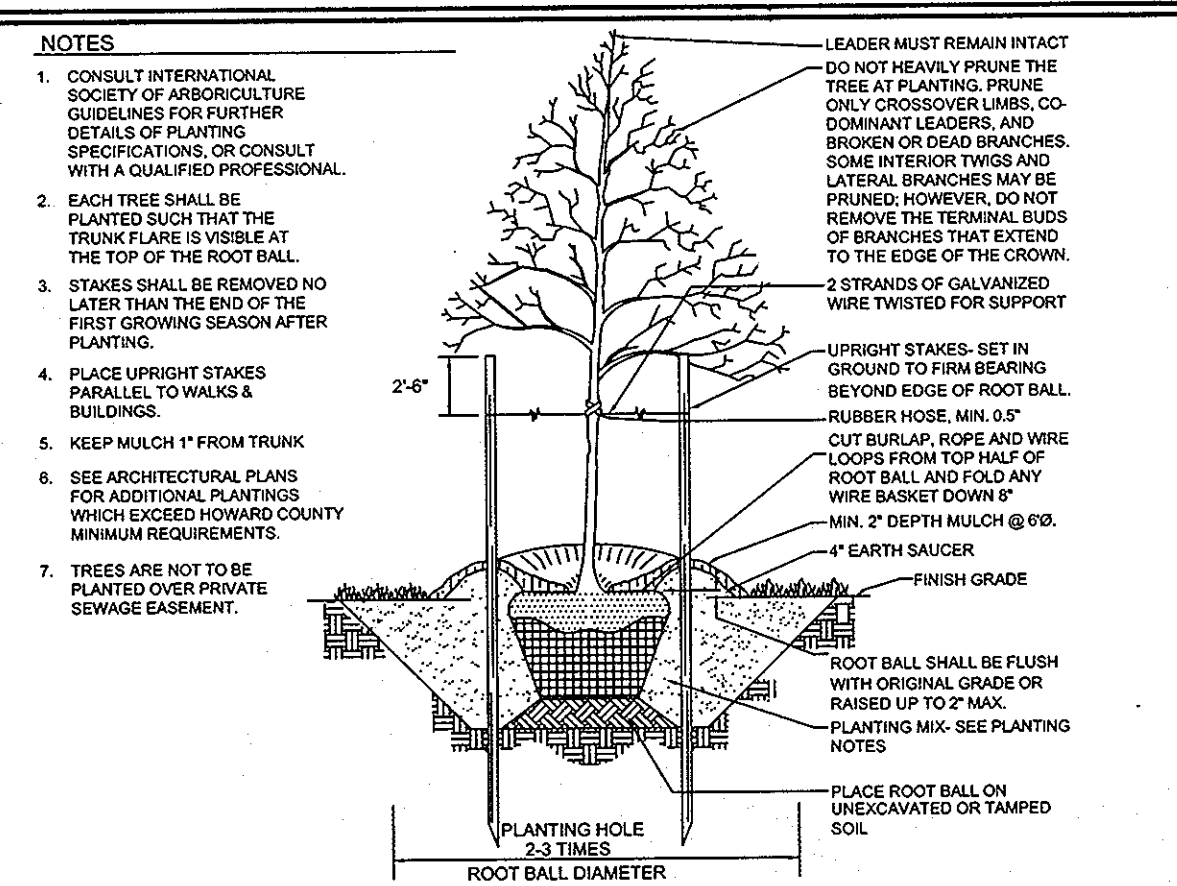
FINAL LANDSCAPE PLAN
TROTTER LANDING
 LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10
 TAX MAP 35 GRID 2 PARCEL 164 AND 12
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@saaland.com

DESIGN BY: JT / SJT
 DRAWN BY: AM / SJT
 CHECKED BY: PS
 SCALE: 1"=30'
 DATE: MARCH 23, 2010
 PROJECT #: 07-105
 SHEET #: 12 OF 13

AS-BUILT

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2011



TYPICAL TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

NOTES

1. THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE ON-SITE RETENTION OF 0.60 ACRES (26,136 SF) OF FOREST, REFORESTATION PLANTING OF 0.11 ACRES (4,792 SF) OF FOREST, AND THE REMAINING 1.04 ACRES (45,302.4 SF) OF FOREST PLANTING WILL BE PROVIDED BY THE FRIENDSHIP LAKES FOREST MITIGATION BANK (SDP-02-117). SURETY IN THE AMOUNT OF \$7,323 (26,136SF x \$0.20 + \$5,227 + 4,792SF x \$0.50 = \$2,399) SHALL BE PAID WITH THE DEVELOPER'S AGREEMENT FOR THIS PLAN.
2. THE FOREST CONSERVATION BANK SDP (FRIENDSHIP LAKES) MUST BE RED-LINED TO REFLECT THE OBLIGATION MET WITH THE BANK PRIOR TO THE RECORDATION OF THIS SUBDIVISION.
3. BIODIVERSITY PLANTING HAVE BEEN DETAILED ON SHEETS 9 THRU 11. THESE PLANTINGS ARE NOT PART OF THE FOREST CONSERVATION REQUIREMENTS.

