FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER MANAGEMENT PLAN

MERIWETHER FARM

SECTION TWO

PHASE ONE

BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)

ZONING: RC-DEO

TAX MAP No. 21 GRID No. 15, 16, 21 & 22 PARCEL No. 28

APPROVED: DEPARTMENT OF PUBLIC WORKS

CHIEF, BUREAU OF HIGHWAYS — DATE 1-12-09

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 1/22/09

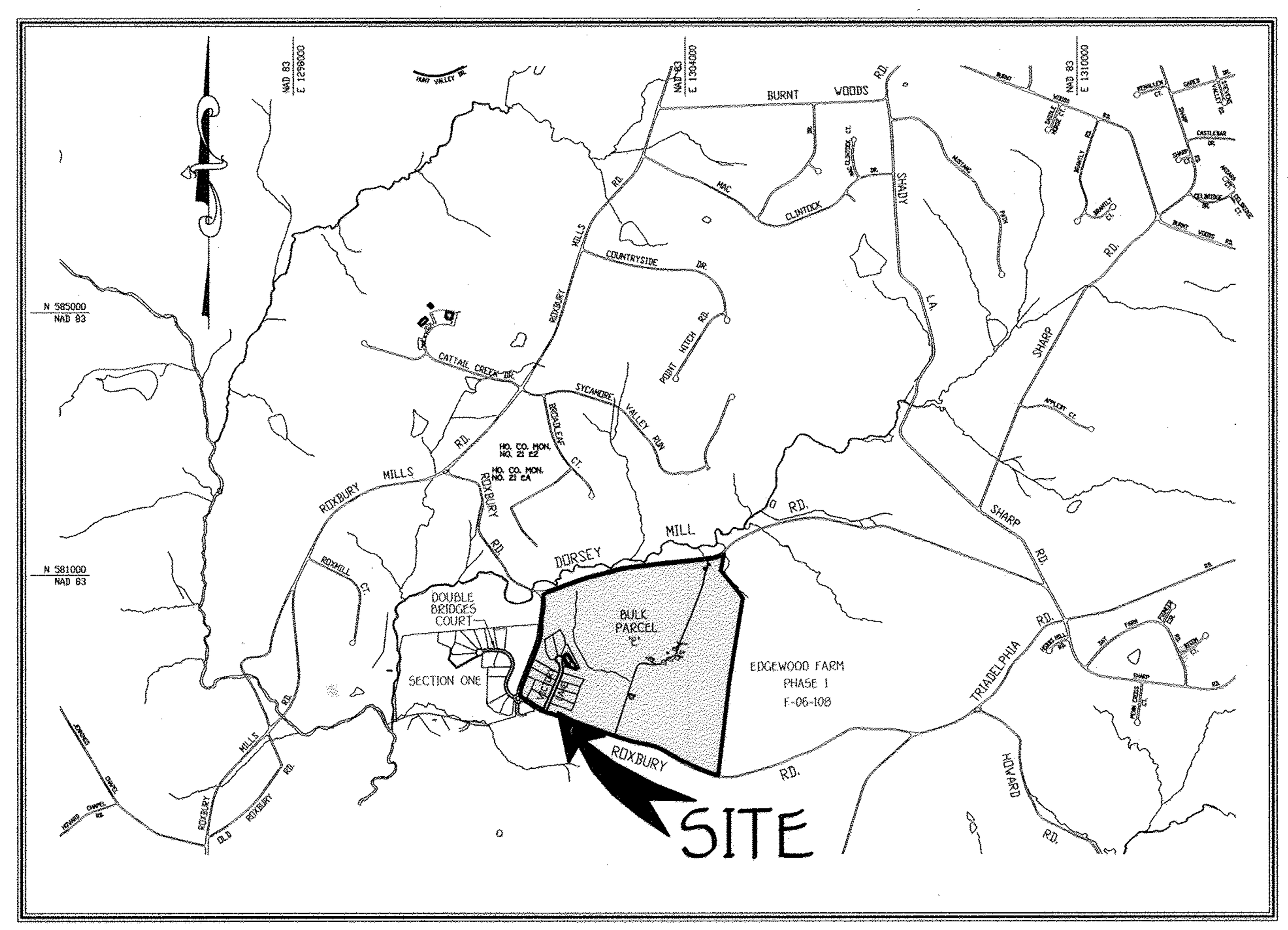
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 1-16-9

ROADWAY INFORMATION CHART

ROAD NAME	CLASSIFICATION	DESIGN SPEED	R/W WIDTH
VICTORY LANE	PUBLIC ACCESS PLACE	25 M.P.H.	50'

TRAFFIC CONTROL SIGNS

ROAD NAME	CENTERLINE STA.	OFFSET	POSTED SIGN	SIGN CODE
VICTORY LANE	0+25	16' L	STOP	R1-1
VICTORY LANE	2+10	11' R	SPEED LIMIT 25	R2-1



VICINITY MAP

SCALE: 1" = 2000'

FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:
   HOWARD COUNTY MONUMENT NO. 21 EA N 582715.1489 E 1300495.9996 ELEV. = 450.292
   HOWARD COUNTY MONUMENT NO. 21 E2 N 582976.4443 E 1300868.4416 ELEV. = 476.653
6. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY MARS GROUP DATED NOVEMBER, 2006 AND WAS APPROVED UNDER SP-07-007.
7. BACKGROUND INFORMATION:
   A. SUBDIVISION NAME: MERIWETHER FARM
   B. TAX MAP NO.: 21
   C. PARCEL NO.: 28
   D. ZONING: RC-DEO
   E. ELECTION DISTRICT: FOURTH
   F. TOTAL TRACT AREA: 177.862 AC.± (BULK PARCEL 'A', PLAT No.); ORIGINAL TRACT AREA = 183.068 AC.±
   G. NET AREA = (183.068 - 6.78 (FLOODPLAIN) - 5.81 (STEEP SLOPES OUTSIDE FLOODPLAIN) = 170.478 AC.±
   H. AREA OF STEEP SLOPES 25% AND GREATER = 6.01 AC.± TOTAL (5.81 AC. OUTSIDE FLOODPLAIN)
   I. NO. OF BUILDABLE LOTS: 10
   J. NO. OF NON-BUILDABLE PRESERVATION PARCELS: 2
   K. NO. OF BUILDABLE BULK PARCELS: 1
   L. AREA OF BUILDABLE LOTS: 11.060 AC.±
   M. AREA OF NON-BUILDABLE PRESERVATION PARCELS: 2.761 AC.±
   N. AREA OF BUILDABLE BULK PARCELS: 162.902 AC.±
   O. TOTAL AREA OF ROADWAY TO BE DEDICATED: 1.139 AC.±
   P. AREA OF FLOODPLAIN: 6.78 AC.±
8. NO CEMETERIES EXIST WITHIN THIS SUBDIVISION.
9. ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T-180.
10. PLAN SUBJECT TO PRIOR DPZ FILE No.: SP-07-009, F-08-198 & WP-09-043
11. THE PROPOSED WATER AND SEWER SYSTEMS SHALL BE PRIVATE.
12. THE SUBJECT PROPERTY IS LOCATED OUTSIDE OF THE METROPOLITAN DISTRICT.
13. TOPOGRAPHIC CONTOURS BASED ON AERIAL BY HARFORD AERIAL SURVEYS, INC., DATED APRIL 6, 2004.
14. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
15. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS & CARTER, INC. DATED JUNE 15, 2005.
16. SUBJECT PROPERTY ZONED RC-DEO PER THE 2004 ZONING REGULATIONS AND THE COMP-LITE ZONING AMENDMENTS DATED 7/28/06.
17. THIS SUBDIVISION PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE 2004 ZONING REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL NO. 75-2003. DEVELOPMENT OR CONSTRUCTION ON THIS LOTS OR PARCELS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF A BUILDING OR GRADING PERMIT APPLICATION.
18. THERE ARE AREAS OF STEEP SLOPES (25% OR GREATER) LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116b THESE AREAS ARE LOCATED WITHIN THE PRESERVATION PARCELS AND NOT ON THE RESIDENTIAL LOTS.
19. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY AND MARYLAND 378 SPECIFICATIONS. THE PROPOSED STORMWATER MANAGEMENT FOR THIS SITE IS CHANNEL PROTECTION AND WATER QUALITY AND IS PROVIDED IN THE FOLLOWING FACILITIES:
   a. B.M.P. NO. 1 IS A MICRO-POOL EXTENDED DETENTION POND AND IS PRIVATELY OWNED BY H.O.A AND JOINTLY MAINTAINED BY H.O.A. AND HOWARD COUNTY, LOCATED ON NON-BUILDABLE PRESERVATION PARCEL 'D'.
   b. B.M.P. NO. 2, 3 & 4 ARE LEVEL SPREADERS, PRIVATELY OWNED AND MAINTAINED BY HOMEOWNER, LOCATED ON OR NEAR LOTS 1, 5 & 6 RESPECTIVELY.
20. THE NON-CRITICAL FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY FISHER, COLLINS & CARTER, INC. DATED NOVEMBER, 2006, AND SUPPLEMENTED WITH INFORMATION OBTAINED FROM HO.CO. CAPITAL PROJECT D-1079 AND WAS APPROVED UNDER SP-07-007.
21. AS PER SECTION 104.F.4.B OF THE ZONING REGULATIONS, ONLY ONE EASEMENT HOLDER IS REQUIRED FOR PRESERVATION PARCELS DESIGNED SOLELY FOR SWM FACILITIES OR COMMUNITY SEWERAGE DISPOSAL SYSTEMS.
   A. NON-BUILDABLE PRESERVATION PARCEL 'C'
      OWNED: PRIVATELY OWNED
      EASEMENT HOLDERS: HOWARD COUNTY, MARYLAND & HOMEOWNER'S ASSOCIATION
      USE: ENVIRONMENTAL PROTECTION (F.C.E.)
   B. NON-BUILDABLE PRESERVATION PARCEL 'D'
      OWNED: HOMEOWNER'S ASSOCIATION
      EASEMENT HOLDER: HOWARD COUNTY, MARYLAND
      USE: S.W.M.
22. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAM, FOREST CONSERVATION EASEMENT OR THEIR REQUIRED BUFFERS.
23. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY PENNIMAN & BROWN DATED NOVEMBER, 2006.
24. THE FOREST STAND DELINEATION AND WETLAND DELINEATION FOR THIS PROJECT WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED NOVEMBER, 2006 AND WAS APPROVED UNDER SP-07-007.
25. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR MERIWETHER FARM, SECTION TWO, PHASE ONE SUBDIVISION WILL BE FULFILLED BY PROVIDING A TOTAL OF ONSITE RETENTION OF 14.249 ACRES OF FOREST AND 8.173 ACRES OF ONSITE PLANTING.
   A. TOTAL FOREST RETENTION OBLIGATION FOR MERIWETHER FARM, SECTION TWO = 30.1 ACRES.
   B. REQUIRED FOREST RETENTION OBLIGATION FOR MERIWETHER FARM, SECTION TWO, PHASE ONE = 6.40 ACRES. (30.1 AC. OF TOTAL RETENTION/47 TOTAL D.U. = 0.640 AC./D.U. X 10 D.U. = 6.40 AC.)
   C. PROVIDED FOREST RETENTION CONSERVATION EASEMENT FOR MERIWETHER FARM, SECTION TWO, PHASE ONE = 14.249 AC.
   D. REQUIRED FOREST REFORESTATION OBLIGATION FOR MERIWETHER FARM, SECTION TWO, PHASE ONE = 4.55 AC. (21.4 AC. OF TOTAL REFORESTATION/47 TOTAL D.U. = 0.455 AC./D.U. X 10 D.U. = 4.55 AC.)
   E. PROVIDED FOREST REFORESTATION CONSERVATION EASEMENT FOR MERIWETHER FARM, SECTION TWO, PHASE ONE = 8.173 AC.
   THE FOREST CONSERVATION SURETY AMOUNT REQUIRED IS $302,146.00 (14.249 ac. x 43,560 x $0.20 = $124,138) + (8.173 x 43,560 x $0.50 = $178,008) AND SHALL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT.
26. THE LANDSCAPE SURETY IN THE AMOUNT OF $33,150.00 FOR PERIMETER LANDSCAPE REQUIREMENTS (79 SHADE TREES AND 63 EVERGREEN TREES) OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL IS POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS SUBDIVISION.
27. FINANCIAL SURETY FOR THE 44 REQUIRED STREET TREES SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF $13,200.00.
28. ALL EXISTING WELLS AND SEPTIC FIELDS WITHIN 100 FEET OF SUBJECT PROPERTY HAVE BEEN SHOWN.
29. SIGN POSTS: ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST."
30. DRIVEWAY (S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
   A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)
   B) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
   C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 FOOT TURNING RADIUS
   D) STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
   E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
   F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
   G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
31. GROUND WATER APPROPRIATION PERMIT SHALL BE ISSUED PRIOR TO SUBMISSION OF RECORD PLAT FOR SIGNATURE.
32. ALL WELLS TO BE DRILLED PRIOR TO FINAL PLAT APPROVAL. IT IS THE DEVELOPER'S RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO FINAL PLAT SUBMISSION. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS UP THE HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT.
33. THERE IS AN EXISTING DWELLING/STRUCTURE(S) ON BUILDABLE BULK PARCEL 'E' TO REMAIN. NO NEW BUILDINGS, EXTENTIONS OR ADDITIONS TO THE EXISTING DWELLING ARE TO BE CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATION REQUIREMENTS.
34. ALL EXISTING WELLS, BUIILDINGS AND SEPTIC SYSTEMS WHICH ARE TO BE REMOVED SHALL BE REMOVED PRIOR TO FINAL PLAT SIGNATURE.
35. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
36. THIS PLAN IS SUBJECT TO WAIVER PETITION WP-09-043 WHICH WAS APPROVED ON OCTOBER 23, 2008 BY HOWARD COUNTY DEVELOPMENT ENGINEERING DIVISION FROM SECTION 16.120 (c) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW FOR THE PHASING OF FOREST CONSERVATION AREA FOR THIS PROJECT WITH THE FOLLOWING CONDITIONS:
   1. THE WAIVER PETITION APPROVAL APPLIES ONLY TO THE TEMPORARY DEFERRAL FOR ESTABLISHING THE FOREST CONSERVATION EASEMENTS FOR THIS SUBDIVISION BASED ON THE APFO PHASING SCHEDULE FOR THIS PROJECT. EACH SUBSEQUENT PHASE OF DEVELOPMENT MUST ESTABLISH A PROPORTIONATE AREA OF FOREST CONSERVATION EASEMENTS AND PROVIDE THE NECESSARY AREA OF FOREST RETENTION AND AFFORESTATION PLANTING AS REQUIRED BY THE FOREST CONSERVATION WORKSHEET FOR THIS PROJECT TO SATISFY ITS OBLIGATION. THE ENTIRE AREA OF FOREST CONSERVATION OBLIGATION MUST BE PROVIDED WITH THE PROCESS AND RECORDING OF THE LAST PHASE OF DEVELOPMENT FOR THIS PROJECT.
   2. THE APPLICANT/DEVELOPER MUST CONTINUE PROCESSING THE SUBDIVISION PLANS FOR MERIWETHER FARM AND MUST ALL APPLICABLE PROCESSING DEADLINE DATES IN ACCORDANCE WITH THE APPROVED APFO PHASING SCHEDULE.

DENSITY TABULATIONS

1. ORIGINAL BASE DENSITY IS BASED ON ORIGINAL TRACT AREA OF 183.068 ACRES± (INCLUDING DORSEY MILL ROAD AND ROXBURY ROAD DEDICATED RIGHT-OF-WAY) (SEE F-08-198)
2. BASE DENSITY: 183.068 ACRES / 4.25 = 43.07 UNITS OR 43 SINGLE FAMILY DETACHED HOMES
3. 43 LOTS (4-46) = 183.068 - (49.52 AC. LOT AREA - 10.89 AC. ROAD R/W - 10.62 AC. NON-BUILDABLE PARCELS) = 112.038 AC.
4. 112.038 AC. FOR PRESERVATION PARCEL 'A' / 25 AC. = 4 BONUS UNITS.
5. BONUS UNITS ARE LOTS 1, 2, 3 & BUILDABLE PRESERVATION PARCEL 'A'
6. MAXIMUM DENSITY: 183.068 ACRES - 6.78 AC. FLOODPLAIN - 5.81 AC. STEEP SLOPES / 2 = 85.239 UNITS OR 85 SINGLE FAMILY DETACHED
7. TOTAL NUMBER OF PROPOSED DWELLING UNITS = 47
   a. PHASE ONE - 10 BUILDABLE LOTS
   b. PHASE TWO - 36 BUILDABLE LOTS AND 1 BUILDABLE PRESERVATION PARCEL
8. PRESERVATION EASEMENT TABULATION FOR SECTION TWO, PHASE ONE:
   A. TOTAL PRESERVATION EASEMENT OBLIGATION = 42.50 ACRES
      10 LOTS x 4.25 AC./LOT = 42.50 ACRES
   B. PRESERVATION EASEMENT REQUIRED = 25.822 ACRES
      (TOTAL PRESERVATION AREA - LOT AREAS - VICTORY LANE AREA - ROAD DEDICATION (PLAT NO.)(F-08-198)
      42.50 AC. - 11.060 AC. - 1.139 AC. - 4.479 AC. = 25.822 ACRES
   C. PRESERVATION EASEMENT PROVIDED = 28.229 ACRES
      (NON-BUILDABLE PRESERVATION PARCELS 'C', 'D' AND PRESERVATION EASEMENT #1)
      (1.362 AC. + 1.399 AC. + 25.468 ACRES)

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.

FOR ESE CONSULTANTS, INC.

NO.	DESCRIPTION	DATE
2	REVISED SWM LOTS 1,5&6	2/28/17
1	REVISED OWNER AND DEVELOPER AND REVISED OWNER & EASEMENT HOLDER OF PARCEL 'C'	11/8/11

REVISIONS

RIGHT-OF-WAY PINS SET		
POINT#	NORTHING	EASTING
820	578907.90450	1301893.44230
821	578941.34770	1301799.20690
862	578956.16230	1301831.09970
863	579027.06740	1301859.67320
864	579469.47980	1302052.82310
865	579644.74420	1302060.79580
866	579660.38030	1302045.74270
867	579682.07500	1302111.00200
868	579660.57940	1302108.22420
869	579449.47040	1302098.68060
870	579007.03410	1301905.56100
871	578939.63380	1301878.31150

CONCRETE MONUMENTS SET		
POINT#	NORTHING	EASTING
946	578907.18170	1301888.46520

PHASING TABULATION

PHASE	ALLOCATION YEAR	No. OF LOTS
ONE	2010	10
TWO	2011	36 AND 1 BUILDABLE PRESERVATION PARCEL = 37

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

ALDO M. — DATE 12-22-08

"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

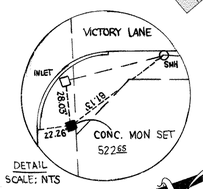
TITLE SHEET
MERIWETHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 1 OF 15

ASBUILT

F-08-199

℄ CURVE DATA
VICTORY LANE
STA. 0+00.00 TO STA. 1+32.54
RAD. = 1325.00'
ARC LENGTH = 132.54'
TAN. = 66.32'
△ = 05°43'52"
CHORD. = N 20°43'11" E, 132.48'

℄ CURVE DATA
VICTORY LANE
STA. 6+15.09 TO STA. 8+12.88
RAD. = 270.00'
ARC LENGTH = 197.79'
TAN. = 103.57'
△ = 41°58'22"
CHORD. = N 02°35'55" E, 193.40'



DETAIL
SCALE: NTS

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GLOOMER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GLOOMER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7124 COLUMBIA GATEWAY DRIVE
SUITE 220
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

NO.	DESCRIPTION	DATE
1	REVISED LANDSCAPE AND ENTRANCE EASEMENT	11/8/11
2	REVISED USE-IN-COMMON EASEMENT FOR LOTS 9 & 10 AND UNDERGROUND TANK & MULL OFF AREA	11/8/11
3	REVISE OWNER AND DEVELOPER	11/8/11

REVISIONS

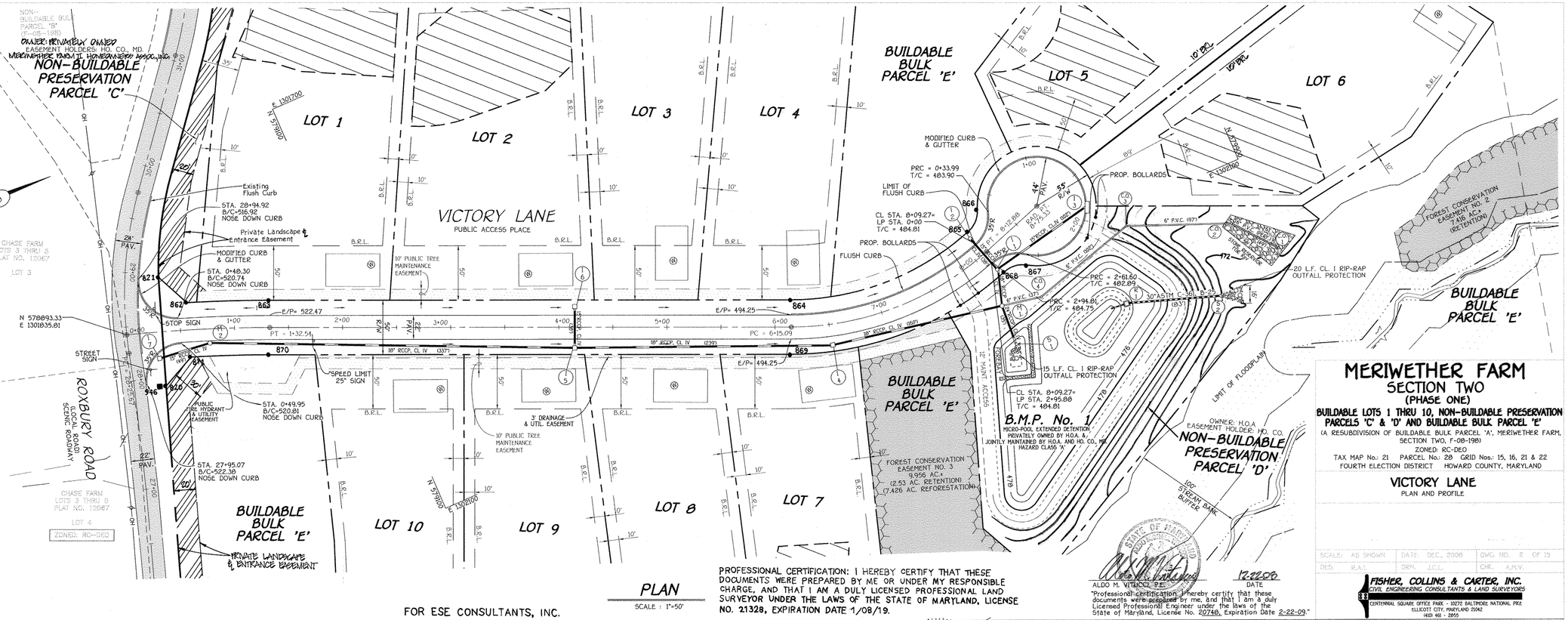
APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 1/22/09

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 1.16.9

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

CHIEF, BUREAU OF HIGHWAYS — DATE 1-12-09



PLAN
SCALE : 1"=50'

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.

ALDO M. VITUCCI, P.E. — DATE 12.22.08

"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20740, Expiration Date 2-22-09."

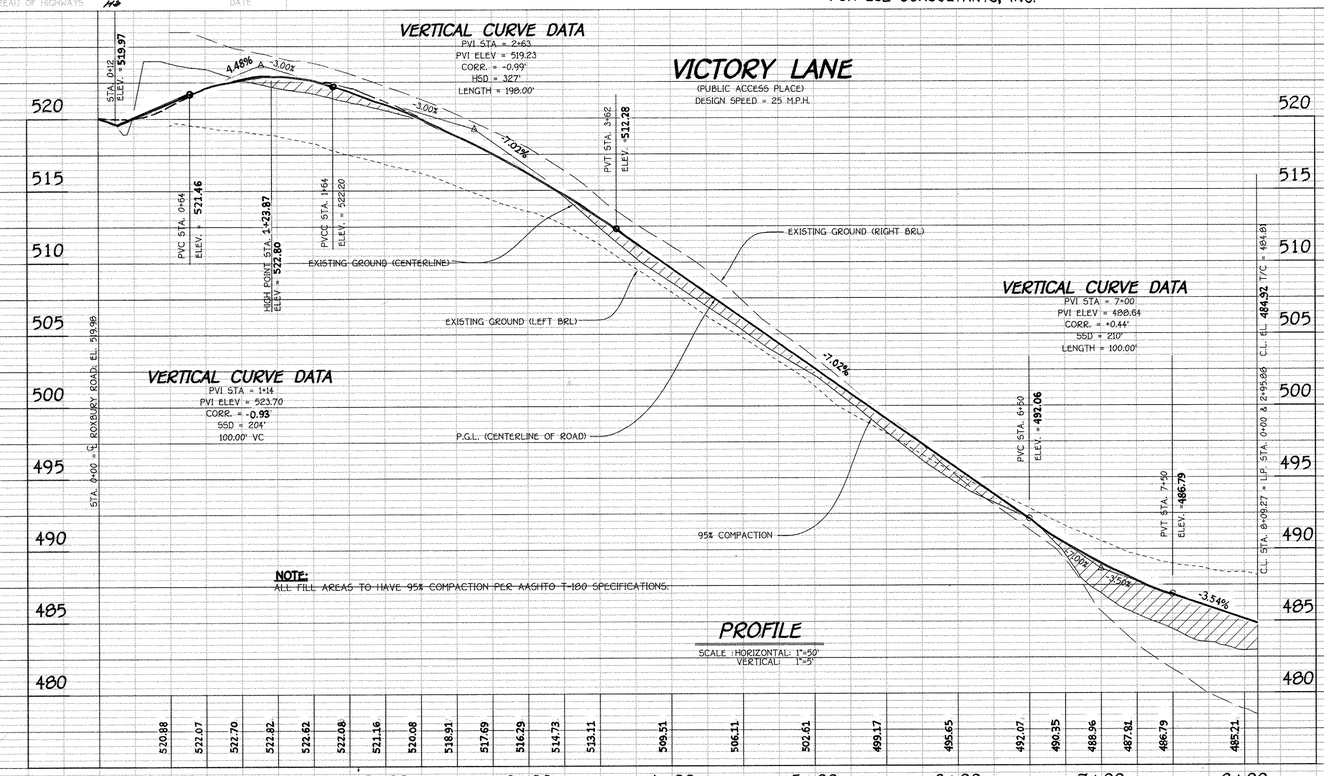
MERIWETHER FARM
SECTION TWO
(PHASE ONE)
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VICTORY LANE
PLAN AND PROFILE

SCALE: AS SHOWN	DATE: DEC., 2008	DWG. NO. 2 OF 15
DES. R.A.I.	DRN. J.C.L.	CHK. A.M.V.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

VICTORY LANE
VERTICAL CURVE DATA
PVI STA = 2+63
PVI ELEV = 519.23
CORR. = -0.99'
HSD = 327'
LENGTH = 198.00'



VERTICAL CURVE DATA
PVI STA = 1+14
PVI ELEV = 523.70
CORR. = -0.93
SSD = 204'
100.00' VC

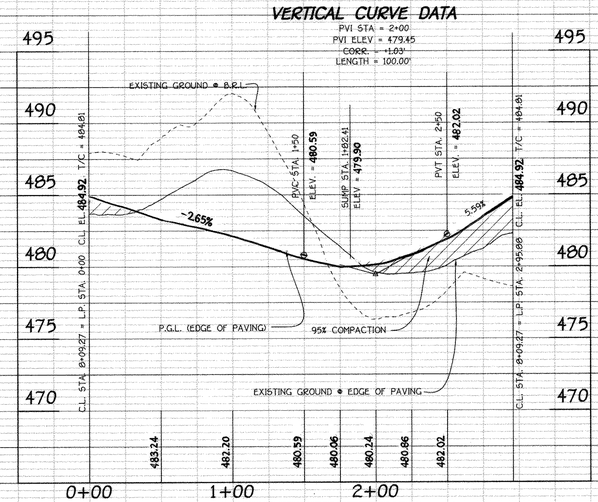
VERTICAL CURVE DATA
PVI STA = 7+00
PVI ELEV = 488.64
CORR. = +0.44'
SSD = 210'
LENGTH = 100.00'

PVC STA. 6+50
ELEV. = 492.06
PVT STA. 7+50
ELEV. = 486.79
-7.02%
-4.00%
-3.54%
C.L. EL. 484.92 T/C = 484.81
C.L. STA. 8+09.27 = L.P. STA. 0+00 & 2+95.88

NOTE:
ALL FILL AREAS TO HAVE 95% COMPACTION PER AASHTO T-180 SPECIFICATIONS.

