

SHEET INDEX	
SHEET No.	SHEET
1	TITLE SHEET
2-4	MERIWETHER DRIVE - PLAN AND PROFILE
5	ROADWAY DETAILS
6-10	STREET TREE, GRADING AND SEDIMENT CONTROL PLAN
11-12	LANDSCAPE PLAN
13-15	STORM DRAIN PROFILES
16	STORMWATER MANAGEMENT NOTES AND DETAILS
17	STORMWATER MANAGEMENT PROFILES AND DETAILS - BMP#5
18	STORMWATER MANAGEMENT PROFILES AND DETAILS - BMP#6
19	STORMWATER MANAGEMENT PROFILES AND DETAILS - BMP#1
20	STORMWATER MANAGEMENT NOTES AND DETAILS
21	BIO-RETENTION FACILITIES - PLAN AND DETAILS
22	SEDIMENT CONTROL NOTES & DETAILS
23	SEDIMENT CONTROL NOTES & DETAILS
24-25	STORM DRAIN DRAINAGE AREA MAP
26-27	SOIL BORINGS
28-30	FOREST CONSERVATION PLAN

FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER MANAGEMENT PLAN

MERIWETHER FARM

SECTION TWO PHASE TWO

BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

ZONING: RC-DEO

TAX MAP No. 21 GRID No. 15, 16, 21 & 22 PARCEL No. 28

CONCRETE MONUMENTS SET		
POINT#	NORTHING	EASTING
947	578374.0597	1503570.0032

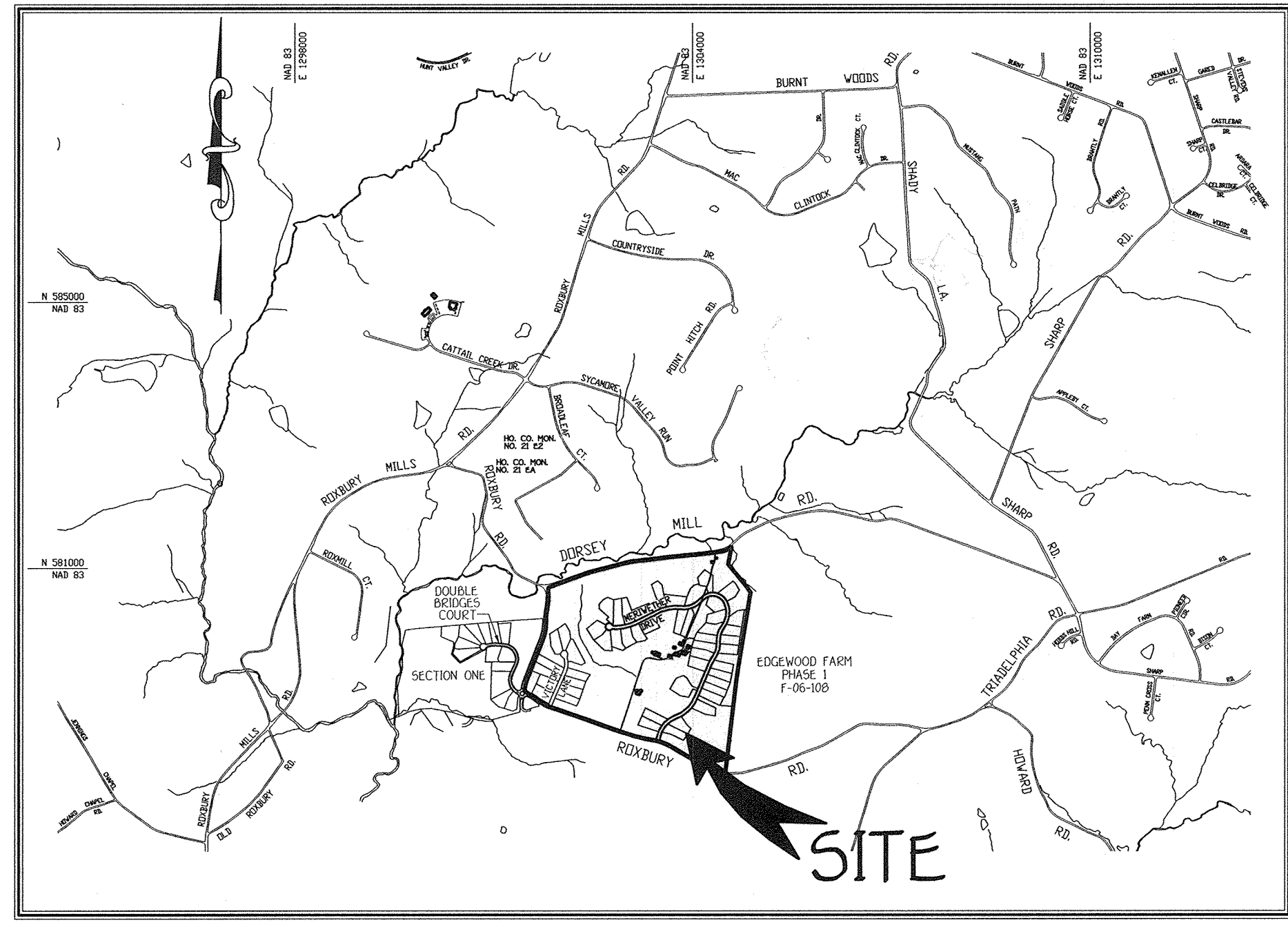
RIGHT-OF-WAY PINS SET		
POINT#	NORTHING	EASTING
852	578392.6908	1303526.2467
1123	578393.2179	1303523.8446
1311	578423.2234	1303509.8890
1312	578486.6955	1303522.7652
1313	578734.8343	1303736.9947
1314	578756.8370	1303788.2876
1315	579047.5740	1304077.3426
1117	579094.5426	1304097.3557
1118	579173.0669	1304130.6061
1121	579546.0887	1304288.9791
1122	579662.0889	1304352.4659
1109	579867.2929	1304417.7175
1108	579869.5638	1304417.7374
1114	579897.5249	1304417.0061
1113	580114.8606	1304482.5216
1099	580277.5428	1304553.3350
1105	580496.0188	1304525.0188
1104	580569.0619	130438.3379
1103	580526.9032	1304095.3617
1102	580436.5897	1303823.0909
1101	580428.4722	1303636.6190
1100	580417.4161	1303587.9580
1099	580375.3066	1303470.5112
1063	580343.8015	1303407.5561
1061	580209.8121	1303140.1534
1060	580137.7743	1302844.5454
1079	580138.7951	1302811.1740
1078	580151.9056	1302791.1806

RIGHT-OF-WAY PINS SET		
POINT#	NORTHING	EASTING
1077	580084.0475	1302778.4596
1076	580089.8948	1302797.3914
1075	580087.8232	1302845.4950
1074	580165.0994	1303162.4462
1065	580297.0718	1303425.9452
1064	580299.0792	1303429.9343
1098	580330.6152	1303482.9162
1097	580368.7091	1303559.1151
1096	580379.7808	1303647.7161
1095	580398.9929	1303816.3024
1094	580491.1966	1304130.4741
1093	580553.4593	1304173.3809
1092	580475.0590	1304480.0364
1091	580286.1373	1304204.1133
1112	580145.0726	1304442.6762
1110	579868.1136	1304367.6845
1119	579890.2999	1304311.1507
1120	579565.6109	1304242.9733
1042	579192.5809	1304084.6495
1043	579067.0810	1304091.2573
1044	578802.8044	1303768.4508
1045	578760.7177	1303717.2332
1046	578499.5857	1303474.4955
1047	578435.0008	1303457.2985
1048	578416.3178	1303426.4748

ROADWAY INFORMATION CHART				
ROAD NAME	CLASSIFICATION	DESIGN SPEED	R/W WIDTH	
MERIWETHER DRIVE	PUBLIC ACCESS STREET	30 MPH	50'	

TRAFFIC CONTROL SIGNS				
ROAD NAME	CENTERLINE STA.	OFFSET	POSTED SIGN	SIGN CODE
MERIWETHER DRIVE	0+25	18' L	STOP	R-1
MERIWETHER DRIVE	1+50	14' R	SPEED LIMIT 25	R-21
MERIWETHER DRIVE	2+65	14' L	STOP AHEAD	W-1
MERIWETHER DRIVE	19+70	14' R	SHARP LEFT TURN	W-1L
			20 MPH	W-31

PHASING TABULATION		
PHASE	ALLOCATION YEAR	No. OF LOTS
ONE	2010	10
TWO	2011	36 AND 1 BUILDABLE PRESERVATION PARCEL = 37



VICINITY MAP
SCALE: 1" = 2000'

FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

No.	DESCRIPTION	DATE
2	REV. MERIWETHER DR. CEP & SWM ON LOTS 20-27, 30 & 33-34	4/28/17
1	REVISED OWNER AND DEVELOPER	10-19-11
	REVISIONS	

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll

DENSITY TABULATIONS	
1.	ORIGINAL BASE DENSITY IS BASED ON ORIGINAL TRACT AREA OF 183,069 ACRES ² (F-08-199)
2.	BASE DENSITY: 183,069 ACRES / 4.25 = 43,077 UNITS OR 43 SINGLE FAMILY DETACHED HOMES.
3.	43 LOTS (4-46) = 183,069 AC. LOT AREA = 18,449 AC. ROAD R/W = 10,483 AC. NON-BUILDABLE PARCELS = 15,349 AC.
4.	15,349 AC. FOR PRESERVATION PARCEL 'J' / 25 AC. = 6 BONUS UNITS.
5.	BONUS UNITS ARE LOTS 1, 2, 3 (15,607 AC.) & BUILDABLE PRESERVATION PARCEL 'J' (11,646 AC.)
6.	MAXIMUM DENSITY: 183,069 ACRES - 6.70 AC. FLOODPLAIN - 5.81 AC. STEEP SLOPES / 2 = 95,239 UNITS OR 95 SINGLE FAMILY DETACHED
7.	TOTAL NUMBER OF PROPOSED DWELLING UNITS = 47
	a. SECTION TWO, PHASE ONE - 10 BUILDABLE LOTS (F-08-199)
	b. SECTION TWO, PHASE TWO - 36 BUILDABLE LOTS AND 1 BUILDABLE PRESERVATION PARCEL



Professional Engineer, I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-17.

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 10-23-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 10/23/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MINIMUM STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT 1400 33-1800 AT LEAST 72 HOURS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "955 UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS.
 - HOWARD COUNTY MONUMENT NO. 21 EA N 58275.1899 ELEV. + 550.282
 130979.4486
 HOWARD COUNTY MONUMENT NO. 21 E2 N 582975.4443 ELEV. + 476.653
 130988.4446
 - THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY MAS GROUP DATED NOVEMBER, 2006 AND WAS APPROVED UNDER SP-07-007.
 - BACKGROUND INFORMATION
 A. SUBDIVISION NAME: MERIWETHER FARM
 B. TAX MAP NO. 21
 C. PARCEL NO. 28
 D. ZONING: RC-DEO
 - ELECTION DISTRICT: FOURTH
 - TOTAL TRACT AREA: 183,069 AC. (BULK PARCEL 'E', F-08-199); ORIGINAL TRACT AREA = 183,069 AC. (F-08-199)
 - NET AREA = 183,069 AC. - 6.70 AC. FLOODPLAIN - 5.81 AC. STEEP SLOPES (TOTAL FLOODPLAIN = 120,382 AC.)
 - AREA OF STEEP SLOPES 25% AND GREATER = 6.01 AC. TOTAL 0.81 AC. TOTAL FLOODPLAIN
 - NO. OF BUILDABLE LOTS: 36
 - NO. OF NON-BUILDABLE PRESERVATION PARCELS: 4
 - NO. OF BUILDABLE PRESERVATION PARCELS: 1
 - AREA OF BUILDABLE PRESERVATION PARCEL 'J': 11,646 AC.
 - AREA OF NON-BUILDABLE PRESERVATION PARCELS: 7,722 AC.
 - AREA OF BUILDABLE PRESERVATION PARCELS: 11,646 AC.
 - TOTAL AREA OF ROADWAY TO BE DEDICATED: 5,200 AC.
 - AREA OF FLOODPLAIN: 6.70 AC.
 - NO. OF LOTS EXIST WITH THIS SUBDIVISION: 0
 - ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T-99.
 - PLAN SUBJECT TO PRODC FILE NO. SP-07-009, F-08-199, F-08-199
 - THE PROPOSED WATER AND SEWER SYSTEMS SHALL BE PRIVATE.
 - THE SUBJECT PROPERTY IS LOCATED OUTSIDE OF THE METROPOLITAN DISTRICT.
 - TOPOGRAHY CONTOURS BASED ON AERIAL BY HAROLD AERIAL SURVEYS, INC. DATED APRIL 6, 2004.
 - THE LOTS SHOWN HEREON CORRELATE WITH THE HENNING OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - BOUNDARY OUTLINE BASED ON FIELD SURVEY PERFORMED BY FISHER, COLLINS & CARTER, INC. DATED JUNE 15, 2005.
 - SUBJECT PROPERTY ZONED RC-DEO PER THE ZONING REGULATIONS AND THE COMPLETE ZONING AMENDMENTS DATED 3/28/06.
 - THIS SUBDIVISION PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE 2004 ZONING REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL NO. 75-2003. DEVELOPMENT OR CONSTRUCTION ON THIS LOTS OR PARCELS MUST COMPLY WITH THE TRACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF A BUILDING OR GRADING PERMIT APPLICATION.
 - THERE ARE AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. SECTION 18.030 THESE AREAS ARE LOCATED WITHIN THE PRESERVATION PARCELS AND NOT ON THE RESIDENTIAL LOTS.
 - STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY AND MARYLAND 37B SPECIFICATIONS. THE PROPOSED STORMWATER MANAGEMENT FOR THIS SITE IS CHANNEL PROTECTION AND WATER QUALITY IS PROVIDED IN THE FOLLOWING FACILITIES:
 a. BMP NO. 4 IS A BIO-RETENTION FACILITY, PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION, LOCATED ON BUILDABLE PRESERVATION PARCEL 'J'.
 b. BMP NO. 5 IS A MICRO-POND, EXTENDED DETENTION POND AND IS PRIVATELY OWNED BY HOA AND JOINTLY MAINTAINED BY HOA AND HOWARD COUNTY, LOCATED ON NON-BUILDABLE PRESERVATION PARCEL 'F'.
 c. BMP NO. 6 IS A BIO-RETENTION FACILITY, PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS, LOCATED ON LOT 34.
 d. BMP NO. 7 IS A BIO-RETENTION FACILITY, PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS, LOCATED ON LOT 33.
 e. BMP NO. 8 IS A MICRO-POND, EXTENDED DETENTION POND AND IS PRIVATELY OWNED BY HOA AND JOINTLY MAINTAINED BY HOA AND HOWARD COUNTY, LOCATED ON NON-BUILDABLE PRESERVATION PARCEL 'F'.
 f. BMP NO. 9 IS A BIO-RETENTION FACILITY, PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION, LOCATED ON BUILDABLE PRESERVATION PARCEL 'J'.
 g. BMP NO. 10 IS A BIO-RETENTION FACILITY, PRIVATELY OWNED AND MAINTAINED BY HOMEOWNER, LOCATED ON LOT 30.
 h. BMP NO. 11 IS A MICRO-POND, EXTENDED DETENTION POND AND IS PRIVATELY OWNED BY HOA AND JOINTLY MAINTAINED BY HOA AND HOWARD COUNTY, LOCATED ON NON-BUILDABLE PRESERVATION PARCEL 'T'.
 i. BMP NO. 12 IS A BIO-RETENTION FACILITY, PRIVATELY OWNED AND MAINTAINED BY HOMEOWNER, LOCATED ON LOT 27.
 j. BMP NO. 13 IS A BIO-RETENTION FACILITY, PRIVATELY OWNED AND MAINTAINED BY HOMEOWNER, LOCATED ON LOT 26.
 - THE NON-CRITICAL FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY FISHER, COLLINS & CARTER, INC. DATED NOVEMBER, 2006, AND SUPPLEMENTED WITH INFORMATION OBTAINED FROM HULCO, CAPITAL PROJECT D-079 AND WAS APPROVED UNDER SP-07-007.
 - AS PER SECTION 18.043 OF THE ZONING REGULATIONS, ONLY ONE EASEMENT HOLDER IS REQUIRED FOR PRESERVATION PARCELS (EXCEPT FOR SWP FACILITIES OR COMPARTMENT SEWAGE DISPOSAL SYSTEMS).
 A. NON-BUILDABLE PRESERVATION PARCEL 'T' OWNED HOMEOWNERS ASSOCIATION EASEMENT HOLDER: HOWARD COUNTY, MARYLAND USE: SWP
 B. NON-BUILDABLE PRESERVATION PARCEL 'G' OWNED HOMEOWNERS ASSOCIATION EASEMENT HOLDERS: HOWARD COUNTY, MARYLAND AND EASEMENT HOLDERS: HOWARD COUNTY, MARYLAND USE: ENVIRONMENTAL PROTECTION (E.C.E.)
 C. NON-BUILDABLE PRESERVATION PARCEL 'H' OWNED HOMEOWNERS ASSOCIATION EASEMENT HOLDER: HOWARD COUNTY, MARYLAND USE: SWP
 D. NON-BUILDABLE PRESERVATION PARCEL 'I' OWNED HOMEOWNERS ASSOCIATION EASEMENT HOLDER: HOWARD COUNTY, MARYLAND USE: SWP
 E. BUILDABLE PRESERVATION PARCEL 'J' OWNED PRIVATE HOMEOWNER EASEMENT HOLDER: HOWARD COUNTY, MARYLAND & HOMEOWNERS ASSOCIATION
 - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAM, FOREST CONSERVATION EASEMENT OR THEIR REQUIRED BUFFERS. (SEE NOTE NO. 30 FOR CONTINUATION.)
 - THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY PENNIPAN & BROWN DATED NOVEMBER, 2006.
 - THE FOREST STAND DELINEATION AND WETLAND DELINEATION FOR THIS PROJECT WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED NOVEMBER, 2006 AND WAS APPROVED UNDER SP-07-007.
 - THE FOREST CONSERVATION REQUIREMENTS PER SECTION 18.020 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR MERIWETHER FARM, SECTION TWO SUBDIVISION WILL BE FULFILLED BY PROVIDING A TOTAL OF ONSITE RESTORATION OF 301 ACRES OF FOREST AND 214 ACRES OF ONSITE PLANTING.
 A. TOTAL FOREST RESTORATION OBLIGATION FOR MERIWETHER FARM, SECTION TWO = 301 ACRES.
 B. REQUIRED FOREST RESTORATION OBLIGATION FOR MERIWETHER FARM, SECTION TWO, PHASE TWO = 15,851 ACRES (10.1 AC. + 14,249 AC. PROVIDED IN FOREST EASEMENTS 1, 4 & 5 IN PHASE ONE, F-08-199)
 C. PROVIDED FOREST RESTORATION CONSERVATION EASEMENT FOR MERIWETHER FARM, SECTION TWO, PHASE TWO = 15,851 AC.
 D. TOTAL FOREST RESTORATION OBLIGATION FOR MERIWETHER FARM, SECTION TWO = 214 ACRES.
 E. REQUIRED FOREST RESTORATION OBLIGATION FOR MERIWETHER FARM, SECTION TWO, PHASE TWO = 12,897 AC. (2.14 AC. + 10.9 AC. PROVIDED IN MERIWETHER FARM SECTION ONE UNDER F-08-199) = 0.173 AC. PROVIDED IN EASEMENTS 2 & 3 IN PHASE ONE, F-08-199)
 F. PROVIDED FOREST RESTORATION CONSERVATION EASEMENT FOR MERIWETHER FARM, SECTION TWO, PHASE TWO = 12,897 AC.
 G. THE FOREST CONSERVATION SURETY AMOUNT REQUIRED IS 440,257.00 (10,951 AC. X 43,560 X 4.020 = 436,094) (12,897 AC. X 43,560 X 4.020 = 228,854) AND WILL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT.
 - NOTE: THE 1.04 AC. RESTORATION REQUIREMENT WAS SUBSTITUTED WITH 2.08 AC. OF RETENTION ON THE MERIWETHER FARM, SECTION ONE PROJECT.
 - THE LANDSCAPE SURETY IN THE AMOUNT OF 480,450.00 FOR PERMITS LANDSCAPE REQUIREMENTS (24) SHADE TREES AND 37 FORESHED TREES OF SECTION 18.04 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS SUBDIVISION.
 - FINANCIAL SURETY FOR THE 220' ROUNDED STREET TREES SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF 860,000.00.
 - ALL EXISTING WELLS AND SEPTIC FIELDS WITHIN 100 FEET OF SUBJECT PROPERTY HAVE BEEN SHOWN.
 - SIGN POSTS: ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED SQUARE TUBE POST (6 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (6 GAUGE) - 7' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 - DRIVEWAY (S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 a. WIDTH - 12 FEET OR FEET SERVING MORE THAN ONE RESIDENCY
 b. SURFACE - 5/8" HOT MIXED ASPHALT OR COMPACTED COARSE SAND BASE WITH TAR AND CHIP COATING
 c. GEOMETRY - MAXIMUM 1% GRADE, MAXIMUM 10' GRADE CHANGE AND MINIMUM OF 45 FOOT TURNING RADIUS
 d. STRUCTURES - CAPABLE OF SUPPORTING 25,000 LBS. AND EXCEEDING
 e. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 300 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 f. STRUCTURE CLEARANCES - MINIMUM 10 FEET
 g. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
 - GROUND WATER APPROPRIATION PERMIT SHALL BE ISSUED PRIOR TO SUBMISSION OF RECORD PLAN FOR SIGNATURE.
 - ALL WELLS TO BE DRILLED PRIOR TO FINAL PLAT APPROVAL. IT IS THE DEVELOPER'S RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO FINAL PLAT SUBMISSION. IT WILL NOT BE CONSIDERED "CONCRETE DEATH" IF THE WELL DRILLING HOLDS UP THE HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT.
 - THERE IS AN EXISTING DWELLING/STRUCTURES ON BUILDABLE PRESERVATION PARCEL 'J' TO REMAIN. NO NEW BUILDINGS, EXTENSIONS OR ADDITIONS TO THE EXISTING DWELLING ARE TO BE CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATION REQUIREMENTS FROM THE EXISTING DWELLING/STRUCTURES.
 - ALL EXISTING WELLS, BUILDINGS AND SEPTIC SYSTEMS WHICH ARE TO BE REMOVED SHALL BE REMOVED PRIOR TO FINAL PLAT SIGNATURE.
 - THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (SDP) 26.04.03. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECONSTRUCTION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
 - EXISTING FENCE, TREES, SWAMP BOWL OUTLETS AND HOODY ZONES LOCATED WITHIN THE SYSTEM BUFFER, THESE DISTURBANCES HAVE BEEN DEEMED A NECESSARY DISTURBANCE IN ACCORDANCE WITH SECTION 16.11(C) OF THE SUBDIVISION REGULATIONS.

**MERIWETHER FARM
SECTION TWO
PHASE TWO**

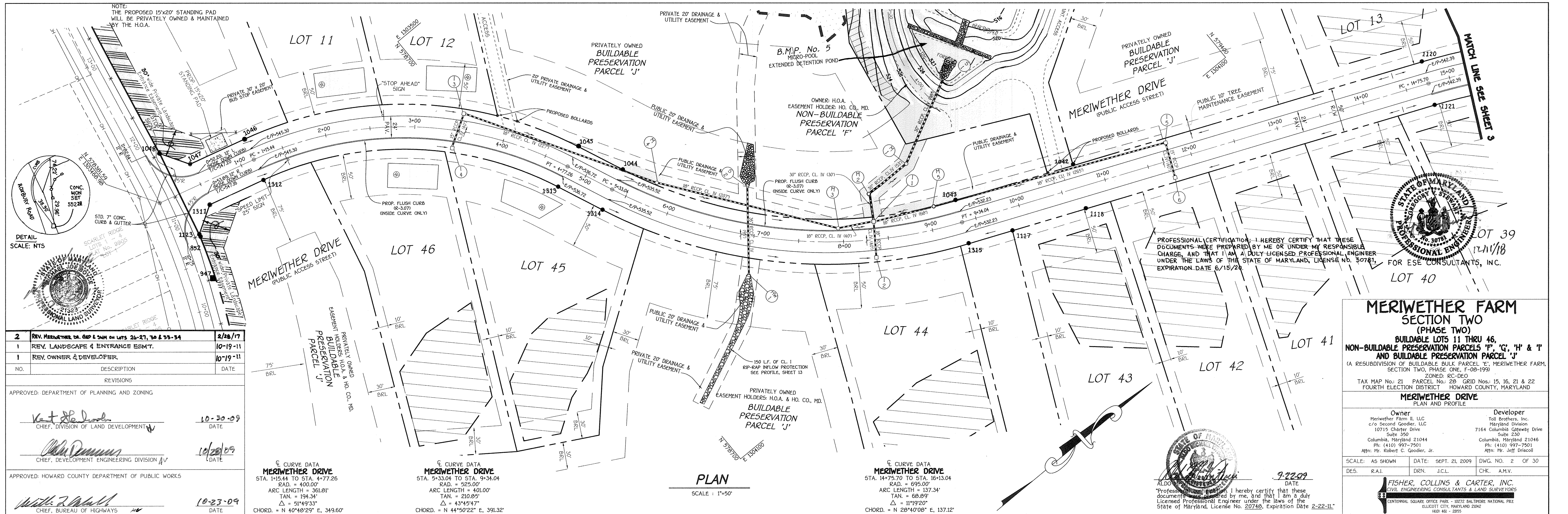
**BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION
PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'**

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

ZONED: RC-DEO
 TAX MAP No. 21 PARCEL No. 28 GRID Nos. 15, 16, 21 & 22
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 1 OF 30

ASBUILT

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2	REV. MERIWETHER DR. GRP & SIGN ON LOTS 24-27, 34 & 35-34	2/28/17
1	REV. LANDSCAPE & ENTRANCE ESMT.	10/19/11
1	REV. OWNER & DEVELOPER	10/19/11
NO.	DESCRIPTION	DATE
REVISIONS		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Keith H. Gooder</i> CHIEF, DIVISION OF LAND DEVELOPMENT		10-30-09
<i>John D. Dumas</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION		10/28/09
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
<i>William J. Dumas</i> CHIEF, BUREAU OF HIGHWAYS		10-23-09

☉ CURVE DATA
MERIWETHER DRIVE
 STA. 1+15.44 TO STA. 4+77.26
 RAD. = 400.00'
 ARC LENGTH = 361.81'
 TAN. = 194.34'
 Δ = 51°49'33"
 CHORD. = N 40°48'29" E, 349.60'

☉ CURVE DATA
MERIWETHER DRIVE
 STA. 5+33.04 TO STA. 9+34.04
 RAD. = 525.00'
 ARC LENGTH = 401.00'
 TAN. = 210.85'
 Δ = 43°45'47"
 CHORD. = N 44°50'22" E, 391.32'

☉ CURVE DATA
MERIWETHER DRIVE
 STA. 14+75.70 TO STA. 16+13.04
 RAD. = 695.00'
 ARC LENGTH = 137.34'
 TAN. = 68.89'
 Δ = 11°19'20"
 CHORD. = N 28°40'08" E, 137.12'

PLAN
 SCALE: 1"=50'

MERIWETHER FARM SECTION TWO (PHASE TWO)
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

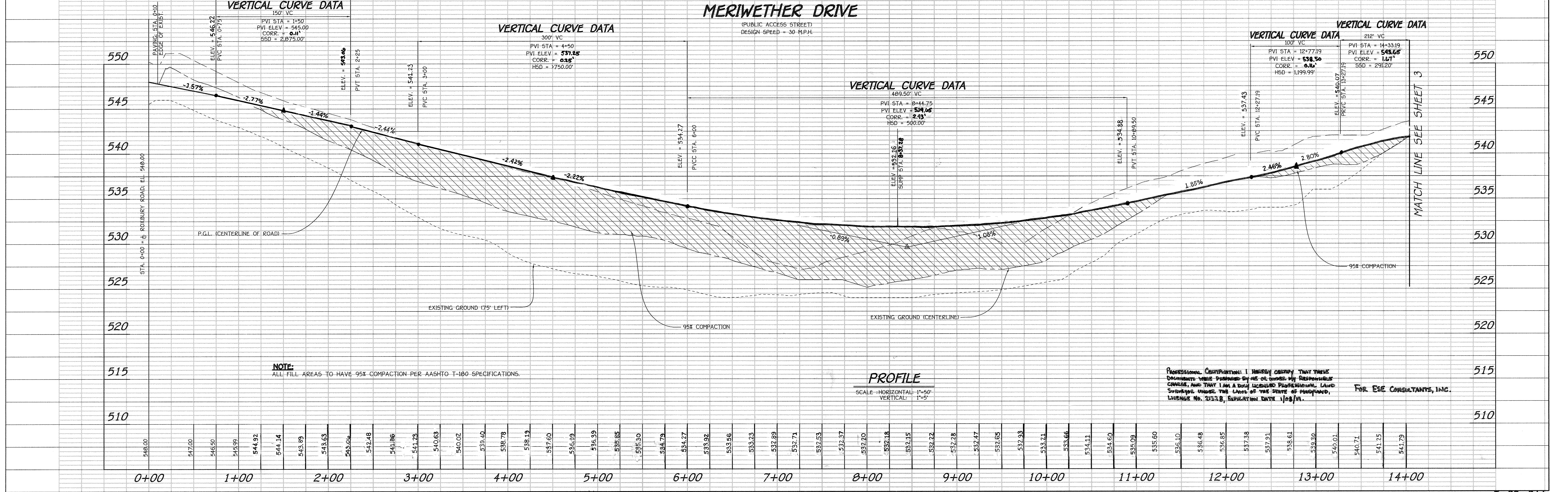
TAX MAP No. 21 PARCEL No. 28 GRID Nos. 15, 16, 21 & 22 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MERIWETHER DRIVE
 PLAN AND PROFILE

Owner Meriwether Farm II, LLC c/o Secord Gooder, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Gooder, Jr.	Developer Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 250 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll
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SCALE: AS SHOWN DATE: SEPT. 21, 2009 DWG. NO. 2 OF 30
 DES. R.A.I. DRN. J.C.L. CHK. A.M.V.

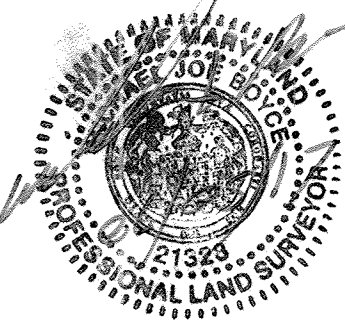
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL Pkwy.
 ELKROTT CITY, MARYLAND 21046
 (410) 481 - 2855



PROFILE
 SCALE: HORIZONTAL: 1"=50'
 VERTICAL: 1"=5'

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20278, EXPIRATION DATE 2-22-11.

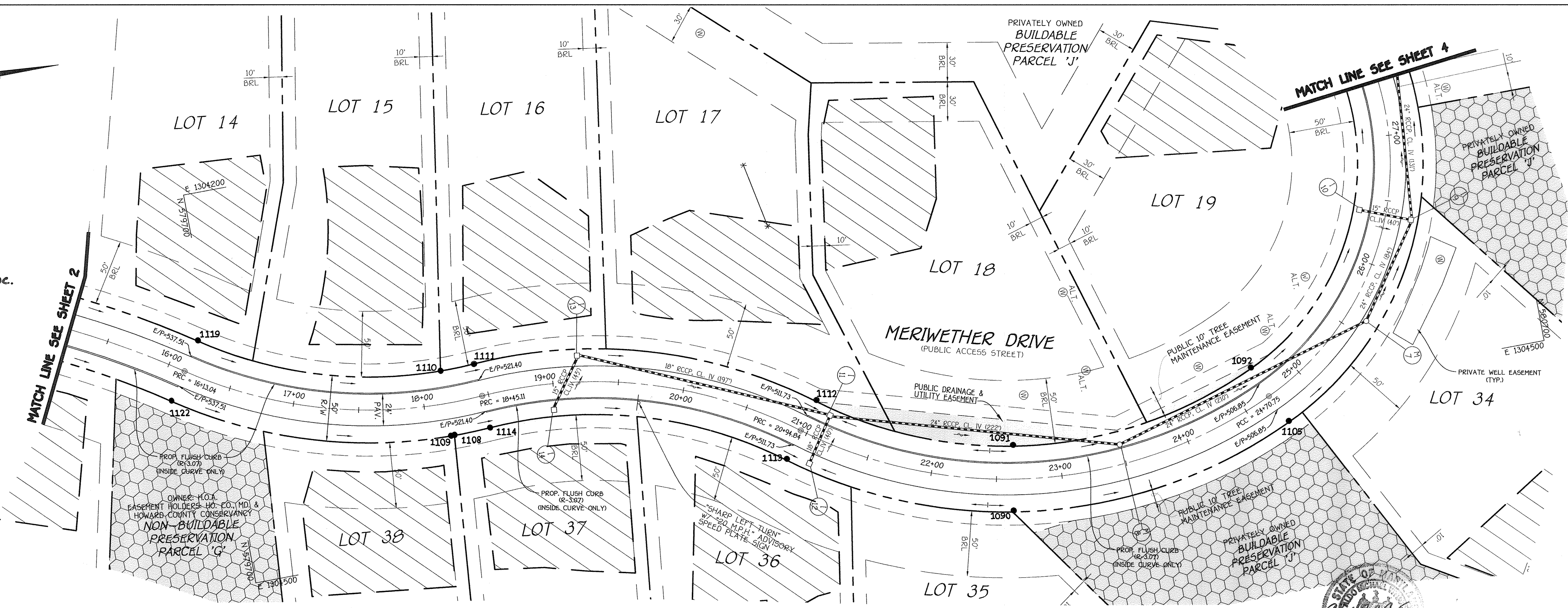
FOR ESE CONSULTANTS, INC.



FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20788, EXPIRATION DATE 6/15/20.

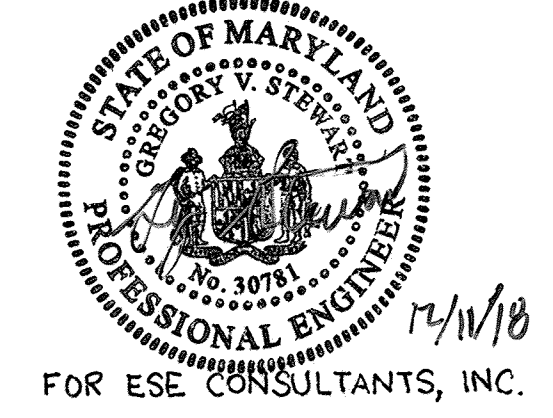
2	REV. MERIWETHER DR. GEP & SWM ON LOTS 26, 27, 30 & 33-34	2/28/17
1	REV. OWNER & DEVELOPER	10/19/11
NO. DESCRIPTION DATE		
REVISIONS		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Kent Redmond</i>		10-20-09
CHIEF, DIVISION OF LAND DEVELOPMENT		DATE
<i>Chris Dammann</i>		10/20/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
<i>Walter R. ...</i>		10-23-09
CHIEF, BUREAU OF HIGHWAYS		DATE



STATION	CHORD	TAN	RAD	ARC LENGTH
STA. 14+75.70 TO STA. 16+13.04	N 28°40'00" E, 137.12'	68.89°	695.00'	137.34'
STA. 16+13.04 TO STA. 18+45.11	N 19°20'05" E, 227.85'	37°59'27"	350.00'	232.07'
STA. 18+45.11 TO STA. 20+94.84	N 16°46'46" E, 244.46'	40°32'00"	350.00'	249.73'
STA. 20+94.84 TO STA. 24+70.75	N 06°27'06" E, 358.10'	61°32'08"	350.00'	375.91'

☺ CURVE DATA
MERIWETHER DRIVE
 STA. 24+70.75 TO STA. 28+85.10
 RAD. = 215.00'
 ARC LENGTH = 414.35'
 TAN. = 309.47'
 Δ = 110°25'17"
 CHORD. = N 79°18'58" W, 353.11'

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.



FOR ESE CONSULTANTS, INC.

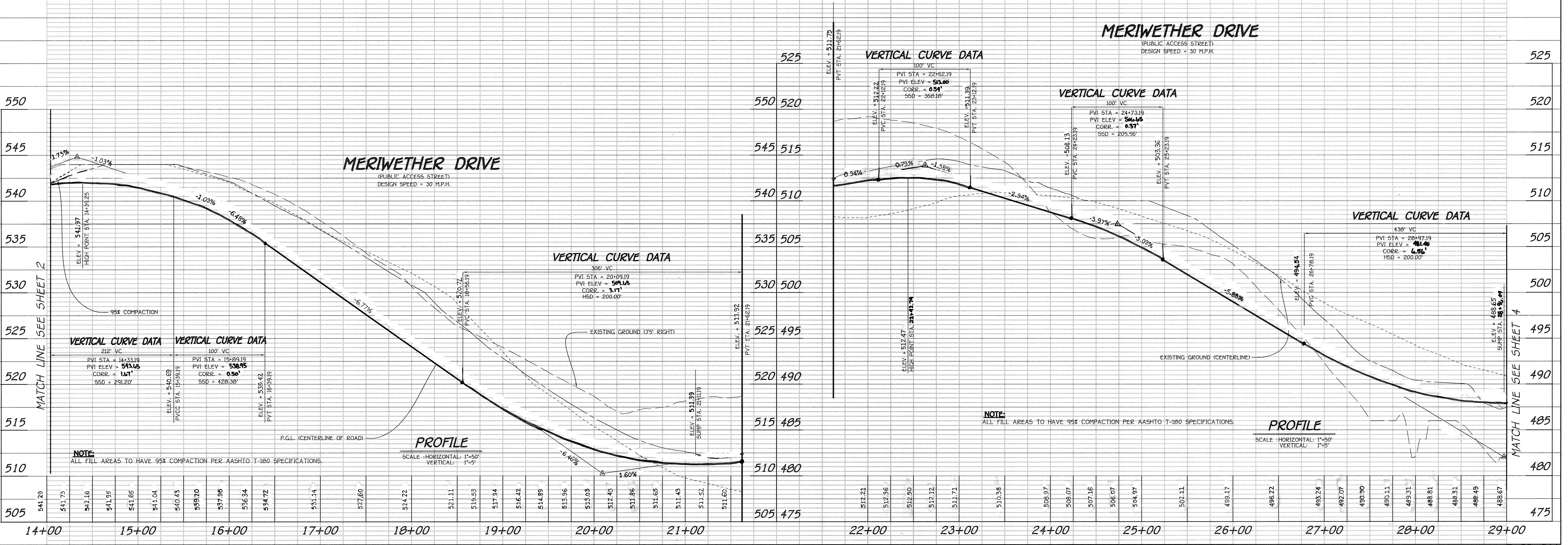
MERIWETHER FARM SECTION TWO (PHASE TWO)
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)
 ZONED: RC-00
 TAX MAP No: 21 PARCEL No: 15, 16, 21 & 22 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

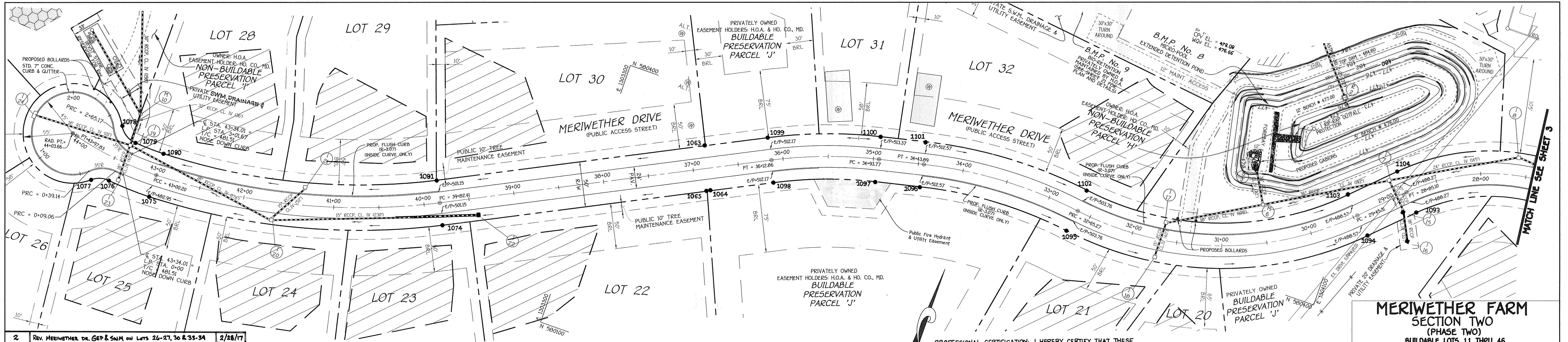
MERIWETHER DRIVE PLAN AND PROFILE

Owner Meriwether Farm II, LLC c/o Second Gooder, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Gooder, Jr.	Developer Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll
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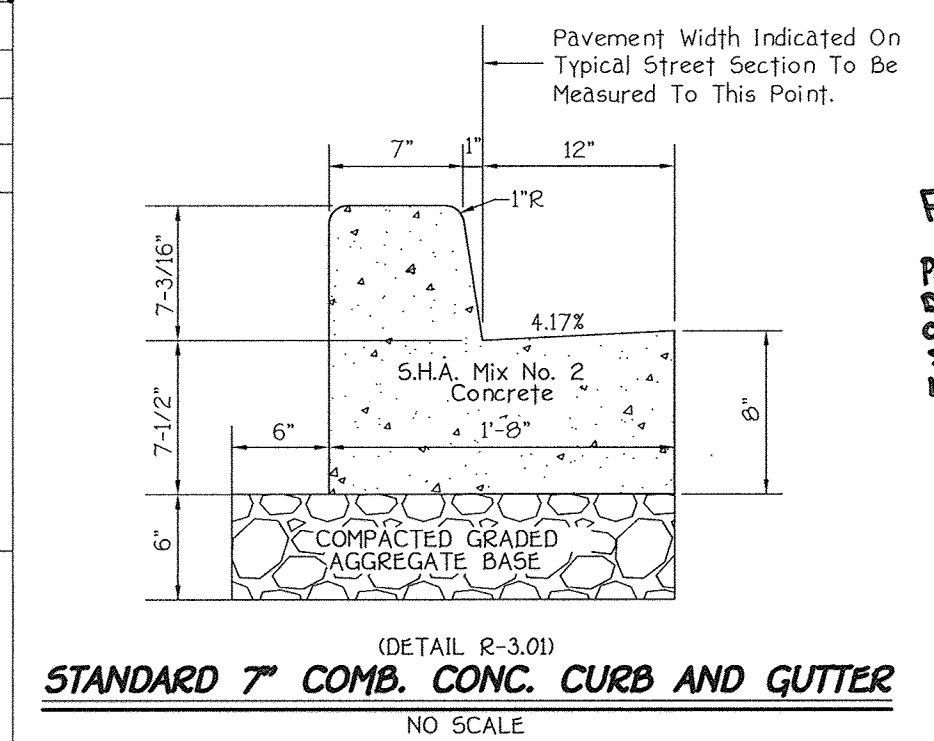
SCALE: AS SHOWN DATE: SEPT. 21, 2009 DWG. NO. 3 OF 30
 DES. R.A.L. DRN. J.C.L. CHK. A.M.V.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK 10722 MULTNOMAH NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 410-481-2829





2	REV. MERIWETHER DR. GEP & SWM ON LOTS 20-27, 30 & 33-34	2/28/17
1	REMOVED FIRE SUPPRESSION TANK & PULL OFF AREA	10-17-11
1	REV. OWNER & DEVELOPER	10-19-11
NO.	DESCRIPTION	DATE
REVISIONS		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
 CHIEF, DIVISION OF LAND DEVELOPMENT		10-30-09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION		10-20-09
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
 CHIEF, BUREAU OF HIGHWAYS		10-23-09



PLAN
SCALE: 1"=50'

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21528, EXPIRATION DATE 01/08/14.

Curve Data	Curve Data	Curve Data	Curve Data
MERIWETHER DRIVE STA. 43+00.20 TO STA. 43+97.83 RAD. = 350.00' ARC LENGTH = 97.63' TAN. = 49.13' Δ = 15°56'54" CHORD. = N 83°09'32" W, 97.31'	MERIWETHER DRIVE STA. 39+82.41 TO STA. 36+12.86 RAD. = 725.00' ARC LENGTH = 317.79' TAN. = 161.49' Δ = 25°08'50" CHORD. = S 76°17'35" W, 315.25'	MERIWETHER DRIVE STA. 34+93.77 TO STA. 36+12.86 RAD. = 495.00' ARC LENGTH = 119.08' TAN. = 59.83' Δ = 13°47'02" CHORD. = S 70°17'07" W, 118.80'	MERIWETHER DRIVE STA. 32+65.27 TO STA. 34+43.89 RAD. = 495.00' ARC LENGTH = 178.62' TAN. = 90.29' Δ = 20°49'30" CHORD. = S 87°30'52" W, 177.65'

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

FOR ESE CONSULTANTS, INC.

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 30781
 EXPIRES 6/15/20

MERIWETHER DRIVE

STA. 24+70.75 TO STA. 20+85.10
 RAD. = 215.00'
 ARC LENGTH = 414.35'
 TAN. = 309.47'
 Δ = 110°23'17"
 CHORD. = N 79°18'58" W, 353.34'

MERIWETHER DRIVE

STA. 29+45.31 TO STA. 32+65.27
 RAD. = 350.00'
 ARC LENGTH = 319.96'
 TAN. = 172.14'
 Δ = 52°22'44"
 CHORD. = S 71°39'45" W, 308.94'

MERIWETHER DRIVE

STA. 20+85.10 TO STA. 20+85.10
 RAD. = 350.00'
 ARC LENGTH = 319.96'
 TAN. = 172.14'
 Δ = 52°22'44"
 CHORD. = S 71°39'45" W, 308.94'

MERIWETHER FARM SECTION TWO (PHASE TWO)

BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'M', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-1999)

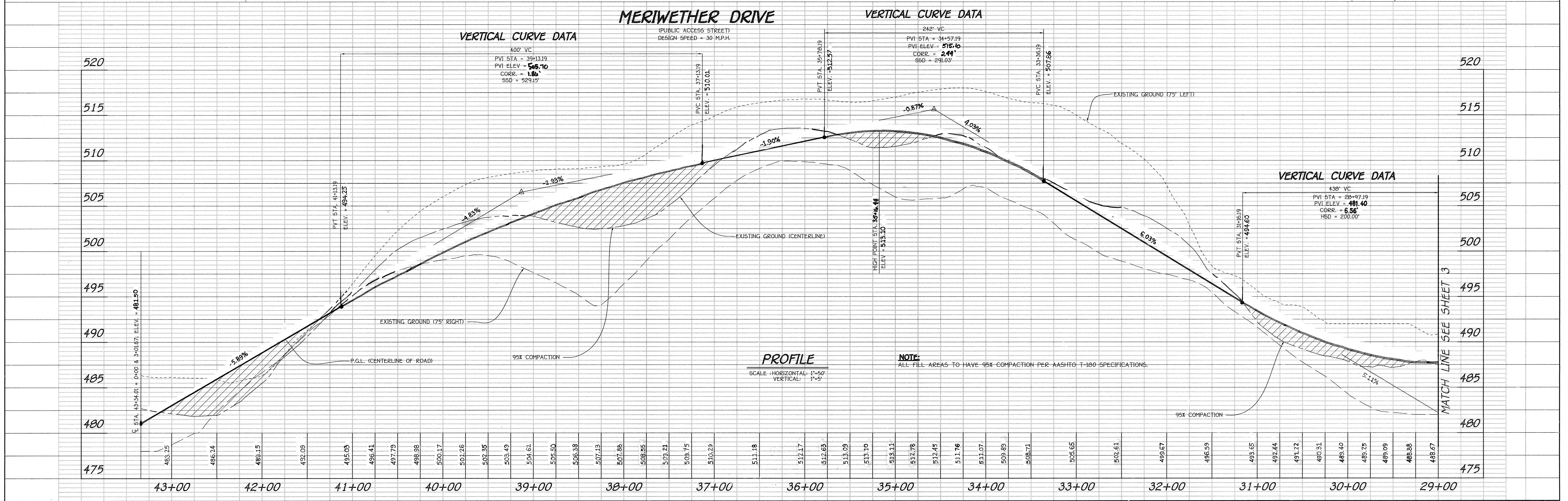
TAX MAP No. 21 PARCEL No. 28 GRID Nos. 15, 16, 21 & 22 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MERIWETHER DRIVE
PLAN AND PROFILE

Owner Meriwether Farm II, LLC c/o Second Gender, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Developer Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll
--	--

SCALE: AS SHOWN DATE: SEPT. 21, 2009 DWG. NO. 4 OF 30
 DES. R.A.L. DRN. J.C.L. CHK. A.M.V.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21042
 (410) 481 - 2855

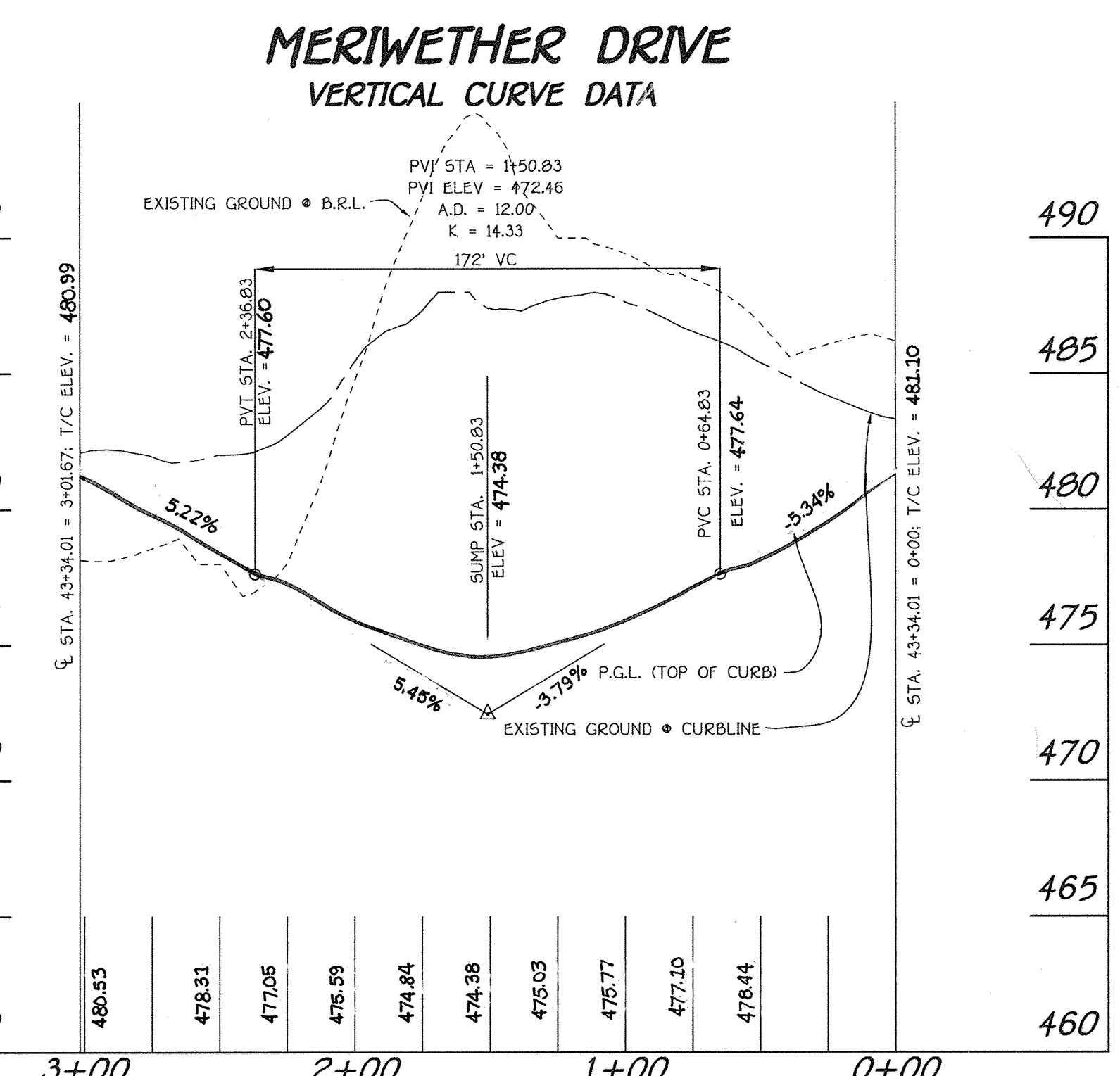
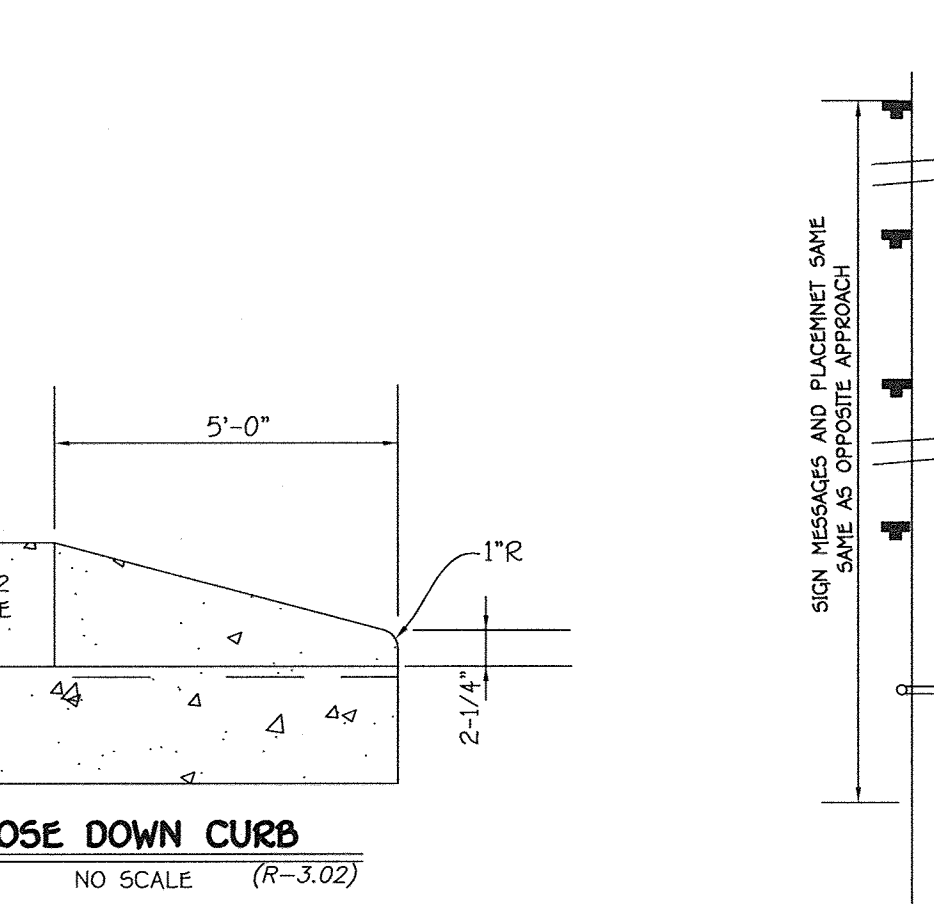
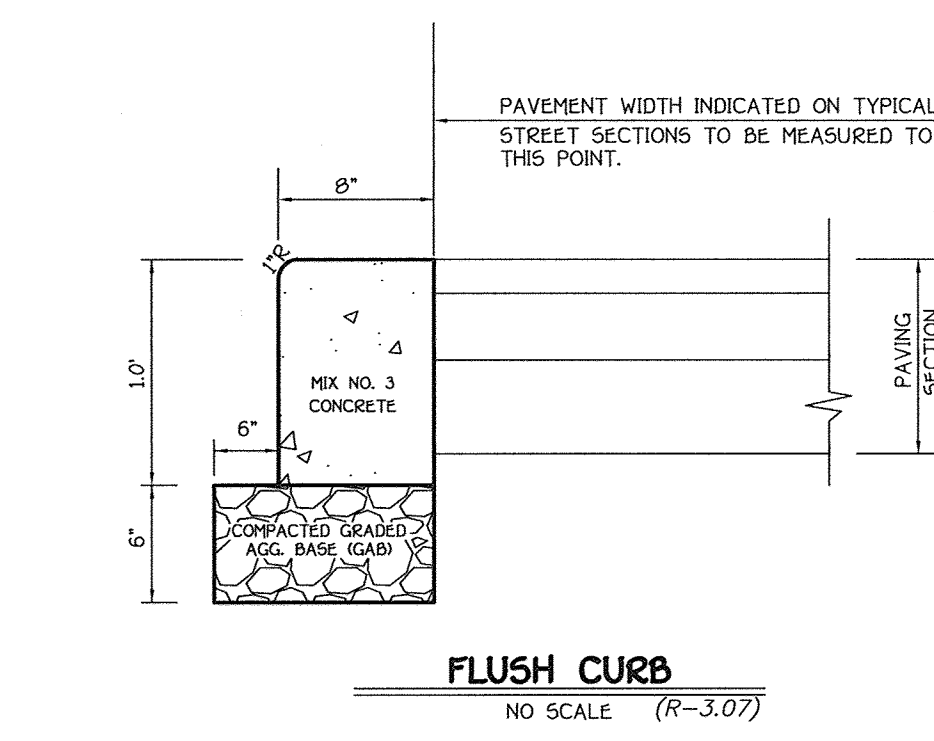
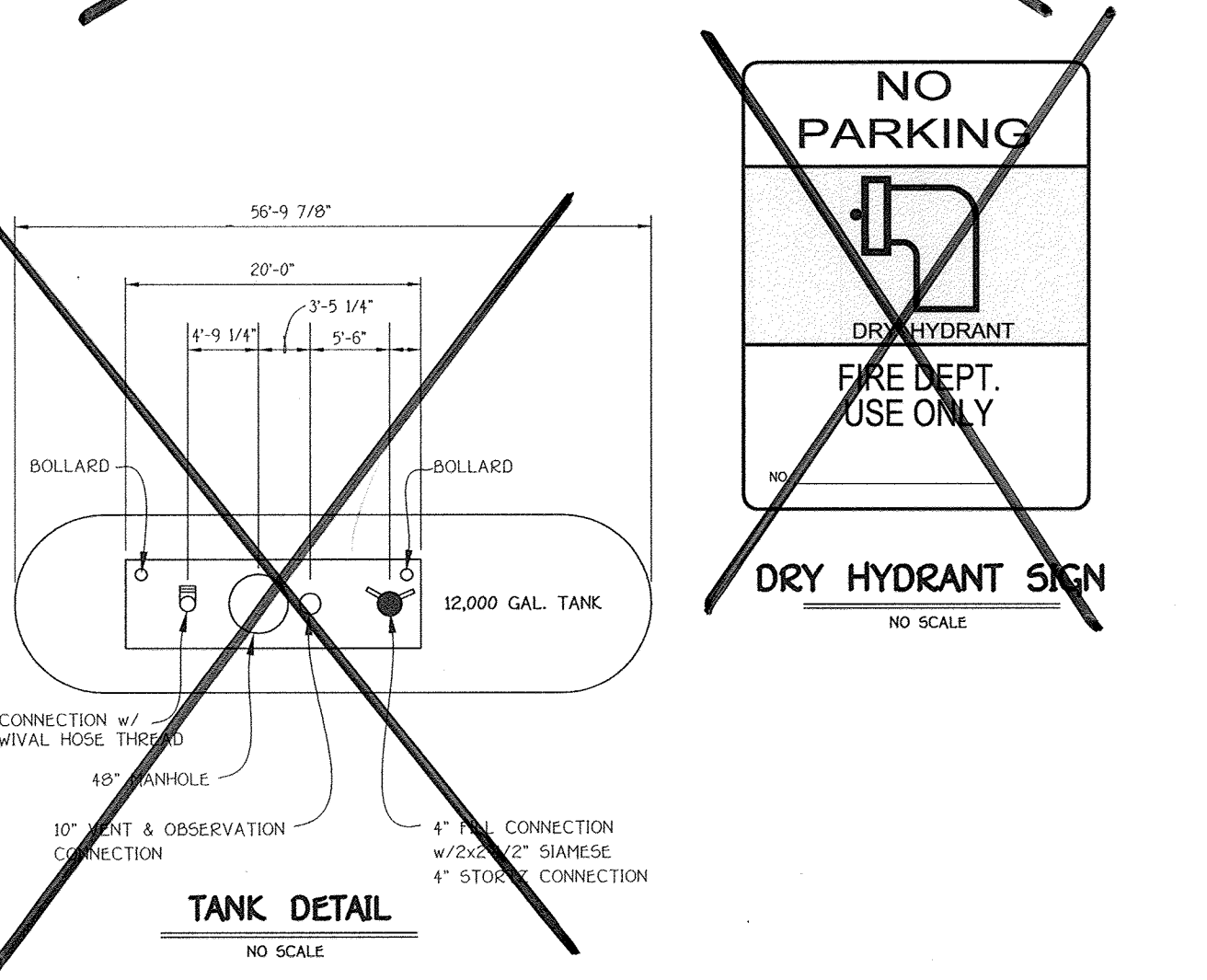
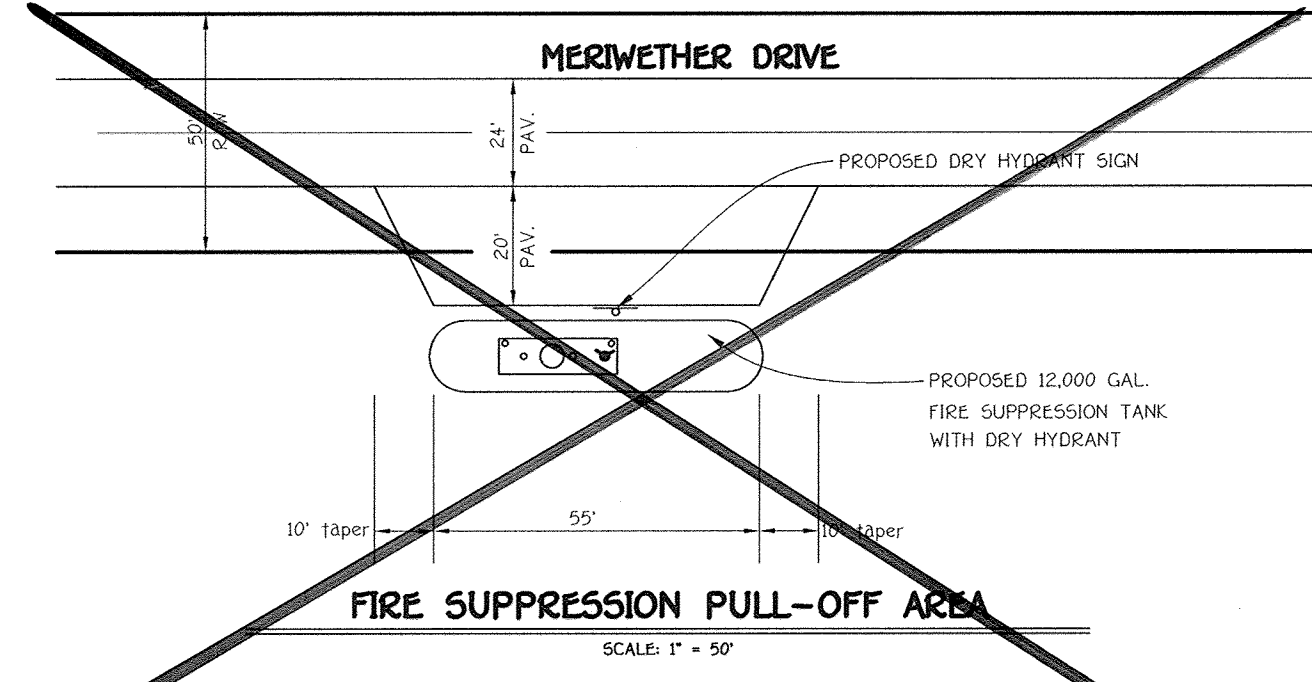


SPECIFICATIONS FOR UNDERGROUND WATER STORAGE TANKS FOR FIRE PROTECTION

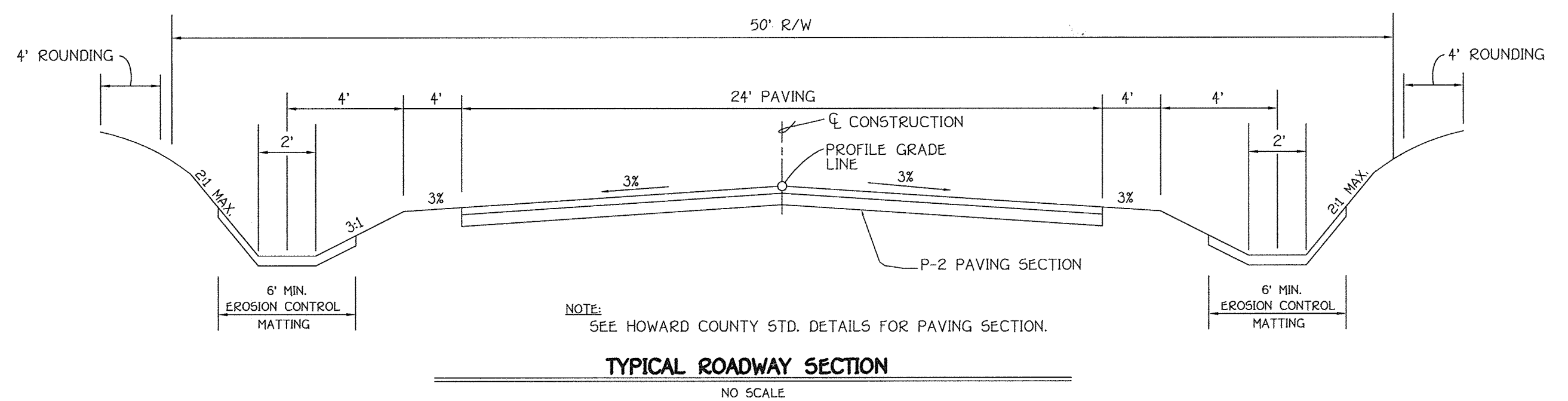
- Introduction
 - 11.1. The construction of underground tanks for fire protection in accordance with Howard County Code, Title 17 and this specification is part of a program designed to improve the level of protection from fires in residential and commercial properties. These Specifications, along with associated documents, provides the information necessary for the construction and placement of fire protection tanks used for this purpose.
 12. Purpose

The purpose of this specification is to provide the technical information required for the construction of underground water storage tanks in accordance with Howard County Maryland, Title 17 and all data therein referenced.
- Underground tank
 - 21.1. Tanks shall be constructed of single-wall fiberglass per approved manufacturer's specifications.
 - 21.2. The manufacturer shall provide a 30-year warranty, against defects in material for the tank system, to the purchaser of the tank and their heirs, successors, and assigns.
 22. Features
 - 22.1. The tank system shall include a device for holding the tank in position against flotation (deadman). This configuration shall be supplied by the tank manufacturer as part of the tank package. Installation shall be in accordance with the manufacturer's recommendations.
 - 22.2. The tank shall include a removable access cover at grade (minimum, 48" in diameter, to allow entry for maintenance and inspection of the interior of the tank. An internal ladder shall be securely mounted to the tank. The cover shall be properly secured and locked.
 - 22.3. A pad consisting of 4 inch thick concrete shall be placed over the tank, and shall encompass all fittings. Refer to tank drawings for concrete specifications.
 - 22.4. Fittings
 - 22.4.1. One draft connection shall consist of a 6 inch diameter galvanized or ductile iron pipe. The draft connection shall terminate in a GSI National standard female swivel connector with plug or cap. A PVC draft pipe with an anti-siphon device shall be installed inside the tank by the manufacturer. The draft connection allows a fire department pump to connect and remove water from the tank at the specified rate of flow (fire flow). Draft connection shall be painted "Fire Engine Red".
 - 22.4.2. One combination vent/fill indicator shall consist of one 4 inch diameter PVC pipe which allows visual inspection of the tank water level, as well as providing the required amount of venting to the tank.
 - 22.4.3. One fill connection shall consist of a 4 inch diameter galvanized or ductile iron pipe, with a Siamese connection with two, two and one half (2-1/2) inch 1/2" connection and one 4" Siamese connection. The fitting shall be angled downward at 30 degrees to reduce hose and fitting strain during filling operations.
 - 22.4.4. All pipe joints above the tank shall be flanged.
 - 22.5. Any features not included in this specification, as well as any special circumstances such as multiple tank designs shall be evaluated and approved during design phase and before any construction is started.
 - 22.6. The standard tank drawing (fire suppression water storage, 30,000 gallon) defines the requirements for a typical 30,000 gallon, 10-foot diameter tank installation. Tank sizes other than 30,000 gallons may require additional drawings to be provided to fit the requirements for a particular site. **Underground Fire Suppression Water Storage, 12,000 Gallon** defines the general requirements for construction of 12-foot diameter tanks, and shall be used accordingly. Supplemental drawings shall be reviewed and approved by the Fire Official prior to construction on an as needed basis.
 - Installation
 - 23.1. All tanks shall be installed per the manufacturer's requirements.
 - 23.2. Location and orientation of the tank shall be determined during site plan or preliminary subdivision plan layout, as approved by the Fire Official.
 - 23.3. The installing contractor shall be responsible for obtaining all necessary permits for work and for scheduling required inspections.
 - 23.4. The fittings shall be placed as follows:

NO.	REVISIONS	DATE
1	REVISED OWNER AND DEVELOPER & REMOVED FIRE SUPPRESSION DETAILS	10-19-11
 - 23.4.1. The draft connection shall be located 6" or less from the edge of the parking surface or curb line. This allows for one 10' foot section of suction hose to be used for drafting. The draft connection shall be turned facing directly toward the road surface.
 - 23.4.2. Total elevation from the bottom of the draft pipe to the centerline of the draft connection shall not exceed 10 feet above finished grade. This dimension shall be minimized as much as possible to reduce head loss while maintaining correct depth of cover over tank, per manufacturer's specifications.
 - 23.4.3. The draft connection shall be fixed at a height of 18 inches above finished grade of the pad off pad to the centerline of the fitting.
 - 23.4.4. The fill connection shall be fixed at a height of 18 inches above finished grade of the pad off pad to the centerline of the fitting.
 - 23.5. Excavation shall be performed per all applicable requirements. The excavation shall be backfilled with a material per manufacturer's specifications. In designs in which the draft pipe is placed on the tank end, the tank shall have a 3 percent slope toward the draft connection end.
 24. Testing and acceptance
 - 24.1. The tank shall be operable with a rate of flow (fire flow) of 3000 gallons per minute (GPM) minimum using a fire department pump operating under normal conditions.
 - 24.2. A pressure test shall be performed prior to installation of the tank, per manufacturer's specifications.
 - 24.3. A pressure test shall be performed after the tank is installed and covered at a minimum pressure of 5 psi (ounces per square inch) and held for a time period as determined by the Fire Official, per manufacturer's specifications.
 - 24.4. An operational test shall be performed when construction is completed, in accordance with the approval procedures. The test shall be conducted by the fire department and the installer, when testing has been completed, the installer shall fill the tank to full capacity as required. Once operational, further use of the tank shall be limited to firefighting operations and routine testing. The fire department shall be responsible for subsequent refilling to full capacity within 12 hours after using water from the tank.
 - Accessibility and surrounding features
 - 25.1. A pad shall be constructed per Appendix 51, Drawing 0404, Tank Accessibility otherwise specified. The requirements for each site will be evaluated and approved by the Fire Official prior to site work. Details shall be indicated on the site or subdivision plan as applicable.
 - 25.2. No obstructions shall impede access to tank fittings. The facility shall remain accessible on a year-round basis.
 - 25.2.1. Landscaping, brush, and trees shall be trimmed away from fittings (overhanging branches shall be trimmed away at a minimum of 12 feet overhanging) and weeds shall be cut as needed.
 - 25.3. Protective devices shall be used as applicable to prevent damage to the fittings and to provide safety for operators. These include, but are not limited to the following:
 - Bollards
 - Chain rails
 - Fencing
 - Walkways
 - Cable
 Any other barriers/devices as determined by the Fire Official
 - 25.4. A reflective sign shall be posted which clearly indicates tank full capacity and identification ID number. An identification number shall be assigned by the county and posted at the site. Signs shall be placed on all major roads (including the driveway) and direction to tank with a 1 in 2500 foot radius.
 - 25.5. An approved NO PARKING sign shall be provided and attached to a metal post.
 - 25.6. All fittings above grade shall be painted with exterior-grade enamel. Color shall be yellow unless otherwise specified.
 - References
 31. Published standards
 - 31.1. NFPA 780 - Standard for Fire Hose Service Threads
 - 31.2. NFPA 842 - Standard for Water Supplies for Suburban and Rural Fire Protection
 - 31.3. NFPA 843 - Standard for Fire Protection in Planned Building Groups
 32. Other referenced documents
 - 32.1. Code of Public Local Laws and Ordinances of Howard County Maryland, Chapter 17
 - 32.2. Underground Tanks & Dry Fire Hydrants Maintenance and Inspection Chief Gray Book Approved Fire Protection Committee, 2003.
 4. Appendix
 - 4.1. Drafting Pulloff Tank Access.