FOREST CONSERVATION EASEMENT SUMMARY

FOREST CONSERVATION EASEMENT #1 (FCE #1)	FCE #1 TOTAL= 0.33 AC. (RETENTION)
FOREST CONSERVATION EASEMENT #2 (FCE #2)	RETENTION= 0.06 AC. REFORESTATION= 0.10 AC. FCE #2 TOTAL= 0.16 AC.
FOREST CONSERVATION EASEMENT #3 (FCE #3)	RETENTION= 0.21 AC. REFORESTATION= 0.01 AC. FCE #3 TOTAL= 0.22 AC.
TOTAL RETENTION= 0.60 AC. TOTAL REFORESTATION= 0.11 AC. TOTAL EASEMENT= 0.71 AC.	

FOREST CONSERVATION EASEMENT #1 PLANT LIST (0.10 AC)

QUANTITY	BOTANICAL NAME	SIZE	SPACING	NOTE
4	ACER RUBRUM 'OCTOBER GLORY'	1" CAL.	15' x 15'	B & B
4	FUGUS GRANDIFOLIA AMERICAN BEECH	1" CAL.	15' x 15'	B & B
4	LIQUIDAMBAR STRACILFLUA AMERICAN SWEETGUM	1" CAL.	15' x 15'	B & B
4	CORNUS FLORIDA FLOWERING DOGWOOD	1" CAL.	15' x 15'	B & B
4	QUERCUS RUBRA RED OAK	1" CAL.	15' x 15'	B & B

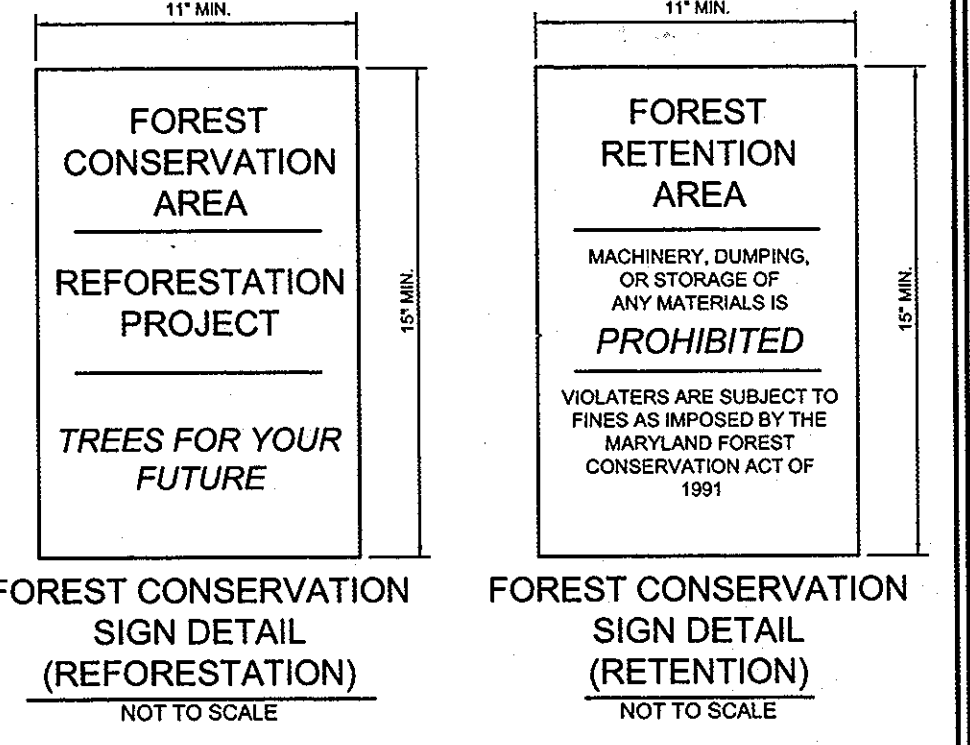
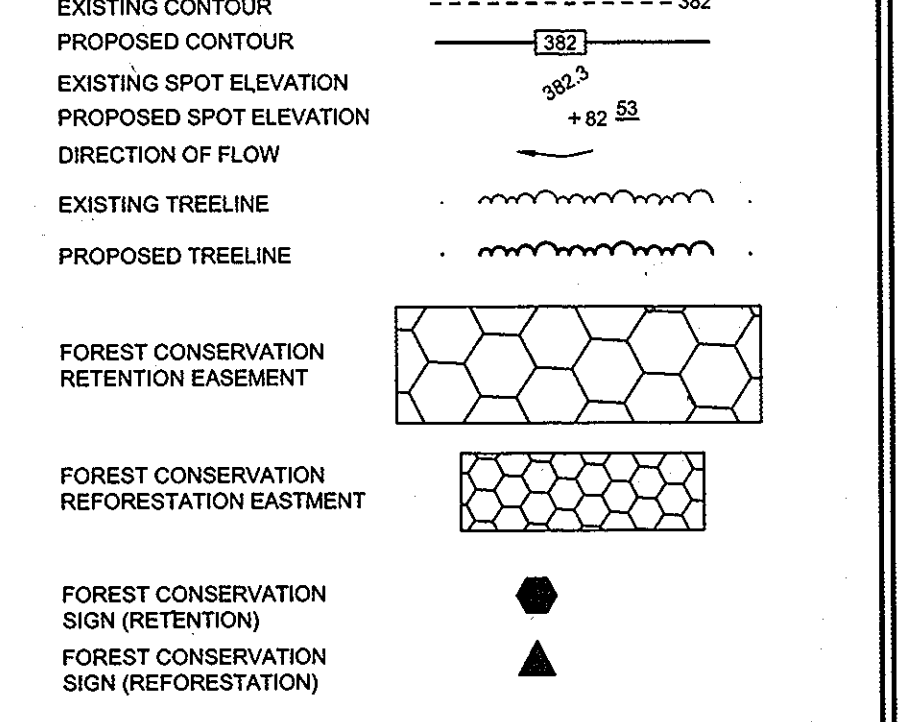
FOREST CONSERVATION EASEMENT #2 PLANT LIST (0.01 AC)