PROFILE
SCALE: HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

VICTORY LANE
VERTICAL CURVE DATA
PVI STA = 2+00
PVI ELEV = 479.45
CORR. = +1.03'
LENGTH = 100.00'



LINEAR PROFILE
SCALE: HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

ASBUILT F-08-199

I:\2004\04056\dwg\PHASE TWO FINALS\SHEET 2 ROAD PLAN.dwg, 12/19/2008 8:29:05 AM, jamesl, 1:1

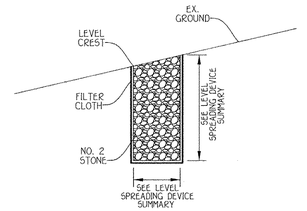
STREET TREE SCHEDULE

SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
	875.33 x 2 / 40 = 43.77 44 TREES	PRUNUS SARGENTII SARGENT CHERRY	2 1/2"-3" CAL.	40' APART ON PUBLIC R/W

NOTE: STREET TREE TYPES ARE ONLY A RECOMMENDATION AND MAY BE SUBSTITUTED WITH A COUNTY ACCEPTED EQUIVALENT FROM THE HOWARD COUNTY LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 44 REQUIRED STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF $13,200.00

LEVEL SPREADING DEVICE SUMMARY

LS NO.	TRENCH LENGTH	TRENCH WIDTH & DEPTH	WQv VOLUME REQUIRED	WQv VOLUME PROVIDED	CREST ELEVATION
BMP 2	105'	-	- CU. FT.	- CU. FT.	513.0
BMP 3	58'	-	- CU. FT.	- CU. FT.	480.0
BMP 4	48' / 108'	-	- CU. FT.	- CU. FT.	478.0 / 473.0



LEVEL SPREADING DEVICE DETAIL
NOT TO SCALE

By The Developer:

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature Of Developer — Date: 12-22-08

Printed Name Of Developer: Robert Goodier

By The Engineer:

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Advised The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature Of Engineer — Date: 12.22.08

Printed Name Of Engineer: Alvaro M. Vitteri

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howard Soil Conservation District — Date: 1/6/09

Approved Department Of Public Works

Chief, Bureau Of Highways — Date: 1-12-09

Approved Department Of Planning And Zoning

Chief, Division Of Land Development — Date: 1/22/09

Chief, Development Engineering Division — Date: 1.6.9

AS-BUILT CERTIFICATION

I Hereby Certify That The Facility Shown On This Plan Was Constructed As Shown On The " As-Built" Plans And Meets The Approved Plans And Specifications.

Signature — P.E. No. — Date:

Certify Means To State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which Are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.

NOTE:
CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS.

PLAN
SCALE: 1" = 50'

LEGEND

- SSF SSF SSF — SUPER-SILT FENCE
- SF SF SF — SILT FENCE
- S.C.E. — STABILIZED CONSTRUCTION ENTRANCE
- EARTH DIKE
- L.O.D. — DENOTES LIMITS OF DISTURBANCE
- E.C.M. — DENOTES EROSION CONTROL MATTING
- DENOTES SLOPES 25% OR GREATER
- DENOTES SLOPES 15% TO 24.99%

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/11.

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/11.

FOR ESE CONSULTANTS, INC.

NO.	DESCRIPTION	
2	REVISED SWM ON LOTS 1, 5 & 6	2/28/11
1	REVISED LANDSCAPE AND ENTRANCE EASEMENT	1/8/11
1	REMOVED USE-IN-COMMON EASEMENT FOR LOTS 5 & 6 AND UNDERGROUND TANK & FILL OFF AREA	11/8/11
1	REVISE OWNER AND DEVELOPER	11/8/11

REVISIONS

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

OWNER
MERIWEATHER FARM II, LLC
C/O SECOND GOODIER, LLC
10719 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7104 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

ALDO M. VITUCCI, PE — DATE: 1.22.08

"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

STREET TREE, GRADING & SEDIMENT CONTROL PLAN

MERIWETHER FARM

SECTION TWO
PHASE ONE

BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)

ZONED: RC-DEO

TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22

FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 3 OF 15

ASBUILT

F-08-199

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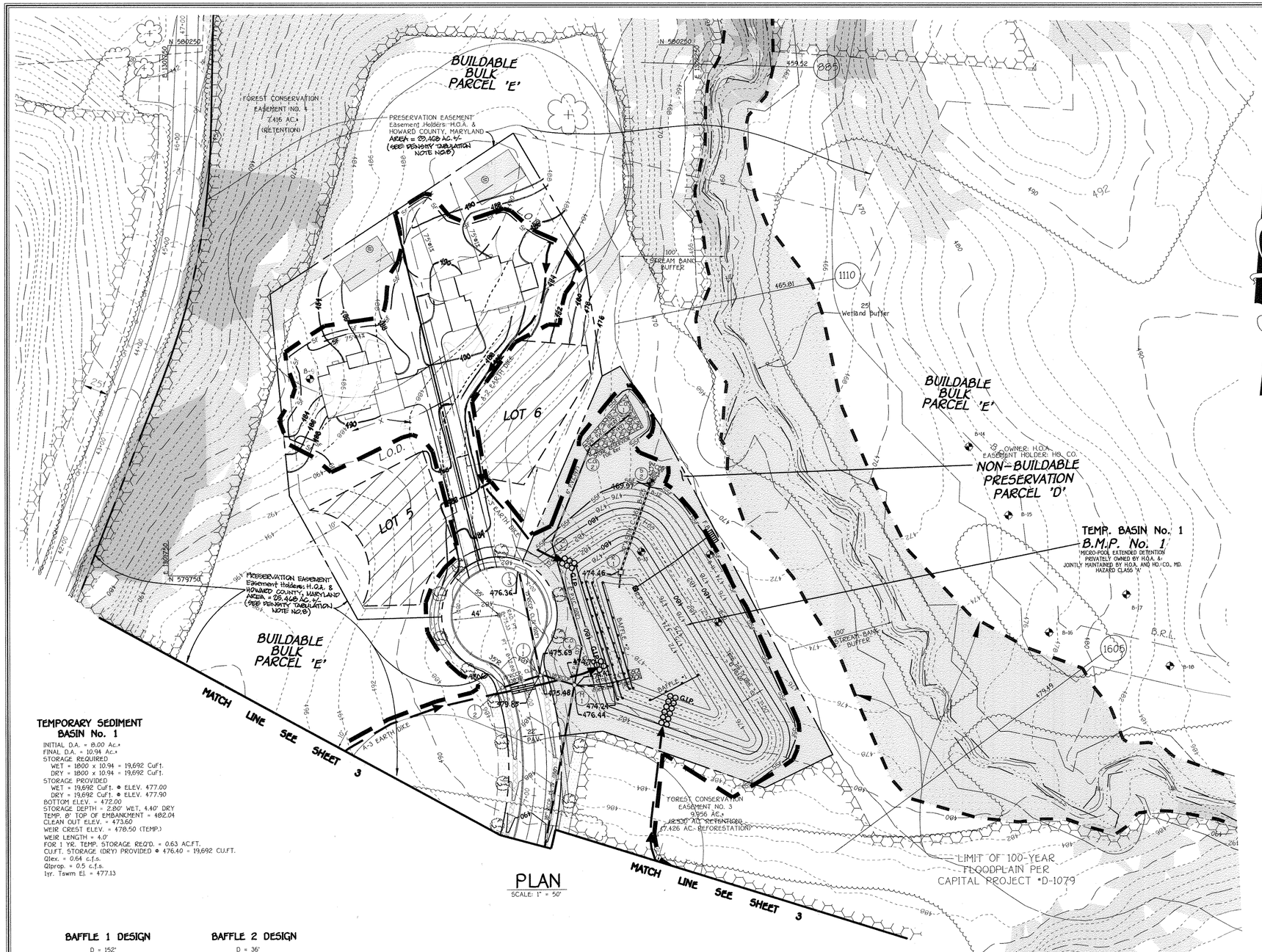

PLAN
SCALE: 1" = 50'

LEGEND

- SUPER-SILT FENCE
- SILT FENCE
- S.C.E. — STABILIZED CONSTRUCTION ENTRANCE
- EARTH DIKE
- L.O.D. — DENOTES LIMITS OF DISTURBANCE
- E.C.M. — DENOTES EROSION CONTROL MATTING
- DENOTES SLOPES 25% OR GREATER
- DENOTES SLOPES 15% TO 24.99%
- STREAM
- WETLANDS
- FLOODPLAIN

By The Developer:

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

12-22-08
Signature Of Developer — Date

Robert Goodier
Printed Name Of Developer

By The Engineer:

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

12.22.08
Signature Of Engineer — Date

Aldo M. Vitucci
Printed Name Of Engineer

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howard Soil Conservation District — 1/6/09 Date

Approved: Department Of Public Works

Chief, Bureau Of Highways — 1-12-09 Date

Approved: Department Of Planning And Zoning

Chief, Division Of Land Development — 1/22/09 Date

Chief, Development Engineering Division — 1.16.9 Date

AS-BUILT CERTIFICATION

I Hereby Certify That The Facility Shown On This Plan Was Constructed As Shown On The " As-Built" Plans And Meets The Approved Plans And Specifications.

Signature — P.E. No.

Date:

Certify Means To State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which Are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.

TEMPORARY SEDIMENT BASIN No. 1

INITIAL D.A. = 8.00 Ac.±
FINAL D.A. = 10.94 Ac.±
STORAGE REQUIRED
WET = 1800 x 10.94 = 19,692 Cu.Ft.
DRY = 1800 x 10.94 = 19,692 Cu.Ft.
STORAGE PROVIDED
WET = 19,692 Cu.Ft. @ ELEV. 477.00
DRY = 19,692 Cu.Ft. @ ELEV. 477.90
BOTTOM ELEV. = 472.00
STORAGE DEPTH = 2.80' WET, 4.40' DRY
TEMP. 8' TOP OF EMBANKMENT = 482.04
CLEAN OUT ELEV. = 473.60
WEIR CREST ELEV. = 478.50 (TEMP.)
WEIR LENGTH = 4.0'
FOR 1 YR. TEMP. STORAGE REQ'D. = 0.63 AC.FT.
CU.FT. STORAGE (DRY) PROVIDED @ 476.40 = 19,692 CU.FT.
Qlex. = 0.64 c.f.s.
Qlprop. = 0.5 c.f.s.
1yr. Tswm El. = 477.13

BAFFLE 1 DESIGN

D = 152'
A = 8385
We = A/D = 8385/152 = 55.2'
Le = 45' + 120' = 165'
Le/We = 165/55.2 = 2.9 > 2 ∴ OK

BAFFLE 2 DESIGN

D = 36'
A = 8385
We = A/D = 8385/36 = 233'
Le = 114' + 108' + 104' + 15' = 481'
Le/We = 481/233 = 2.06 > 2 ∴ OK

SEE BAFFLE DETAIL, SHEET 11

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.

FOR ESE CONSULTANTS, INC.

NOTE:
CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS.

NO.	REVISIONS	DATE
2	REVISED SWM ON LOTS 1,5 & 6 REMOVED USE-IN-COMMON EASEMENT FOR LOTS 5 & 6 AND UNDERGROUND TANK	2/29/11
1	REVISE OWNER AND DEVELOPER	11/8/11
NO.	DESCRIPTION	

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7160 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

FISHER, COLLINS & CARTER, INC.
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CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
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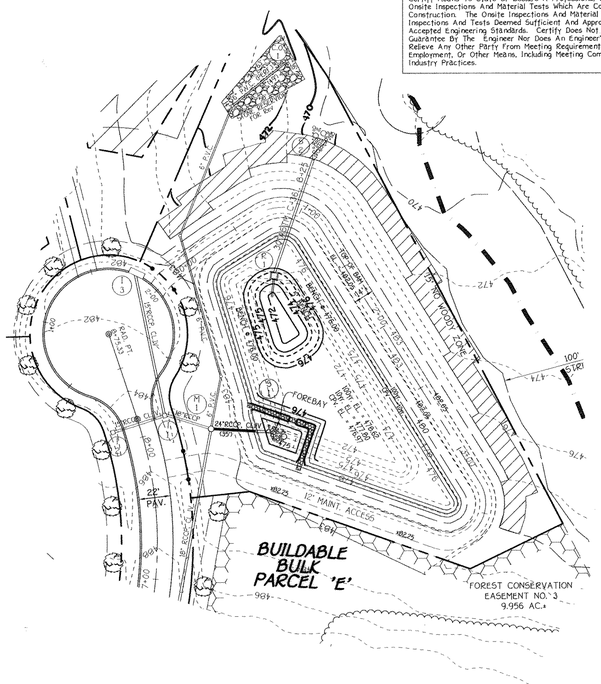
(410) 461 - 2855



FINAL GRADING PLAN
B.M.P. No. 1
SCALE: 1" = 50'

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.

Aldo M. Vitucci, P.E.
"Professional Certification. I Hereby certify that these documents were prepared or me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

12.22.08
DATE

STREET TREE, GRADING & SEDIMENT CONTROL PLAN

MERIWETHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 4 OF 15

ASBUILT

F-08-199

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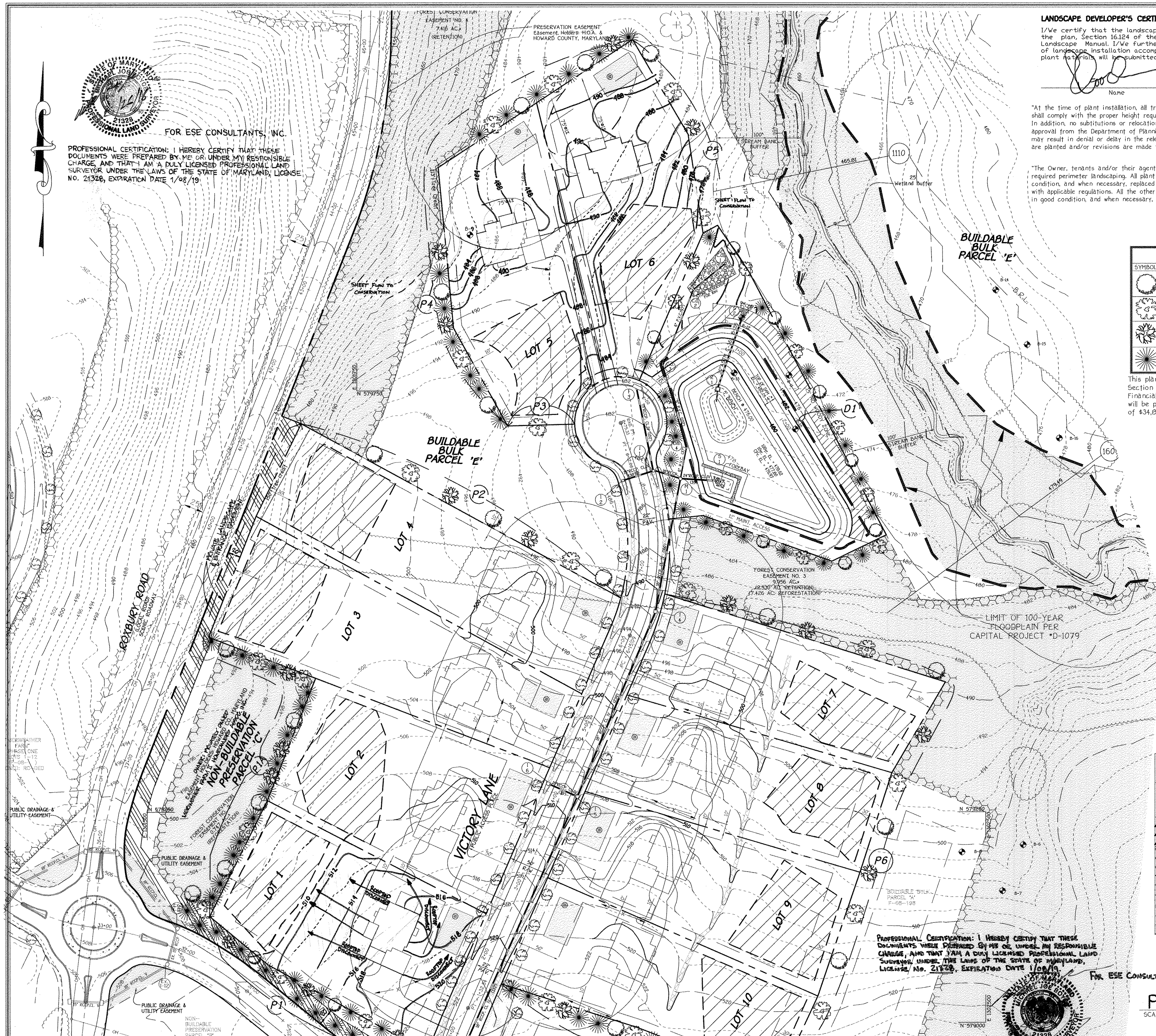


PLAN
SCALE: 1" = 60'

LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Name ______ Date 12-22-08

"At the time of plant installation, all trees listed and approved on the landscape Plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual. In addition, no subtitutions or relocations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviations from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the road drawing plans".

"The Owner, tenants and/or their agents shall be responsible for maintenace of the required perimeter landscaping. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All the other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced".

Approved: Department Of Public Works
Chief, Bureau Of Highways — Date 1-12-09

Approved: Department Of Planning And Zoning
Chief, Division Of Land Development — Date 1/22/09
Chief, Development Engineering Division — Date 1.16.9

PLANT LIST

SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE
	31	PLATANUS OCCIDENTALIS 'BLOODGOOD' LONDON PLANETREE	2 1/2-3" CAL.
	30	QUERCUS ACUTISSIMA SAWTOOTH OAK	2 1/2-3" CAL.
	20	ILEX OPACA AMERICAN HOLLY	5' - 6' HT.
	70	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HT.

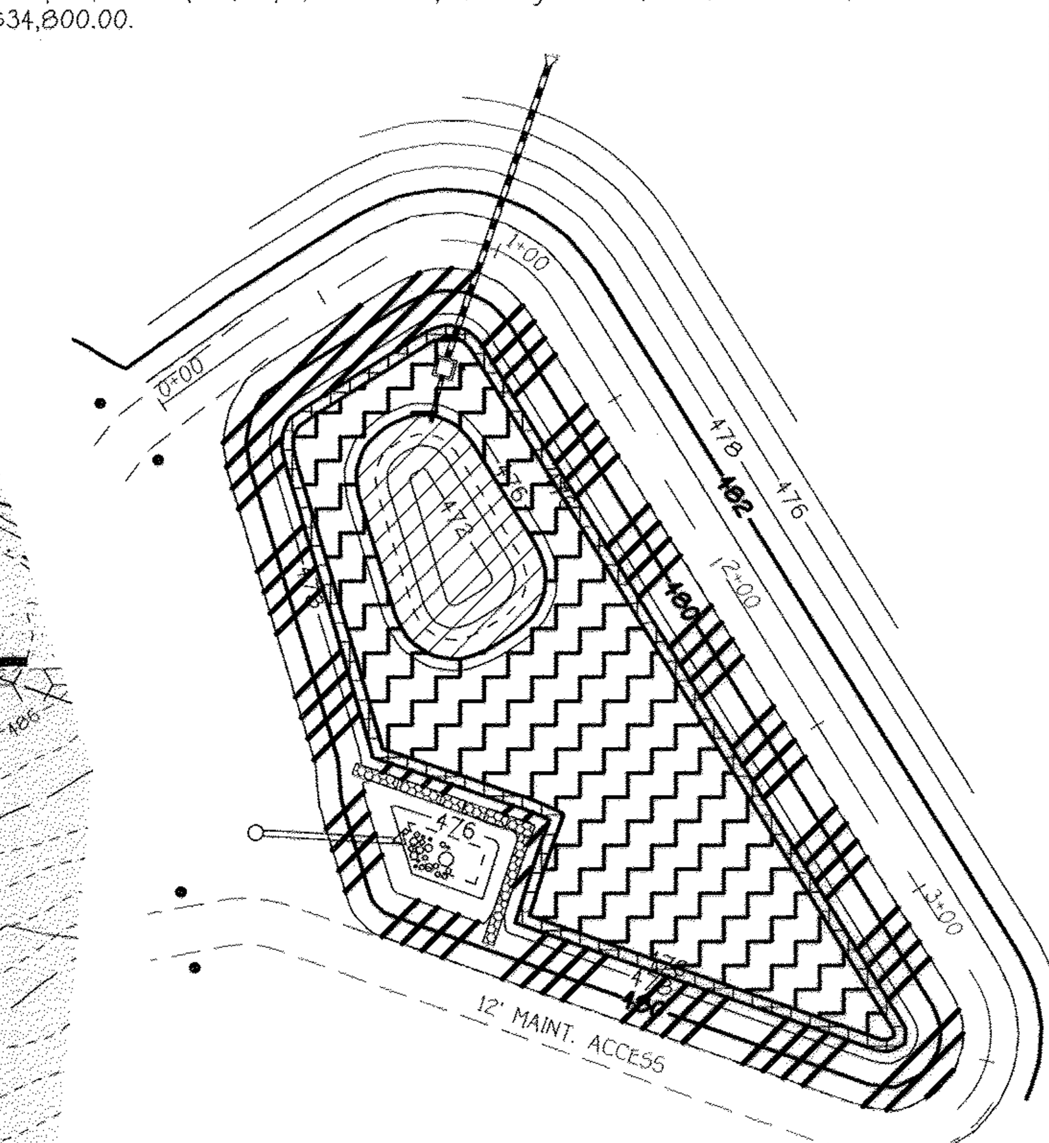
This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required 81 shade and 70 evergreen trees will be posted as part of the Developer's Agreement in the amount of $34,800.00.

