

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	TALBOTS LANDING WIDENING PLAN AND PROFILE
3	TALBOTS LANDING - CROSS SECTIONS
4	SERENA DYLAN WAY - PLAN AND PROFILE
5	GRADING AND SEDIMENT CONTROL PLAN
6	STREET TREE AND LANDSCAPE PLAN
7	TRAFFIC CONTROL PLANS & LANDSCAPING NOTES AND DETAILS
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10	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
11	FOREST CONSERVATION PLAN
12	STORM DRAIN DRAINAGE AREA MAP
13	STORMWATER MANAGEMENT NOTES AND DETAILS
14	DEMOLITION PLAN

ROADWAY INFORMATION CHART			
ROAD NAME	CLASSIFICATION	DESIGN SPEED	R/W WIDTH
SERENA DYLAN WAY	PUBLIC ACCESS PLACE	25 MPH	40'

STREET LIGHT CHART			
STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
SERENA DYLAN WAY	0+22	19' R	150-WATT H.P.S. VAPOR PREMIER POST TOP MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE.
SERENA DYLAN WAY	2+41	11' R	150-WATT H.P.S. VAPOR PREMIER POST TOP MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE.
SERENA DYLAN WAY	LP. 2+10	2' BEHND CURB	150-WATT H.P.S. VAPOR PREMIER POST TOP MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE.

FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER MANAGEMENT PLAN

TALBOTS WOODS II

PHASE ONE

BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8

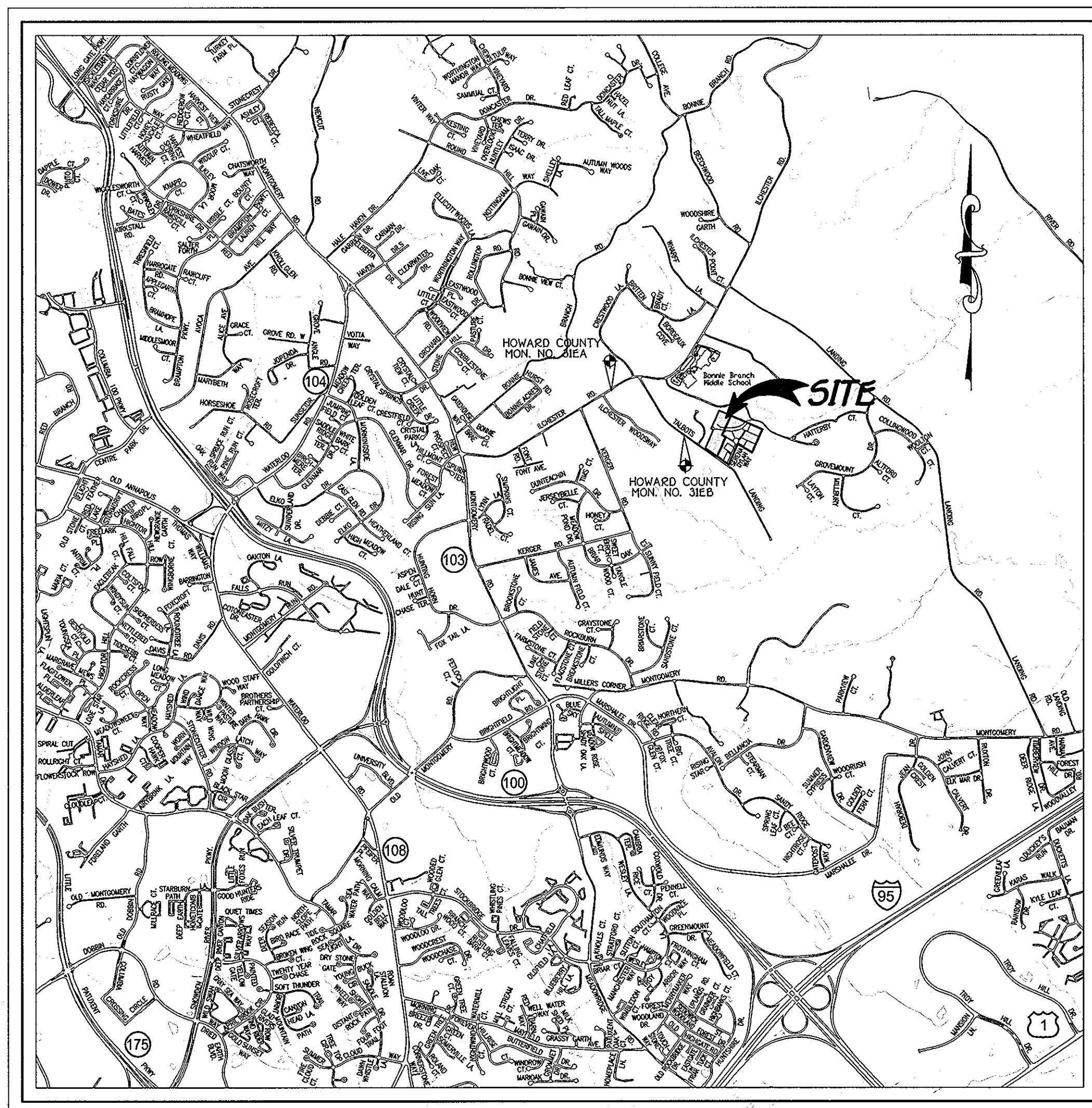
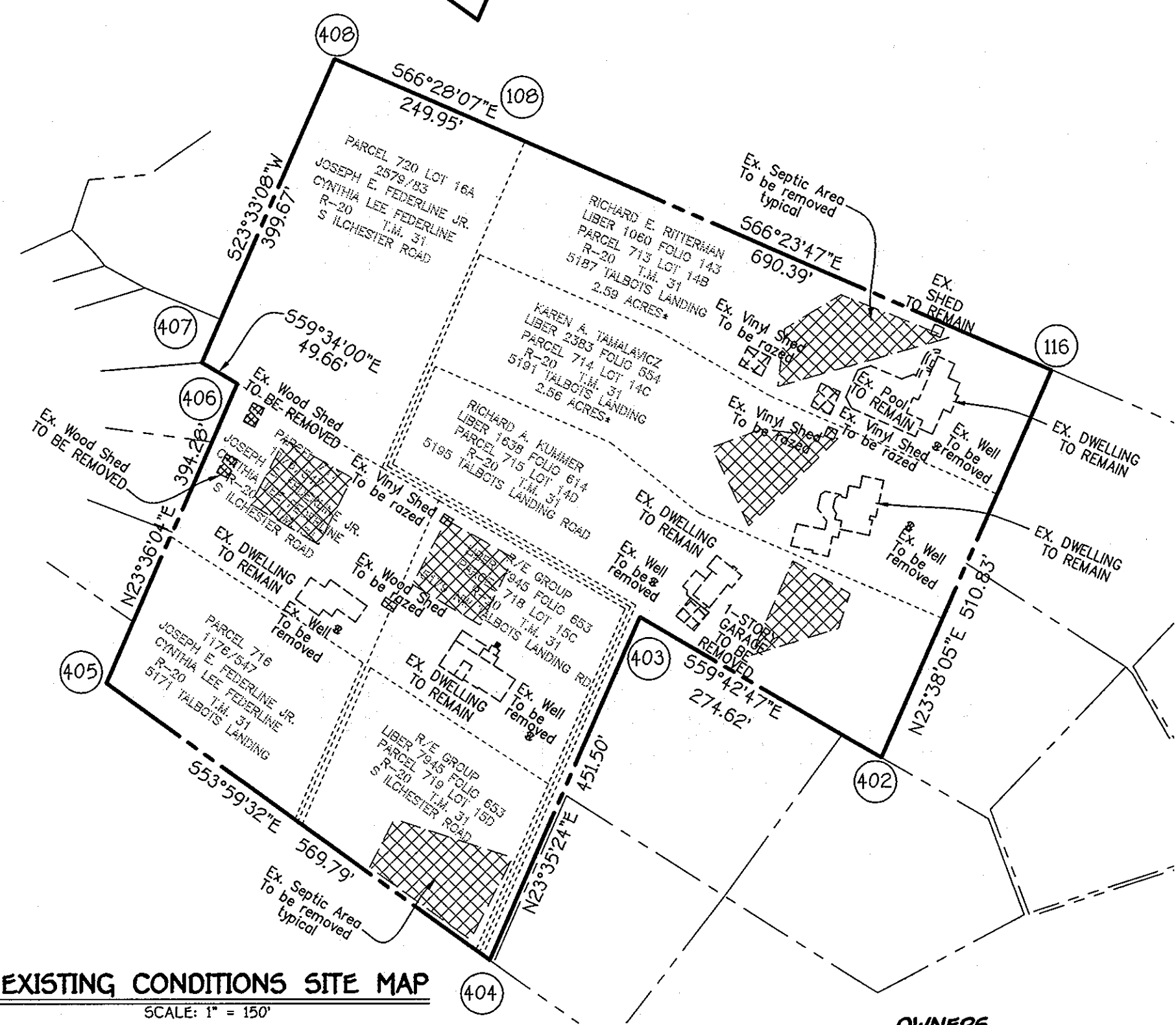
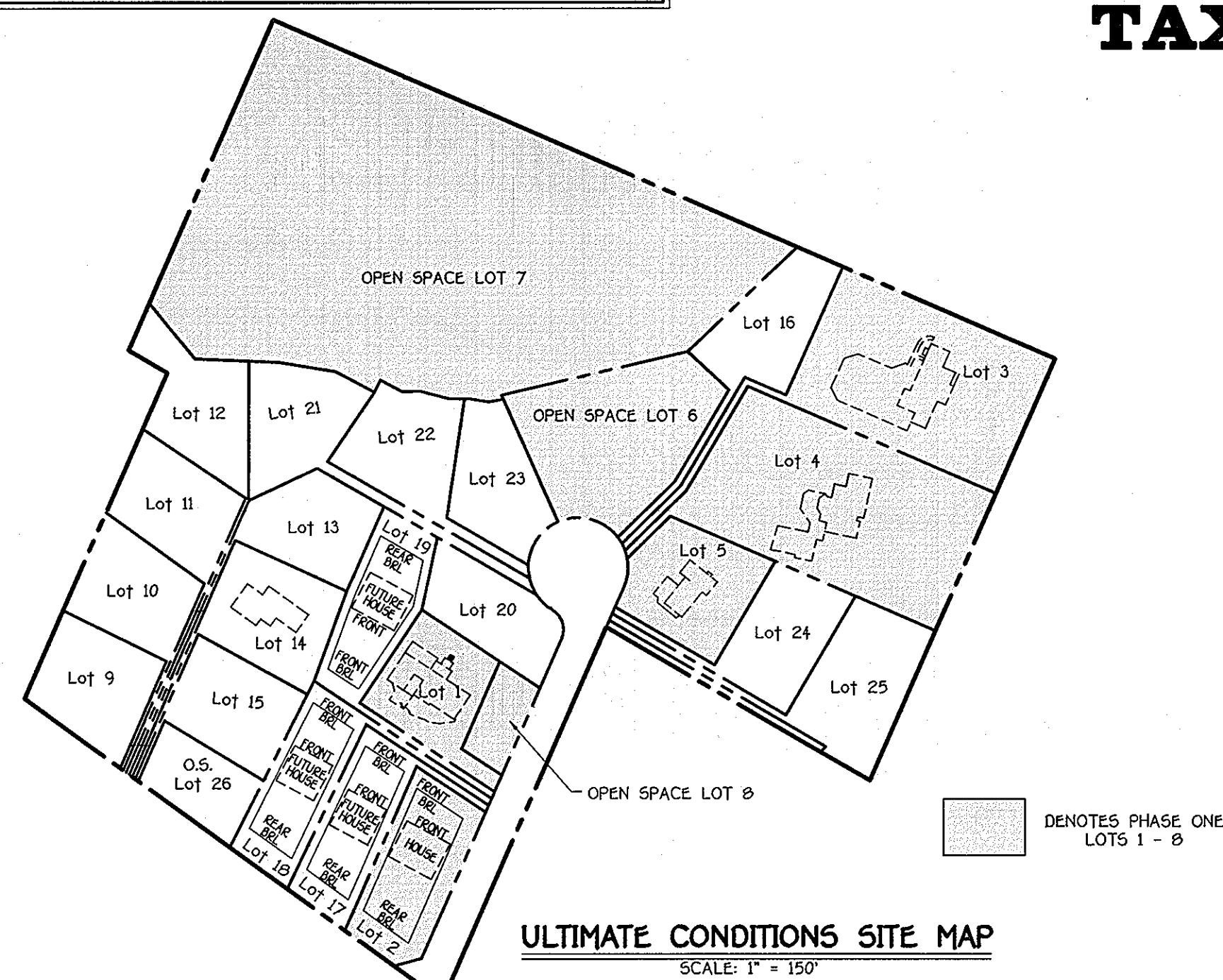
NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',