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		3 TO <5	5 TO <7	>7	3 TO <5	5 TO <7	>7
P-2	PARKING DRIVE ASIDES- RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS- ACCESS PLACE, ACCESS STREET CUL-DE-SACS- RESIDENTIAL	PAVEMENT MATERIAL (INCHES)		MIN HMA WITH GAB		HMA WITH CONSTANT GAB	
		HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)		1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)		1.0	1.0	1.0	1.0
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)		2.0	2.0	2.0	2.0
		GRADED AGGREGATE BASE (GAB)		8.0	4.0	3.0	4.0



ROAD NAME	CLASSIFICATION	DESIGN SPEED	ZONING	STATION LIMITS	PAVING SECTION
MERIWETHER DRIVE	PUBLIC ACCESS STREET	30 MPH	RC-DEQ	0+00 TO 44+03.66	P-2

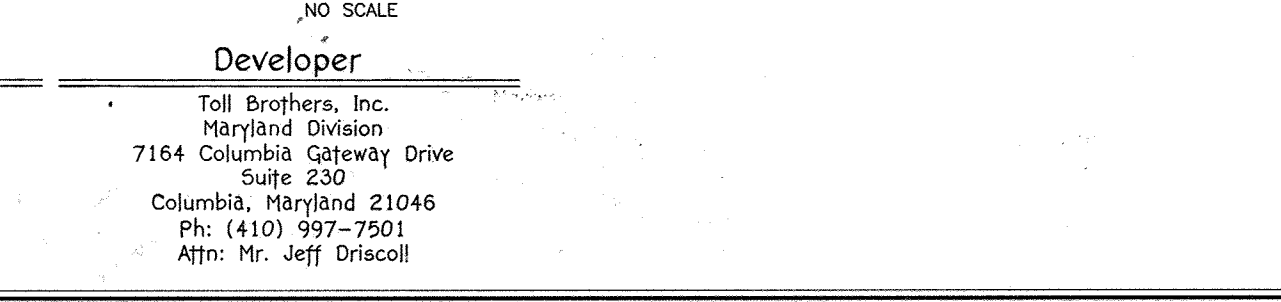


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MAINTENANCE OF TRAFFIC SPECIAL PROVISIONS

- GENERAL**
1. THE PURPOSE OF THIS PORTION OF THE SPECIAL PROVISIONS IS TO SET FOR THE TRAFFIC CONTROL REQUIREMENTS NECESSARY FOR THE SAFE AND EFFICIENT MAINTENANCE TO TRAFFIC WITHIN WORK AREAS, AND TO MINIMIZE ANY INCONVENIENCES TO THE TRAVELING PUBLIC AND THE CONTRACTOR AND/OR PERMITTEE.
 2. PROPERTY TRAFFIC CONTROL THROUGH WORK AREAS IS ESSENTIAL FOR MAINTAINING THE SAFETY AND THAT OF HIGHWAY WORKERS HAS THE HIGHEST PRIORITY OF ALL TASKS WITHIN THIS PROJECT. THE PROPER APPLICATION OF THE APPROVED TRAFFIC CONTROL PLAN (TCP) WILL PROVIDE THE DESIRED LEVEL OF SAFETY.
 3. THROUGHOUT THESE SPECIAL PROVISIONS, ANY MENTION OF THE TCP SHALL BE IMPLIED TO INCLUDE ANY COMBINATION OF TYPICAL TRAFFIC CONTROL STANDARDS WHICH FORM THE OVERALL TCP FOR THIS PROJECT WHICH HAS BEEN APPROVED BY THE APPROPRIATE SAH TRAFFIC ENGINEER.
 4. THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE PROVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 1988 EDITION, ESPECIALLY PART VI AND TO SECTION 814 OF THE MARYLAND DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (CANAWAY, 1988), INCLUDING ALL REVISIONS AND SUPPLEMENTS TO EACH.
 5. THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE REQUIREMENTS SET FORTH IN THE TCP AND THESE SPECIAL PROVISIONS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY REQUESTS TO MAKE MINOR CHANGES TO THE TCP OR THE SPECIAL PROVISIONS WITH REGARD TO THE TRAFFIC CONTROL ITEMS SHALL BE MADE IN WRITING TO THE ENGINEER. A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE PROPOSED SCHEDULING CHANGE. THE CONTRACTOR AND/OR PERMITTEE SHALL HAVE WRITTEN APPROVAL OF THE ENGINEER PRIOR TO THE IMPLEMENTATION OF ANY CHANGE.
 6. NO WORK SHALL BEGIN ON ANY WORK ACTIVITY OR WORK PHASE UNTIL ALL REQUIRED TRAFFIC CONTROL PATTERNS AND DEVICES INDICATED ON THE TCP FOR THAT ACTIVITY OR PHASE ARE COMPLETELY AND CORRECTLY IN PLACE TO HAVE BEEN CHECKED FOR APPROVED USAGE.
 7. GENERAL AND SPECIFIC WARNING SIGNS SHALL ONLY BE IN PLACE WHEN SPECIFIC WORK TASKS AND ACTIVITIES ARE ACTUALLY UNDERTAKEN OR COMING EXIST THAT POSE A POTENTIAL HAZARD TO THE PUBLIC, AND ANY ADDITIONAL SIGNING HAS BEEN APPROVED BY THE APPROPRIATE SAH TRAFFIC ENGINEER. NOTE: THE PRACTICE OF PLACING SIGNING AND OTHER TRAFFIC CONTROL DEVICES IN ADDITION TO THOSE INDICATED ON THE APPROVED TCP IS NOT PERMITTED.
 8. THE CONTRACTOR AND/OR PERMITTEE SHALL PROVIDE, MAINTAIN IN GOOD CONDITION AND MOVE, WHEN NECESSARY, OR AS DIRECTED BY THE ENGINEER, ALL TRAFFIC CONTROL DEVICES USED FOR THE GUIDANCE AND PROTECTION OF MOTORISTS, PEDESTRIANS, AND WORKERS.
 9. ALL TRAFFIC CONTROL DEVICES REQUIRED BY THE TCP SHALL BE KEPT IN GOOD CONDITION, FULLY PERFORMING AS SET FORTH IN THE TCP, THE MUTCD, AND/OR SECTION 814 OF THE SPECIFICATIONS. FOR REFLECTIVE DEVICES, A PARTICULAR DEVICE IS ASSIGNED TO HAVE FAILED TO MEET MINIMUM OPERATIONAL STANDARDS WHEN THE DEVICE NO LONGER HAS RETRO-REFLECTANCE CAPABILITY OF AT LEAST 60% OF THE SPECIFIED MINIMUM VALUE OVER AT LEAST 50% OF THE VISIBLE REFLECTIVE SURFACE.
 10. ALL TRAFFIC CONTROL DEVICES NOT REQUIRED FOR THE SAFE CONDUCT OF TRAFFIC SHALL BE PROPERLY REMOVED COMPLETELY COVERED, TURNED AWAY FROM TRAFFIC, OR OTHERWISE TAKEN OUT OF SERVICE. IT IS INTENDED THAT NO TRAFFIC CONTROL DEVICE IS TO BE IN SERVICE WHEN THERE IS NO CLEAR CUT REASON FOR THE DEVICE.
 11. THROUGHOUT THE PERIODS OF WORK ACTIVITIES, TRAFFIC SHALL BE MAINTAINED BY IMPLEMENTING THE APPROVED TCP. IN LIEU OF THE TCP PREPARED FOR THIS PROJECT, AND/OR INDIVIDUAL TYPICAL TRAFFIC CONTROL STANDARDS, THE CONTRACTOR AND/OR PERMITTEE HAS THE OPTION OF PREPARING AND SUBMITTING A TOP WHOLELY OR IN PART OF HIS OWN DESIGN, FOLLOWING GUIDELINES SET FORTH IN THE MUTCD AND PRESCRIBED BY THE ADMINISTRATION. A TOP DEVELOPED BY THE CONTRACTOR AND/OR PERMITTEE SHALL NOT BE IMPLEMENTED UNTIL ADVANCE WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. TOPS MAY BE IMPLEMENTED WITHIN A SINGLE PROJECT OR JOINTLY BETWEEN TWO OR MORE PROJECTS. IN SITUATIONS WHERE TOPS JOINTLY IMPLEMENTED, CARE SHALL BE EXERCISED TO PRESENT CORRECT AND NON-CONFLICTING GUIDANCE TO THE TRAVELING PUBLIC.
 12. THROUGHOUT THESE SPECIAL PROVISIONS, WHERE SPEED OF TRAFFIC IS NOTED, THIS MEANS THE POSTED SPEED OR PREVAILING TRAVEL SPEED, WHICHEVER IS HIGHER, UNLESS OTHERWISE NOTED.
 13. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT UNLESS OTHERWISE NOTED. NO TRAVEL LANES OTHER THAN THOSE DESIGNATED FOR POSSIBLE CLOSURE IN THE TCP SHALL BE CLOSED WITHOUT OBTAINING PRIOR APPROVAL FROM THE ENGINEER. ALL INGRESS AND EGRESS TO THE WORK AREA SHALL BE BY THE CONTRACTOR AND/OR PERMITTEE SHALL BE PERFORMED WITH THE FLOW OF TRAFFIC.

FLAGGING OPERATION 1-LANE, 2-WAY EQUAL/LESS THAN 40 MPH

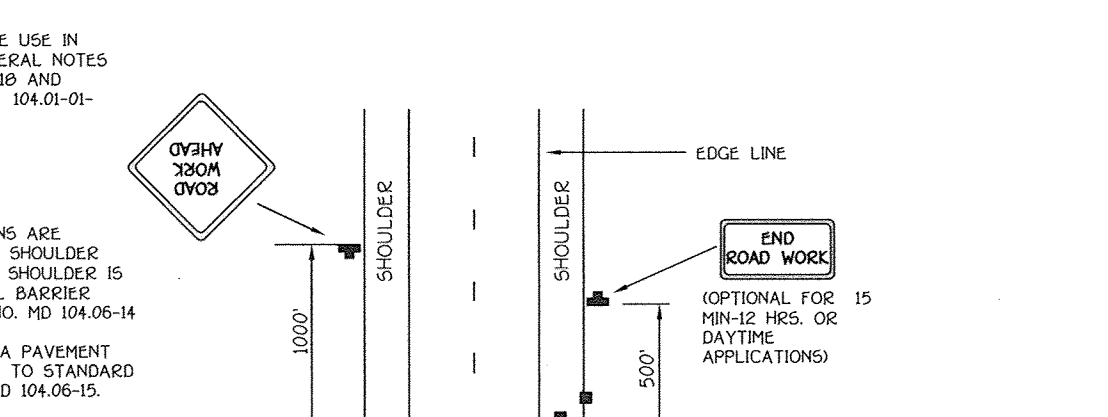


APPROVED: DEPARTMENT OF PUBLIC WORKS
Walter R. ... 10-23-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Neil ... 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

... 10/22/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NOTE:
 ALL FILL AREAS TO HAVE 95% COMPACTION PER AASHTO T-180 SPECIFICATIONS.



ROADWAY DETAILS MERIWETHER FARM SECTION TWO

PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No. 21 PARCEL No. 28 GRID Nos. 15, 16, 21 & 22
 ZONED: RC-DEQ
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 23, 2009
 SHEET 5 OF 30

DATE: 9-22-09
 I hereby certify that these documents were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FREE
 ELECTRIC CITY, MARYLAND 21042
 410.461.2955

Owner
 Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer
 Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 2300
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Driscoll

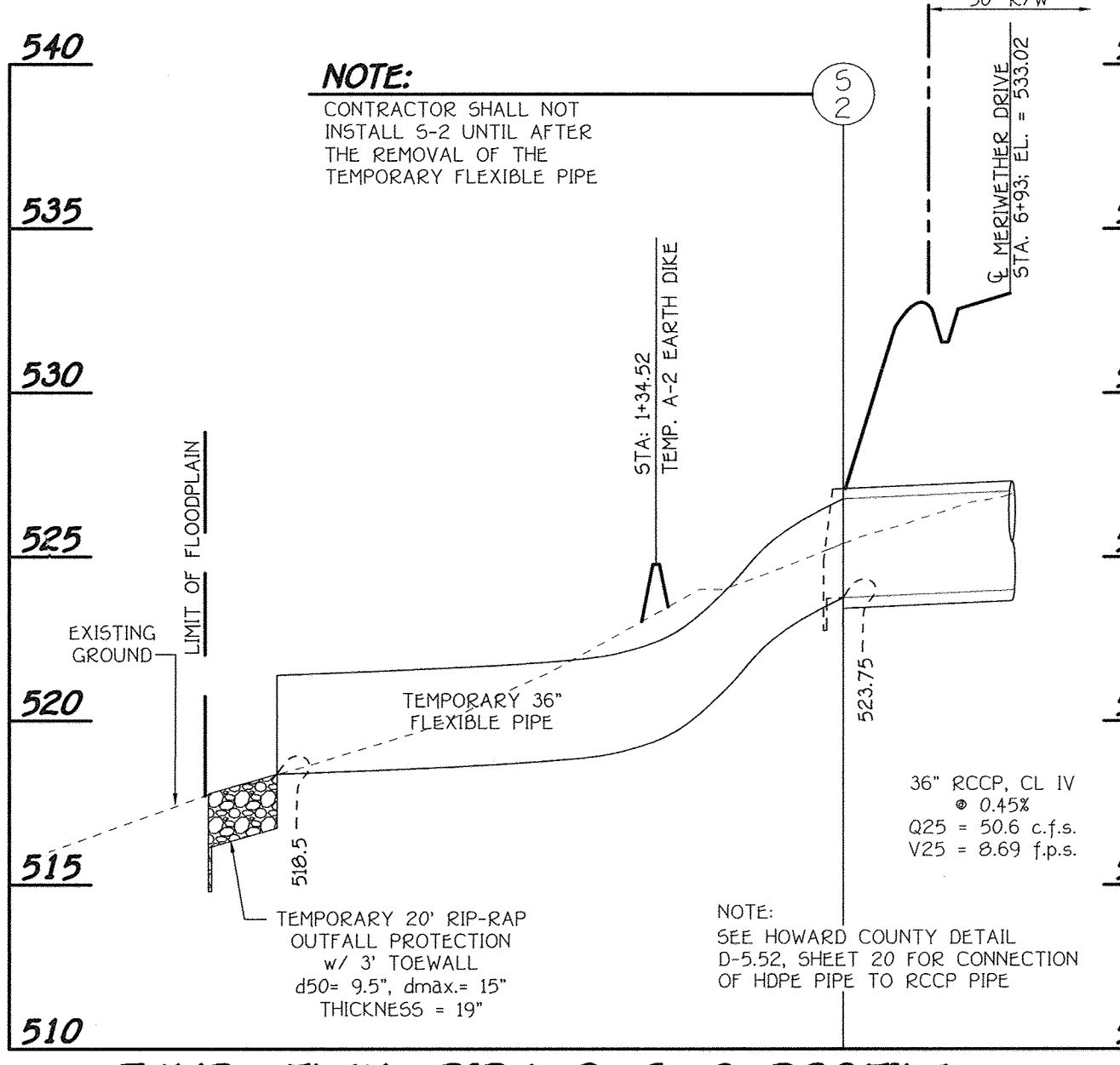
LINEAR PROFILE
 SCALE: HORIZONTAL: 1"=50'
 VERTICAL: 1"=5'

STREET TREE SCHEDULE				
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
(Symbol)	4403.66 x 2 / 40 = 220.18 220 TREES	PYRUS CALLERYANA "CLEVELAND SELECT" CLEVELAND SELECT PEAR	2 1/2"-3" CAL.	40' APART ON PUBLIC R/W

NOTE: STREET TREE TYPES ARE ONLY A RECOMMENDATION AND MAY BE SUBSTITUTED WITH A COUNTY ACCEPTED EQUIVALENT FROM THE HOWARD COUNTY LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 220 REQUIRED STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$66,000.00

NOTE:
CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS.

NOTE:
THE PURPOSE OF BMP No. 4 IS TO PROVIDE WQV FOR LOTS 11 & 12 AND SHALL BE INSTALLED LAST IN THE SEQUENCE OF CONSTRUCTION. BMP SHALL BE INSTALLED WITH A 3-DAY CLEAR WEATHER FORECAST AND PERMISSION FROM THE INSPECTOR TO PROCEED.



By The Developer:
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature Of Developer: *Robert C Goodier* Date: **9/22/09**
Printed Name Of Developer: **Robert C Goodier**

By The Engineer:
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical Approach To The Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Noted The Developer's Plans And I Have No Objections To The Plans. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature: *Gregory V. Steiner* Date: **9/22/09**
Printed Name Of Engineer: **Gregory V. Steiner**

These Plans For Stormwater Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *John A. Adams* Date: **10/15/09**
Printed Name Of Engineer: **John A. Adams**
Approved Department Of Public Works
Signature: *Walter J. ...* Date: **10-23-09**
Printed Name Of Engineer: **Walter J. ...**
Approved Department Of Planning And Zoning
Signature: *Ken ...* Date: **10-30-09**
Printed Name Of Engineer: **Ken ...**
Signature: *W.D. ...* Date: **10/20/09**
Printed Name Of Engineer: **W.D. ...**

LEGEND

- 55F/TP SUPER-SILT / TREE PROTECTION FENCE
- 55F-55F SUPER-SILT FENCE
- 5F-5F SILT FENCE
- S.C.E. STABILIZED CONSTRUCTION ENTRANCE
- EARTH DIKE
- L.O.D. DENOTES LIMITS OF DISTURBANCE
- E.C.M. DENOTES EROSION CONTROL MATTING

AS-BUILT CERTIFICATION
I Herby Certify That The Facility Shown On This Plan Was Constructed As Shown On The "As-Built" Plans And Meets The Approved Plans And Specifications.

Signature: _____ P.E. No. _____ Date: _____

Certify Means To State Or Declare A Professional Opinion Based Upon On-Site Inspections And Material Tests Which Are Conducted During Construction. The On-Site Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Release Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.

DRIVEWAY CULVERT DATA

LOT	SLOPE (S)	Q10 (c.f.s)	PIPE SIZE
11	2.50%	0.35	12"
12	2.50%	0.73	12"
13	HIGHPOINT	----	N/A
14	HIGHPOINT	----	N/A
15	7.00%	0.95	12"
16	7.00%	1.30	12"
17	INLET	----	N/A
18	HIGHPOINT	----	N/A
19	6.00%	3.50	12"
20	INLET	----	N/A
21	6.00%	4.35	12"
22	2.50%	5.80	12"
23	INLET	----	N/A
24	6.00%	4.30	12"
25	6.00%	5.20	12"
26	INLET	----	N/A
27	INLET @ SLUMP	----	N/A
28	INLET	----	N/A
29	INLET	----	N/A
30	2.00%	0.85	12"
31	HIGHPOINT	----	N/A
32	2.25%	1.50	12"
33	INLET	----	N/A
34	4.50%	0.63	12"
35	HIGHPOINT	----	N/A
36	3.00%	6.30	12"
37	7.00%	5.20	12"
38	7.00%	3.80	12"
39	2.00%	1.50	12"
40	3.70%	3.80	12"
41	3.70%	3.80	12"
42	INLET	----	N/A
43	1.50%	8.50	12"
44	1.00%	10.00	12"
45	INLET	----	N/A
46	2.50%	0.75	12"

NOTE:
CONTRACTOR TO IMBRICATE ALL SF/55F RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURB ENDS UPHILL 2' IN ELEVATION

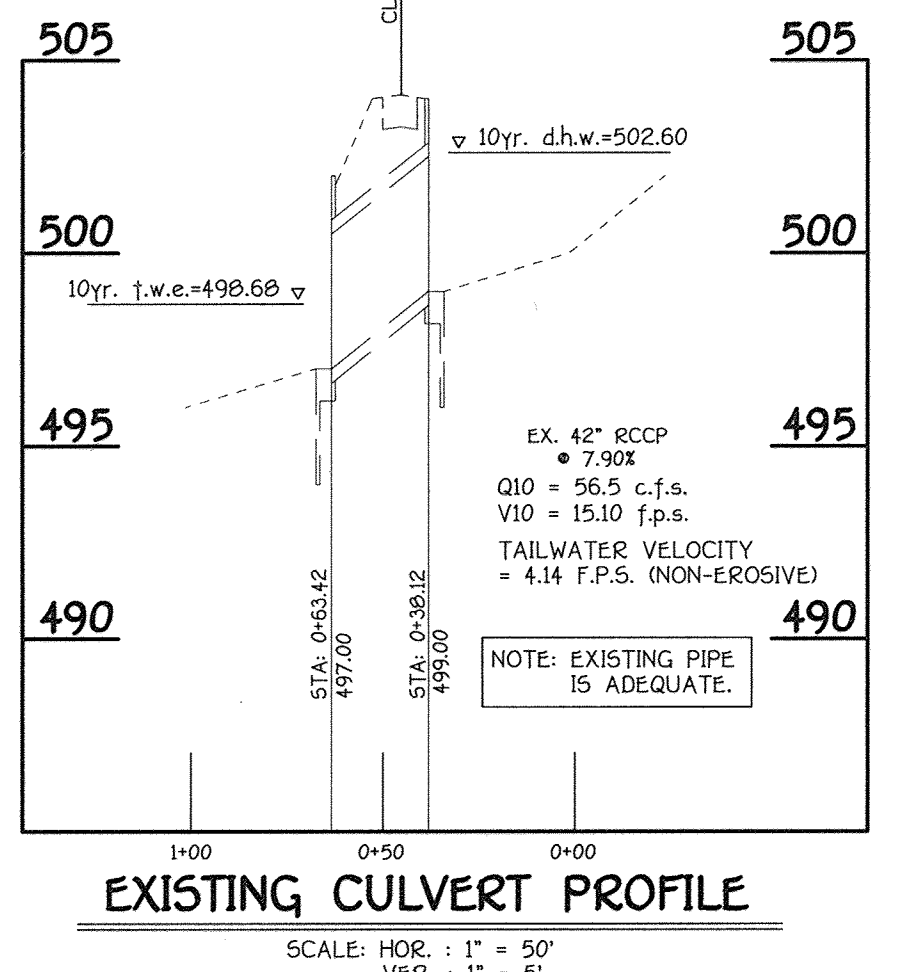
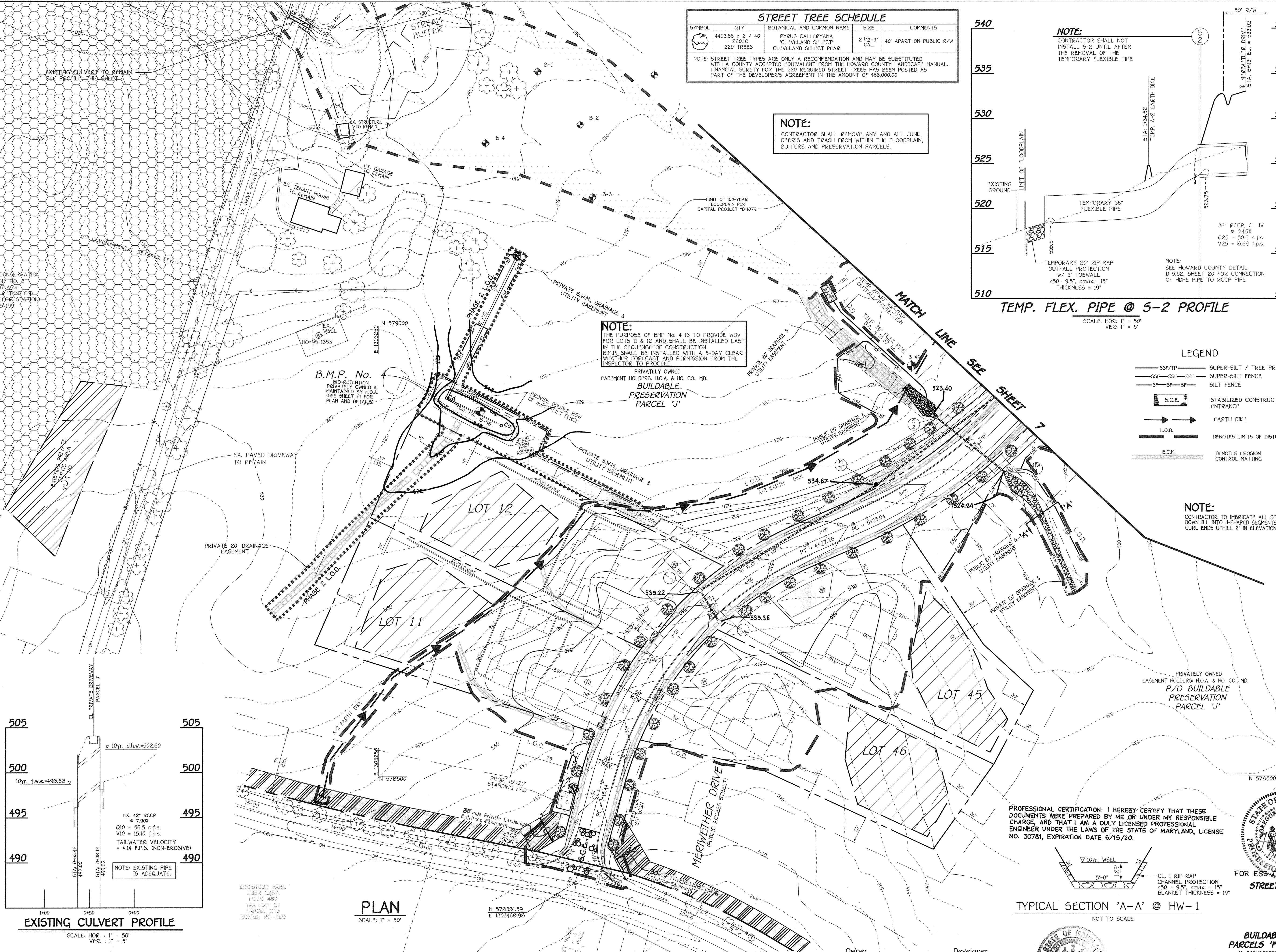
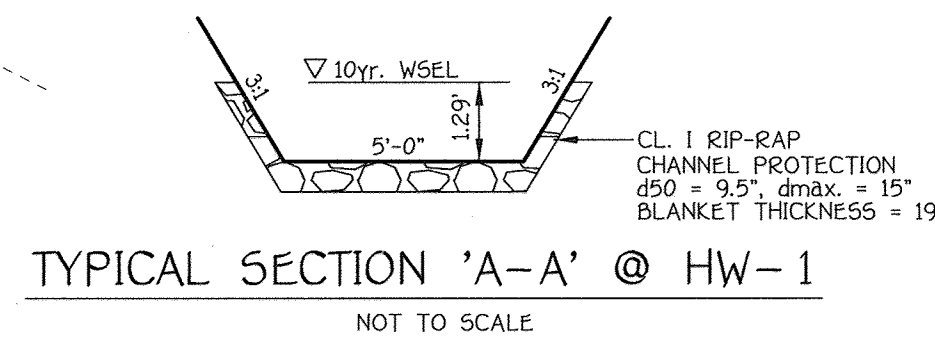
PROFESSIONAL CERTIFICATION: I HERBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.



FOR ESEMINANT PARTNERS, INC.
STREET TREE, GRADING & SEDIMENT CONTROL PLAN
MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No: 21 PARCEL No: 29 ZONED: RC-36D
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 6 OF 30

ASBUILT

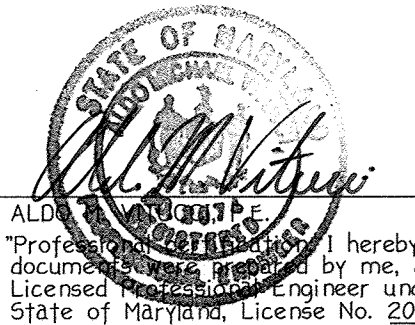


EDGEWOOD FARM
LIBER 2297,
FOLIO 469
TAX MAP 21
PARCEL 213
ZONED: RC-36D

NO.	DESCRIPTION	DATE
1	REVISED LANDSCAPE AND ENTRANCE EASEMENT	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11

Owner
Meriwether Farm II, LLC
c/o Second Goodier, LLC
10715 Charter Drive
Suite 350
Columbia, Maryland 21044
Ph: (410) 997-7501
Attn: Mr. Robert C. Goodier, Jr.

Developer
Toll Brothers, Inc.
Maryland Division
Columbia Gateway Drive
Suite 230
Columbia, Maryland 21046
Ph: (410) 997-7501
Attn: Mr. Jeff Driscoll



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
ELKLOTT CITY, MARYLAND 21042
(410) 461 - 2855



NO.	REVISIONS	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11

NOTE:
CONTRACTOR TO IMBRICATE ALL SF/SSF RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 2' AND CURL ENDS UPHELD 2" IN ELEVATION

TEMPORARY SEDIMENT BASIN No. 1/POND No. 2 @ B.M.P. No. 5
MICRO-POOL EXTENDED DETENTION POND FOR WQV & CRV HAZARD CLASS 'A' (OWNED BY H.O.A. AND JOINTLY MAINTAINED BY H.O.A. & H.C.CO.)

TEMPORARY SEDIMENT BASIN No. 1/POND No. 2 @ B.M.P. No. 5
INITIAL D.A. = 5.88 AC.
FINAL D.A. = 16.40 AC.
STORAGE REQUIRED
WET = 1800 x 16.40 = 29,520 CU.FT.
DRY = 1800 x 16.40 = 29,520 CU.FT.
STORAGE PROVIDED
WET = 29,520 CU.FT. @ ELEV. 519.30
DRY = 59,040 CU.FT. @ ELEV. 521.10
BOTTOM ELEV. = 516.00
STORAGE DEPTH = 3.30' WET, 5.10' DRY
TOP OF EMBANKMENT = 526.85
CLEAN OUT ELEV. = 517.85
WEIR CREST ELEV. = 522.00
FOR 1 YR. TEMP. STORAGE REQ'D = 0.63 AC.FT. CU.FT. STORAGE (DRY) PROVIDED @ 521.10 = 59,242 CU.FT.
Q1 exist. = 0.34 c.f.s.
Q1 prop. = 0.20 c.f.s. @ 521.72

B.M.P. No. 5
MICRO-POOL EXTENDED DETENTION POND FOR WQV & CRV HAZARD CLASS 'A' (OWNED BY H.O.A. AND JOINTLY MAINTAINED BY H.O.A. & H.C.CO.)
FROM POOL = 519.86
100 YR. WSEL = 523.87
10 YR. WSEL = 522.21
CRV EL. = 520.59
WQV EL. = 517.82

FINAL GRADING PLAN FOR B.M.P. No. 5
SCALE: 1" = 50'

MATCH LINE SEE SHEET 8

MATCH LINE SEE SHEET 6

By the Developer:
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Shall Provide On-Site Inspections By The Howard Soil Conservation District.
Robert Goodier 9/22/09
Signature: Robert Goodier Date: 9/22/09

By the Engineer:
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Advised The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.
Jeffery D. Oriskany 9-22-09
Signature: Jeffery D. Oriskany Date: 9-22-09

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
Jeffery D. Oriskany 10/5/09
Signature: Jeffery D. Oriskany Date: 10/5/09

Approved: Department Of Public Works
William Z. Mudd 10-23-09
Signature: William Z. Mudd Date: 10-23-09
Chief, Bureau Of Highways

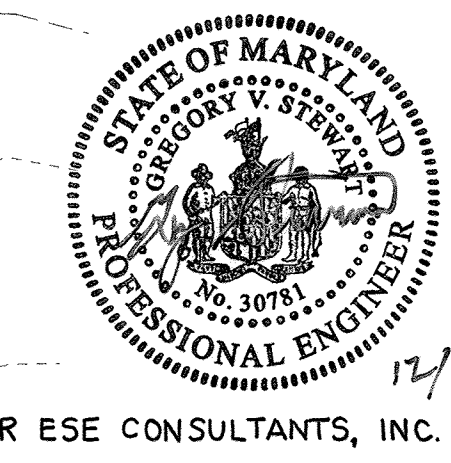
Approved: Department Of Planning And Zoning
Walter S. Dwyer 10-30-09
Signature: Walter S. Dwyer Date: 10-30-09
Chief, Division Of Land Development

AS-BUILT CERTIFICATION
I Herewith Certify That The Facility Shown On This Plan Was Constructed As Shown On The "As-Built" Plans And Meets The Approved Plans And Specifications.
Signature: _____ P.E. No. _____
Date: _____
Certify Means To State Or Declare A Professional Opinion Based Upon On-site Inspections And Material Tests Which Are Conducted During Construction. The On-site Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Release Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.

LEGEND

— 5SF — 5SF — 5SF —	SUPER-SILT FENCE
— SF — SF — SF —	SILT FENCE
— S.C.E. —	STABILIZED CONSTRUCTION ENTRANCE
— EARTH DIKE —	EARTH DIKE
— L.O.D. —	DENOTES LIMITS OF DISTURBANCE
— E.C.M. —	DENOTES EROSION CONTROL MATTING
— R.P.S. —	DENOTES REMOVABLE PUMPING STATION
— F.B. —	DENOTES FILTER BAG

NOTE:
CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS.
12/1/10



FOR ESE CONSULTANTS, INC.

BAFFLE DESIGN

BAFFLE No. 1 D = 100' A = 10,275.85 sq.ft. We = A/D = 102.76' L1 = 93', L2 = 113' TOTAL LENGTH = 206' L2/We = 206/102.76 = 2.004 2.004 > 2.0, OK	BAFFLE No. 2 D = 95' A = 10,275.85 sq.ft. We = A/D = 108.17' L1 = 111', L2 = 56', L3 = 53' TOTAL LENGTH = 220' L2/We = 220/108.17 = 2.03 2.004 > 2.0, OK
--	--

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

STREET TREE, GRADING & SEDIMENT CONTROL PLAN

MERIWETHER FARM SECTION TWO PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-99)

PLAN
SCALE: 1" = 50'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21842
4100 661 - 2955

Owner
Meriwether Farm II, LLC
c/o Second Goodier, LLC
10715 Charter Drive
Suite 350
Columbia, Maryland 21044
Ph: (410) 997-7501
Attn: Mr. Robert C. Goodier, Jr.

Developer
Toll Brothers, Inc.
Maryland Division
7184 Columbia Gateway Drive
Suite 230
Columbia, Maryland 21046
Ph: (410) 997-7501
Attn: Mr. Jeff Oriskany

Robert Goodier 9/22/09
Signature: Robert Goodier Date: 9/22/09
Professional Certification: I hereby certify that these documents were prepared by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.

TAX MAP No.: 21 PARCEL No.: 29 ZONED: RC-80
COUNTY: HARFORD GSD Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 7 OF 30

ASBUILT

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.



FOR ESE CONSULTANTS, INC.

NOTE:
CONTRACTOR TO IMBUCCATE ALL SF/SF RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 2' AND CURL ENDS UPHILL 2' IN ELEVATION



PLAN
SCALE: 1" = 50'

By The Developer:
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Shall Provide Periodic Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *Robert Goodier* Date: **9/22/19**
Printed Name Of Developer: **Robert Goodier**

By The Engineer:
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature Of Engineer: *Robert Goodier* Date: **9/22/19**
Printed Name Of Engineer: **Robert Goodier**

These Plans Represent Final Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howard Soil Conservation District Date: **10/15/09**
Approved Department Of Public Works Date: **10-23-09**
Chief, Bureau Of Highways
Approved Department Of Planning And Zoning Date: **10-30-09**
Chief, Division Of Land Development
Approved Date: **10/28/09**
Chief, Development Engineering Division

AS-BUILT CERTIFICATION
I Herewith Certify That The Facility Shown On This Plan Was Constructed As Shown On The "As-Built" Plans And Meets The Approved Plans And Specifications.

Signature: _____ P.E. No.: _____ Date: _____

Certify Means To State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which Are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.

- LEGEND**
- SF—SF—SF— SUPER-SILT FENCE
 - SF—SF—SF— SILT FENCE
 - [S.C.E.] STABILIZED CONSTRUCTION ENTRANCE
 - EARTH DIKE
 - L.O.D. DENOTES LIMITS OF DISTURBANCE
 - E.C.M. DENOTES EROSION CONTROL MATTING

NOTE:
CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS.

NO.	REVISIONS	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll

Professional Engineer Seal for Robert C. Goodier, License No. 30781, State of Maryland.

Signature: *Robert Goodier* Date: **9/22/19**
Printed Name: **Robert Goodier**

I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.

STREET TREE, GRADING & SEDIMENT CONTROL PLAN

MERIWETHER FARM SECTION TWO PHASE TWO

BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'

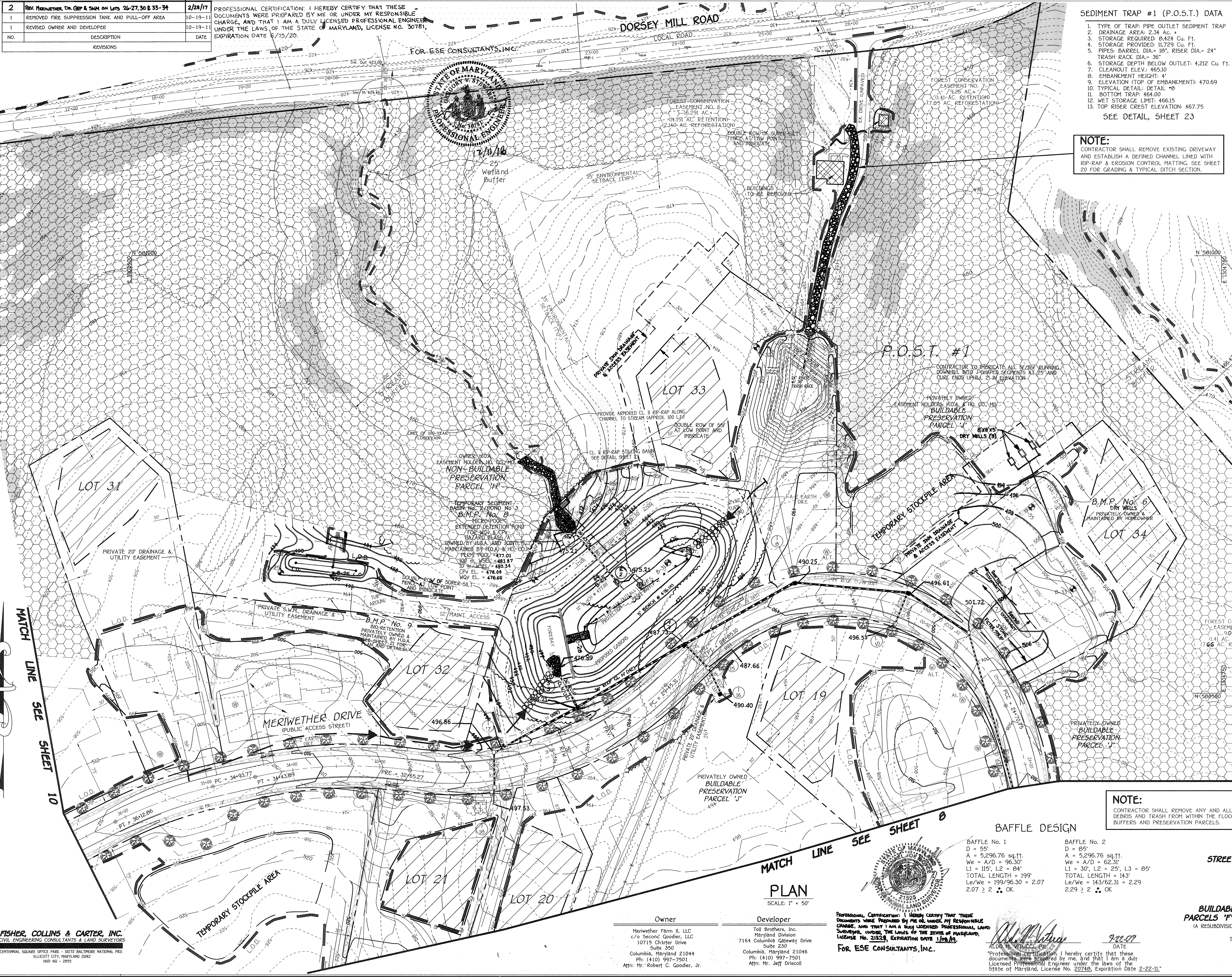
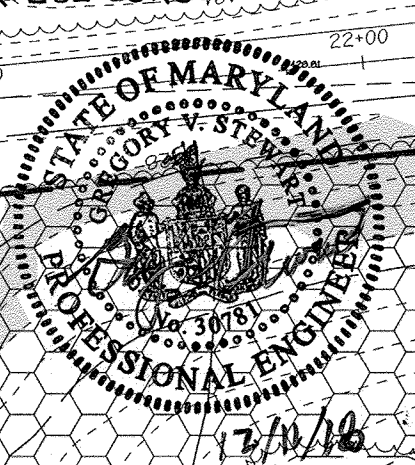
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No: 21 PARCEL No: 29 GRID Nos: 15, 16, 21 & 22 ZONED: RC-DEO
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 8 OF 30

ASBUILT

2	REV. MERIWETHER DR. DEP. & SIGN ON LOTS 21-27, 30 & 33-34	2/28/17
1	REMOVED FIRE SUPPRESSION TANK AND PULL-OFF AREA	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11
NO.	DESCRIPTION	DATE
	REVISIONS	

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.



SEDIMENT TRAP #1 (P.O.S.T.) DATA

- TYPE OF TRAP: PIPE OUTLET SEDIMENT TRAP
- DRAINAGE AREA: 2.34 AC. ±
- STORAGE REQUIRED: 8,424 Cu. Ft.
- STORAGE PROVIDED: 11,729 Cu. Ft.
- PIPES: BARREL DIA. = 18", RISER DIA. = 24"
- TRASH RACK DIA. = 36"
- STORAGE DEPTH BELOW OUTLET: 4,212 Cu. Ft.
- CLEANOUT ELEV.: 455.10
- EMBANKMENT HEIGHT: 4'
- ELEVATION (TOP OF EMBANKMENT): 470.69
- TYPICAL DETAIL: DETAIL "B"
- BOTTOM TRAP: 464.00
- WET STORAGE LIMIT: 466.15
- TOP RISER CREST ELEVATION: 467.75

SEE DETAIL, SHEET 23

NOTE:
 CONTRACTOR SHALL REMOVE EXISTING DRIVEWAY AND ESTABLISH A DEFINED CHANNEL LINED WITH RIP-RAP & EROSION CONTROL MATTING. SEE SHEET 20 FOR GRADING & TYPICAL DITCH SECTION.

By The Developer:
 I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Allow For On-Site Inspections by the Howard Soil Conservation District.

Signature: *Robert C. Goodier* Date: 9/22/14
 Printed Name of Developer: Robert C. Goodier

By The Engineer:
 I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction Within 30 Days Of Completion.

Signature: *Robert C. Goodier* Date: 9/22/09
 Printed Name of Engineer: Robert C. Goodier

These Plans Represent Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howard Soil Conservation District: *[Signature]* Date: 10/15/09
 Approved Department Of Public Works: *[Signature]* Date: 10-23-09
 Chief, Bureau Of Highways

Approved Department Of Planning And Zoning: *[Signature]* Date: 10-20-09
 Chief, Division Of Land Development
[Signature] Date: 10/28/09
 Chief, Development Engineering Division

AS-BUILT CERTIFICATION
 I Herby Certify That The Facility Shown On This Plan Was Constructed As Shown On The "As-Built" Plans And Meets The Approved Plans And Specifications.

Signature: _____ P.E. No. _____
 Date: _____

Certify Means To State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which Are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Release Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.

TEMPORARY SEDIMENT BASIN No. 2/POND No. 3
 @ B.M.P. No. 8

INITIAL D.A. = 2077 AC.
 FINAL D.A. = 2298 AC.
 STORAGE REQUIRED
 WET = 1800 x 22.98 = 41,364 Cu.Ft.
 DRY = 1800 x 22.98 = 41,364 Cu.Ft.
 STORAGE PROVIDED
 WET = 41,364 Cu.Ft. • ELEV. 478.40
 DRY = 82,764 Cu.Ft. • ELEV. 480.40
 BOTTOM ELEV. = 473.00
 STORAGE DEPTH = 5.40' WET, 7.40' DRY
 TOP OF EMBANKMENT = 484.30
 CLEAN OUT ELEV. = 477.32
 WEIR CREST ELEV. = 481.00
 FOR 1 YR. TEMP. STORAGE REQ'D = 0.84 ACFT.
 CUFT. STORAGE (DRY) PROVIDED = 480.40 • 82,764 CUFT.
 Q1 crest = 140 c.f.s.
 Q1 prop. = 1.0 c.f.s.

LEGEND

- SSF/TP SUPER-SILT/TREE PROTECTION FENCE
- SSF SUPER-SILT FENCE
- SF-SF SILT FENCE
- S.C.E. STABILIZED CONSTRUCTION ENTRANCE
- EARTH DIKE
- L.O.D. DENOTES LIMIT OF DISTURBANCE
- E.C.M. DENOTES EROSION CONTROL MATTING
- DENOTES SLOPES 25% OR GREATER
- DENOTES SLOPES 15% TO 24.9%

NOTE:
 CONTRACTOR TO IMBRICATE ALL 56"/TP RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURL ENDS UPHILL 2" IN ELEVATION

STREET TREE, GRADING & SEDIMENT CONTROL PLAN
MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL "E", MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No. 21 ZONED: RC-360
 PARCEL No. 29 GRID Nos. 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 9 OF 30

ASBUILT

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FLEE
 BELLEFONTAINE CITY, MARYLAND 21042
 (410) 461-2959

Owner
 Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer
 Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Driscoll

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21523, EXPIRATION DATE 1/26/18.

Signature: *Robert C. Goodier* Date: 9/22/09
 Printed Name of Engineer: Robert C. Goodier

By The Developer:
 I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Allow For On-Site Inspections by the Howard Soil Conservation District.

Signature: *Robert C. Goodier* Date: 9/22/09
 Printed Name of Developer: Robert C. Goodier

E:\040405\05\05\PHASE TWO SECTION TWO FINALS\SHEET 6-10-20 GRADING PLANS.dwg, 9/27/2009 3:39:24 PM, James

BAFFLE DESIGN

BAFFLE No. 1
 D = 64'
 A = 3,615.61 sq.ft.
 We = A/D = 56.49'
 L1 = 99', L2 = 67'
 TOTAL LENGTH = 152'
 Le/We = 152/56.49 = 2.69
 2.69 ≥ 2.0 OK

TEMPORARY SEDIMENT BASIN No. 3/POND No. 4

@ B.M.P. No. 11
 INITIAL D.A. = 8.97 AC.
 FINAL D.A. = 11.09 AC.
 STORAGE REQUIRED:
 WET = 1800 x 11.09 = 19,962 CU.FT.
 DRY = 1800 x 11.09 = 19,962 CU.FT.
 STORAGE PROVIDED:
 WET = 19,962 CU.FT. @ ELEV. 464.42
 DRY = 19,962 CU.FT. @ ELEV. 466.08
 BOTTOM ELEV. = 460.00
 STORAGE DEPTH = 4.42' WET, 6.08' DRY
 TOP OF EMBANKMENT = 470.70
 CLEAN OUT ELEV. = 463.40
 WEIR CREST ELEV. = 467.50
 FOR 1 YR. TEMP. STORAGE REQ'D. = 0.605 AC.FT.
 CU.FT. STORAGE (DRY) PROVIDED = 466.08 = 40,075 CU.FT.
 Q1 exist. = 0.39 c.f.s.
 Q1 prop. = 0.20 c.f.s. @ 467.25

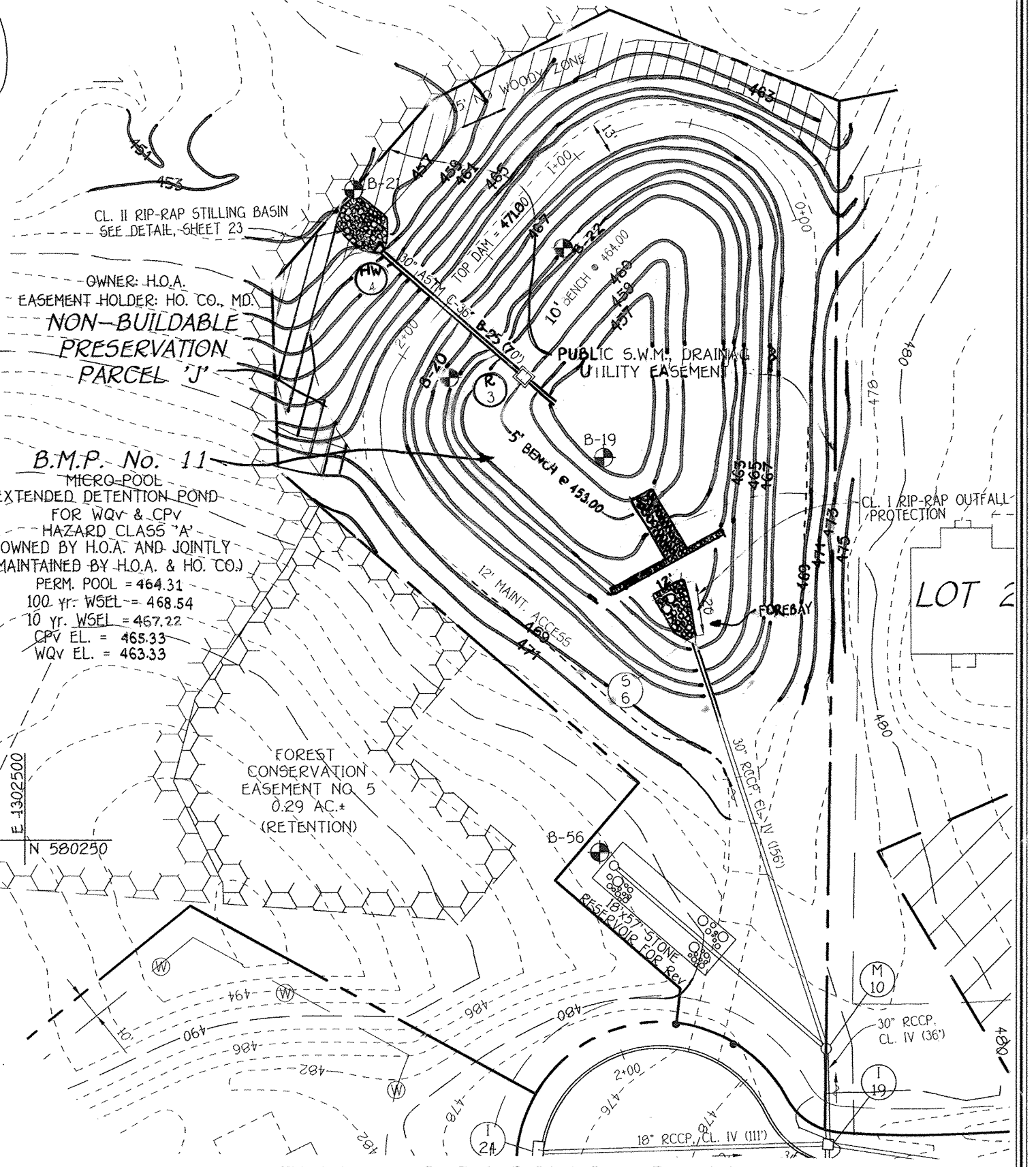
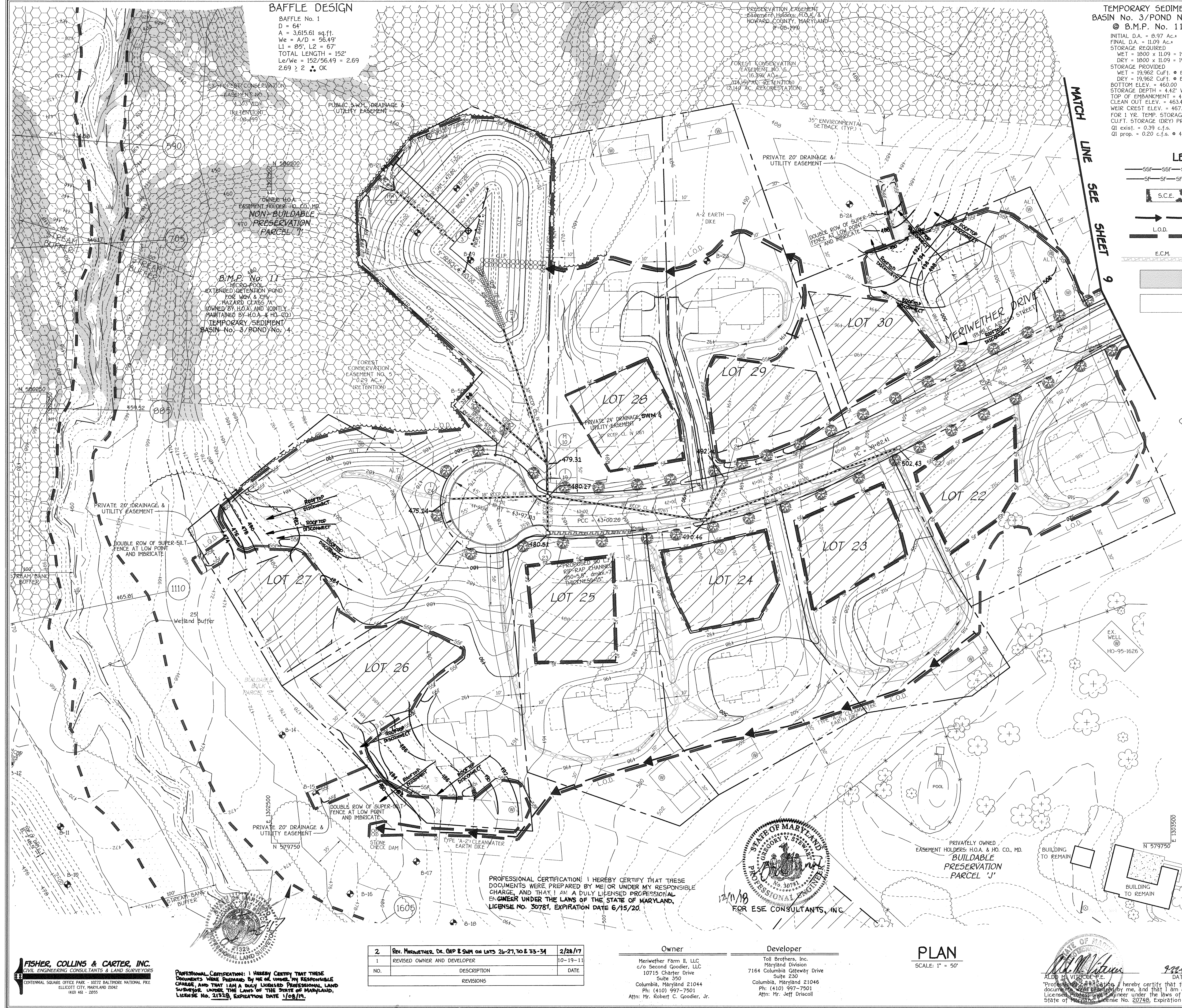
By The Developer:
 I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I/We Will Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I/We Will Also Provide On-Site Inspections By The Howard Soil Conservation District.
 Signature: *Robert Goodier* Date: 9/22/09
 Printed Name of Developer: Robert Goodier
 By The Engineer:
 I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.
 Signature: *Alan M. Vitore* Date: 9/22/09
 Printed Name of Engineer: Alan M. Vitore
 These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
 Approved Department of Public Works: *[Signature]* Date: 10/15/09
 Chief, Bureau of Highways
 Approved Department of Planning And Zoning: *[Signature]* Date: 10-23-09
 Chief, Division Of Land Development
 Approved Department of Planning And Zoning: *[Signature]* Date: 10/20/09
 Chief, Development Engineering Division

- LEGEND**
- SSP-SSP-SSP SUPER-SILT FENCE
 - SF-SF-SF SILT FENCE
 - S.C.E. STABILIZED CONSTRUCTION ENTRANCE
 - L.O.D. EARTH DIKE
 - Denotes LIMITS OF DISTURBANCE
 - E.C.M. DENOTES EROSION CONTROL MATTING
 - Denotes SLOPES 25% OR GREATER
 - Denotes SLOPES 15% TO 24.9%

NOTE:
 CONTRACTOR TO IMPRIMENT ALL SF/SF RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURB ENDS UPHILL 2' IN ELEVATION

NOTE:
 CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS.