SCHEDULE A - PERIMETER LANDSCAPING

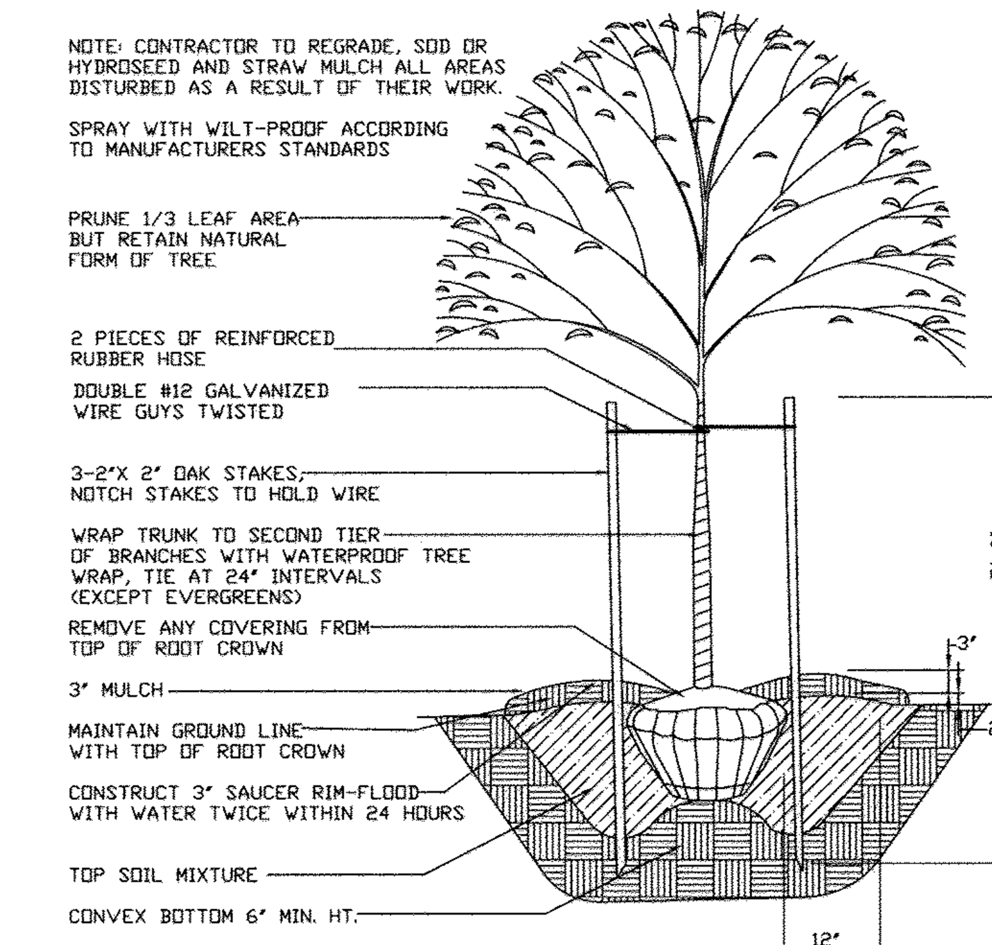
PERIMETER	CATEGORY (PROPERTIES/ ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED AND PROVIDED: SHADE TREES	EVERGREEN TREES	SHRUBS
P-1	ADJACENT TO ROADWAY	C	307'	NO	NO	8	15	-
P-1A	ADJACENT TO ROADWAY	B	724'	YES (150') 574' REMAINING	NO	12	14	-
P-2	ADJACENT TO PERIMETER	A	434'	NO	NO	7	-	-
P-3	ADJACENT TO PERIMETER	A	80'	NO	NO	1	-	-
P-4	ADJACENT TO ROADWAY	B	601'	YES (113') 488' REMAINING	NO	10	12	-
P-5	ADJACENT TO PERIMETER	A	349'	NO	NO	6	-	-
P-6	ADJACENT TO PERIMETER	A	868'	NO	NO	14	-	-
P-7	ADJACENT TO ROADWAY	B	350'	NO	NO	7	9	-
					TOTAL	65	50	-

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING

LINEAR FEET OF TYPE 'B' PERIMETER	D-1 : 782'
NUMBER OF TREES REQUIRED: SHADE TREES / EVERGREEN TREES	(782' / 50) = 16 / (782' / 40) = 20
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO
NUMBER OF TREES PROVIDED: SHADE TREES / EVERGREEN TREES	16 / 20



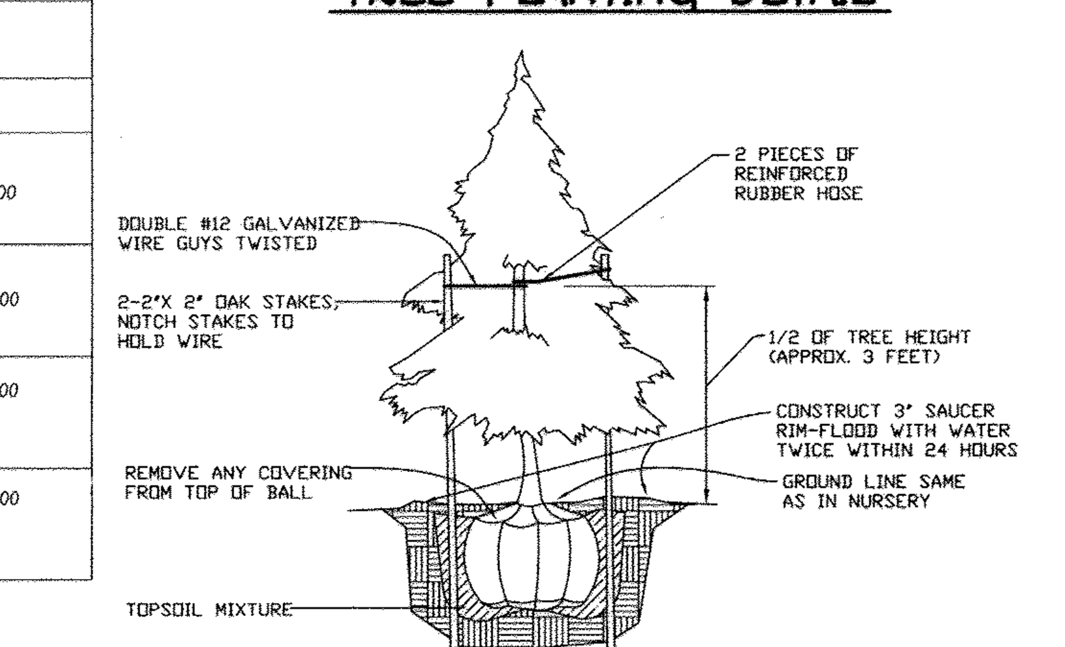
INTERNAL POND LANDSCAPING
SCALE: 1" = 50'



TREE PLANTING DETAIL

INTERNAL LANDSCAPING S.W.M. PONDS

ZONE	DESCRIPTION	BMP NO. 1 ELEVATION
ZONE 4 RIPARIAN TERRACE	1' - 4' ELEVATION ABOVE NORMAL POOL ELEVATION - PLANT AREA w/ CONEFLOWER, VIOLETS, PRIMROSE, MILKWORT OR LILIES QUANTITY - N/A SPACING - N/A	477.00 TO 481.00
ZONE 3 SHORELINE FRINGE	0" - 12" ELEVATION ABOVE NORMAL POOL ELEVATION - PLANT AREA w/ THE FOLLWING: INKBERRY, WITCHHAZEL & WINTERBERRY QUANTITY - 15 EACH SPACING - 12' MAX.	476.00 TO 477.00
ZONE 2 SHALLOW WATER BENCH	6" - 12" ELEVATION BELOW NORMAL POOL ELEVATION - PLANT AREA w/ LOBELIA, BAYBERRY, IRIS OR BLUEFLAG QUANTITY - N/A SPACING - N/A	475.00 TO 476.00
ZONE 1 DEEPWATER POOL	1' - 6' ELEVATION BELOW NORMAL POOL ELEVATION - PLANT AREA w/ LOTUS, WILD CELERY OR REDHEAD GRASS QUANTITY - N/A SPACING - N/A	475.00 TO 472.00



EVERGREEN PLANTING DETAIL

NO.	DESCRIPTION	DATE
2	Revised SWM Lots 1, 5 & 6	2/28/17
1	REVISED LANDSCAPE AND ENTRANCE EASEMENT	11/8/11
1	REMOVED USE-IN-COMMON EASEMENT FOR LOTS 5 & 6 AND UNDERGROUND TANK & PULL OFF AREA	11/8/11
1	REVISE OWNER AND DEVELOPER	11/8/11

REVISIONS

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

ALDO M. VITUCCI, P.E. — DATE 12.22.08
"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

LANDSCAPE PLAN
MERIWETHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 5 OF 15

ASBUILT

F-08-199

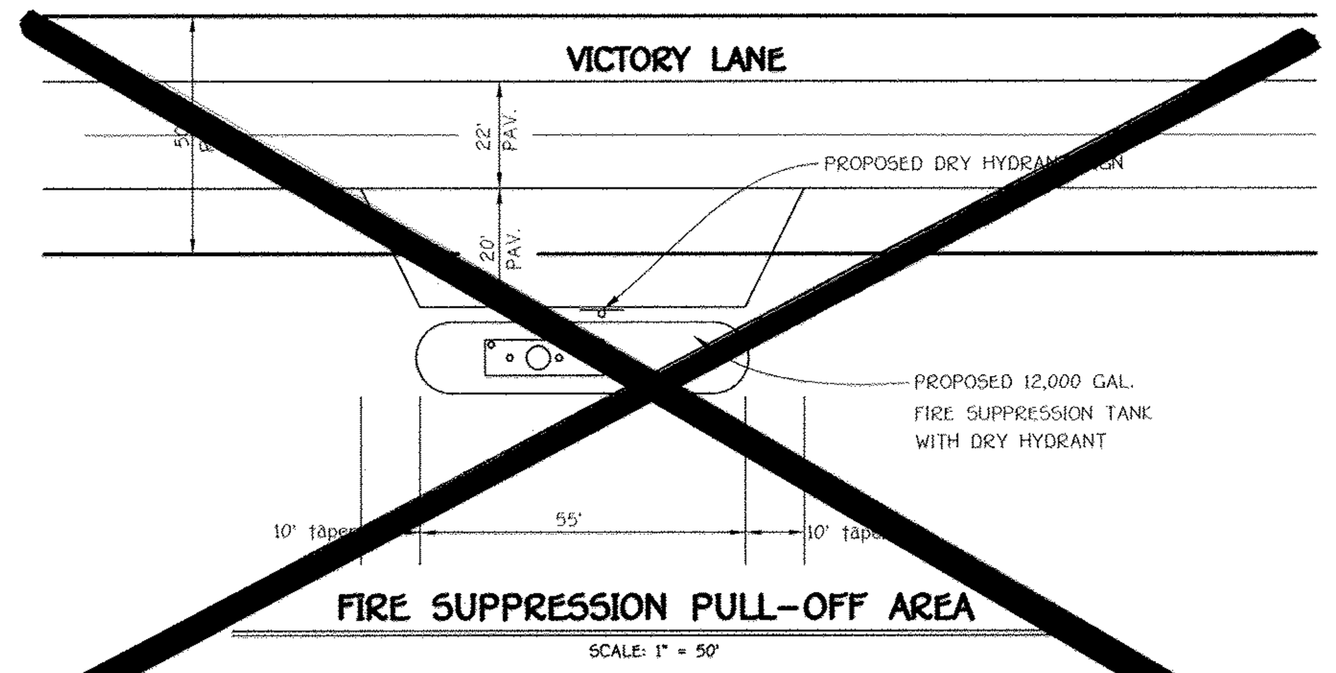
APPROVED: DEPARTMENT OF PUBLIC WORKS	
CHIEF, BUREAU OF HIGHWAYS	1-12-09 DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
CHIEF, DIVISION OF LAND DEVELOPMENT	1/22/09 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	1-16-9 DATE

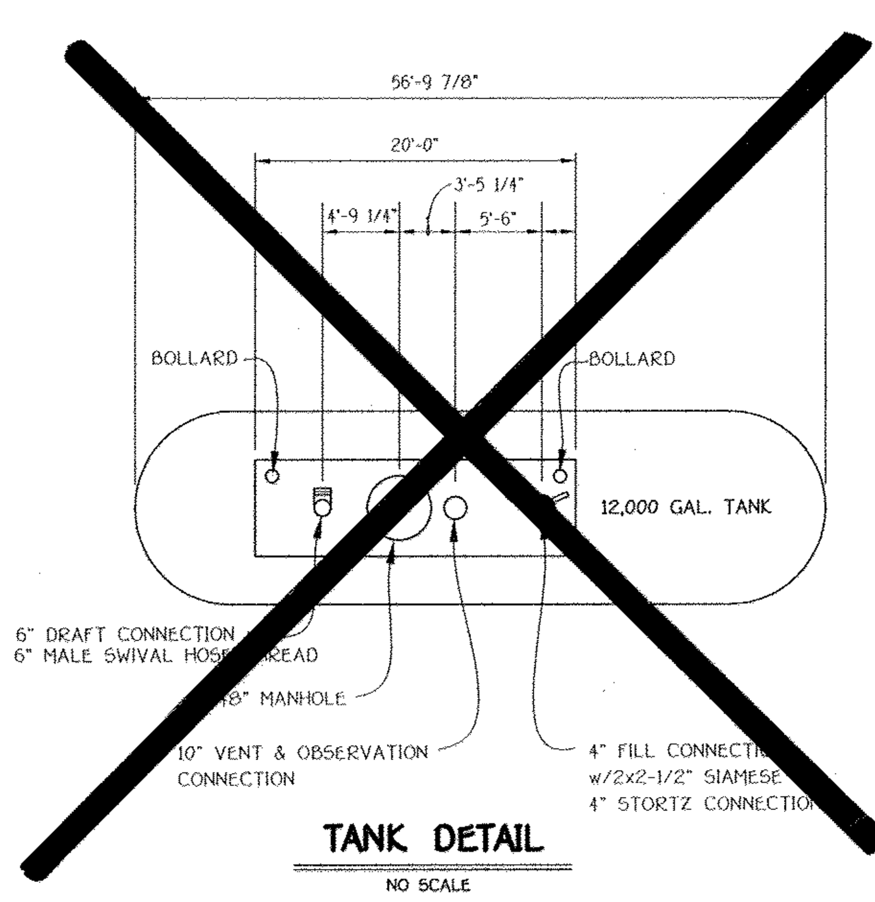
NOTE:
ALL FILL AREAS TO HAVE 95% COMPACTION PER AASHTO T-180 SPECIFICATIONS.

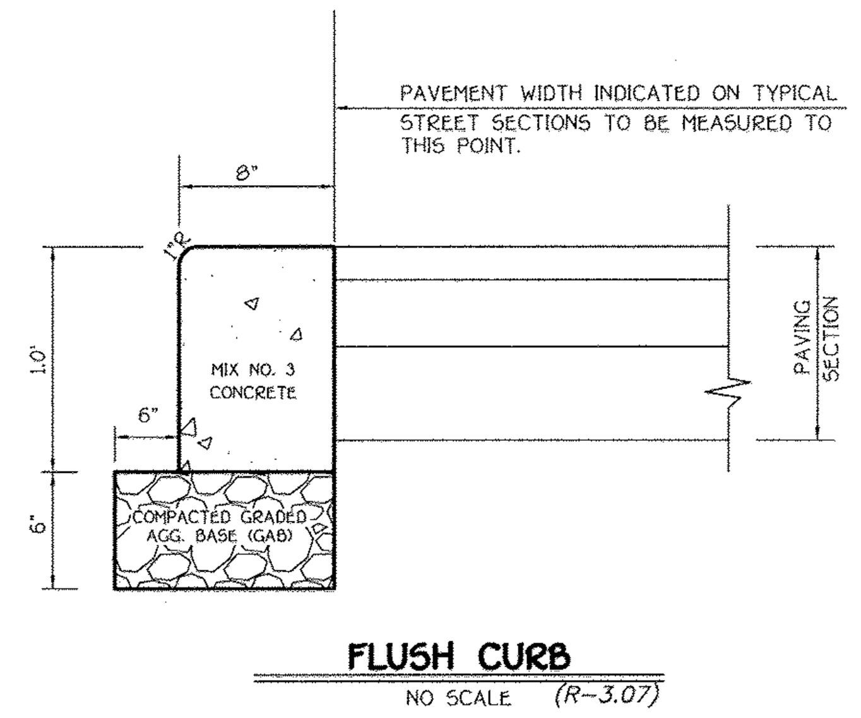
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	≥7	3 TO <5	5 TO <7	≥7
		PAVEMENT MATERIAL (INCHES)	MIN HMA WITH GAB			HMA WITH CONSTANT GAB		
P-2	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY; LOCAL ROADS: ACCESS PLACE, ACCESS STREET; CUL-DE-SACS: RESIDENTIAL	HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM. PG 84-22; LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
		HMA SUPERPAVE BASE 19.0 MM. PG 64-22, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0	2.0
		GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0

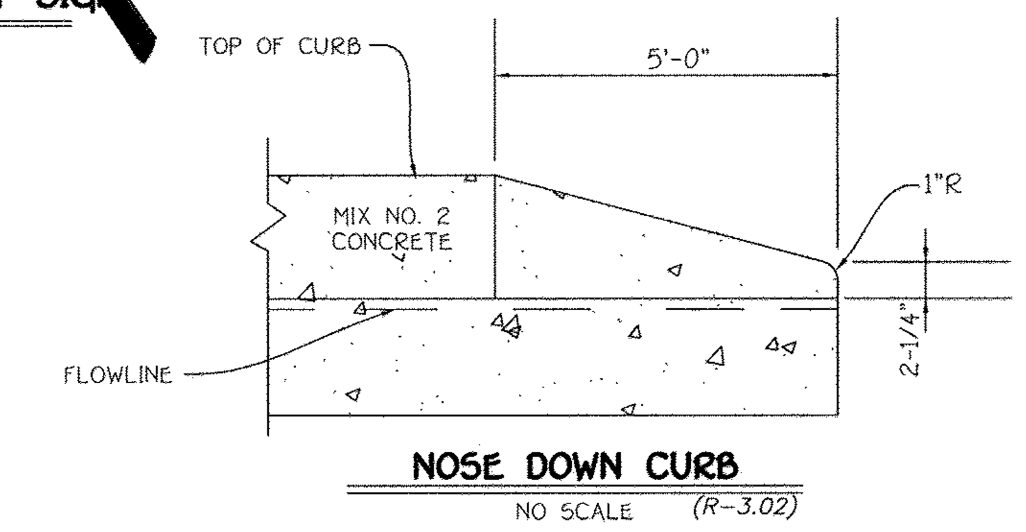
~~SPECIFICATIONS FOR UNDERGROUND WATER STORAGE TANKS FOR FIRE PROTECTION~~

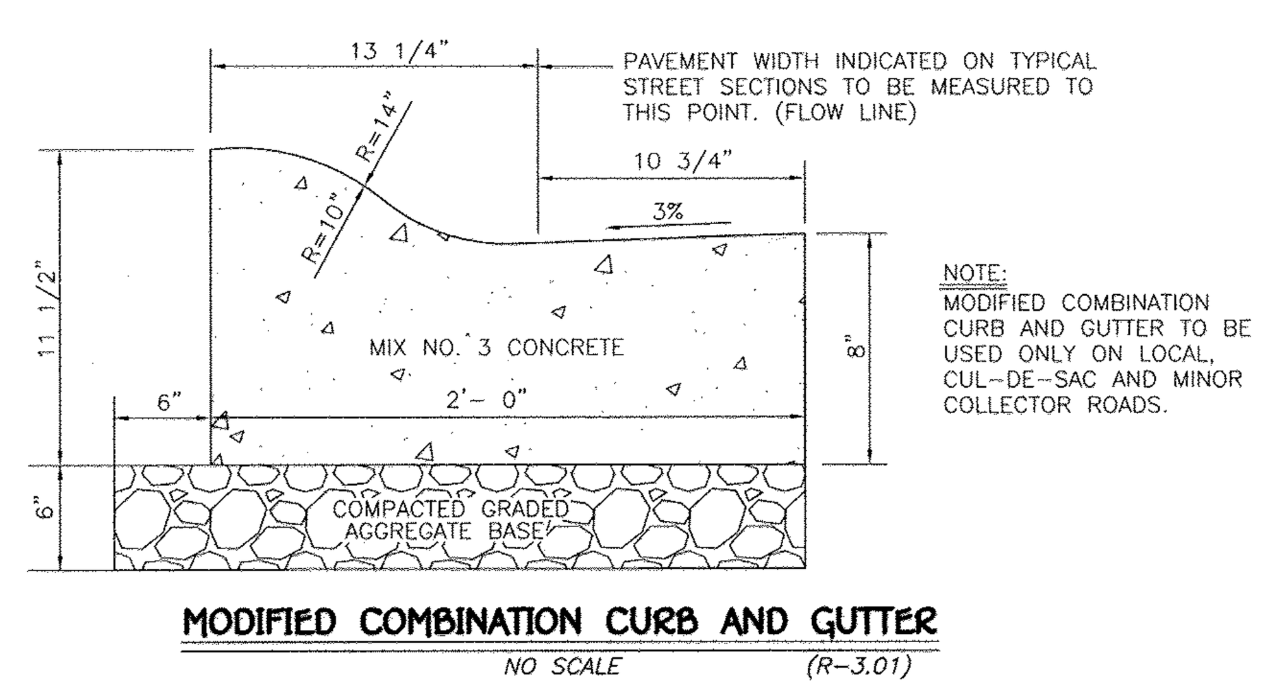
~~3.1.1. NFPA 1963 - Standard for Fire Hose Screw Threads~~
~~3.1.2. NFPA 1142 - Standard for Water Supplies for Suburban and Rural Fire Protection~~
~~3.1. NFPA 1141 - Standard for Fire Protection in Planned Building Groups~~
~~3.2. Other referenced documents~~
~~The Code of Public Local Laws and Ordinances of Howard County Maryland, Chapter 112.~~
~~2. Underground Tanks & Dry Fire Hydrants Maintenance and Inspection, Chief Greg Dods / Regional Fire Protection Committee, 2003.~~
~~4. Appendix~~
~~Drawing, Pulloff Tank Access.~~



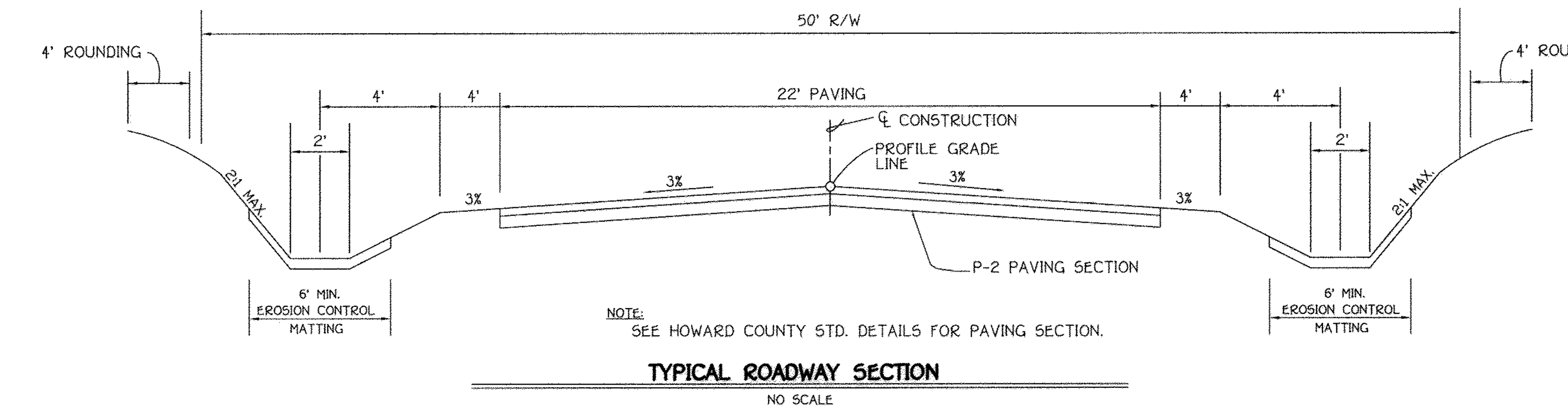








NOTE:
MODIFIED COMBINATION CURB AND GUTTER TO BE USED ONLY ON LOCAL, CUL-DE-SAC AND MINOR COLLECTOR ROADS.

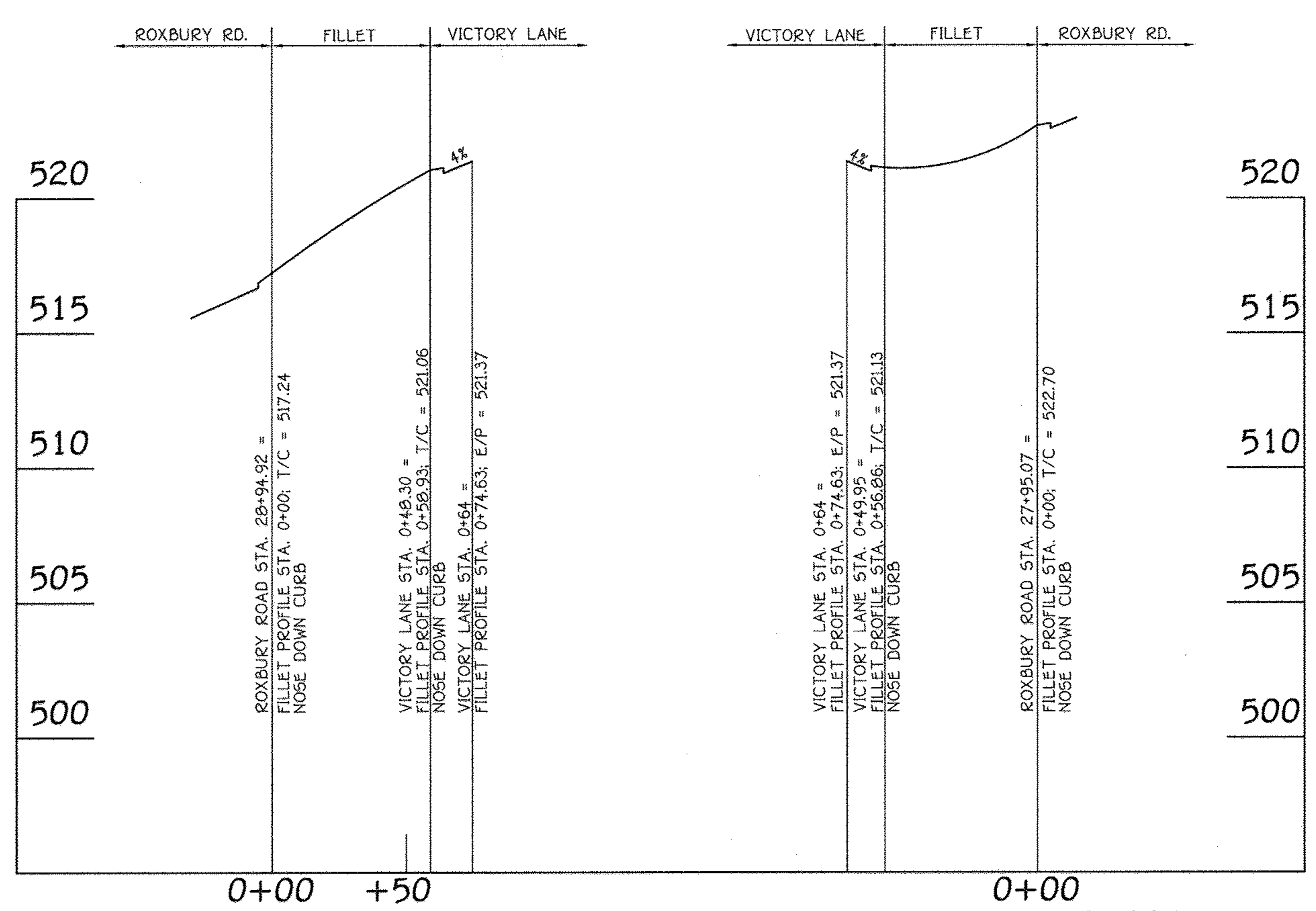


NOTE:
SEE HOWARD COUNTY STD. DETAILS FOR PAVING SECTION.