NON-BUILDABLE PARCEL 'E' AND

BUILDABLE BULK PARCEL 'B'

ZONING: R-20

TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713-720



FIRST ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

TRAFFIC CONTROL SIGNS				
ROAD NAME	CENTERLINE STA.	OFFSET	POSTED SIGN	SIGN CODE
SERENA DYLAN WAY	0+30	15' L	STOP	82-1
SERENA DYLAN WAY	1+25	15' R	SPEED LIMIT 25	82-1

Professional Engineer
ALDO M. VITUCCI, P.E.
DATE: 12-8-09
"Professional certification I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20718, Expiration Date 2-22-09."

APPROVED: DEPARTMENT OF PUBLIC WORKS
W. J. ... 1-12-09
CHIEF, BUREAU OF HIGHWAYS

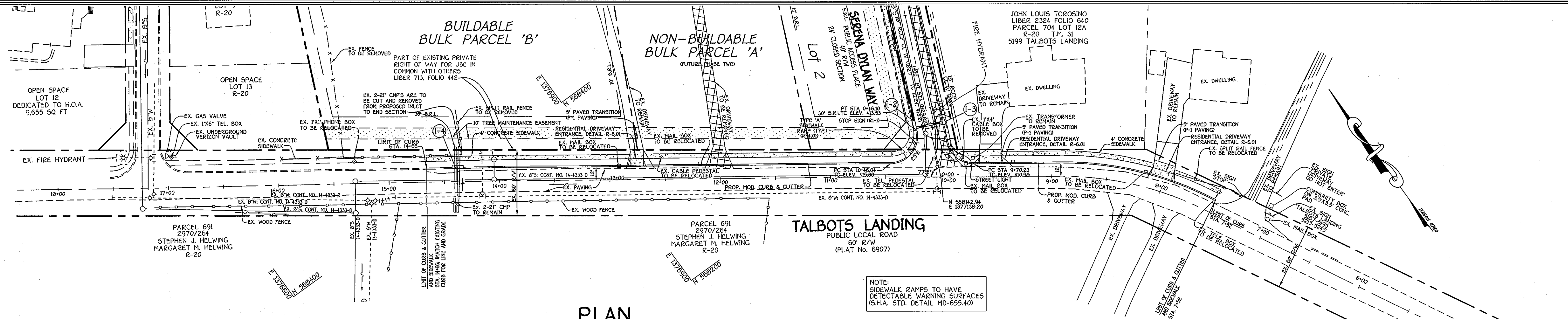
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Candy ... 1/14/09
CHIEF, DIVISION OF LAND DEVELOPMENT