AS-BUILT CERTIFICATION
 I Herby Certify That The Facility Shown On This Plan Was Constructed As Shown On The "As-Built" Plans And Meets The Approved Plans And Specifications.
 Signature: _____ P.E. No. _____ Date: _____
 Certify Means To State Or Declare A Professional Opinion Based Upon On-site Inspections And Material Tests Which Are Conducted During Construction. The On-site Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Release Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.



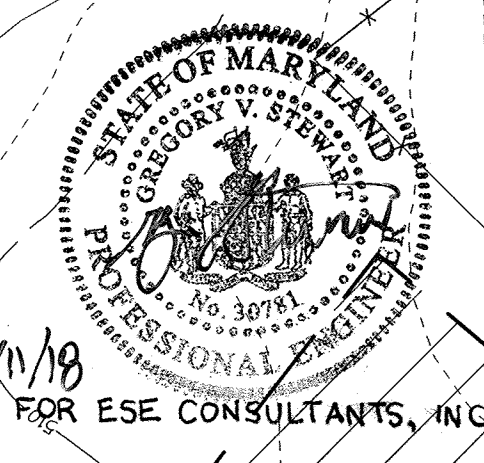
FINAL GRADING PLAN FOR B.M.P. No. 11
 SCALE: 1" = 50'

STREET TREE, GRADING & SEDIMENT CONTROL PLAN MERIWETHER FARM SECTION TWO PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No. 21 ZONED: RC-260
 PARCEL No. 29, GRID Nos.: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 10 OF 30

ASBUILT

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 30781, EXPIRATION DATE 6/15/20.



NO.	DESCRIPTION	DATE
2	REV. MERIWETHER DR. DEP & SWM ON LOTS 26-27, 30 & 33-34	2/28/17
1	REVISED OWNER AND DEVELOPER	10-19-11
REVISIONS		

Owner
 Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer
 Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Griscoll

PLAN
 SCALE: 1" = 50'

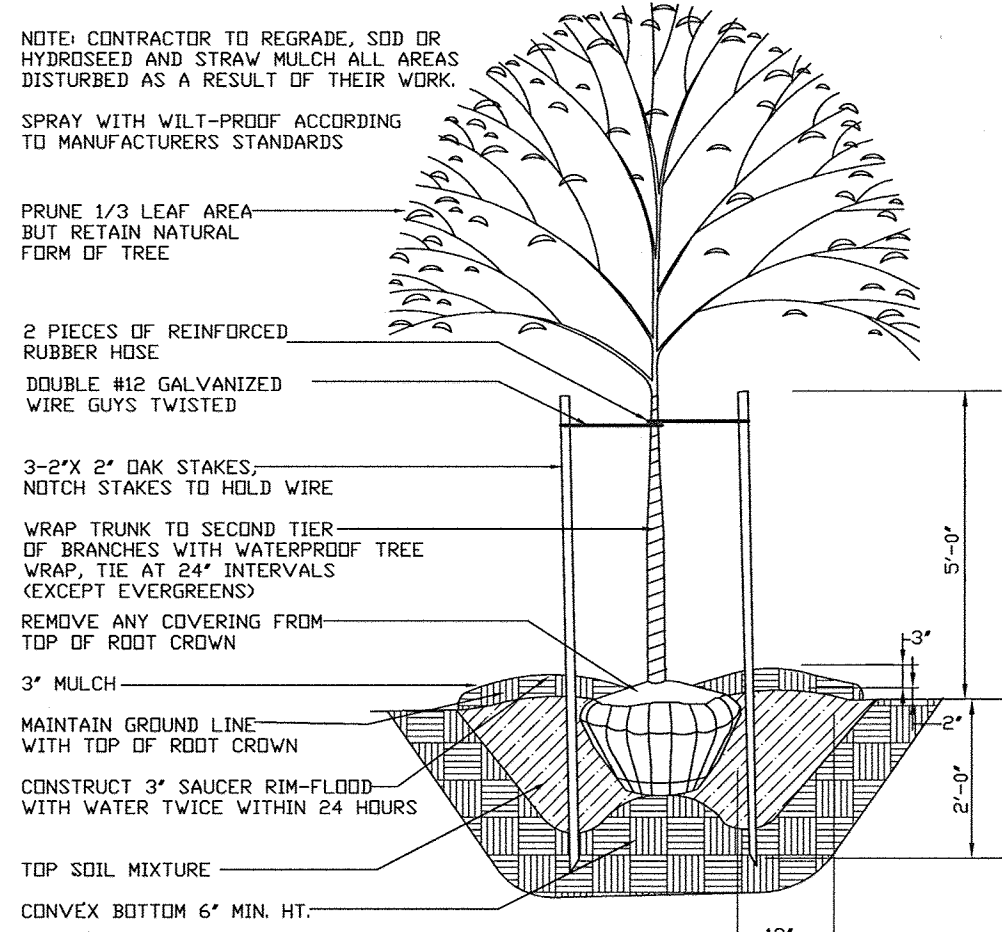
Professional Engineer Seal for Alan M. Vitore, License No. 30781, State of Maryland. The seal includes the text 'STATE OF MARYLAND', 'PROFESSIONAL ENGINEER', 'ALAN M. VITORE', 'LICENSE NO. 30781', and 'FOR ESE CONSULTANTS, INC.'
 Signature: *Alan M. Vitore* Date: 9/22/09
 I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I/We Will Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I/We Will Also Provide On-Site Inspections By The Howard Soil Conservation District.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK, 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 410-461-2955

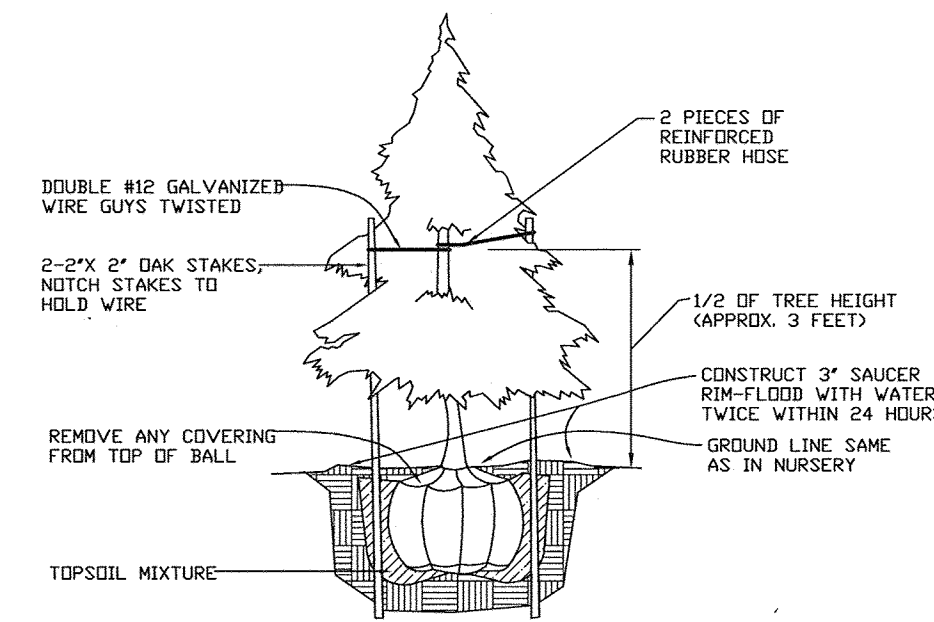
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 21928, EXPIRATION DATE 1/08/14.

SCHEDULE A - PERIMETER LANDSCAPING

PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED & PROVIDED		
						SHADE TREES	EVERGREEN TREES	SHRUBS
P-1	ADJACENT TO ROADWAY	B	327.0'	NO	NO	7	8	-
P-2	ADJACENT TO PERIMETER	A	663.0'	NO	NO	11	-	-
P-3	ADJACENT TO PERIMETER	A	1232.0'	NO	NO	20	-	-
P-4	ADJACENT TO PERIMETER	A	303.0'	NO	NO	5	-	-
P-5	ADJACENT TO PERIMETER	A	1018.0'	YES (215')	NO	13	-	-
P-6	ADJACENT TO PERIMETER	A	2081.0'	YES (210')	NO	31	-	-
P-7	ADJACENT TO PERIMETER	A	844.0'	YES (205')	NO	11	-	-
P-8	ADJACENT TO PERIMETER	A	1226.0'	NO	NO	20	-	-
P-9	ADJACENT TO PERIMETER	A	689.0'	YES (71')	NO	10	-	-
P-10	ADJACENT TO PERIMETER	A	732.0'	NO	NO	12	-	-
P-11	ADJACENT TO PERIMETER	A	1247.0'	NO	NO	21	-	-
P-12	ADJACENT TO PERIMETER	A	1310.0'	NO	NO	22	-	-
P-13	ADJACENT TO PERIMETER	A	814.0'	NO	NO	14	-	-
P-14	ADJACENT TO PERIMETER	A	443.0'	NO	NO	7	-	-
P-15	ADJACENT TO ROADWAY	B	350.0'	NO	NO	7	9	-
TOTAL						211	17	-



TREE PLANTING DETAIL



EVERGREEN PLANTING DETAIL

PLANT LIST			
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE
(Symbol)	126	PLATANUS OCCIDENTALIS "BLOODGOOD" LONDON PLANETREE	2 1/2" - 3" CAL.
(Symbol)	117	QUERCUS ACUTISSIMA SAWTOOTH OAK	2 1/2" - 3" CAL.
(Symbol)	30	ILEX OPACA AMERICAN HOLLY	5' - 6' HT.
(Symbol)	27	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HT.

This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required 243 shade and 57 evergreen trees will be posted as part of the Developer's Agreement in the amount of \$91,450.00.

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 10-22-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 10/28/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



LANDSCAPE DEVELOPER'S CERTIFICATE

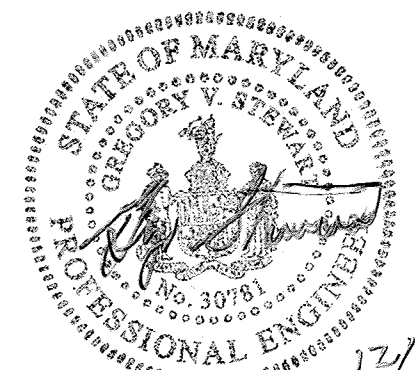
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

[Signature] 9/22/09
 Name Date

PLAN
 SCALE: 1" = 100'

NO.	DESCRIPTION	DATE
1	REVISED LANDSCAPE AND ENTRANCE EASEMENT	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll



FOR ESE CONSULTANTS, INC.
 17/11/18
 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.



ALDO
 9/22/09
 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE 2-22-11.

LANDSCAPE PLAN
MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-1999)
 TAX MAP No.: 21 PARCEL No.: 29 GRID Nos.: 15, 16, 21 & 22
 ZONED: RC-250
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 11 OF 30

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING

LINEAR FEET OF TYPE 'B' PERIMETER	D1: 796'	D2: 680'	D3: 689'
NUMBER OF TREES REQUIRED & PROVIDED:			
SHADE TREES	16	11	5
EVERGREEN TREES	20	14	6
CREDIT FOR EXISTING VEGETATION (NO, YES AND X)	NO	YES (120') F.C.E.	YES (436') F.C.E.
CREDIT FOR OTHER LANDSCAPING (NO, YES AND X)	NO	NO	NO

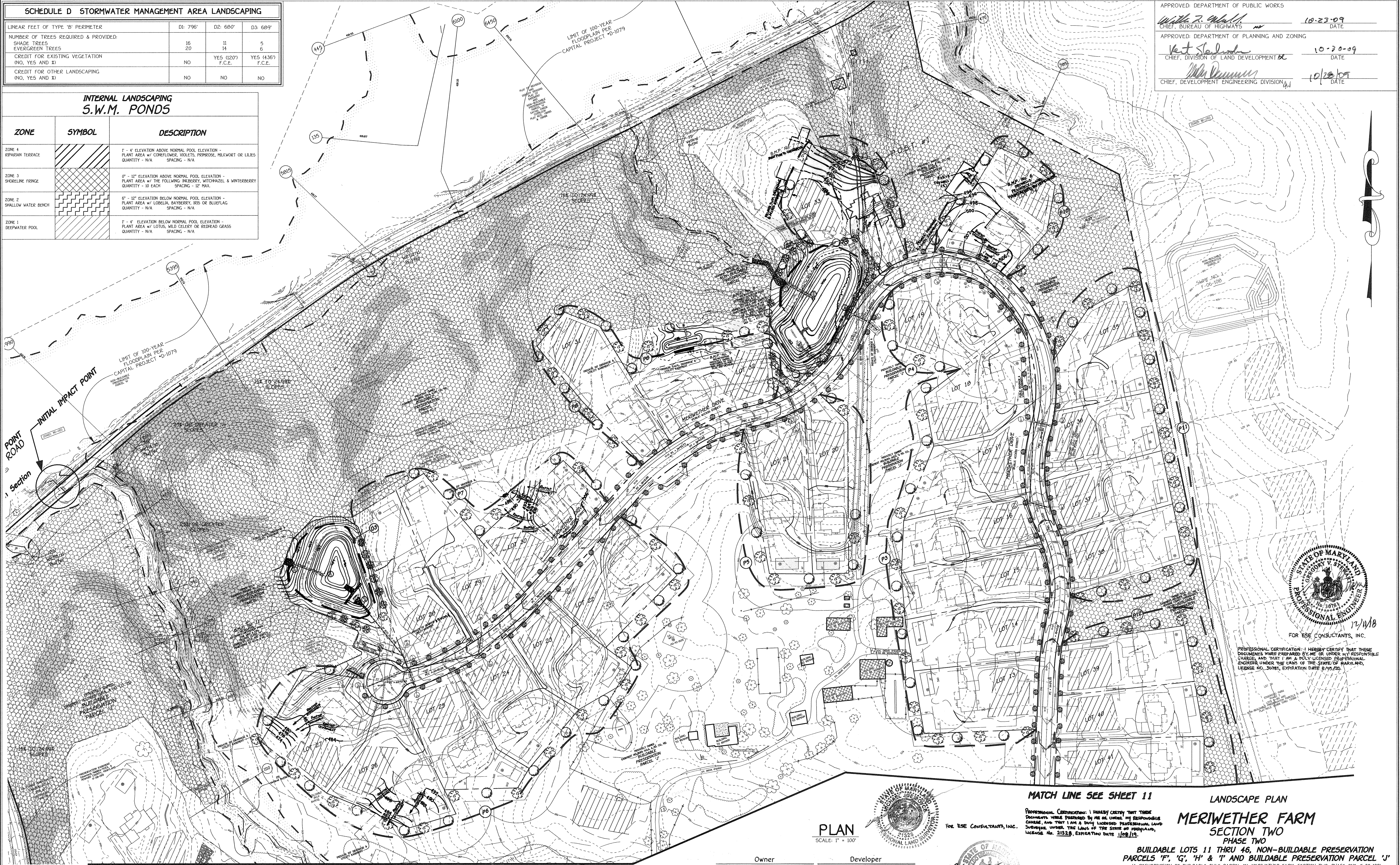
INTERNAL LANDSCAPING S.W.M. PONDS

ZONE	SYMBOL	DESCRIPTION
ZONE 4 RIPARIAN TERRACE		1' - 4' ELEVATION ABOVE NORMAL POOL ELEVATION - PLANT AREA W/ CONEFLOWER, VIOLETS, PIMPANESE, MILKWORT OR LILIES QUANTITY - N/A SPACING - N/A
ZONE 3 SHORELINE FRINGE		0' - 12' ELEVATION ABOVE NORMAL POOL ELEVATION - PLANT AREA W/ FOLLOWS: INDOOR, WITCHHAZEL & WINTERBERRY QUANTITY - 30 EACH SPACING - 12' MAX
ZONE 2 SHALLOW WATER BENCH		6' - 12' ELEVATION BELOW NORMAL POOL ELEVATION - PLANT AREA W/ LOBELIA, BAYBERRY, BIRCH OR BLUEFLAG QUANTITY - N/A SPACING - N/A
ZONE 1 DEEPWATER POOL		1' - 4' ELEVATION BELOW NORMAL POOL ELEVATION - PLANT AREA W/ LOTUS, WILD CELERY OR REEDBARK GRASS QUANTITY - N/A SPACING - N/A

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 10-23-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 10/28/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A FULLY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 9/15/20.

MATCH LINE SEE SHEET 11

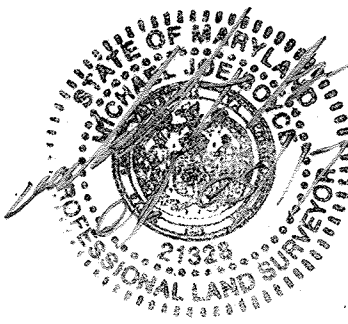
LANDSCAPE PLAN

MERIWETHER FARM SECTION TWO PHASE TWO

BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)
 TAX MAP No: 21 PARCEL No: 29 GRID Nos: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 12 OF 30

PLAN
 SCALE: 1" = 100'



FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A FULLY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21325, EXPIRATION DATE 12/31/14.

[Signature]
 ALDO M. VECCHIARELLI
 DATE: 9-22-09

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE 2-22-11.

MATCH LINE SEE SHEET 11

NO.	DESCRIPTION	DATE	NO.	DESCRIPTION	DATE
1	REMOVED FIRE SUPPRESSION TANK & UIC EASEMENT	10-19-11	1	REMOVED FIRE SUPPRESSION TANK & UIC EASEMENT	10-19-11
2	REV. MERIWETHER DE. DEP. SWM ON LOTS 26-27, 30 & 33-34	2/28/17	1	REVISED OWNER AND DEVELOPER	10-19-11
REVISIONS					

Owner

Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer

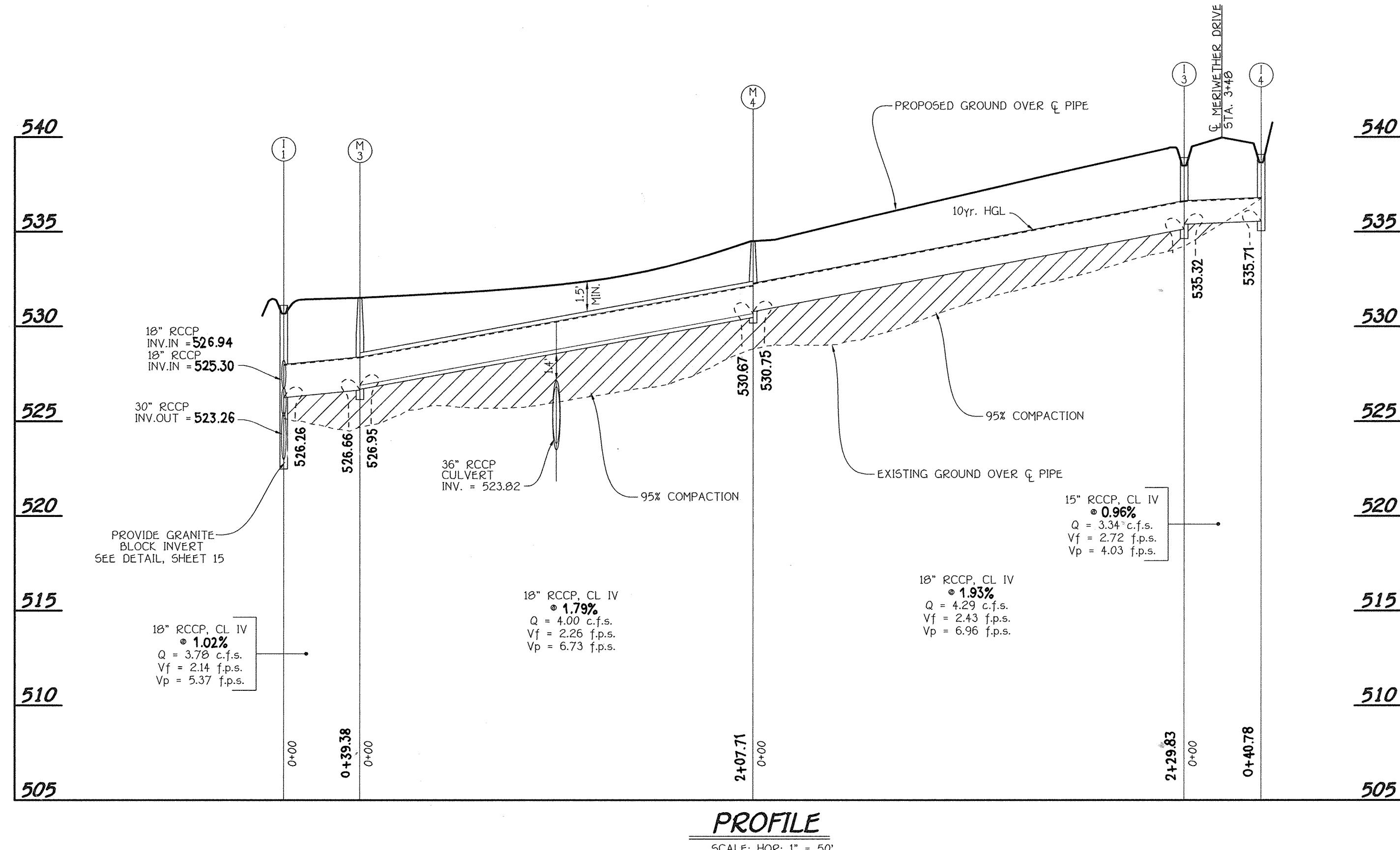
Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Driscoll

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PARK
 ELKROTT CITY, MARYLAND 21042
 (410) 461-2855

ASBUILT

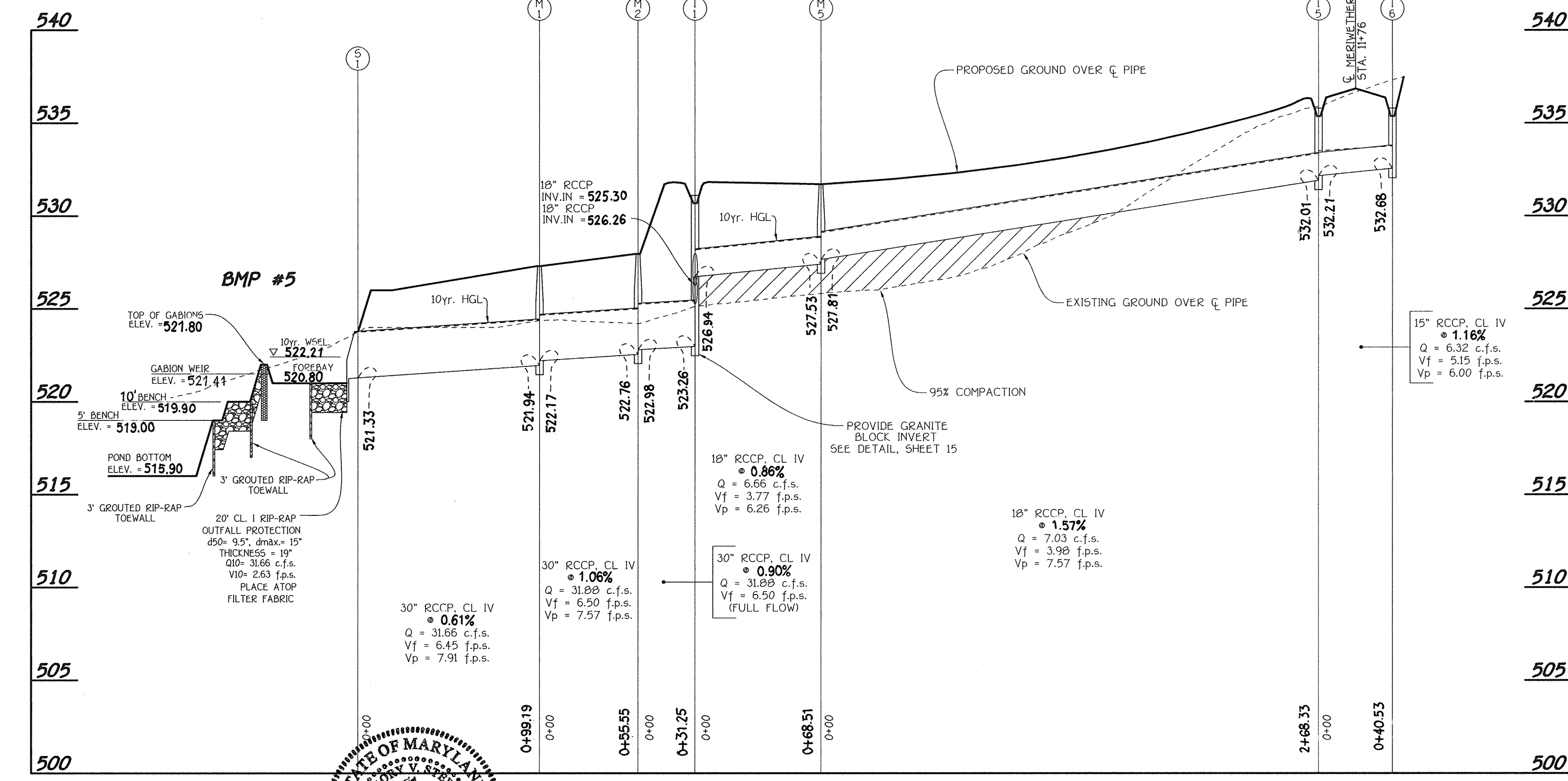
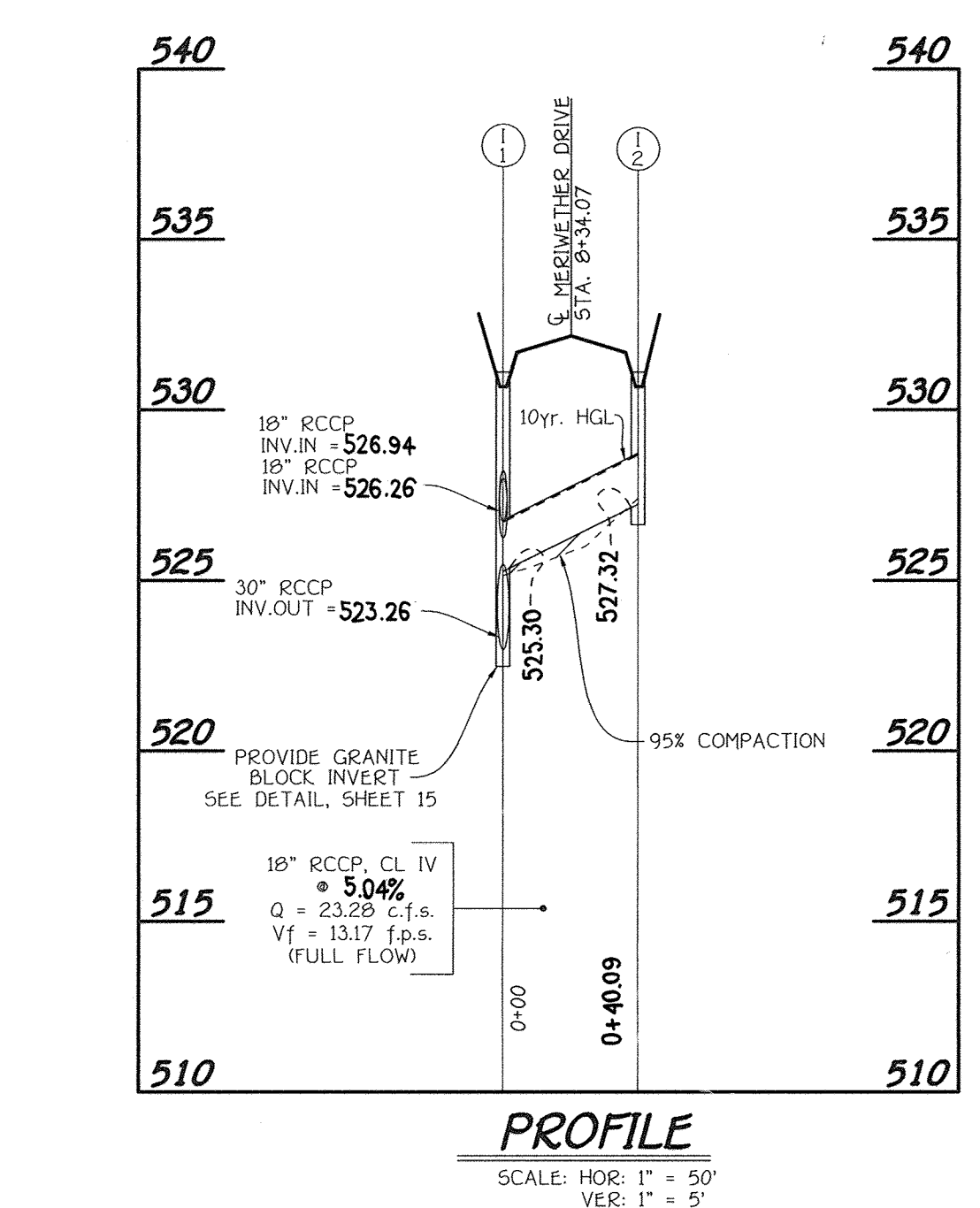
STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	LOCATION	STATION	OFFSET	TYPE	REMARKS
I-1	THROAT = 531.51	526.94, 526.26, 525.30	523.26	MERIWETHER DRIVE	8+34.07	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-2	THROAT = 531.49	---	527.32	MERIWETHER DRIVE	8+34.07	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-3	THROAT = 539.22	535.52	535.18	MERIWETHER DRIVE	3+52	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-4	THROAT = 539.36	---	535.71	MERIWETHER DRIVE	3+45	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-5	THROAT = 536.11	532.21	532.01	MERIWETHER DRIVE	11+76	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-6	THROAT = 535.99	---	532.68	MERIWETHER DRIVE	11+76	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-7	THROAT = 487.73	482.23, 481.55	481.23	MERIWETHER DRIVE	28+97.19	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-8	THROAT = 490.25	485.75	485.54	MERIWETHER DRIVE	27+61	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-9	THROAT = 496.61	491.99, 491.46	490.46	MERIWETHER DRIVE	26+39	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-10	THROAT = 496.53	---	492.53	MERIWETHER DRIVE	26+39	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-11	THROAT = 511.08	506.98, 506.61	506.08	MERIWETHER DRIVE	21+11.19	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-12	THROAT = 511.26	---	507.61	MERIWETHER DRIVE	21+11.19	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-13	THROAT = 516.31	512.81	512.51	MERIWETHER DRIVE	19+19	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-14	THROAT = 517.46	---	513.81	MERIWETHER DRIVE	18+99	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-15	THROAT = 487.66	483.06	481.99	MERIWETHER DRIVE	28+97.19	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-16	THROAT = 490.40	---	485.40	MERIWETHER DRIVE	29+07	52'L	'D' INLET	D - 4.10
I-17	THROAT = 496.86	492.11	491.86	MERIWETHER DRIVE	31+65	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-18	THROAT = 497.53	---	492.73	MERIWETHER DRIVE	31+71	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-19	THROAT = 480.27	475.47, 475.42, 470.57	469.87	MERIWETHER DRIVE	43+40	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-20	THROAT = 490.46	485.96, 485.91	485.76	MERIWETHER DRIVE	41+67	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-21	THROAT = 492.46	---	488.56	MERIWETHER DRIVE	41+33	20'R	'K' INLET	D - 4.12 w/D - 4.13
I-22	THROAT = 502.43	---	498.58	MERIWETHER DRIVE	39+41	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-23	THROAT = 480.51	---	475.87	MERIWETHER DRIVE	43+36	20'L	'K' INLET	D - 4.12 w/D - 4.13
I-24	THROAT = 475.14	---	471.24	MERIWETHER DRIVE	L.P. 1+50.83	---	A-5	D - 4.01
M-1	526.78	522.17	521.94	MERIWETHER DRIVE	8+05	78'L	5' STD. MANHOLE	G - 5.13
M-2	528.04	522.98	522.76	MERIWETHER DRIVE	8+34	50'L	5' STD. MANHOLE	G - 5.13
M-3	531.96	526.95	526.66	MERIWETHER DRIVE	7+94	15'L	STD. MANHOLE	G - 5.12
M-4	534.67	530.75	530.67	MERIWETHER DRIVE	5+76	28'L	STD. MANHOLE	G - 5.12
M-5	532.05	527.81	527.53	MERIWETHER DRIVE	9+06	25'L	STD. MANHOLE	G - 5.12
M-6	488.21	478.43, 477.53	477.38	MERIWETHER DRIVE	30+48	42'R	5' STD. MANHOLE	G - 5.13
M-7	501.72	494.65	494.39	MERIWETHER DRIVE	25+61	15'R	STD. MANHOLE	G - 5.12
M-8	510.18	503.63	503.28	MERIWETHER DRIVE	23+49	15'L	STD. MANHOLE	G - 5.12
M-10	479.31	469.41	469.22, 468.71	MERIWETHER DRIVE	43+45	56'R	5' STD. MANHOLE	G - 5.13
HW-1	528.54	---	524.24 (36')	MERIWETHER DRIVE	7+00.9	43'R	TYPE 'A' HEADWALL	D - 5.11
HW-2	518.43	514.22 (36')	---	N 579201.74 E 1303737.25	---	---	TYPE 'A' HEADWALL	D - 5.11
HW-3	475.25	470.90 (36')	---	N 580683.92 E 1304008.38	---	---	TYPE 'A' HEADWALL	D - 5.11
HW-4	462.33	458.54 (30')	---	N 580474.21 E 1302636.12	---	---	TYPE 'A' HEADWALL	D - 5.11
S-1	524.30	521.33	---	N 579139.66 E 1303919.35	---	---	30" CONC. END SECTION	D - 5.51
S-2	527.10	523.40	---	MERIWETHER DRIVE	6+82.7	50'L	36" CONC. END SECTION	D - 5.51
S-3	479.89	476.89	---	MERIWETHER DRIVE	30+49	74'R	36" CONC. END SECTION	D - 5.51
S-4	467.71	465.21	---	N 580318.78 E 1302758.05	---	---	30" CONC. END SECTION	D - 5.51
R-1	525.44	515.92 (6')	515.65 (36')	N 579226.01 E 1303801.69	---	---	CONCRETE RISER	SEE SHEET 17
R-2	482.94	475.21 (8')	472.92 (36')	N 580627.28 E 1304057.15	---	---	CONCRETE RISER	SEE SHEET 18
R-3	469.48	461.96 (6')	459.93 (30')	N 580426.53 E 130280.41	---	---	CONCRETE RISER	SEE SHEET 19



APPROVED: DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division

10-23-09
 10-30-09
 10-28-09

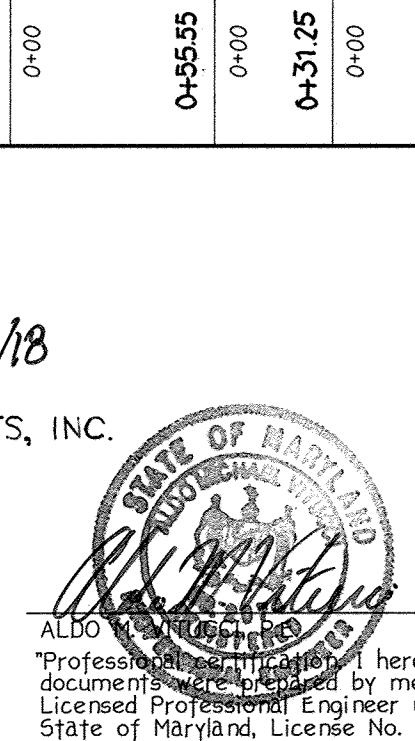


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

FOR "ESE" CONSULTANTS, INC.

Owner: Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer: Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Driscoll



STORM DRAIN PROFILES
MERIWETHER FARM
SECTION TWO
PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
 ZONED: RC-60
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 13 OF 30

DATE: 9-22-09

ALSO REFER TO SHEET 12 OF 30

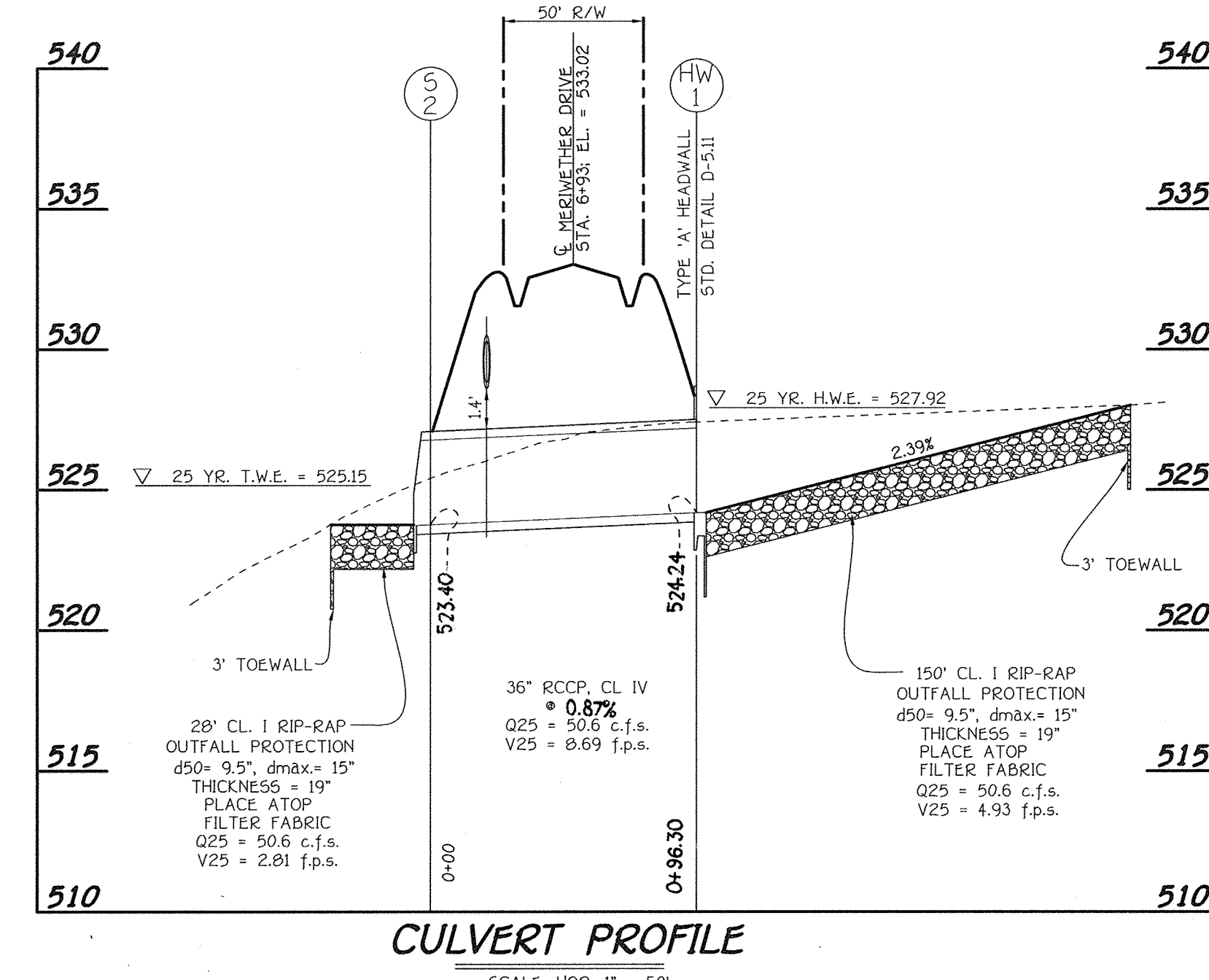
"Professional Engineer" I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.

STORM DRAIN PIPE SCHEDULE

SIZE	CLASS	LENGTH
15"	RCCP, CL. IV	487 L.F.
18"	RCCP, CL. IV	1642 L.F.
24"	RCCP, CL. IV	792 L.F.
30"	RCCP, CL. IV	413 L.F.
36"	RCCP, CL. IV	181 L.F.
6"	(SOLID) PVC, SCH. 40	55 L.F.
6"	(PERFORATED) PVC, SCH. 40	52 L.F.

STORMWATER MANAGEMENT PIPE SCHEDULE

SIZE	CLASS	LENGTH
6"	D.I.P. DRAIN PIPE	20 L.F.
8"	D.I.P. DRAIN PIPE	10 L.F.
30"	ASTM C-361, B-25 RUBBER GASKET PIPE	70 L.F.
36"	ASTM C-361, B-25 RUBBER GASKET PIPE	66 L.F.
36"	ASTM C-361, C-25 RUBBER GASKET PIPE	72 L.F.



NOTE: RCCP, CL. IV PIPE MAY BE SUBSTITUTED WITH HOPE PIPE.

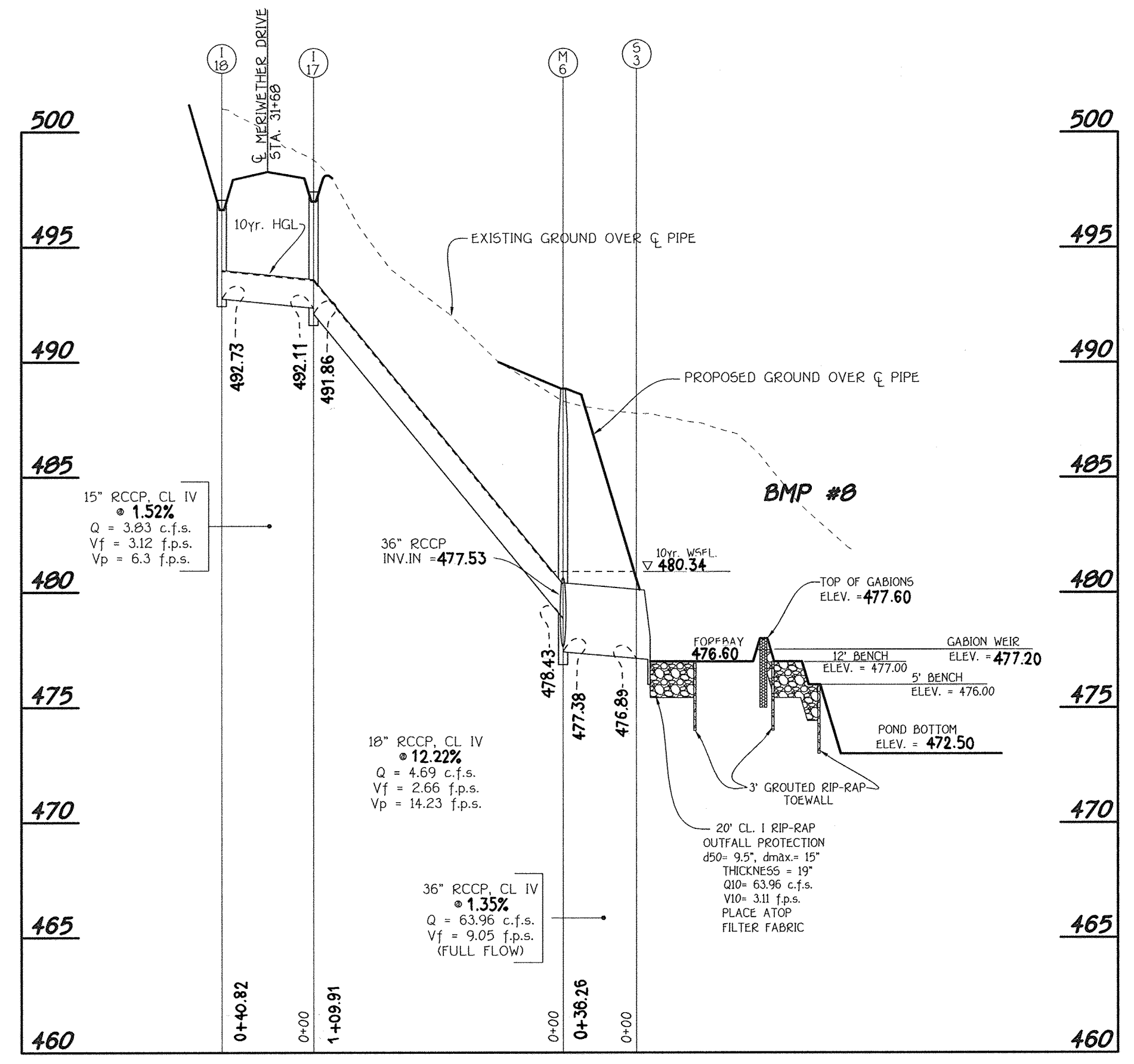
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE, OFFICE PARK - 10712 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2955

NO.	DESCRIPTION	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11
1	ADDED STORMDRAIN PIPE SUBSTITUTION NOTE	10-19-11
	REVISIONS	

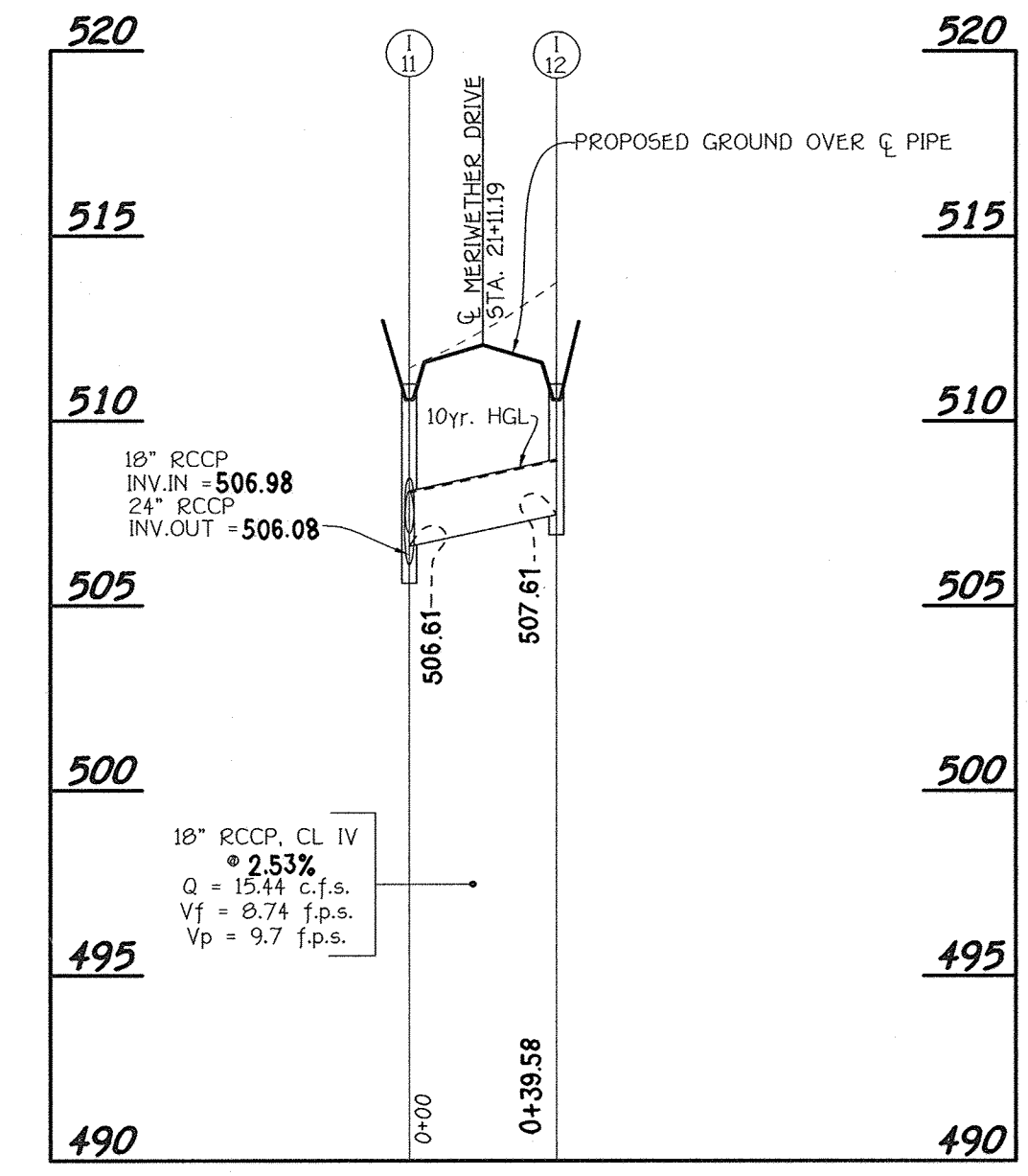
APPROVED: DEPARTMENT OF PUBLIC WORKS
 10-23-09
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 10-20-09
 CHIEF, DIVISION OF LAND DEVELOPMENT

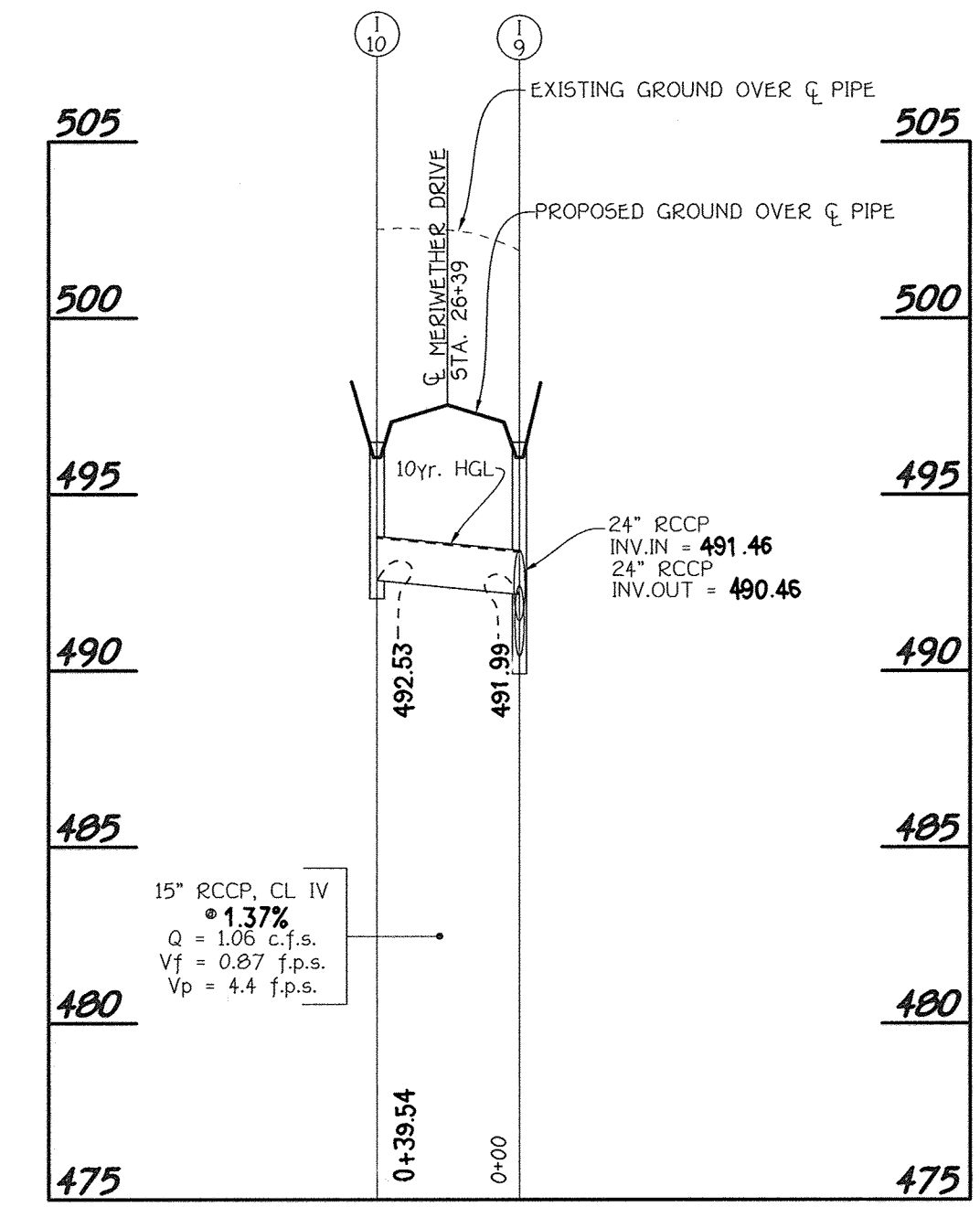
10/22/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



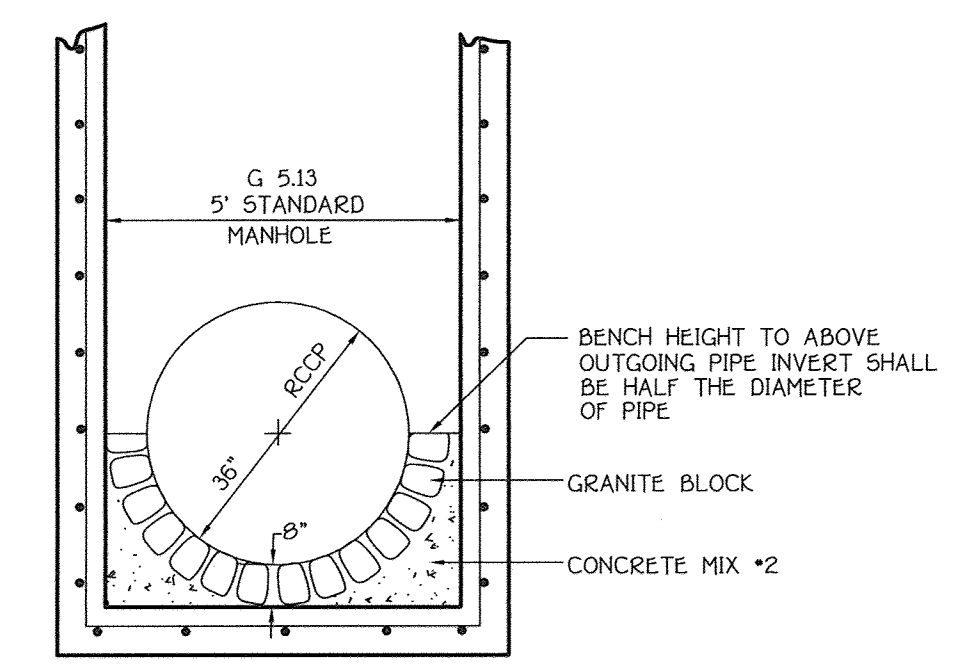
PROFILE
 SCALE: HOR: 1" = 50'
 VER: 1" = 5'



PROFILE
 SCALE: HOR: 1" = 50'
 VER: 1" = 5'



PROFILE
 SCALE: HOR: 1" = 50'
 VER: 1" = 5'

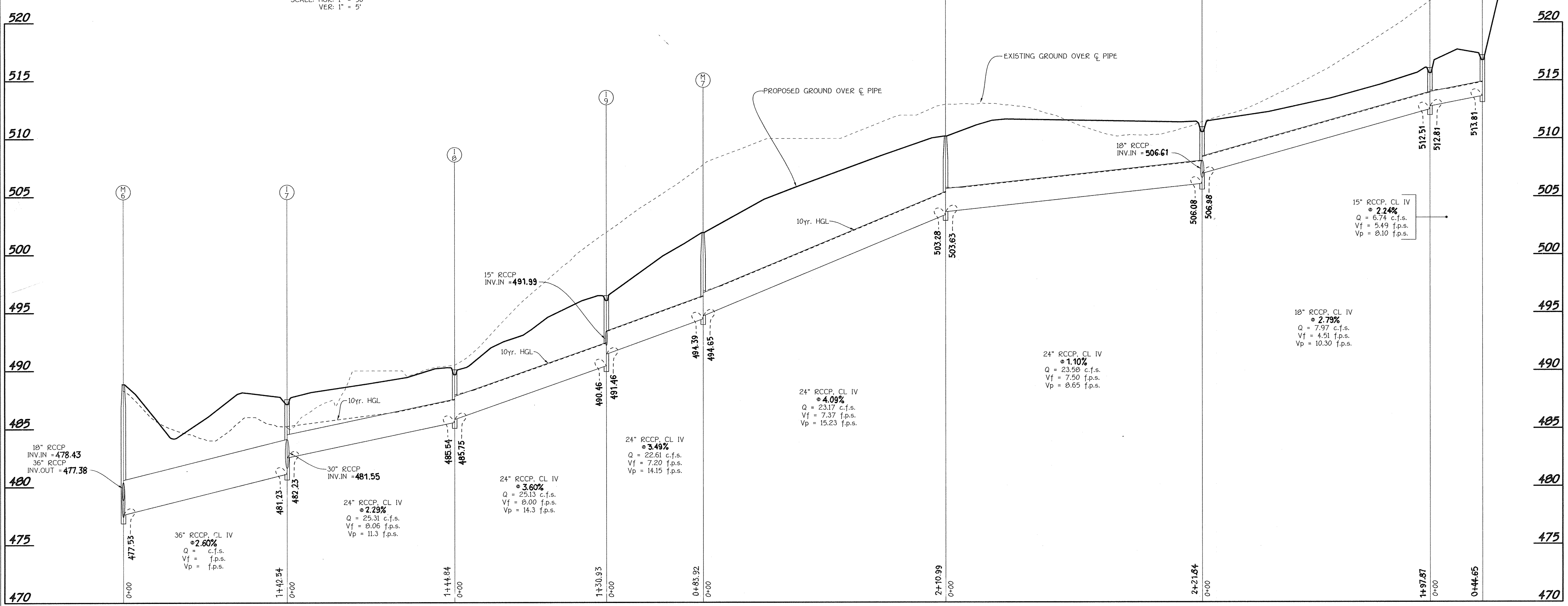


GRANITE BLOCK DETAIL
 NOT TO SCALE

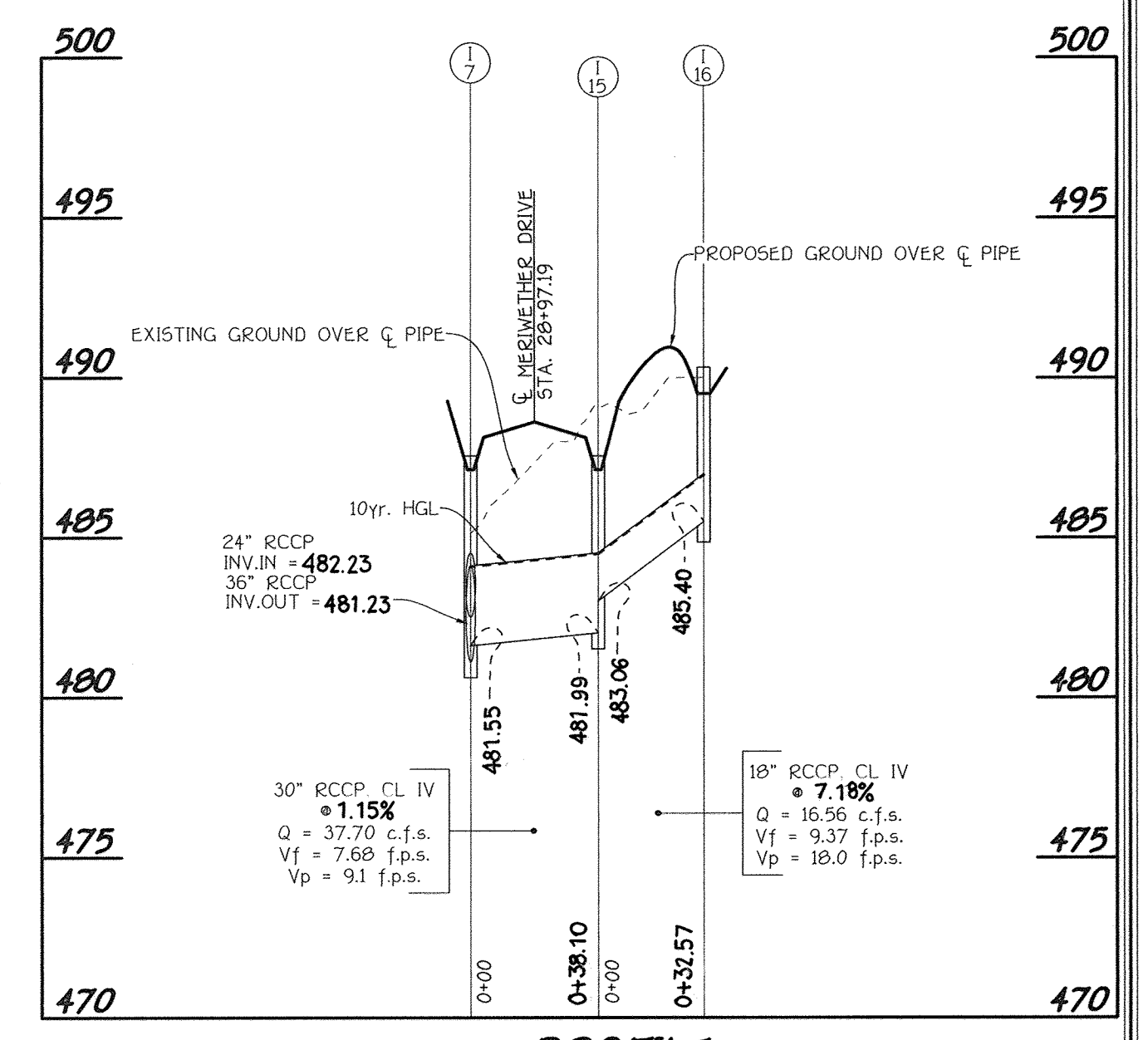


FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.



PROFILE
 SCALE: HOR: 1" = 50'
 VER: 1" = 5'



PROFILE
 SCALE: HOR: 1" = 50'
 VER: 1" = 5'

STORM DRAIN PROFILES
MERIWETHER FARM
SECTION TWO

PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKLOTT CITY, MARYLAND 21042
 410.461.2825

NO.	DESCRIPTION	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11
	REVISIONS	

Owner
 Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer
 Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Driscoll



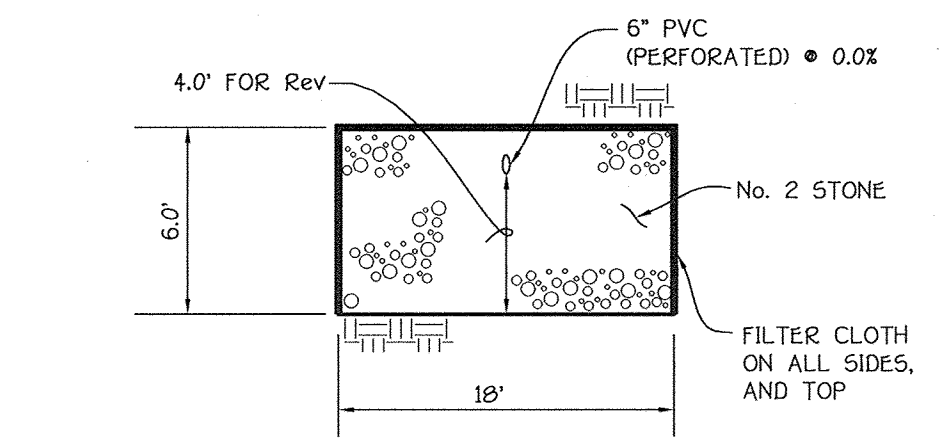
9-22-09
 DATE

"I, the undersigned, hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20740, Expiration Date 2-22-11."