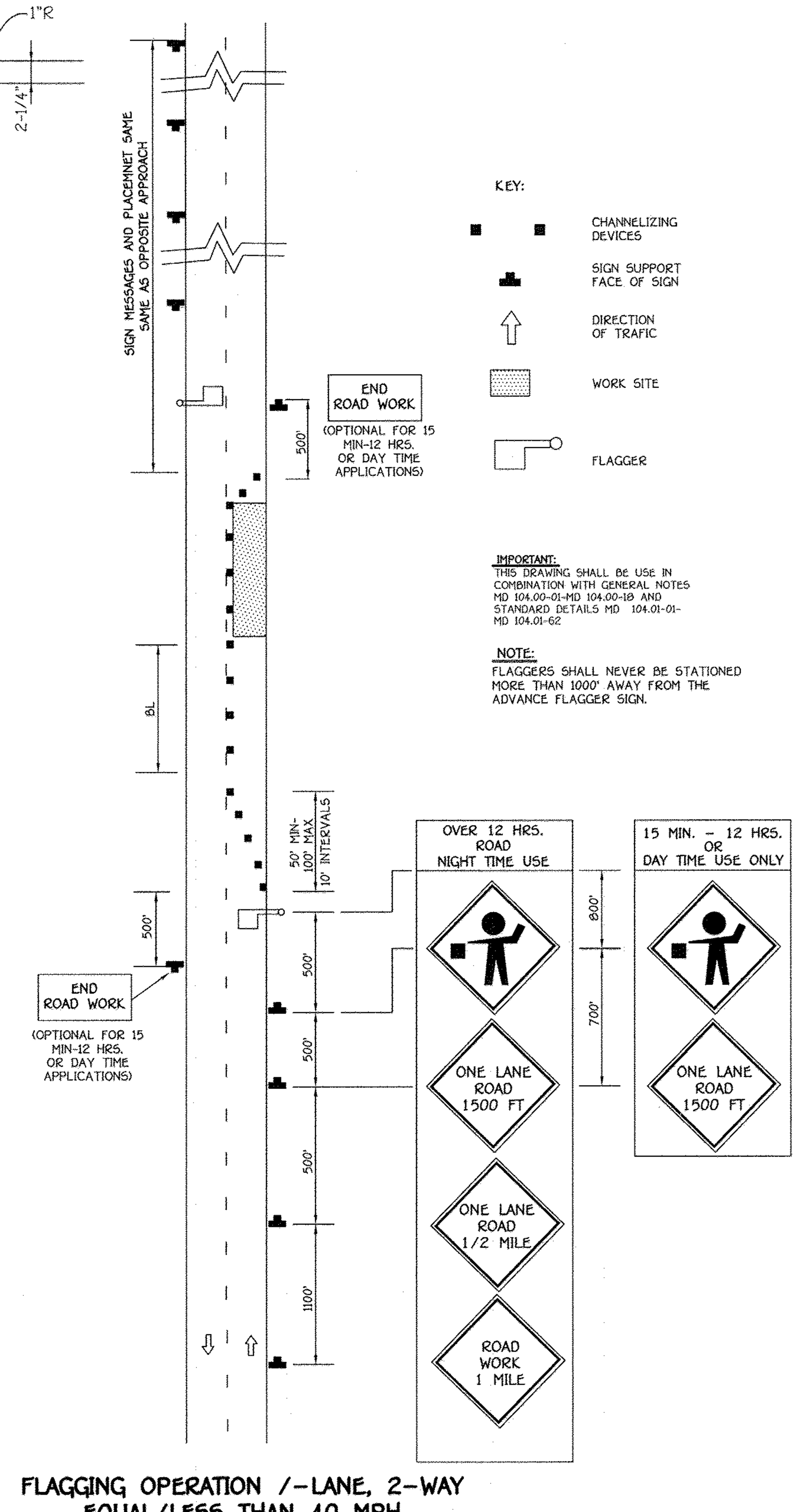
TYPICAL ROADWAY SECTION
NO SCALE

ROADWAY INFORMATION CHART

ROAD NAME	CLASSIFICATION	DESIGN SPEED	ZONING	℄ STATION LIMITS	PAVING SECTION
VICTORY LANE	PUBLIC ACCESS PLACE	25 M.P.H.	RC-DEO	0+00 TO 8+75.33	P-2



FILLET PROFILES
SCALE: HORIZONTAL: 1"=50'
VERTICAL: 1"=5'



IMPORTANT:
THIS DRAWING SHALL BE USE IN COMBINATION WITH GENERAL NOTES MD 104.00-01-MD 104.00-18 AND STANDARD DETAILS MD 104.01-01-MD 104.01-62

NOTE:
FLAGGERS SHALL NEVER BE STATIONED MORE THAN 1000' AWAY FROM THE ADVANCE FLAGGER SIGN.

FLAGGING OPERATION /-LANE, 2-WAY EQUAL/LESS THAN 40 MPH
NO SCALE

MAINTENANCE OF TRAFFIC SPECIAL PROVISIONS

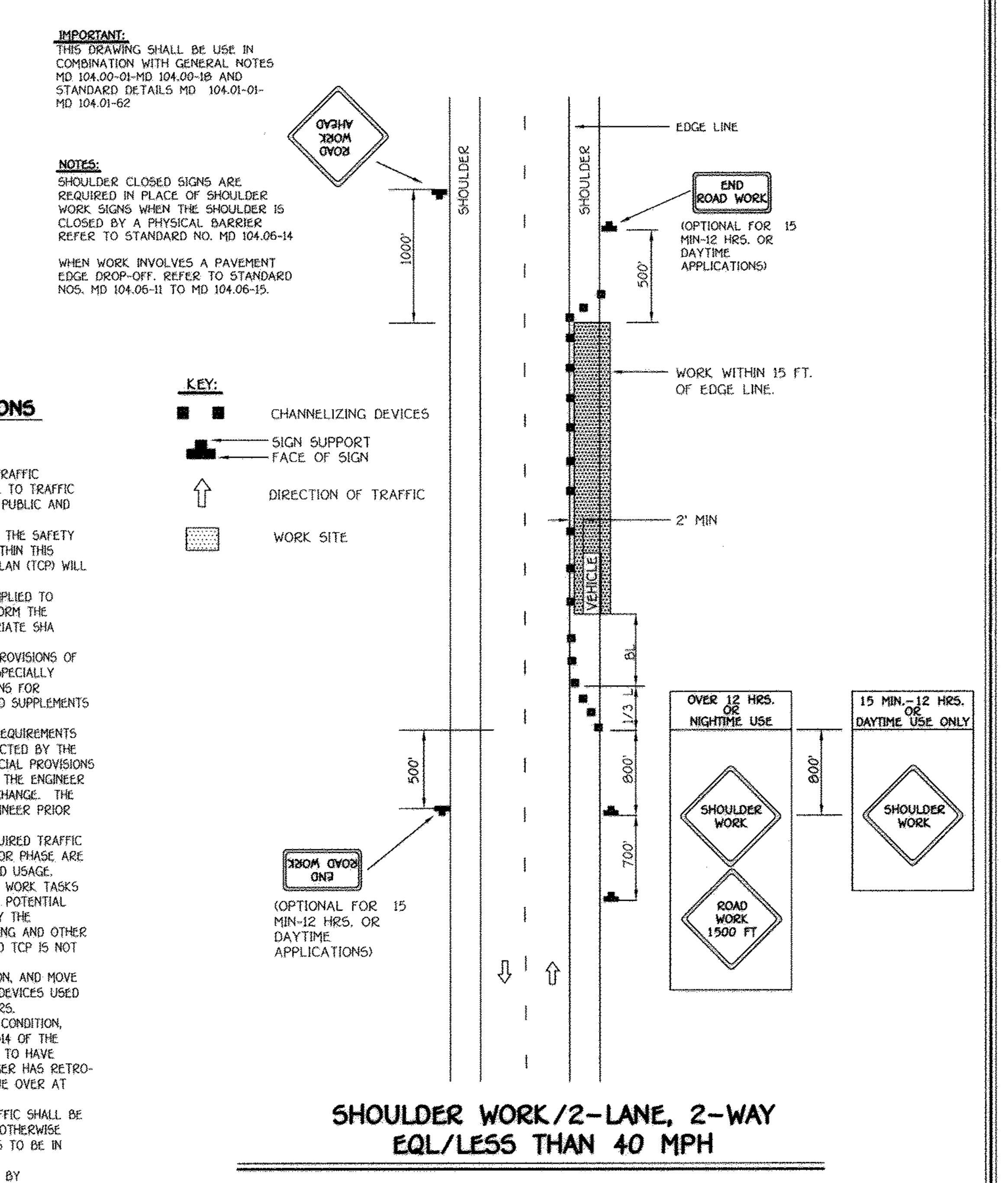
GENERAL

1. THE PURPOSE OF THIS PORTION OF THE SPECIAL PROVISION IS TO SET FOR THE TRAFFIC CONTROL REQUIREMENTS NECESSARY FOR THE SAFE AND EFFICIENT MAINTENANCE TO TRAFFIC WITHIN WORK AREAS, AND TO MINIMIZE ANY INCONVENIENCES TO THE TRAVELING PUBLIC AND THE CONTRACTOR AND/OR PERMITTEE.
2. PROPERTY TRAFFIC CONTROL THROUGH WORK AREAS IS ESSENTIAL FOR INSURING THE SAFETY AND THAT OF HIGHWAY WORKERS HAS THE HIGHEST PRIORITY OF ALL TASKS WITHIN THIS PROJECT. THE PROPERTY APPLICATION OF THE APPROVED TRAFFIC CONTROL PLAN (TCP) WILL PROVIDE THE DESIRED LEVEL OF SAFETY.
3. THROUGHOUT THESE SPECIAL PROVISIONS, ANY MENTION OF THE TCP SHALL BE IMPLIED TO INCLUDE ANY COMBINATION OF TYPICAL TRAFFIC CONTROL STANDARDS WHICH FORM THE OVERALL TCP FOR THIS PROJECT WHICH HAS BEEN APPROVED BY THE APPROPRIATE SHA TRAFFIC ENGINEER.
4. THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE PROVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 1988 EDITION, ESPECIALLY PART VI, AND TO SECTION 814 OF THE MARYLAND DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (JANUARY, 1982; INCLUDING ALL REVISIONS AND SUPPLEMENTS TO EACH.
5. THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE REQUIREMENTS SET FOR IN THE TCP AND THESE SPECIAL PROVISIONS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY REQUESTS TO MAKE MINOR CHANGES TO THE TCP OR THE SPECIAL PROVISIONS WITH REGARD TO THE TRAFFIC CONTROL ITEMS SHALL BE MADE IN WRITING TO THE ENGINEER A MINIMUM OF THREE(3) WORKING DAYS PRIOR TO THE PROPOSED SCHEDULING CHANGE. THE CONTRACTOR AND/OR PERMITTEE SHALL HAVE WRITTEN APPROVAL OF THE ENGINEER PRIOR TO THE IMPLEMENTATION OF ANY CHANGE.
6. NO WORK SHALL BEGIN ON ANY WORK ACTIVITY OR WORK PHASE UNTIL ALL REQUIRED TRAFFIC CONTROL PATTERNS AND DEVICES INDICATED ON THE TCP FOR THAT ACTIVITY OR PHASE ARE COMPLETELY AND CORRECTLY IN PLACE TO HAVE BEEN CHECKED FOR APPROVED USAGE.
7. GENERAL AND SPECIFIC WARNING SIGNS SHALL ONLY BE IN PLACE WHEN SPECIFIC WORK TASKS AND ACTIVITIES ARE ACTUALLY UNDERWAY OR CONDITIONS EXIST THAT POSE A POTENTIAL HAZARD TO THE PUBLIC, AND ANY ADDITIONAL SIGNING HAS BEEN APPROVED BY THE APPROPRIATE SHA TRAFFIC ENGINEER. NOTE: THE PRACTICE OF PLACING SIGNING AND OTHER TRAFFIC CONTROL DEVICES IN ADDITION TO THOSE INDICATED ON THE APPROVED TCP IS NOT PERMITTED.
8. THE CONTRACTOR AND/OR PERMITTEE SHALL PROVIDE, MAINTAIN IN NEW CONDITION, AND MOVE WHEN NECESSARY, OR AS DIRECTED BY THE ENGINEER, ALL TRAFFIC CONTROL DEVICES USED FOR THE GUIDANCE AND PROTECTION OF MOTORISTS, PEDESTRIANS, AND WORKERS.
9. ALL TRAFFIC CONTROL DEVICES REQUIRED BY THE TCP SHALL BE KEPT IN GOOD CONDITION, FULLY PERFORMING AS SET FORTH IN THE TCP, THE MUTCD, AND/OR SECTION 814 OF THE SPECIFICATIONS. FOR REFLECTIVE DEVICES, A PARTICULAR DEVICE IS ASSUMED TO HAVE FAILED TO MEET MINIMUM OPERATIONAL STANDARDS WHEN THE DEVICE NO LONGER HAS RETRO-REFLECTANCE CAPABILITY OF AT LEAST 60%%% OF THE SPECIFIED MINIMUM VALUE OVER AT LEAST 90%%% OF THE VISIBLE REFLECTIVE SURFACE.
10. ALL TRAFFIC CONTROL DEVICES NOT REQUIRED FOR THE SAFE CONDUCT OF TRAFFIC SHALL BE PROMPTLY REMOVED, COMPLETELY COVERED, TURNED AWAY FROM TRAFFIC, OR OTHERWISE TAKEN OUT OF SERVICE. IT IS INTENDED THAT NO TRAFFIC CONTROL DEVICE IS TO BE IN SERVICE WHEN THERE IS NO CLEAR CUT REASON FOR THE DEVICE.
11. THROUGHOUT THE PERIOD(S) OF WORK ACTIVITIES, TRAFFIC SHALL BE MAINTAINED BY IMPLEMENTING THE APPROVED TCP. IN LIEU OF THE TCP PREPARED FOR THIS PROJECT, AND/OR INDIVIDUAL TYPICAL TRAFFIC CONTROL STANDARDS, THE CONTRACTOR AND/OR PERMITTEE HAS THE OPTION OR PREPARING AND SUBMITTING A TCP, WHOLLY OR IN PART, OF HIS OWN DESIGN, FOLLOWING GUIDELINES SET FORTH IN THE MUTCD AND PRESCRIBED BY THE ADMINISTRATION. A TCP DEVELOPED BY THE CONTRACTOR AND/OR PERMITTEE SHALL NOT BE IMPLEMENTED UNTIL ADVANCE WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. TCP'S MAY BE IMPLEMENTED WITHIN A SINGLE PROJECT OR JOINTLY BETWEEN TWO OR MORE PROJECTS. IN SITUATIONS WHERE TCP'S JOINTLY IMPLEMENTED, CARE SHALL BE EXERCISED TO PRESENT CORRECT AND NON-CONFLICTING GUIDANCE TO THE TRAVELING PUBLIC.
12. THROUGHOUT THESE SPECIAL PROVISIONS, WHERE SPEED OF TRAFFIC IS NOTED, THIS MEANS THE POSTED SPEED OR PREVAILING TRAVEL SPEED, WHICHEVER IS HIGHER, UNLESS OTHERWISE NOTED.
13. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT, UNLESS OTHERWISE NOTED. NO TRAVEL LANE(S) OTHER THAN THOSE DESIGNATED FOR POSSIBLE CLOSURE IN THE TCP SHALL BE CLOSED WITHOUT OBTAINING PRIOR APPROVAL FROM THE ENGINEER. ALL INGRESS AND EGRESS TO THE WORK AREA BY THE CONTRACTOR AND/OR PERMITTEE SHALL BE PERFORMED WITH THE FLOW OF TRAFFIC.

IMPORTANT:
THIS DRAWING SHALL BE USE IN COMBINATION WITH GENERAL NOTES MD 104.00-01-MD 104.00-18 AND STANDARD DETAILS MD 104.01-01-MD 104.01-62

NOTES:
SHOULDER CLOSED SIGNS ARE REQUIRED IN PLACE OF SHOULDER WORK SIGNS WHEN THE SHOULDER IS CLOSED BY A PHYSICAL BARRIER REFER TO STANDARD NO. MD 104.06-14

WHEN WORK INVOLVES A PAVEMENT EDGE DROP-OFF, REFER TO STANDARD NOS. MD 104.06-11 TO MD 104.06-15.



SHOULDER WORK/2-LANE, 2-WAY EQL/LESS THAN 40 MPH
NO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

NO.	DESCRIPTION	
1	REMOVED UNDERGROUND FIRE TANK & PULL OFF AREA	11/8/11
1	REVISE OWNER AND DEVELOPER	11/8/11

REVISIONS

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

ALDO M. VITUCCI, P.E. 12.22.08 DATE
"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

ROADWAY DETAILS
MERIWETHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'
(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008

F-08-199

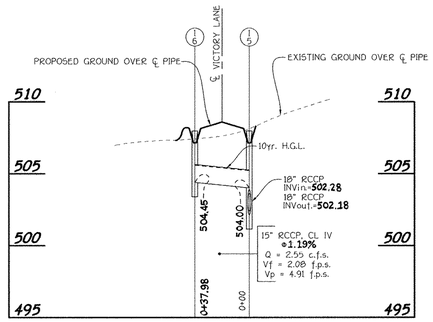
STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEVATION	INV.IN	INV.OUT	LOCATION	STATION	OFFSET	TYPE	REMARKS	
I-1	THROAT = 483.86	479.85	475.48	VICTORY LANE	8+09.27	19.0' R	'K' INLET	D - 4.12 w/D - 4.13	PROVIDE STD. MANHOLE STEPS
I-2	THROAT = 483.89	----	480.67	VICTORY LANE	8+09.27	19.0' L	'K' INLET	D - 4.12 w/D - 4.13	
I-3	TOP= 480.37	----	476.36	VICTORY LANE	L.P. 1+82.41	----	A-10	D - 4.01	
I-4	THROAT= 491.37	486.60	486.42	VICTORY LANE	6+51	19.0' R	'K' INLET	D - 4.12 w/D - 4.13	
I-5	THROAT= 507.83	504.45, 502.28	502.18	VICTORY LANE	4+15	19.0' R	'K' INLET	D - 4.12 w/D - 4.13	PROVIDE STD. MANHOLE STEPS
I-6	THROAT= 507.66	----	504.45	VICTORY LANE	4+15	19.0' L	'K' INLET	D - 4.12 w/D - 4.13	
I-7	THROAT= 520.93	----	516.44	VICTORY LANE	0+29	24.5' R	'K' INLET	D - 4.12 w/D - 4.13	
M-1	TOP= 483.92	476.44	474.42	VICTORY LANE	7+93	47.5' R	STD. MANHOLE	G - 5.12	
M-2	TOP= 521.64	515.82	515.64	VICTORY LANE	0+77	13.0' R	STD. MANHOLE	G - 5.12	
S-1	TOP= 476.24	474.24	----	VICTORY LANE	7+85	82.0' R	CONC. END SECTION	D - 5.51	
S-2	TOP= 471.94	469.94	----	N 579,846.11 E 1,302,212.55	----	----	CONC. END SECTION	D - 5.51	
R-1	TOP= 480.92	471.70	471.50	N 579,766.50 E 1,302,185.21	----	----	CONCRETE RISER	SEE SHEET 8	

PIPE SCHEDULE

SIZE	CLASS	LENGTH
15"	RCCP. CL. V	227'
18"	RCCP. CL. IV	774'
24"	RCCP. CL. IV	35'
30"	ASTM C-361 B-25	83'
6"	D.I.P. POND DRAIN	7'
6"	PVC, SCH. 40	171'
6"	PERFORATED PVC, SCH. 40	62'

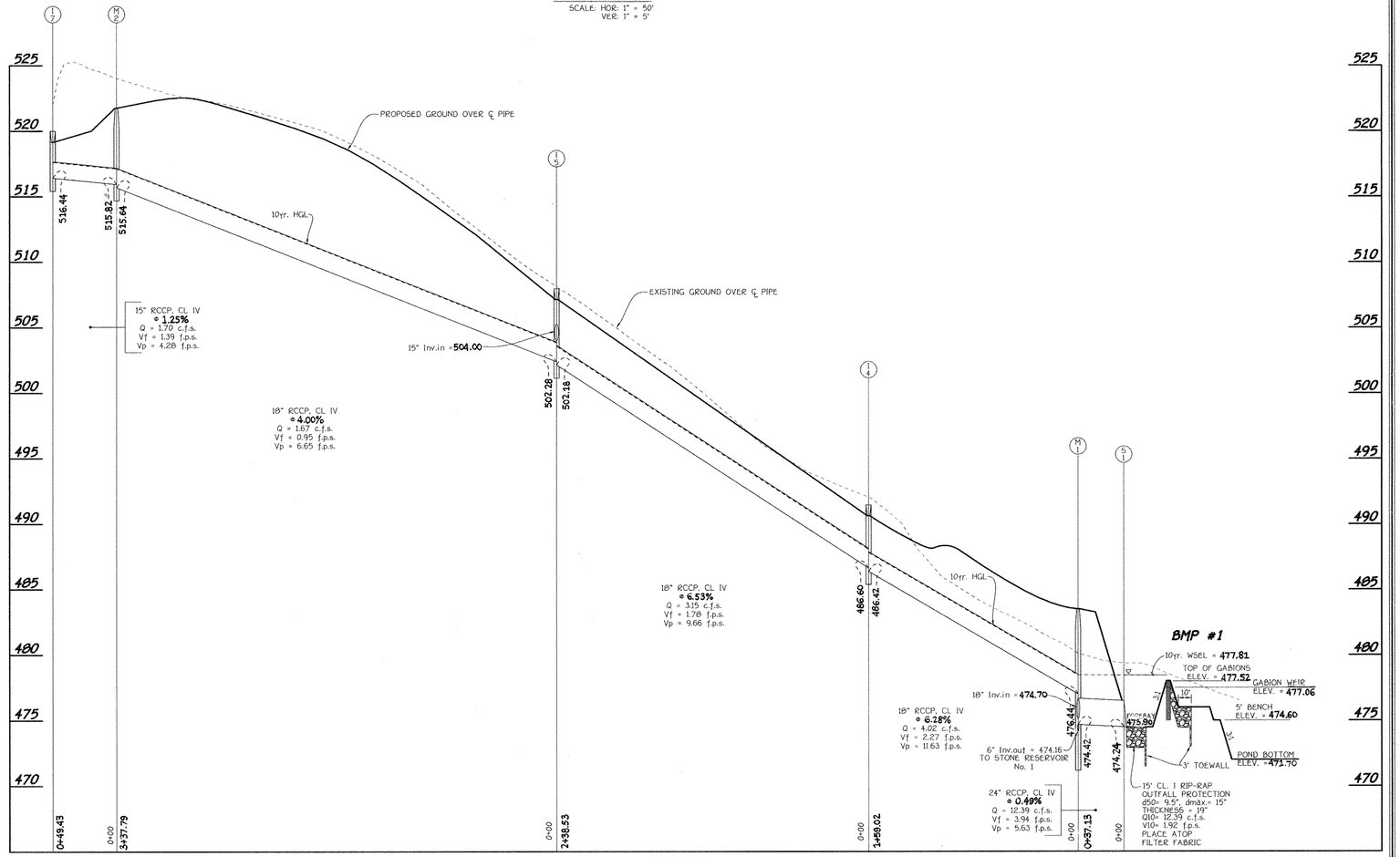
NOTE: RCCP, CL. IV PIPE MAY BE SUBSTITUTED WITH HDPE PIPE.



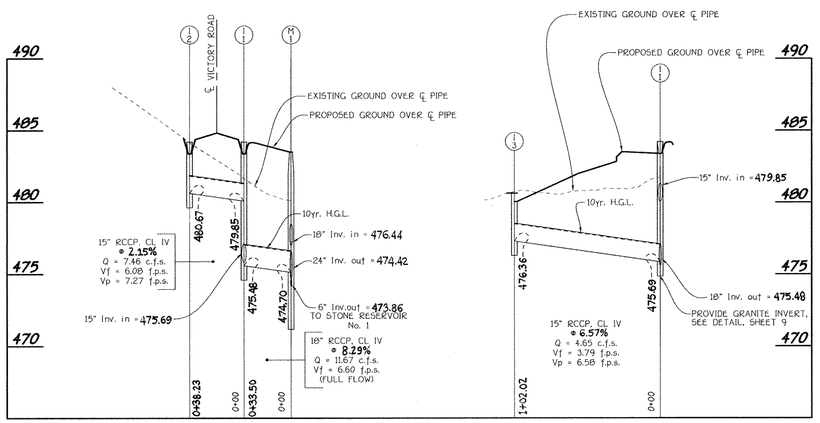
PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'

DRIVEWAY CULVERT DATA

LOT	SLOPE (%)	Q10 (c.f.s)	PIPE SIZE
1	N/A HIGHPOINT	CREST	NO PIPE
2	5.02	8.20	12"
3	7.00	9.60	12"
4	7.00	9.60	12"
5 & 6	N/A SUMP	SUMP	NO PIPE
7	7.00	9.60	12"
8	7.00	9.60	12"
9	6.75	9.45	12"
10	3.82	7.00	12"



PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'



PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'

PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.

NO.	DESCRIPTION	
1	REVISE OWNER AND DEVELOPER	11/8/11
	REVISIONS	

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

ALDO R. VITUCCI, P.E. — DATE 12-22-08

"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20749, Expiration Date 2-22-09."