Paul ... 1/14/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION

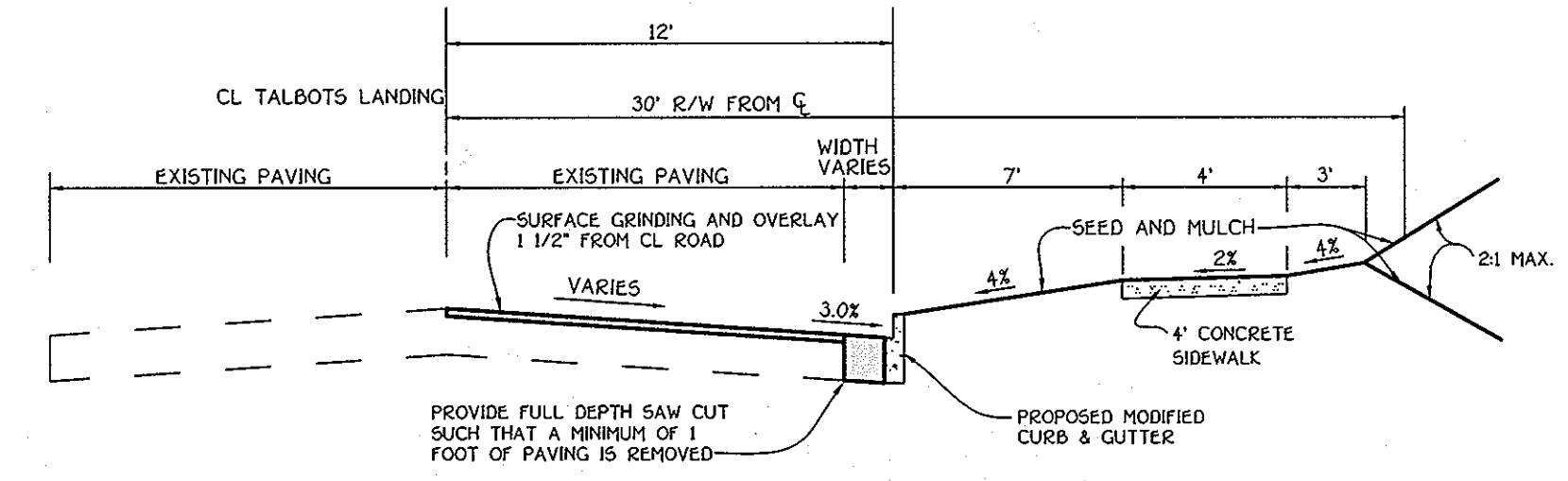
- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - COORDINATES BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 31 EA AND NO. 31 EB.
 - HOWARD COUNTY MONUMENT NO. 31 EA - N 5696411294, E 1374916.0271, ELEV. 468.899'
 - HOWARD COUNTY MONUMENT NO. 31 EB - N 5687309925, E 13762733709, ELEV. 452.700'
 - SUBJECT PROPERTY ZONED R-20 PER 02/02/04 COMPREHENSIVE ZONING PLAN AND COMP LITE ZONING REGULATIONS EFFECTIVE 7-28-05.
 - BACKGROUND INFORMATION:
 - SUBDIVISION NAME: TALBOTS WOODS II
 - TAX MAP NO. 31
 - PARCELS NO. 713-720
 - ZONING R-20
 - ELECTION DISTRICT: FIRST
 - GROSS AREA OF TRACT = 15,222 AC.
 - NUMBER OF BUILDABLE LOTS: 5
 - NUMBER OF OPEN SPACE LOTS: 3
 - NUMBER OF NON-BUILDABLE BULK PARCELS: 3
 - NUMBER OF BUILDABLE BULK PARCELS: 1
 - NUMBER OF NON-BUILDABLE PARCELS: 1
 - AREA OF BUILDABLE LOTS: 3.311 ACRES
 - AREA OF OPEN SPACE LOTS: 4.813 AC. (31.6% - TO BE RECORDED WITH PHASE I)
 - AREA OF NON-BUILDABLE BULK PARCELS: 3.040 ACRES
 - AREA OF BUILDABLE BULK PARCEL: 3.040 ACRES
 - AREA OF NON-BUILDABLE PARCEL: 0.051 ACRES
 - AREA OF ROADWAY TO BE DEDICATED: 0.847 ACRES
 - PREVIOUS FILE NUMBERS: S-05-010, P-07-010, P-08-009, WP-08-022
 - AREA OF FLOODPLAIN = 0.00 AC.
 - AREA OF 25% OR GREATER SLOPES = 0.00 AC.
 - NET AREA OF TRACT = 15,222 AC.
 - OPEN SPACE REQUIREMENTS:
 - AREA OF OPEN SPACE REQUIRED = (15,222 x 0.30) = 4,567 AC.
 - AREA OF NON-CREDITED OPEN SPACE = 0.00 AC.
 - AREA OF CREDITED/TOTAL OPEN SPACE PROVIDED = 4.813 AC. (31.6%)
 - RECREATIONAL OPEN SPACE REQUIRED: (200 SQ.FT. PER UNIT) = 200 x 5 = 1,000 SQ.FT.
 - RECREATIONAL OPEN SPACE PROVIDED ON OPEN SPACE LOT 6 = 5,521 SQ.FT. (4,806 SQ.FT. CREDITED AND 635 SQ.FT. NON-CREDITED DRAINAGE & UTILITY EASEMENT).
 - ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T-100.
 - NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
 - WATER IS PUBLIC (CONTRACT NO. 14-4078-D) SEWER IS PUBLIC (CONTRACT NO. 14-4078-D)
 - SOILS INFORMATION TAKEN FROM SOIL SURVEY MAP NO. 20, HOWARD COUNTY, MARYLAND.
 - ALL EXISTING STRUCTURES LOCATED ON SITE ARE TO REMAIN UNLESS OTHERWISE NOTED.
 - BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS & CARTER, INC. DATED ON OR ABOUT JANUARY, 2008.
 - TOPOGRAPHIC CONTOURS BASED ON FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS AND CARTER, INC. DATED OCTOBER, 2006.
 - THERE ARE NO AREAS OF STEEP SLOPES LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.16.B.
 - STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY AND MARYLAND 378 SPECIFICATIONS. RECHARGE VOLUME WILL BE PROVIDED THROUGH THE USE OF A STONE RESERVOIR. WATER QUALITY AND CHANNEL PROTECTION VOLUME WILL BE PROVIDED BY A POCKET POND (P-9) OVERBANK FLOOD PROTECTION VOLUME AND EXTREME FLOOD VOLUMES ARE NOT REQUIRED FOR THIS SITE. THE STORMWATER MANAGEMENT FACILITY WILL BE PRIVATELY OWNED BY H.O.A. AND JOINTLY MAINTAINED BY H.O.A. AND HOWARD COUNTY. THE UNDERGROUND STONE RESERVOIR AND UNDERDRAIN SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE H.O.A.
 - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - THERE IS NO FLOODPLAIN WITHIN THIS SITE.
 - THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED AND APPROVED UNDER 5-05-010.
 - THE FOREST CONSERVATION REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION WILL BE FULFILLED BY PROVIDING 2.28 ACRES OF ON-SITE AFFORESTATION. A TOTAL SURETY OF \$49,650.40 BASED ON 2.28 AC. AFFORESTATION WILL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT. "No grading, clearing, dumping or construction is permitted within the Forest Conservation Easement. However, Forest Management Practices As Defined In The Deed Of Forest Conservation Easement Are Allowed."
 - THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, INC. DATED OCTOBER, 2006 AS PART OF THE P-07-010 PLAN.
 - THE FOREST STAND DELINEATION AND WETLAND DELINEATION FOR THIS PROJECT WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC., DATED DECEMBER, 2003 AND APPROVED UNDER 5-05-010.
 - THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
 - FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT-OF-WAY LINE ONLY AND NOT TO THE FLAG OR PIPESTEM LOT DRIVEWAY.
 - NO CEMETERIES EXIST WITHIN THIS SUBDIVISION.
 - THE LANDSCAPE SURETY IN THE AMOUNT OF \$10,030.00 FOR THE 51 SHADE, 15 EVERGREEN TREES & 16 SHRUBS FOR PERIMETER LANDSCAPE REQUIREMENTS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL WILL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS SUBDIVISION. FINANCIAL SURETY FOR THE REQUIRED STREET TREES WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$12,000.00.
 - STREET LIGHTS WILL BE REQUIRED IN THIS DEVELOPMENT IN ACCORDANCE WITH THE DESIGN MANUAL STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SELECTED SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." THE JUNE 1993 POLICY INCLUDES GUIDELINES FOR LATERAL AND LONGITUDINAL PLACEMENT. A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
 - PRIVATE WELL & SEPTIC TO BE PROPERLY ABANDONED PRIOR TO SIGNATURE OF THE FINAL PLAT. DOCUMENTATION OF PROPER ABANDONMENT/SEALING OF THE WELLS WILL BE PROVIDED BY A LICENSED WELL DRILLER FOR THE WELL ABANDONMENT AND THE SEPTIC WILL BE PUMPED, COLLAPSED AND FILLED IN AN AGREEMENT WILL BE RECORDED TO HOLD THE DEVELOPER RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF ALL SEPTIC EASEMENTS THAT EXCEED THE PROPOSED LOT LINE BOUNDARIES ONCE PUBLIC SEWER IS GRANTED TO PARCELS 713, 714, & 715.
 - THE INDIVIDUAL PARCEL DESIGNATIONS FOR THIS PROJECT ARE:
 - NON-BUILDABLE BULK PARCEL 'A' - RESERVES THE RIGHT TO BE FURTHER SUBDIVIDED. AREA = 1.463 AC. (PHASE 2)
 - BUILDABLE BULK PARCEL 'B' - RESERVES THE RIGHT TO BE FURTHER SUBDIVIDED. AREA = 3.040 AC. (PHASE 2)
 - NON-BUILDABLE BULK PARCEL 'C' - RESERVES THE RIGHT TO BE FURTHER SUBDIVIDED. AREA = .051 AC. (PHASE 2)
 - NON-BUILDABLE BULK PARCEL 'D' - RESERVES THE RIGHT TO BE FURTHER SUBDIVIDED. AREA = 0.799 AC. (PHASE 2)
 - THE EXISTING DRIVEWAY FROM LOT 13 IN PHASE 2 THAT EXTENDS TO TALBOTS LANDING ROAD SHALL BE REPAVED AS A PART OF THE FUTURE PHASE 2 PROCESSING. SEE PLAN VIEW, THIS SHEET, FOR ULTIMATE CONDITIONS SITE MAP.
 - PROPERTY IS SUBJECT TO WAIVER PETITION WP-08-22 FROM SECTION 16.121a.4.V. OF THE SUBDIVISION REGULATIONS.
 - THIS SUBDIVISION PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE 2004 ZONING REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL NO. 75-2003 HAD THE COMP LITE ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS OR PARCELS MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF A BUILDING OR GRADING PERMIT APPLICATION.
 - SIGN POSTS: ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (4 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3" LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 - THE STRIP OF NON-BUILDABLE BULK PARCEL 'C' BETWEEN OPEN SPACE LOT 6 AND SERENA DYLAN WAY PUBLIC ROAD R/W SHALL BE RESUBDIVIDED INTO OPEN SPACE LOT 6 TO CREATE NEW OPEN SPACE LOT 6 ON THE PLAN AND PLANS FOR PHASE II OF THIS PROJECT.
 - AN ADDRESS RANGE SIGN SHALL BE PROVIDED FOR LOTS 2 THRU 4 AT THE INTERSECTION OF THE CUL-DE-SAC AND THE USE-IN-COMMON DRIVEWAY. EACH NUMBER SHALL BE A MINIMUM OF 3" PLAIN BLOCK LETTERING. IN ADDITION, THERE SHALL BE AN ADDRESS SIGN AT THE POINT WHERE EACH INDIVIDUAL DRIVEWAY INTERSECTS WITH THE USE-IN-COMMON DRIVEWAY.