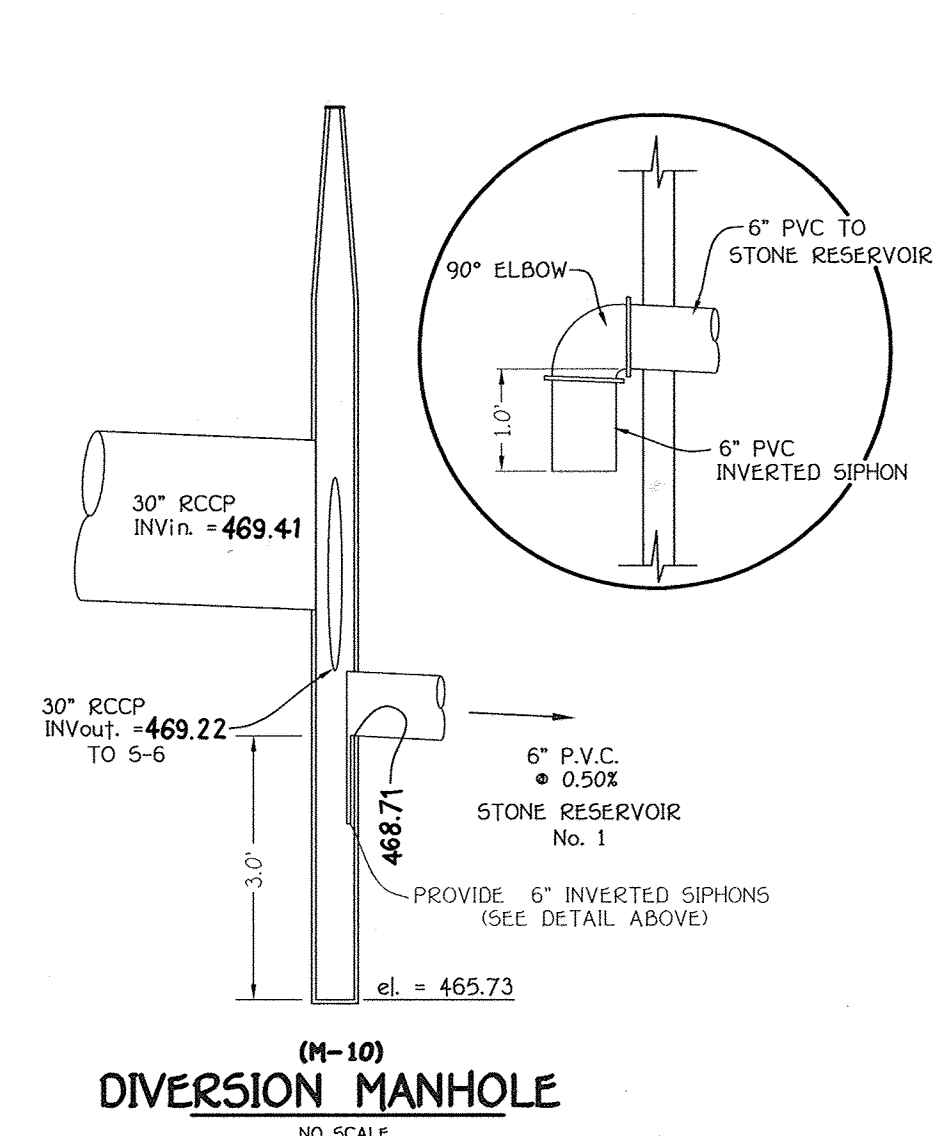
TAX MAP No: 21 PARCEL No: 28 GRID Nos: 15, 16, 21 & 22
 ZONED: RC-200
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 14 OF 30

ASBUILT

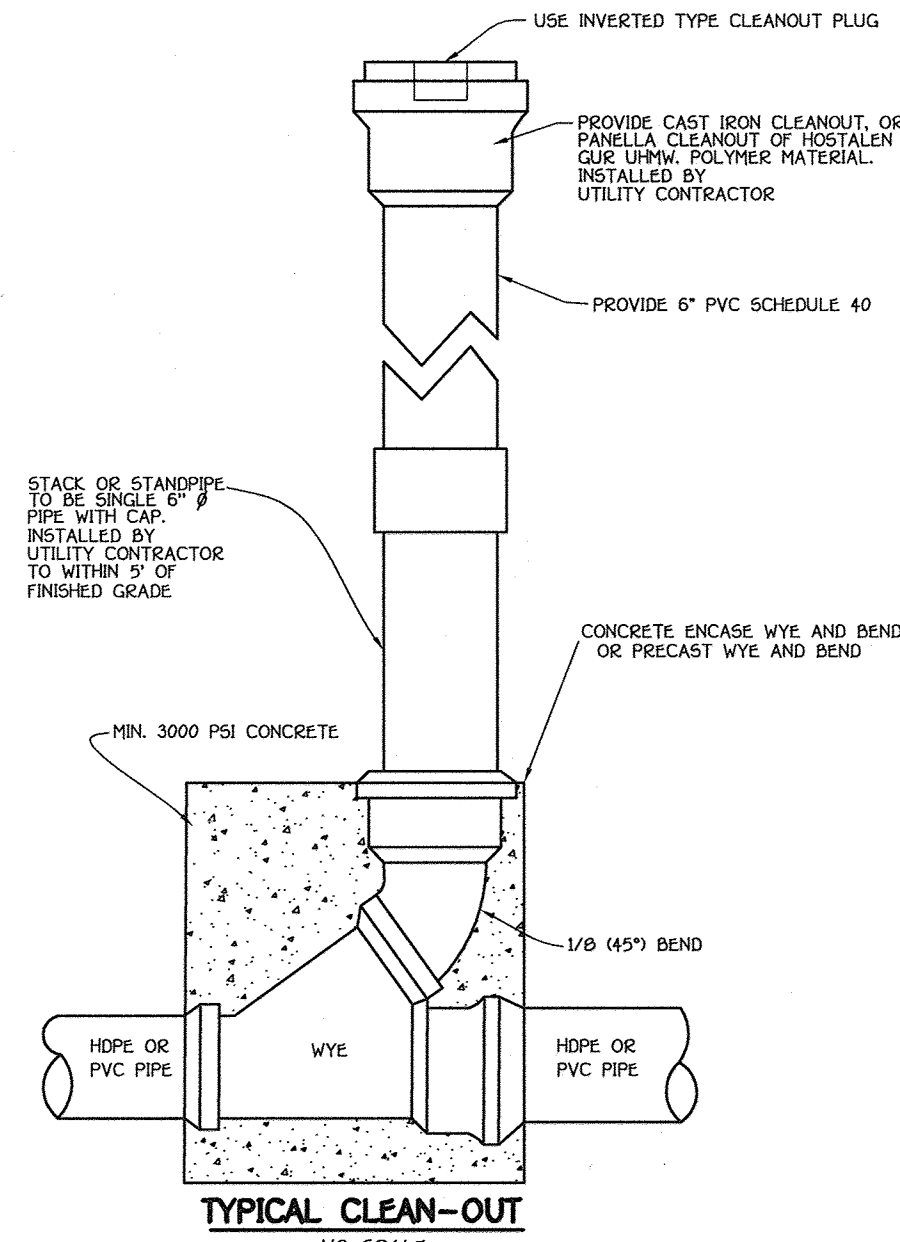
NO.	DESCRIPTION	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11
	REVISIONS	



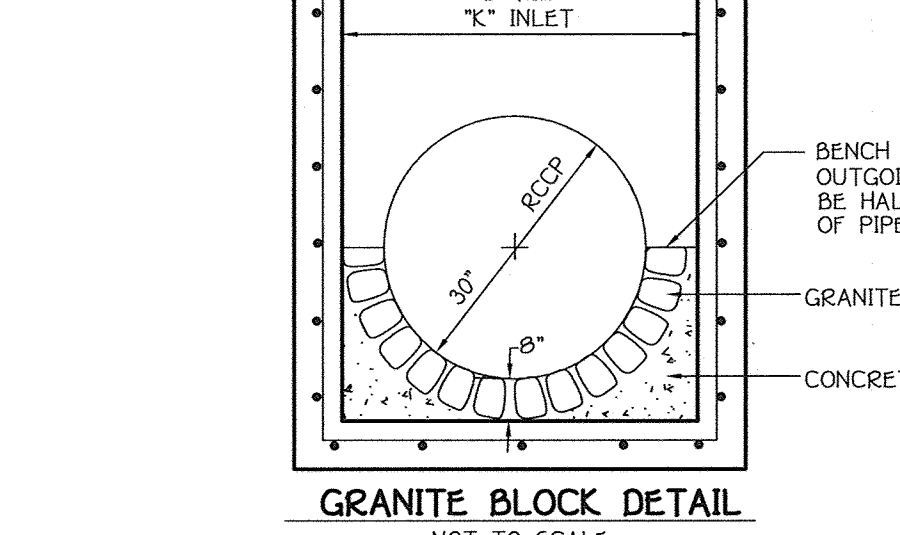
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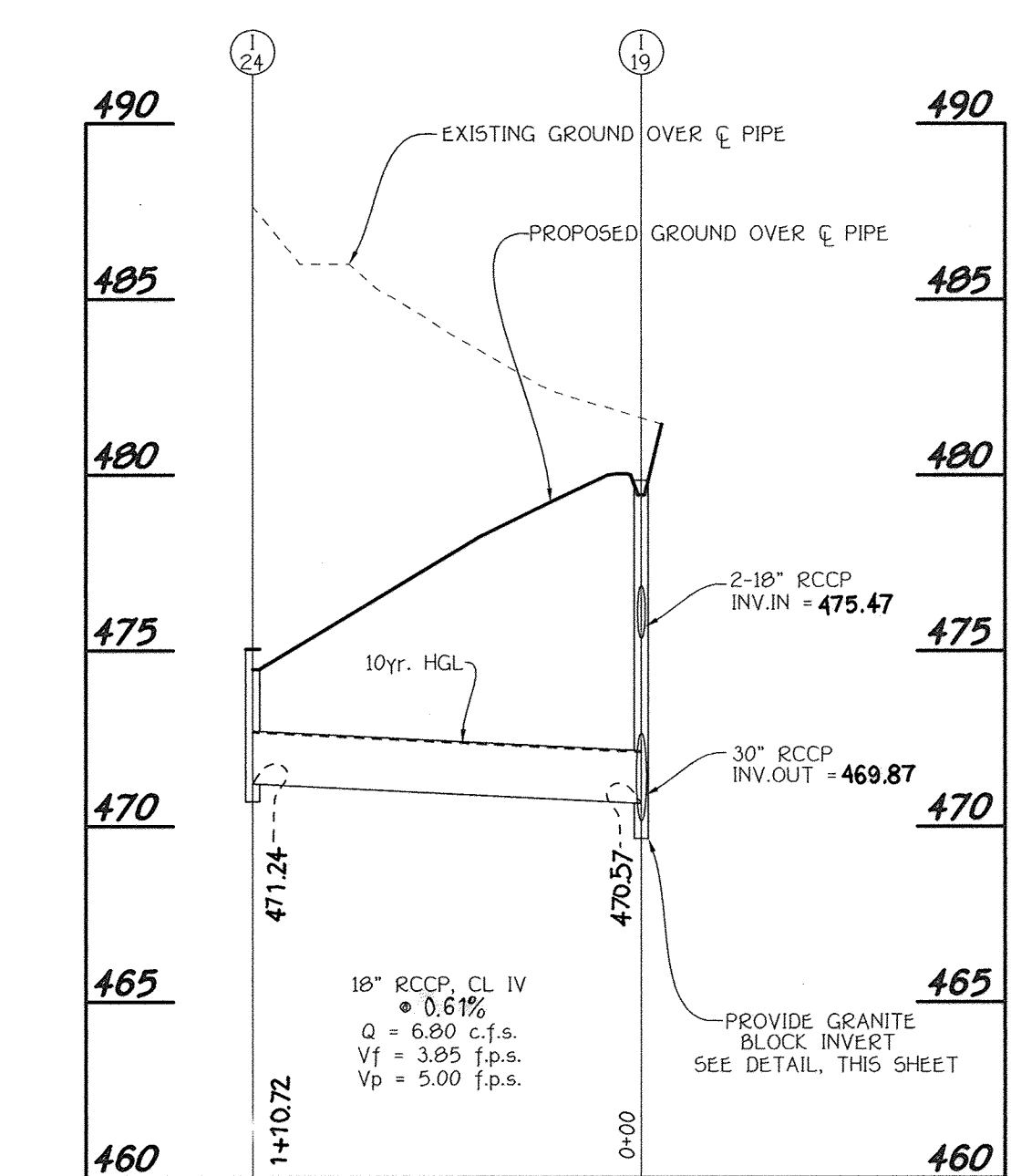
(M-10) DIVERSION MANHOLE
NO SCALE



TYPICAL CLEAN-OUT
NO SCALE



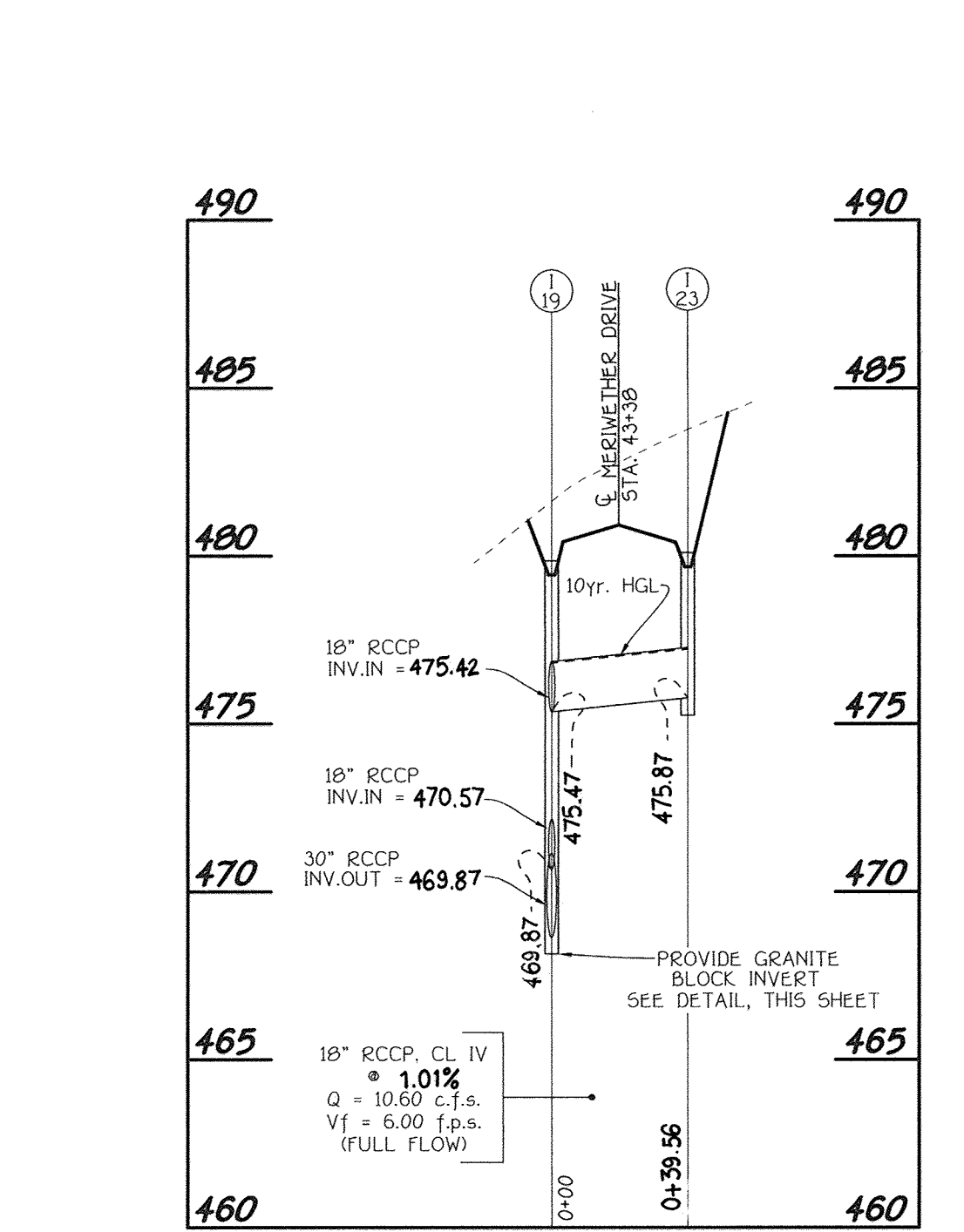
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NOT TO SCALE



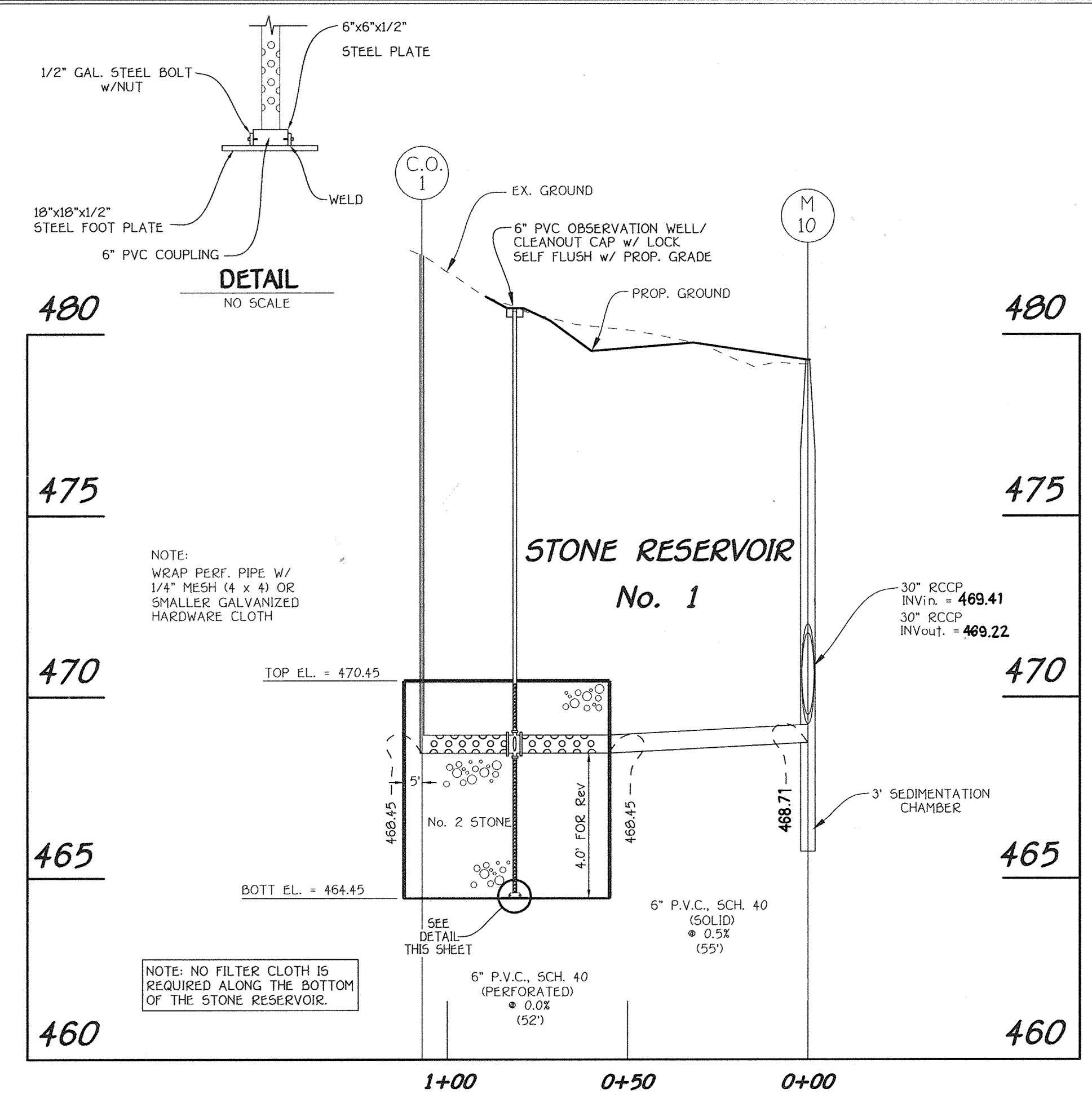
PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'

- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES FOR Rev**
- The monitoring wells and structures shall be inspected on a quarterly basis and after every large stone event.
 - Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
 - A logbook shall be maintained to determine the rate at which the facility drains.
 - When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
 - The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
 - Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

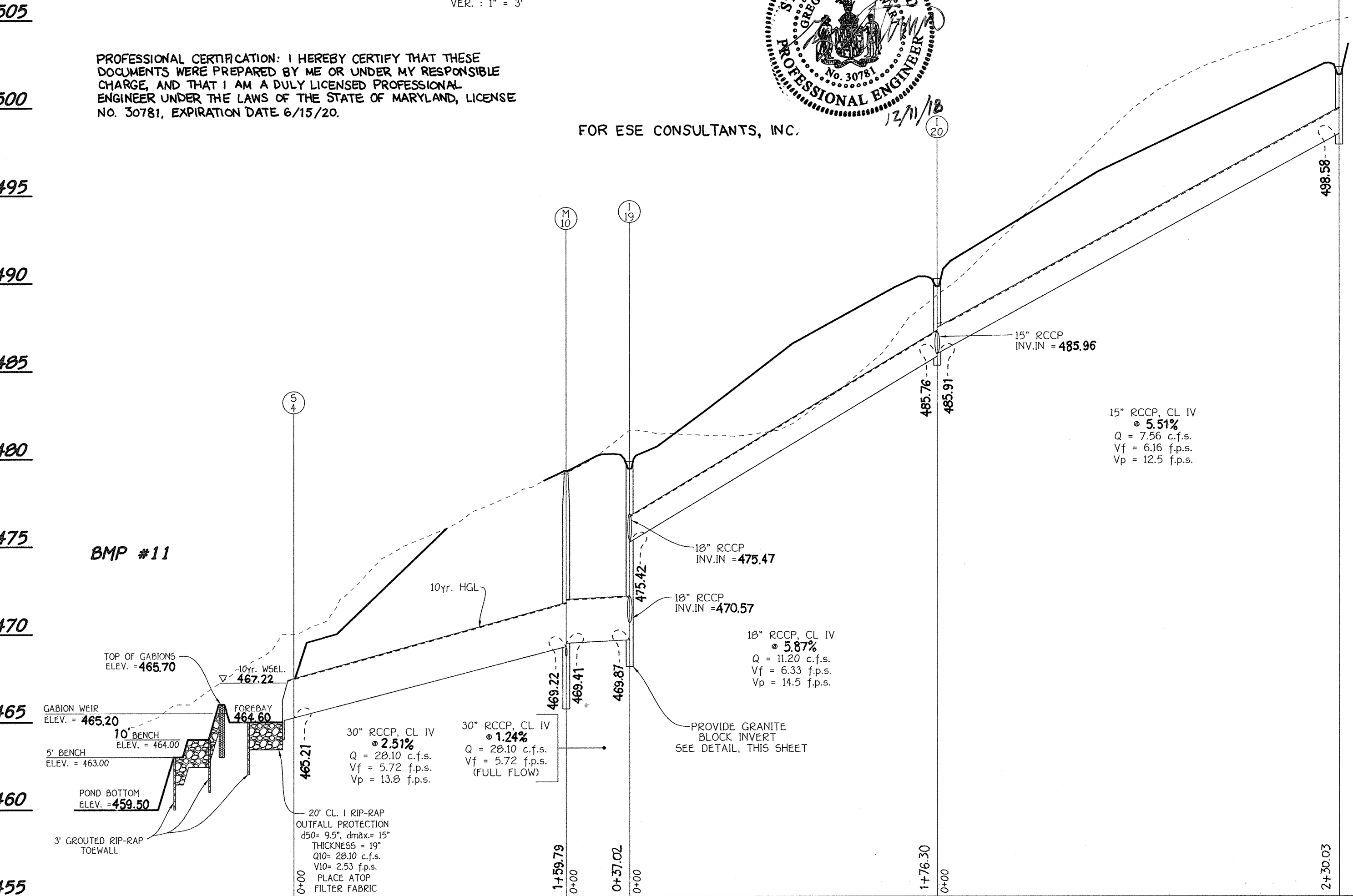
APPROVED: DEPARTMENT OF PUBLIC WORKS
Will Z. Shultz 10-23-09
 CHIEF, BUREAU OF HIGHWAYS DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
Kat Shalove 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
John Dammann 10-28-09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



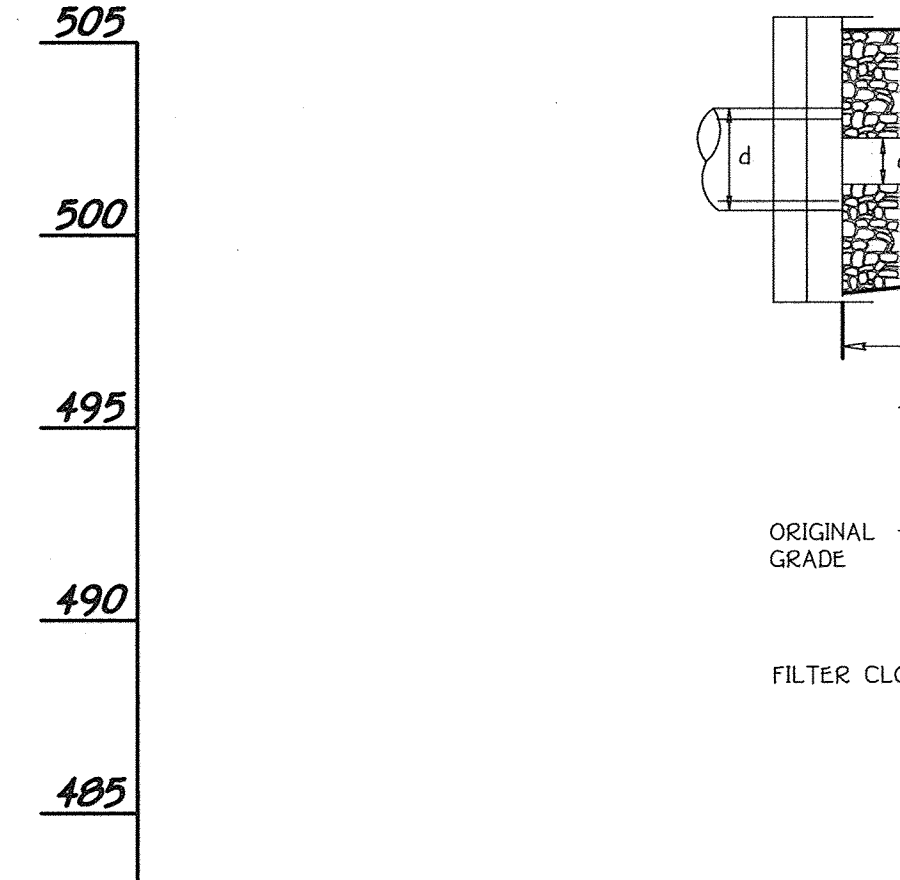
PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'



OFF-LINE STONE RESERVOIR FOR Rev REQUIREMENT
SCALE: HOR: 1" = 30'
VER: 1" = 3'



PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'

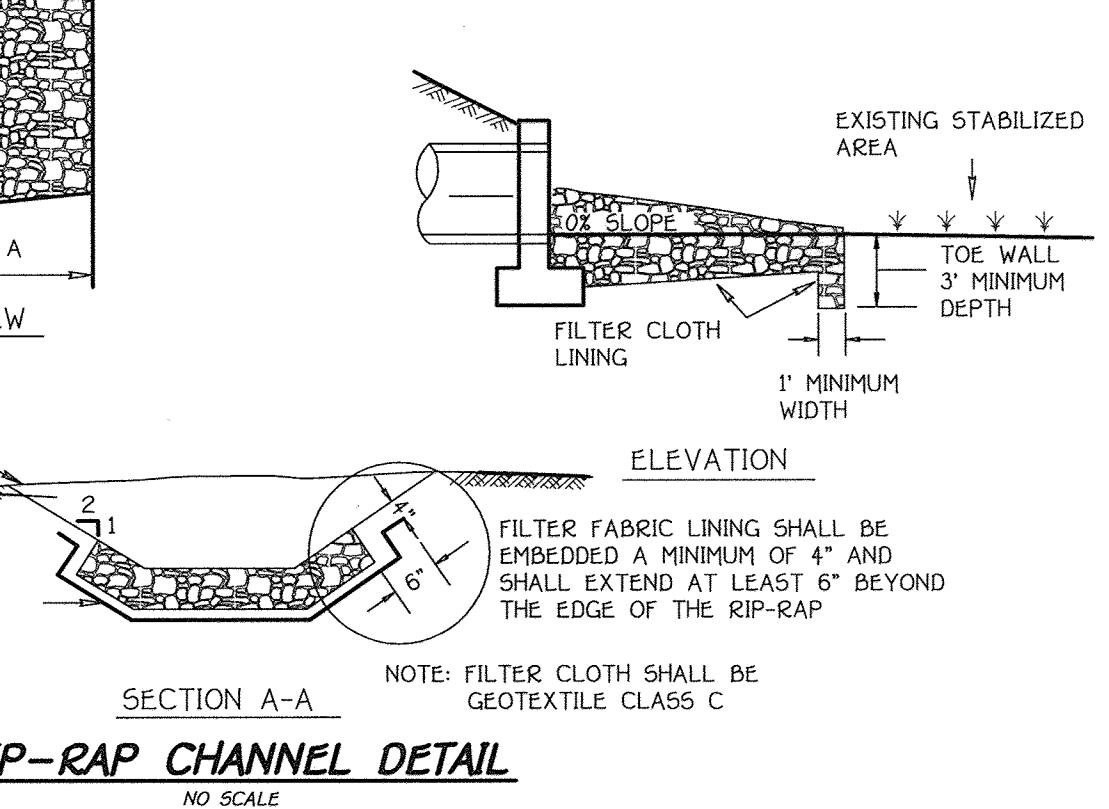


RIP-RAP CHANNEL DETAIL
NO SCALE

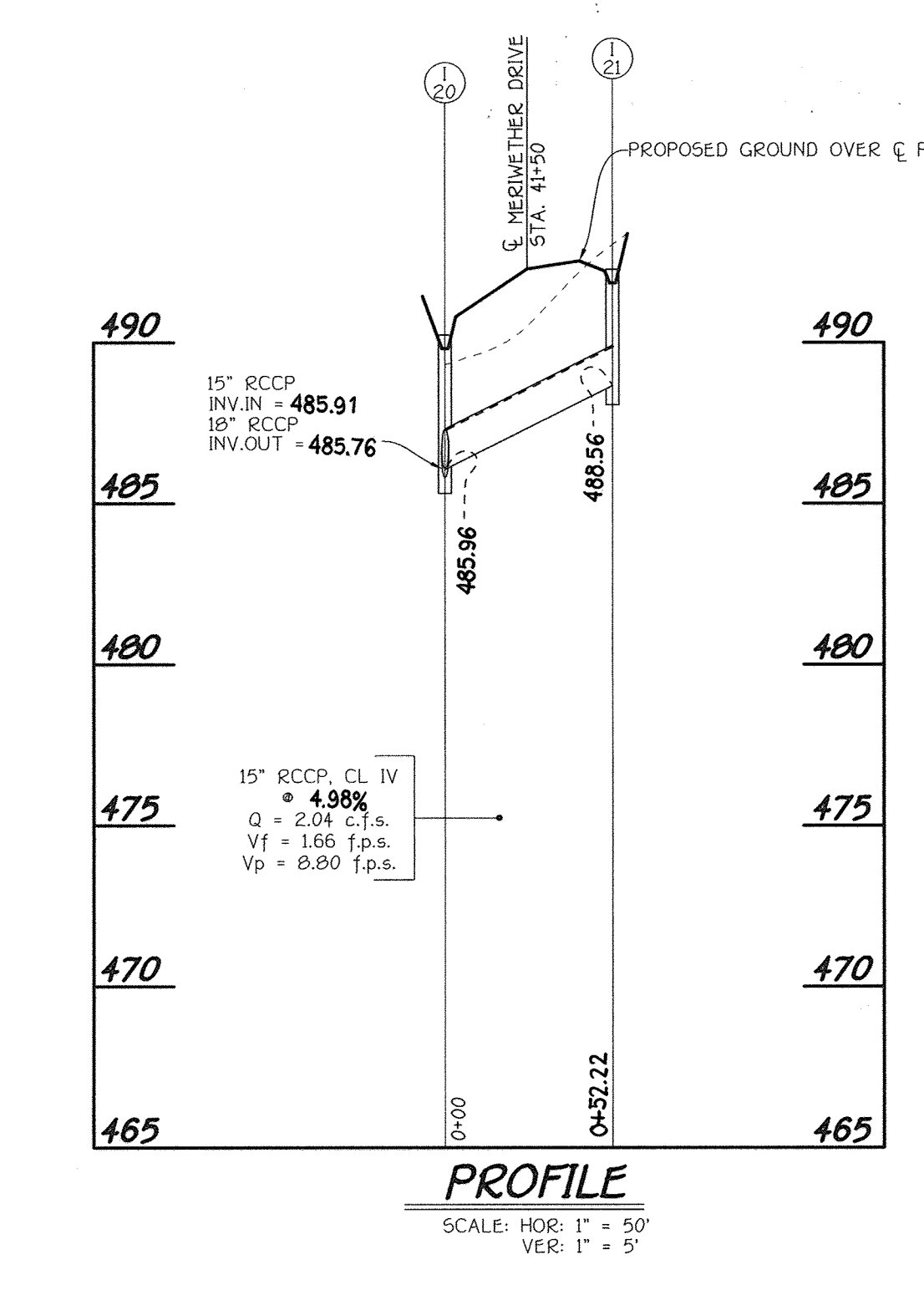
STRUCTURE	AREA (sq ft)	WETTED PERIMETER (ft)	R	R ^{2/3}	S	S ^{1/2}	W	d	N	V	Q	RIP-RAP SIZE	BLANKET THICKNESS
S-1	12.20	12.22	0.9984	0.9989	0.005	0.0707	6.0'	1.39'	0.04	2.63	31.66	9.5"	19"
S-2	18.23	18.50	1.1048	1.0691	0.005	0.0707	8.0'	1.66'	0.04	2.81	50.6	9.5"	19"
S-3	20.58	15.96	1.2895	1.1857	0.005	0.0707	8.0'	1.78'	0.04	3.11	63.96	9.5"	19"
S-4	11.18	11.81	0.5686	0.6850	0.005	0.0707	6.0'	1.30'	0.04	2.53	28.10	9.5"	19"
HW-1	10.36	13.02	0.7957	0.8580	0.0239	0.0707	10.0'	1.11'	0.04	4.93	50.6	9.5"	19"
HW-2	13.28	14.87	0.5367	0.6591	0.005	0.0707	10.0'	1.09'	0.04	2.44	32.3	9.5"	19"
HW-3	21.45	17.24	1.2442	1.1576	0.005	0.0707	10.0'	1.62'	0.04	3.04	65.2	16"	24"
HW-4	14.16	14.22	0.9958	0.9971	0.005	0.0707	8.5'	1.28'	0.04	2.62	36.9	16"	24"

CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS

- The subgrade for the filter, rip-rap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed materials.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Filter cloths shall be protected from punching, cutting or tearing. Any damage other than an occasional hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
- Stone for the rip-rap or gabion outlets may be placed by equipment. Both shall each be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works.



RIP-RAP CHANNEL DETAIL
NO SCALE



PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'

STORM DRAIN PROFILES MERIWETHER FARM SECTION TWO
 PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)
 ZONED: RC-DCO
 TAX MAP No: 21 PARCEL No: 28 GRID Nos: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 15 OF 30

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PARK
 ELICOTT CITY, MARYLAND 21042
 410.461.2855

Owner
 Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer
 Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Driscoll

Professional Engineer
Will Z. Shultz
 State of Maryland License No. 20740, Expiration Date 2-22-11

ASBUILT

STORMWATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-37B. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

EARTH FILL

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #20 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8-inch (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out.

When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within +/- 2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Out Off Trench - The out off trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 33 as modified. The mixture shall have a 100-200 psi, 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2000 ohm-cm. Material shall be placed such that a minimum of 6" measured perpendicular to the outside of the pipe of flowable fill shall be under, bedded, over and on the sides of the pipe - it only needs to extend up to the spring line for rigid conduits. Average slump of the fill shall be 7" to assure flowability of the material. Adequate measures shall be taken (sand bags, etc.) to prevent floating the pipe. When using flowable fill, all metal pipe shall be bituminous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill (flowable fill) zone shall be of the type and quality conforming to the specified for the core of the embankment or other embankment materials.

Pipe Conduits

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

- Materials - Polymer Coated steel pipe - Steel pipes with polymeric coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appendances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges.

Materials - Aluminum Coated Steel Pipe - This pipe and its appendances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.

Materials - Aluminum Pipe - This pipe and its appendances shall conform to the requirements of AASHTO Specification M-196 or M-220 with watertight coupling bands or flanges. Aluminum Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 9.

- Coupling bands, anti-seep collars, and sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness.

- Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Simple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be reworked an adequate number of corrugations to accommodate the bandwidth. The following type connections are acceptable for pipes less than 24-inches in diameter: flanges on both ends of the pipe with a circular 3/8-inch closed cell neoprene gasket, prepared to fit the flange both sides, sandwiched between adjacent flanges; a 12-inch wide standard lap type band with 12-inch wide by 3/8-inch thick closed cell circular neoprene gasket; and a 12-inch wide hugger type band with o-ring gaskets having a minimum diameter of 1/2-inch greater than the corrugation depth. Pipes 24-inches in diameter and larger shall be connected by a 24-inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed between the end of each pipe. Flanged joints with 3/8-inch closed cell gaskets the full width of the flange is also acceptable.

Helicly corrugated pipe shall have either continuously welded seams or have lock seams with interl caulking or a neoprene bead.

- Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

- Backfilling shall conform to "Structure Backfill".

- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe:

- Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-361.

- Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/cradle for their entire length. This bedding/cradle shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 50% of its outside diameter with a minimum thickness of 6 inches. Where concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard. Gravel bedding is not permitted in the "Structure Backfill" section of this standard.

- Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.

- Backfilling shall conform to "Structure Backfill".

- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Plastic Pipe

The following criteria shall apply for plastic pipe:

- Materials - PVC pipe shall be PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch pipe shall meet the requirement of AASHTO M224 Type 5, and 12" through 24" inch shall meet the requirement of AASHTO M224 Type 5.

- Joints and connections to anti-seep collars shall be completely watertight.

- Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock, soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

- Backfilling shall conform to "Structure Backfill".

- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Concrete

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 4H, Mix No. 3.

Rock Riprap

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 3J.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 92109, Class C.

Care of Water during Construction

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

Stabilization

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MS-342) or as shown on the accompanying drawings.

Erosion and Sediment Control

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

OPERATION AND MAINTENANCE

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

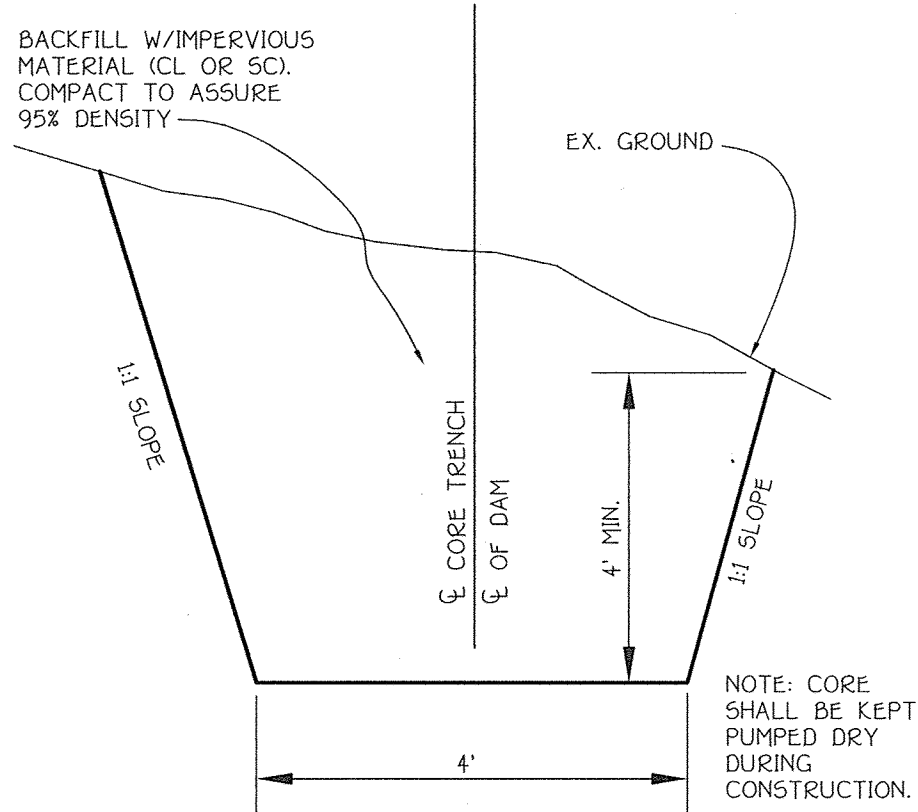
GENERAL GEOTECHNICAL CONCLUSIONS AND RECOMMENDATIONS

From review of most of the test borings, it appears that adequate support would be provided for principal spillway construction, in most cases. In borings where existing fill or native soils with standard penetration resistances of less than 6 blows per foot, it may be necessary to selectively undercut and backfill with controlled compacted fill or additional riser foundation for pipe grade concrete.

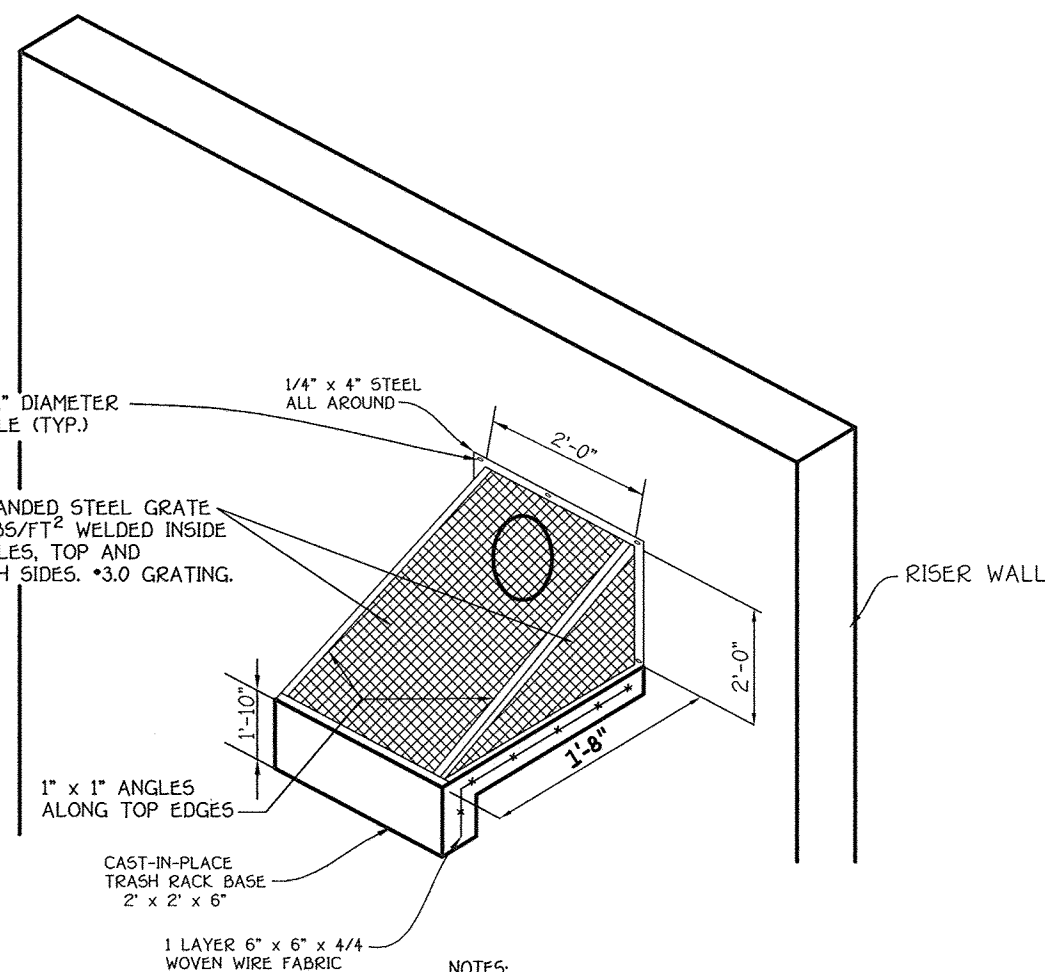
Only limited amounts of Unified "C" soils were encountered in the test borings which are suitable for use as core trench or dam core fill. Typically "C" soils are not encountered in the residual soils formed from this rock formation and it is expected that these materials will be of only limited extent. Impervious core trench fills will likely have to be imported from off site.

Cut slopes should generally be stable in the residual soils at slopes no steeper than 3H:1V. It is possible that slopes cut below the groundwater table in the silty and medium to fine-grained sand soils could experience some sloughage requiring either flattening of the slopes or construction of slope drains to provide additional stability. The need and extent of these drains would best be determined at the time of construction, however, if possible, it would be best not to extend the basin grades below the indicated groundwater levels.

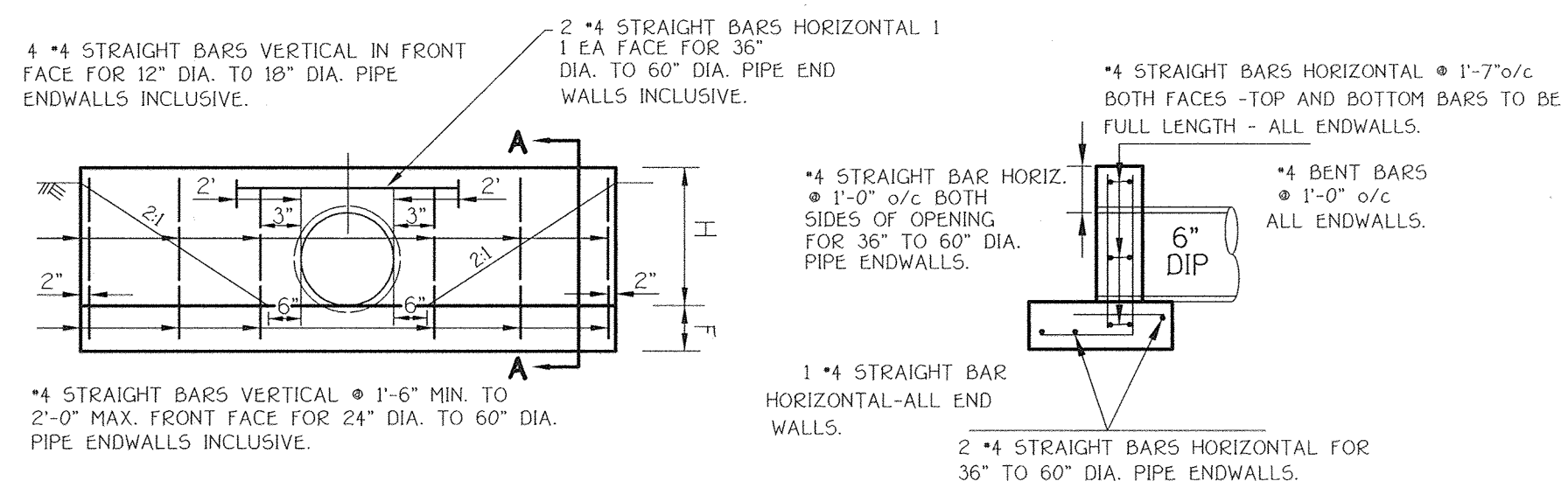
For preliminary planning purposes, we would assume that the standard 4-foot deep MD378/2000 core trench and standard dam core dimensions will be acceptable. In small facilities which need not meet MD 378/2000 requirements, we would still recommend construction of a smaller core trench to cut off possible subsurface flow through the loosened surface soils and to lock the embankment into the original ground. For these facilities, we would recommend a core trench 2 feet deep, with a 4-foot bottom width and 1H:1V side slopes constructed of Unified "C" or plastic ML soils.



CORE TRENCH DETAIL (NO SCALE)



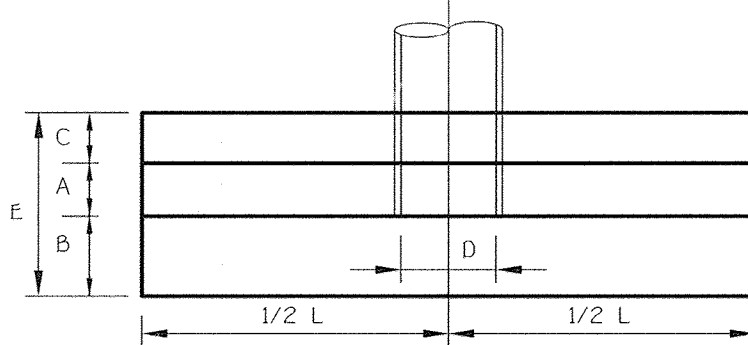
EXPANDED METAL TRASH RACK FOR LOW FLOW ORIFICE (NOT TO SCALE)



ELEVATION

SECTION A-A

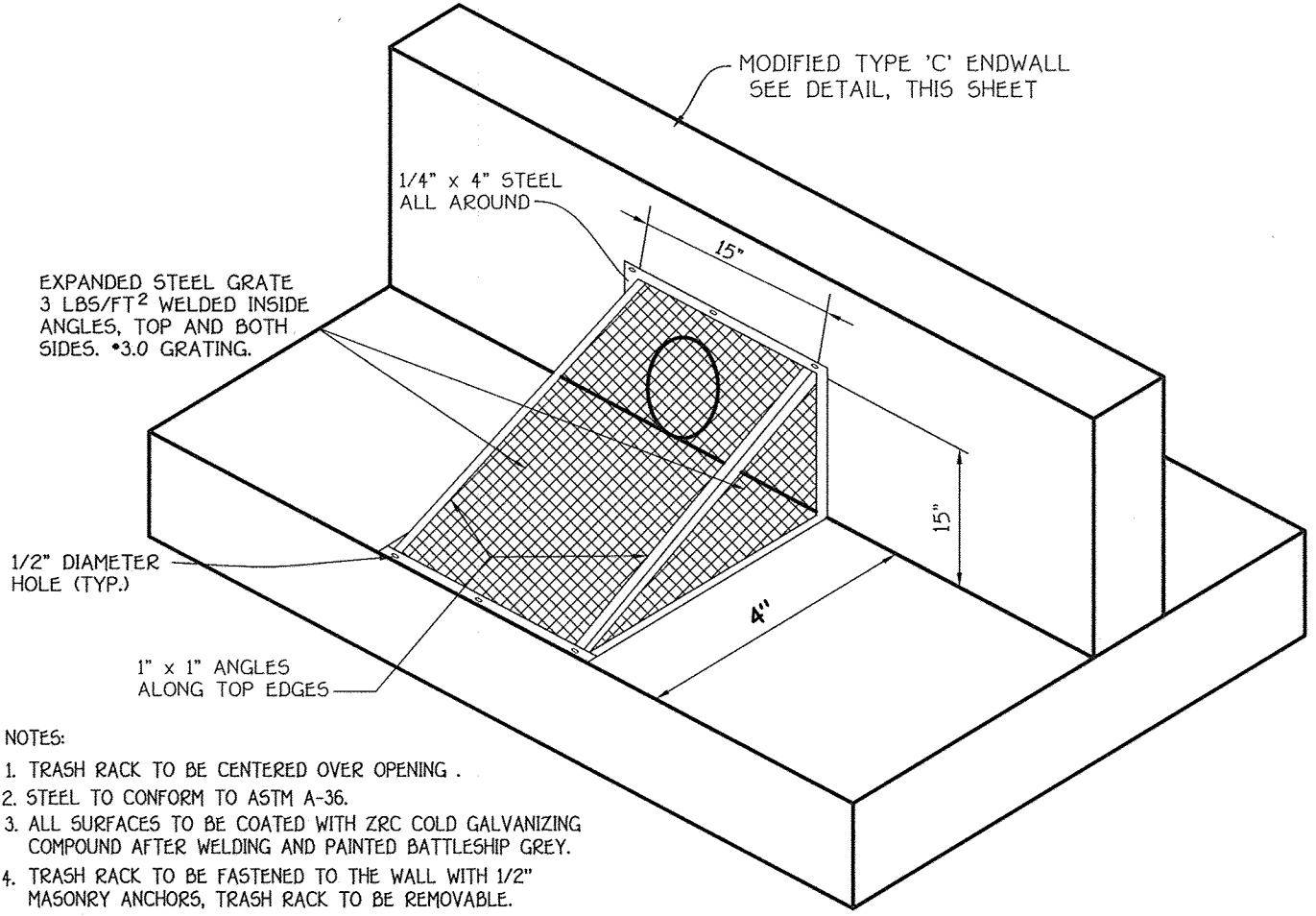
'S' DISTANCES FROM INSIDE SURFACE OF PIPE TO VERTICAL BARS IN FRONT AND REAR FACE.
4" FOR 12" DIA. TO 18" DIA. PIPES INCL.
6" FOR 24" DIA. TO 36" DIA. PIPES INCL.
8" FOR 42" DIA. TO 60" DIA. PIPES INCL.



DISPOSITION OF BARS - DETAIL

D IN.	AREA SQ.FT.	DIMENSIONS						L	VOLUME CONC. C.Y.	STEEL LBS.
		A	B	C	E	F	H			
6"	0.79	9"	6"	6"	1'-9"	9"	1'-6"	5'-5"	0.61	38

MODIFIED TYPE 'C' ENDWALL (NO SCALE)



EXPANDED METAL TRASH RACK FOR DRAIN PIPE (NOT TO SCALE)

By The Developer:
I/We Certify that All Development And/Or Construction Will be Done According to These Plans, And That Any Responsible Personnel Involved in the Construction Project Will Have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment And Erosion Before Beginning the Project. I Shall Engage A Licensed Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District with An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Shall Engage A Licensed Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District with On-Site Inspections By The Howard Soil Conservation District.
Robert Goodier 12/14/09
Date

By The Engineer:
I Certify that the Plans for Pond Construction, Erosion And Sediment Control Represents A Practical And Feasible Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Engineer That I Am A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District with An "As-Built" Plan Of The Pond Within 30 Days Of Completion.
Robert Goodier 12/14/09
Date

These Plans For Small Road Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
Robert Goodier 10/15/09
Date
Howard Soil Conservation District
Approved Department of Public Works
Robert Goodier 10-23-09
Date
Approved Department of Planning And Zoning
Robert Goodier 10-20-09
Date
Chief, Division of Land Development
Robert Goodier 10-20-09
Date
Chief, Development Engineering Division



FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

EARTHWORK RECOMMENDATIONS

THE GEOTECHNICAL ASPECTS OF THE STORMWATER CONSTRUCTION SHOULD CONFORM TO MD 378/2000 SPECIFICATIONS. A REVIEW OF THE MOISTURE/COMPACTED DENSITY RELATIONSHIP TEST RESULTS PRESENTED ON PLATE 1 THROUGH 5, SHOW THE TESTED SOILS TO HAVE SUFFICIENTLY HIGH COMPACTED MAXIMUM DRY DENSITIES FOR USE AS EMBANKMENT OR STRUCTURAL FILL. THE EXISTING MOISTURE CONTENTS AT THE TIME OF SAMPLING VARIED CONSIDERABLY, FROM 8 PERCENT ABOVE TO 6 PERCENT BELOW THE OPTIMUM FOR MOST EFFICIENT COMPACTION. SOME SOILS MAY REQUIRE THE ADDITION OF MOISTURE, WHILE OTHERS WOULD REQUIRE SIGNIFICANT AERATION AND DRYING AFTER SPREADING BUT PRIOR TO COMPACTION IN ORDER TO ACHIEVE A 95 PERCENT COMPACTION CRITERIA.

WITH THE VARIABILITY OF SOIL MOISTURES, WE WOULD RECOMMEND THAT THE EARTHWORK CONSTRUCTION OCCUR DURING THE NORMALLY WARMER, DRIER SUMMER AND EARLY FALL CONSTRUCTION SEASON WHEN DRYING OF SOILS BY AERATION IS MOST EFFICIENT. CONSTRUCTION DURING THE COOLER WETTER SEASONS OF THE YEAR MAY PROHIBIT THE USE OF HIGH MOISTURE SOILS IN CONTROLLED COMPACTED FILLS AS THE COOLER WEATHER WILL PROHIBIT DRYING.

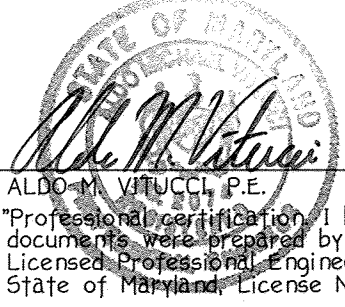
ONLY IN BORING B-10 WAS A UNIFIED CL SOIL ENCOUNTERED. THE LABORATORY TEST RESULTS INDICATE THAT THESE SOILS ARE BORDERLINE TO THE ML CLASSIFICATION. WE WOULD NOT EXPECT TO ENCOUNTER UNIFIED "C" CLASSIFICATION SOILS IN THIS ROCK TYPE; THUS, WE EXPECT THAT THE DEPOSIT FOUND IN BORING B-10 WOULD BE OF LIMITED EXTENT.