APPROVED: DEPARTMENT OF PUBLIC WORKS
CHIEF, BUREAU OF HIGHWAYS — DATE 1-12-09

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 1/22/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 1-14-9

STORM DRAIN PROFILES

MERIWETHER FARM

SECTION TWO

PHASE ONE

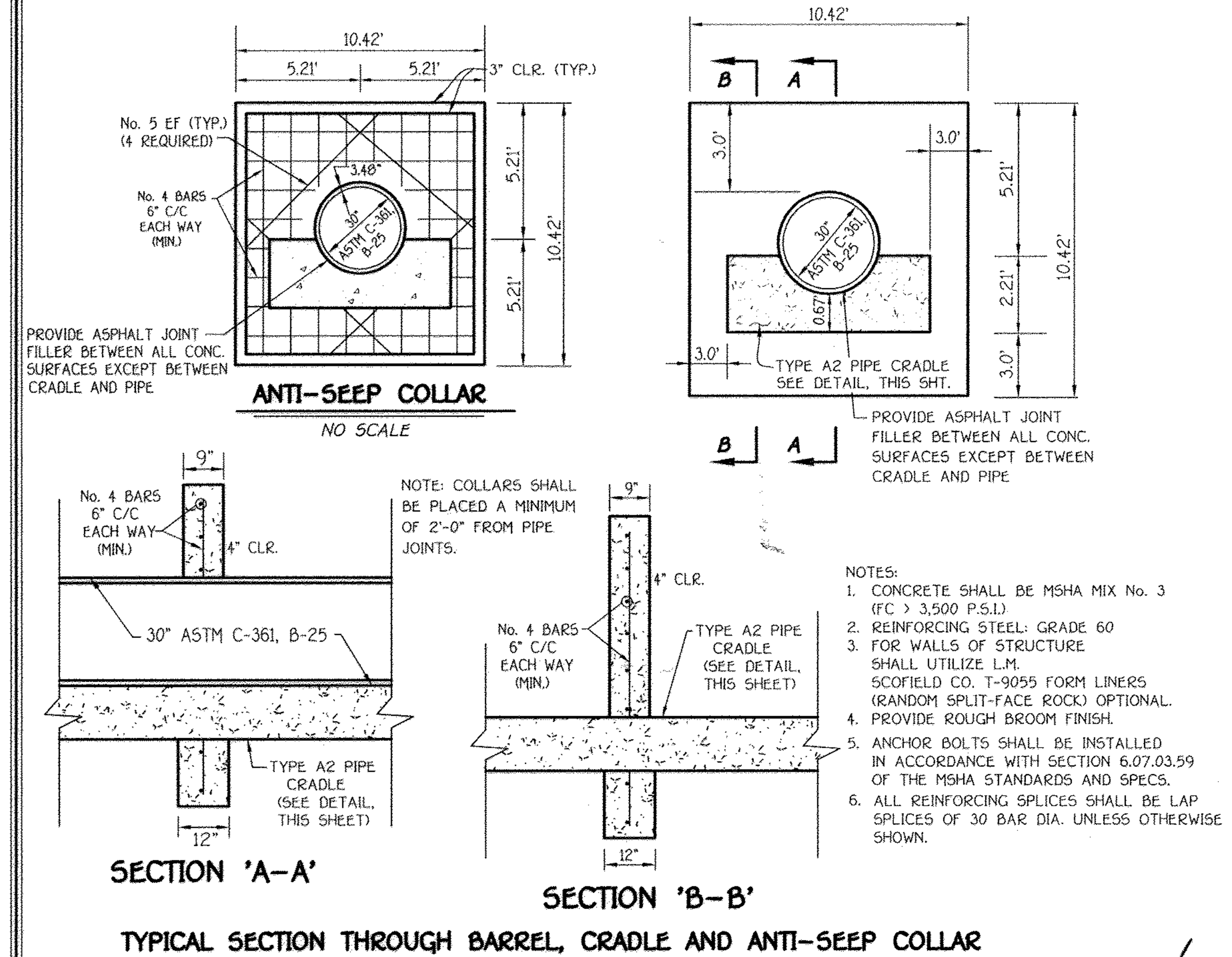
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)

ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 7 OF 15

ASBUILT

F-08-199



ANTI-SEEP COLLAR

NO SCALE

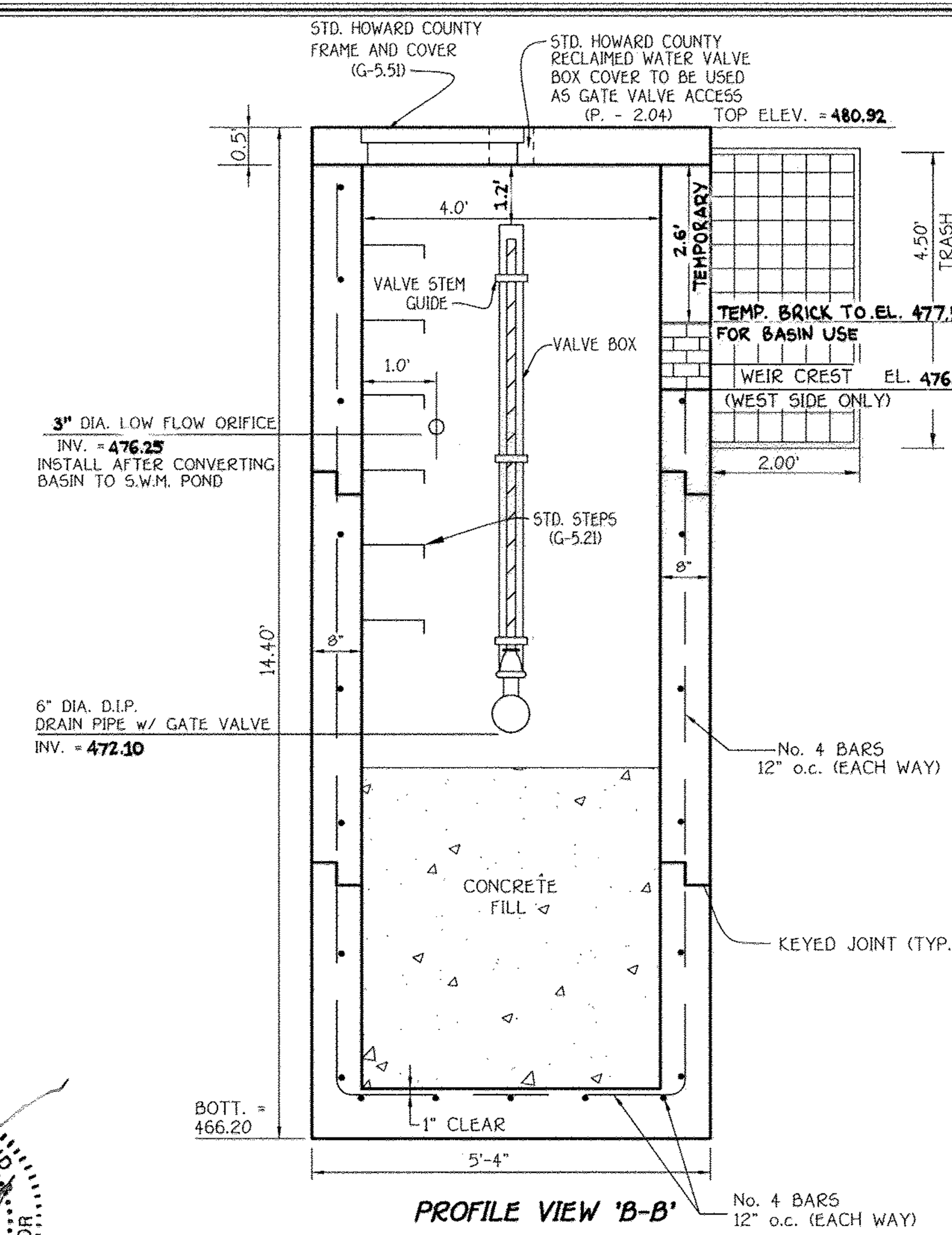
SECTION 'A-A' **SECTION 'B-B'**

TYPICAL SECTION THROUGH BARREL, CRADLE AND ANTI-SEEP COLLAR

NO SCALE

NOTE: COLLARS SHALL BE PLACED A MINIMUM OF 2'-0" FROM PIPE JOINTS.

NOTES:
1. CONCRETE SHALL BE MSHA MIX No. 3 (FC > 3,500 P.S.I.)
2. REINFORCING STEEL: GRADE 60
3. FOR WALLS OF STRUCTURE SHALL UTILIZE L.M. SCOFIELD CO. T-9055 FORM LINERS (RANDOM SPLIT-FACE ROCK) OPTIONAL.
4. PROVIDE ROUGH BROOM FINISH.
5. ANCHOR BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 6.07.03.59 OF THE MSHA STANDARDS AND SPECS.
6. ALL REINFORCING SPLICES SHALL BE LAP SPLICES OF 30 BAR DIA. UNLESS OTHERWISE SHOWN.



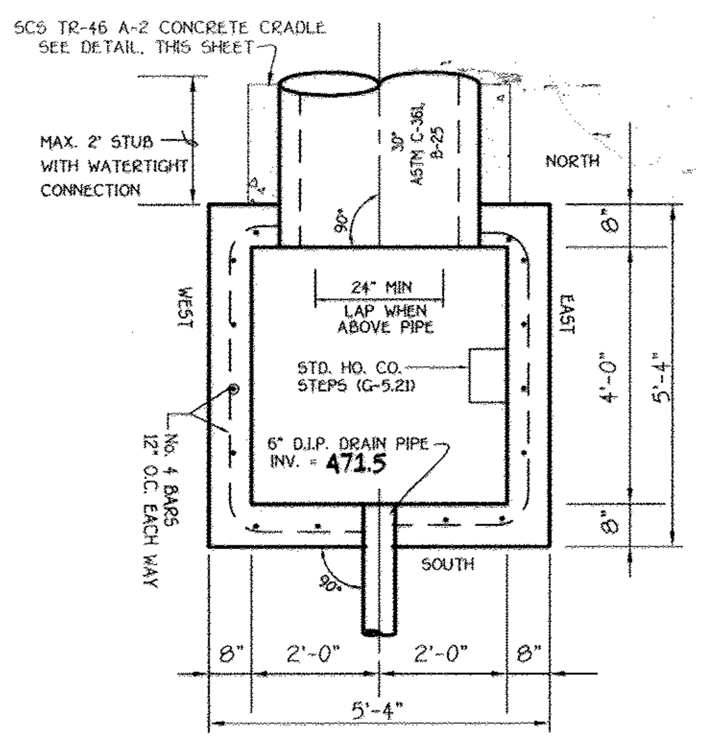
PROFILE VIEW 'B-B'

CONCRETE RISER DETAIL

SCALE : 1" = 2'

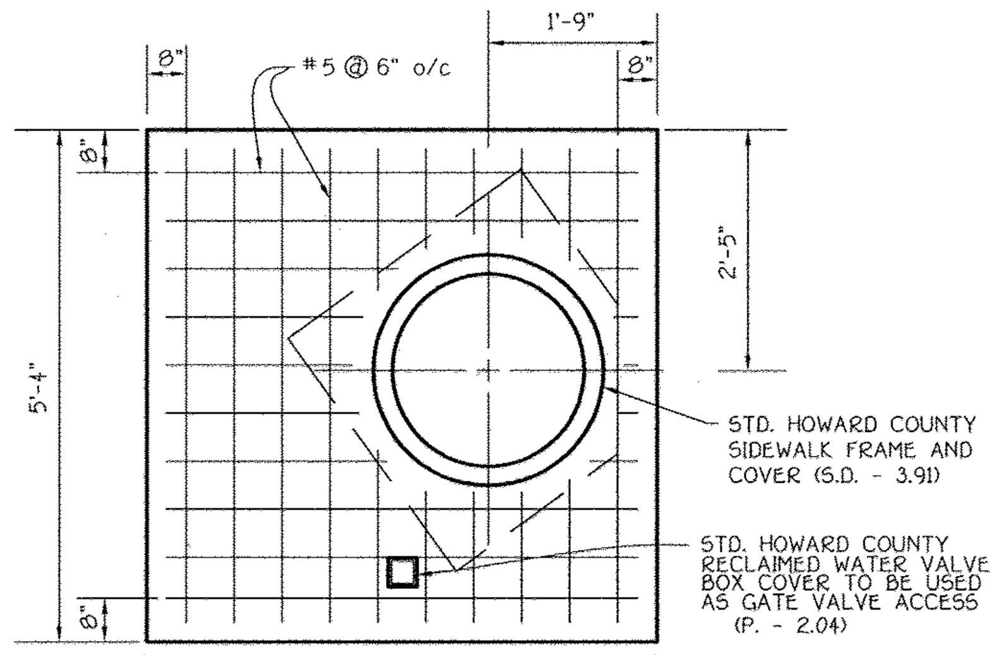
FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.



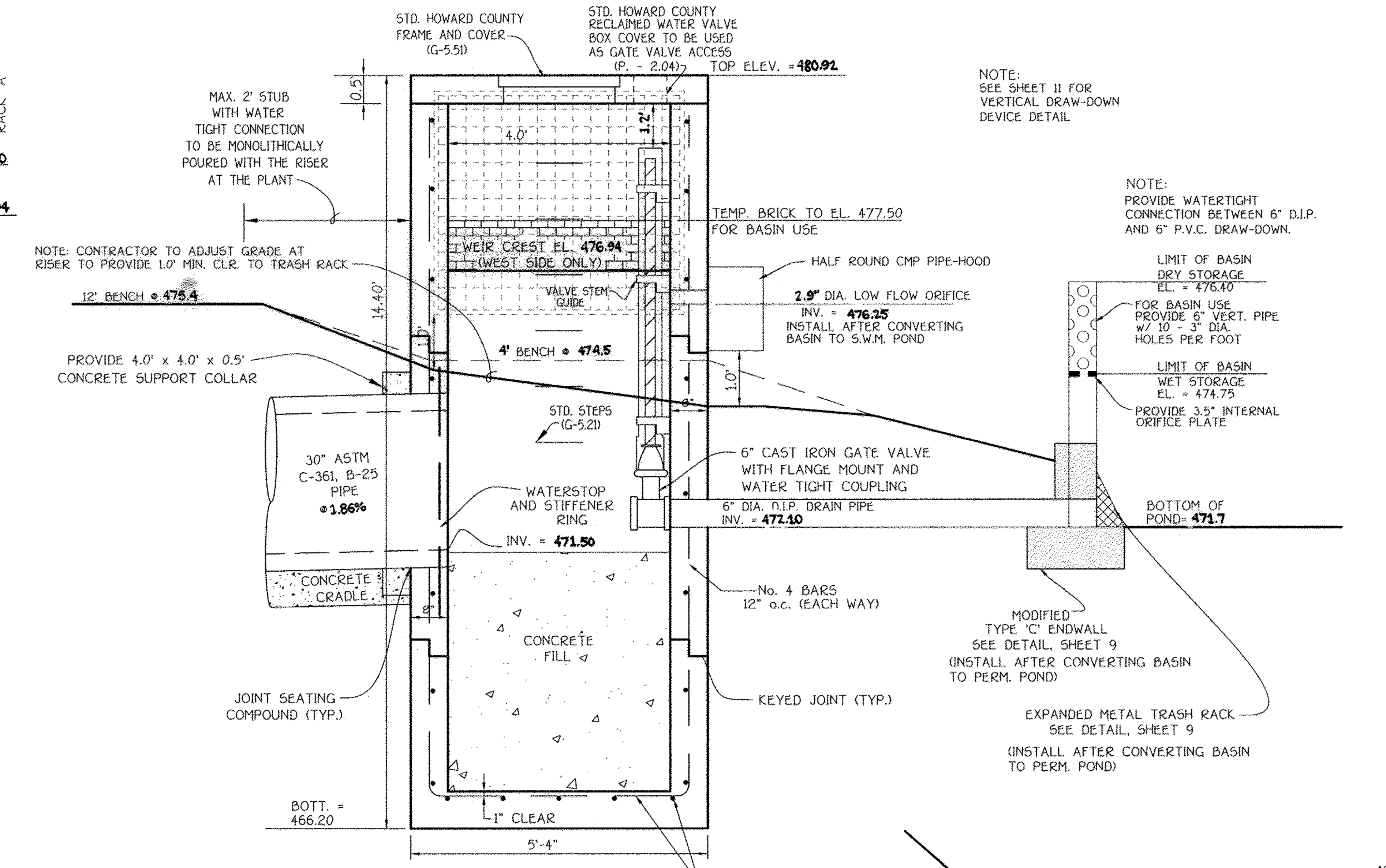
RISER PLAN VIEW

SCALE: 1" = 2'



TOP SLAB DETAIL

NO SCALE



PROFILE VIEW 'A-A'

CONCRETE RISER DETAIL

SCALE : 1" = 2'

By The Developer:

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature Of Developer — Date 12-22-08

Printed Name Of Developer: Robert Goodier

By The Engineer:

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature Of Engineer — Date 12.22.08

Printed Name Of Engineer: Aldo M. Vitucci

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howard Soil Conservation District — Date 1/6/09

Approved: Department Of Public Works

Chief Bureau Of Highways — Date 1-12-09

Approved: Department Of Planning And Zoning

Chief, Division Of Land Development — Date 1/22/09

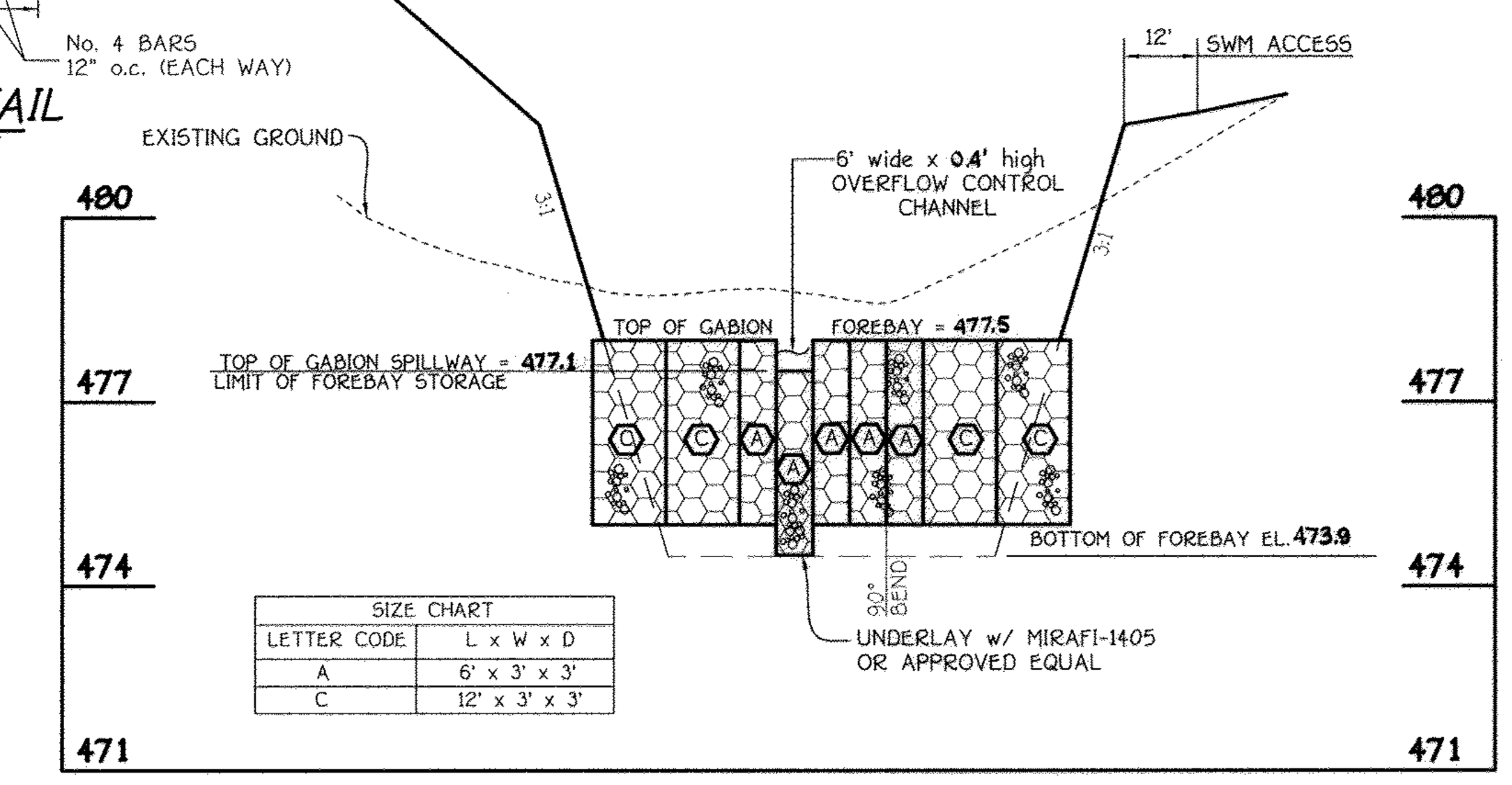
Chief, Development Engineering Division — Date 1-16-09

AS-BUILT CERTIFICATION

I Hereby Certify That The Facility Shown On This Plan Was Constructed As Shown On The " As-Built" Plans And Meets The Approved Plans And Specifications.

Signature — P.E. No. — Date:

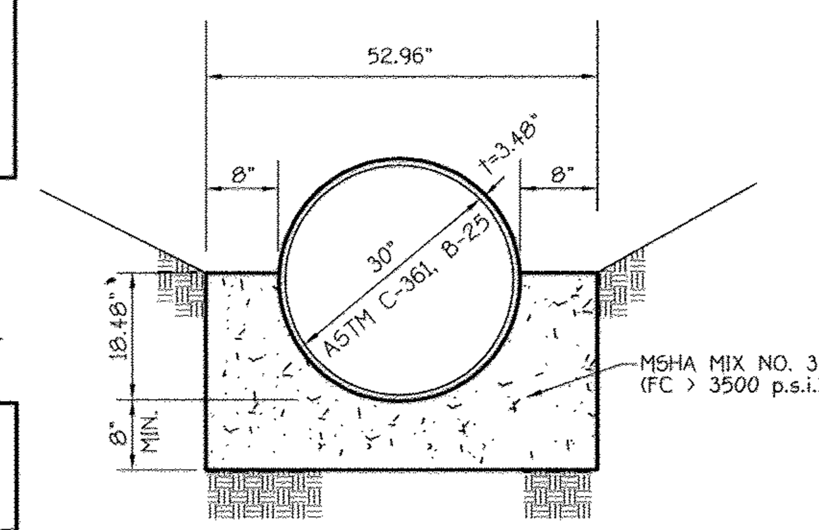
Certify Means To State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which Are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted



GABION FOREBAY PROFILE

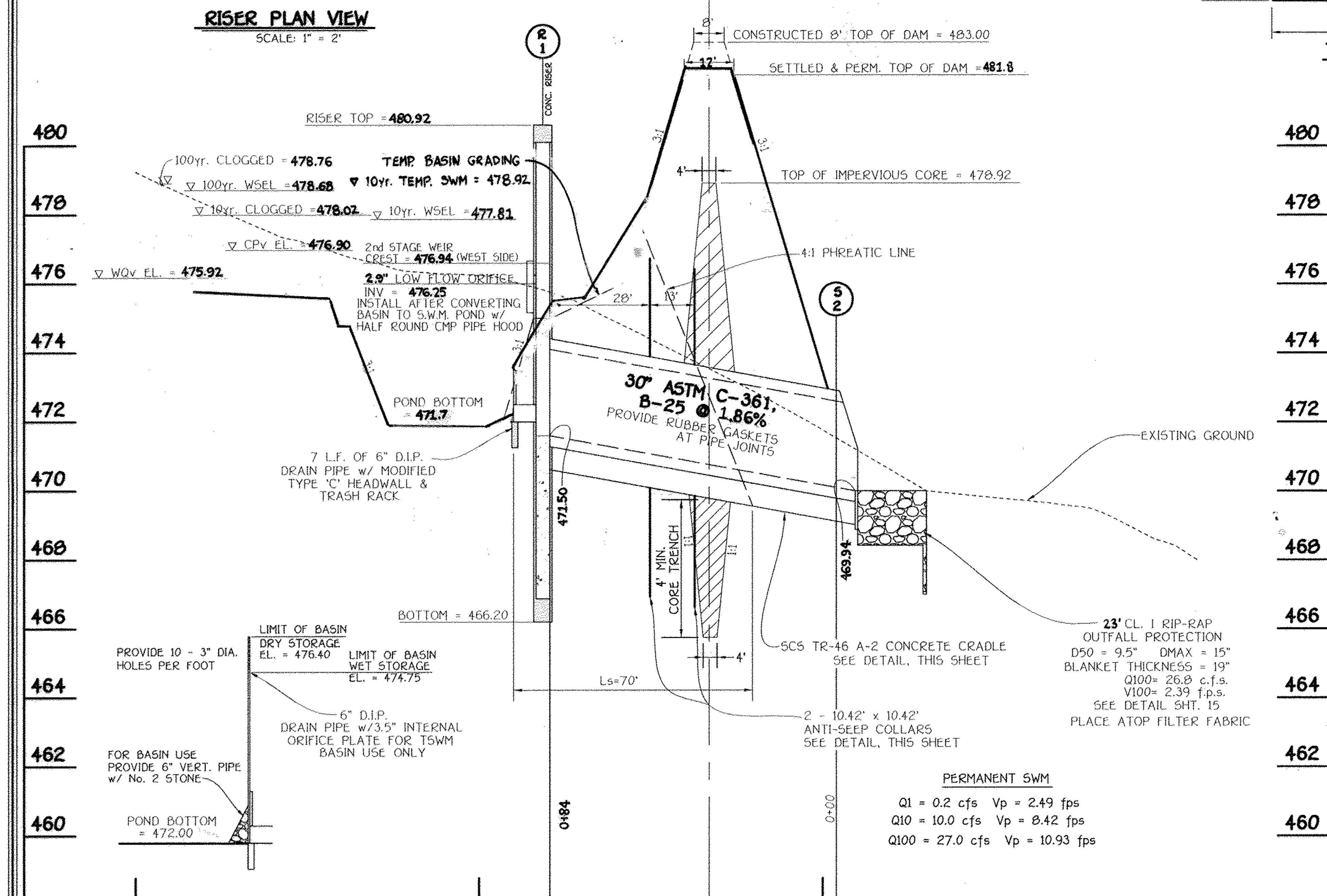
SCALE: HORIZ. 1" = 30' VERT. 1" = 3'

NOTE:
CONC. CRADLE TO BE POURED DIRECTLY AGAINST EARTH BANKS. IF BOTTOM OF TRENCH IS WIDER THAN THE CRADLE, SLOPING SIDES (FRAMED) SHALL BE USED.



SCS TR-46 A-2 CONCRETE CRADLE

NO SCALE

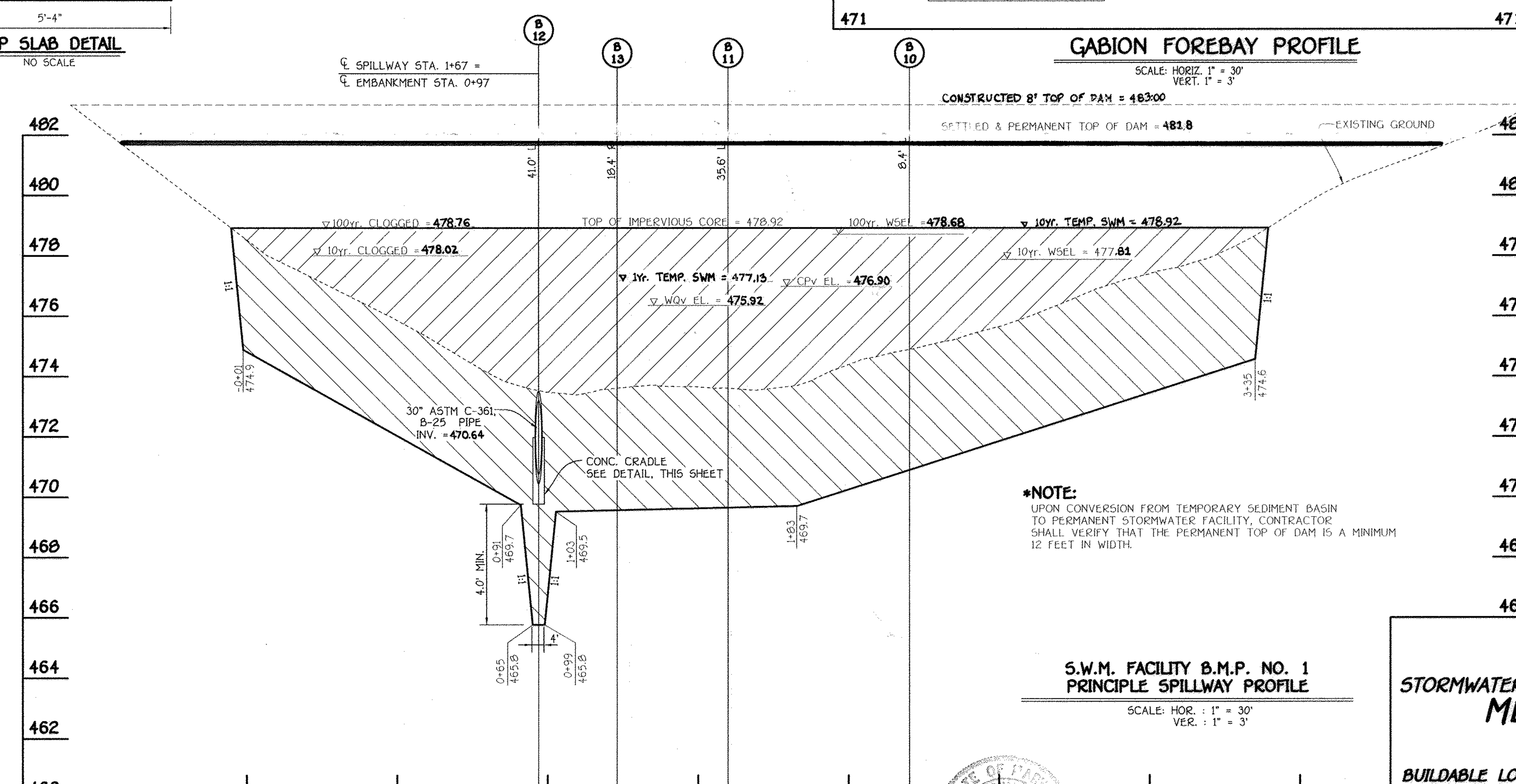


S.W.M. FACILITY B.M.P. NO. 1
PRINCIPLE SPILLWAY PROFILE

SCALE: HOR. : 1" = 30' VER. : 1" = 3'

PERMANENT SWM

Q1 = 0.2 cfs Vp = 2.49 fps
Q10 = 10.0 cfs Vp = 8.42 fps
Q100 = 27.0 cfs Vp = 10.93 fps



*NOTE:
UPON CONVERSION FROM TEMPORARY SEDIMENT BASIN TO PERMANENT STORMWATER FACILITY, CONTRACTOR SHALL VERIFY THAT THE PERMANENT TOP OF DAM IS A MINIMUM 12 FEET IN WIDTH.