TALBOTS WOODS II
PHASE ONE
BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8,
NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
NON-BUILDABLE PARCEL 'E' AND
BUILDABLE BULK PARCEL 'B'

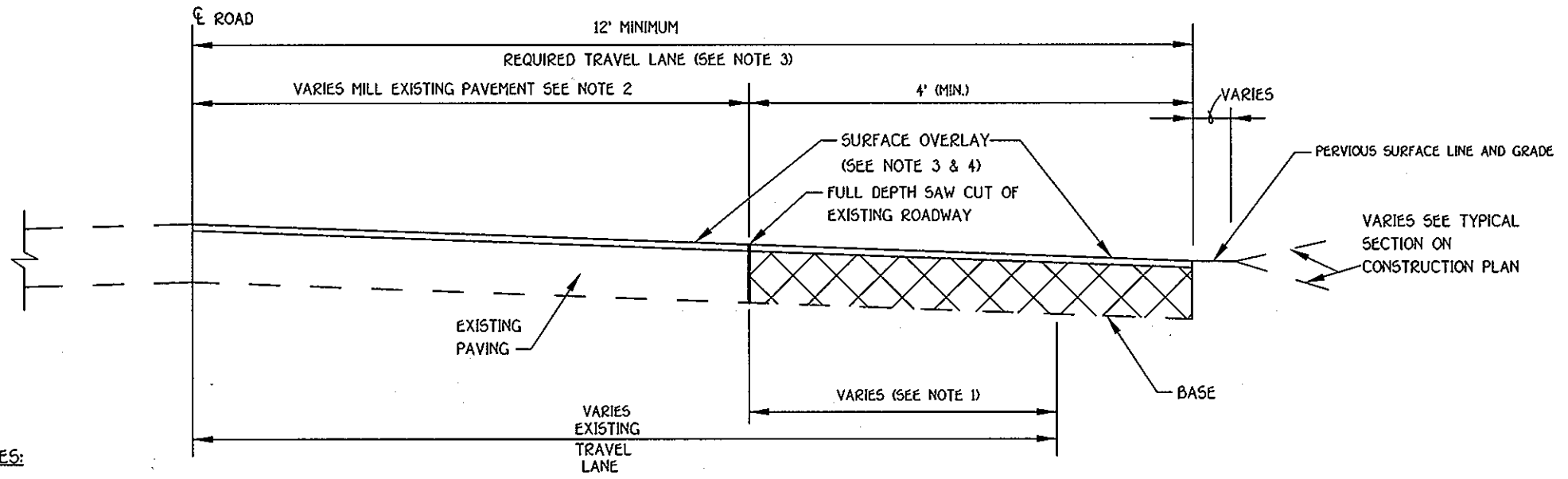
TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 through 720
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: DECEMBER, 2008
SHEET 1 OF 14



PLAN
SCALE: 1" = 50'



TALBOTS LANDING TYPICAL ROAD WIDENING DETAIL
NO SCALE
FROM CL STA 7+52 TO CL STA 14+66



EXISTING ROADWAY WIDENING STRIP (R-1.00)
NO SCALE

- NOTES:**
1. WHEN EXISTING TRAVEL LANE IS LESS THAN THE REQUIRED 12' LANE CONTRACTOR SHALL REMOVE A MINIMUM OF 1' FULL DEPTH OF THE EXISTING ROADWAY. IF CURB AND GUTTER IS INSTALLED, PROVIDE A MINIMUM OF 4' OF WIDENING FROM FACE OF GUTTER PAN.
 2. THE EXISTING PAVEMENT TO BE RESURFACED SHALL BE MILLED AT DEPTH OF 1 1/2" MINIMUM.
 3. THE RESURFACING SHALL BE PLACED TO THE CENTERLINE OF THE ROADWAY.
 4. RESURFACING COURSE TO BE EQUAL TO THE SURFACE COURSE OF THE TYPICAL PAVEMENT SECTION.



12.09.08
DATE

REVISIONS	
DATE	DESCRIPTION

APPROVED: DEPARTMENT OF PUBLIC WORKS
Wesley Z. McMillan 1-12-09
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hanna 1/14/09
CHIEF, DIVISION OF LAND DEVELOPMENT

David Cameron 1-14-9
CHIEF, DEVELOPMENT ENGINEERING DIVISION

TALBOTS WOODS II
PHASE ONE
BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8
NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
NON-BUILDABLE PARCEL 'E' AND
BUILDABLE BULK PARCEL 'B'

TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 Through 720
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TALBOTS LANDING WIDENING
PLAN AND PROFILE

OWNERS

RICHARD E. & JEANI A. RITTERMANN 5157 TALBOTS LANDING ELLICOTT CITY, MARYLAND 21043	KAREN A. TAMALAVICZ 5191 TALBOTS LANDING ELLICOTT CITY, MARYLAND 21043
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OWNERS

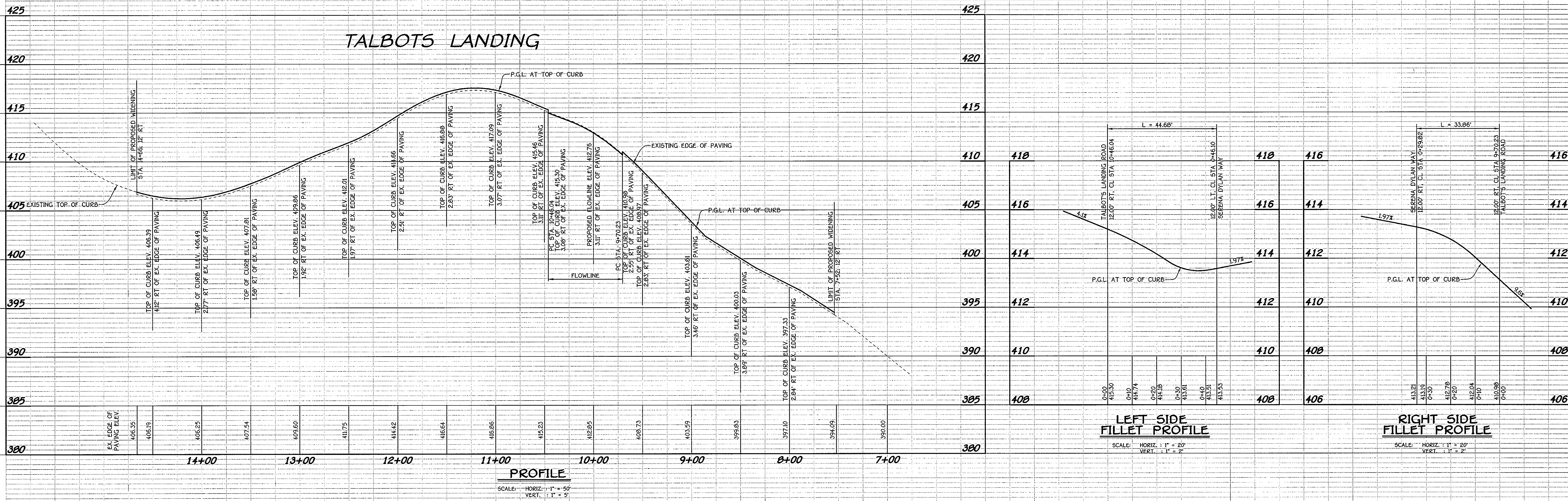
R/E GROUP, INC. C/O LAND DESIGN & DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 ATTN: MR. DONALD R. REUWER, JR.	JOSEPH E. FEDERLINE, JR. & CYNTHIA LEE FEDERLINE 5171 TALBOTS LANDING ELLICOTT CITY, MARYLAND 21043-6830
---	--

DEVELOPER

ELLICOTT CITY LAND HOLDING, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
ATTN: MR. DONALD R. REUWER, JR.
443-367-0422

SCALE: AS SHOWN DATE: DECEMBER, 2008 DWG. NO. 2 OF 14
DES. D.A.M. DRN. J.C.L. CHK. A.M.V.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
4100 461 - 2925