STORMWATER MANAGEMENT NOTES AND DETAILS

MERIWETHER FARM SECTION TWO PHASE TWO

BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J' (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No.: 21 PARCEL ZONED: RC-360
COUNTY: ST. MARY'S COUNTY, MARYLAND
DIVISION: 14th ELECTION DISTRICT
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 16 OF 30



DATE: 9/22/09
DATE: 9/22/09
DATE: 9/22/09

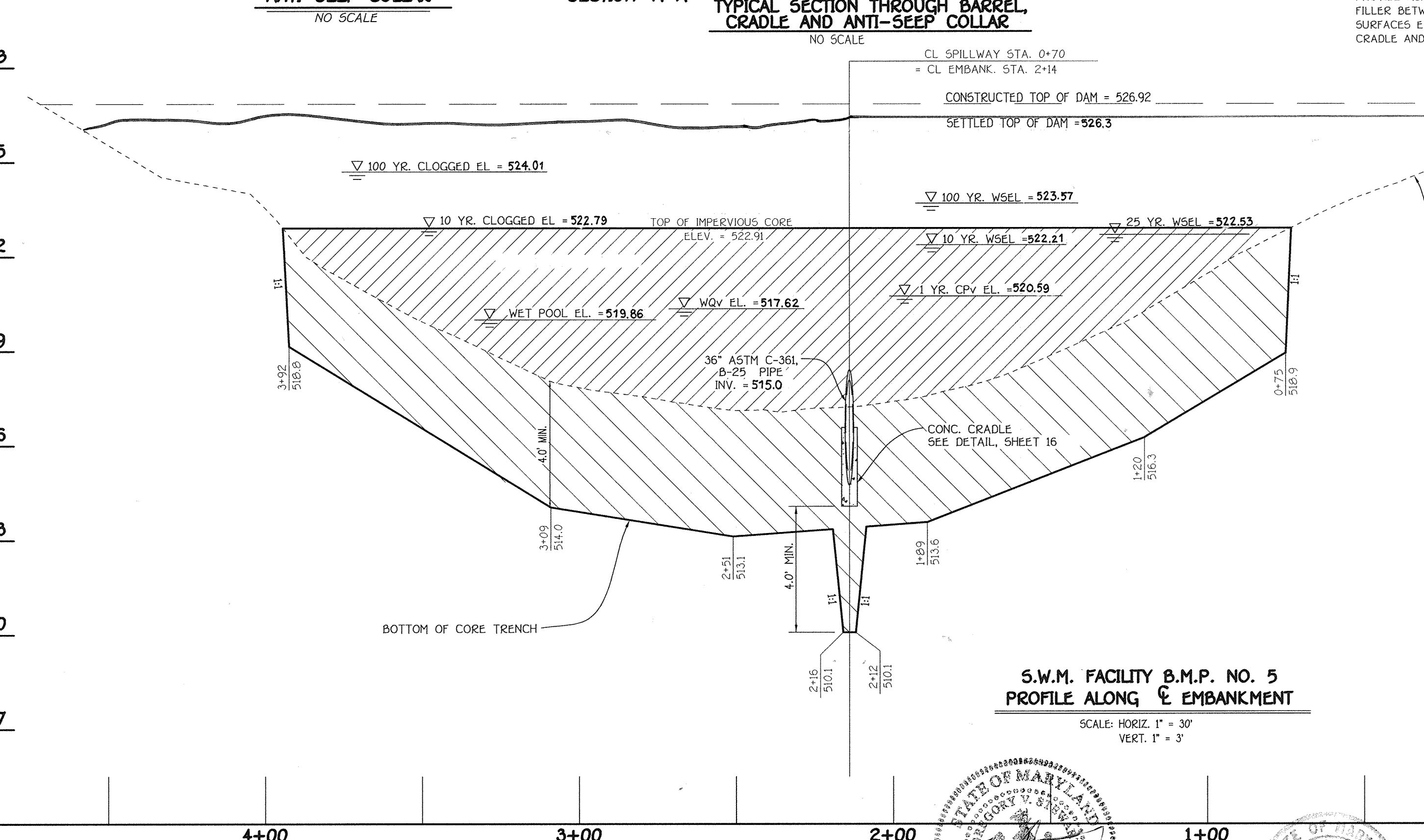
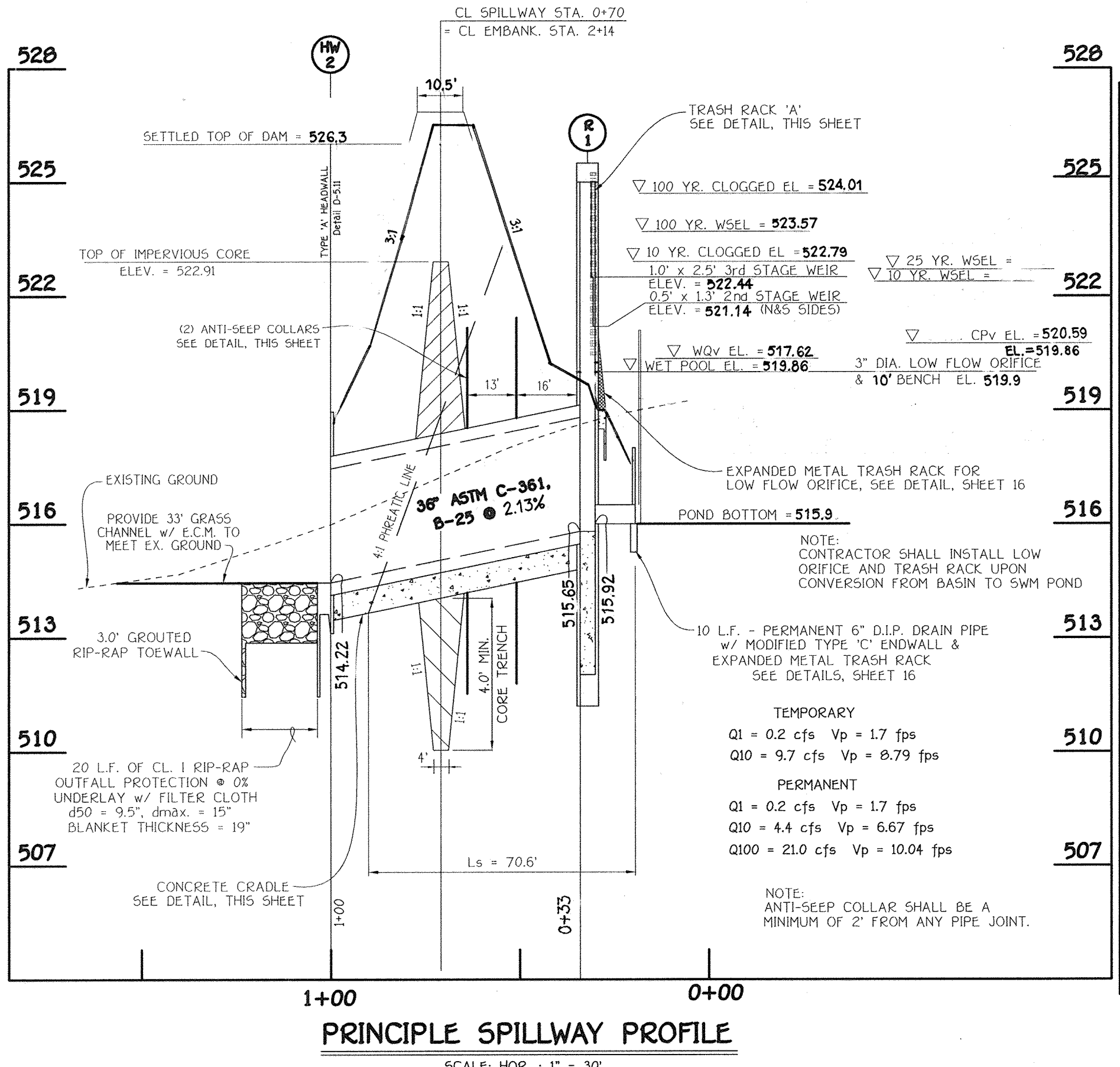
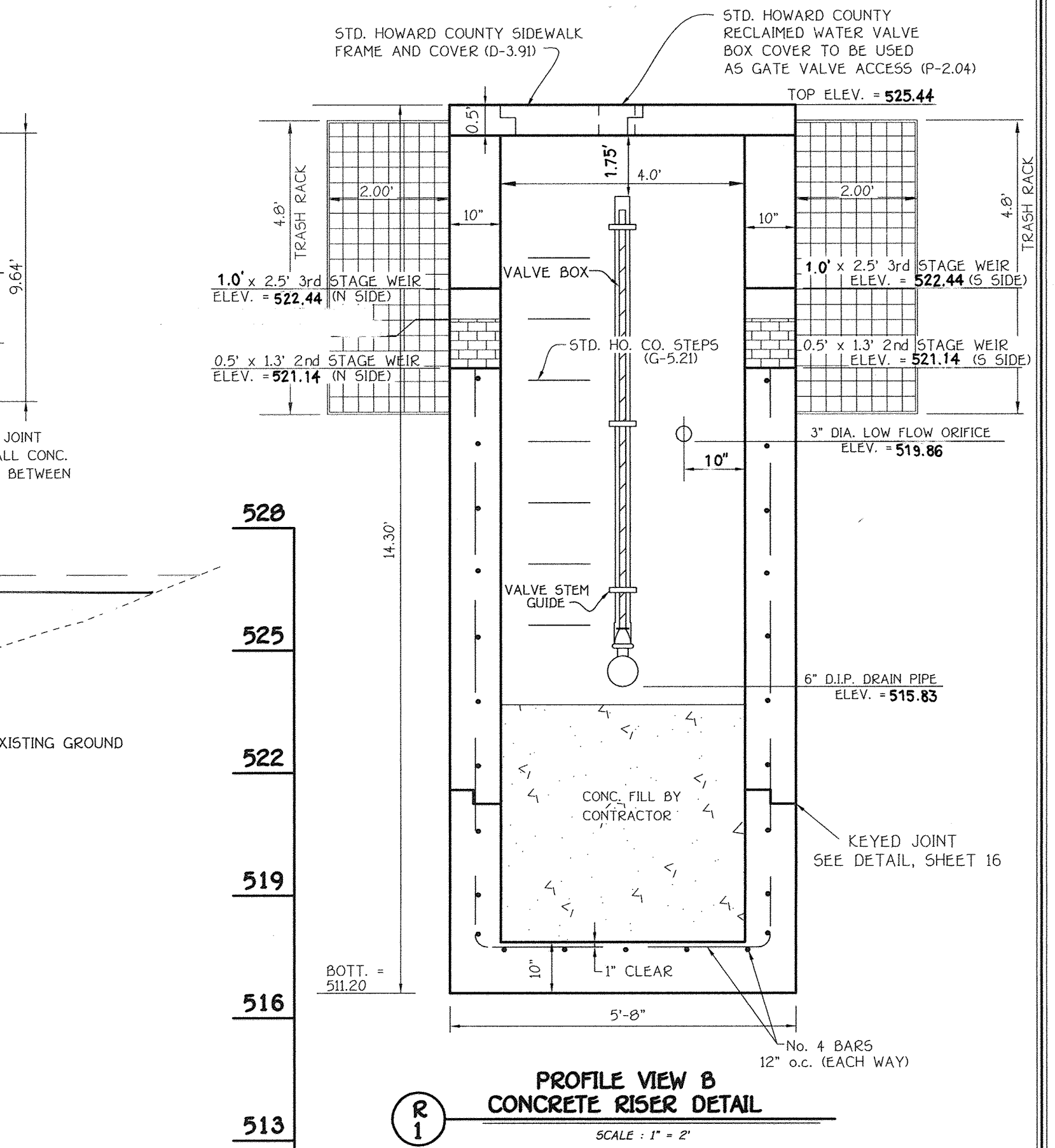
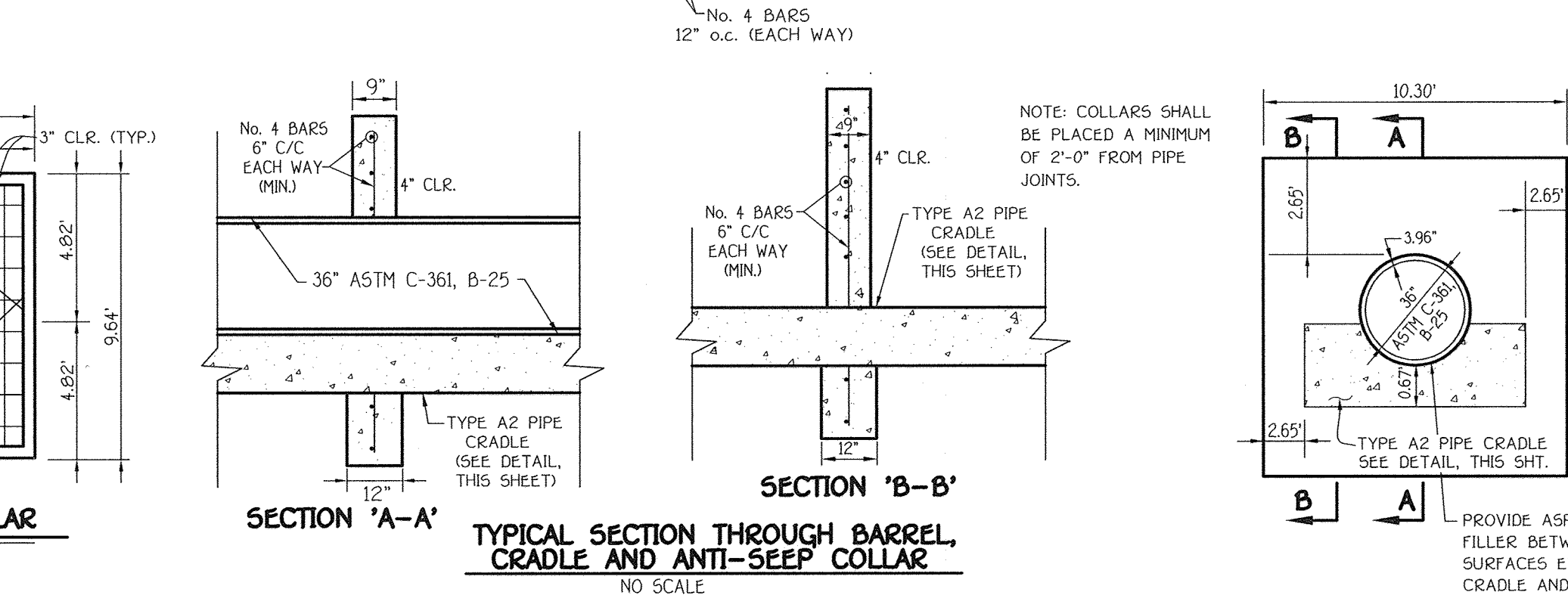
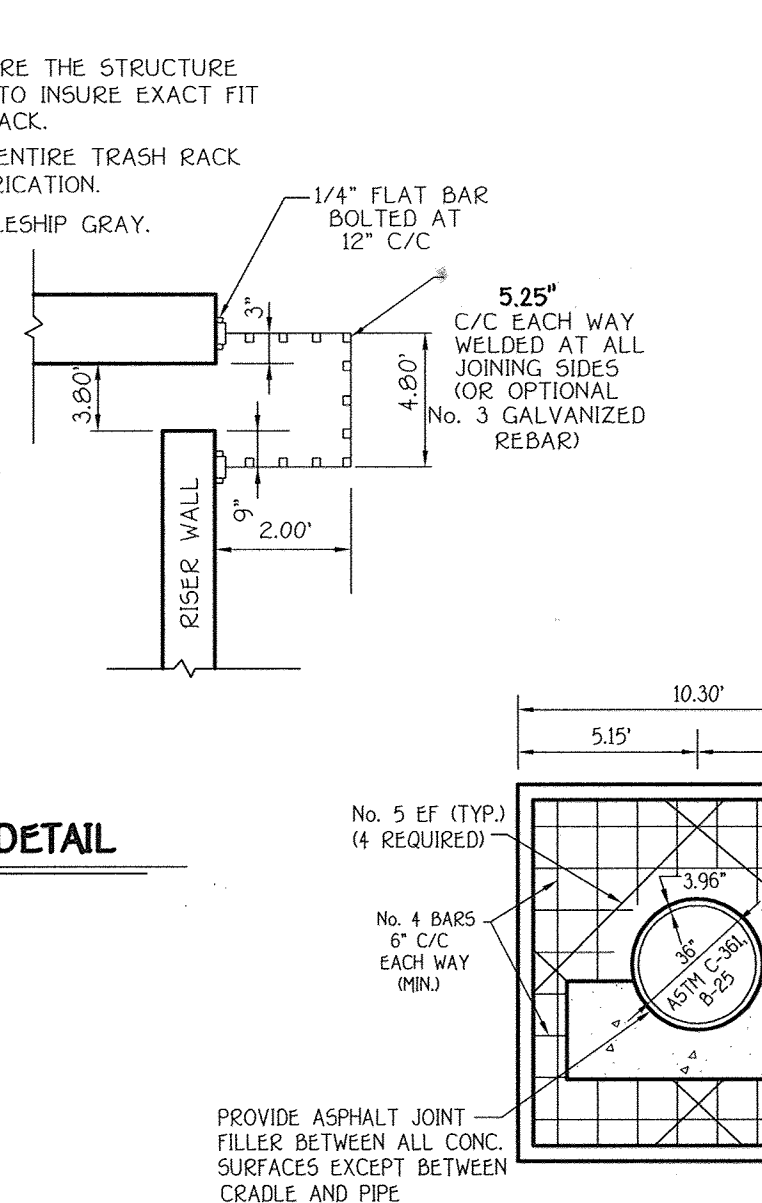
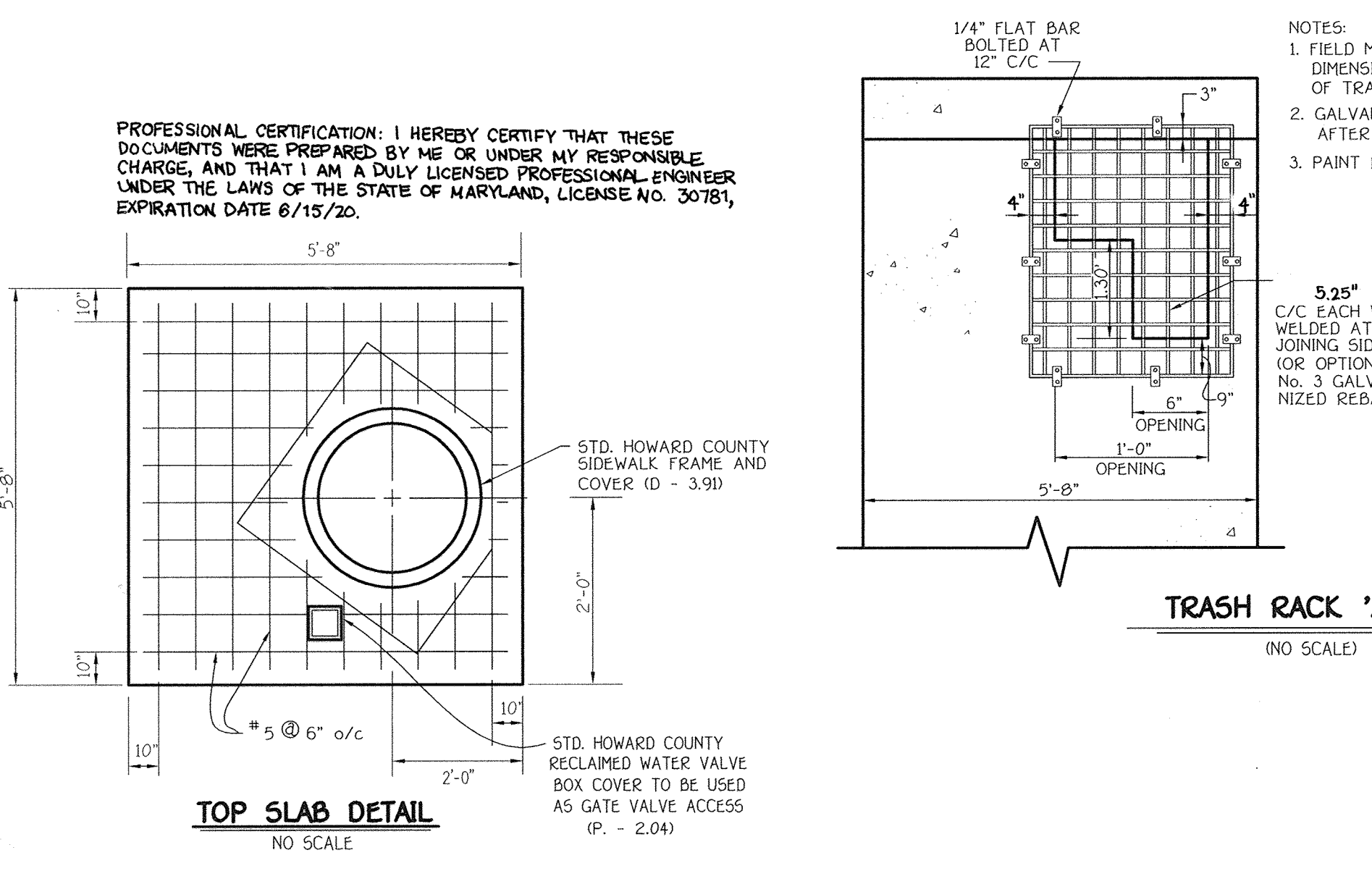
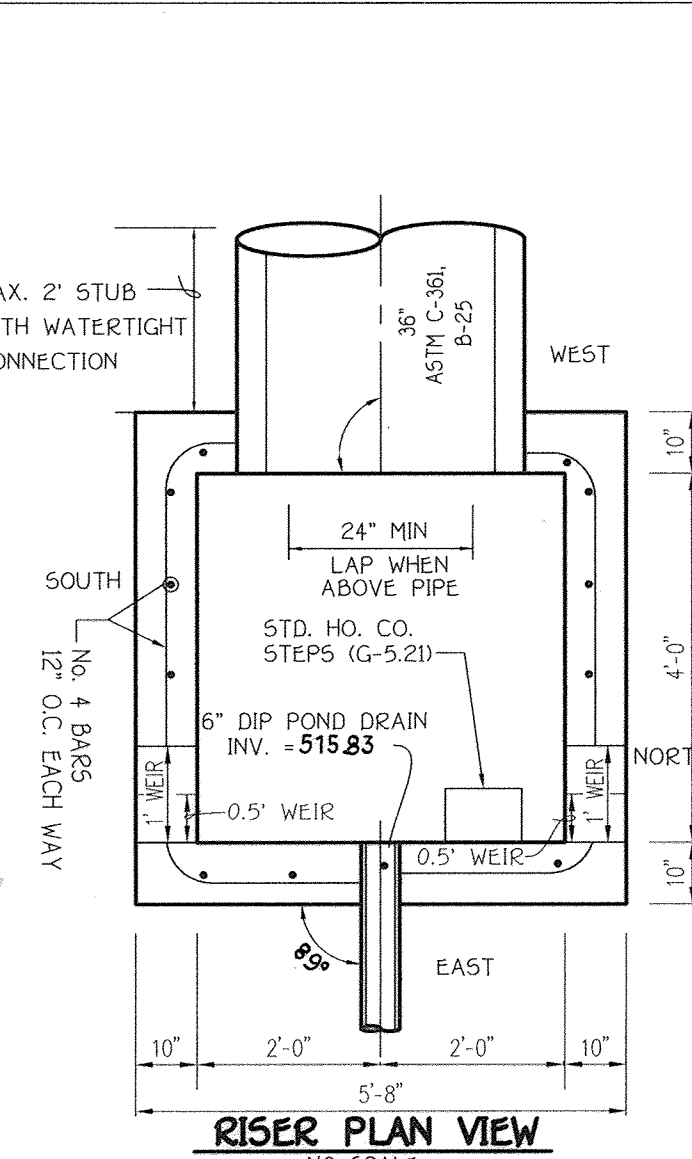
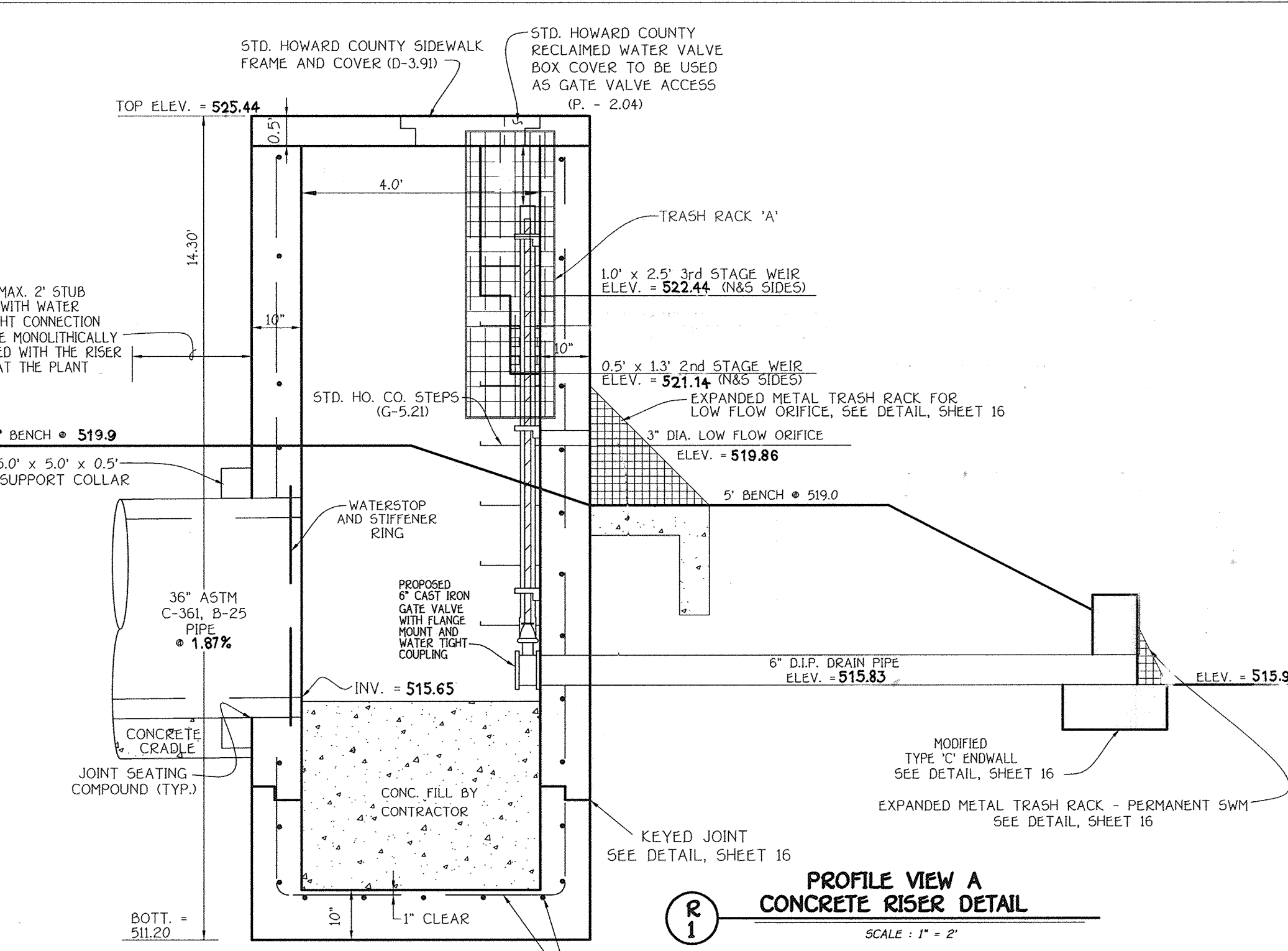
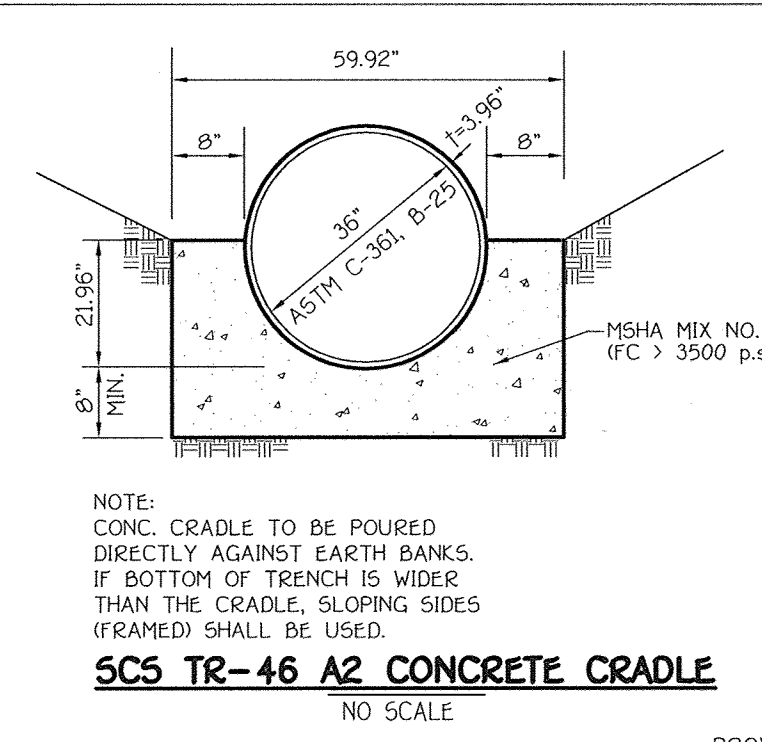
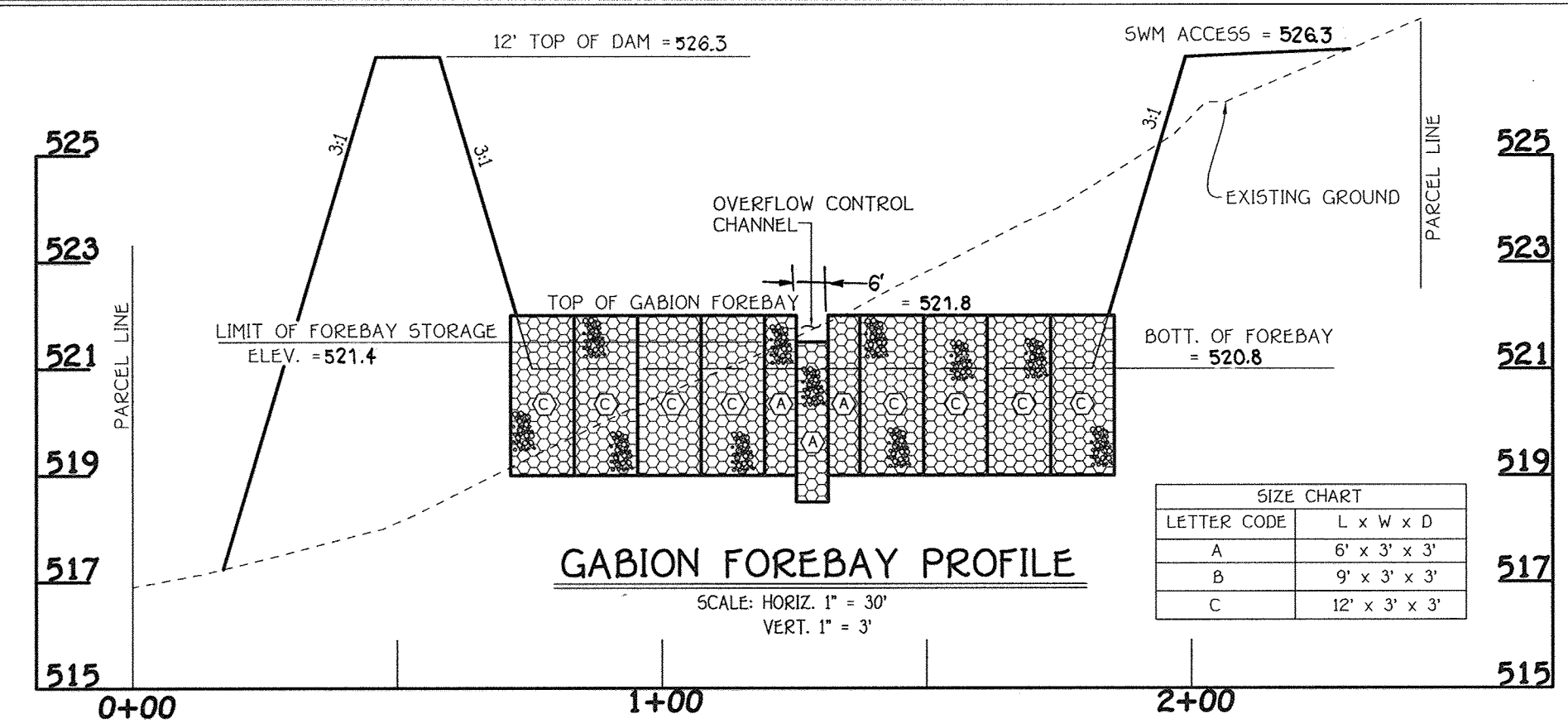
ASBUILT

F-09-044



NO.	REVISED OWNER AND DEVELOPER DESCRIPTION	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11
	REVISIONS	

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Cherry Lane Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll



STORMWATER MANAGEMENT NOTES AND DETAILS (B.M.P. No. 5, POND No. 2/BASIN No. 1)

MERIWETHER FARM SECTION TWO PHASE TWO

BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No. 21 PARCEL No. 28 GRID Nos. 15, 16, 21 & 22
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 17 OF 30

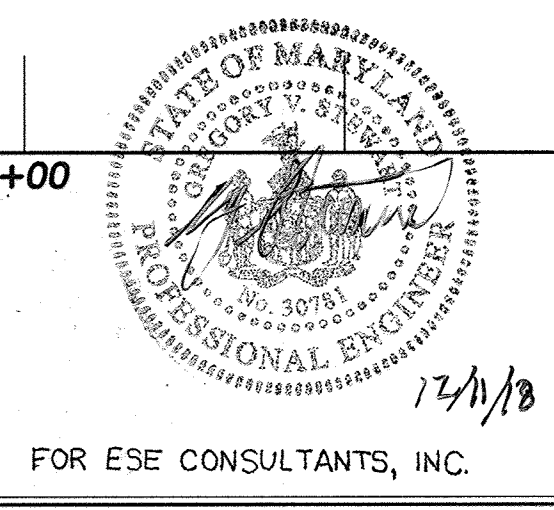
ASBUILT

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410.461.2855

NO.	DESCRIPTION	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11

Owner
Meriwether Farm II, LLC
c/o Second Goodier, LLC
10715 Charter Drive
Suite 230
Columbia, Maryland 21044
Ph: (410) 997-7501
Attn: Mr. Robert C. Goodier, Jr.

Developer
Toll Brothers, Inc.
Maryland Division
7164 Columbia Gateway Drive
Suite 230
Columbia, Maryland 21046
Ph: (410) 997-7501
Attn: Mr. Jeff Driscoll

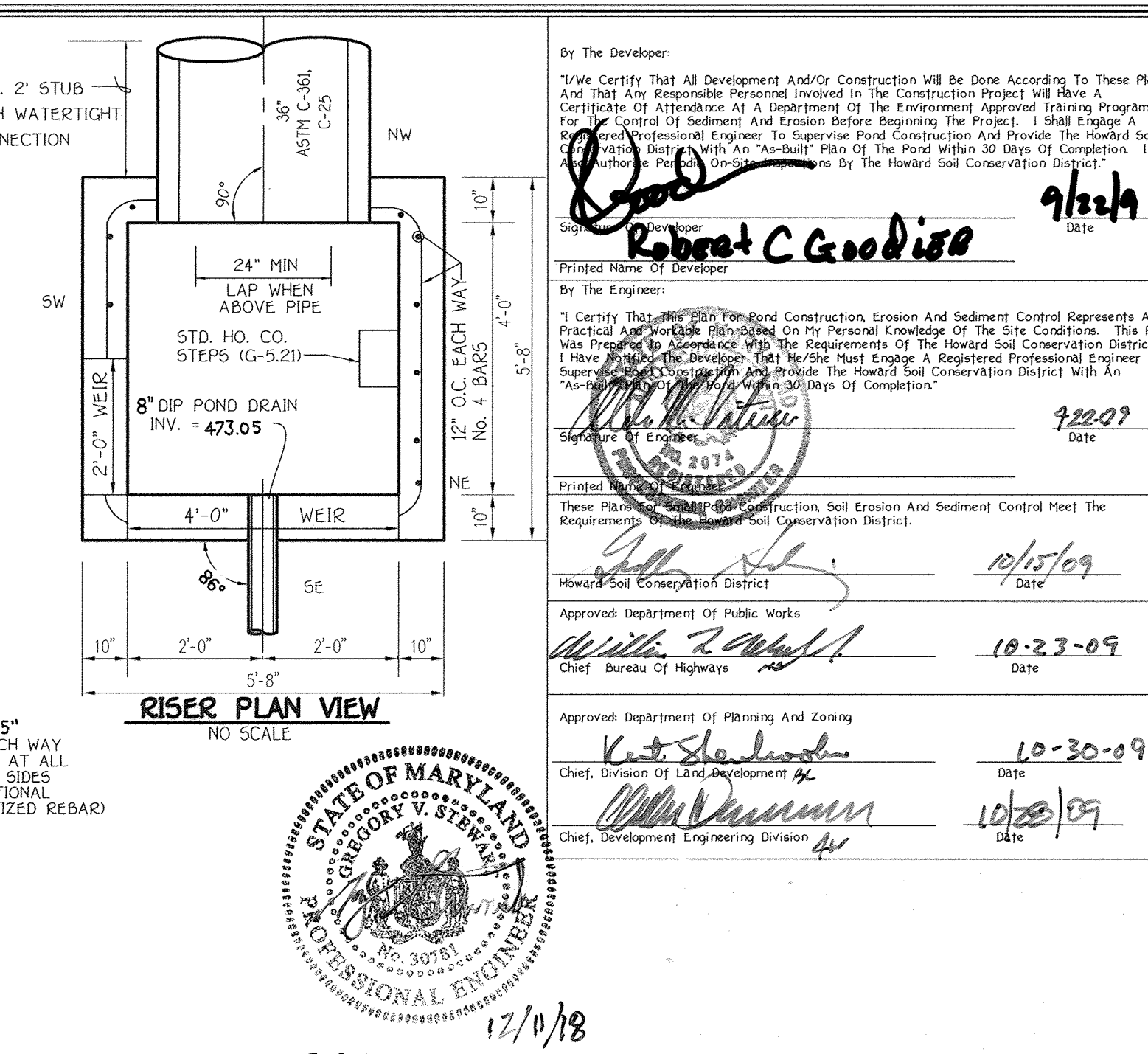
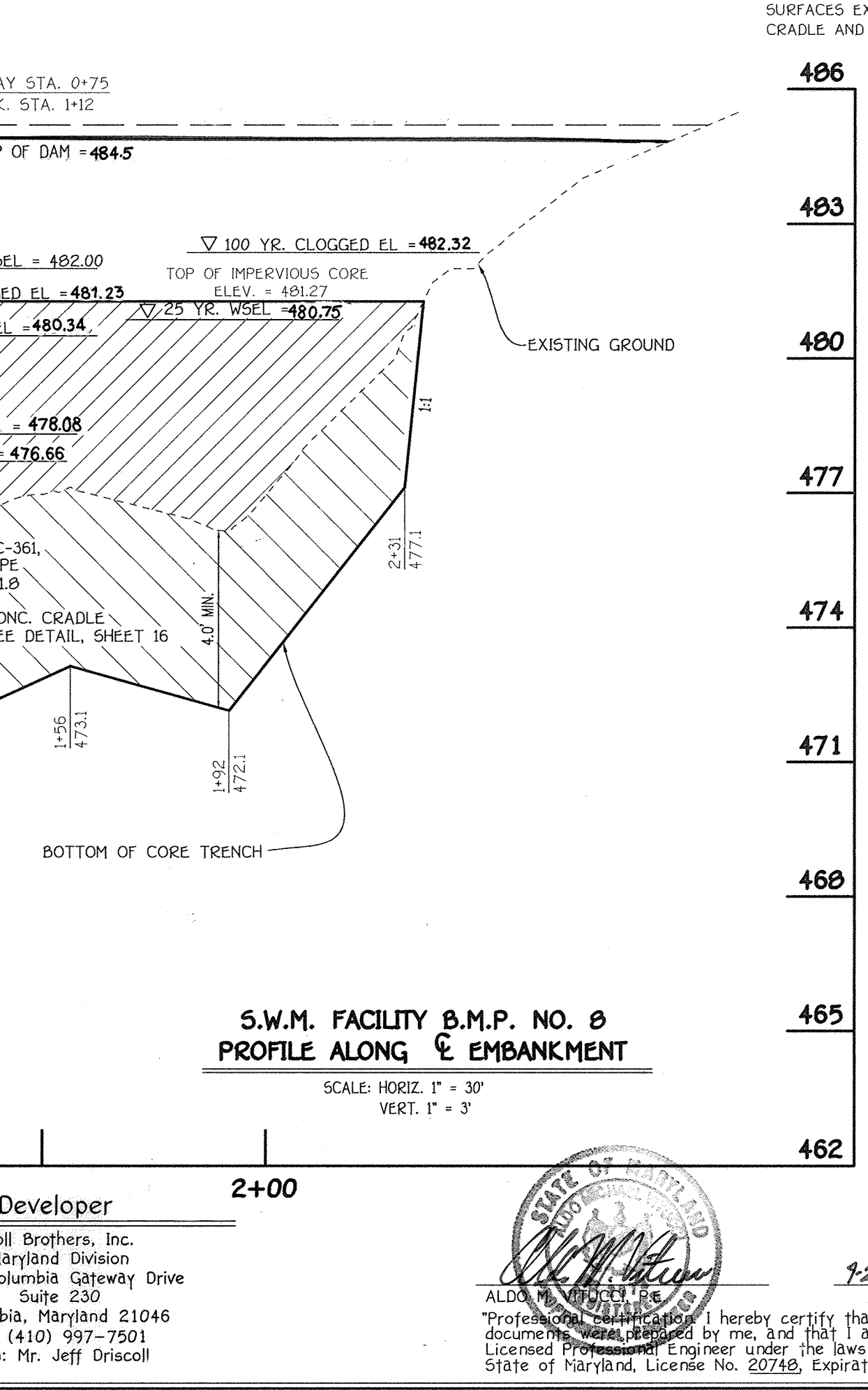
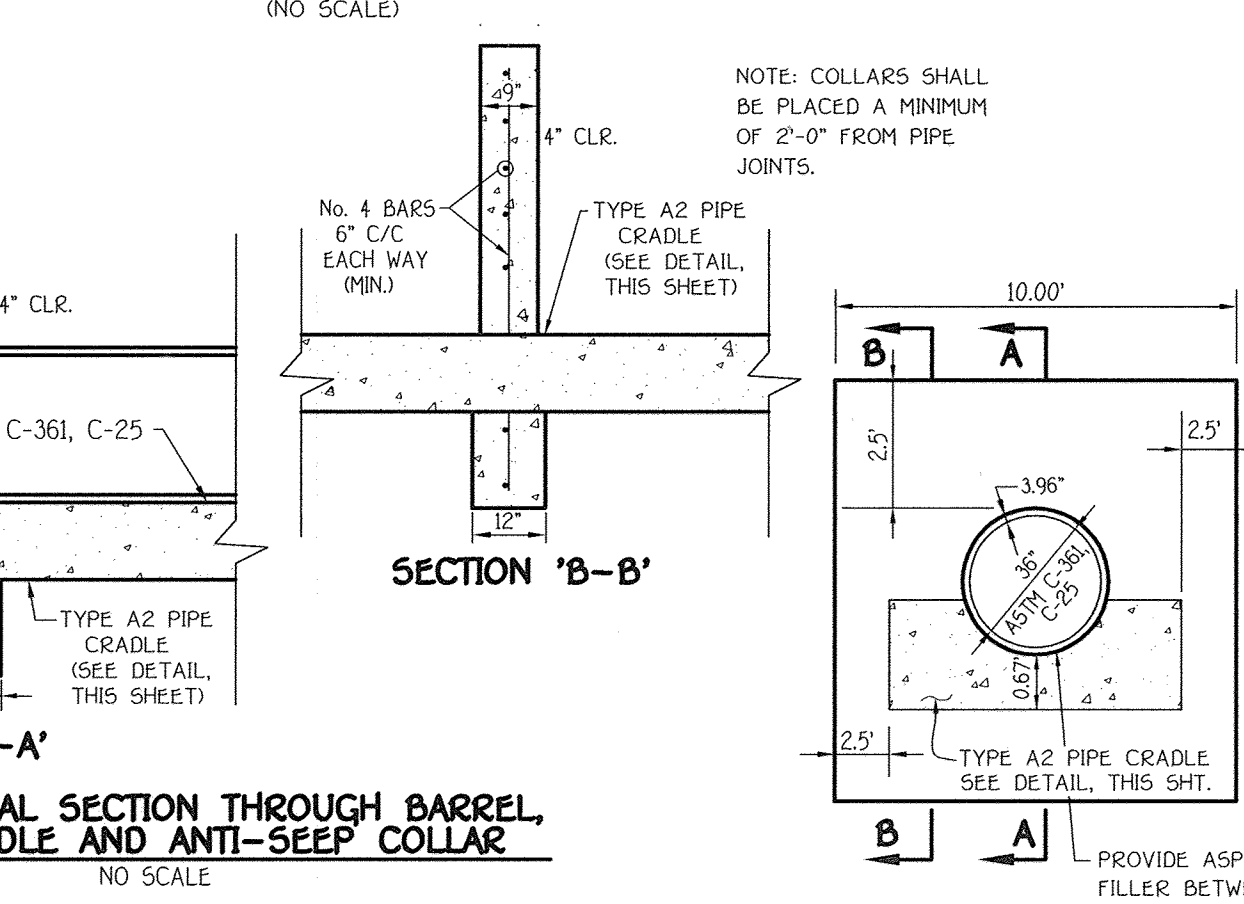
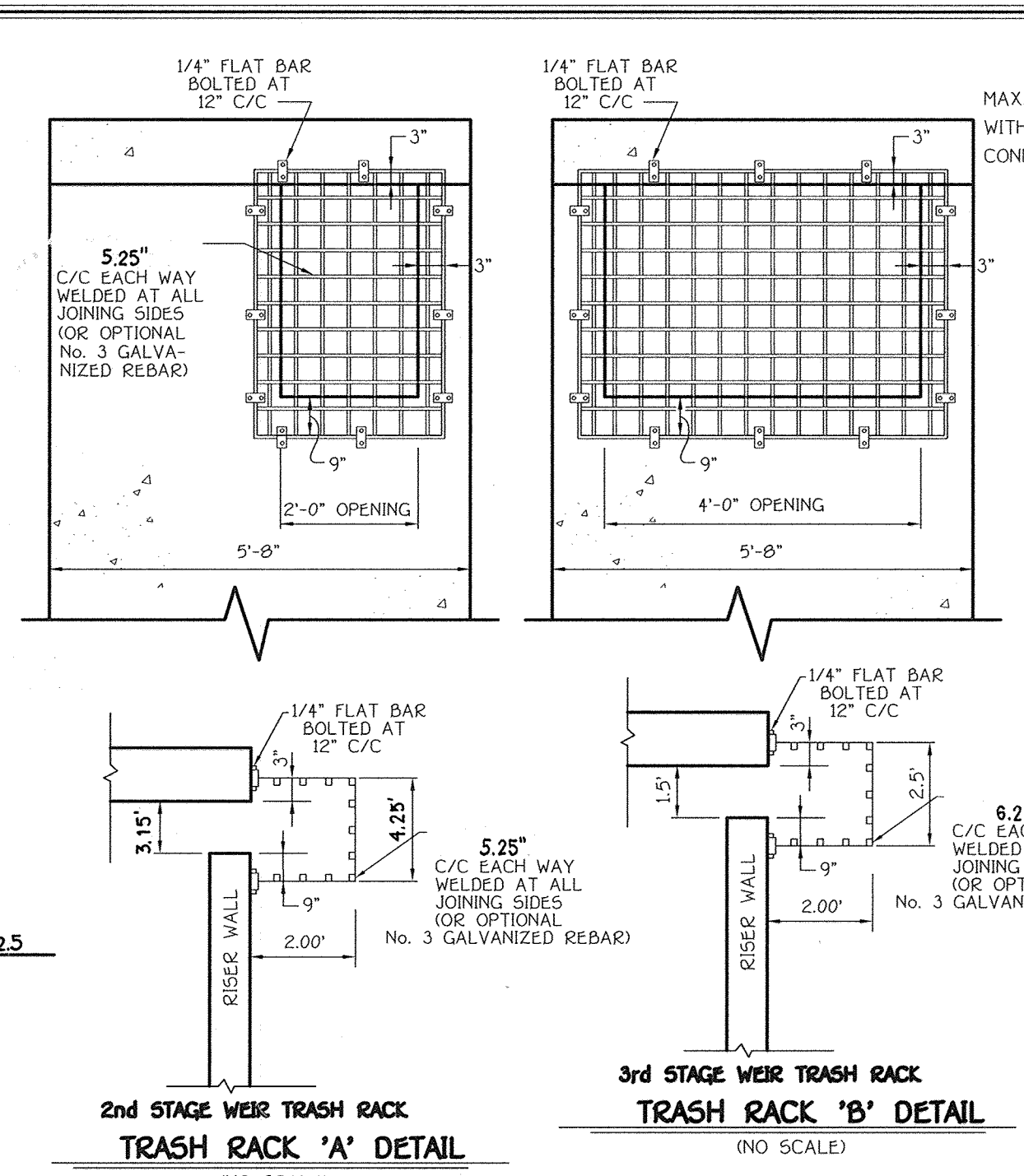
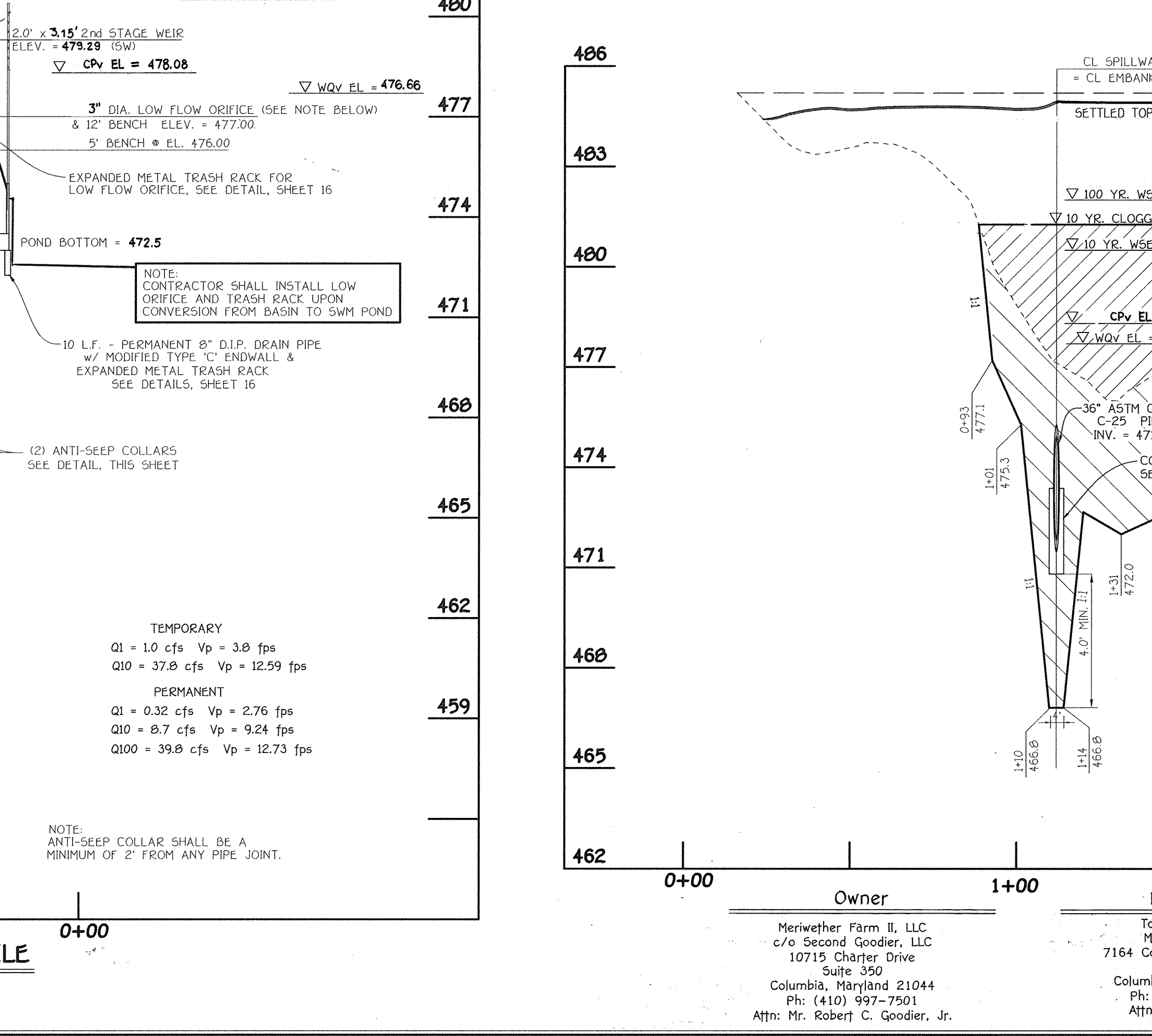
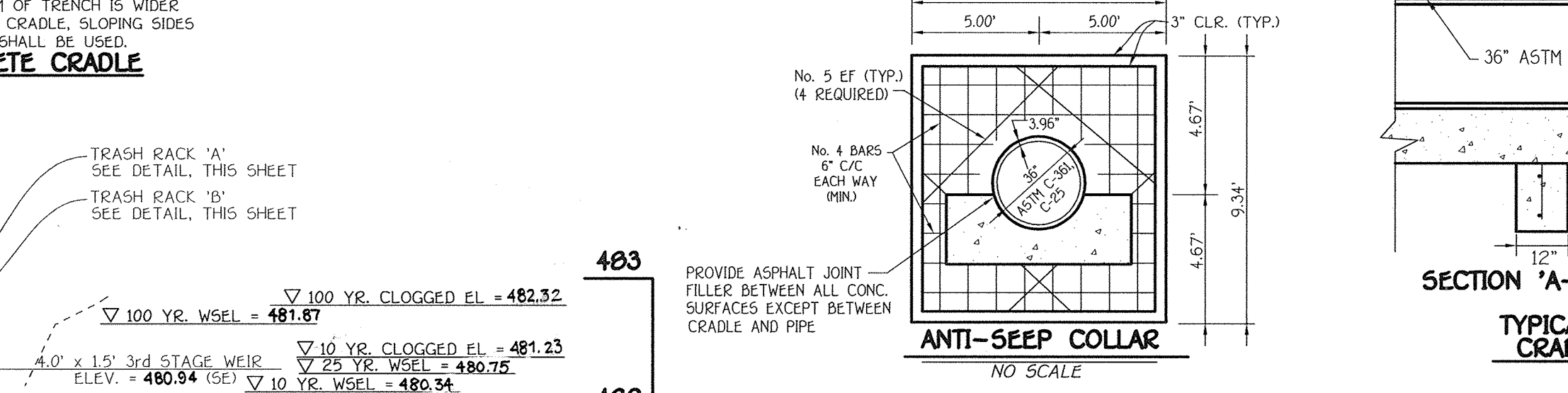
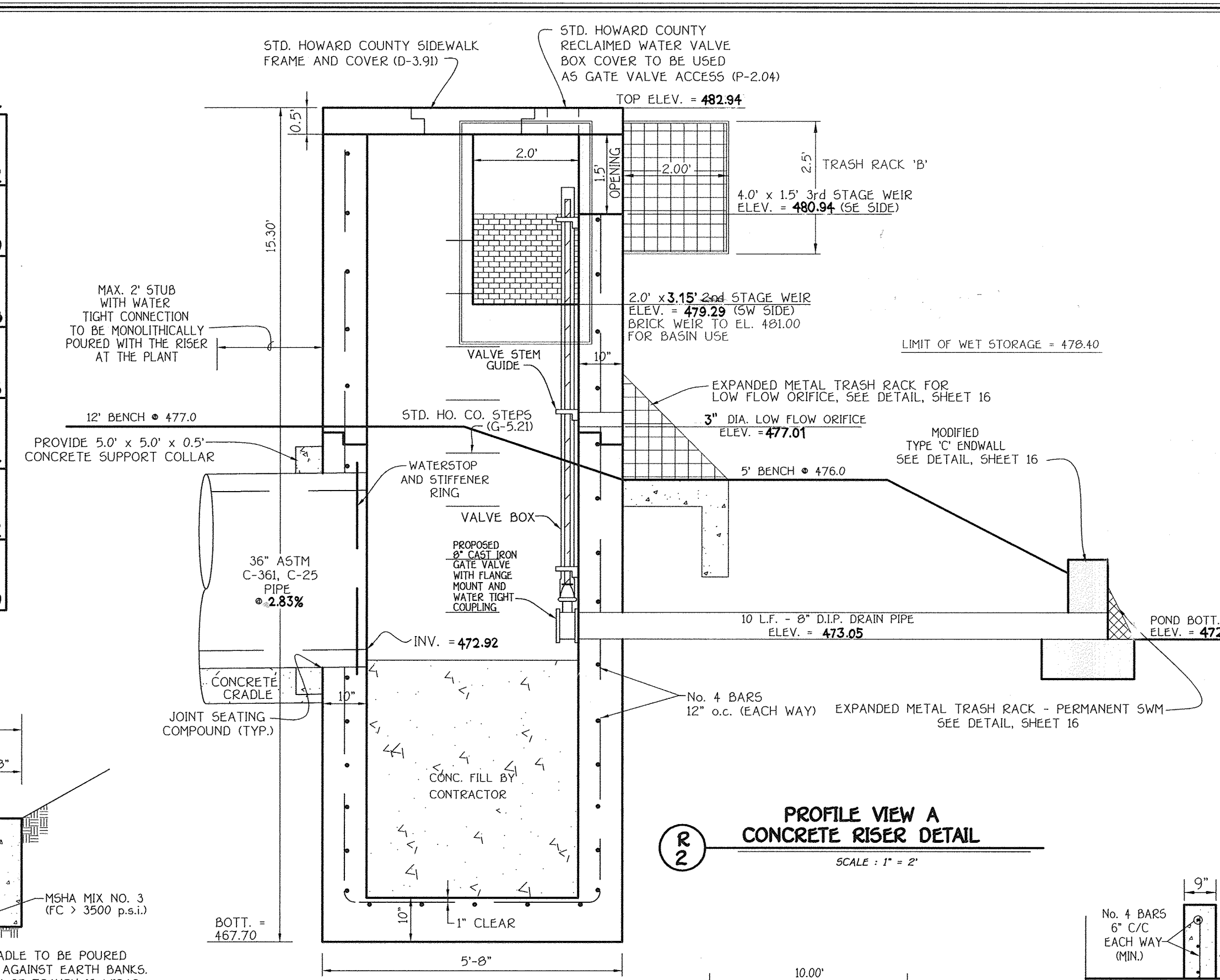
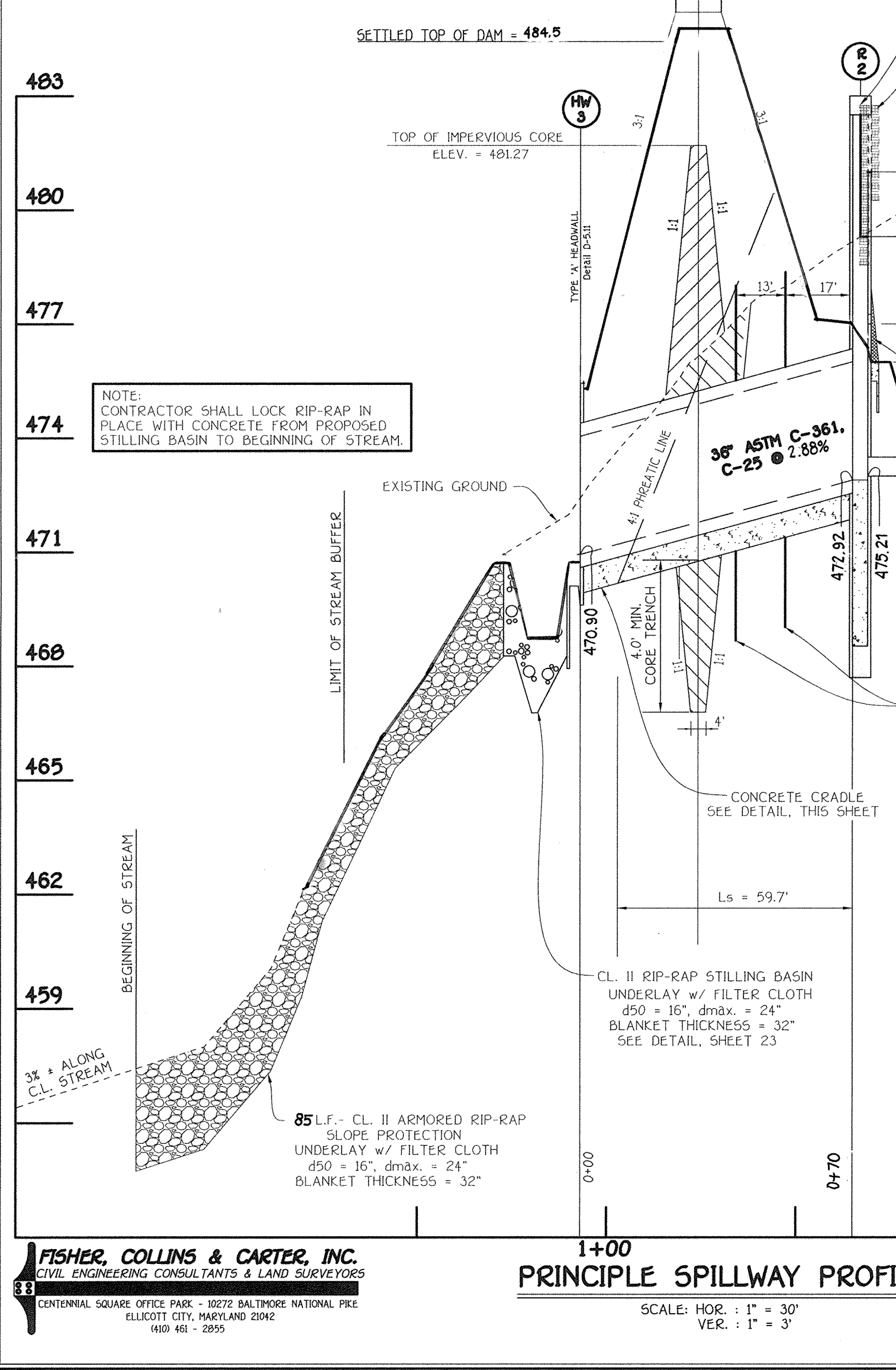
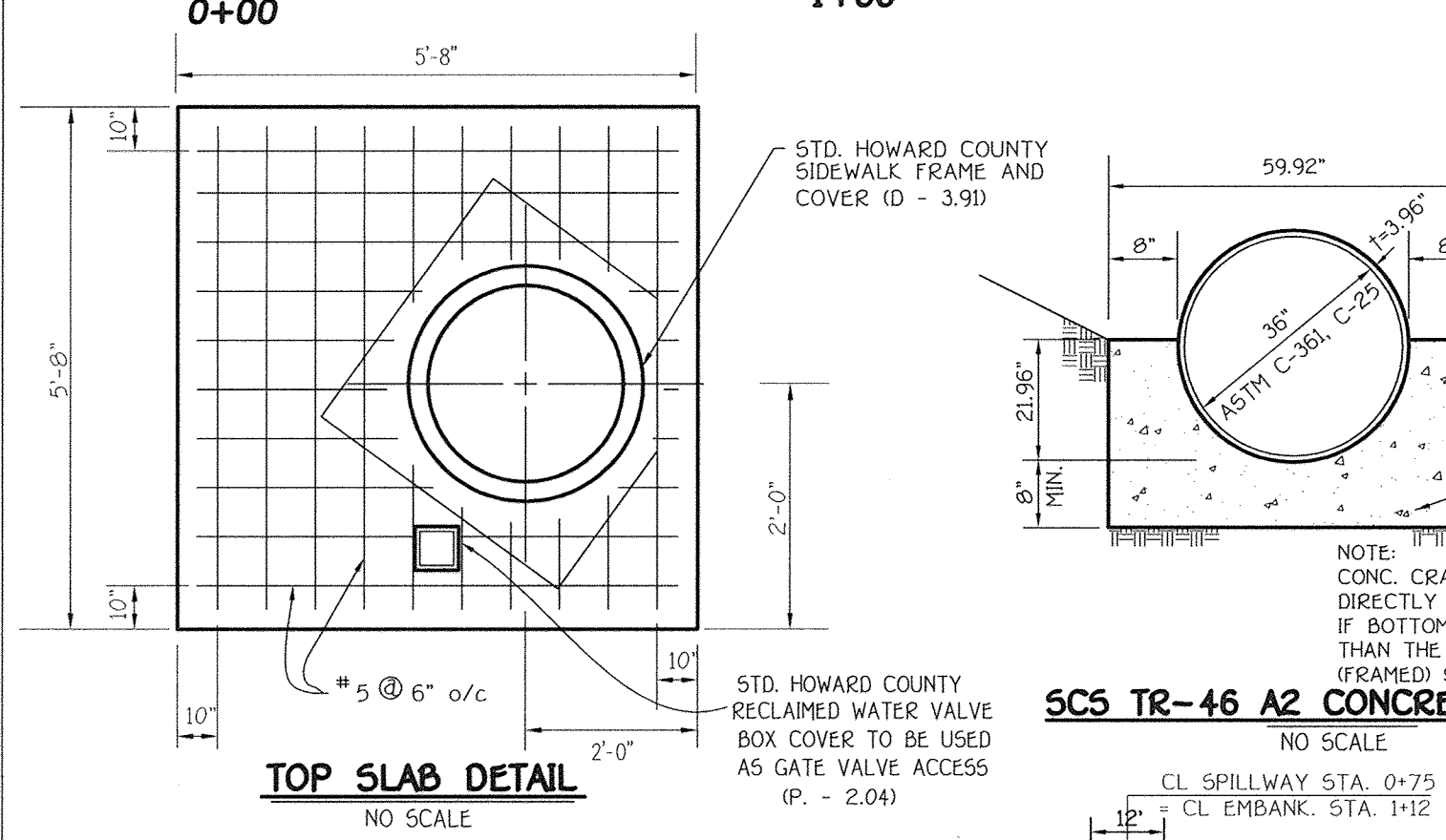
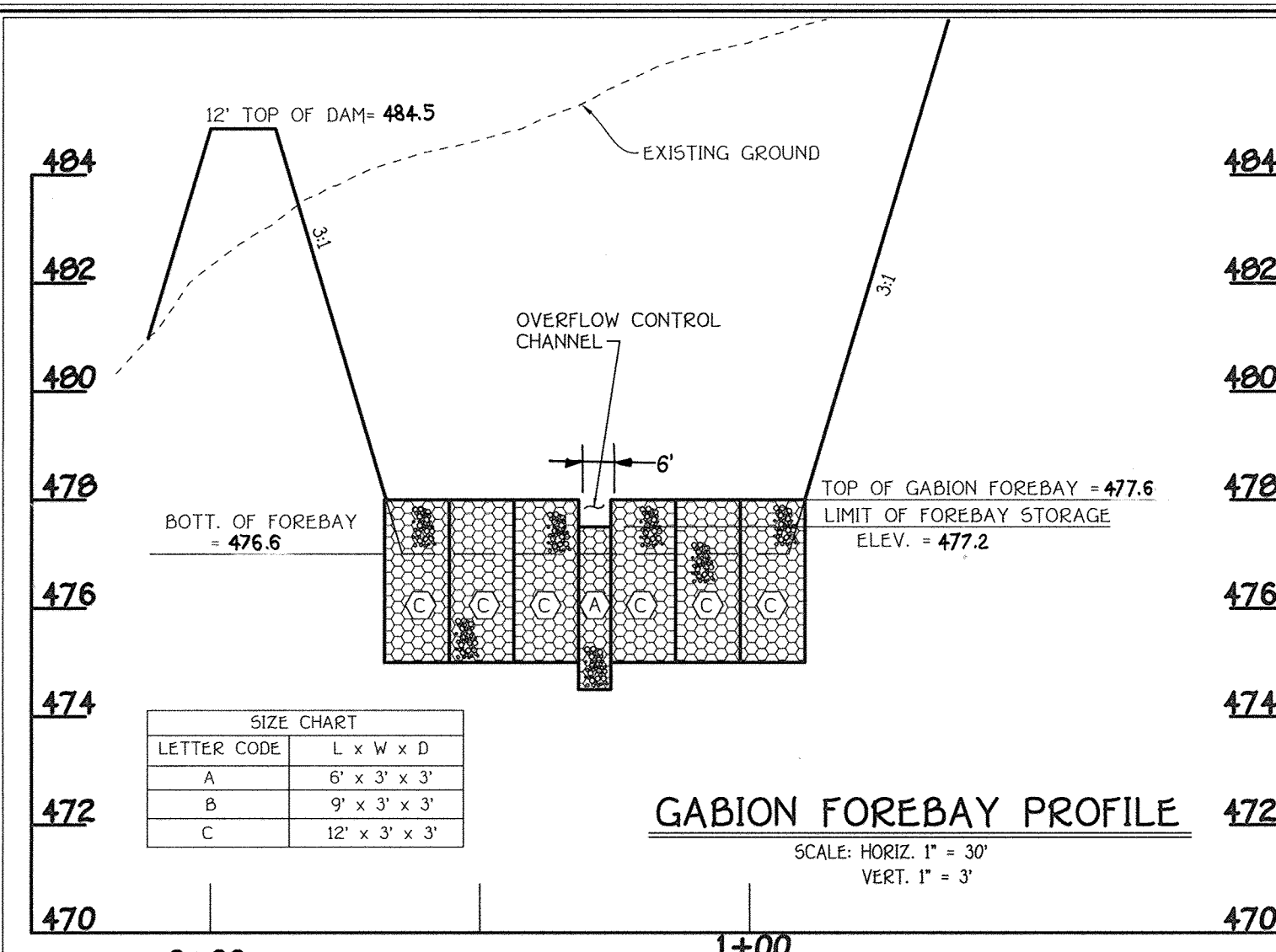


ALDO M. VITALE
DATE: 7-22-07
DATE: 7-22-07
Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11

By the Developer:
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance As A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Shall Engage A Registered Professional Engineer To Provide The Howard Soil Conservation District With An "As-Built" Plan Within 30 Days Of Completion.