S.W.M. FACILITY B.M.P. NO. 1
PRINCIPLE SPILLWAY PROFILE

SCALE: HOR. : 1" = 30' VER. : 1" = 3'

OWNER

MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 330
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COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

NO.	DESCRIPTION	DATE
1	REVISE OWNER AND DEVELOPER	11/8/11

REVISIONS

ALDO M. VITUCCI P.E. — DATE 12.22.08

"Professional certification: I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

STORMWATER MANAGEMENT NOTES & DETAILS
MERIWETHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)

ZONED: RC-DEO

TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22

FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 8 OF 15

ASBUILT

F-08-199

STORM WATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

EARTH FILL

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8-inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out.

When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within +2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 psi; 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2,000 ohm-cm. Material shall be placed such that a minimum of 6" (measured perpendicular to the outside of the pipe) of flowable fill shall be under (bedding), over and, on the sides of the pipe. It only needs to extend up to the spring line for rigid conduits. Average slump of the fill shall be 7" to assure flowability of the material. Adequate measures shall be taken (sand bags, etc.) to prevent floating the pipe. When using flowable fill, all metal pipe shall be bituminous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill (flowable fill zone shall be of the type and quality conforming to the specified for the core of the embankment or other embankment materials.

Pipe Conduits

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

1. Materials - (Polymer Coated steel pipe) - Steel pipes with polymeric coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges.

Materials - (Aluminum Coated Steel Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated Stel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.

Materials - (Aluminum Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling banks or flanges. Aluminum Pipe, when used with flowable fill or when soil and/or water conditions warrant for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 9.

2. Coupling bands, anti-seep collars, end sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness.

3. Connections- All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth. The following type connections are acceptable for pipes less than 24-inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed cell neoprene gasket, prepunched to the flange bolt circle, sandwiched between adjacent flanges; a 12-inch wide standard lap type band with 12-inch wide by 3/8-inch thick closed cell circular neoprene gasket; and a 12-inch wide hugger type band with o-ring gaskets having a minimum diameter of 1/2-inch greater than the corrugation depth. Pipes 24-inches in diameter and larger shall be connected by a 24-inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12-inches on the end of each pipe. Flanged joints with 3/8-inch closed cell gaskets the full width of the flange is also acceptable.

Helically corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene bead.

4. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

5. Backfilling shall conform to "Structure Backfill".

6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe:

1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-361.

2. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/cradle for their entire length. This bedding/cradle shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 50% of its outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Stucture Backfill" section of this standard. Gravel bedding is not permitted.

3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (Anti-seep collars, valves, etc.) shall be as shown on the drawings.

Plastic Pipe

The following criteria shall apply for plastic pipe:

1. Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch pipe shall meet the requirement of AASHTO M252 Type S, and 12" through 24" inch shall meet the requirement of AASHTO M294 Type S.

2. Joints and connections to anti-seep collars shall be completely watertight.

3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Drainage Diaphragms - When a drainage diaphragm is used, a registered professional engineer will supervise the design and construction inspection.

Concrete

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, Mix No. 3.

Rock Riprap

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

Care of Water during Construction

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compaction of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

Stabilization

All borrow areas shall be graded to provide proper drainage and left in a sightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MD-342) or as shown on the accompanying drawings.

Erosion and Sediment Control

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

OPERATION AND MAINTENANCE

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance And Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

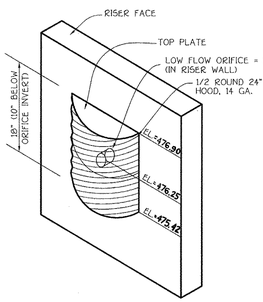
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND JOINTLY MAINTAINED STORMWATER MANAGEMENT FACILITIES FOR BMP POND #1 & UNDERGROUND STONE RESERVOIR

ROUTINE MAINTENANCE

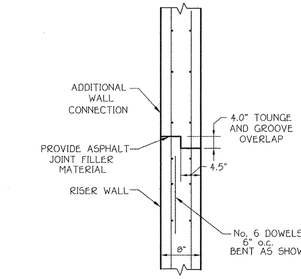
1. Facility shall be inspected annually and after major storms. Inspections shall be preformed during wet weather to determine if the pond is functioning properly.
2. Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
3. Debris and litter shall be removed during regular mowing operations and as needed.
4. Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repairer as soon as it is noticed.
5. The off-line storm drain (M-1 to CO-1) and underground reservoir shall be inspected annually and after major storms.

NON-ROUTINE MAINTENANCE

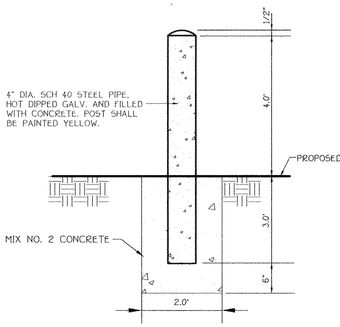
1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
2. Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



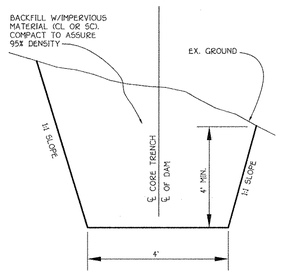
(FOR PROTECTION OF LOW FLOW ORIFICE)
HALF ROUND CMP PIPE-HOOD
NOT TO SCALE



KEYED JOINT DETAIL
WALL SECTION TO WALL SECTION
NO SCALE

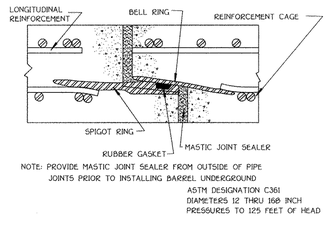


TYPICAL METAL BOLLARD DETAIL
NO SCALE (STD. G-7.42)



NOTE: CORE SHALL BE KEPT PUMPED DRY DURING CONSTRUCTION.

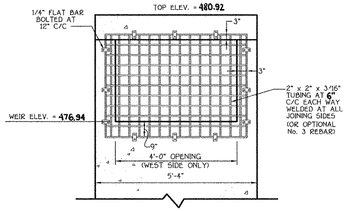
CORE TRENCH DETAIL
NO SCALE



NOTE: PROVIDE MASTIC JOINT SEALER FROM OUTSIDE OF PIPE JOINTS PRIOR TO INSTALLING BARREL UNDERGROUND

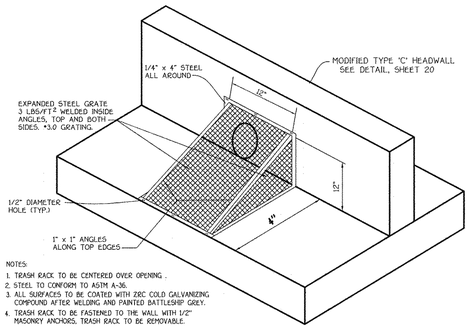
ASTM DESIGNATION C361
DIAMETERS 12 THRU 168 INCH
PRESSURES TO 125 FEET OF HEAD

CONCRETE PIPE JOINT DETAIL
NO SCALE



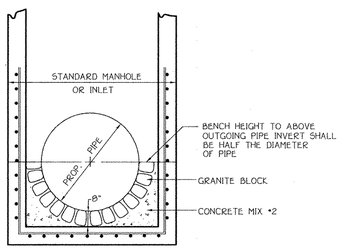
NOTES:
1. FIELD MEASURE THE STRUCTURE DIMENSIONS TO INSURE EXACT FIT OF TRASH RACK.
2. GALVANIZE ENTIRE TRASH RACK AFTER FABRICATION.
3. PAINT BATTLESHIP GRAY.

TRASH RACK 'A' DETAIL
NOT TO SCALE

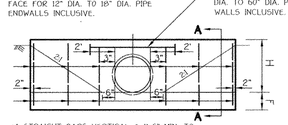


NOTES:
1. TRASH RACK TO BE CENTERED OVER OPENING.
2. STEEL TO CONFORM TO ASTM A-36.
3. ALL SURFACES TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND AFTER WELDING AND PAINTED BATTLESHIP GREY.
4. TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2" MASONRY ANCHORS. TRASH RACK TO BE REMOVABLE.

EXPANDED METAL TRASH RACK
NOT TO SCALE



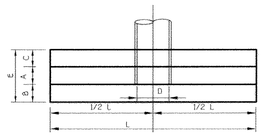
GRANITE BLOCK DETAIL
NOT TO SCALE



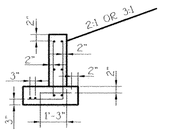
ELEVATION

SECTION A-A

"S" DISTANCES FROM INSIDE SURFACE OF PIPE TO VERTICAL BARS IN FRONT AND REAR FACE.
4" FOR 12" DIA. TO 18" DIA. PIPES INCL.
6" FOR 24" DIA.TO 36" DIA. PIPES INCL.
8" FOR 42" DIA.TO 60" DIA. PIPES INCL.



PLAN



DISPOSITION OF BARS - DETAIL

REINFORCING: DEFORMED STEEL BARS (1/2" DIA.)
CHAMFER: ALL EXPOSED EDGES 1"x 1" OR AS DIRECTED.
CONC. SHALL BE S.H.A. A. MIX No. 2.

OPENINGS		DIMENSIONS							VOLUME	STEEL
D IN.	AREA SQ.FT.	A	B	C	E	F	H	L	CONC. C.Y.	LBS.
6"	0.79	9"	6"	6"	1'-9"	9"	1'-6"	5'-5"	0.61	38

MODIFIED TYPE 'C' ENDWALL
NO SCALE

By The Developer:

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

12-22-08
Signature Of Developer — Date

Robert Goodier
Printed Name Of Developer

By The Engineer:

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

12.22.08
Signature Of Engineer — Date

ALDO M. VITUCCI
Printed Name Of Engineer

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

1/6/09
Howard Soil Conservation District — Date

Approved: Department Of Public Works

1-12-09
Chief, Bureau Of Highways — Date

Approved: Department Of Planning And Zoning

1/26/09
Chief, Division Of Land Development — Date

1-16-9
Chief, Development Engineering Division — Date

AS-BUILT CERTIFICATION

I Hereby Certify That The Facility Shown On This Plan Was Constructed As Shown On The " As-Built" Plans And Meets The Approved Plans And Specifications.

Signature — P.E. No. — Date:

Certify Means To State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which Are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/19.

NO.	DESCRIPTION	DATE
1	REVISE OWNER AND DEVELOPER	11/9/11
	REVISIONS	

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7124 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

ALDO M. VITUCCI, P.E. — DATE 12.22.08

"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

STORMWATER MANAGEMENT NOTES & DETAILS

MERIWETHER FARM

SECTION TWO

PHASE ONE

BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-199)
ZONED: RC-DEO
TAX MAP No.: 21 — PARCEL No.: 29 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 9 OF 15

ASBUILT

F-08-199

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ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

I:\2004\04056\dwg\PHASE TWO FINALS\SHEET 9 SWM NOTES.dwg, 12/19/2008 11:30:00 AM, jamesj, 1:1

ENGINEER'S CERTIFICATE

I Hereby Certify That This Plan For Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Condition And That It Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District.

Signature Of Engineer — 12-22-08 — Date

DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And Construction Will Be Done According To This Plan Of Development And Plan For Erosion And Sediment Control And That All Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of Natural Resources Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Also Authorize Periodic On-Site Inspection By The Howard Soil Conservation District Or Their Authorized Agents, As Are Deemed Necessary."

Signature Of Developer — 12-22-08 — Date

Approved: This Development Is Approved For Erosion And Sediment Control By The Howard Soil Conservation District.

District Howard Soil Conservation Dist. — 1/6/09 — Date

Approved: Department Of Planning And Zoning

Chief, Division Of Land Development — Date

Chief, Development Engineering Division — 1.16.9 — Date

Approved: Howard County Department Of Public Works

Chief, Bureau Of Highways — 1-12-09 — Date

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION

Using vegetation as cover for barren soil to protect it from forces that cause erosion.

PURPOSE

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and run-off to downstream areas, and improving wildlife habitat and visual resources.

CONDITIONS WHERE PRACTICE APPLIES

This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding, to quickly establish vegetative cover for short duration O(up to one year), and Permanent Seeding, for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary Soil Stockpiles, cleared areas being left idle between construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dams, cut and fill slopes and other areas at final grade, former stockpile and staging areas, etc.

EFFECTS ON WATER QUALITY AND QUANTITY

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration evaporation, transpiration, percolation, and groundwater recharge. Vegetation, over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

Sediment control devices must remain in place during grading, seedbed preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. Site Preparation
   i. Install erosion and sediment control structures (either temporary of permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
   ii. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
   iii. Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed area over 5 acres.
B. Soil Amendments (Fertilizer and Lime Specifications)
   i. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
   ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warrantee of the producer.
   iii. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a •100 mesh sieve and 98-100% will pass through a •20 mesh sieve.
   iv. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.
C. Seedbed Preparation
   i. Temporary Seeding
      a. Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
      b. Apply fertilizer and lime as prescribed on the plans.
      c. In corporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.
   ii. Permanent Seeding
      a. Minimum soil conditions required for permanent vegetative establishment:
         1. Soil pH shall be between 6.0 and 7.0.
         2. Soluble salts shall be less than 500 parts per million (ppm).
         3. The soil shall contain less than 40% clay, but enough fine grained material (>30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or serecia lespedezas is to be planted, then a sandy soil (<30% silt plus clay) would be acceptable.
         4. Soil shall contain 1.5% minimum organic matter by weight.
         5. Soil must contain sufficient pore space to permit adequate root penetration.
         6. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil.
      b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
      c. Apply soil amendments as per soil test or as included on the plans.
      d. Mix soil amendments into the top 3-5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed and application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1-3" of soil should be loose and friable. Seedbed loosening may not be necessary on newly disturbed areas.
D. Seed Specifications
   i. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job.
   Note: Seed tags shall be made available to the inspector to verify type and rate of seed used.
   ii. Inoculant - The inoculant for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75°-80° F. can weaken bacteria and make the inoculant less effective.
E. Methods of Seeding
   i. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
      a. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen; maximum of 100 lbs. per acre total of soluble nitrogen; P205 (phosphorous); 200 lbs/ac; K20 (potassium): 200 lbs/ac.
      b. Lime - use only ground agricultural limestone, (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
      c. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.
   ii. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
      a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 265 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
      b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
   iii. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
      a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
      b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
F. Mulch Specifications (In order of preference)
   i. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
   ii. Wood Cellulose Fiber Mulch (WCFM)
      a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
      b. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
      c. WCFM, including dye, shall contain no germination or growth inhibiting factors.
      d. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
      e. WCFM material shall contain no elements or compounds at concentration levels that will be phytol-toxic.
      f. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm. , diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.
   Note: Only sterile straw mulch should be used in areas where one species of grass is desired.
G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.
   i. If grading is completed outside of the seeding season, mulch along shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
   ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.
   iii. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:
   i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.
   ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
   iii. Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and crest of banks. The remainder of area should be appear uniform after binder application. Synthetic binders - such as Acrylic DLR (Agro-Tack), DCA-70 Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.
   iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.
I. Incremental Stabilization - Cut Slopes
   i. All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15'.
   ii. Construction sequence (Refer to Figure 3 below):
      a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.
      b. Perform Phase 1 excavation, dress, and stabilize.
      c. Perform Phase 2 excavation, dress and stabilize. Overseed Phase 1 areas as necessary.
      d. Perform final phase excavation, dress and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions int he operation of completing the operation out of the seeding season will necessitate the application of temporary stabilization.

J. Incremental Stabilization of Embankments - Fill Slopes
   i. Embankments shall be constructed in lifts as prescribed on the plans.
   ii. Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches 15", or when the grading operation ceases as prescribed in the plans.
   iii. At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.
   iv. Construction sequence: Refer to Figure 4 (below).
      a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to divert runoff around the fill. Construct slope silt fence on low side of fill as shown in Figure 5, unless other methods shown on the plans address this area.
      b. Place Phase 1 embankment, dress and stabilize.
      c. Place Phase 2 embankment, dress and stabilize.
      d. Place final phase embankment, dress and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion and placement of topsoil (if required) grading and permanent seed and mulch. any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

SECTION 2 - TEMPORARY SEEDING

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

A. Seed mixtures - Temporary Seeding

i. Select one or more of the species or mixtures listed in Table 26 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Temporary seeding summary below, along with application rates, seeding dates and seeding depths. If this summary is not put on the plans and completed, then Table 26 must be put on the plans.

ii. For sites having soil tests performed, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for Temporary Seeding.

Seed Mixture (Hardiness Zone 6b) From Table 26					Fertilizer Rate (10-10-10)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths		
1	BARLEY OATS RYE	122 96 140	3/1 - 5/15, 8/15 - 10/15	1" - 2" 1" - 2" 1" - 2"	600 lb/ac (15 lb/1000sf)	2 tons/ac (100 lb/1000sf)

SECTION 3 - PERMANENT SEEDING

Seeding grass and legumes to establish groung cover for a minimum of one year on disturbed areas generally receiving low maintenance.

A. Seed mixtures - Permanent Seeding

i. Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shorelines, streambanks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Techinical Field Office Guide, Section 342 - Critical Area Planting. For special lawn maintenance areas, see Sections IV Sod and V Turfgrass.

ii. For sites having disturbed area over 5 areas, the rates shown on this table shall be deleted and the rates recommended by the soil testing agency shall be written in.

iii. For areas receiving low maintenance, apply ureaform fertilizer (46-0-0) at 3 1/2 lbs/1000 sq. ft. (150 lbs/ac), in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Seed Mixture (Hardiness Zone 6b) From Table 25					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P205	K20	
3	TALL FESCUE (85%) PERENNIAL RYE GRASS (10%) KENTUCKY BLUEGRASS (5%)	125 15 10	3/1 - 5/15, 8/15 - 10/15	1" - 2"	90 lb/ac (2.0 lb/ 1000sf)	175 lb/ac (4 lb/ 1000sf)	175 lb/ac (4 lb/ 1000sf)	2 tons/ac (100 lb/ 1000sf)
10	TALL FESCUE (80%) HARD FESCUE (20%)	120 30	3/1 - 5/15, 8/15 - 10/15	1" - 2"				

TOPSOIL NOTES

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

I. This practice is limited to areas having 2:1 or flatter slopes where:
   a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
   b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
   c. The original soil to be vegetated contains material toxic to plant growth.
   d. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
   i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 11/2" in diameter.
   ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
   iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

II. For sites having, disturbed areas under 5 acres:
   i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III For sites having disturbed areas over 5 acres:
   i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
      a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be perscribed to raise the pH to 6.5 or higher.
      b. Organic content of topsoil shall be not less than 1.5 percent by weight.
      c. Topsoil havina soluble salt content greater than 500 parts per million shall not be used.
      d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

   Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appopriate approval authority, may be used in lieu of natural topsoil.

   ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application
   i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
   ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
   iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seedine can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
   iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
   i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
      a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
      b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
      c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
   iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

   References: Guideline Specifications, Soil Preparation and Sodding,. MD-VA, Pub. •1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

SEDIMENT CONTROL NOTES

1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LISCENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
3) FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7) SITE ANALYSIS:

TOTAL AREA OF SITE	177.782	ACRES
AREA DISTURBED	9.29	ACRES
AREA TO BE ROOFED OR PAVED	1.59	ACRES
AREA TO BE VEGETATIVELY STABILIZED	7.70	ACRES
TOTAL CUT	10,000	CU.YDS.
TOTAL FILL	10,000	CU.YDS.
OFFSITE WASTE/BORROW AREA LOCATION	N/A	CU.YDS.

8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGHTS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.	7 DAYS
2. INSTALL SEDIMENT CONTROL ASSOCIATED WITH SUBDIVISION AND ROAD 'A' CONSTRUCTION.	2 DAYS
3. INSTALL STONE CONSTRUCTION ENTRANCE FOR THE SUBDIVISION CONSTRUCTION. INSTALL THE TREE PROTECTION FENCE AND NEEDED SILT FENCE AND SEDIMENT BASIN •1.	10 DAYS
4. OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING WITH CONSTRUCTION.	1 DAY
5. INSTALL PROPOSED EARTH DIKES TO DRAIN TO BASINS AND GRADE ROAD 'A' TO SUBGRADE.	6 DAYS
6. INSTALL REMAINING SILT FENCE FOR STOCKPILE AREAS AND THE REMAINING STORM DRAIN SYSTEM TO BE USED FOR SEDIMENT CONTROL.	5 DAYS
7. INSTALL BASE COURSE OF PAVING FOR ROAD 'A'.	2 DAYS
8. INSTALL PROPOSED GUTTER FOR SUBDIVISION ALONG ROAD 'A' AS SHOWN ON THE PLANS.	5 DAYS
9. INSTALL FINAL COURSE OF PAVING FOR ROAD 'A' AND STABILIZE ANY REMAINING DISTURBANCES WITH TEMPORARY SEEDING.	4 DAYS
10. FINE GRADE THE LOTS AS INDICATED ON THE PLAN INSTALL PERMANENT SEEDING	2 DAYS
11. OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING WITH CONSTRUCTION.	1 DAY
12. CONVERT THE SEDIMENT CONTROL BASIN •1 TO PERMANENT SWM POND CONDITION FOR POND •1. SEE PLANS.	2 DAYS
13. REMOVE SEDIMENT EROSION CONTROL DEVICES AND TREE PROTECTION FENCE AS SHOWN ON THE PLAN UPON APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR,	2 DAYS
14. CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, BUFFERS AND PRESERVATION PARCELS.	

SUMMARY TABLE #1

The following is a summary of the peak discharges from each of the drainage areas and study points.

Existing Condition			
Study Point	*One-Year Storm (cfs)*	*Ten-Year Storm (cfs)*	*100-Year Storm (cfs)*
1 – Area 'A'	0.93	13.56	29.95
2 – Area 'B'	8.58	120.37	265.51
3 – Area 'C'	1.50	23.37	51.16
4 – Area 'D'	1.60	34.54	76.92
5 – Area 'E'	0.35	7.06	15.76
6 – Area 'F'	2.03	21.62	44.79
Total Composite Release	**11.7**	**225.4**	**508.6**

Proposed Condition - Unmanaged			
Study Point	*One-Year Storm (cfs)*	*Ten-Year Storm (cfs)*	*100-Year Storm (cfs)*
A – No BMP	**3.14*	*21.50*	*43.20*
B – BMP#1, 5 and 11	*28.04*	*185.36*	*384.93*
C – No BMP	*4.26*	*32.00*	*63.75*
D – BMP #8	*9.71*	*57.83*	*112.27*
E – No BMP	**1.58*	*12.74*	*25.12*
F – No BMP	**4.94*	*33.88*	*66.63*

Allowable Release Rates:

@ Design Point #1: Area A: * No CPv required.
@ Design Point #2: Area B: 8.58 c.f.s. @ Proposed Micro-pool Ponds – Total of 3 ponds.
@ Design Point #3: Area C: * No CPv required.
@ Design Point #4: Area D: 1.60 c.f.s. @ Proposed Micro-pool Pond.
@ Design Point #5: Area E: * No CPv required.
@ Design Point #6: Area F: * No CPv required.
@ Total Composite From Site: 1-yr. = 11.7 c.f.s.; 10-yr. = 225.4 c.f.s. (See Enclosed Tr-20)

Micro-pool Surface Area Tabulation Summary		
Location & Drainage Area	Required Min. Surface Area	Proposed Surface Area
Area 'B'-BMP #1 – 10.83 ac.	0.1083 or 4,717.5 sq. ft.	4,718 sq. ft.
Area 'B-2'-BMP#5 – 15.61 ac.	0.1561 or 6,799.7 sq. ft.	9,030 sq. ft.
Area 'B-3"-BMP#11 – 12.61 ac.	0.1261 or 5,492.9 sq. ft.	5,493 sq. ft.
Area 'D' -BMP#8 – 22.09 ac.	0.2209 or 9,622.4 sq. ft.	9,625 sq. ft.