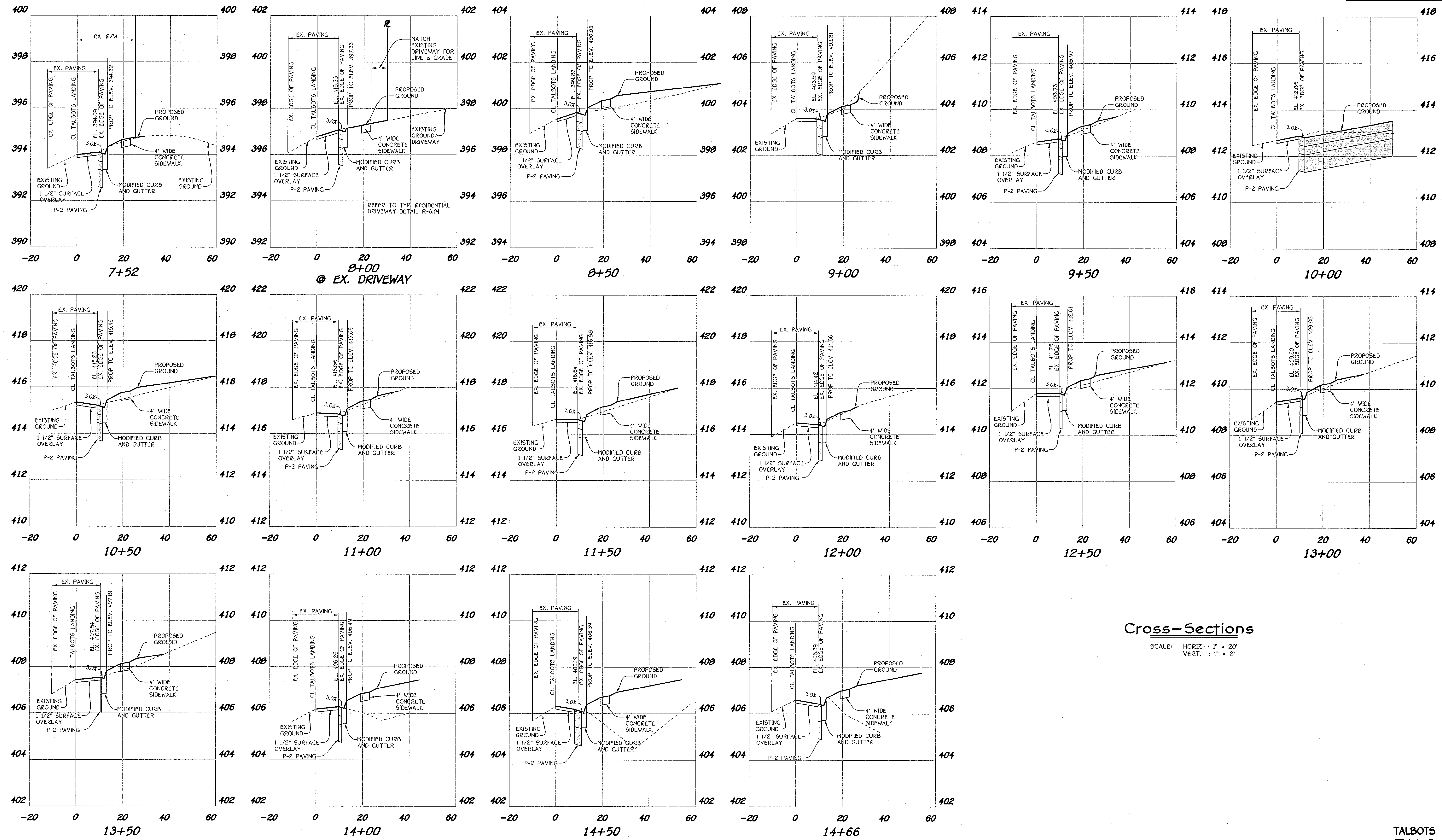


LEFT SIDE FILLET PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 5'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 5'

PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

1:\2008\06053\dwg\plan\06053 SHEET 2 WIDENING PLAN.dwg, 12/5/2008 1:28:27 PM, jamest



Cross-Sections

SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 2000 NATIONAL SQUARE, OFFICE FLOOR - 1672 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2299

OWNERS
 RICHARD E. & JEANI A. RITTERMANN
 5187 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 788-5568

OWNER
 KAREN A. TAMALAVICZ
 5191 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 788-6572

DEVELOPER
 R/E GROUP, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUVER, JR.
 443-367-0422

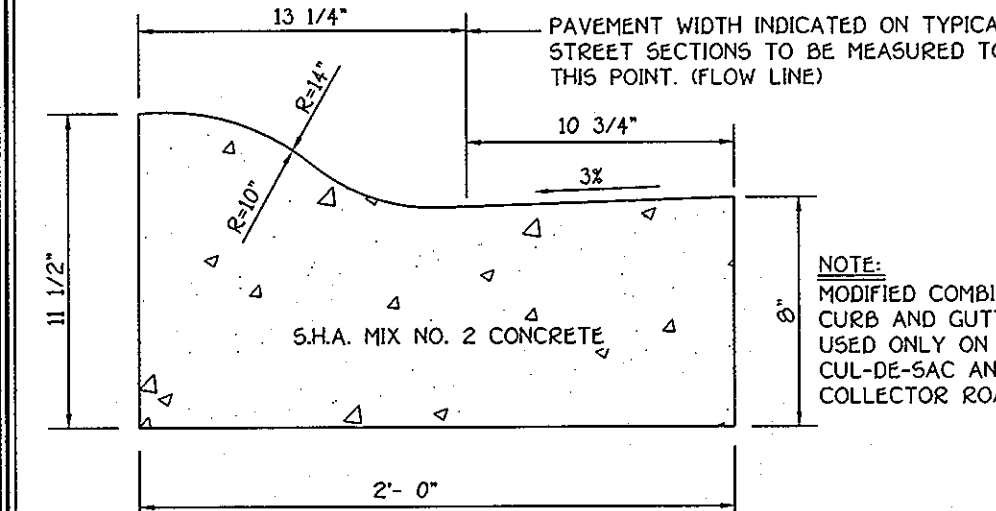
DEVELOPER
 ELLICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUVER, JR.
 443-367-0422



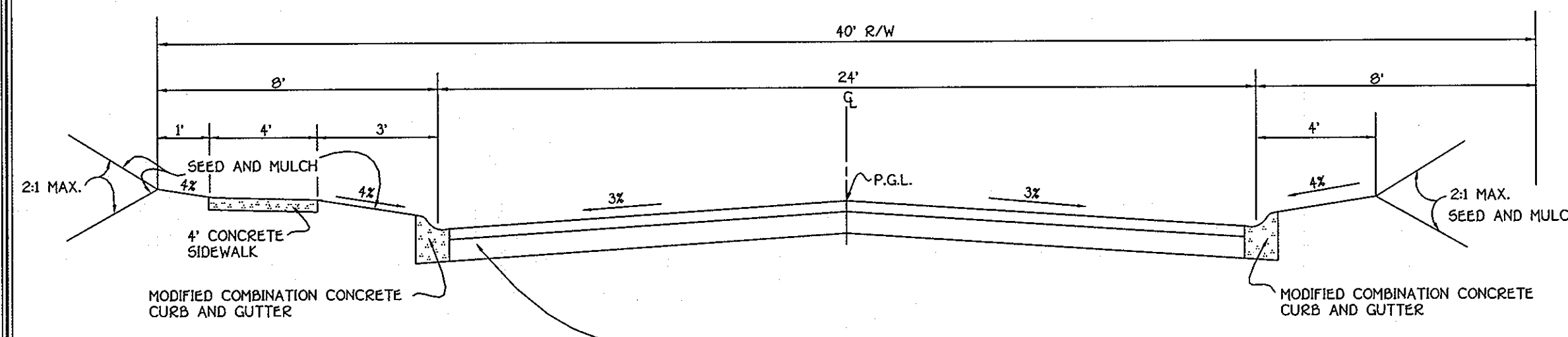
1-9-09 DATE

**TALBOTS LANDING CROSS SECTIONS
 TALBOTS WOODS II**
 PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8
 NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
 NON-BUILDABLE PARCEL 'E' AND
 BUILDABLE BULK PARCEL 'B'
 ZONING: R-20
 TAX MAP No. 31 GRID No. 15 PARCEL Nos. 713 Through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 3 OF 14

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		3 TO 45	5 TO 17	27	3 TO 45	5 TO 17	27
P-2	PARKING DRIVE ASILES- RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS- ACCESS PLACE, ACCESS STREET CUL-DE-SACS- RESIDENTIAL	PAVEMENT MATERIAL (INCHES)					
		HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)					
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)					
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)					
		MIN HMA WITH GAB			HMA WITH CONSTANT GAB		
		1.5	1.5	1.5	1.5	1.5	1.5
		1.0	1.0	1.0	1.0	1.0	1.0
		2.0	2.0	2.0	3.5	2.0	2.0
		8.0	4.0	3.0	4.0	4.0	4.0