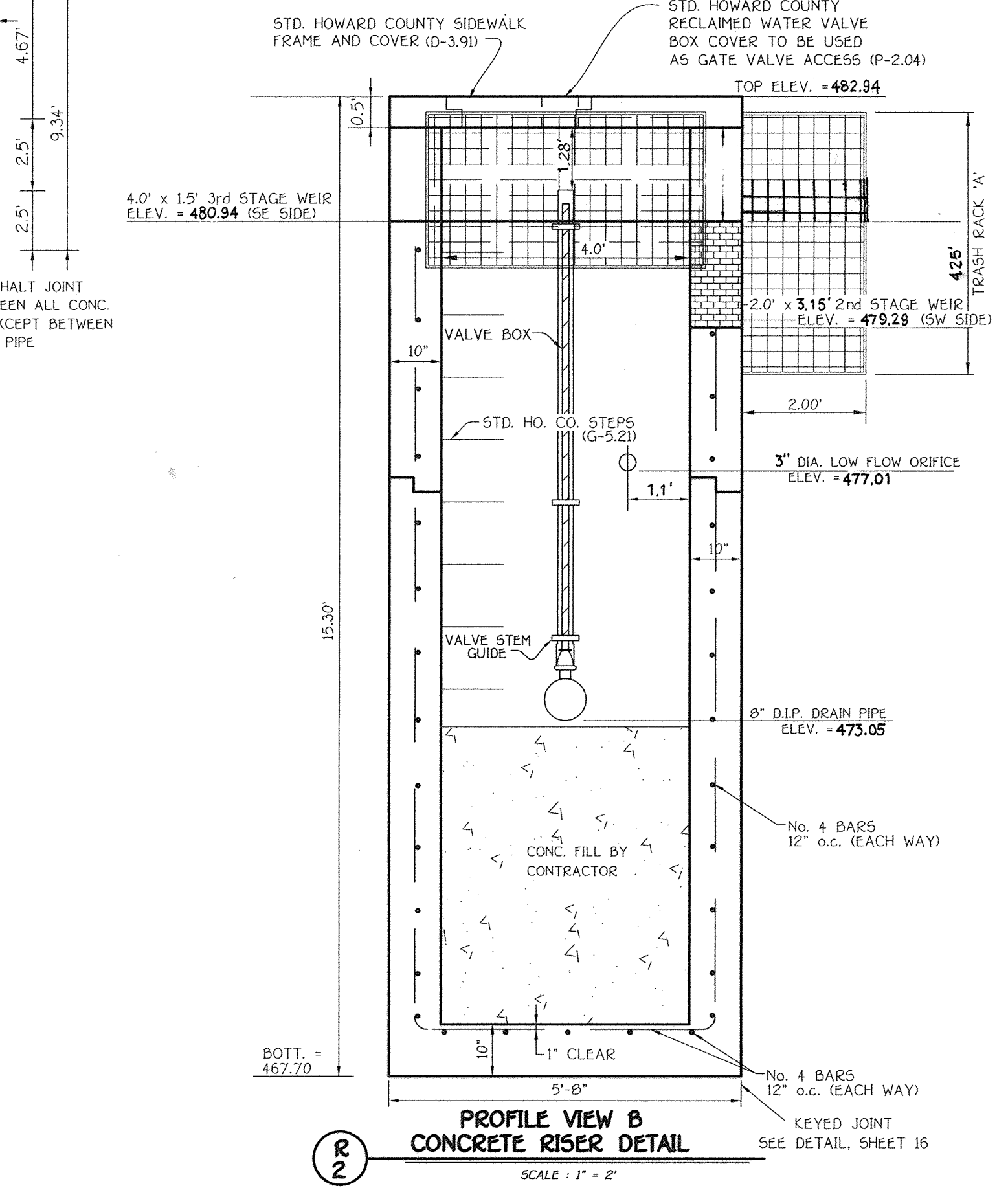
By the Engineer:
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Within 30 Days Of Completion.

Printed Name Of Developer: Robert C Goodier 9/24/11
Signature Of Developer: [Signature] 9/24/11
Signature Of Engineer: [Signature] 9/24/11
Printed Name Of Engineer: [Name] 9/24/11
Signature Of Howard Soil Conservation District: [Signature] 10/15/09
Signature Of Department Of Public Works: [Signature] 10-23-09
Signature Of Department Of Planning And Zoning: [Signature] 10-30-09
Signature Of Chief, Division Of Land Development: [Signature] 10/28/09
Signature Of Chief, Development Engineering Division: [Signature] 10/28/09



FOR ESE CONSULTANTS, INC.
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

NO.	REVISIONS	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11



ASBUILT

Professional Engineer I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.

DATE: 9-22-09

TAX MAP No. 21 ZONED: RC-DEC
PARCEL No. 28 GRID Nos: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 18 OF 30

By the Developer:
I/We Certify That All Development And/or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Licensed Professional Engineer To Supervise Pond Construction And Provide The Headed Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Shall Engage A Licensed Professional Engineer To Supervise The Headed Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Printed Name of Developer: Robert C Goodier
Date: 9/22/09

By the Engineer:
I Certify That I am a duly Licensed Professional Engineer and that I am a duly Licensed Professional Engineer Under the Laws of the State of Maryland, License No. 30781, Expiration Date 6/15/20.

Printed Name of Engineer: Robert C Goodier
Date: 9/22/09

Approved Department of Public Works
Chief, Bureau of Highways
Date: 10-23-09

Approved Department of Planning and Zoning
Chief, Bureau of Land Development
Date: 10-30-09

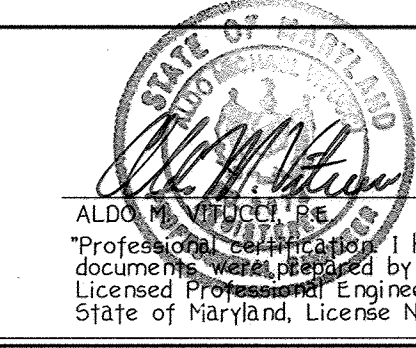
Approved Department of Planning and Zoning
Chief, Development Engineering Division
Date: 10/20/09

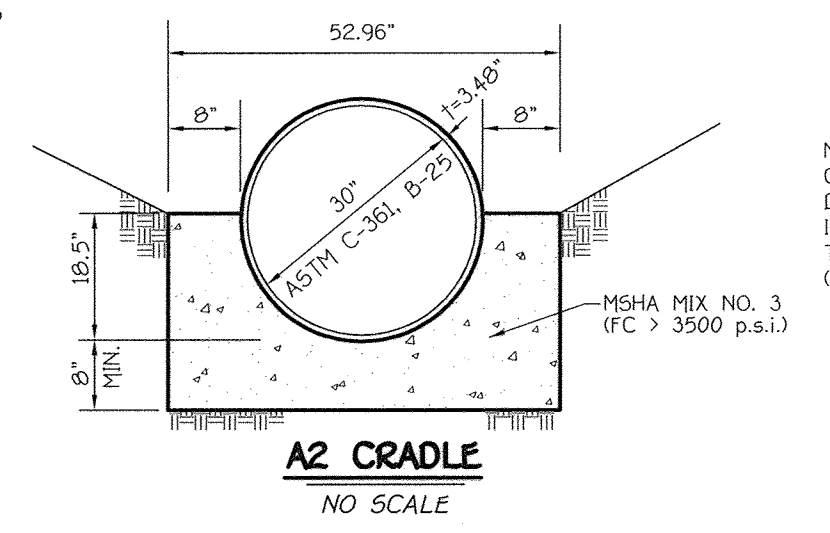
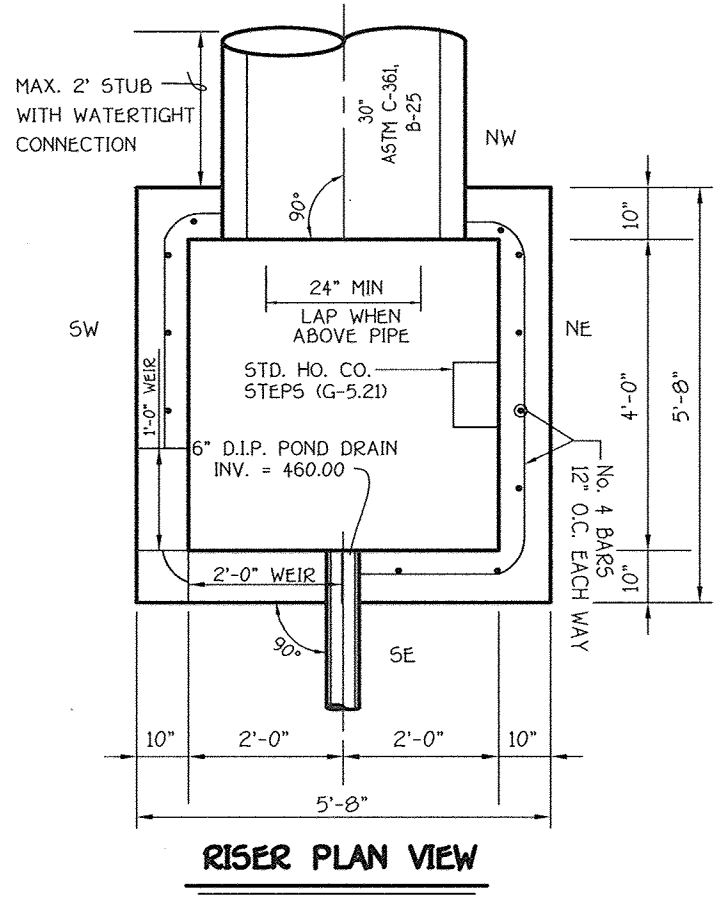
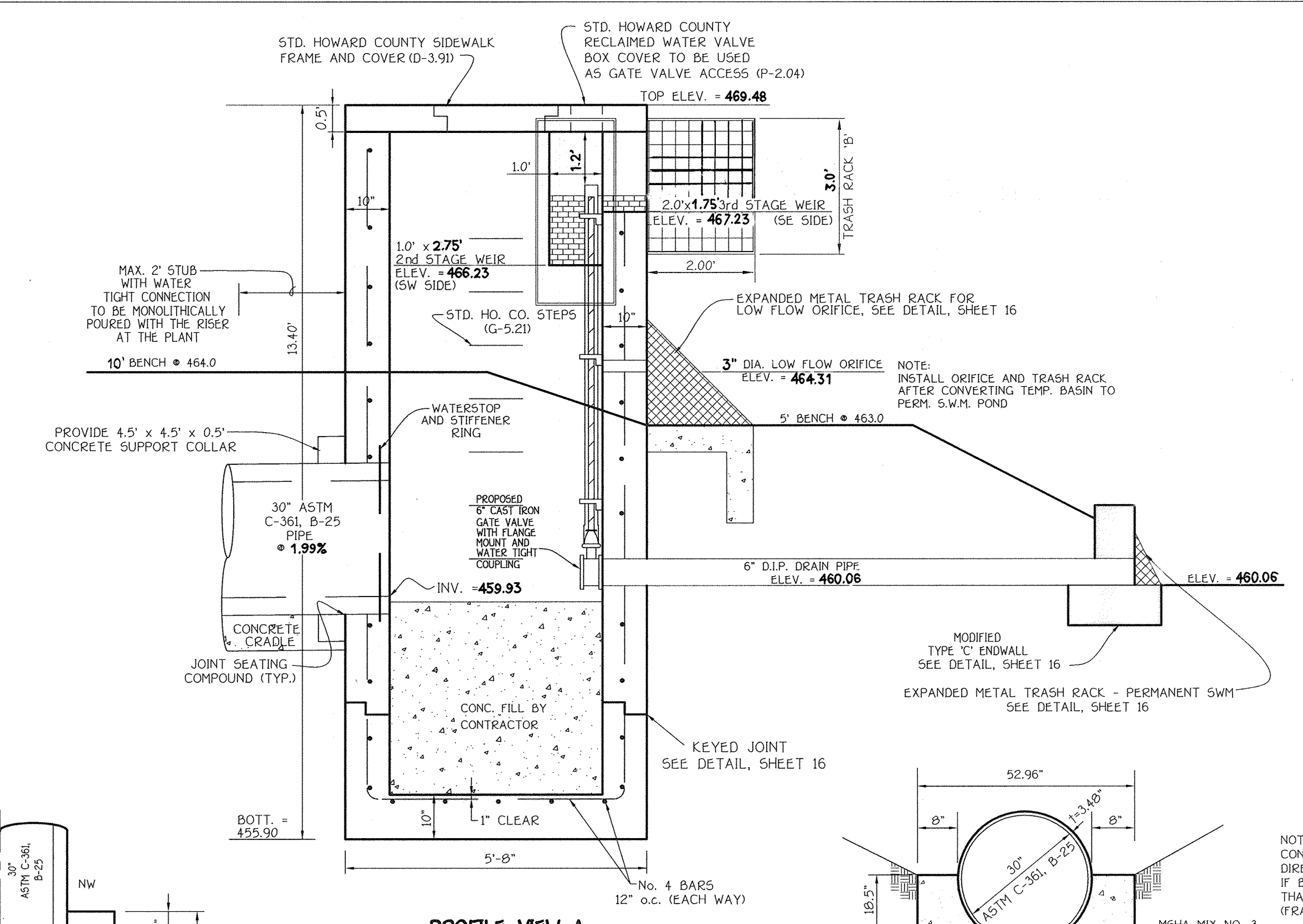
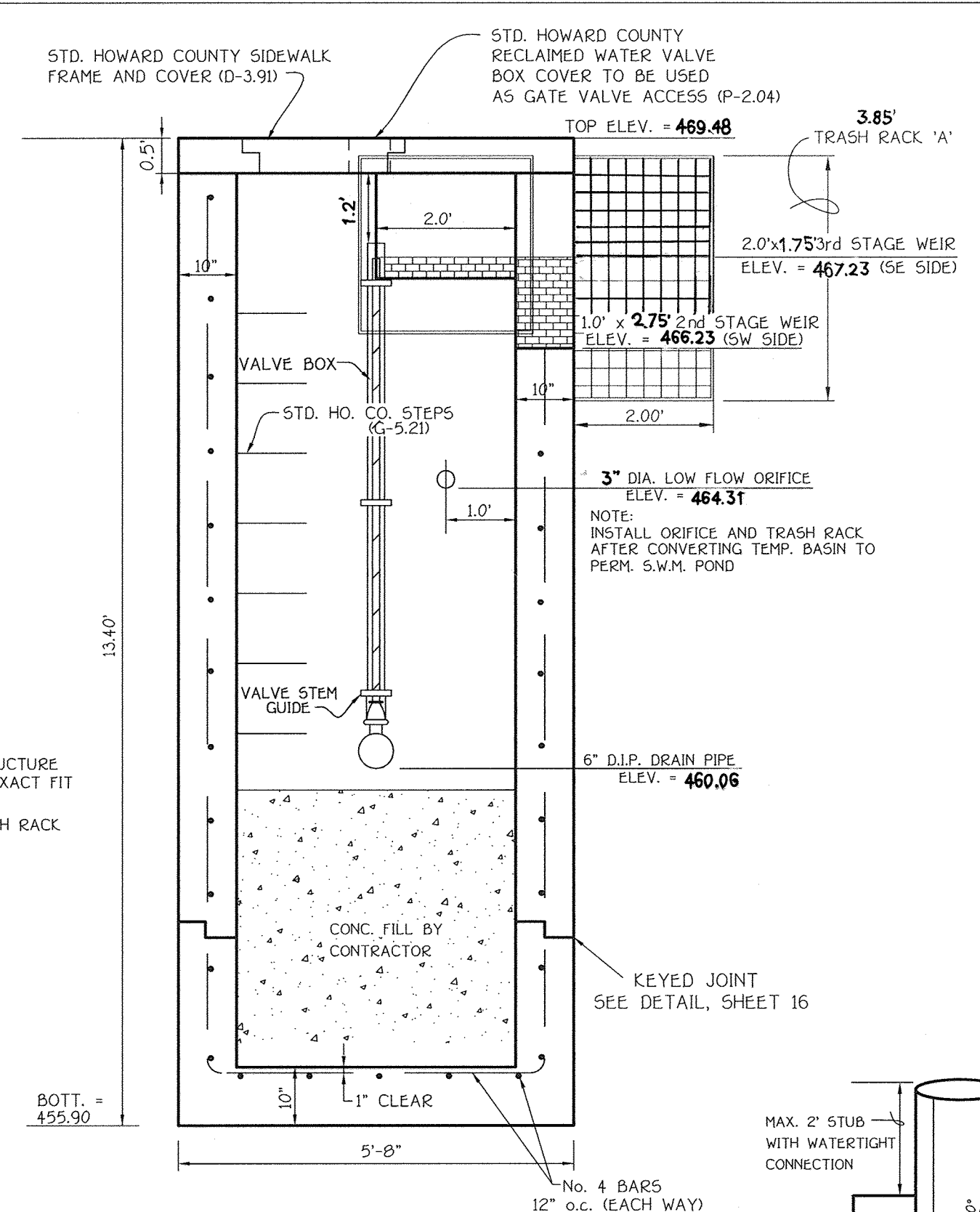
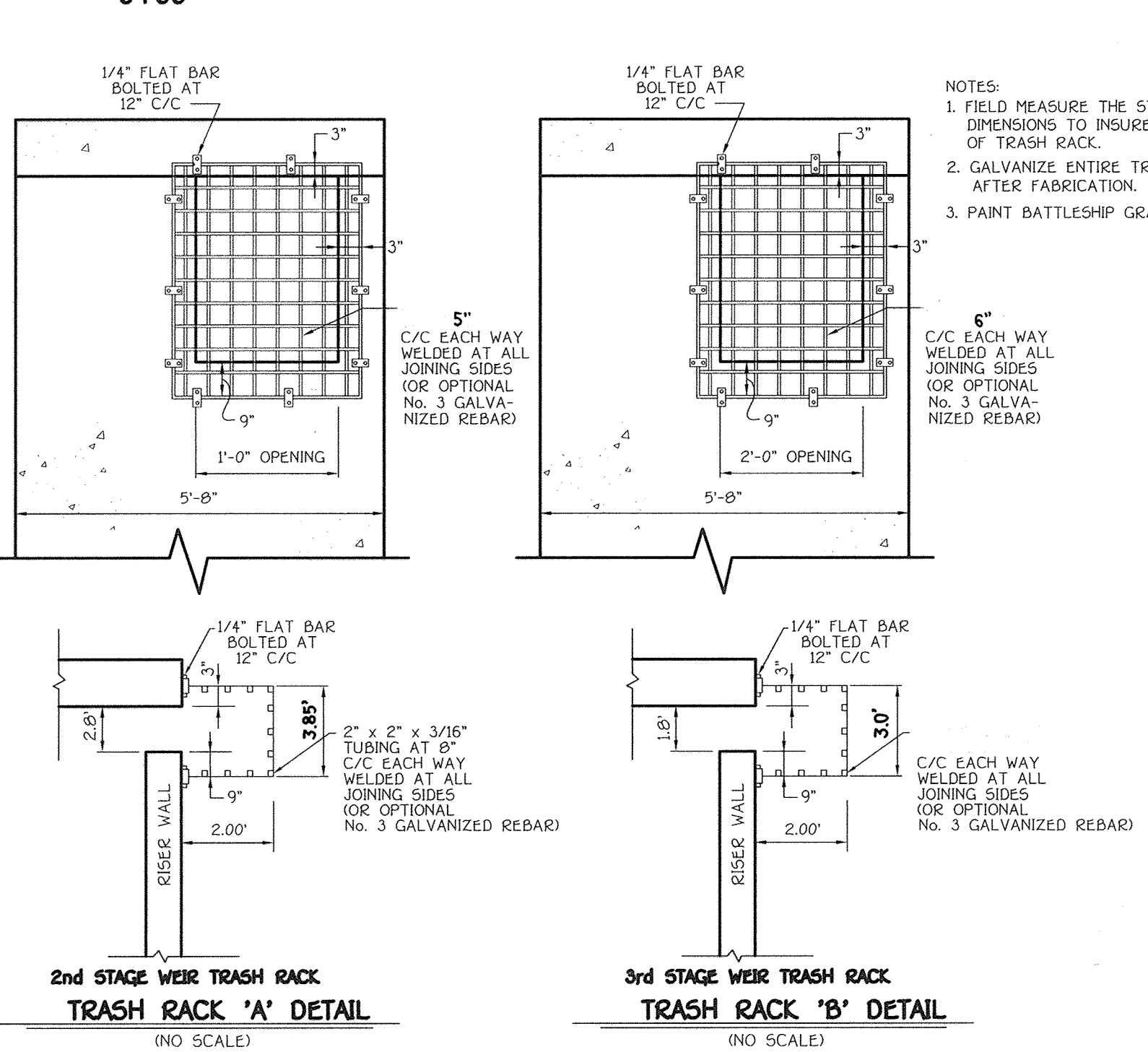
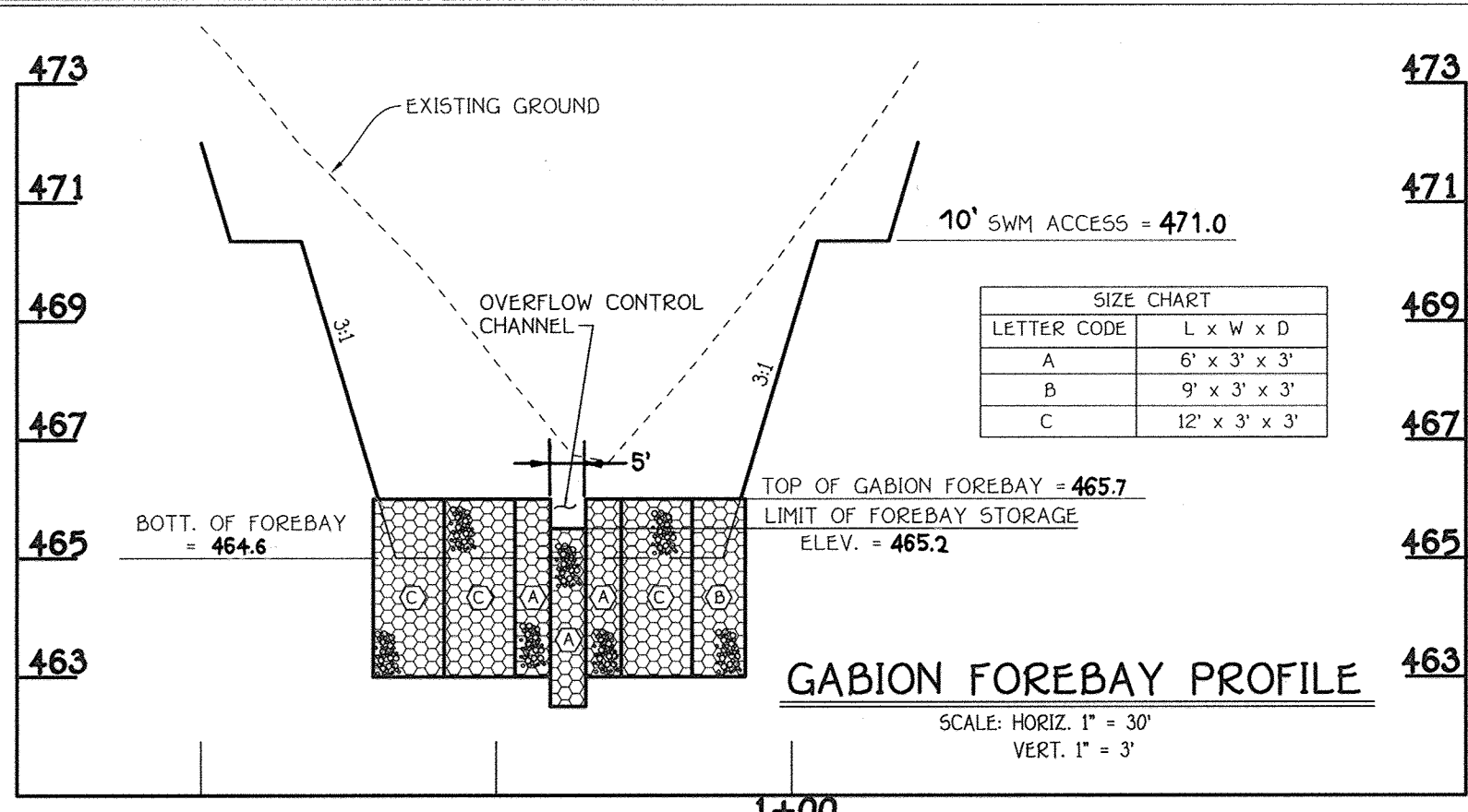


FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2855

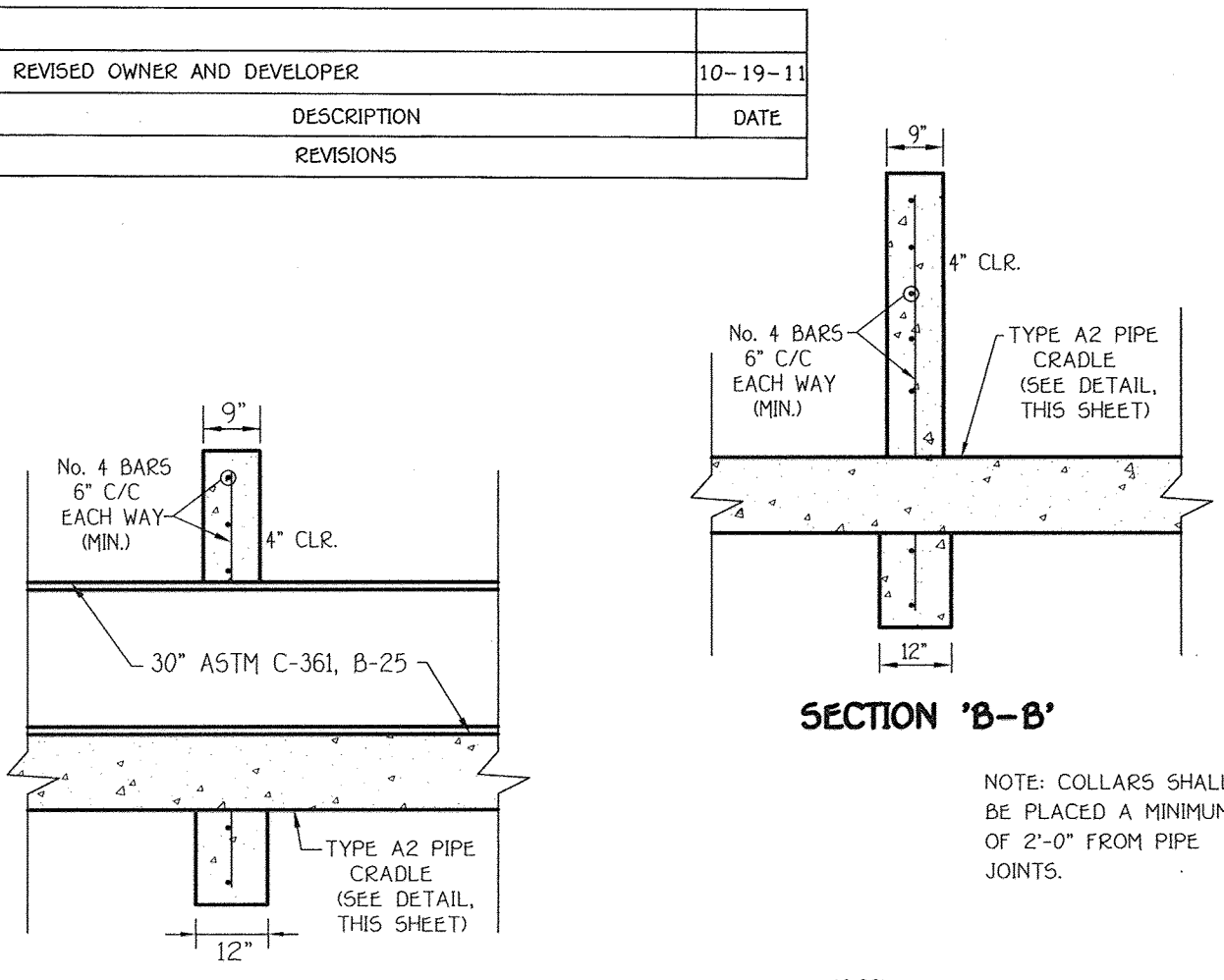
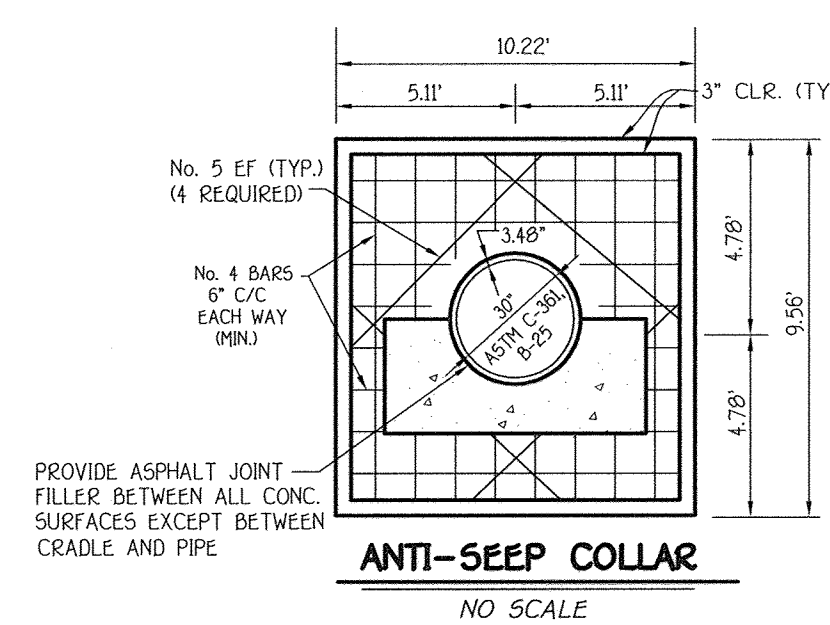
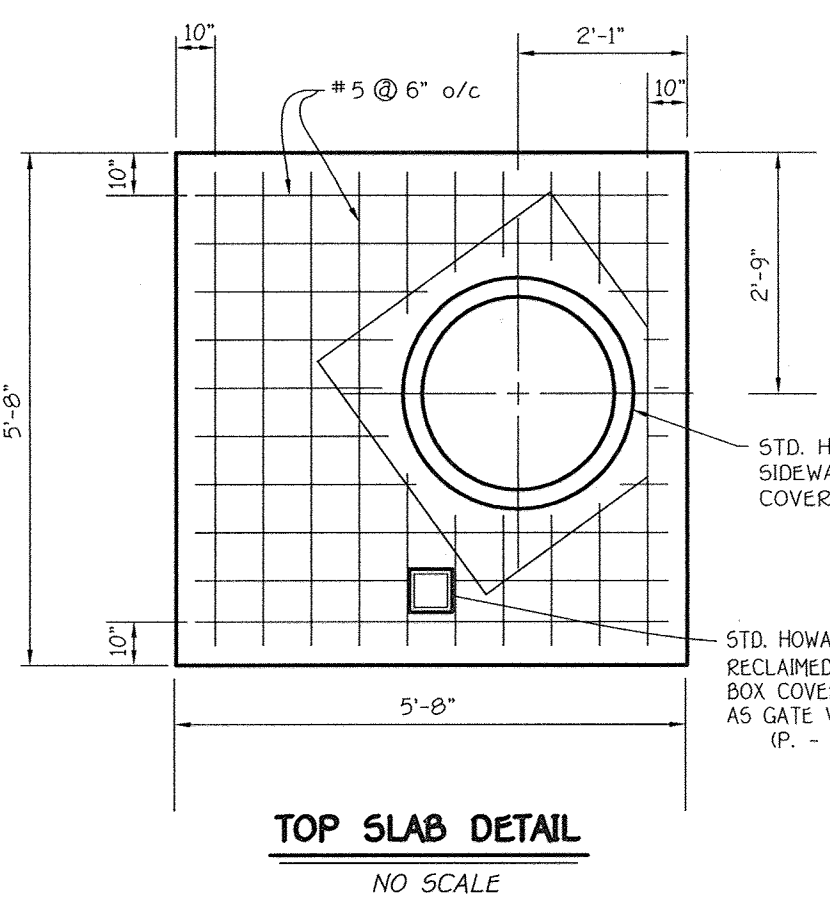
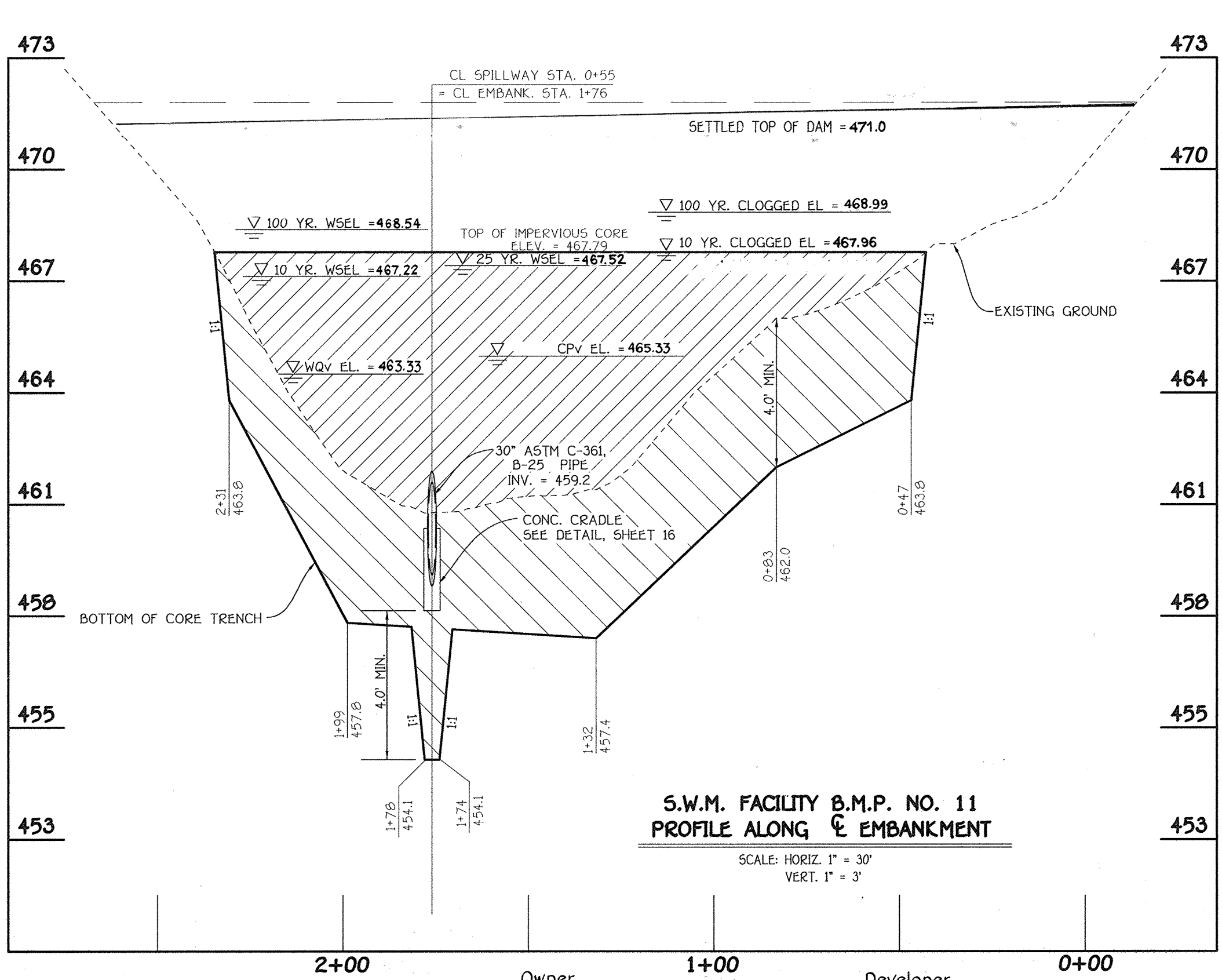
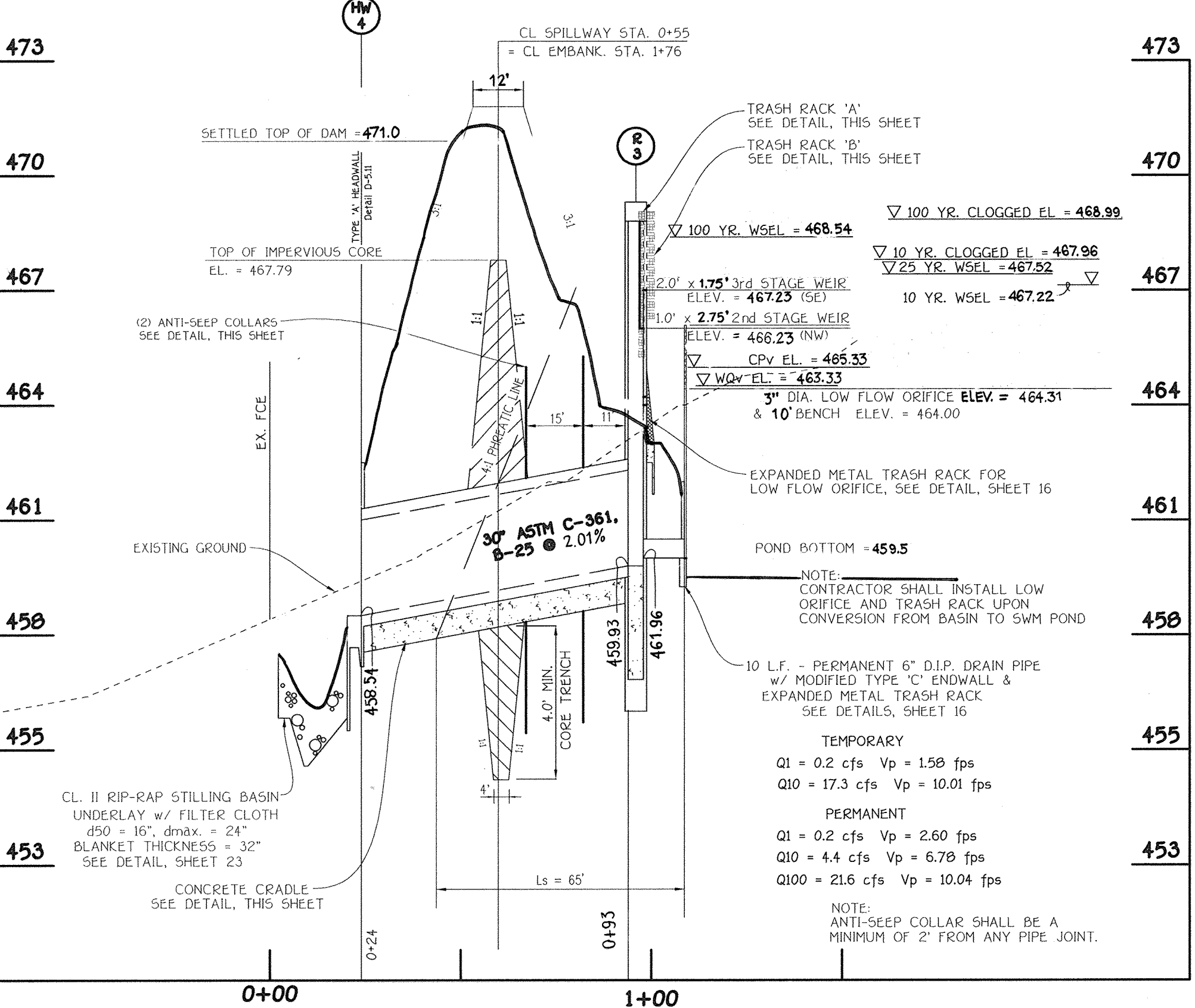
Owner
Meriwether Farm II, LLC
c/o Second Goodier, LLC
10715 Charter Drive
Suite 350
Columbia, Maryland 21044
Ph: (410) 997-7501
Attn: Mr. Robert C. Goodier, Jr.

Developer
Toll Brothers, Inc.
Maryland Division
7164 Columbia Gateway Drive
Suite 230
Columbia, Maryland 21046
Ph: (410) 997-7501
Attn: Mr. Jeff Driscoll





NO.	REVISIONS	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11



FORMWATER MANAGEMENT NOTES AND DETAILS
(B.M.P. No. 11, POND No. 4/BASIN No. 3)

MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No. 21 PARCEL No. 29 GRID Nos. 15, 16, 21 & 22
ZONED RD-20
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 19 OF 30

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PARK
ELK GORT CITY, MARYLAND 21042
(410) 465-2955

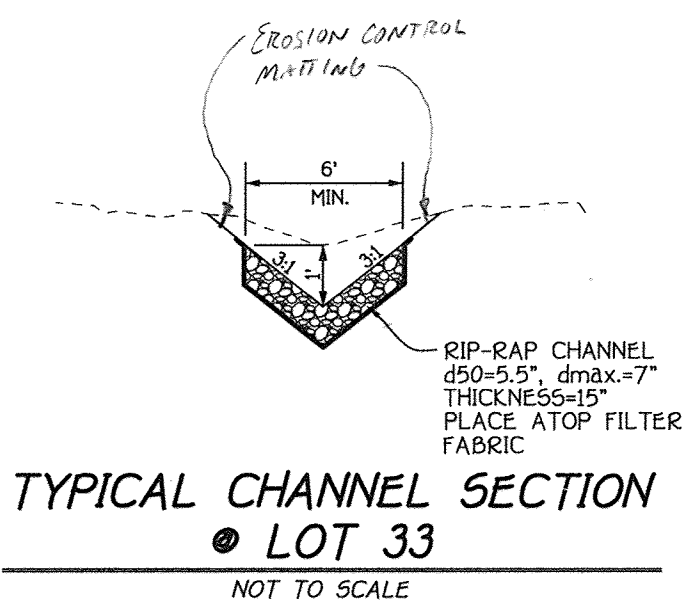
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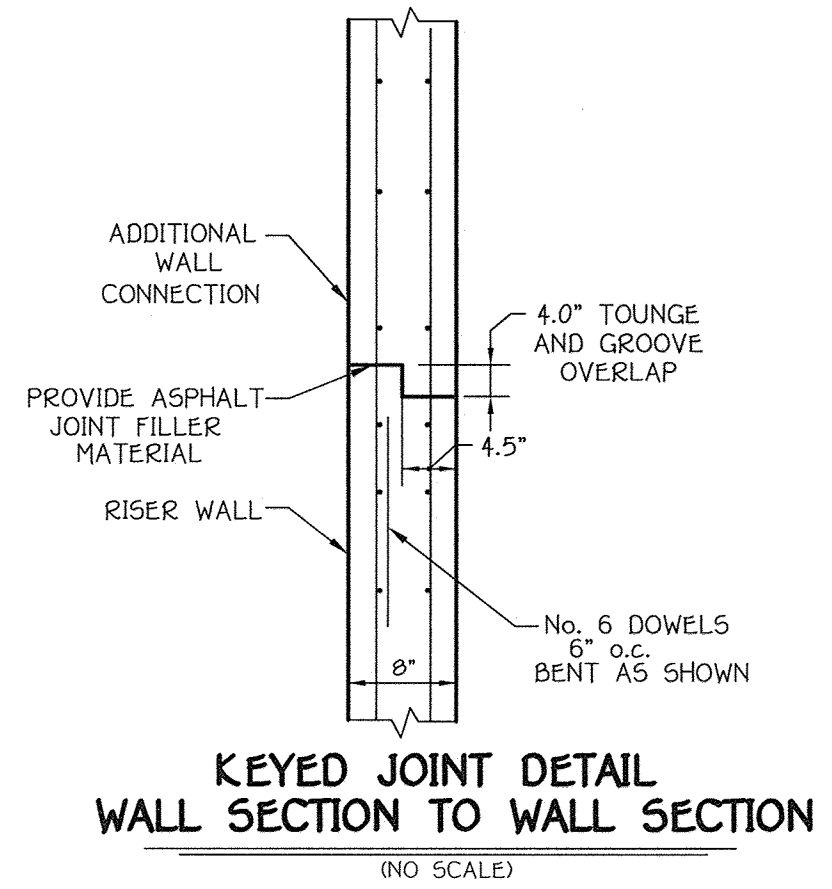
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

DATE: 9/22/09

ASBUILT



10-YR. Q	SLOPE	DEPTH	n VALUE	SIDE SLOPE	AREA	WETTED PERIMETER	COMP. Q	VELOCITY	CONDITION
3.48 cfs	12.97%	0	0.033	3:1	0.61 sf	2.85'	3.52 cfs	5.79 fps	COARSE GRAVEL



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND JOINTLY MAINTAINED STORMWATER MANAGEMENT FACILITIES

- ROUTINE MAINTENANCE**
- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
 - Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
 - Debris and litter shall be removed during regular mowing operations and as needed.
 - Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.
- NON-ROUTINE MAINTENANCE**
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
 - Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

By The Developer:

I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Shall Also Provide On-Site Inspections By The Howard Soil Conservation District.

Signature: *Robert C Goodier* Date: 9/24/19

Printed Name Of Developer: Robert C Goodier

By The Engineer:

I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature: *[Signature]* Date: 9/22/09

Printed Name Of Engineer: [Name]

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *[Signature]* Date: 10/15/09

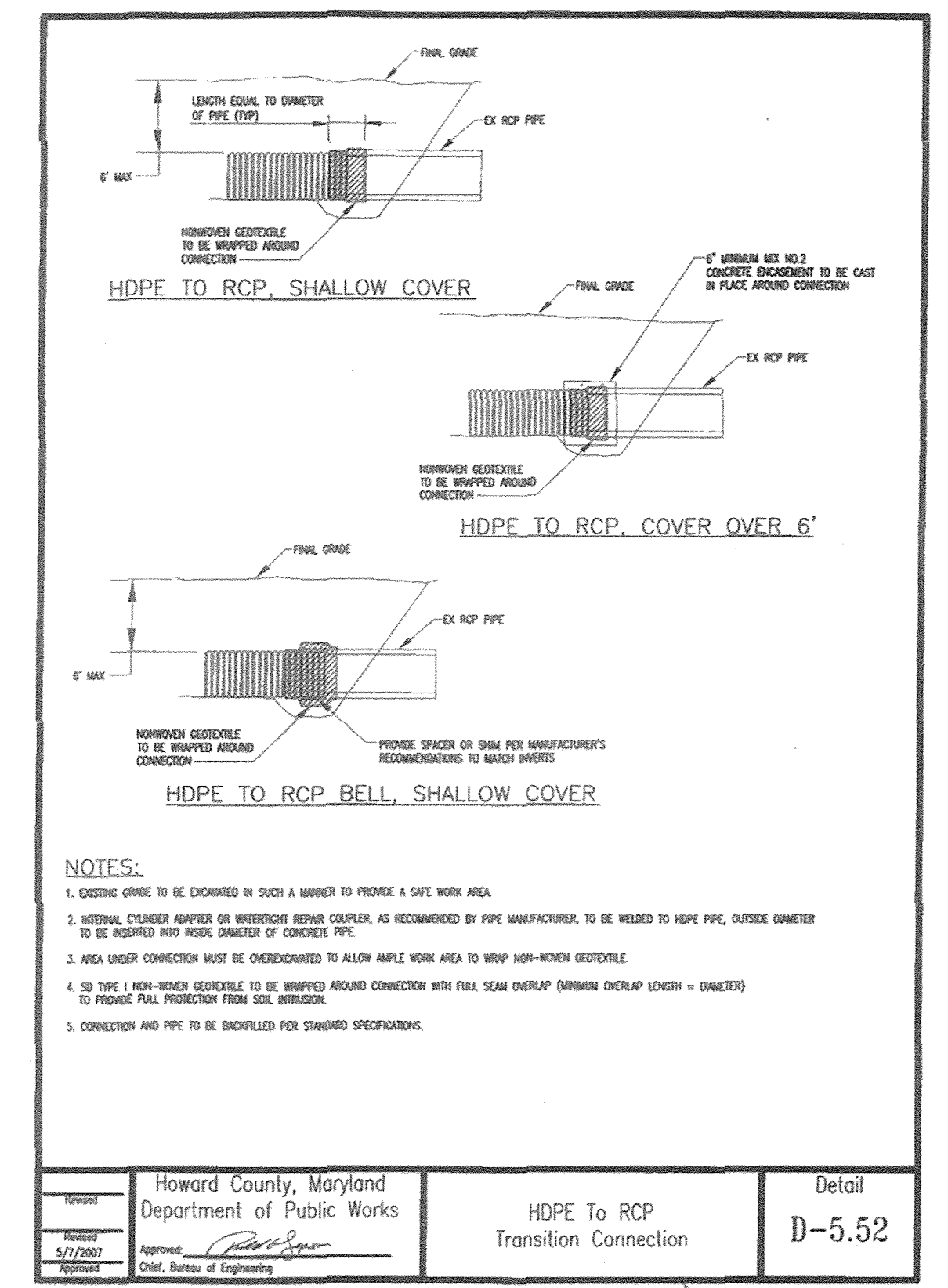
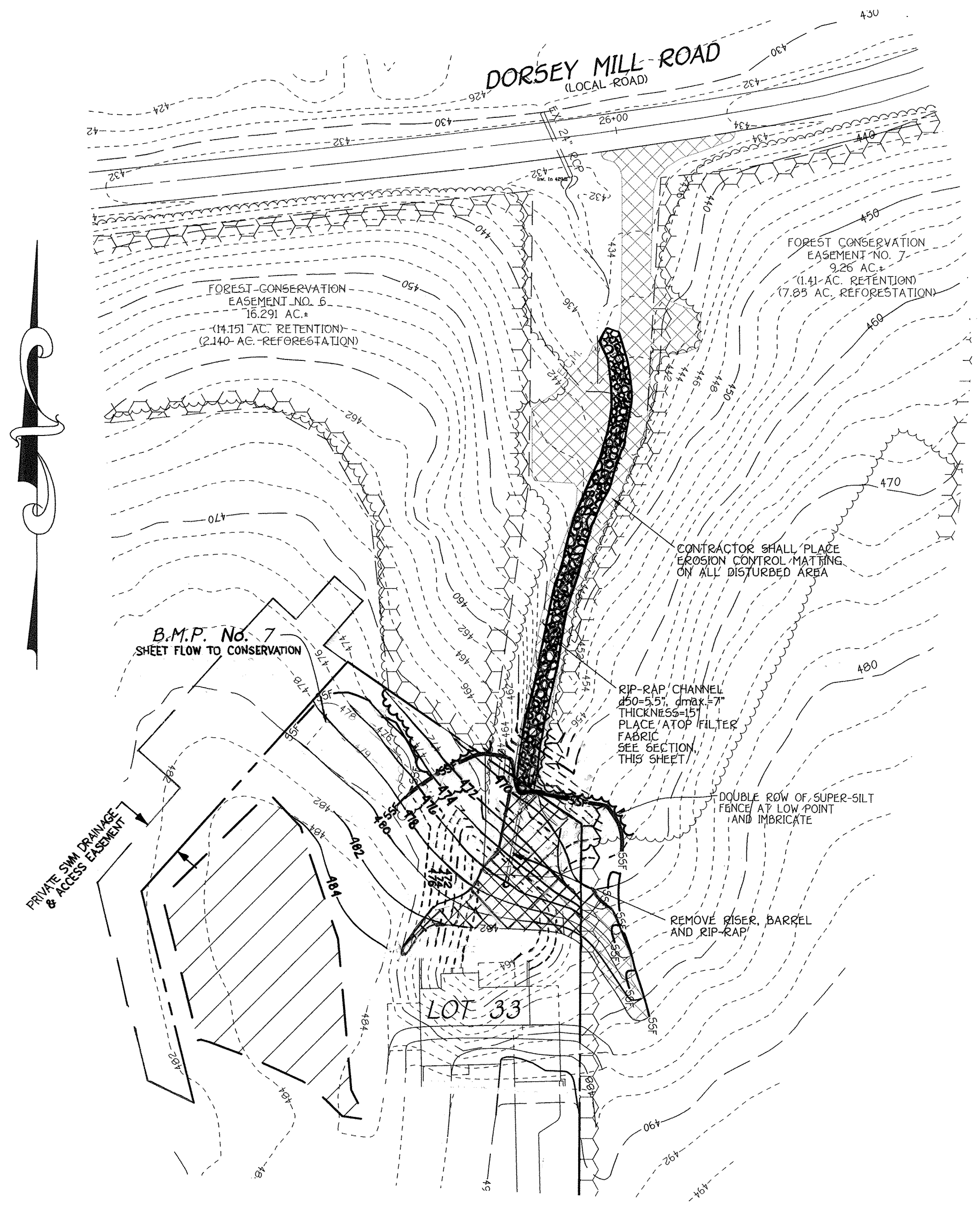
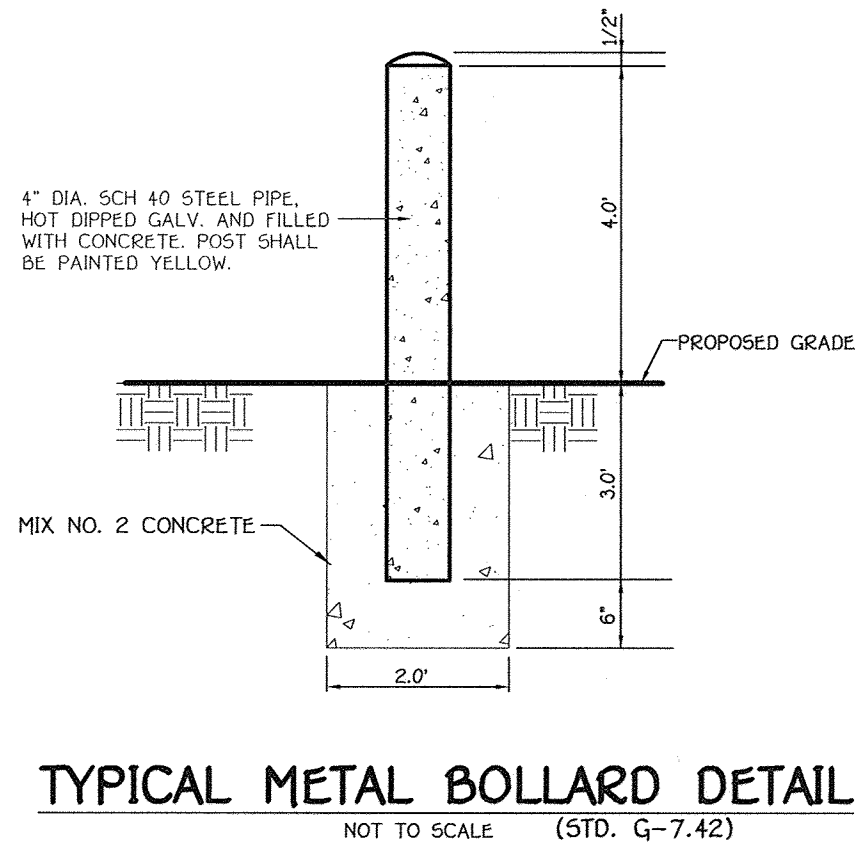
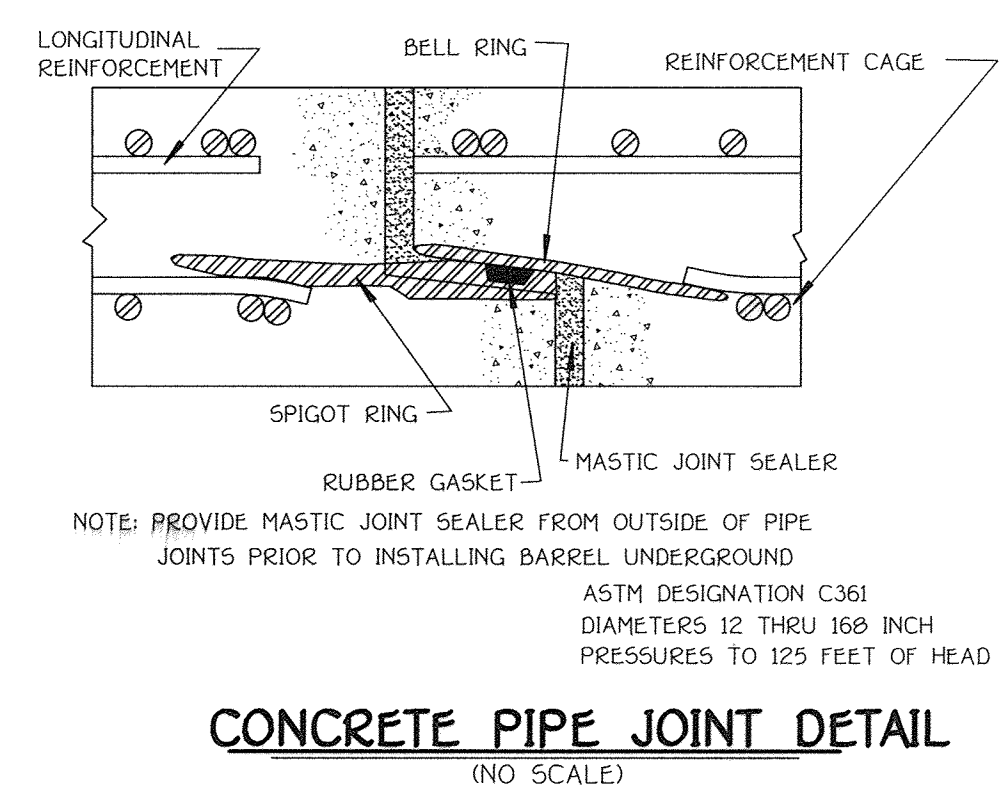
Approved Department Of Public Works: [Signature] Date: 10-23-09

Chief, Bureau Of Highways: [Signature]

Approved Department Of Planning And Zoning: [Signature] Date: 10-30-09

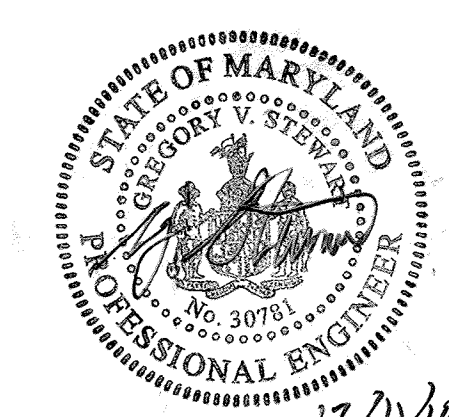
Chief, Division Of Land Development: [Signature]

Chief, Development Engineering Division: [Signature] Date: 10/28/09



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
ELICOTT CITY, MARYLAND 21042
410.461.2855

NO.	DESCRIPTION	DATE
2	REV. MERIWETHER DR. CEP & SWM ON LOTS 26-27, 30 & 33-34	2/28/17
1	REVISED OWNER AND DEVELOPER	10-19-11
	REVISIONS	



FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/13/20.

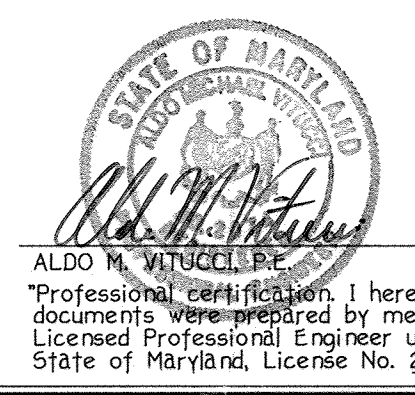
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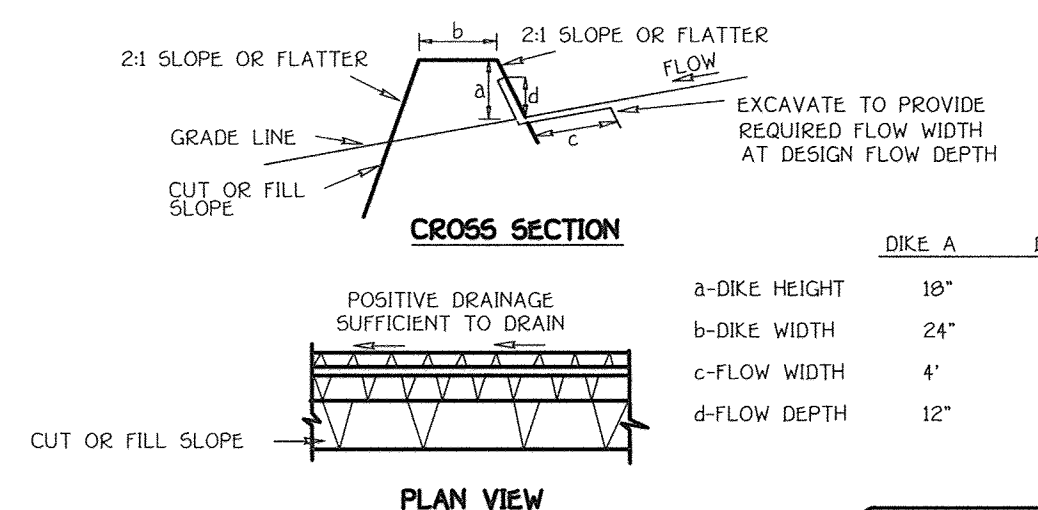


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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.



ALDO M. VITUCCI, DATE: 9/22/07
Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.



	DIKE A	DIKE B
a-DIKE HEIGHT	18"	30"
b-DIKE WIDTH	24"	36"
c-FLOW WIDTH	4'	6'
d-FLOW DEPTH	12"	24"

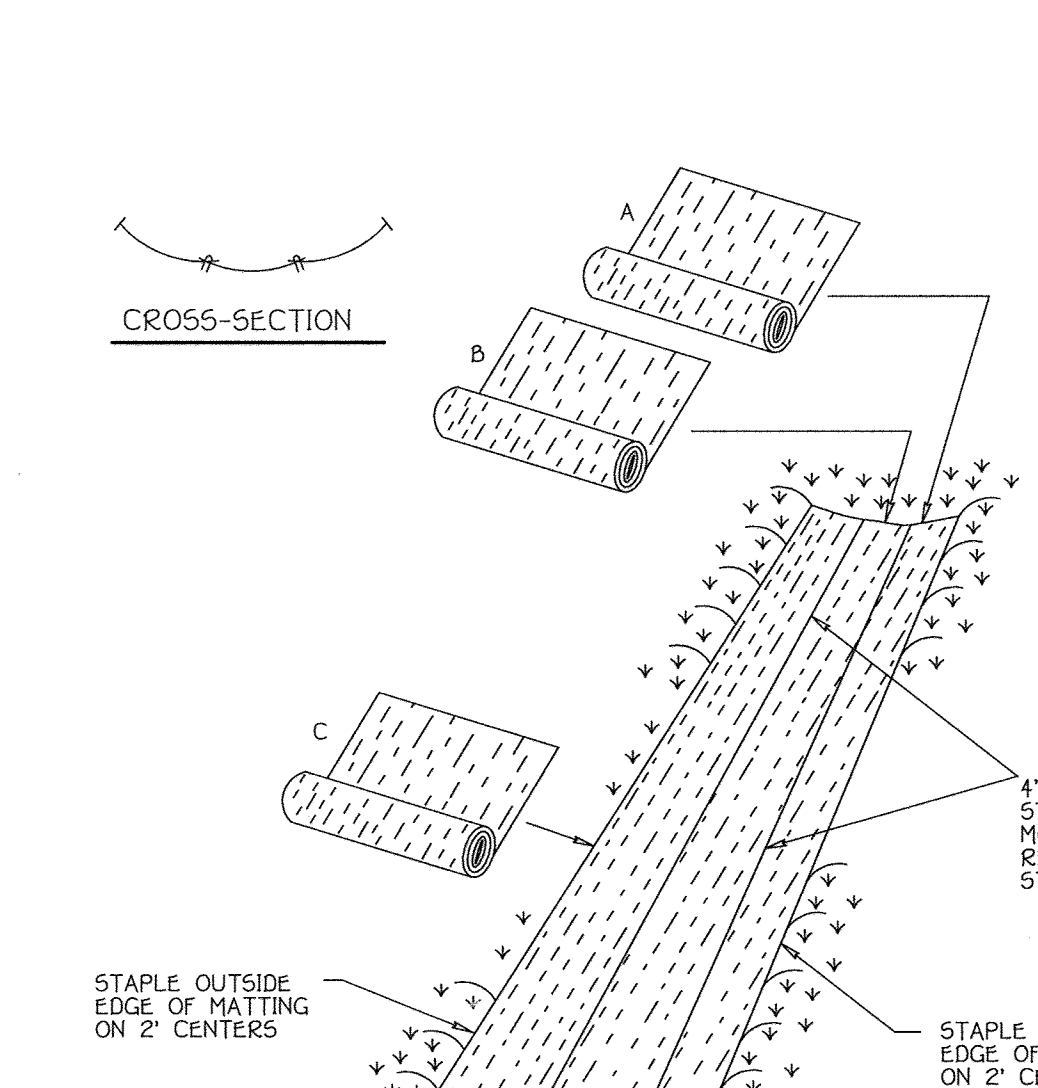
1. Seed and cover with straw mulch.
2. Seed and cover with Erosion Control Matting or line with sod.
3. 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum.

Construction Specifications

1. All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
4. All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
5. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
6. Fill shall be compacted by earth moving equipment.
7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
8. Inspection and maintenance must be provided periodically and after each rain event.