PROPOSED CONDITIONS WITH CRITICAL AREAS MANAGEMENT PROVIDED									
Drainage Area	Area (sq.mi.)	Area Acres	RCN	Tc	[illegible]	[illegible]	[illegible]	[illegible]	Remarks
A	0.00858	5.49	63	0.18	0.28"	1.22	10.37	20.93	Bypass
A-1	0.00916	5.86	64	0.15	0.31"	1.73	12.69	25.09	Bypass
A-2	0.00152	0.97	56	0.10	0.12"	0.09	1.54	3.42	Bypass
B	0.01692	10.83	66	0.20	0.37"	3.63-0.2 @ 476.97	22.84-10.0 @ 477.80	44.35 – 27.0 @ 478.62	BMP #1
B-1	0.12514	80.09	63	0.50	0.28"	10.16	92.34	190.84	Bypass Area
B-2	0.02439	15.61	66	0.26	0.37"	4.51 – 0.2 @ 520.78	28.98 - 10.2 @ 522.34	56.55 – 34.1 @ 523.44	BMP #5
B-3	0.01970	12.61	67	0.21	0.40"	4.73 – 0.2 @ 465.10	27.27 – 14.8 @ 466.35	52.64 – 39.0 @ 467.38	BMP #11
Cumulative Total @ B	———	———	———	———	0.25"	10.1	126.5	281.9	———
C	0.00998	6.39	59	0.18	0.18"	0.68	9.53	20.64	Bypass
C-1	0.01014	6.49	58	0.18	0.16"	0.62	9.15	20.17	Bypass
C-2	0.00395	2.53	59	0.12	0.18"	0.33	4.59	9.74	Bypass
Cumulative Total @ C	———	———	———	———	0.22"	3.5	78.7	217.9	———
D	0.03452	22.09	67	0.26	0.40"	7.46 – 0.3 @ 478.91	43.24 – 27.5 @ 480.77	83.84 – 73.3 @ 481.77	BMP #8
D-1	0.01366	8.74	59	0.21	0.18"	0.86	12.33	26.78	Bypass
Cumulative Total @ D	———	———	———	———	0.24"	0.70	32.6	95.4	———
E	0.00841	5.38	60	0.11	0.20"	0.82	10.52	21.96	Bypass
F	0.02466	15.78	62	0.17	0.17"	2.90	28.85	59.64	Bypass
Total Q's to Bridge from Site	———	———	———	———	0.17"	13.0	207.8	508.9	———

SUMMARY TABLE #2

The following is a summary of the Re_{vol}, WQ_{vol}, and CP_v Requirements:

Typical Requirement	Volume Required	Volume Provided & Notes
Re_{vol} (Recharge Vol. for Entire Site)	5.42 acres or 0.5954 acre-feet	4.61 acres w/ % Area Method & the remainder 0.81 acres by Stone Reservoir offline from BMP#11
WQ_{vol}		
Area A – BMP#2 – Level Spreader	0.0083 acre-feet	0.0098 ac. Ft. @ BMP Facility #2
Area A-1 – No BMP's	0.0915 acre-feet	Nothing required; no planned disturbance.
Area B – BMP#1 – Micro-Pool ED Pond	0.2446 acre-feet	0.2446 ac. Ft. @ BMP Facility #1
Area B-1 – BMP# 3 – Level Spreader, BMP#4 – Bio-retention, BMP#12 – Level Spreader & BMP#13 – Level Spreader.	1.348 acre-feet – Mostly undisturbed areas, we are providing a means of WQv for the disturbed areas.	0.05321 ac. Ft. total from BMP#'s 3,4,12 and 13.
Area B-2 – BMP#5 – Micro-pool ED Pond	0.2193 acre-feet	0.2193 ac. Ft. @ BMP Facility #5
Area B-3 – BMP#11 – Micro-pool ED Pond	0.2071 acre-feet	0.2071 ac. Ft. @ BMP Facility #11
Area C – BMP#10 – Level Spreader	0.1363 acre-feet – Mostly undisturbed areas, we are providing a means of WQv for the disturbed areas, Lot 30	0.00956 ac. Ft. @ BMP Facility #10
Area D – BMP#8 – Micro-pool ED Pond	0.3686 acre-feet	0.3686 ac Ft. @ BMP Facility #8
Area D-1 – BMP#9 –Bio-retention Facility	0.02486 acre-feet	0.05313 ac. Ft. @ BMP Facility #9
Area E – BMP#7 – Bio-retention Facility	0.0188 acre-feet	0.0247 ac. Ft. @ BMP Facility #7
Area F – BMP#6 – Bio-retention Facility	0.0167 acre-feet	0.02085 ac. Ft. @ BMP Facility #6
CP_{vol}		
Area B – BMP#1 – Micro-Pool ED Pond	0.2167 acre-feet	0.2167 ac. Ft. @ BMP Facility #1
Area B-2 – BMP#5 – Micro-Pool ED Pond	0.3318 acre-feet	0.3318 ac Ft. @ BMP Facility #5
Area B-3 – BMP#11 – Micro-Pool ED Pond	0.2725 acre-feet	0.2725 ac. Ft. @ BMP Facility #11
Area D – BMP#8 - Micro-Pool ED Pond	0.4695 acre-feet	0.4695 ac. Ft. @ BMP Facility #8

Note: *Q_p(Overbank Flood Protection or 10-year storm) is required for this site. However the Qf(Extreme Flood Volume or 100-year storm) is not required for this site since this watershed area is not classified as one of the sensitive watershed areas for Howard County.*

Note: *All of the ponds for this subdivision will manage the proposed condition 10-year while safely bypassing the 100 year Q's. The ponds are adequately sized to do so and no emergency spillways are proposed.*

1	REVISE OWNER AND DEVELOPER	11/8/11
NO.	DESCRIPTION	
REVISIONS		

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

ALDO M. VITUCCI, P.E. — 12.22.08 — DATE

"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

SEDIMENT CONTROL NOTES
MERIWETHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 10 OF 15

F-08-199

ENGINEER'S CERTIFICATE

I Hereby Certify That This Plan For Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Condition And That It Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District.

Signature Of Engineer — Date: 12-22-08

DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And Construction Will Be Done According To This Plan Of Development And Plan For Erosion And Sediment Control And That All Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of Natural Resources Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Also Authorize Periodic On-Site Inspection By The Howard Soil Conservation District Or Their Authorized Agents. As Are Deemed Necessary."

Signature Of Developer — Date: 12-22-08

Approved: This Development Is Approved For Erosion And Sediment Control By The Howard Soil Conservation District.

District Howard Soil Conservation Dist. — Date: 1/6/09

Approved: Department Of Planning And Zoning

Chief, Division Of Land Development — Date

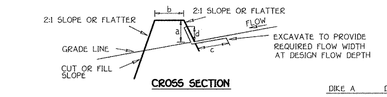
Chief, Development Engineering Division — Date: 1.15.09

Approved: Howard County Department Of Public Works

Chief, Bureau Of Highways — Date: 1-12-09

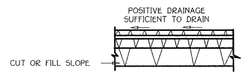
EARTH DIKE

NOT TO SCALE



CROSS SECTION

	DIKE A	DIKE B
a-DIKE HEIGHT	18"	30"
b-DIKE WIDTH	24"	36"
c-FLOW WIDTH	4'	6'
d-FLOW DEPTH	12"	24"



PLAN VIEW

FLOW CHANNEL STABILIZATION
GRADE 0.5% MIN. 10% MAX.

STANDARD SYMBOL: A-2 B-3

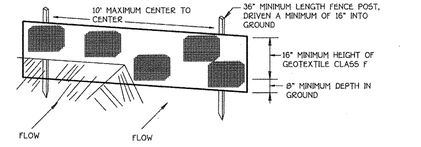
1. Seed and cover with straw mulch.
2. Seed and cover with Erosion Control Matting or line with sod.
3. 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum

Construction Specifications

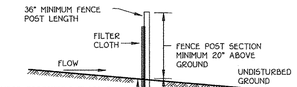
1. All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
4. All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
5. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
6. Fill shall be compacted by earth moving equipment.
7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
8. Inspection and maintenance must be provided periodically and after each rain event.

SILT FENCE

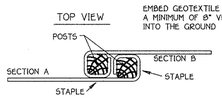
NOT TO SCALE



PERSPECTIVE VIEW



CROSS SECTION



JOINING TWO ADJACENT SILT FENCE SECTIONS

STANDARD SYMBOL: SF

Construction Specifications

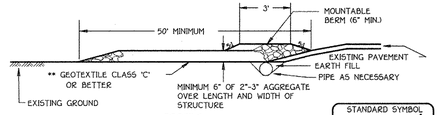
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 11/2" x 11/2" square (minimum) cut, or 13/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal ft / minute (max.)*	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

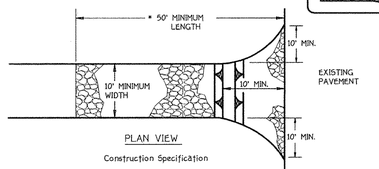
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



PROFILE

STANDARD SYMBOL: SCE



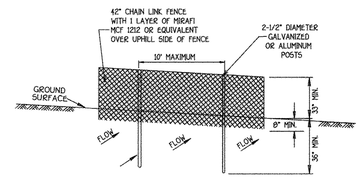
PLAN VIEW

Construction Specification

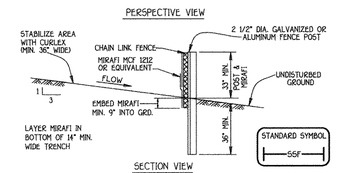
1. Length - minimum of 50' (*30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

SUPER SILT FENCE DETAIL

NOT TO SCALE



PERSPECTIVE VIEW



STANDARD SYMBOL: SSF

SECTION VIEW

CONSTRUCTION SPECIFICATIONS

1. FENCING SHALL BE 42" HIGH CHAIN CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAILS 690.01 AND 690.02 FOR CHAIN U FENCING. THE SPECIFICATIONS FOR A 6'-0" FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 8' POSTS. POSTS SHALL BE PLACED WITHOUT CONCRETE EMBEDMENT.
2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
3. FILTER CLOTH TO BE FASTENED SECURELY TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
4. FILTER CLOTH SHALL BE IMBEDDED A MINIMUM OF 9" INTO THE GROUND.
5. WHEN TWO SECTIONS OF DIVERSION CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
6. MAINTENANCE SHALL BE PERFORMED AS NEEDED.

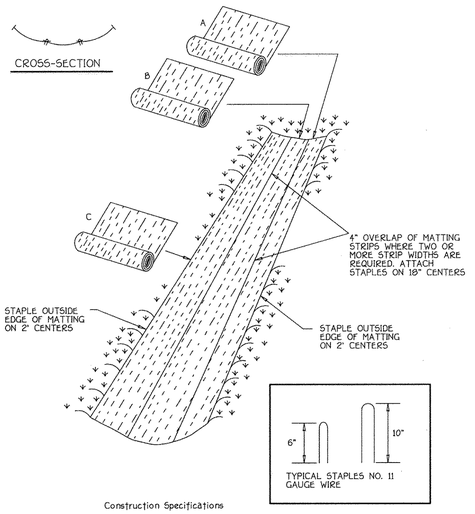
Fabric Properties	Value	Test Method
Grab Tensile Strength (lbs.)	90	ASTM D1682
Elongation at Failure (%)	50	ASTM D1682
Mullen Burst Strength (PSI)	190	ASTM D3786
Puncture Strength (lbs.)	40	ASTM D751
Slurry Flow Rate (gal/min/sf)	0.3	Virginia DOT VTM-51
Equivalent Opening Size	40-80	US Std Sieve CW-02215
Ultraviolet Radiation Stability (%)	90	ASTM G-26

Design Criteria

Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	400 feet	1,500 feet
20 - 33%	5:1 - 3:1	300 feet	1,000 feet
33 - 50%	3:1 - 2:1	200 feet	500 feet
50% +	2:1 +	100 feet	250 feet

EROSION CONTROL MATTING

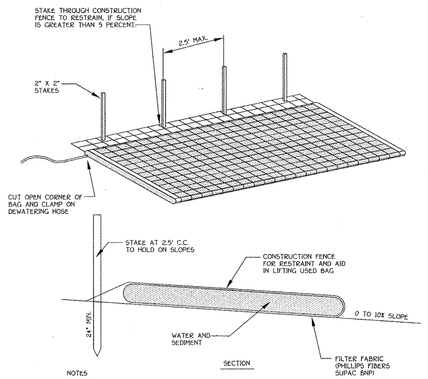
NOT TO SCALE



Construction Specifications

1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
4. Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.



SECTION

NOTES

1. FILTER BAG SHALL BE PLACED ON A SLOPING OR LEVEL, WELL GRADED VEGETATED SITE SUCH THAT WATER WILL FLOW AWAY FROM DEVICE AND ANY WORK AREAS.
2. WIDTH AND LENTH SHALL BE AS SHOWN IN THE TABLE.
3. THE FILTER BAG MUST BE STAKED IN PLACE AND SECURED TO THE PUMP DISHARGE LINE. FILTER BAG SHALL NOT BE USED FOR DISCHARGE FLOWS GREATER THAN 300 GPM.
4. DEVICE SHALL BE REMOVED AND DISPOSED OF AFTER BAG IS FILLED WITH SEDIMENT.
5. SEDIMENT FROM BAG SHALL BE SPREAD IN AN UPLAND AREA.

AVAILABLE FROM:

INDIAN VALLEY INDUSTRIES, INC.
P.O. BOX 810
JOHNSON CITY, NEW YORK 13790
(800) 659-5111

OR

A.C.F. ENVIRONMENTAL
1809-A WILLIS ROAD
RICHMOND, VIRGINIA 23237
TOLL FREE 1-800-448-3636

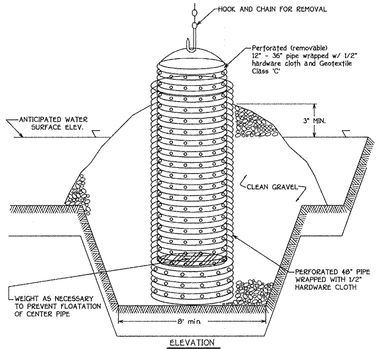
OR

PRICE AND COMPANY, INC.
425 36TH STREET
WYOMING, MI. 49548
(616) 530-8230

FILTER BAG DETAIL

NOT TO SCALE

REMOVABLE PUMPING STATION



ELEVATION

Construction Specifications

1. The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
2. After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
3. The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" X 6" slits or 1" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth first, then wrapped again with Geotextile Class C.
4. The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser crest elevation when dewatering a basin.

SEDIMENT BASIN BAFFLES

C1028REVISED.DWG

PLAN VIEWS

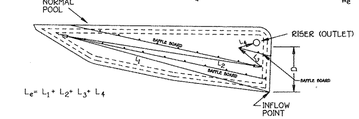
D = DISTANCE BETWEEN INFLOW AND OUTFLOW

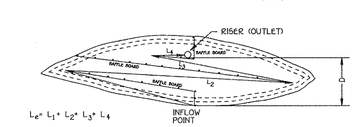
A = AREA OF NORMAL POOL

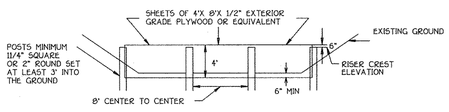
We = EFFECTIVE WIDTH = A/D

Le = TOTAL DISTANCE FROM THE INFLOW POINT AROUND THE BAFFLES TO THE RISER

FORMULA: $\frac{L_E}{W_E} \geq 2$

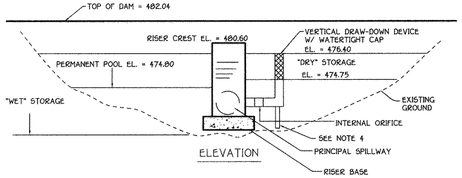




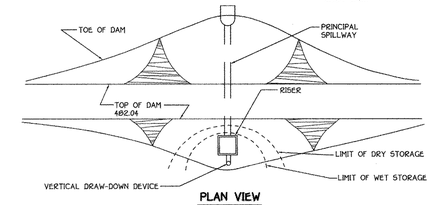


BAFFLE DETAIL

VERTICAL DRAW-DOWN DEVICE



ELEVATION



PLAN VIEW

CONSTRUCTION SPECIFICATIONS

1. PERFORATIONS IN THE DRAW-DOWN DEVICE MAY NOT EXTEND INTO THE WET STORAGE.
2. THE TOTAL AREA OF THE PERFORATIONS MUST BE GREATER THAN 2 TIMES THE AREA OF THE INTERNAL ORIFICE.
3. THE PERFORATED PORTION OF THE DRAW-DOWN DEVICE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE GEOTEXTILE FABRIC SHALL MEET THE SPECIFICATIONS FOR GEOTEXTILE CLASS E.
4. PROVIDE SUPPORT OF DRAW-DOWN DEVICE TO PREVENT SAGGING AND FLOATATION. AN ACCEPTABLE PREVENTATIVE MEASURE IS TO STAKE BOTH SIDES OF DRAW-DOWN DEVICE WITH 1" STEEL ANGLE, OR 1" BY 4" SQUARE OR 2" ROUND WOODEN POSTS SET 3' MINIMUM INTO THE GROUND THEN JOINING THEM TO THE DEVICE BY WRAPPING WITH 12 GAUGE MINIMUM WIRE.

SEDIMENT CONTROL DETAILS

MERIWETHER FARM

SECTION TWO

PHASE ONE

BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)

ZONED: RC-DEO

TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22

FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 11 OF 15

OWNER

MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT A. GOODIER, JR.

DEVELOPER

TOLL BROTHERS, INC.
MARYLAND DIVISION
7126 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

ALDO M. VITUCCI, P.E. — DATE: 12.22.08

"Professional Certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

NO.	DESCRIPTION	
1	REVISE OWNER AND DEVELOPER	2/8/11
	REVISIONS	

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

F-08-199

I:\2004\04005\dwg\PHASE TWO FINALS\SHEET 11 SEDIMENT CONTROL DETAILS.dwg, 12/19/2008 8:58:12 AM, jamesj

Approved Department Of Public Works
Chief, Bureau Of Highways — Date 1-12-09

Approved Department Of Planning And Zoning
Chief, Division Of Land Development — Date 1/28/09
Chief, Development Engineering Division — Date 1-16-9

DRAINAGE AREA DATA				
STRUCTURE NO.	DRAINAGE AREA	AREA	'C'	ZONED
I-1	A	0.08 acres	0.61	RC-DEO
I-2	B	2.90 acres	0.39	RC-DEO
I-3	C	1.51 acres	0.41	RC-DEO
I-4	D	0.51 acres	0.43	RC-DEO
I-5	E	1.20 acres	0.39	RC-DEO
I-6	F	0.14 acres	0.61	RC-DEO
I-7	G	0.37 acres	0.61	RC-DEO

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/13.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/08/13.

FOR ESE CONSULTANTS, INC.

NO.	DESCRIPTION	DATE
2	REVISED SWM ON LOTS 1, 5 & 6	2/28/17
1	REVISE LANDSCAPE AND ENTRANCE EASEMENT	11/9/11
1	REVISED USE-IN-COMMON EASEMENT FOR LOTS 5 & 6 AND UNDERGROUND TANK & PEDAL SITE AREA	11/9/11
1	REVISE OWNER AND DEVELOPER	11/9/11
NO.	DESCRIPTION	DATE
	REVISIONS	

PLAN
SCALE: 1" = 60'

STORM DRAIN DRAINAGE AREA MAP
MERIWETHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)

ZONED: RC-DEO
TAX MAP No.: 21 — PARCEL No.: 28 — GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 12 OF 15

AS BUILT

F-08-199

OWNER
MERIWETHER FARM II, LLC
C/O RECORD GOODYEAR, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODYEAR, JR.

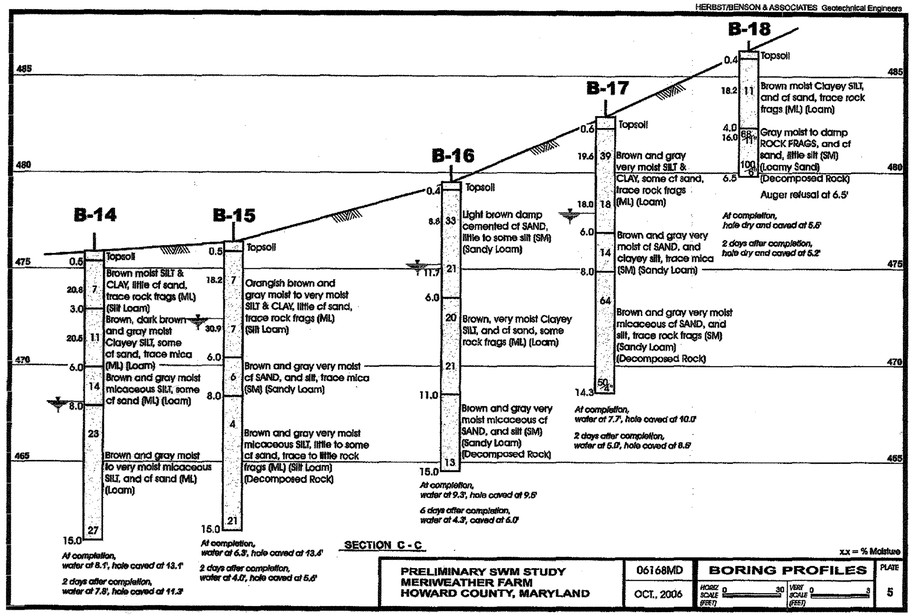
DEVELOPER
TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
SUITE 230
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF BRISCOLL

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

ALDO M. VITUCCI, P.E.
"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."
12-22-08
DATE

I:\2004\04056\dwg\PHASE TWO FINAL\SHEET 12 SD DA MAP.dwg, 12/19/2008 9:03:30 AM, jjames, 1:1

HERBST/BENSON & ASSOCIATES Geotechnical Engineers

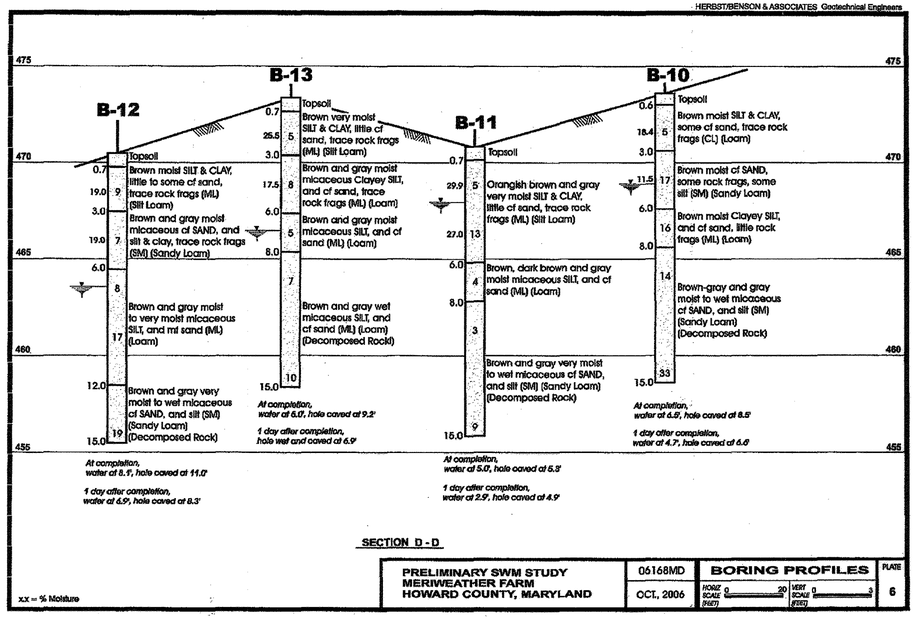


SECTION C - C

x.x = % Moisture

PRELIMINARY SWM STUDY MERIWEATHER FARM HOWARD COUNTY, MARYLAND	06168MD	BORING PROFILES	PLATE
	OCT., 2006	HORIZ SCALE 0 — 30 (FEET) VERT SCALE 0 — 3 (FEET)	5

HERBST/BENSON & ASSOCIATES Geotechnical Engineers



SECTION D - D

x.x = % Moisture

PRELIMINARY SWM STUDY MERIWEATHER FARM HOWARD COUNTY, MARYLAND	06168MD	BORING PROFILES	PLATE
	OCT., 2006	HORIZ SCALE 0 — 20 (FEET) VERT SCALE 0 — 3 (FEET)	6

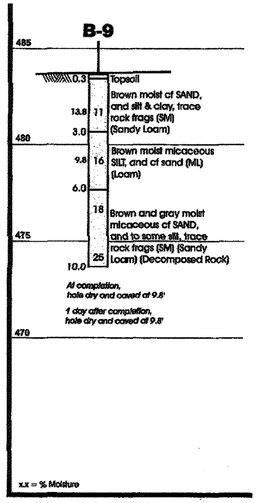
APPROVED: DEPARTMENT OF PUBLIC WORKS

CHIEF, BUREAU OF HIGHWAYS — DATE 1-12-09

APPROVED: DEPARTMENT OF PLANNING AND ZONING

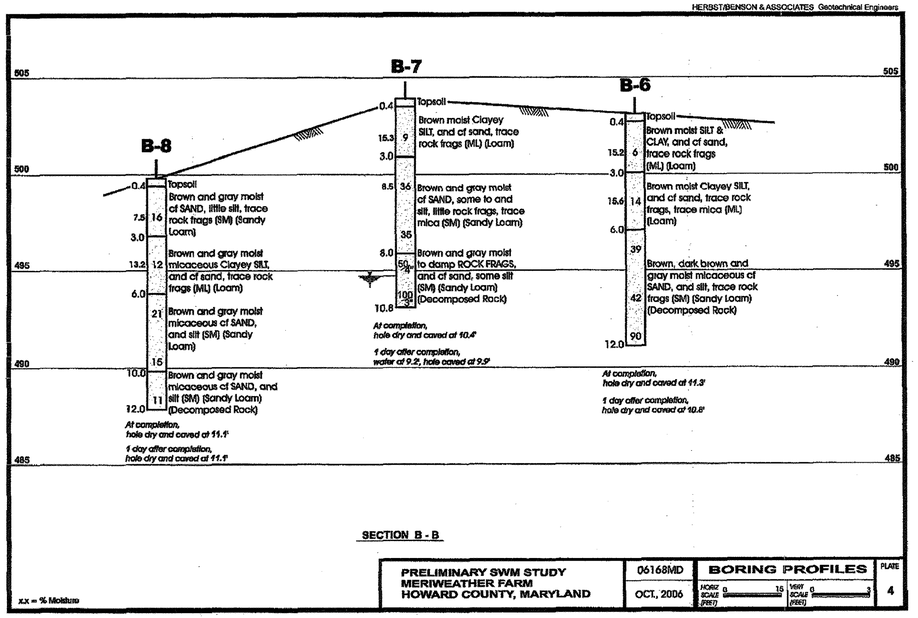
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 1/23/09

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 1-16-9



x.x = % Moisture

HERBST/BENSON & ASSOCIATES Geotechnical Engineers



SECTION B - B

x.x = % Moisture

PRELIMINARY SWM STUDY MERIWEATHER FARM HOWARD COUNTY, MARYLAND	06168MD	BORING PROFILES	PLATE
	OCT., 2006	HORIZ SCALE 0 — 15 (FEET) VERT SCALE 0 — 3 (FEET)	4

NO.	DESCRIPTION	
1	REVISE OWNER AND DEVELOPER	11/8/11
	REVISIONS	

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

OWNER
MERIWEATHER FARM II, LLC
C/O SECOND GOOMER, LLC
10715 CHARTER DRIVE
SUITE 350
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ALDO M. VITUCCI, P.E. — DATE 12.22.08

"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

SOIL BORINGS
MERIWEATHER FARM
SECTION TWO
PHASE ONE
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C' & 'D' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 13 OF 15

F-08-199

I:\2006\06168\dwg\PHASE TWO FINALS\SHEET 13 SOIL BORINGS.dwg, 12/19/2008 9:05:51 AM, James, 1:1

2	Revised SWM on Lots 1,5 & 6	2/28/17
1	REMOVE USE-IN-COMMON EASEMENT FOR LOTS 5 & 6 AND UNDERGROUND TANK & PULL OFF AREA	11/8/11
1	REVISE OWNER AND DEVELOPER	11/8/11
NO.	DESCRIPTION	DATE
	REVISIONS	

FOR ESE CONSULTANTS, INC.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328. EXPIRATION DATE 1/08/19.