QUANTITY	BOTANICAL NAME	SIZE	SPACING	NOTE
1	ACER RUBRUM 'OCTOBER GLORY'	1" CAL.	15' x 15'	B & B
1	FUGUS GRANDIFOLIA AMERICAN BEECH	1" CAL.	15' x 15'	B & B

SPECIMEN TREE TABLE

KEY	SIZE	TYPE	CONDITION	LOCATION	REMARKS
ST-1	54"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-2	33"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-3	30"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-4	36"	TULIP POPLAR	GOOD	L-1	TO BE REMOVED
ST-5	36"	TULIP POPLAR	GOOD	L-1	TO REMAIN
ST-6	33"	TULIP POPLAR	GOOD	L-1	TO REMAIN

LEGEND



FOREST CONSERVATION WORKSHEET

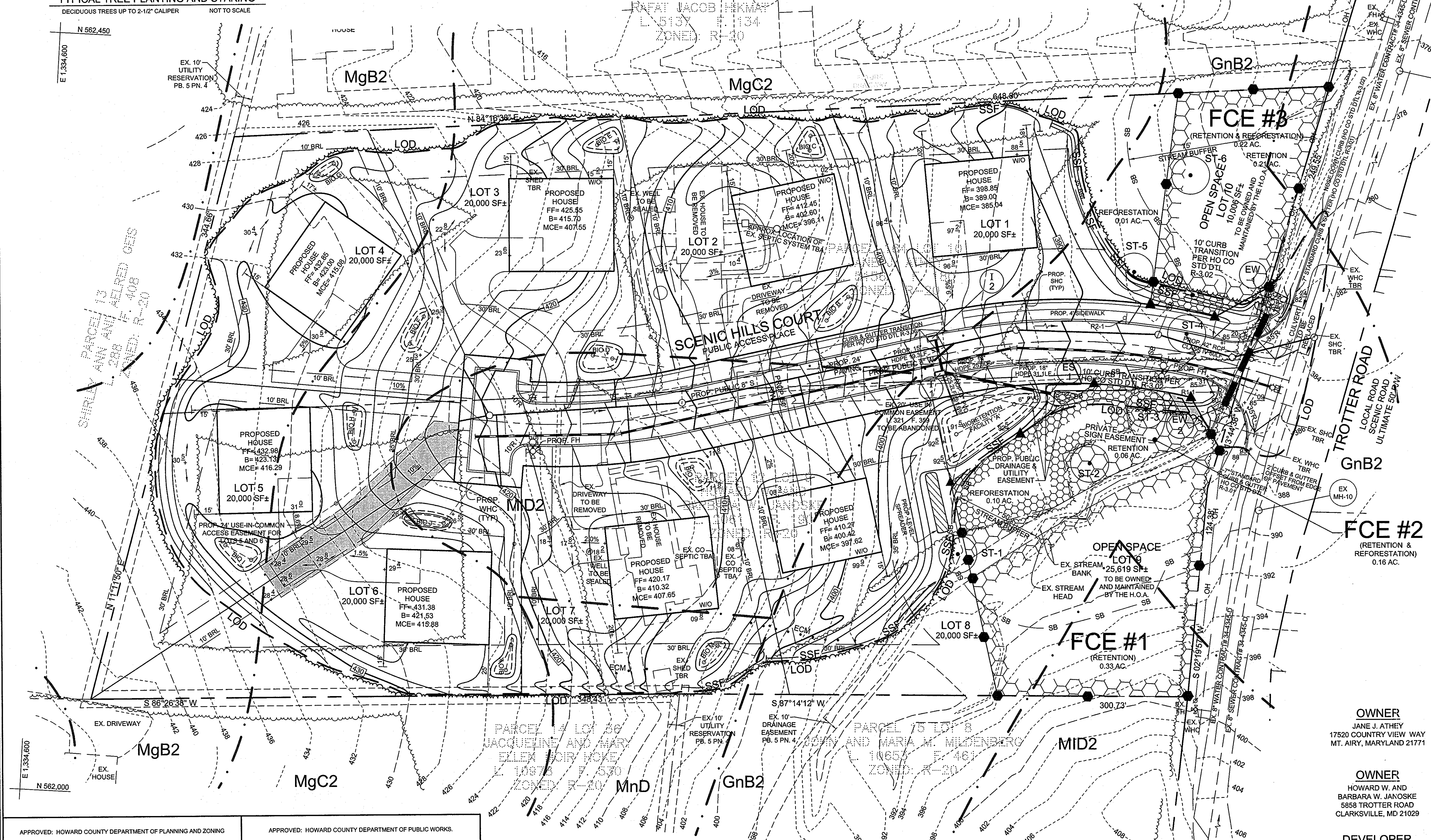
NET TRACT AREA		
A	TOTAL TRACT AREA	5.07 AC
B	DEDUCTIONS	0.00 AC
C	NET TRACT AREA	5.07 AC
LAND USE CATEGORY		
ARA	MDR	IDA
0	0	0
D	AFFORESTATION THRESHOLD (NET TRACT AREA x 15%)	0.76 AC
E	CONSERVATION THRESHOLD (NET TRACT AREA x 20%)	1.01 AC
EXISTING FOREST COVER		
F	EXISTING FOREST COVER WITHIN THE NET TRACT AREA	2.31 AC
G	AREA OF FOREST ABOVE CONSERVATION THRESHOLD	1.30 AC
BREAK EVEN POINT		
H	BREAK EVEN POINT	1.28 AC
I	FOREST CLEARING PERMITTED WITHOUT MITIGATION	1.06 AC
PROPOSED FOREST CLEARING		
J	TOTAL AREA OF FOREST TO BE CLEARED	1.71 AC
K	TOTAL AREA OF FOREST TO BE RETAINED	0.60 AC
PLANTING REQUIREMENTS		