EARTH DIKE

NOT TO SCALE



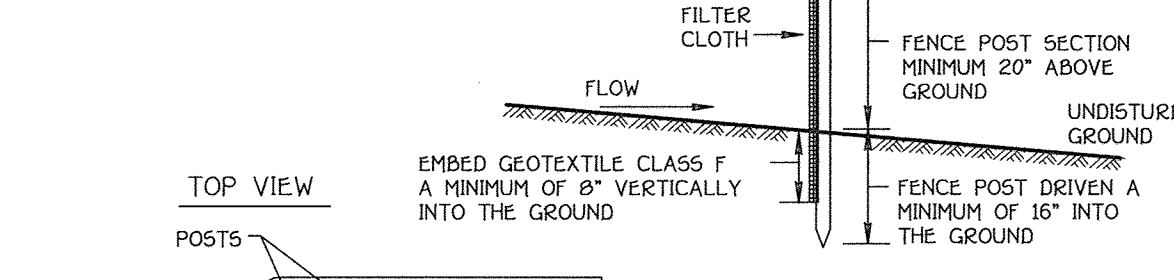
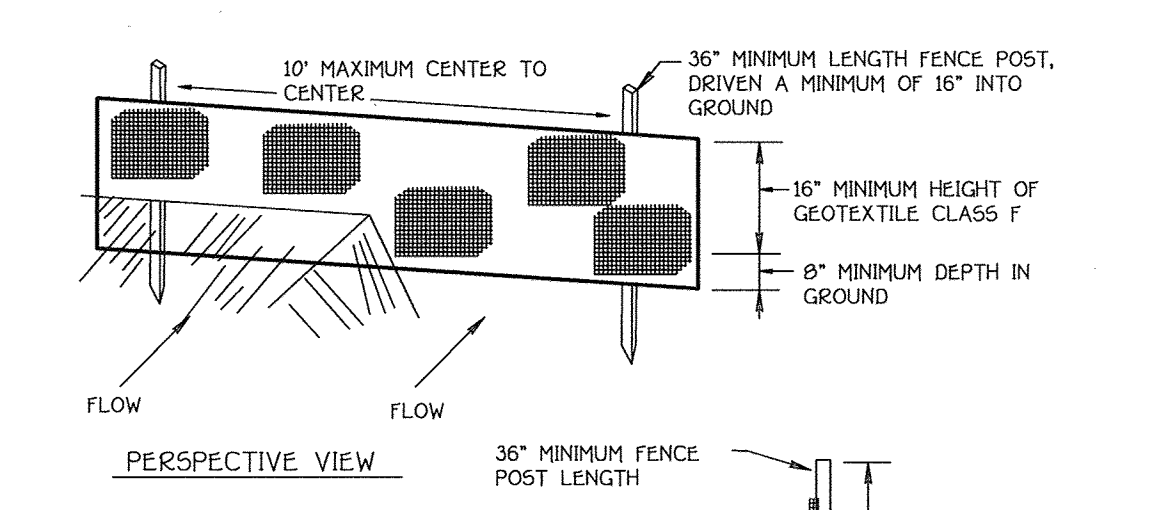
Construction Specifications

1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
4. Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.

EROSION CONTROL MATTING

NOT TO SCALE



Construction Specifications

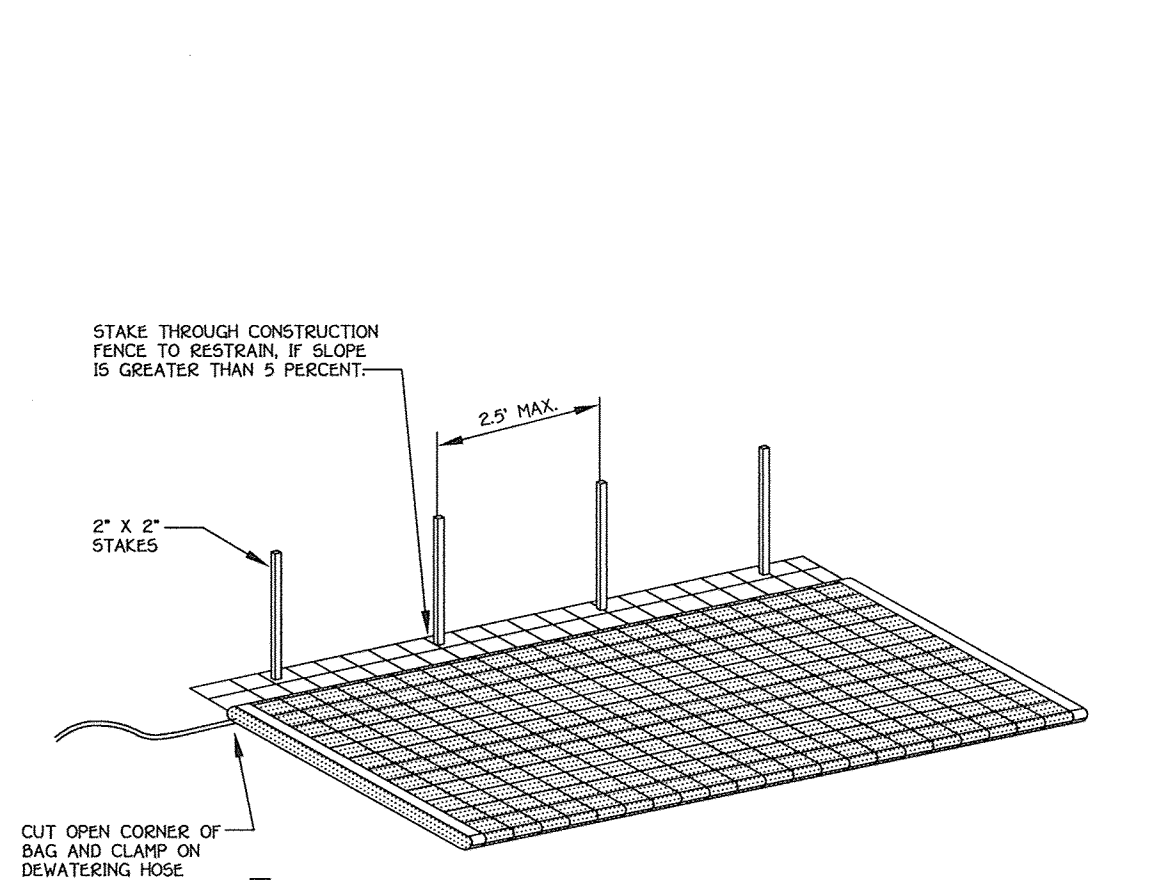
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 100 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal ft / minute (max)	Test: MSMT 322
Filtering Efficiency	75% (min)	Test: MSMT 322

3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

SILT FENCE

NOT TO SCALE



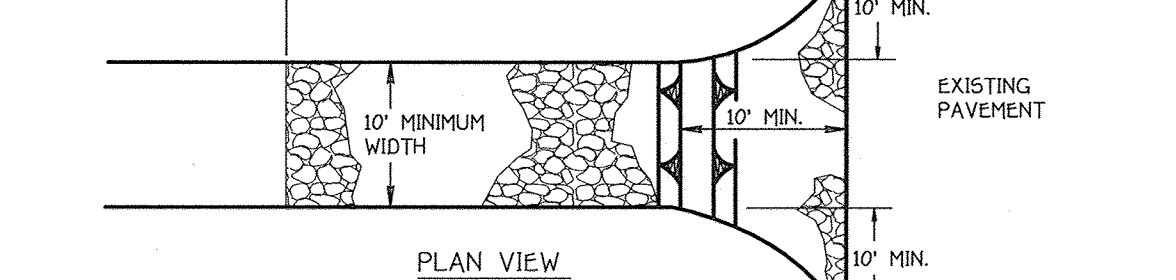
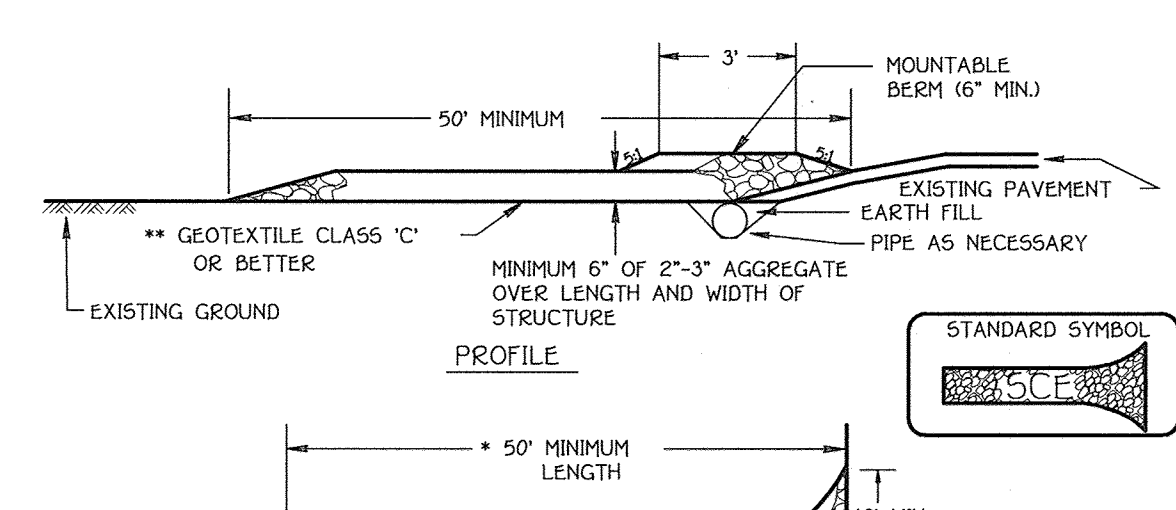
Construction Specifications

1. FILTER BAG SHALL BE PLACED ON A SLOPING OR LEVEL, WELL GRADED VEGETATED SITE SUCH THAT WATER WILL FLOW AWAY FROM DEVICE AND ANY WORK AREAS.
2. WIDTH AND LENGTH SHALL BE AS SHOWN IN THE TABLE.
3. THE FILTER BAG MUST BE STAKED IN PLACE AND SECURED TO THE PUMP DISCHARGE LINE. FILTER BAG SHALL NOT BE USED FOR DISCHARGE FLOWS GREATER THAN 300 GPM.
4. DEVICE SHALL BE REMOVED AND DISPOSED OF AFTER BAG IS FILLED WITH SEDIMENT. SEDIMENT FROM BAG SHALL BE SPREAD IN AN UPLAND AREA.

AVAILABLE FROM:	A.C.F. ENVIRONMENTAL	PRICE AND COMPANY, INC.
INDIAN VALLEY INDUSTRIES, INC. P.O. BOX 810 JORDON CITY, NEW YORK 13790 (800) 659-5811	1801-A HILLIS ROAD RICEDOWN, VIRGINIA 23237 TOLL FREE: 1-800-448-3636	425 36TH STREET MYRONICK, ME 45948 (650) 530-8230

FILTER BAG DETAIL

NOT TO SCALE



Construction Specifications

1. Length - minimum of 50' (*30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. A 6" minimum will be required according to the amount of runoff to be conveyed.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

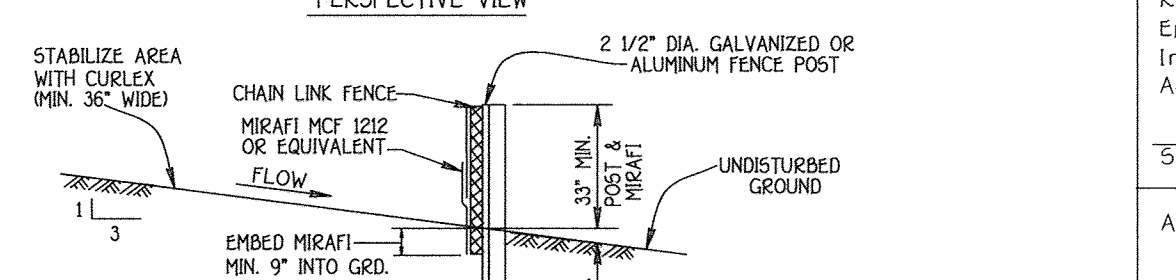
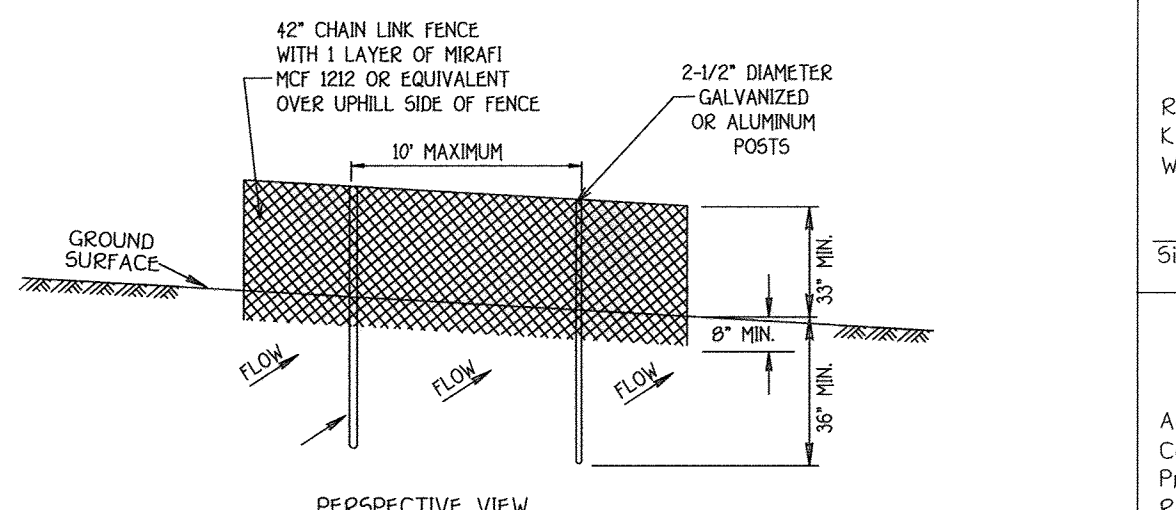


Construction Specifications

1. The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
2. After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
3. The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" x 6" slits or 1" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth first, then wrapped again with Geotextile Class C.
4. The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser crest elevation when dewatering a basin.

REMOVABLE PUMPING STATION

NOT TO SCALE



Construction Specifications

1. FENCING SHALL BE 42" HIGH CHAIN LINK CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAILS 6900L AND 6900Z. FOR CHAIN LINK FENCING, THE SPECIFICATIONS FOR A 6" O" FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 2" POSTS. POSTS SHALL BE PLACED WITHOUT CONCRETE EMBEDMENT.
2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. THE LOWER TENSION WIRE, BRACE AND TRUSS ROOFS, ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
3. FILTER CLOTH TO BE FASTENED SECURELY TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
4. FILTER CLOTH SHALL BE IMBEDDED A MINIMUM OF 9" INTO THE GROUND.
5. WHEN TWO SECTIONS OF DIVERSION CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
6. MAINTENANCE SHALL BE PERFORMED AS NEEDED.

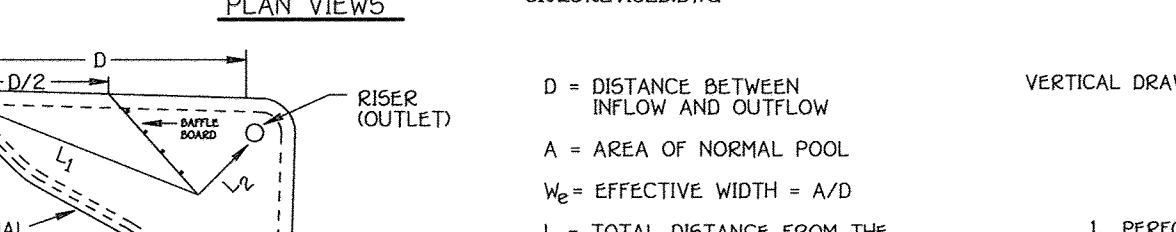
SUPER SILT FENCE DETAIL

NOT TO SCALE

Fabric Properties	Value	Test Method
Grab Tensile Strength (lbs)	90	ASTM D1682
Elongation at Failure (%)	50	ASTM D1682
Mullen Burst Strength (psi)	190	ASTM D3786
Puncture Strength (lbs)	40	ASTM D751
Slurry flow Rate (gal/min/ft)	0.3	Virginia DOT VM-51
Equivalent Opening Size	40-80	US 51d Sieve
Ultraviolet Radiation Stability (%)	90	ASTM G-26

DESIGN CRITERIA

Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10%	Unlimited	Unlimited
10 - 20%	10% - 5%	400 feet	1,500 feet
20 - 33%	5% - 3%	300 feet	1,000 feet
33 - 50%	3% - 2%	200 feet	500 feet
50% +	2% +	100 feet	250 feet



Construction Specifications

1. PERFORATIONS IN THE DRAW-DOWN DEVICE MAY NOT EXTEND INTO THE WET STORAGE.
2. THE TOTAL AREA OF THE PERFORATIONS MUST BE GREATER THAN 2 TIMES THE AREA OF THE INTERNAL ORIFICE.
3. THE PERFORATED PORTION OF THE DRAW-DOWN DEVICE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE GEOTEXTILE FABRIC SHALL MEET THE SPECIFICATIONS FOR GEOTEXTILE CLASS E.
4. PROVIDE SUPPORT OF DRAW-DOWN DEVICE TO PREVENT SAGGING AND FLOATAION. AN ACCEPTABLE PREVENTATIVE MEASURE IS TO STAKE BOTH SIDES OF DRAW-DOWN DEVICE WITH 1" STEEL ANGLE OR 2" ROUND WOODEN POSTS SET 3' MINIMUM INTO THE GROUND THEN JOINING THEM TO THE DEVICE BY WRAPPING WITH 12 GAUGE MINIMUM WIRE.

VERTICAL DRAW-DOWN DEVICE

NOT TO SCALE

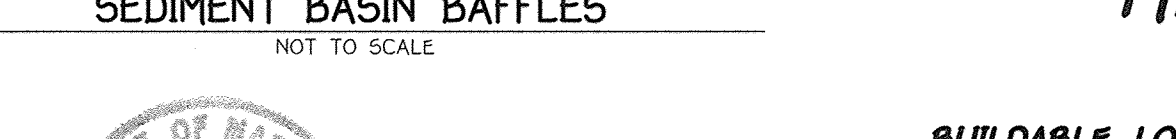


Construction Specifications

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SEDIMENT BASIN BAFFLES

NOT TO SCALE



Construction Specifications

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2. THE TOTAL AREA OF THE PERFORATIONS MUST BE GREATER THAN 2 TIMES THE AREA OF THE INTERNAL ORIFICE.
3. THE PERFORATED PORTION OF THE DRAW-DOWN DEVICE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE GEOTEXTILE FABRIC SHALL MEET THE SPECIFICATIONS FOR GEOTEXTILE CLASS E.
4. PROVIDE SUPPORT OF DRAW-DOWN DEVICE TO PREVENT SAGGING AND FLOATAION. AN ACCEPTABLE PREVENTATIVE MEASURE IS TO STAKE BOTH SIDES OF DRAW-DOWN DEVICE WITH 1" STEEL ANGLE OR 2" ROUND WOODEN POSTS SET 3' MINIMUM INTO THE GROUND THEN JOINING THEM TO THE DEVICE BY WRAPPING WITH 12 GAUGE MINIMUM WIRE.

ENGINEER'S CERTIFICATE

I, Howard Collins, certify that this Plan for Erosion and Sediment Control represents a Professional and Workable Plan Based On My Personal Knowledge of the Site Condition And That It Was Prepared In Accordance With The Requirements of The Howard Soil Conservation District.

Signature: *Howard Collins* Date: 9-22-09

DEVELOPER'S CERTIFICATE

I/We Certify That All Development And Construction Will Be Done According To This Plan Of Development And Plan For Erosion And Sediment Control And That All Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of Natural Resources Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Also Authorize Periodic On-Site Inspection by Howard Soil Conservation District Or Their Authorized Agents, As A Requirement Necessary.

Signature: *John J. ...* Date: 9/22/09

Approved This Development Is Approved For Erosion And Sediment Control By The Howard Soil Conservation District.

District: Howard Soil Conservation Dist. Date: 10/15/09

Approved: Department Of Planning And Zoning

Chief, Division Of Land Development Date: 10-30-09

Chief, Development Engineering Division Date: 10/28/09

Approved: Howard County Department Of Public Works

Chief, Bureau Of Highways Date: 10-23-09

**NO ASBUILT INFORMATION
SEDIMENT CONTROL NOTES & DETAILS**

MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
ZONED: RC-DEO
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 21, 2009
SHEET 22 OF 30

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21034
(410) 461-2959

NO.	REVISIONS	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11

Owner
Meriwether Farm II, LLC
c/o Second Goodier, LLC
10715 Charter Drive
Suite 350
Columbia, Maryland 21044
Ph: (410) 997-7501
Attn: Mr. Robert C. Goodier, Jr.

Developer
Toil Brothers, Inc.
Maryland Division
7164 Columbia Gateway Drive
Suite 230
Columbia, Maryland 21046
Ph: (410) 997-7501
Attn: Mr. Jeff Ortesco

STATE OF MARYLAND
Professional certification: I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.

Signature: *Howard Collins* Date: 9-22-09

200 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION: Using vegetation as cover for barren soil to protect it from forces that cause erosion.

PURPOSE: Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas, and improving water quality and visual resources.

CONDITIONS WHERE PRACTICE APPLIES: This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding, to quickly establish vegetative cover for short duration (30 to 90 days), and Permanent Seeding, for long term stabilization of erodible areas. Temporary Seeding are Temporary Soil Stockpiles, cleared areas being left side between construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dams, cut and fill slopes and other areas at final grade, former stockpile and staging areas, etc.

EFFECTS ON WATER QUALITY AND QUANTITY: Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff. Infiltration, evaporation, and evapotranspiration will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment and other chemicals carried by runoff to receiving waters. Plants will also help reduce erosion by assimilating those substances present within the soil.

Sediment control devices must remain in place during grading, seeded preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated nutrients from washing off surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. Site Preparation

- Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
- Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
- Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.

B. Soil Amendments (Fertilizer and Lime Specifications)

- Soil tests must be performed to determine the exact rates and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.
- Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Fertilizer may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warranty of the producer.
- Lime materials shall be ground limestone hydrated or burnt lime may be substituted which contains at least 90% total oxides calcium oxide plus magnesium oxide. Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 98-100% will pass through a #20 mesh sieve.
- Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.

C. Seeding Preparation

- Seeding preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rollers mounted on construction equipment. After the soil is loosened it should not be rolled or disped smooth, but left in the roughened condition. Seeded areas greater than 300' should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
- Apply fertilizer and lime as prescribed on the plans.

D. Permanent Seeding

- Soil pH shall be determined for permanent vegetative establishment.
 - Soil pH shall be less than 6.0 and 7.0.
 - Soil pH shall be less than 6.0 and 7.0.
 - If these conditions cannot be met by soils on site, additional topsoil or material (0.2% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if legumes or sericea lespedeza is to be planted, then a sandy soil (0.2% silt plus clay) would be acceptable.
 - Soil shall contain 1.5% minimum organic matter by weight.
 - Soil must contain sufficient pore space to permit adequate root penetration.
 - If these conditions cannot be met by soils on site, additional topsoil is required in accordance with Section 21 Standard and Specifications for Topsoil.
- Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
- Apply soil amendments as per soil test or as included on the plans.
- Mix soil amendments into the top 3-5" of soil by disking or other suitable means. Lawn areas should be rolled to smooth the surface, remove large objects like stones and branches, and ready the area for seed application, where site conditions will not permit normal seeded preparation, loosen surface soil by disking with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1-3" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

SECTION 2 - TEMPORARY SEEDING

DEFINITION: Annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

A. Seed mixtures - Temporary Seeding

- Select one or more of the species or mixtures listed in Table 26 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in the Temporary Seeding summary below, along with application rates, seeding dates and seeding depths. If this summary is not put on the plans and completed, then Table 26 must be put on the plans.
- For sites having soil tests performed, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in soil tests are not required for Temporary Seeding.

Seed Mixture (Hardness Zone --- 6b ---)	Application Rate (lb/acre)	Seeding Dates	Seeding Depth	Fertilizer Rate (lb/100-100)	Lime Rate
1. BARLEY	122	3/1 - 5/15	1" - 2"	600 lb/acre (5/100000)	2 tons/acre (100 lb/100000)
OATS	96	8/15 - 10/15	1" - 2"		
RYE	140		1" - 2"		

SECTION 3 - PERMANENT SEEDING

Seeding grass and legumes to establish growing cover for a minimum of one year on disturbed areas generally receiving low maintenance.

A. Seed mixtures - Permanent Seeding

- Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in the Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shorelines, streambanks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA Technical Field Office Guide, Section 342 - Critical Area Planting. For special lawn maintenance areas, see Sections IV and V of Turfgrass.
- For sites having disturbed areas over 5 acres, the rates shown on this table shall be deleted and the rates recommended by the soil testing agency shall be written in.
- For areas receiving low maintenance, apply uniform fertilizer (45-0-0) at 1 1/2 lbs/1000 sq. ft. (150 lb/acre) in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Seed Mixture (Hardness Zone --- 6b ---)	Application Rate (lb/acre)	Seeding Dates	Seeding Depth	N	P205	K2O	Lime Rate
1. TALL FESCUE (954)	125	3/1 - 5/15	1" - 2"	90 lb/acre (2.0 lb/10000)	175 lb/acre (4.8 lb/10000)	175 lb/acre (4.8 lb/10000)	2 tons/acre (100 lb/10000)
3. PERENNIAL BLUEGRASS (102)	10	8/15 - 10/15	1" - 2"				
KENTUCKY BLUEGRASS (103)	10	8/15 - 10/15	1" - 2"				
TALL FESCUE (1007)	120	3/1 - 5/15	1" - 2"				
HARD FESCUE (1038)	30	8/15 - 10/15	1" - 2"				

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (310-8955).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, (b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (ISEC. 50), 500 (SEC. 54), TEMPORARY SEEDING (ISEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSON FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE	137,337 ACRES
AREA DISTURBED	35,588 ACRES
AREA TO BE ROOFED OR PAVED	3.20 ACRES
AREA TO BE VEGETATIVELY STABILIZED	30,388 ACRES
TOTAL FILL	29,934 CUYD.
TOTAL FILL OFFSITE WASTE/BORROW AREA LOCATION	N/A CUYD.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES ARE LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

TOPSOIL NOTES

DEFINITION: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES: This practice is limited to areas having 2:1 or flatter slopes where:

- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with limestone is not feasible.

For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. The depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the soil survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil shall not be a mixture of contrasting textured substrates and shall contain less than 5% by volume of cinders, stones, silt, coals/fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermudagrass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 200 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall be used.
 - No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control unless sufficient time has elapsed (14 days min) to permit disintegration of phytotoxic materials.
 - Place topsoil (if required) and apply soil amendments as specified in 200 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

Topsoil Application

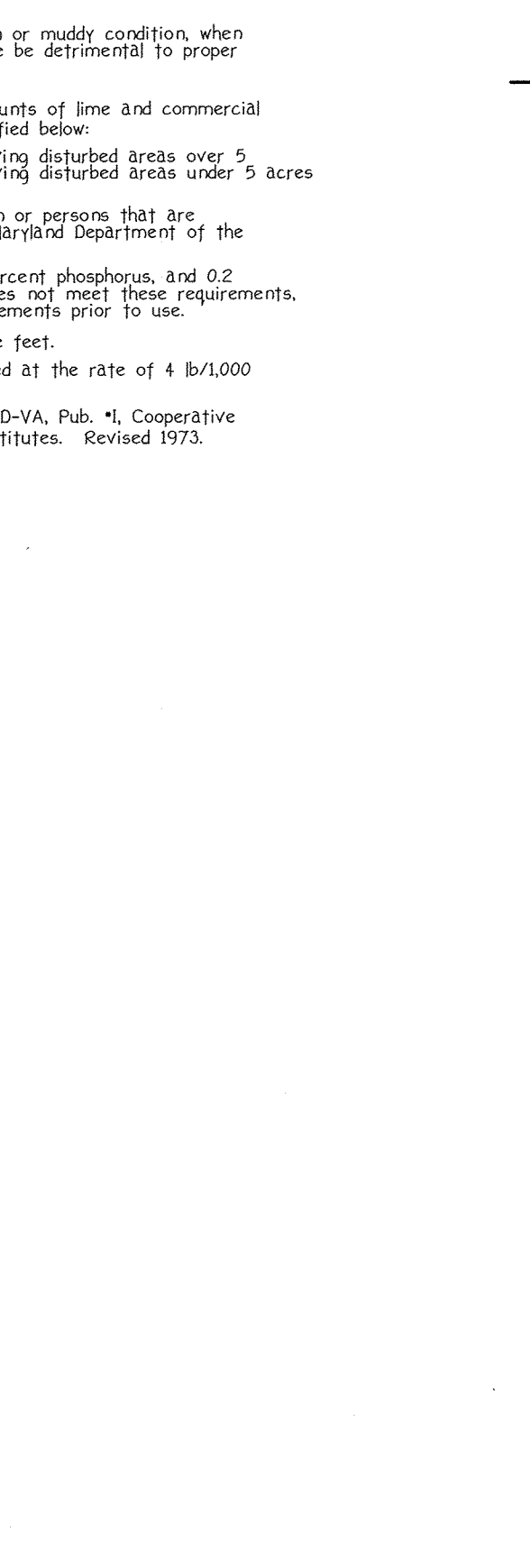
- When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, dikes, ditches, slope fill fence and sediment traps and basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seedine can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.
- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below.
 - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of application of the compost) by the Maryland Department of the Environment under COMAR 26.06.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 9.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/2 the normal application rate of phosphorus.
 - References: Guidance Specifications, Soil Preparation and Soddng, MD-VA, Pub. 1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

SEQUENCE OF CONSTRUCTION

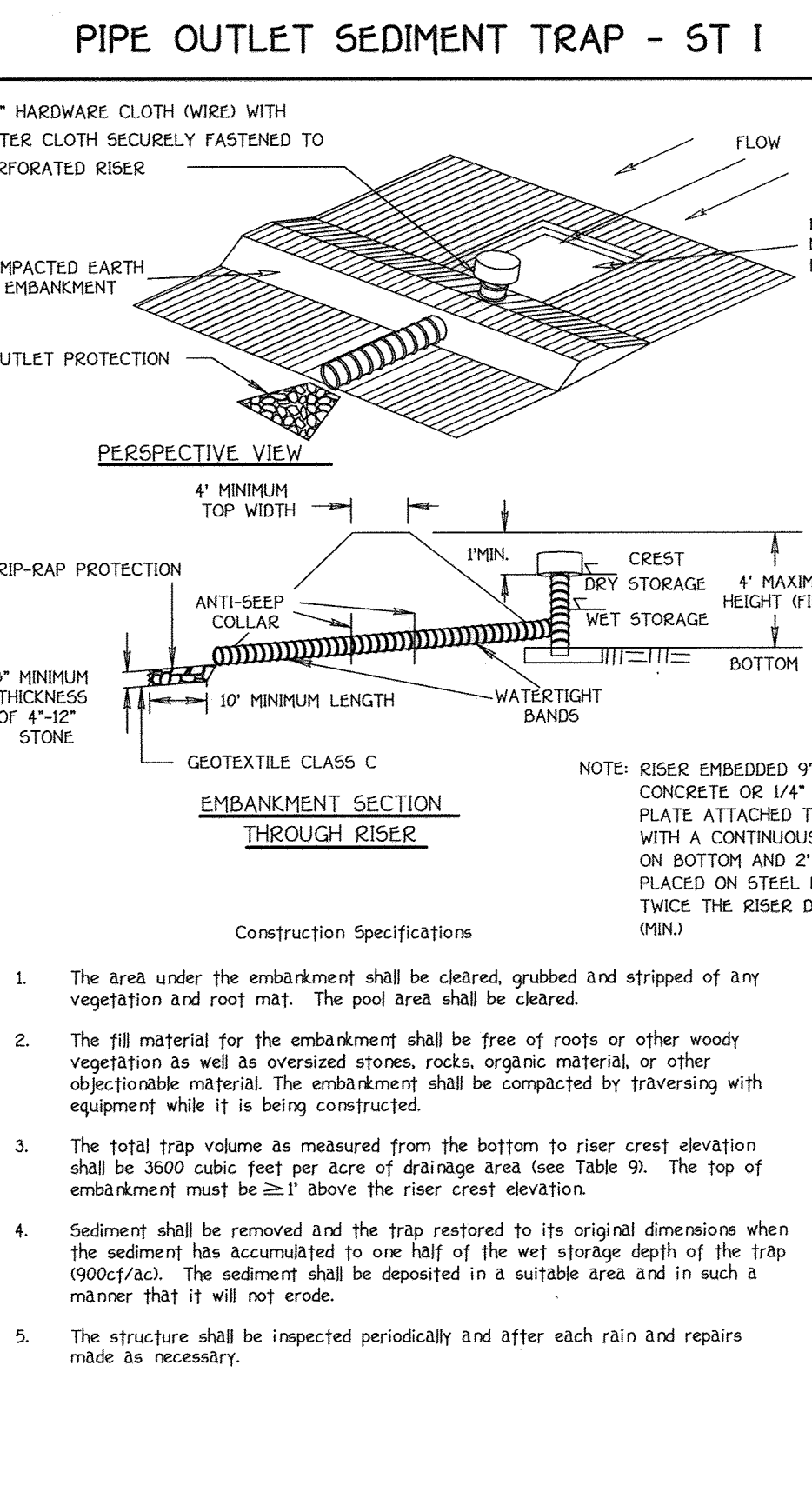
- OBTAIN GRADING PERMIT. 7 DAYS
- INSTALL STONE CONSTRUCTION ENTRANCE. 4 DAYS
- INSTALL PROPOSED 36" RCCP CULVERT FOR BY-PASS DRAINAGE. 4 DAYS
- INSTALL SEDIMENT BASIN NOS. 1 (BMP No. 5), 2 (BMP No. 8) AND 3 (BMP No. 11). 10 DAYS
- INSTALL PROPOSED EARTH DIKES TO CONTROL PERIMETER SEDIMENT RUN-OFF FROM ROAD CONSTRUCTION AND ASSOCIATED SILT FENCE/FREE PROTECTION FENCE AS SHOWN ON THE PLANS. 5 DAYS
- OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING WITH CONSTRUCTION. 10 DAYS
- INSTALL REMAINING SILT FENCE FOR STOCKPILE AREAS AND THE REMAINING STORM DRAIN SYSTEM TO BE USED FOR SEDIMENT CONTROL INCLUDING TEMP. FLEXIBLE PIPES FROM 5-2 & EARTH DIKE INTO POND/B.M.P. No. 5. 4 DAYS
- INSTALL BASE COURSE OF PAVING FOR MERIWETHER DRIVE. 5 DAYS
- INSTALL PROPOSED FLUSH CURB ALONG MERIWETHER DRIVE ON INSIDE OF CURVES AS SHOWN ON THE PLANS. 5 DAYS
- INSTALL FINAL COURSE OF PAVING FOR MERIWETHER DRIVE AND STABILIZE ANY REMAINING DISTURBANCES WITH TEMPORARY SEEDING. 10 DAYS
- FINE GRADE THE LOTS AS INDICATED ON THE PLAN INSTALL PERMANENT SEEDING. 10 DAYS
- OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING WITH CONSTRUCTION. 10 DAYS
- UPON COMPLETION OF STORM DRAIN CONSTRUCTION, CONVERT THE SEDIMENT CONTROL BASIN #1, #2 AND #3 TO PERMANENT SWM POND CONDITION FOR POND#1, #2 AND #3. 10 DAYS
- INSTALL BASE-RETENTION FACILITY BMP No. 9. SEE PLANS. 5 DAYS
- REMOVE SEDIMENT EROSION CONTROL DEVICES AND TREE PROTECTION FENCE AS SHOWN ON THE PLAN UPON APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. 4 DAYS
- PHASE TWO INSTALL B.M.P. No. 4. B.M.P. No. 4 SHALL BE INSTALLED WITH A 5-DAY CLEAR WEATHER FORECAST AND PERMISSION FROM THE INSPECTOR TO PROCEED. 5 DAYS
- CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS. 5 DAYS

NOTE: ALL REMAINING BMP FACILITIES (Nos. 6, 10, 12 & 13) WILL BE INSTALLED AS PART OF THE SITE DEVELOPMENT PLANS FOR THOSE INDIVIDUAL LOTS (LOT Nos. 27, 30, 33 & 34).

PIPE OUTLET SEDIMENT TRAP - ST I



NO ASBUILT INFORMATION SEDIMENT CONTROL NOTES & DETAILS



STILLING BASIN DATA

STRUCTURE NO.	INV. EL.	EL. B	C	D	E	F	h	M	at	X
HW-3	470.95	470.95	4.50'	36"	5.5'	12.5'	1.5'	4.5'	32"	8.0'
HW-4	458.50	458.50	3.75'	30"	3.25'	7.5'	1.0'	1.25'	32"	11.0'

OWNER

Meriwether Farm II, LLC
c/o Second Generation
10715 Charter Drive
Suite 350
Columbia, Maryland 21044
Ph: (410) 997-7501
Attn: Mr. Robert C. Goodier, Jr.

DEVELOPER

Toll Brothers, Inc.
Maryland Division
7164 Columbia Gateway Drive
Suite 230
Columbia, Maryland 21046
Ph: (410) 997-7501
Attn: Mr. Jeff Driscoll

ENGINEER'S CERTIFICATE

I hereby certify that this Plan for Erosion and Sediment Control (Permitted) and Workable Plan Based On My Personal Knowledge of the Site Condition And That It Was Prepared In Accordance With the Requirements of the Howard Soil Conservation District.

Signature of Engineer: *[Signature]* DATE: 9-22-09

DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And Construction Will Be Done According To This Plan Of Development And Plan For Erosion And Sediment Control And That All Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of Natural Resources Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Also Authorize Periodic On-Site Inspection By The Howard Soil Conservation District Or Their Authorized Agent. An Agent Is Not Necessary."

Signature of Developer: *[Signature]* DATE: 9/22/09

Approved: This Development Is Approved For Erosion And Sediment Control By The Howard Soil Conservation District. DATE: 10/15/09

Approved: Department Of Planning And Zoning DATE: 10-20-09

Chief, Division Of Land Development

Approved: Howard County Department Of Public Works DATE: 10/28/09

Chief, Development Engineering Division

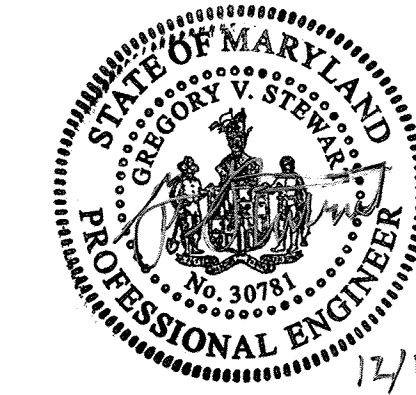
Approved: Howard County Department Of Public Works DATE: 10-23-09

Chief, Bureau Of Highways

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELKLOFT CITY, MARYLAND 21092
4102 461 - 2955

TAX MAP No. 21 PARCEL No. 28 GRID Nos. 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: SEPTEMBER 23, 2009
SHEET 23 OF 30

DRAINAGE AREA DATA				
STRUCTURE NO.	DRAINAGE AREA	AREA	"C"	ZONED
I-1	A	0.53 acres	0.60	RC-DEO
I-2	B	6.27 acres	0.50	RC-DEO
I-3	C	0.25 acres	0.60	RC-DEO
I-4	D	1.10 acres	0.46	RC-DEO
I-5	E	0.18 acres	0.60	RC-DEO
I-6	F	1.99 acres	0.48	RC-DEO
I-7	G	0.29 acres	0.58	RC-DEO
I-8	H	0.11 acres	0.59	RC-DEO
I-9	I	0.63 acres	0.45	RC-DEO
I-10	J	0.34 acres	0.47	RC-DEO
I-11	K	0.27 acres	0.52	RC-DEO
I-12	L	4.16 acres	0.50	RC-DEO
I-13	M	0.32 acres	0.58	RC-DEO
I-14	N	1.98 acres	0.52	RC-DEO
I-15	O	6.98 acres	0.40	RC-DEO
I-16	P	5.66 acres	0.39	RC-DEO
I-17	Q	0.23 acres	0.60	RC-DEO
I-18	R	1.30 acres	0.45	RC-DEO
I-19	S	0.13 acres	0.61	RC-DEO
I-20	T	0.66 acres	0.54	RC-DEO
I-21	U	0.40 acres	0.60	RC-DEO
I-22	V	2.74 acres	0.42	RC-DEO
I-23	W	3.66 acres	0.44	RC-DEO
I-24	X	2.00 acres	0.45	RC-DEO
HW-1	Y	21.37 acres	0.42	RC-DEO



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

FOR ESE CONSULTANTS, INC.

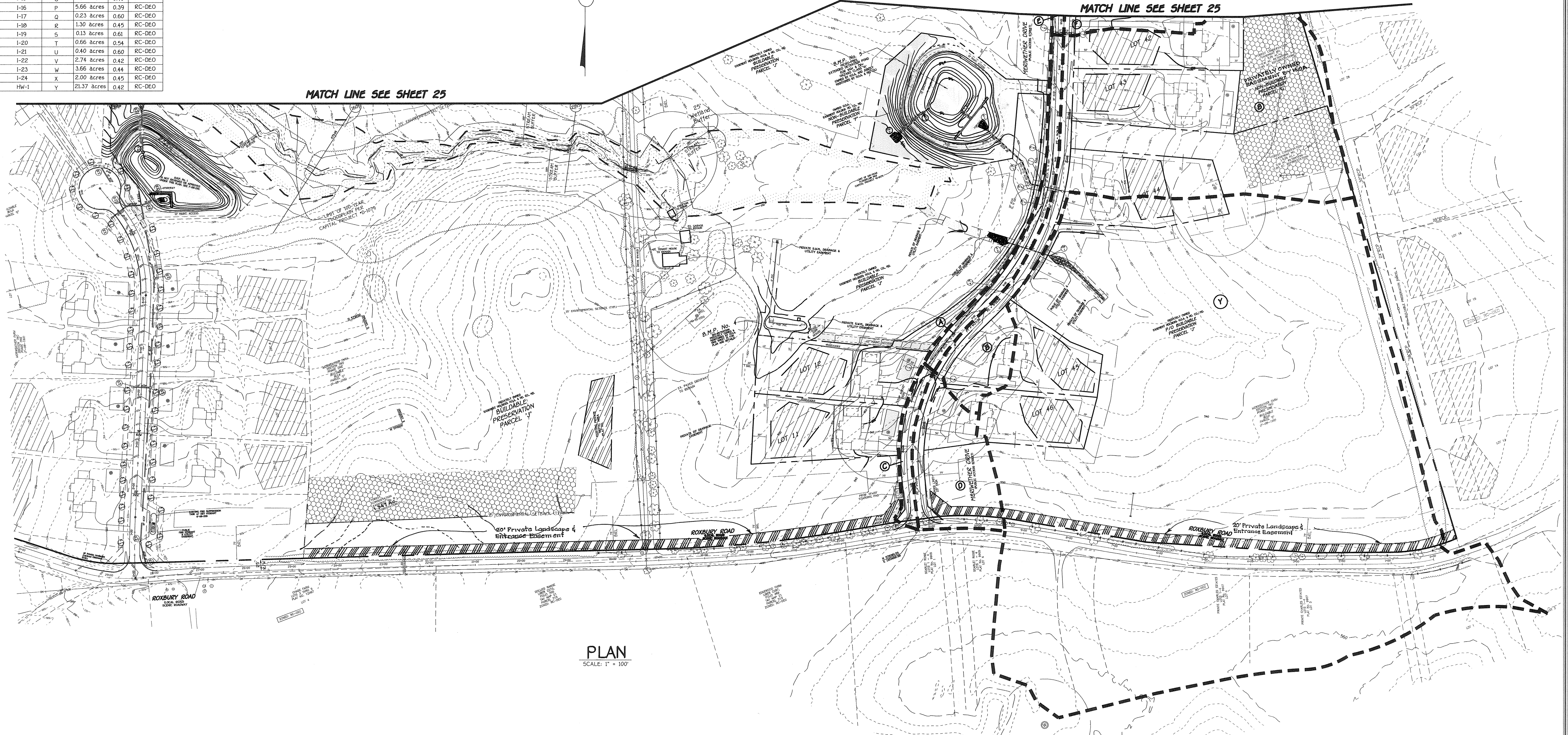
APPROVED: DEPARTMENT OF PUBLIC WORKS
Matthew Z. Haddad 10-23-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Keith S. Johnson 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John D. ... 10/29/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

MATCH LINE SEE SHEET 25

MATCH LINE SEE SHEET 25



PLAN
 SCALE: 1" = 100'

STORM DRAIN DRAINAGE AREA MAP
MERIWETHER FARM
 SECTION TWO
 PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
 ZONED: RC-DEO
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 24 OF 30

NO.	DESCRIPTION	DATE
1	REVISED LANDSCAPE AND ENTRANCE EASEMENT & F.C.E.	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11
	REVISIONS	

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll



Professional certification I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-11.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 18272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21034
 (410) 481-2955

DRAINAGE AREA DATA			
STRUCTURE NO.	DRAINAGE AREA	AREA	ZONED
I-1	A	0.53 acres	RC-DEO
I-2	B	6.27 acres	RC-DEO
I-3	C	0.25 acres	RC-DEO
I-4	D	1.10 acres	RC-DEO
I-5	E	0.18 acres	RC-DEO
I-6	F	1.99 acres	RC-DEO
I-7	G	0.29 acres	RC-DEO
I-8	H	0.11 acres	RC-DEO
I-9	I	0.63 acres	RC-DEO
I-10	J	0.34 acres	RC-DEO
I-11	K	0.27 acres	RC-DEO
I-12	L	4.16 acres	RC-DEO
I-13	M	0.32 acres	RC-DEO
I-14	N	1.98 acres	RC-DEO
I-15	O	6.98 acres	RC-DEO
I-16	P	5.66 acres	RC-DEO
I-17	Q	0.23 acres	RC-DEO
I-18	R	1.30 acres	RC-DEO
I-19	S	0.13 acres	RC-DEO
I-20	T	0.66 acres	RC-DEO
I-21	U	0.40 acres	RC-DEO
I-22	V	2.74 acres	RC-DEO
I-23	W	3.66 acres	RC-DEO
I-24	X	2.00 acres	RC-DEO
HW-1	Y	21.37 acres	RC-DEO

NO.	DESCRIPTION	DATE
2	REV. DRAWING DE. GOR. SWIM. ON LOTS 26-27, 34 & 35-34	2/28/17
1	REMOVED FIRE SUPPRESSION TANK AND UIC EASEMENT	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11

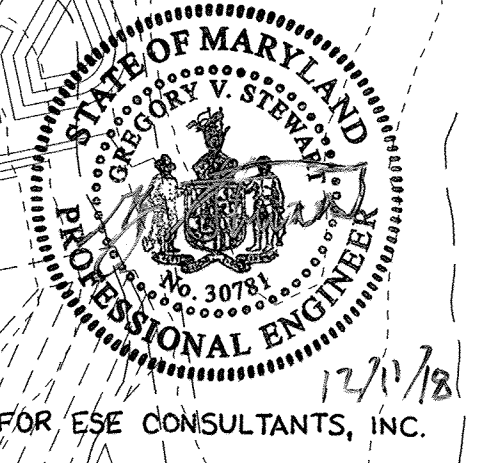
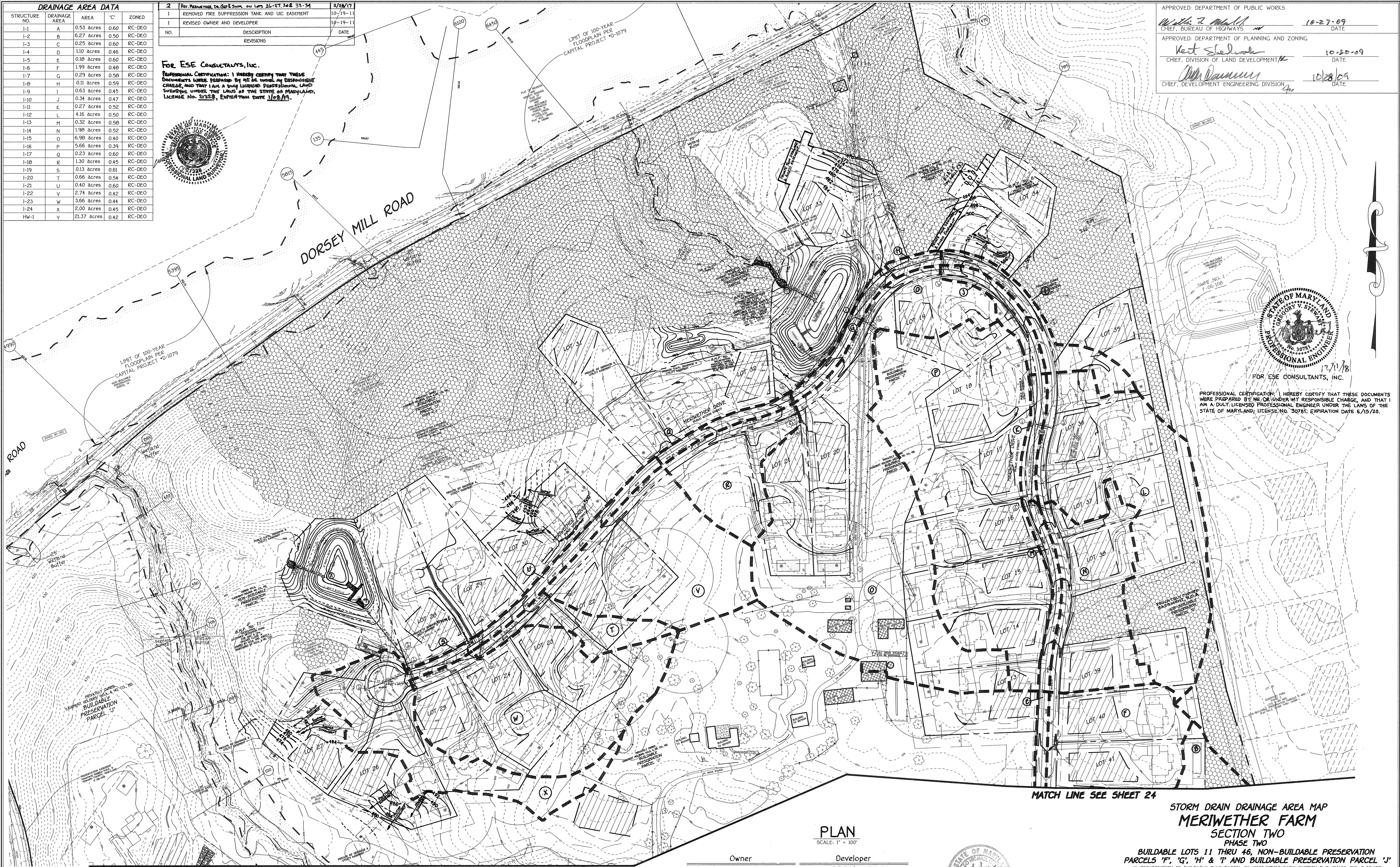
FOR ESE CONSULTANTS, INC.
 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/28/15.



APPROVED: DEPARTMENT OF PUBLIC WORKS
Mark Z. Mullen 10-27-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Kent Shelton 10-20-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mr. Danvers 10/28/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



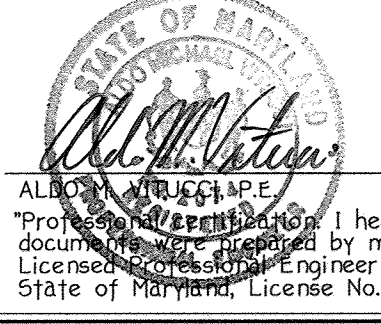
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30761, EXPIRATION DATE 6/15/20.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLETTT CITY, MARYLAND 21114
 (410) 461-2895

MATCH LINE SEE SHEET 24

PLAN
 SCALE: 1" = 100'

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll



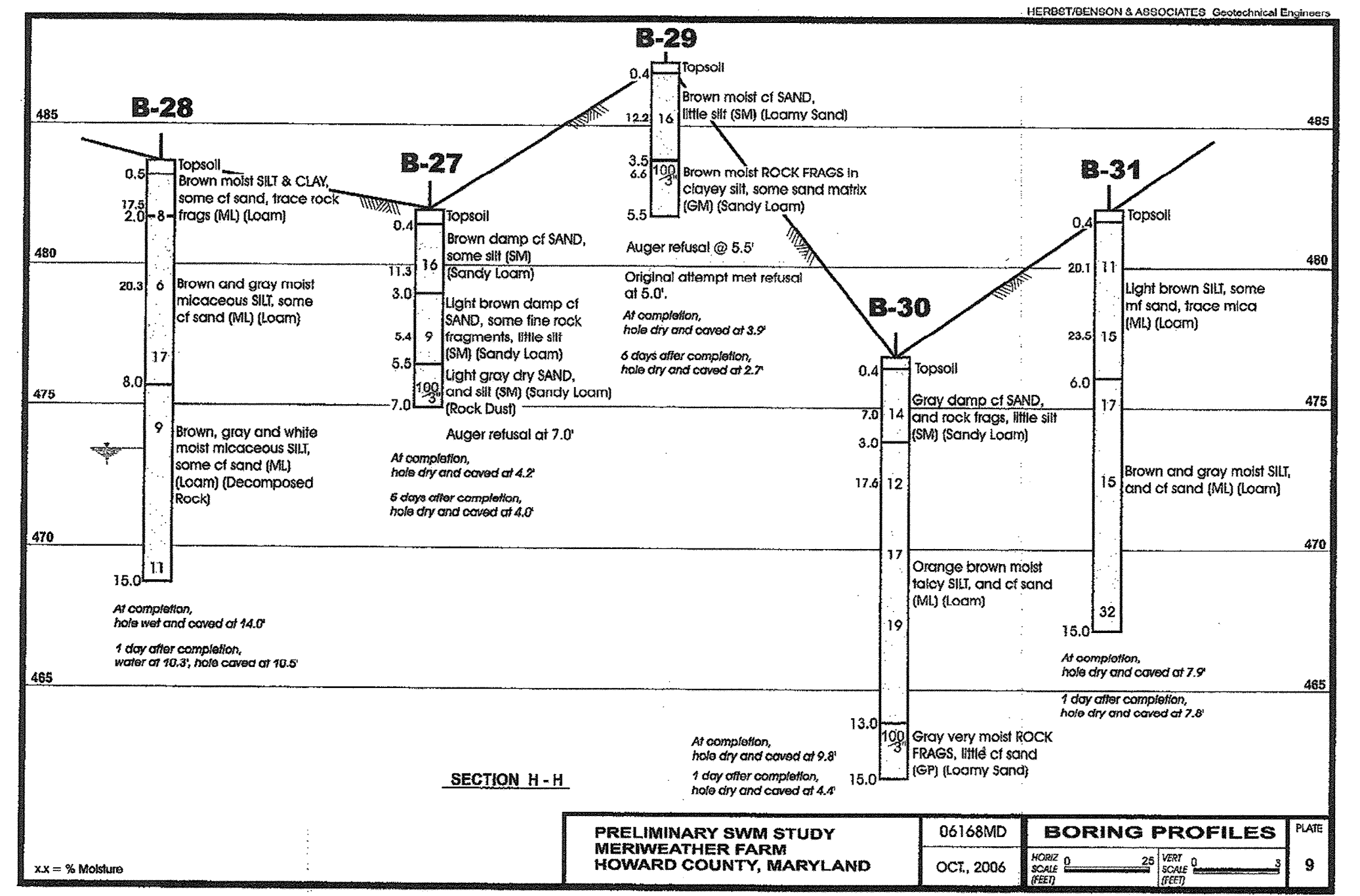
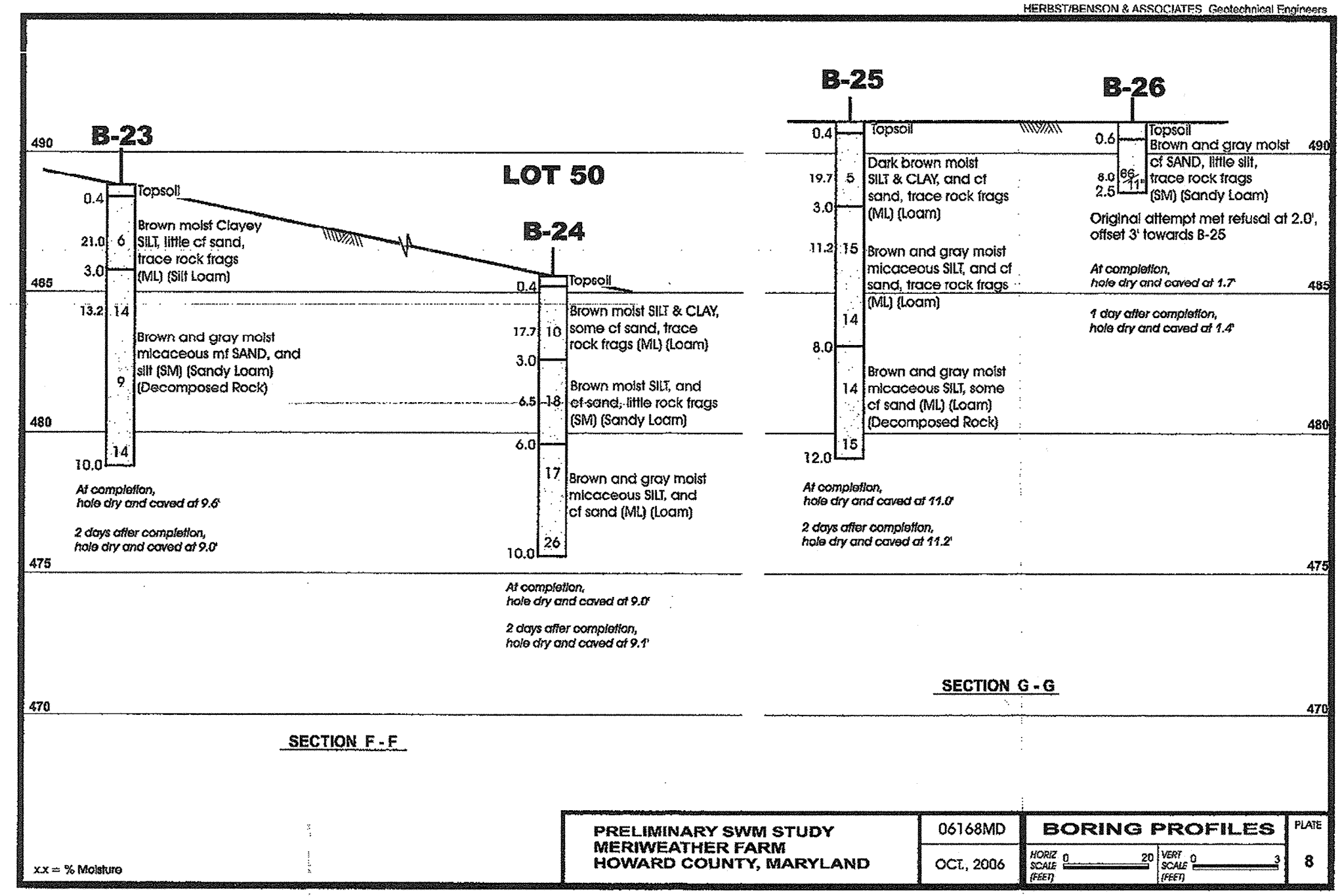
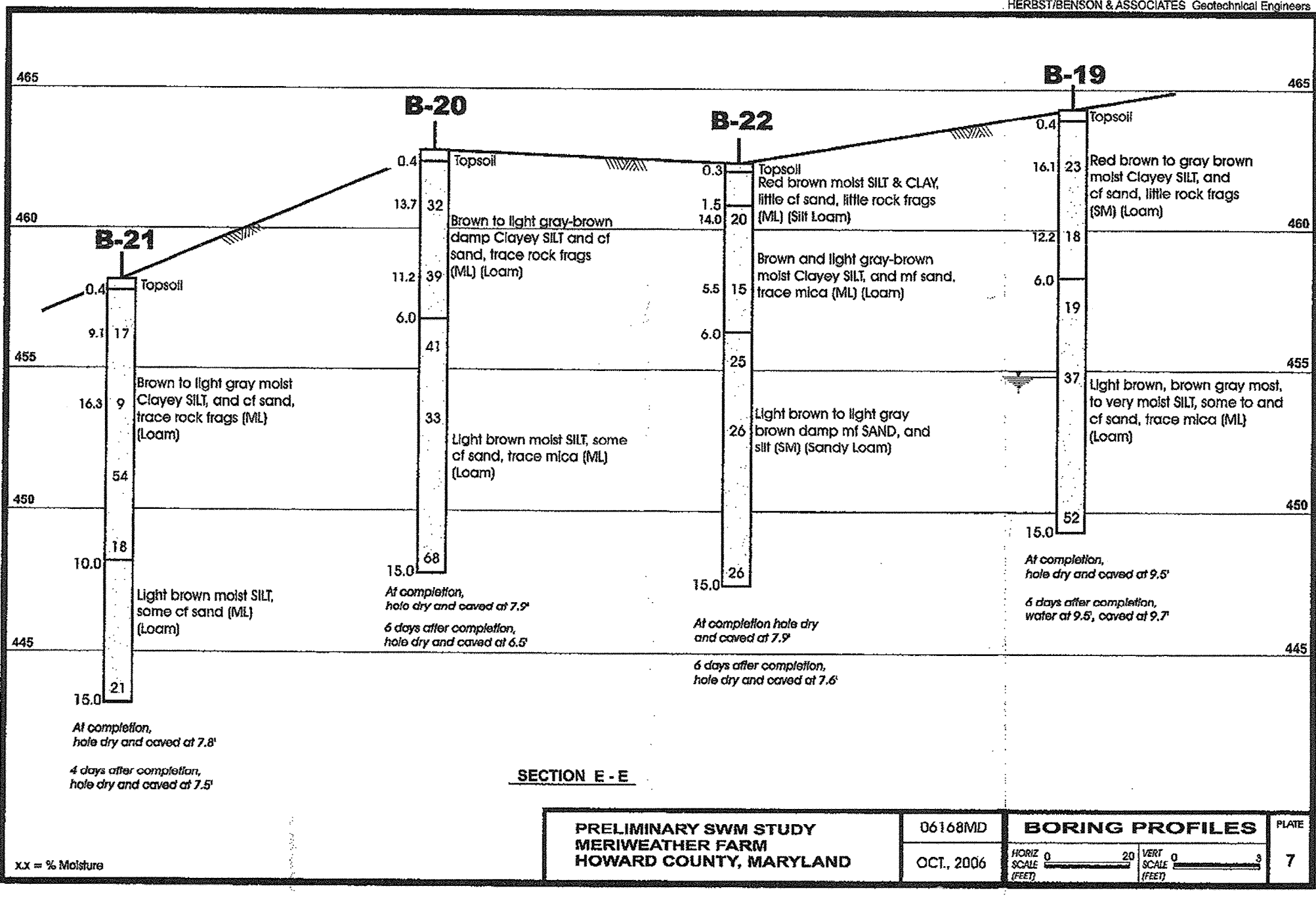
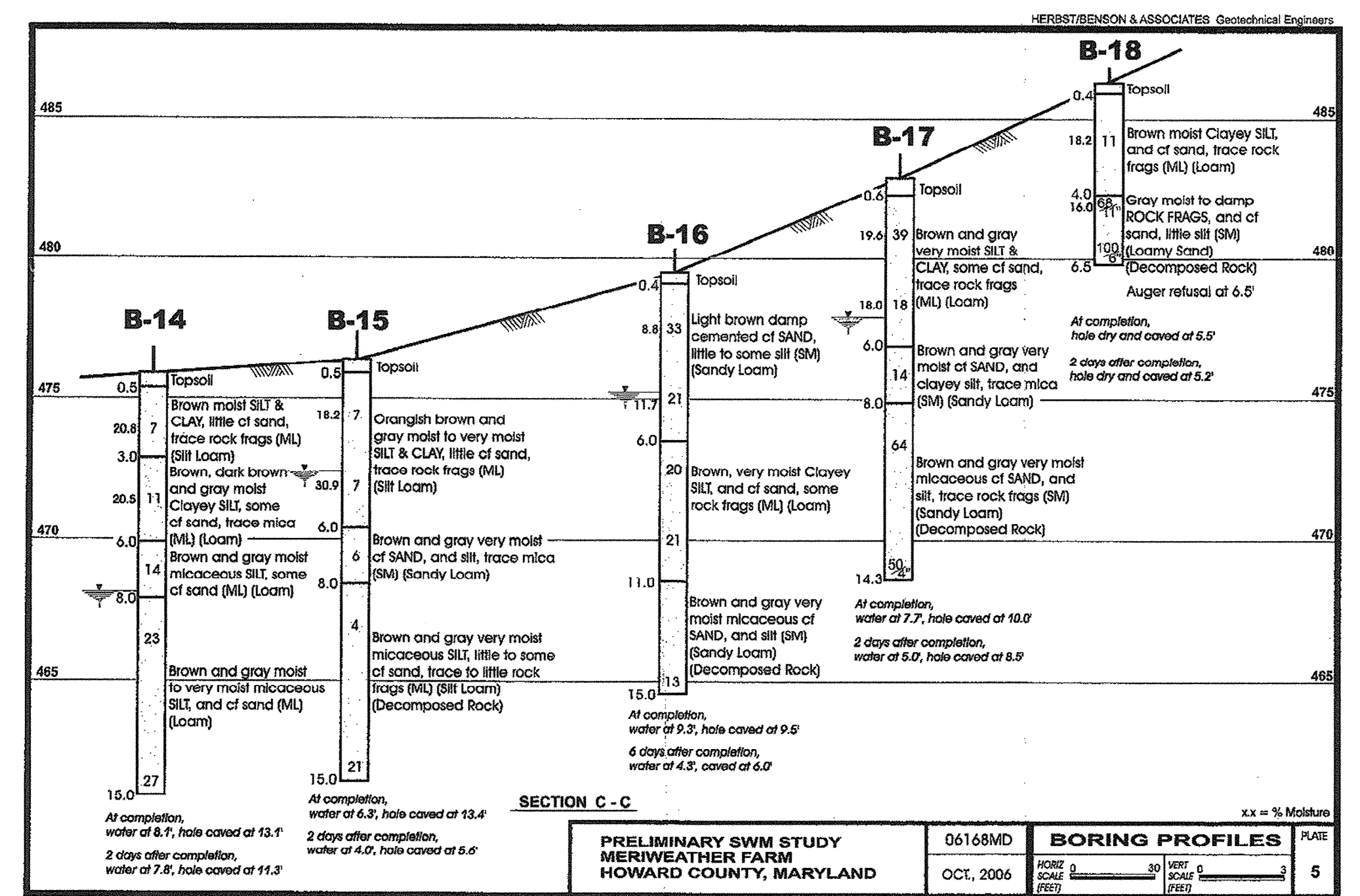
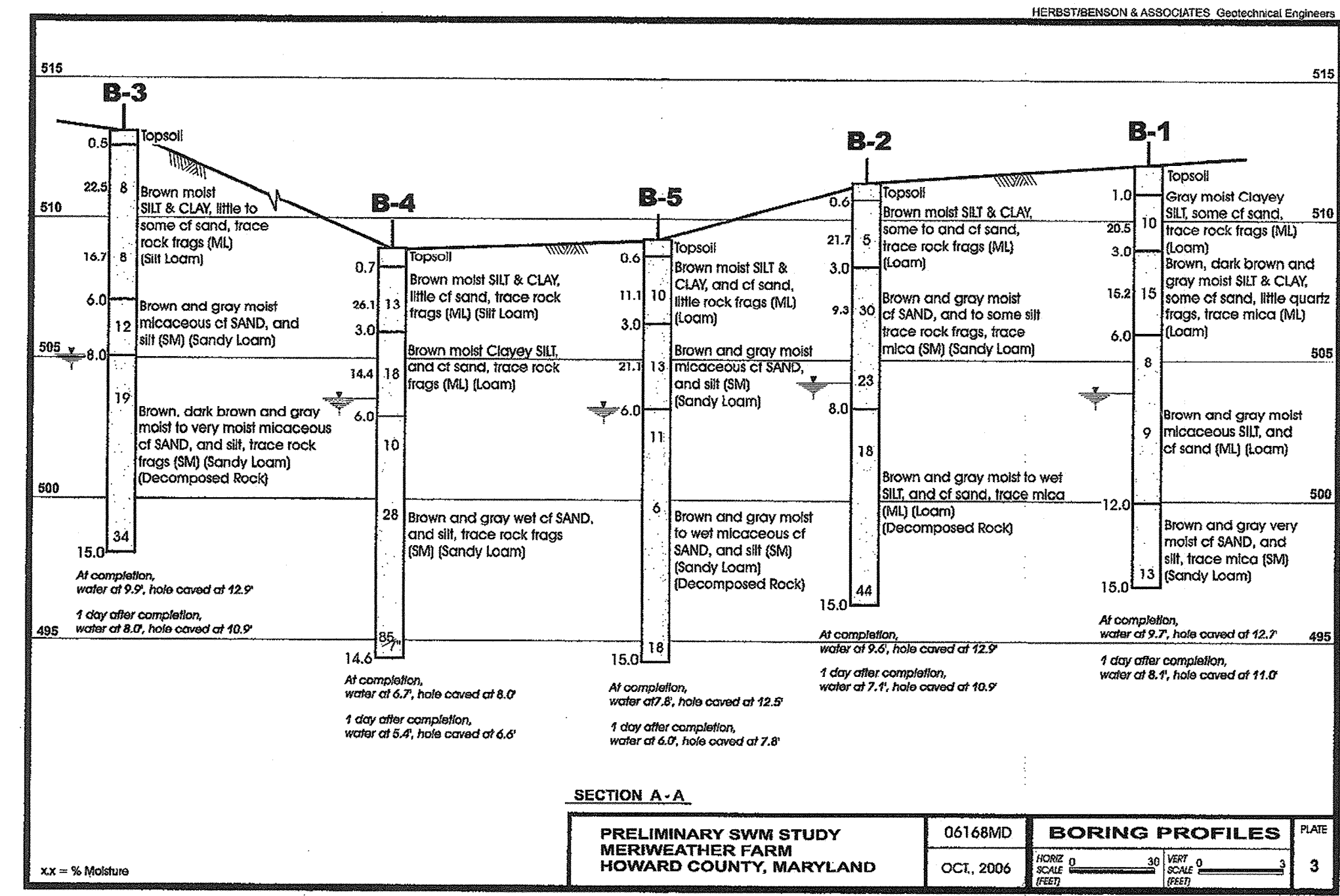
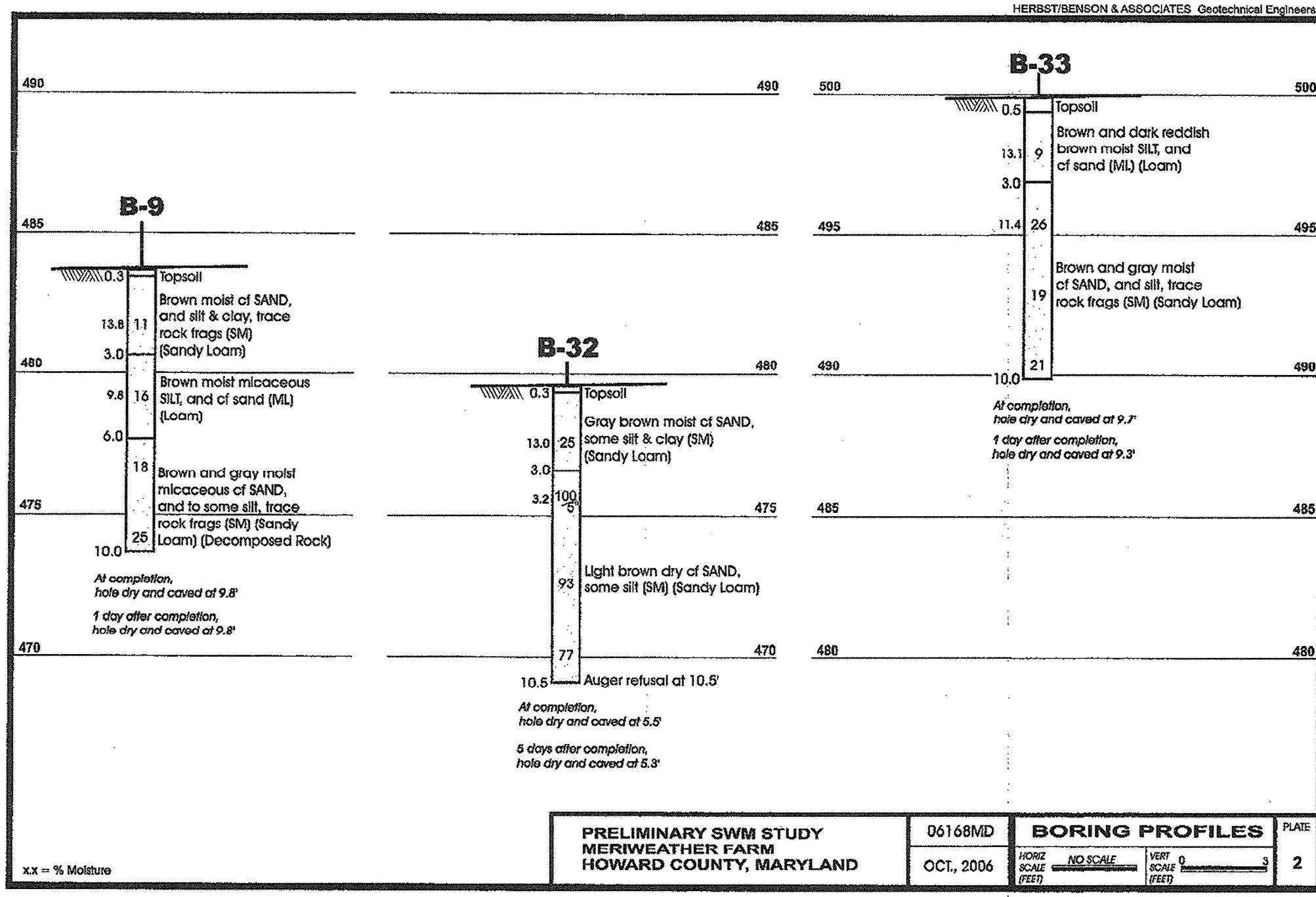
9-28-09
 DATE