FCE # 3 - 7.426 acres
Plantings Required: 350 WHIPS/ACRE = 2600 WHIPS
Plantings Provided: 100 - 1" CAL. TREES & 2425 WHIPS

Qty	Species	Size	Spacing	Total FCA Units
25	Acer rubrum - Red maple	1" cal.	15' o.c.	
25	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.	
25	Platanus occidentalis - Sycamore	1" cal.	15' o.c.	
25	Quercus alba - White oak **	1" cal.	15' o.c.	
100	Total 1" caliper trees x 3.5 units/tree= FCA unit credit			350
350	Acer rubrum - Red maple	2-3' whip	11' o.c.	
350	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.	
300	Linodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.	
300	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.	
250	Platanus occidentalis - Sycamore Prunus	2-3' whip	11' o.c.	
250	serotina - Black cherry **	2-3' whip	11' o.c.	
225	Quercus alba - White oak	2-3' whip	11' o.c.	
200	Ulmus rubra - Slippery Elm Viburnum	2-3' whip	11' o.c.	
200	prunifolium - Blackhaw **	2-3' whip	11' o.c.	
2425	total whip plantings x 2 units /tree = FCA unit credit			4850
	Total Unit Credit			5200

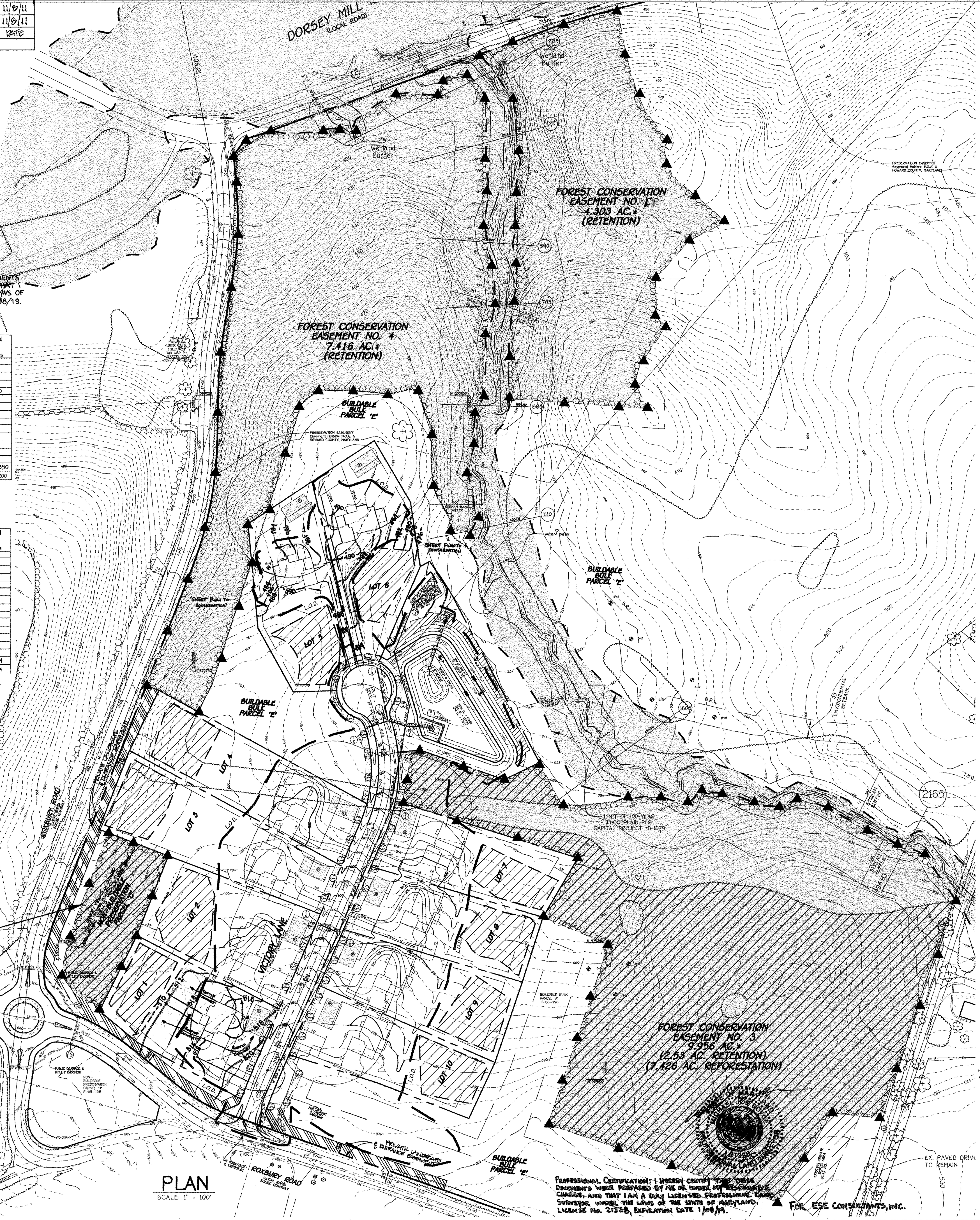
FCE # 2 - 0.747 acres
Plantings Required: 350 WHIPS/ACRE = 262 WHIPS
Plantings Provided: 20 - 1" CAL. TREES & 227 WHIPS

Qty	Species	Size	Spacing	Total FCA Units
5	Acer rubrum - Red maple	1" cal.	15' o.c.	
5	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.	
5	Platanus occidentalis - Sycamore	1" cal.	15' o.c.	
5	Quercus alba - White oak **	1" cal.	15' o.c.	
20	Total 1" caliper trees x 3.5 units/tree= FCA unit credit			70
50	Acer rubrum - Red maple	2-3' whip	11' o.c.	
27	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.	
30	Linodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.	
25	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.	
20	Platanus occidentalis - Sycamore Prunus	2-3' whip	11' o.c.	
20	serotina - Black cherry **	2-3' whip	11' o.c.	
20	Quercus alba - White oak	2-3' whip	11' o.c.	
20	Ulmus rubra - Slippery Elm Viburnum	2-3' whip	11' o.c.	
15	prunifolium - Blackhaw **	2-3' whip	11' o.c.	
227	total whip plantings x 2 units /tree = FCA unit credit			454
	Total Unit Credit			524

PATTERN SPACING DIAGRAM

```
*  *  *  *  *  *  *  *  *  *  *
  *  *  *  *  *  *  *  *  *  *  *
*  *  *  *  *  *  *  *  *  *  *
#   #   #   #   #   #   #   #
  #   #   #   #   #   #   #   #
```

* - whip w/shelter 11' on center spacing
# - 1" caliper tree 15' on center spacing
Species shall be randomly interspersed, rows should be planting along contours



FOREST CONSERVATION EASEMENT NO. 2
0.747 AC.±
(REFORESTATION)

PLAN
SCALE: 1" = 100'

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 21328, EXPIRATION DATE 1/08/19.

FOR ESE CONSULTANTS, INC.

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS

MD DNR Qualified Professional
USACOE Wetland Delineator
Certification # WDCP93MD0610044B
12/19/08
JOHN P. CANOLES

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

Planting/Soil Specifications

1. Installation of bareroot plant stock shall take place between March 15 - April 20; b&b/container stock March 15 -May 30 or September 15 - November 15. Fall planting of B&B stock is not recommended.
2. Disturbed areas shall be seeded and stabilized as per general construction plan for project. Planting areas not impacted by site grading shall have no additional topsoil installed.
3. Bareroot plants shall be installed so that the top of root mass is level with the top of existing grade. Roots shall be dipped in an anti-desiccant gel prior to planting. Backfill in the planting pits shall consist of 3 parts existing soil to 1 part pine fines or equivalent.
4. Fertilizer shall consist of Agriform 22-8-2, or equivalent, applied as per manufacturer's specifications, for woody plants. Herbaceous plants shall be fertilized with Osmocote 8-6-12.
5. Plant material shall be transported to the site in a tarped or covered truck. Plants shall be kept moist prior to planting.
6. All non-organic debris associated with the planting operation shall be removed from the site by the contractor.

Sequence of Construction

1. Sediment control shall be installed in accordance with general construction plan for site.
2. Plants shall be installed as per Plant Schedule and the Planting/Soil Specifications for the project.
3. Upon completion of the planting, signage shall be installed as shown.
4. Plantings shall be maintained and guaranteed in accordance with the Maintenance and Guarantee requirements for project.

Maintenance of Plantings

1. Maintenance of plantings shall last for a period of 2 years.
2. Plantings must receive 2 gallons of water, either through precipitation or watering, weekly during the 1st growing season, as needed. During second growing season, once a month during May-September, if needed.
3. Invasive exotics and noxious weeds will be removed, as required, from planting areas mechanically and/or with limited herbicide application (see groundcover note where appropriate). Old field successional species will be retained.
4. Plants will be examined a minimum two times during the growing season for serious plant pests and diseases. Serious problems will be treated with the appropriate agent.
5. Dead branches will be pruned from plantings.

Guarantee Requirements

1. A 75 percent survival rate of forestation plantings will be required at the end of 2 growing seasons. All plant material below the 75 percent threshold will be replaced at the beginning of the next growing season. Wild trees arising from natural regeneration may be counted up to 50 percent towards the total survival number if they are healthy, native species at least 12 inches tall.

Surety for Forestation

The Forest Conservation Requirements Per Section 16.1200 Of The Howard County Code And The Forest Conservation Manual For Meriwether Farm, Section Two, Phase One Subdivision Will Be Fulfilled By Providing A Total Of Onsite Retention Of 14.249 Acres Of Forest And 8.173 Acres Of Onsite Planting.

A. Total Forest Retention Obligation For Meriwether Farm, Section Two = 30.1 Acres.
B. Required Forest Retention Obligation For Meriwether Farm, Section Two, Phase One = 6.40 Acres. (30.1 Ac. Of Total Retention/47 Total D.u. = 0.640 Ac./d.u. X 10 D.u. = 6.40 Ac.)
C. Provided Forest Retention Conservation Easement For Meriwether Farm, Section Two, Phase One = 14.249 Ac.
D. Required Forest Reforestation Obligation For Meriwether Farm, Section Two, Phase One = 4.55 Ac. (21.4 Ac. Of Total Reforestation/47 Total D.u. = 0.455 Ac./d.u. X 10 D.u. = 4.55 Ac.)
E. Provided Forest Reforestation Conservation Easement For Meriwether Farm, Section Two, Phase One = 8.173 Ac.

F. The Forest Conservation Surety Amount Required Is $302,146.00 And Shall Be Provided With The Developer's Agreement.

Planting Notes

When possible, plants shall be installed within 24 hours of delivery. If installation cannot be performed within this time frame, plant stock shall be watered and protected from dessication

Application of herbicide, Round-up or equivalent, may be used to reduce plant competition from old field successional growth at the time of installation. Mowing, re-application of herbicide, or a combination thereof, may be used to control unwanted, competing vegetation.

Planting shall be installed within one year or two growing seasons of subdivision approval. Plantings shall be installed in accordance with the time schedule included in Note 1 of the planting /Seeding Specifications.

FCP NOTES

1. ANY FOREST CONSERVATION EASEMENT (FCE) AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
2. THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
3. FORESTED AREAS OCCURRING OUTSIDE OF THE FCE SHALL NOT BE CONSIDERED PART OF THE FCE AND SHALL NOT BE SUBJECT TO PROTECTIVE LAND COVENANTS.
4. LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO AREAS OUTSIDE THE LIMIT OF TEMPORARY FENCING OR THE FCE BOUNDARY, WHICHEVER IS GREATER.
5. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT, EXCEPT AS PERMITTED BY HOWARD COUNTY DPZ.
6. NO STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED AS FOREST CONSERVATION EASEMENTS.
7. TEMPORARY FENCING SHALL BE USED TO PROTECT FOREST RESOURCES DURING CONSTRUCTION. THE FENCING SHALL BE PLACED ALONG ALL FCE BOUNDARIES WHICH OCCUR WITHIN 15 FEET OF THE PROPOSED LIMITS OF DISTURBANCE.
8. PERMANENT SIGNAGE SHALL BE PLACED 50' - 100' APART ALONG BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.

Approved: Department Of Public Works
Chief Bureau Of Highways — 1-12-09 Date

Approved: Department Of Planning And Zoning
Chief, Division Of Land Development — 1/22/09 Date
Chief, Development Engineering Division — 1-16-9 Date

FOREST CONSERVATION WORKSHEET

NET TRACT AREA	ACRES
A. TOTAL TRACT AREA	182.91
B. DEDUCTIONS (CRITICAL AREA, AREA RESTRICTED BY LOCAL OR PROGRAM)	6.78
C. NET TRACT AREA NET TRACT AREA = TOTAL TRACT (A) - DEDUCTIONS (B)	176.13
LAND USE CATEGORY: MEDIUM DENSITY RESIDENTIAL	
D. AFFORESTATION THRESHOLD (NET TRACT AREA [C] x 20%)	35.2
E. CONSERVATION THRESHOLD (NET TRACT AREA [C] x 25%)	44.0
EXISTING FOREST COVER	
F. EXISTING FOREST COVER WITHIN THE NET TRACT AREA	40.8
G. AREA OF FOREST ABOVE CONSERVATION THRESHOLD	0
IF THE EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN	
G = F - E; OTHERWISE G = 0.	
BREAKEVEN POINT	
H. BREAKEVEN POINT (AMOUNT OF FOREST THAT MUST BE RETAINED SO THAT NO MITIGATION IS REQUIRED)	40.8
(1) IF THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) IS GREATER THAN 0, THEN	
H = (0.2 x THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) + THE CONSERVATION THRESHOLD (E);	
(2) IF THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) IS EQUAL TO 0, THEN	
H = EXISTING FOREST COVER (F)	
I. FOREST CLEARING PERMITTED WITHOUT MITIGATION	0
I = EXISTING FOREST COVER (F) - BREAKEVEN POINT (H)	
PROPOSED FOREST CLEARING	
J. TOTAL AREA OF FOREST TO BE CLEARED	10.7
K. TOTAL AREA OF FOREST TO BE RETAINED	30.1
K = EXISTING FOREST COVER (F) - FOREST TO BE CLEARED (J)	
PLANTING REQUIREMENTS	
IF THE TOTAL AREA OF FOREST TO BE RETAINED (K) IS AT OR ABOVE THE BREAKEVEN POINT (H), NO PLANTING IS REQUIRED, AND NO FURTHER CALCULATIONS ARE NECESSARY (L=0, M=0, N=0, P=0, Q=0, R=0).	
OTHERWISE, CALCULATE THE PLANTING REQUIREMENT(S) AS FOLLOWS:	
L. REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD	0
(1) IF THE TOTAL AREA OF FOREST TO BE RETAINED (K) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN L = THE AREA OF FOREST TO BE CLEARED (J) x 0.25;	
(2) IF THE FOREST TO BE RETAINED (k) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN L = AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) x 0.25	
M. REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD	21.4
(1) IF EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E) AND THE FOREST TO BE RETAINED (K) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E),	
THEN M = 2.0 x (CONSERVATION THRESHOLD (E) - FOREST TO BE RETAINED (K)	
(2) IF EXISTING FOREST COVER (F) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E),	
THEN M = 2.0 x FOREST TO BE CLEARED (J)	
N. CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD	0
IF THE AREA OF FOREST TO BE RETAINED (K) IS GREATER THAN THE CONSERVATION THRESHOLD (E),	
THEN N = K - E; OTHERWISE N = 0	
P. TOTAL REFORESTATION REQUIRED P = L + M - N	21.4
Q. TOTAL AFFORESTATION REQUIRED	
IF EXISTING FOREST COVER (F) IS LESS THAN THE AFFORESTATION THRESHOLD (D), THEN	
Q = AFFORESTATION THRESHOLD (D) - EXISTING FOREST COVER (F)	0
R. TOTAL PLANTING REQUIREMENT R = P + Q	21.4

OWNER
MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
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ATTN: MR. ROBERT G. GOODIER, JR.

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TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
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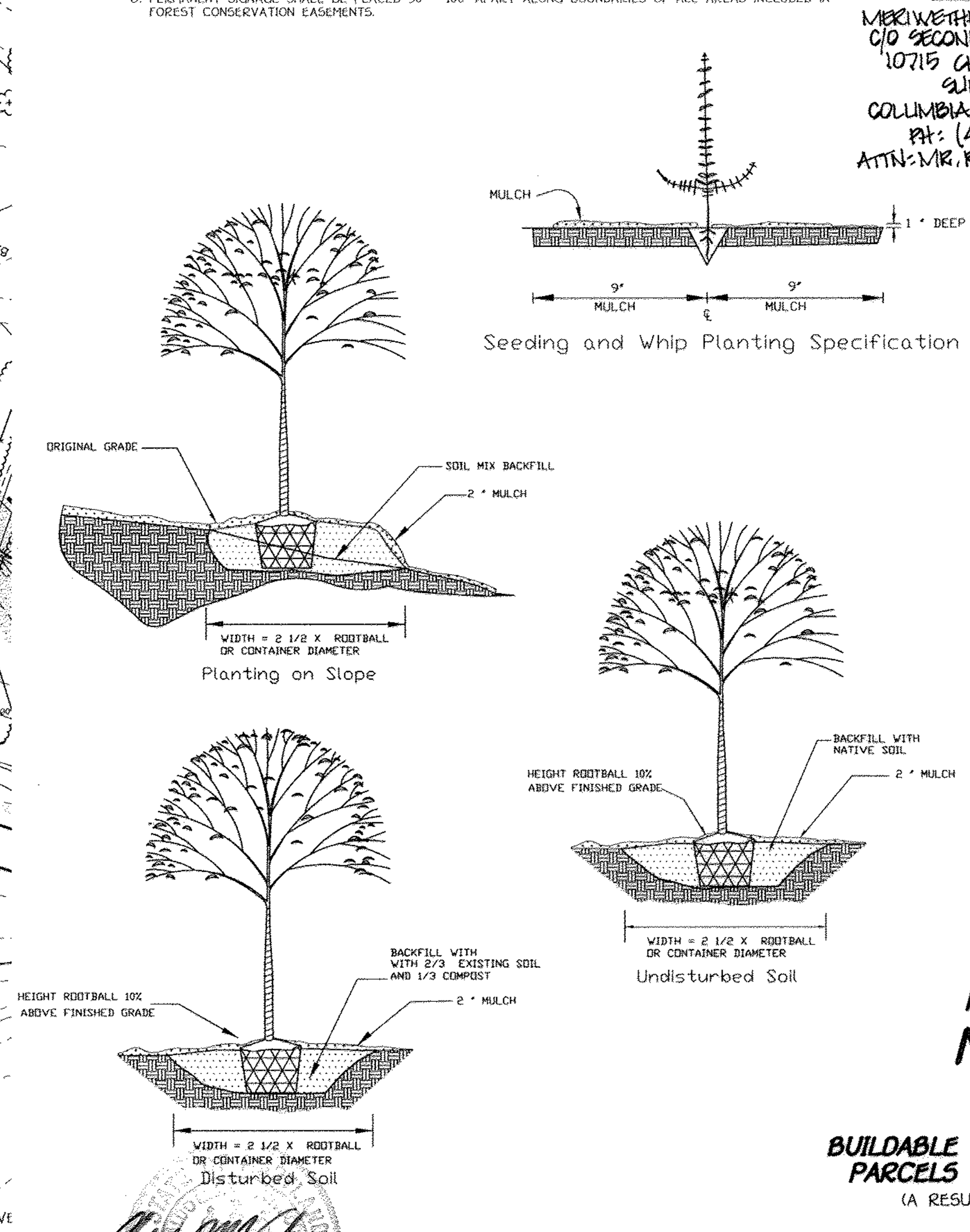
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL



ON-SITE SIGNAGE

FOREST CONSERVATION EASEMENT

UNAUTHORIZED DISTURBANCE OF VEGETATION IS PROHIBITED. VIOLATORS SUBJECT TO PENALTIES UNDER THE HOWARD COUNTY FOREST CONSERVATION ACT OF 1991.

TREES FOR YOUR FUTURE

15" MINIMUM
11" MINIMUM

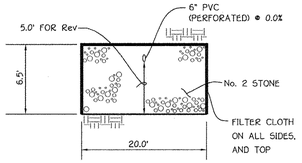
ALDO M. VITUCCI, P.E. — 12.22.08 DATE
"Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."

FOREST CONSERVATION PLAN
MERIWETHER FARM
SECTION TWO
(PHASE ONE)
BUILDABLE LOTS 1 THRU 10, NON-BUILDABLE PRESERVATION PARCELS 'C', 'D' & 'F' AND BUILDABLE BULK PARCEL 'E'

(A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A', MERIWETHER FARM, SECTION TWO, F-08-198)
ZONED: RC-DEO
TAX MAP No.: 21 PARCEL No.: 28 GRID Nos.: 15, 16, 21 & 22
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: DECEMBER, 2008
SHEET 14 OF 15

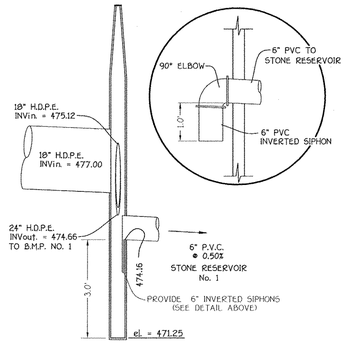
ASBUILT

F-08-199



OFF-LINE STONE RESERVOIR SECTION

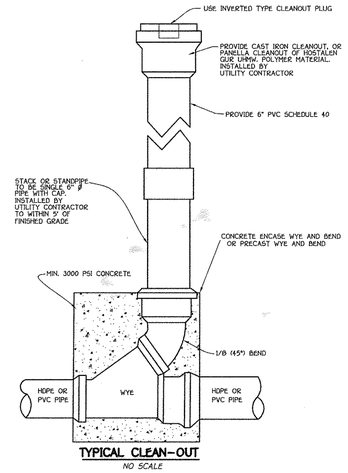
NO SCALE



(M-1)

DIVERSION MANHOLE

NO SCALE



TYPICAL CLEAN-OUT

NO SCALE

APPROVED: DEPARTMENT OF PUBLIC WORKS

CHIEF, BUREAU OF HIGHWAYS — DATE 1-12-09

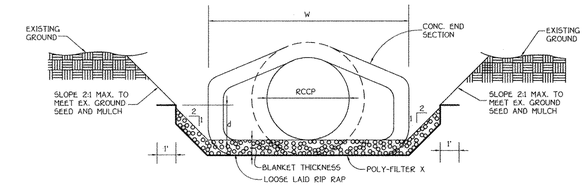
APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 1/22/09

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 1-16-9

CLEAN-OUT SCHEDULE

STRUCTURE NO.	TOP ELEVATION	INVERT	LOCATION NORTH	LOCATION EAST	TYPE	REMARKS
C.O.-1	473.30	470.11	N 579,901.37	E 1,302,189.85	SEE DETAIL	THIS SHEET
C.O.-2	474.40	470.11	N 579,870.47	E 1,302,151.61	SEE DETAIL	THIS SHEET
C.O.-3	479.0	471.77	N 579,780.26	E 1,302,114.86	SEE DETAIL	THIS SHEET
C.O.-4	483.0	473.53	N 579,682.20	E 1,302,143.08	SEE DETAIL	THIS SHEET



RIP RAP CHANNEL DETAIL

NO SCALE

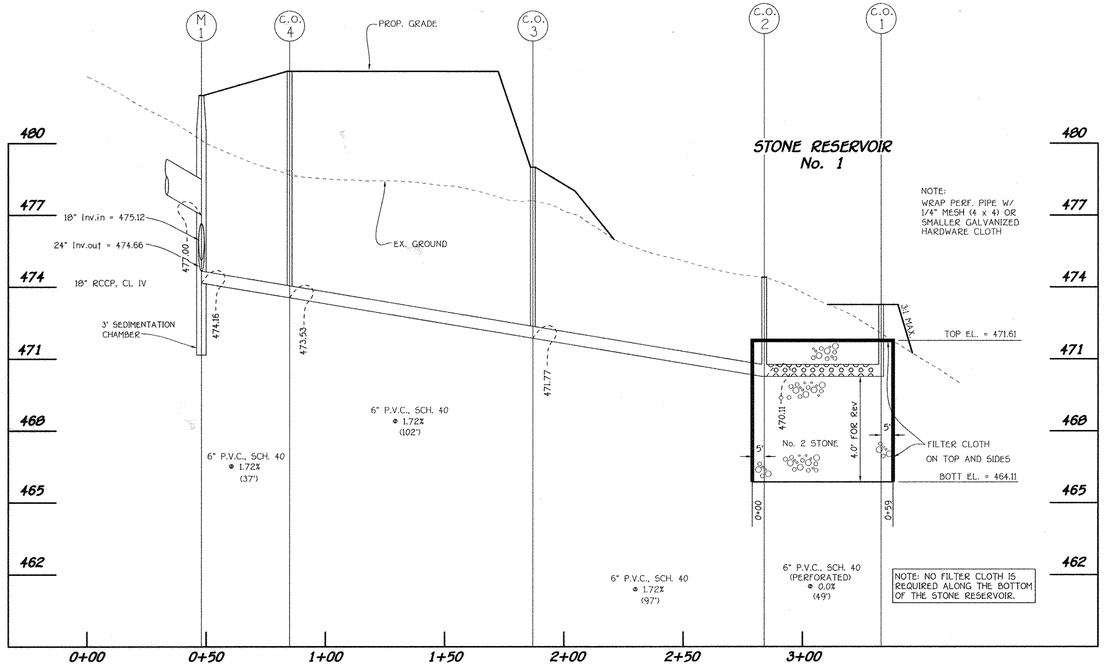
RIP-RAP CHANNEL DESIGN DATA

STRUCTURE	AREA	WETTED PERIMETER	R	R 2/3	S	S 1/2	W	d	N	V10 (f.p.s.)	Q10 (c.f.s.)	RIP-RAP SIZE D_{50}	RIP-RAP SIZE D_{MAX}	BLANKET THICKNESS
S-1	6.48	10.40	0.6231	0.7284	0.0050	0.0707	7.0'	0.76'	0.04	1.92	12.39	9.5"	15"	19"
S-2	11.22	12.92	0.8684	0.9098	0.0050	0.0707	8.0'	1.10'	0.04	* 2.39	* 26.8	9.5"	15"	19"

* - DENOTES 100-YEAR Q DESIGN

CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS

1. The subgrade for the filter, riprap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
2. The rock or gravel shall conform to the specified grading limits when installed respectively in the riprap or filter.
3. Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional shall hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
4. Stone for the riprap or gabion outlets may be placed by equipment. Both shall each be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for riprap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogenous with the smaller stones and spalls filling the voids between the larger stones. Riprap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works.



OFF-LINE STONE RESERVOIRS FOR Rev REQUIREMENT

SCALE: HOR. : 1" = 30'
VER. : 1" = 3'

OWNER

MERIWETHER FARM II, LLC
C/O SECOND GOODIER, LLC
10715 CHARTER DRIVE
SUITE 350
COLUMBIA, MARYLAND 21044
PH: (410) 997-7501
ATTN: MR. ROBERT G. GOODIER, JR.

DEVELOPER

TOLL BROTHERS, INC.
MARYLAND DIVISION
7164 COLUMBIA GATEWAY DRIVE
SUITE 130
COLUMBIA, MARYLAND 21046
PH: (410) 997-7501
ATTN: MR. JEFF DRISCOLL

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

NO.	DESCRIPTION	
1	REVISE OWNER AND DEVELOPER	11/8/11
	REVISIONS	

ALDO M. VITUCCI, P.E. — DATE 12-22-08

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STONE RESERVOIR PROFILE & DETAILS

MERIWETHER FARM

SECTION TWO

PHASE ONE

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F-08-199