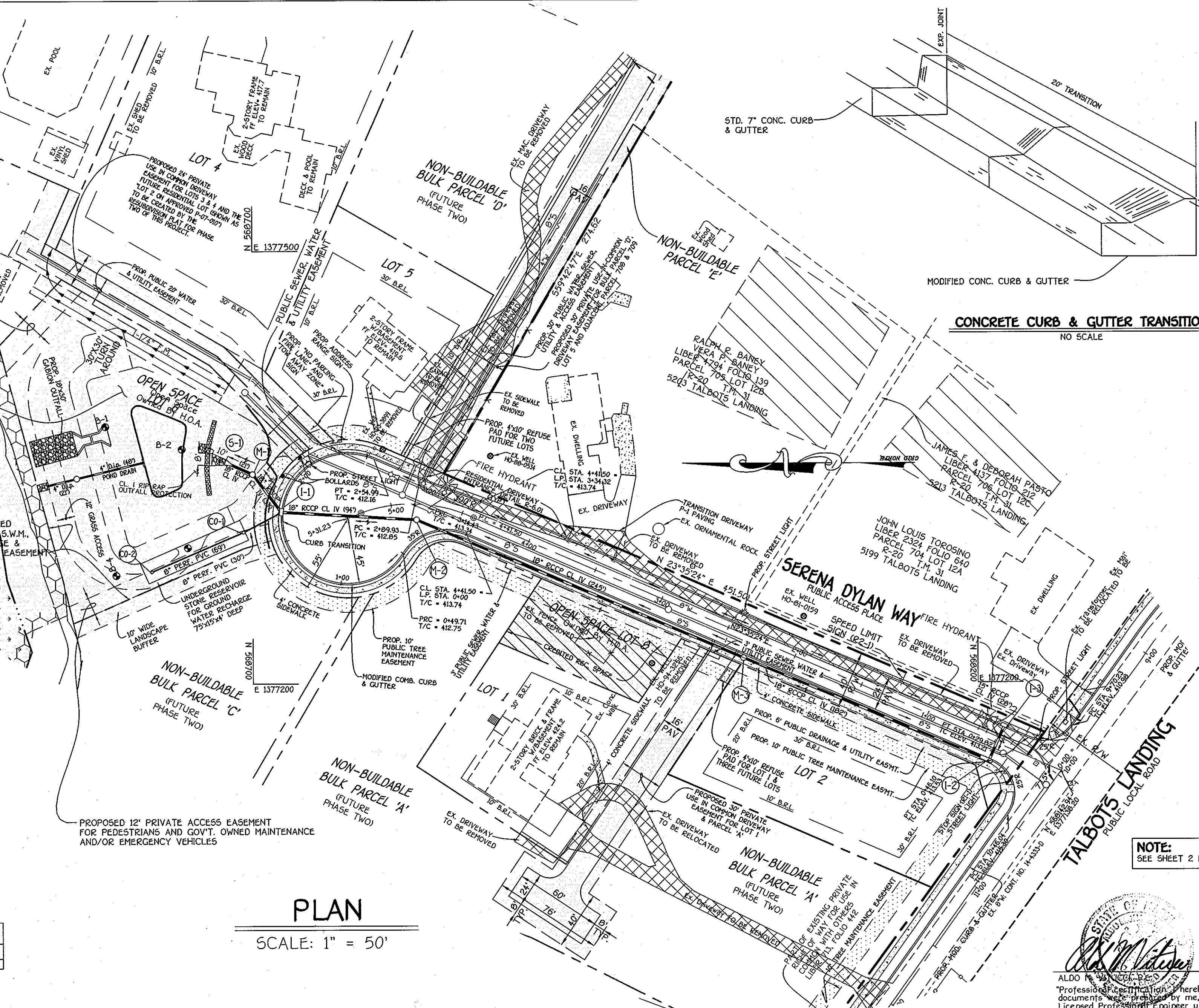
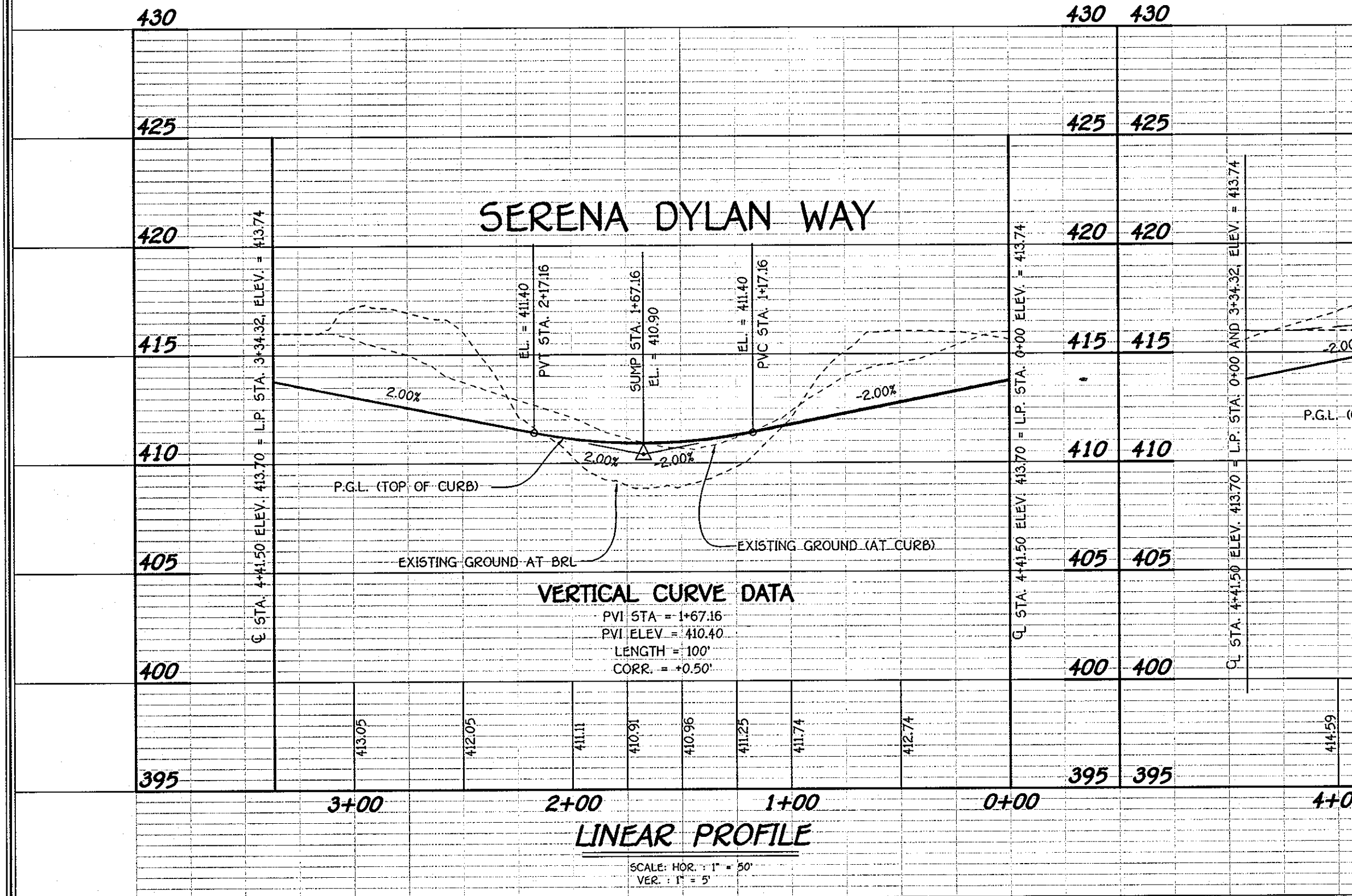