STORM DRAIN DRAINAGE AREA MAP
MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION
PARCELS 'P', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)
 ZONED: RC-DEO
 PARCEL NO.: 29 GRID NOS.: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 25 OF 30

ASBUILT

Approved: Department Of Planning And Zoning
 Chief, Division Of Land Development
 Approved: Chief, Engineering Division
 Approved: Chief, Bureau Of Highways

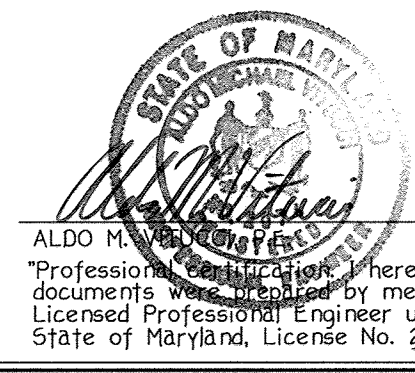
10-30-09
 10/28/09
 10-23-09



NO.	DESCRIPTION	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11

Owner
 Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer
 Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Driscoll



9-22-09
 DATE

NO ASBUILT INFORMATION
SOIL BORINGS
MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION
PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

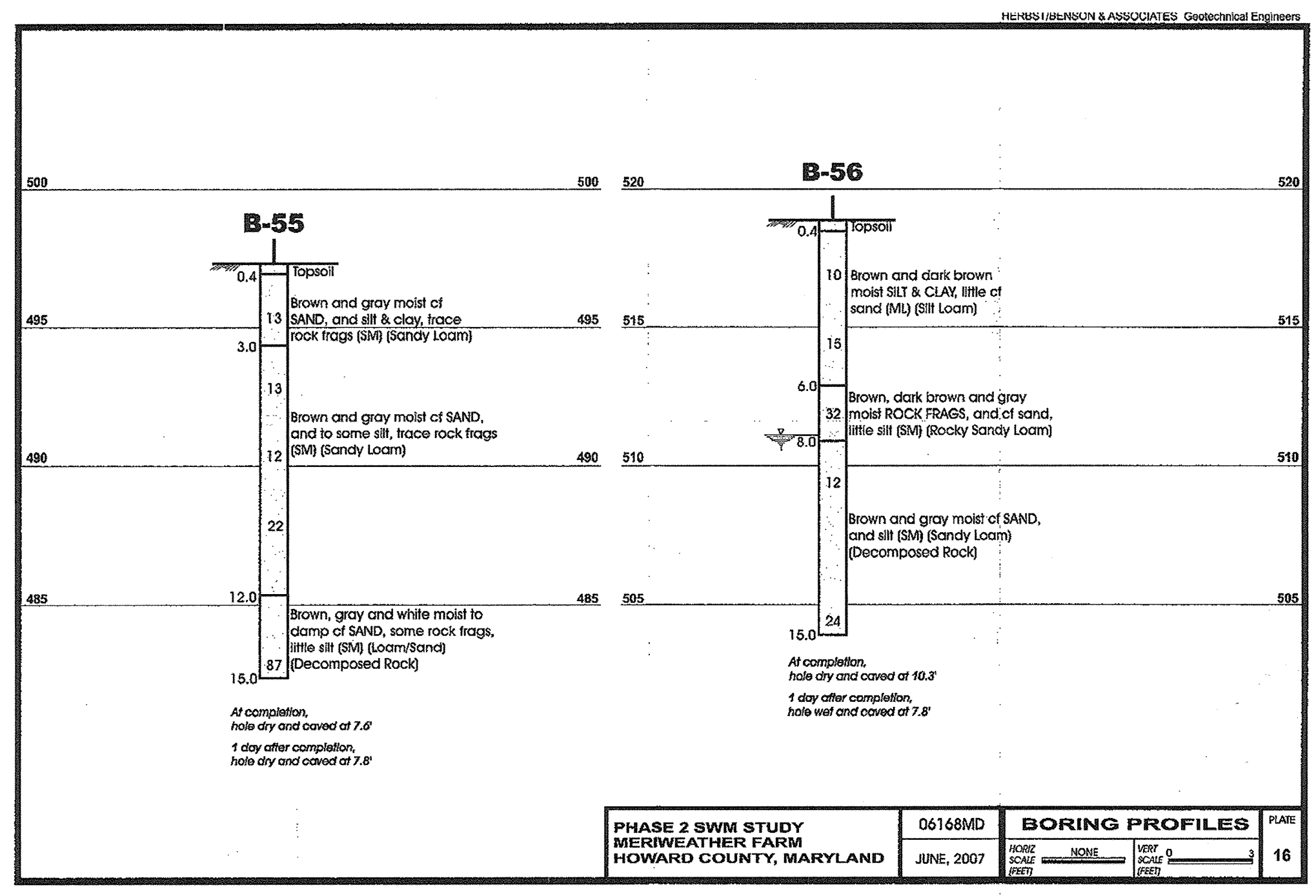
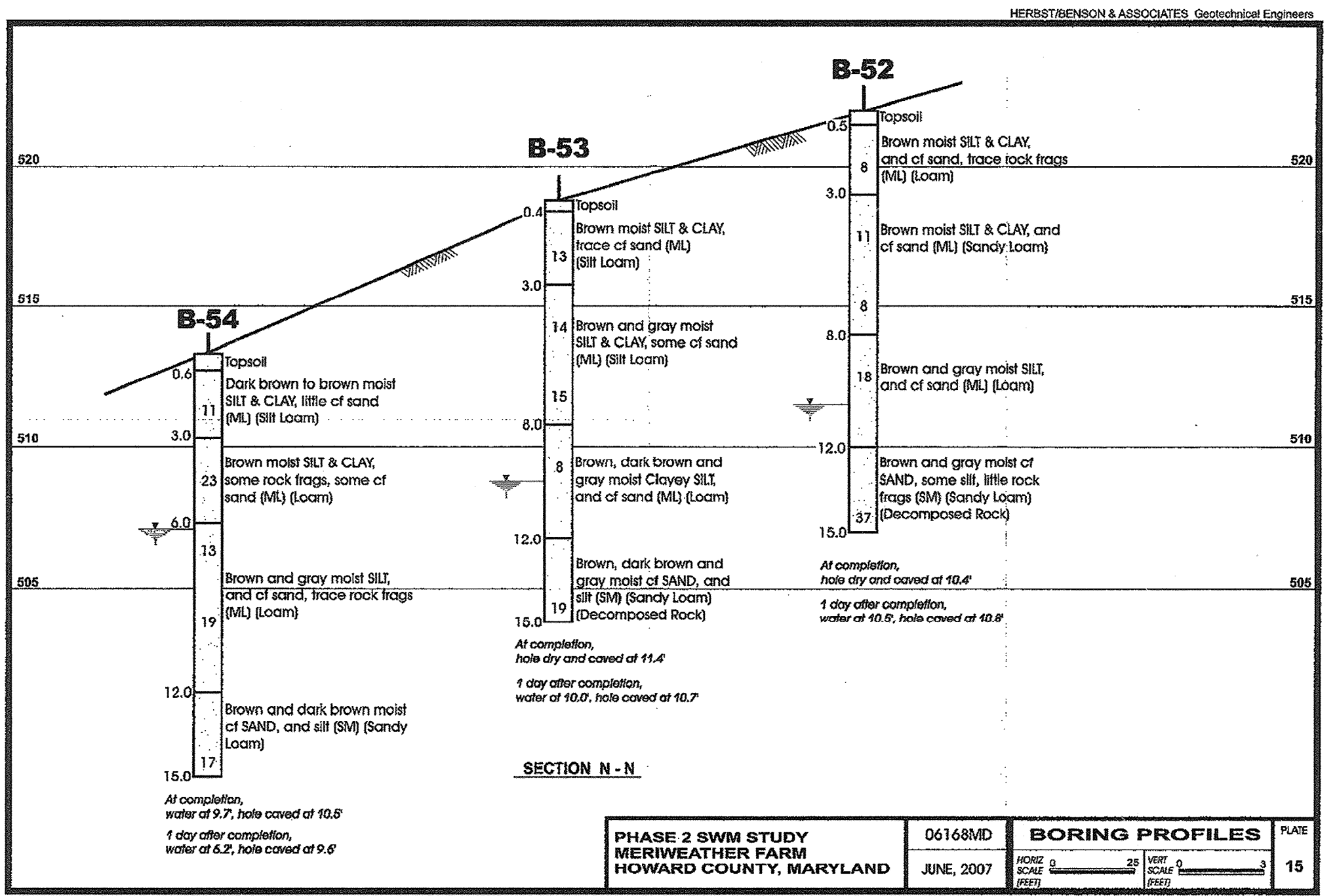
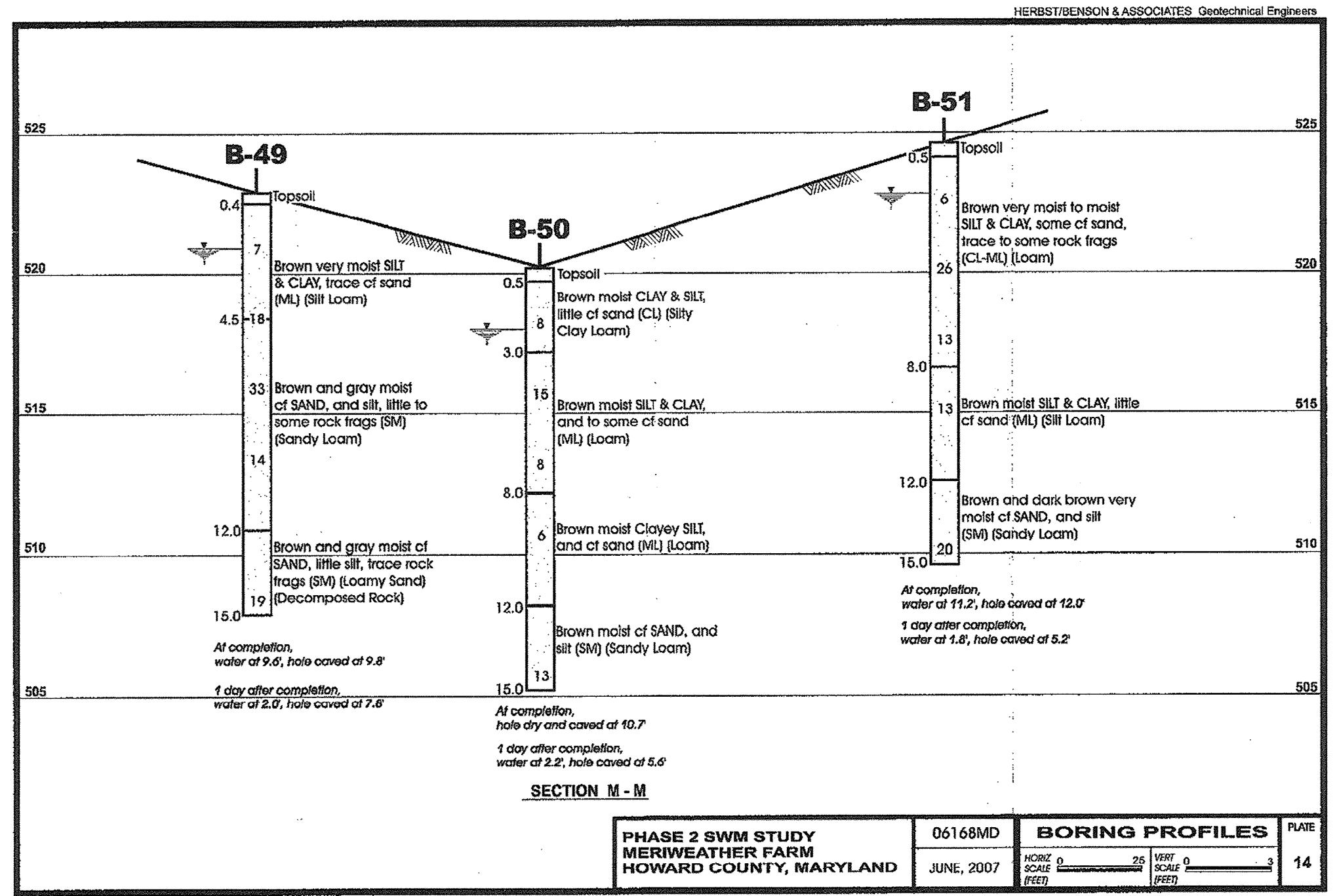
ZONED: RC-260
 PARCEL No.: 29 GRID Nos.: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 26 OF 30

I:\304\0405\0405\PHASE TWO SECTION TWO FINALS\SHEET 26 OF 30 BORINGS.dwg, 9/21/2009 1:46:18 PM, James

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FREE
 ELICOTT CITY, MARYLAND 21042
 410.461.2895

Approved: Department Of Planning And Zoning
 Chief, Division Of Land Development
 Chief, Development Engineering Division
 Approved: Howard County Department Of Public Works
 Chief, Bureau Of Highways

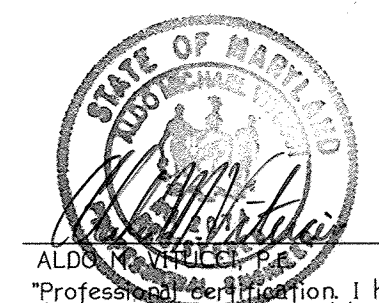
10-30-09
 10/28/09
 10-23-09



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PKWY
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2855

NO.	DESCRIPTION	DATE
1	REVISED OWNER AND DEVELOPER	10-19-11
REVISIONS		

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll



9-22-09
 DATE

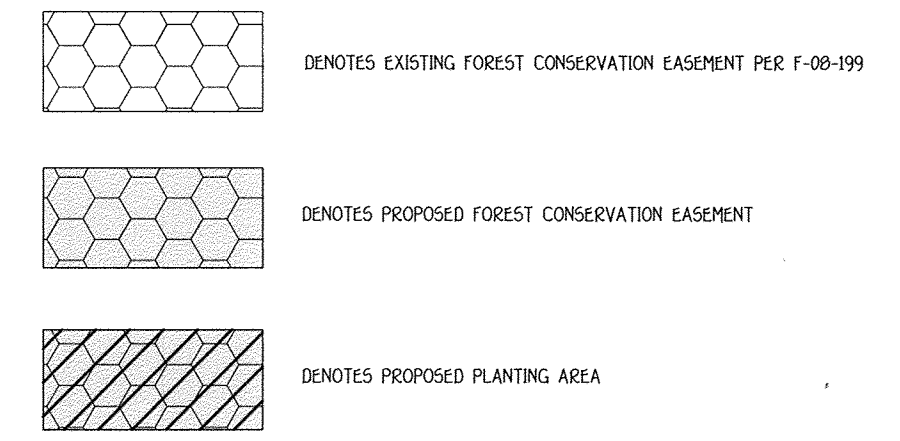
NO ASBUILT INFORMATION
 SOIL BORINGS
 MERIWETHER FARM
 SECTION TWO
 PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION
 PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)
 ZONED: RC-DEO
 TAX MAP No.: 21 PARCEL No.: 29 GRID Nos.: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 27 OF 30

APPROVED: DEPARTMENT OF PUBLIC WORKS
W. J. Smith 10-23-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
K. J. ... 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

W. ... 10/28/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

FOREST CONSERVATION DATA (ON-SITE)				
EASEMENT NO.	CREDITED RETENTION AREA	PLANTING AREA	NON-CREDITED RETENTION AREA	TOTAL EASEMENT AREA
1 - (F-08-198)	---	1.04 AC.	---	1.04 AC.
1 - (F-08-199)	4.303 AC.	---	---	4.303 AC.
2 - (F-08-199)	---	0.747 AC.	---	0.747 AC.
3 - (F-08-199)	2.53 AC.	7.426 AC.	---	9.956 AC.
4 - (F-08-199)	7.416 AC.	---	---	7.416 AC.
5	0.29 AC.	---	---	0.29 AC.
6	14.191 AC.	2.14 AC.	---	16.291 AC.
7	1.41 AC.	7.85 AC.	---	9.26 AC.
8	---	2.197 AC.	---	2.197 AC.
TOTAL	30.1 AC.	21.4 AC.	---	51.5 AC.

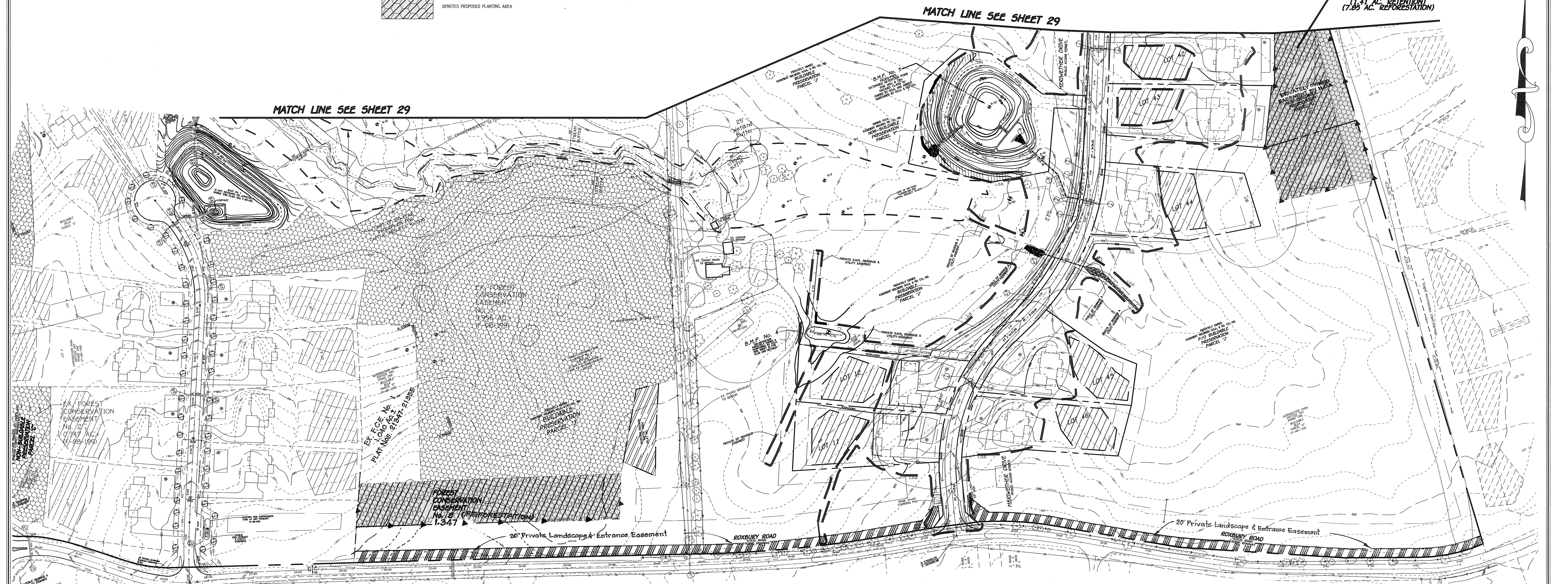


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.



FOR ESE CONSULTANTS, INC.

FOREST CONSERVATION EASEMENT NO. 7
 9.26 AC.
 (1.41 AC. RETENTION)
 (7.85 AC. REFORESTATION)

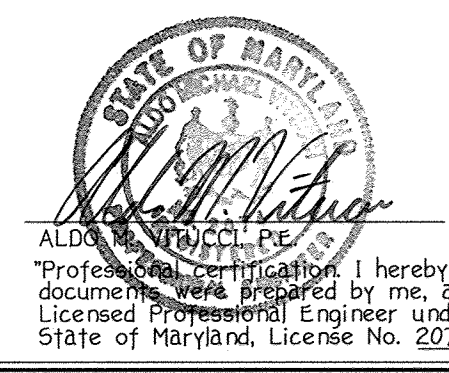


ROXBURY ROAD

PLAN
 SCALE: 1" = 100'

NO.	DESCRIPTION	DATE
1	REVISED LANDSCAPE AND ENTRANCE EASEMENT & F.C.E.	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11
NO.	DESCRIPTION	DATE
	REVISIONS	

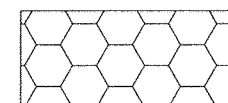
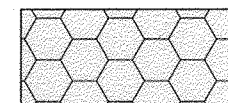

Owner	Developer
Meriwether Farm II, LLC c/o Second Goodier, LLC 10715 Charter Drive Suite 350 Columbia, Maryland 21044 Ph: (410) 997-7501 Attn: Mr. Robert C. Goodier, Jr.	Toll Brothers, Inc. Maryland Division 7164 Columbia Gateway Drive Suite 230 Columbia, Maryland 21046 Ph: (410) 997-7501 Attn: Mr. Jeff Driscoll



FOREST CONSERVATION PLAN
MERIWETHER FARM
SECTION TWO
PHASE TWO
BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No.: 21 ZONED: RC-DEO
 PARCEL No.: 29 GRID Nos.: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 28 OF 30

ASBUILT

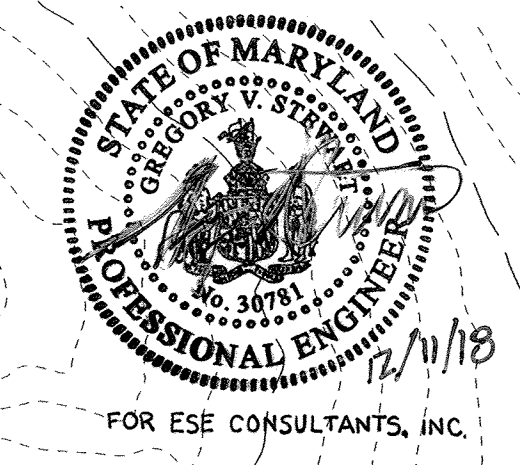
-  DENOTES EXISTING FOREST CONSERVATION EASEMENT PER F-08-199
-  DENOTES PROPOSED FOREST CONSERVATION EASEMENT
-  DENOTES PROPOSED PLANTING AREA

NO.	DESCRIPTION	DATE
2	REV. MERIWETHER DR. GEP & SWM ON LOTS 26-27, 30 & 33-34	2/28/17
1	REMOVED FIRE SUPPRESSION TANK AND UIC EASEMENT	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11
REVISIONS		

APPROVED: DEPARTMENT OF PUBLIC WORKS
Walter R. Munn 10-23-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Robert J. DeLoach 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John V. Vannoy 10/28/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30781, EXPIRATION DATE 6/15/20.

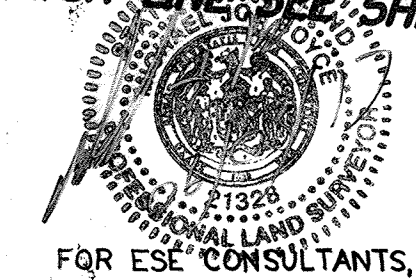


FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK • 10272 BALTIMORE NATIONAL FILE
 ELLETTT CITY, MARYLAND 21114
 410.461.2825

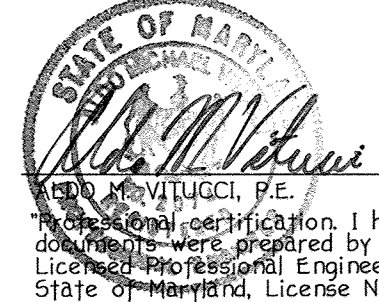
Eco-Science Professionals, Inc.
 CONSULTING ECOLOGISTS

MD DNR Qualified Professional
 USACOE Wetland Delineator
 Certification: WDEP93MD0610044B
John P. Canoles
 JOHN P. CANOLES

PLAN
 SCALE: 1" = 100'



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.



John V. Vannoy 9-22-11
 DATE

**FOREST CONSERVATION PLAN
 MERIWETHER FARM
 SECTION TWO**

**PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'**
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

TAX MAP No: 21 PARCEL No: 29 ZONED: RC-260
 4TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 29 OF 30

ASBUILT

FCE Planting Area # 6 - 2.14 acres

Planting required: (350 WHPS PER ACRE) x 2.14 = 749 WHPS
 Planting provided: (705 whips and 25 - 1" trees)

Qty	Species	Size	Spacing
10	Acer rubrum - Red maple	1" cal.	15' o.c.
15	Quercus alba - White oak	1" cal.	15' o.c.
25 Total 1" caliper trees			
100	Acer rubrum - Red maple	2-3" whip	11' o.c.
100	Cercis canadensis - Red bud	2-3" whip	11' o.c.
75	Cornus florida - Flowering dogwood	2-3" whip	11' o.c.
75	Liriodendron tulipifera - Tulip poplar	2-3" whip	11' o.c.
125	Prunus serotina - Black cherry	2-3" whip	11' o.c.
105	Robinia pseudo-acacia - Black locust	2-3" whip	11' o.c.
75	Quercus alba - White oak	2-3" whip	11' o.c.
50	Viburnum prunifolium - Blackhaw	2-3" whip	11' o.c.
705 Total whip plantings			

1" CAL TREES = 200/ACRE (25 TREES/200) = 0.125 AC.
 WHPS w/shelters = 350/ACRE = (350 x 2.015 AC. (2.14 - 0.125)) = 705 WHPS

FCE Planting Area # 7 - 7.85 acres

Planting required: (350 WHPS PER ACRE) x 7.85 = 2748 WHPS
 Planting provided: (2573 whips and 100 - 1" trees)

Qty	Species	Size	Spacing
50	Acer rubrum - Red maple	1" cal.	15' o.c.
50	Quercus alba - White oak	1" cal.	15' o.c.
100 Total 1" caliper trees			
500	Acer rubrum - Red maple	2-3" whip	11' o.c.
450	Cercis canadensis - Red bud	2-3" whip	11' o.c.
273	Cornus florida - Flowering dogwood	2-3" whip	11' o.c.
300	Liriodendron tulipifera - Tulip poplar	2-3" whip	11' o.c.
300	Prunus serotina - Black cherry	2-3" whip	11' o.c.
350	Robinia pseudo-acacia - Black locust	2-3" whip	11' o.c.
200	Quercus alba - White oak	2-3" whip	11' o.c.
200	Viburnum prunifolium - Blackhaw	2-3" whip	11' o.c.
2573 Total whip plantings			

1" CAL TREES = 200/ACRE (100 TREES/200) = 0.50 AC.
 WHPS w/shelters = 350/ACRE = (350 x 7.35 AC. (7.85 - 0.50)) = 2573 WHPS

FCE Planting Area # 8 - 2.197 acres

Planting required: (350 WHPS PER ACRE) x 2.197 = 769 WHPS
 Planting provided: (725 whips and 25 - 1" trees)

Qty	Species	Size	Spacing
10	Acer rubrum - Red maple	1" cal.	15' o.c.
15	Quercus alba - White oak	1" cal.	15' o.c.
25 Total 1" caliper trees			
100	Acer rubrum - Red maple	2-3" whip	11' o.c.
100	Cercis canadensis - Red bud	2-3" whip	11' o.c.
85	Cornus florida - Flowering dogwood	2-3" whip	11' o.c.
85	Liriodendron tulipifera - Tulip poplar	2-3" whip	11' o.c.
125	Prunus serotina - Black cherry	2-3" whip	11' o.c.
105	Robinia pseudo-acacia - Black locust	2-3" whip	11' o.c.
75	Quercus alba - White oak	2-3" whip	11' o.c.
50	Viburnum prunifolium - Blackhaw	2-3" whip	11' o.c.
725 Total whip plantings			

1" CAL TREES = 200/ACRE (25 TREES/200) = 0.125 AC.
 WHPS w/shelters = 350/ACRE = (350 x 2.072 AC. (2.197 - 0.125)) = 725 WHPS

EX. FCE Planting Area # 1 - 1.04 acres

Planting units required: 350 WHPS PER ACRE x 1.04 = (364 whips)
 Planting units provided: (333 whips and 18 trees)

Qty	Species	Size	Spacing	Total FCA Units
6	Acer rubrum - Red maple	1" cal.	15' o.c.	
12	Quercus alba - White oak	1" cal.	15' o.c.	
18 Total 1" caliper trees				
53	Acer rubrum - Red maple	2-3" whip	11' o.c.	
40	Cercis canadensis - Red bud	2-3" whip	11' o.c.	
40	Cornus florida - Flowering dogwood	2-3" whip	11' o.c.	
40	Liriodendron tulipifera - Tulip poplar	2-3" whip	11' o.c.	
40	Prunus serotina - Black cherry	2-3" whip	11' o.c.	
40	Robinia pseudo-acacia - Black locust	2-3" whip	11' o.c.	
40	Quercus alba - White oak	2-3" whip	11' o.c.	
40	Viburnum prunifolium - Blackhaw	2-3" whip	11' o.c.	
333 Total whip plantings				

1" CAL TREES = 200/ACRE (18 TREES/200) = 0.09 AC.
 WHPS w/shelters = 350/ACRE = 350 x 0.95 AC. = 333 WHPS

FCE Planting Area # 7 - 7.66 acres

Planting units required: 350 WHPS PER ACRE x 7.66 = (2681 whips)
 Planting units provided: (2506 whips and 100 trees)

Qty	Species	Size	Spacing	Total FCA Units
50	Acer rubrum - Red maple	1" cal.	15' o.c.	
50	Quercus alba - White oak	1" cal.	15' o.c.	
100 Total 1" caliper trees				
500	Acer rubrum - Red maple	2-3" whip	11' o.c.	
450	Cercis canadensis - Red bud	2-3" whip	11' o.c.	
400	Cornus florida - Flowering dogwood	2-3" whip	11' o.c.	
300	Liriodendron tulipifera - Tulip poplar	2-3" whip	11' o.c.	
300	Prunus serotina - Black cherry	2-3" whip	11' o.c.	
200	Robinia pseudo-acacia - Black locust	2-3" whip	11' o.c.	
200	Quercus alba - White oak	2-3" whip	11' o.c.	
156	Viburnum prunifolium - Blackhaw	2-3" whip	11' o.c.	
2506 Total whip plantings				

1" CAL TREES = 200/ACRE (100 TREES/200) = 0.50 AC.
 WHPS w/shelters = 350/ACRE = 350 x 7.16 AC. = 2506 WHPS

NO.	DESCRIPTION	DATE
1	REVISED FOREST CONSERVATION PLANTING	10-19-11
1	REVISED OWNER AND DEVELOPER	10-19-11
REVISIONS		

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BAL THORNE NATIONAL PARK
 ELICOTT CITY, MARYLAND 21042
 410.461.2855

Eco-Science Professionals, Inc.
 CONSULTING ECOLOGISTS

FOREST CONSERVATION WORKSHEET

NET TRACT AREA	ACRES
A. TOTAL TRACT AREA	362.4
B. DEDUCTIONS IDENTICAL AREA, AREA RESTRICTED BY LOCAL OR PROGRAMS	6.70
C. NET TRACT AREA (NET TRACT AREA - TOTAL TRACT (A) - DEDUCTIONS (B))	176.13
LAND USE CATEGORY: MEDIUM DENSITY RESIDENTIAL	
D. AFFORESTATION THRESHOLD (NET TRACT AREA (C) x 200)	35.23
E. CONSERVATION THRESHOLD (NET TRACT AREA (C) x 250)	44.03
EXISTING FOREST COVER	
F. EXISTING FOREST COVER WITHIN THE NET TRACT AREA	60.8
G. AREA OF FOREST ABOVE CONSERVATION THRESHOLD	0
H. IF THE EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN G = F - E, OTHERWISE G = 0	
BREAKEVEN POINT	
I. BREAKEVEN POINT AMOUNT OF FOREST THAT MUST BE RETAINED SO THAT NO MITIGATION IS REQUIRED	60.8
J. IF THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) IS GREATER THAN 0, THEN H = 0.2 x THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) - THE CONSERVATION THRESHOLD (E)	
K. IF THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) IS EQUAL TO 0, THEN H = EXISTING FOREST COVER (F)	0
L. FOREST CLEARING PERMITTED WITHOUT MITIGATION	
M. EXISTING FOREST COVER (F) - BREAKEVEN POINT (I)	
PROPOSED FOREST CLEARING	
N. TOTAL AREA OF FOREST TO BE CLEARED	10.7
O. TOTAL AREA OF FOREST TO BE RETAINED	301
P. EXISTING FOREST COVER (F) - FOREST TO BE CLEARED (N)	
PLANTING REQUIREMENTS	
IF THE TOTAL AREA OF FOREST TO BE RETAINED (O) IS AT OR ABOVE THE BREAKEVEN POINT (I), NO PLANTING IS REQUIRED, AND NO FURTHER CALCULATIONS ARE NECESSARY (L=0, P=0, M=0, Q=0, R=0).	
OTHERWISE, CALCULATE THE PLANTING REQUIREMENTS AS FOLLOWS:	
1. REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD	0
(Q) IF THE TOTAL AREA OF FOREST TO BE RETAINED (O) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN L = THE AREA OF FOREST TO BE CLEARED (N) x 0.25	
(R) IF THE FOREST TO BE RETAINED (O) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN L = AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) x 0.25	
H. REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD	214
(S) IF EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E) AND THE FOREST TO BE RETAINED (O) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN H = 2.0 x (CONSERVATION THRESHOLD (E) - FOREST TO BE RETAINED (O))	
(T) IF EXISTING FOREST COVER (F) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN H = 2.0 x FOREST TO BE CLEARED (N)	
N. CREST FOR RETENTION ABOVE THE CONSERVATION THRESHOLD	0
IF THE AREA OF FOREST TO BE RETAINED (O) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN N = E - E, OTHERWISE N = 0	
P. TOTAL REFORESTATION REQUIRED P = L + H + N	214
Q. TOTAL AFFORESTATION REQUIRED	
(U) IF EXISTING FOREST COVER (F) IS LESS THAN THE AFFORESTATION THRESHOLD (D), THEN Q = AFFORESTATION THRESHOLD (D) - EXISTING FOREST COVER (F)	0
R. TOTAL PLANTING REQUIREMENT R = P + Q	214

Planting/Soil Specifications

- Installation of bare-root plant stock shall take place between March 15 - April 20, 2009, container stock March 15 - May 30 or September 15 - November 15. Fall planting of bare-root stock is not recommended.
- Disturbed areas shall be seeded and stabilized as per general construction plan for project. Planting areas not impacted by site grading shall have no additional special installed.
- Bare-root plants shall be installed so that the top of root mass is level with the top of existing grade. Roots shall be placed in an anti-decay gel prior to planting. Backfill in the planting pits shall consist of 3 parts existing soil to 1 part pine fines or equivalent.
- Fertilizer shall consist of Agriform 22-0-2, or equivalent, applied as per manufacturer's specifications, for woody plants. Herbaceous plants shall be fertilized with Osmocote 0-6-12.
- Plant material shall be transported to the site in a tapered or covered truck. Plants shall be kept moist prior to planting.

Sequence of Construction

- All non-organic debris associated with the planting operation shall be removed from the site by the contractor.
- Sediment control shall be installed in accordance with general construction plan for site.
- Plants shall be installed as per Plant Schedule and the Planting/Soil Specifications for the project.
- Upon completion of the planting, signage shall be installed as shown.
- Plantings shall be maintained and guaranteed in accordance with the Maintenance and Guarantee requirements for project.

Maintenance of Plantings

- Maintenance of plantings shall last for a period of 2 years.
- Plantings must receive 2 gallons of water, either through precipitation or watering, weekly during the 1st growing season, as needed. During second growing season, once a month during May-September, if needed.
- Invasive exotics and noxious weeds will be removed, as required, from planting areas mechanically and/or with limited herbicide application (see groundcover note where appropriate). Old field successional species will be retained.
- Plants will be examined a minimum two times during the growing season for serious plant pests and diseases. Serious problems will be treated with the appropriate agent.
- Dead branches will be pruned from plantings.

Guarantee Requirements

A 75 percent survival rate of forestation plantings will be required at the end of 2 growing seasons. All plant material below the 75 percent threshold will be replaced at the beginning of the next growing season. Wild trees arising from natural regeneration may be counted up to 50 percent towards the total survival number if they are healthy, native species at least 12 inches tall.

Surety for Forestation

Meriwether Farm, Section Two, Phase Two Subdivision Will be Fulfilled by Providing a Total Of Onsite Retention Of 301 Acres Of Forest And 214 Acres Of Onsite Planting.

A. Total Forest Retention Obligation For Meriwether Farm, Section Two, Phase Two = 301 Acres.
 B. Required Forest Retention Obligation For Meriwether Farm, Section Two, Phase Two = 15,851 Acres.
 C. Provided Forest Retention Conservation Easement For Meriwether Farm, Section Two, Phase Two = 15,851 Ac.
 D. Total Forest Retention Obligation For Meriwether Farm, Section Two, Phase Two = 214 Acres.
 E. Required Forest Retention Obligation For Meriwether Farm, Section Two, Phase Two = 12,187 Ac.
 F. Provided Forest Retention Conservation Easement For Meriwether Farm, Section Two, Phase Two = 12,187 Ac.
 G. The Forest Conservation Surety Amount Required is \$403,527.00 (15,851 ac. x \$3,560 x 0.20) = \$1,130,994 + 02.187 ac. x \$3,560 x 0.50 = \$265,433.01 And will be Provided with the Developer's Agreement.

Planting Notes

When possible, plants shall be installed within 24 hours of delivery. If installation cannot be performed within this time frame, plant stock shall be watered and protected from desiccation. Application of hepcicide, Round-up or equivalent, may be used to reduce plant competition from old field successional growth at the time of installation. Mowing, re-application of herbicide, or a combination thereof, may be used to control unwanted competing vegetation. Planting shall be installed within one year or two growing seasons of subdivision approval. Plantings shall be installed in accordance with the time schedule included in Note 1 of the planting/Seeding Specifications.

FCE NOTES

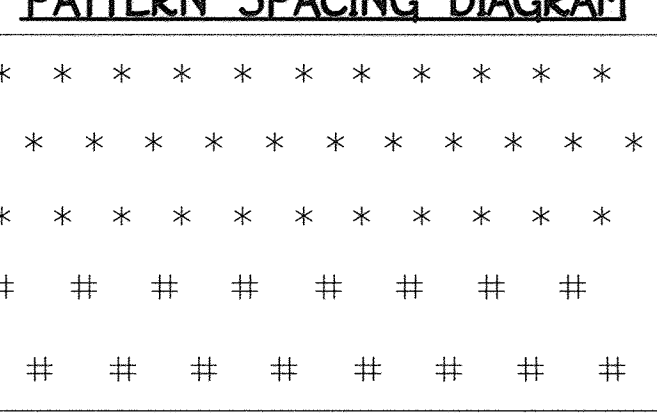
- ANY FOREST CONSERVATION EASEMENT (FCE) AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16-500 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT, NO CLEARING, GRAZING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- FORESTED AREAS OCCURRING OUTSIDE OF THE FCE SHALL NOT BE CONSIDERED PART OF THE FCE AND SHALL NOT BE SUBJECT TO PROTECTIVE LAND COVENANTS.
- LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO AREAS OUTSIDE THE LIMIT OF TEMPORARY FENCING OR THE FCE BOUNDARY, WHICHEVER IS GREATER.
- THERE SHALL BE NO CLEARING, GRAZING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT, EXCEPT AS PERMITTED BY HOWARD COUNTY DEPT.
- NO STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED AS FOREST CONSERVATION EASEMENTS.
- TEMPORARY FENCING SHALL BE USED TO PROTECT FOREST RESOURCES DURING CONSTRUCTION. THE FENCING SHALL BE PLACED ALONG ALL FCE BOUNDARIES, WHICH OCCUR WITHIN 15 FEET OF THE PROPOSED LIMITS OF DISTURBANCE.
- PERMANENT SIGNAGE SHALL BE PLACED 50' - 100' APART ALONG BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.

APPROVED: DEPARTMENT OF PUBLIC WORKS
W. J. ... 10-22-09
 CHIEF, BUREAU OF HIGHWAYS DATE

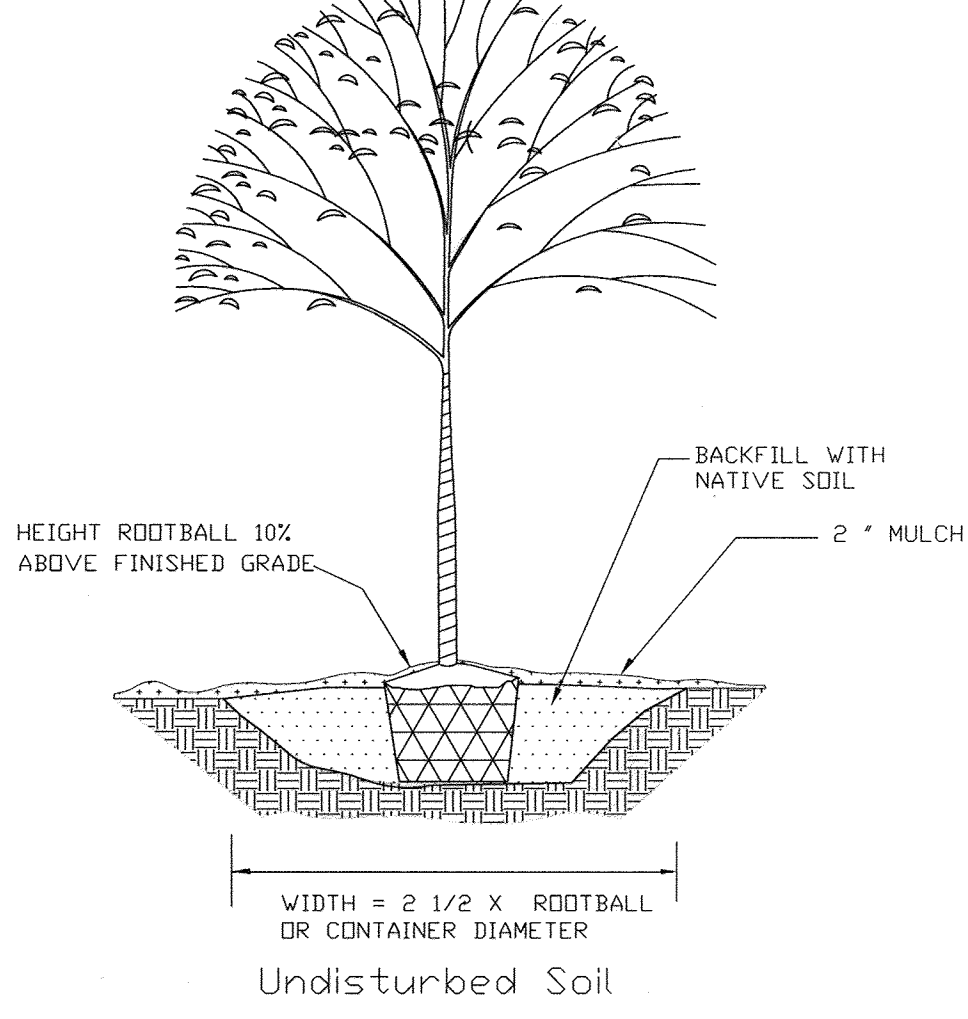
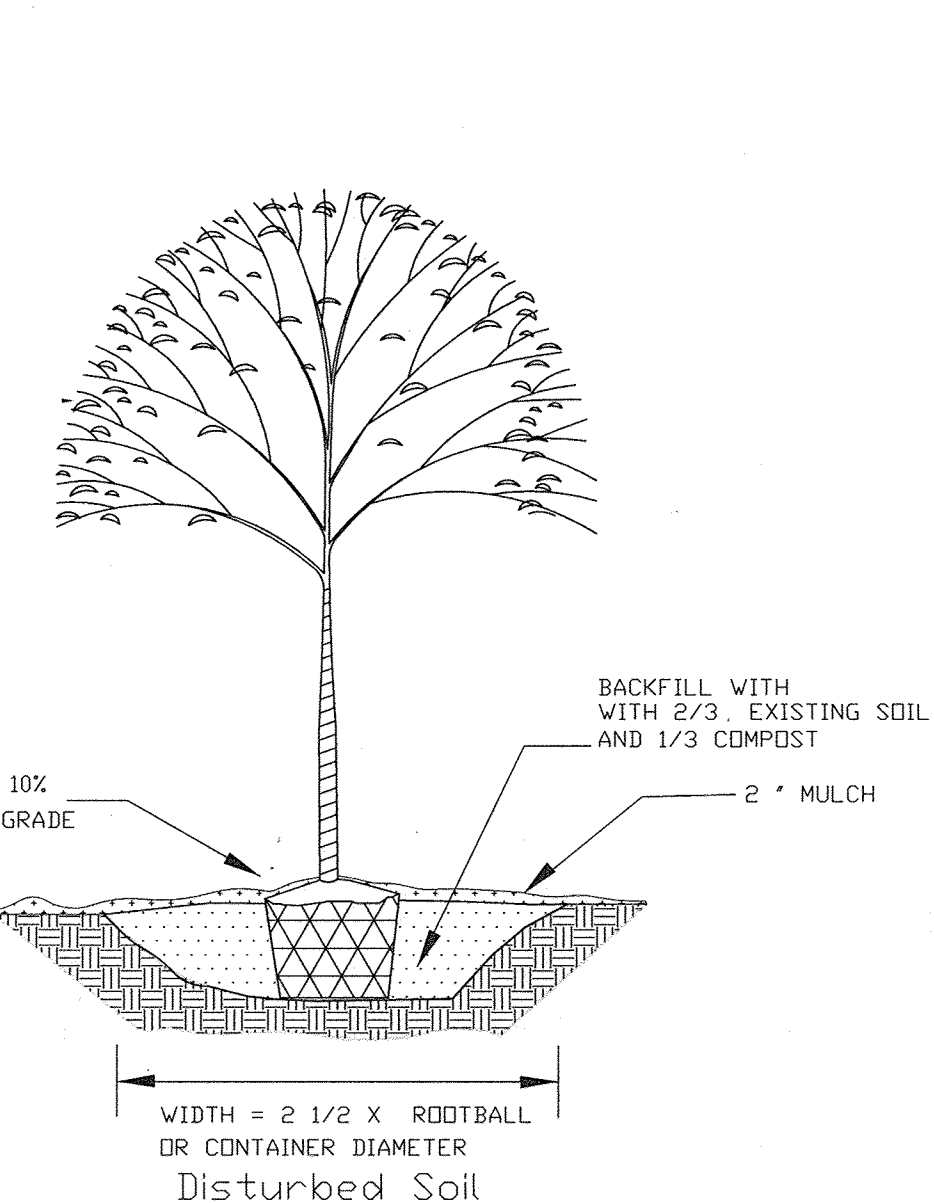
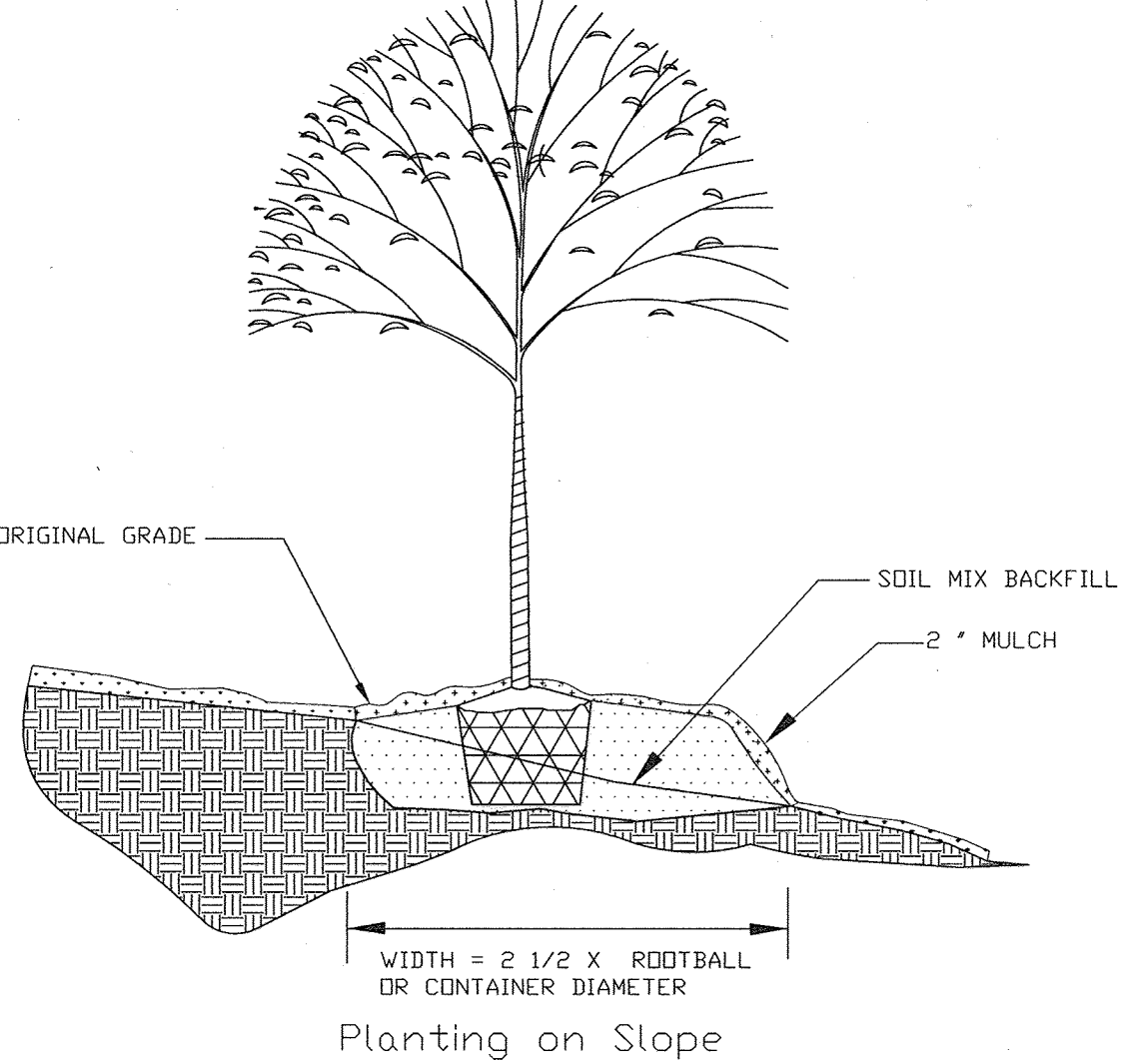
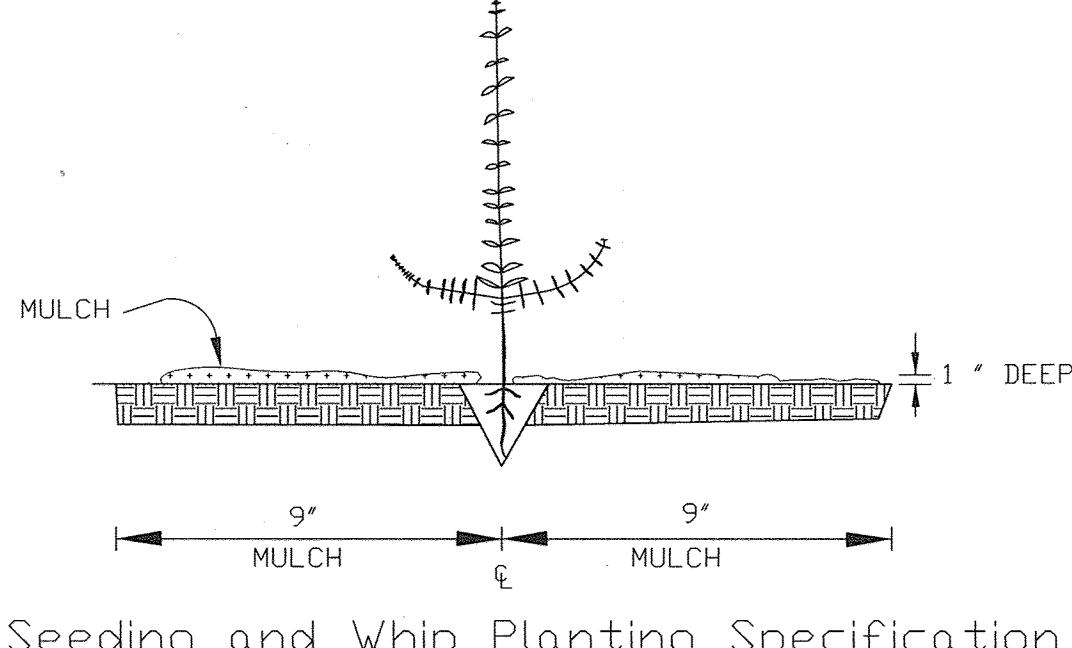
APPROVED: DEPARTMENT OF PLANNING AND ZONING
W. J. ... 10-30-09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

W. J. ... 10/26/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

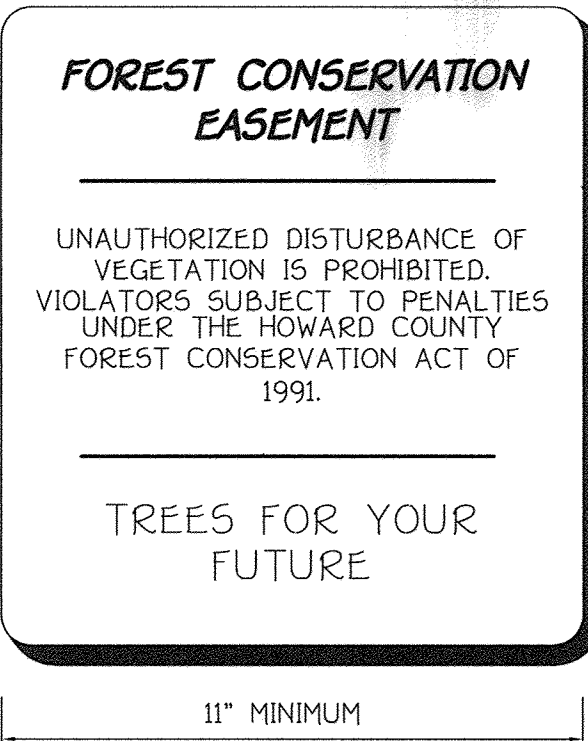
PATTERN SPACING DIAGRAM



* - whip w/shelter 11' on center spacing
 # - 1" caliper tree 15' on center spacing
 Species shall be randomly interspersed, rows should be planting along contours



ON-SITE SIGNAGE



NO ASBUILT INFORMATION FOREST CONSERVATION NOTES & DETAILS

MERIWETHER FARM SECTION TWO
 PHASE TWO
 BUILDABLE LOTS 11 THRU 46, NON-BUILDABLE PRESERVATION PARCELS 'F', 'G', 'H' & 'I' AND BUILDABLE PRESERVATION PARCEL 'J'
 (A RESUBDIVISION OF BUILDABLE BULK PARCEL 'E', MERIWETHER FARM, SECTION TWO, PHASE ONE, F-08-199)

ZONED RC-060
 PARCEL No: 29 GRD Nos: 15, 16, 21 & 22
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: SEPTEMBER 21, 2009
 SHEET 30 OF 30

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
W. J. ...
 DATE: 9-22-09
 I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20740, Expiration Date 2-22-11.

Owner
 Meriwether Farm II, LLC
 c/o Second Goodier, LLC
 10715 Charter Drive
 Suite 350
 Columbia, Maryland 21044
 Ph: (410) 997-7501
 Attn: Mr. Robert C. Goodier, Jr.

Developer
 Toll Brothers, Inc.
 Maryland Division
 7164 Columbia Gateway Drive
 Suite 230
 Columbia, Maryland 21046
 Ph: (410) 997-7501
 Attn: Mr. Jeff Oriscoll