L	REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD	0.33 AC
M	REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD	0.82 AC
N	CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD	0.00 AC
P	TOTAL REFORESTATION REQUIRED	1.15 AC
Q	TOTAL AFFORESTATION REQUIRED	0.00 AC
R	TOTAL PLANTING REQUIRED	1.15 AC

* NOTE: 0.03 ACRES OF FORESTED DRAINAGE EASEMENT HAS BEEN EXCLUDED FROM THE NET TRACT AREA.
AS-BUILT CERTIFICATION
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
NO. 2125, EXPIRATION DATE: 06-16-18
DATE: 6-2-18

PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
TROTTER LANDING
LOTS 1 THRU 8 AND OPEN SPACE LOTS 9 AND 10
TAX MAP 35 GRID 2
5TH ELECTION DISTRICT
PARCEL 164 AND 12
HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
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DESIGN BY: JT / SJT
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CHECKED BY: PS
SCALE: 1"=30'
DATE: MARCH 23, 2010
PROJECT #: 07-105
SHEET #: 13 OF 13



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
6/10/18 DATE
5/20/18 DATE
5-24-18 DATE

AS-BUILT

STEPHANIE TUIJE, PLA
DNR QUALIFIED PROFESSIONAL

OWNER
JANE J. ATHEY
17520 COUNTRY VIEW WAY
MT. AIRY, MARYLAND 21771

OWNER
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