MODIFIED COMBINATION CURB AND GUTTER
NO SCALE

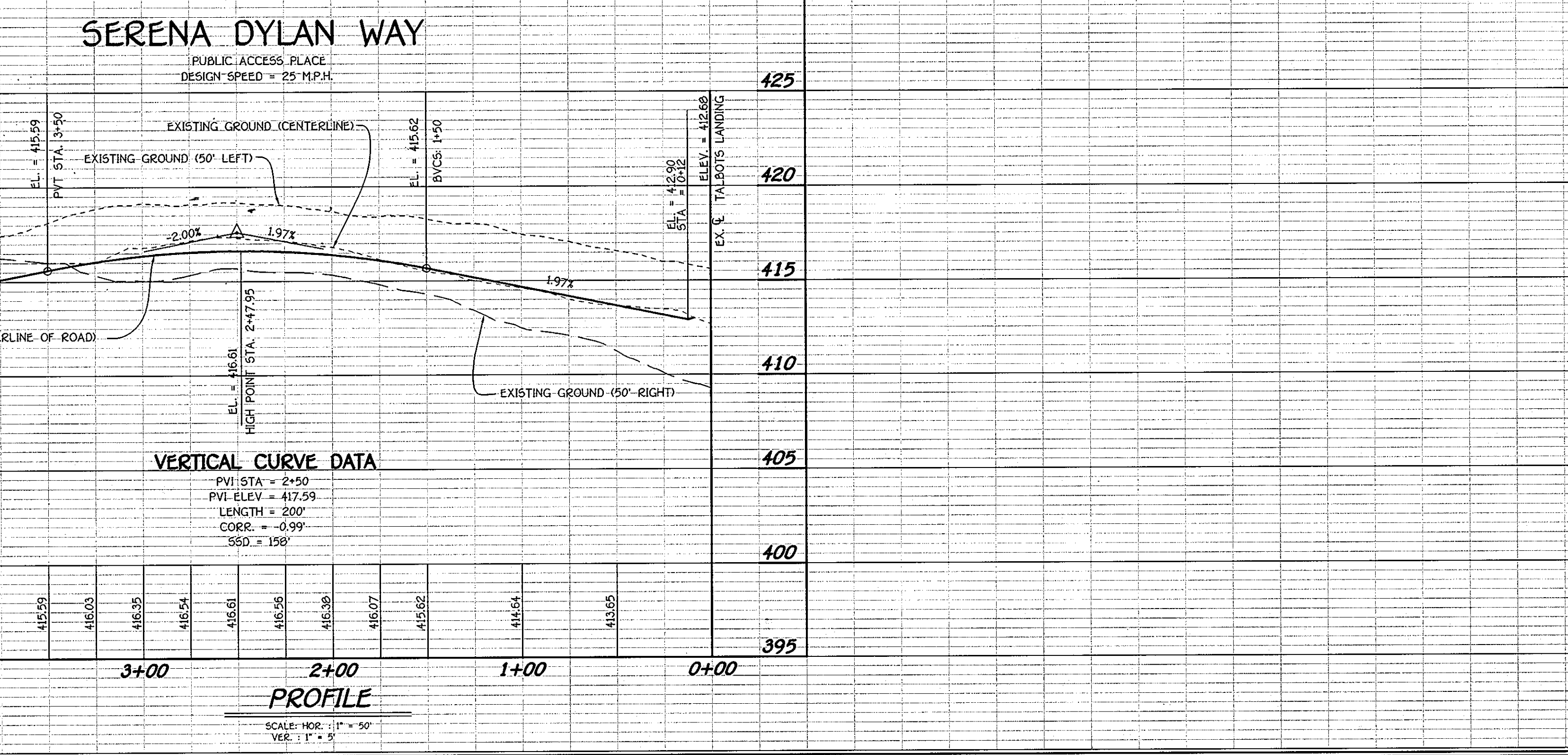


TYPICAL ROADWAY SECTION
NO SCALE

ROADWAY INFORMATION CHART					
ROAD NAME	CLASSIFICATION	DESIGN SPEED	ZONING	STATION LIMITS	PAVING SECTION
SERENA DYLAN WAY	PUBLIC ACCESS PLACE	25 M.P.H.	R-20	0+00 TO 5+31.23	P-2



PLAN
SCALE: 1" = 50'



PROFILE
SCALE: HOR: 1" = 50'
VER: 1" = 5'

REVISIONS	
DATE	DESCRIPTION

APPROVED: DEPARTMENT OF PUBLIC WORKS
William F. Mahaffey 1-12-09
 CHIEF, BUREAU OF HIGHWAYS DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamel 1/14/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
David Elwood 1-14-09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

TALBOTS WOODS II
 PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8
 NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
 NON-BUILDABLE PARCEL 'B' AND
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 TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 Through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SERENA DYLAN WAY
 PLAN AND PROFILE

OWNERS
 RICHARD E. & JEAN A. RITTERMANN KAREN A. TAMALAVICZ
 5187 TALBOTS LANDING 5191 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043 ELLICOTT CITY, MARYLAND 21043

OWNERS
 R/E GROUP, INC. JOSEPH E. FEDERLINE, JR. &
 C/O LAND DESIGN & DEVELOPMENT, INC. CYNTHIA LEE FEDERLINE
 5300 DORSEY HALL DRIVE, SUITE 102 5171 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21042 ELLICOTT CITY, MARYLAND
 ATTN: MR. DONALD R. REUWER, JR. 21043-6830

DEVELOPER
 ELLICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

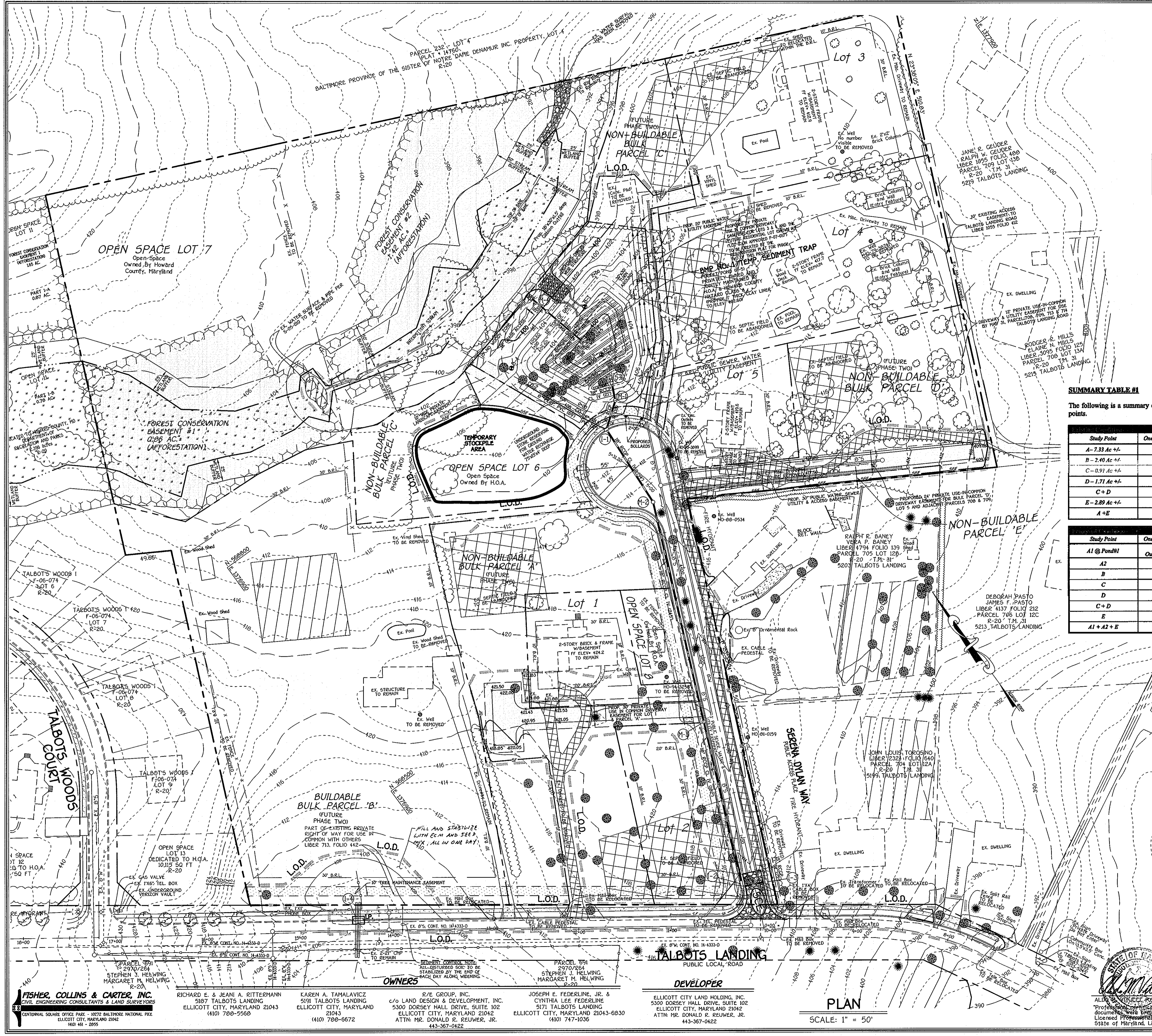
SCALE: AS SHOWN DATE: DECEMBER, 2008 DWG. NO. 4 OF 14
 DES. D.A.M. DRN. J.C.L. CHK. A.M.V.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 4100 461 - 2855

NOTE:
 SEE SHEET 2 FOR CONTINUATION

6 CURVE DATA
SERENA DYLAN WAY
 STA. 4+15.0 TO STA. 5+21.36
 RADIUS = 100.00'
 ARC LENGTH = 79.86'
 TAN = 42.20°
 DELTA = 45°45'28"
 CHORD = 802'37"13", 77.76'

William F. Mahaffey
 12-9-08
 DATE
 "Professional Certification" hereby certifies that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09."



TEMPORARY SEDIMENT TRAP No. 1
 INITIAL D.A. = 16 AC.
 FINAL D.A. = 2.38 AC.
 STORAGE REQUIRED
 WET = 1800 x 2.38 = 7284 Cuft.
 DRY = 1800 x 2.38 = 7284 Cuft.
 STORAGE PROVIDED
 WET = 5659 Cuft. @ ELEV. 402.60
 DRY = 8268 Cuft. @ ELEV. 403.80
 BOTTOM ELEV. = 398.60
 STORAGE DEPTH = 3.8'
 TOP OF EMBANKMENT = 405.60
 CLEAN OUT ELEV. = 401.0
 WEIR CREST ELEV. = 403.80
 TEMP. SWM PROVIDED BY STORING THE 1YR. STORM (0.227 CUFT.) WITHIN THE DRY STORAGE PORTION OF THE FACILITY.

NOTE:
 CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE WETLANDS, BUFFERS AND PRESERVATION PARCELS.

LEGEND

- SGF-SGF-SGF SUPER-SILT FENCE
- SF-SF-SF SILT FENCE
- TP-TP-TP TREE PROTECTION FENCE
- S.C.E. STABILIZED CONSTRUCTION ENTRANCE
- Earth Dike
- L.O.D. DENOTES LIMITS OF DISTURBANCE
- E.C.M. DENOTES EROSION CONTROL MATTING
- 1" THICK CLAY LINER TO ELEV. 402.60

SUMMARY TABLE #1
 The following is a summary of the peak discharges from each of the drainage areas and study points.

Study Point	One-Year Storm (cfs)	Ten-Year Storm (cfs)	100-Year Storm (cfs)
A-7.33 Ac +/-	1.12	12.93	26.57
B-2.40 Ac +/-	0.58	4.94	9.83
C-0.91 Ac +/-	0.16	1.62	3.29
D-1.71 Ac +/-	0.59	3.57	6.70
C+D	0.76	5.17	9.96
E-2.89 Ac +/-	1.97	8.42	14.81
A+E	2.98	21.35	41.39

Study Point	One-Year Storm (cfs)	Ten-Year Storm (cfs)	100-Year Storm (cfs)
A1 @ Pond#1	In: 1.61 Out: 0.03 @ 403.09	In: 6.58 Out: 3.47 @ 403.66	In: 11.41 Out: 9.15 @ 404.00
A2	0.68	8.33	17.95
B	1.54	7.22	12.62
C	0.13	0.40	0.65
D	1.40	5.06	8.51
C+D	1.50	5.43	9.10
E	1.97	8.42	14.81
A1 + A2 + E	2.31	17.22	39.59

APPROVED: DEPARTMENT OF PUBLIC WORKS
Walter R. ... 1-12-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy ... 1/16/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David ... 1-14-09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

By the Developer:
 I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Donald R. Reuter, Jr. 12-8-08
 Signature Of Developer Date
 Donald R. Reuter, Jr.
 Printed Name Of Developer

By the Engineer:
 I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

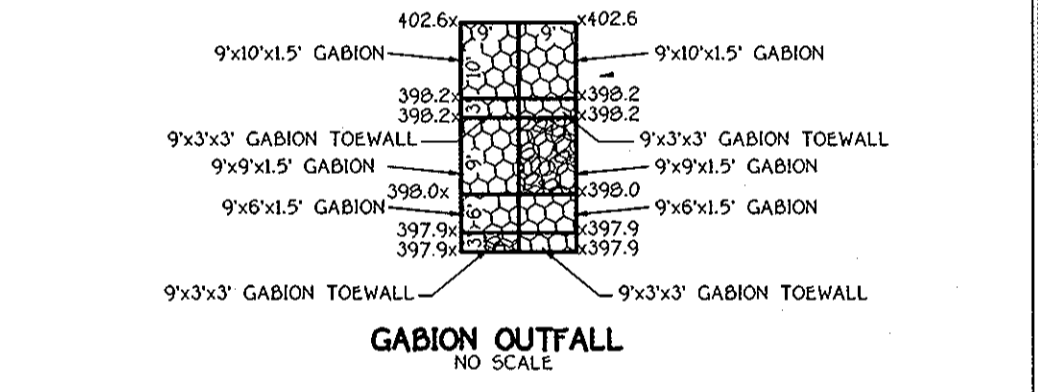
Arno ... 12-8-08
 Signature Of Engineer Date
 Arno ...
 Printed Name Of Engineer

These Plans For Small Pond Construction Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
Howard Soil Conservation District 12/16/08
 Signature Of District Engineer Date
 Howard Soil Conservation District

AS-BUILT CERTIFICATION
 I Herby Certify That The Facility Shown On This Plan Was Constructed As Shown On The "As-Built" Plans And Meets The Approved Plans And Specifications.

Signature _____ P.E. No. _____
 Date: _____

Certify Means To State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which Are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.



SUMMARY TABLE #2
 The following is a summary of the Re_{req}, WQ_{req}, and CP_{req} Requirements:

Re _{req} (Recharge Vol. for Entire Site)	0.55 acres w/ % Area or 0.0874 ac. ft. w/ % Volume	0.1102 acres w/ % Area Volume 7.14 Stone Reservoir
WQ _{req}		
Study Point #A1 - Pocket Pond (P-5)	4,190.47 Cu. Ft.	5,550 Cu. Ft. @ BMP #1
Study Point #A2	0.1117 ac. ft.	Provided Via Credits
Study Point B-1	2,455 cu. ft.	2,455 cu. ft. @ BMP#2 - Bio-retention
Study Point B-2	299 cu. ft.	299 cu. ft. @ BMP#2 - Bio-retention
Study Point #C	No planned disturbances.	N/A No disturbance
Study Point #D	No planned disturbances.	N/A No disturbance
Study Point #E	No planned disturbances.	N/A No disturbance
CP _{req}		
Study Point #A1 - Pocket Pond (P-5)	0.0792 Ac. Ft.	0.0792 Ac. Ft. @ BMP#1
Study Point #A2	N/A	Less Than < 2.0 cfs
Study Point #B	N/A	Less Than < 2.0 cfs
Study Point #C	N/A	Less Than < 2.0 cfs
Study Point #D	N/A	Less Than < 2.0 cfs
Study Point #E	N/A	Less Than < 2.0 cfs

Note: Both Q_o (Overbank Flood Protection or 10-year storm) and Q_e (Extreme Flood Volume or 100-year storm) are not required for this site since this watershed area is not classified as one of the sensitive watershed areas for Howard County. However the proposed Pocket Pond will allow the 10-year and 100-year storms to bypass this facility. The majority of the site will remain undisturbed until Phase II of the project. Phase I of the project incorporates just the roadway, the 4 existing homes and one additional proposed lot.

GRADING AND SEDIMENT CONTROL PLAN
TALBOTS WOODS II
 PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8, NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D', NON-BUILDABLE PARCEL 'E' AND BUILDABLE BULK PARCEL 'B'

TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 Through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 5 OF 14

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2895

OWNERS
 RICHARD E. & JEANI A. RITTERMANN
 5197 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 788-5968

DEVELOPER
 R/E GROUP, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUTER, JR.
 443-367-0422

OWNER
 STEPHEN J. HELWING
 MARGARET M. HELWING
 5171 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043-6930
 (410) 747-1036

OWNER
 JOSEPH E. FEDERLINE, JR. & CYNTHIA LEE FEDERLINE
 5171 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043-6930
 (410) 747-1036

OWNER
 ELLICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUTER, JR.
 443-367-0422

PLAN
 SCALE: 1" = 50'

Arno ... 12-8-08
 Signature Of Engineer Date
 Arno ...
 Printed Name Of Engineer

Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.

APPROVED: DEPARTMENT OF PUBLIC WORKS
William F. Mahan 1-12-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Andy Hester 1/14/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David Edwards 1/14/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

SCHEDULE A - PERIMETER LANDSCAPING										
PERIMETER	CATEGORY (PROPERTY'S ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED	SHADE TREES	EVERGREEN TREES	SHRUBS	NUMBER OF PLANTS PROVIDED
P-1	ADJACENT TO PERIMETER	A	336'	NO	NO	6	-	-	-	6
P-2	ADJACENT TO PERIMETER	A	510'	NO	NO	9	-	-	-	9
P-3	ADJACENT TO PERIMETER	A	940'	NO	NO	16	-	-	-	16
P-4	ADJACENT TO PERIMETER	A	844'	NO	NO	14	-	-	-	14
P-5	ADJACENT TO ROAD	B	504'	NO	NO	10	13	-	-	23
P-6	ADJACENT TO PERIMETER	A	452'	NO	NO	8	-	-	-	8

* TO BE DEFERRED UNTIL FUTURE PHASE TWO.

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF TYPE 'B' PERIMETER	D-1 = 618'
NUMBER OF TREES REQUIRED AND PROVIDED:	
SHADE TREES	12
EVERGREEN TREES	15
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO

LANDSCAPING PLANT LIST				
QTY.	KEY	NAME	SIZE	
18	AS	ACER SACCHARUM SUGAR MAPLE	2 1/2" - 3" CALIPER FULL CROWN, B&B	
18	FG	FAGUS GRANDIFOLIA AMERICAN BEECH	2 1/2" - 3" CALIPER FULL CROWN, B&B	
15	QR	QUERCUS RUBRA RED OAK	2 1/2" - 3" CALIPER FULL CROWN, B&B	
15	PS	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HT.	

"THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 66 REQUIRED LANDSCAPE TREES SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$17,550.00.

STREET TREE SCHEDULE				
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
QR	28	QUERCUS RUBRA RED OAK	2 1/2" - 3" CAL.	40' APART ON PUBLIC R/W
FG	12	FAGUS GRANDIFOLIA AMERICAN BEECH	2 1/2" - 3" CAL.	40' APART ON PUBLIC R/W

NOTE: STREET TREE TYPES ARE ONLY A RECOMMENDATION AND MAY BE SUBSTITUTED WITH A COUNTY ACCEPTED EQUIVALENT FROM THE HOWARD COUNTY LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 40 REQUIRED STREET TREES SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$12,000.00.

LANDSCAPE DEVELOPER'S CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscape installation accompanied by an expected one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.
David Edwards 12-8-08
 Name Date

This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping will be posted as part of the grading permit.

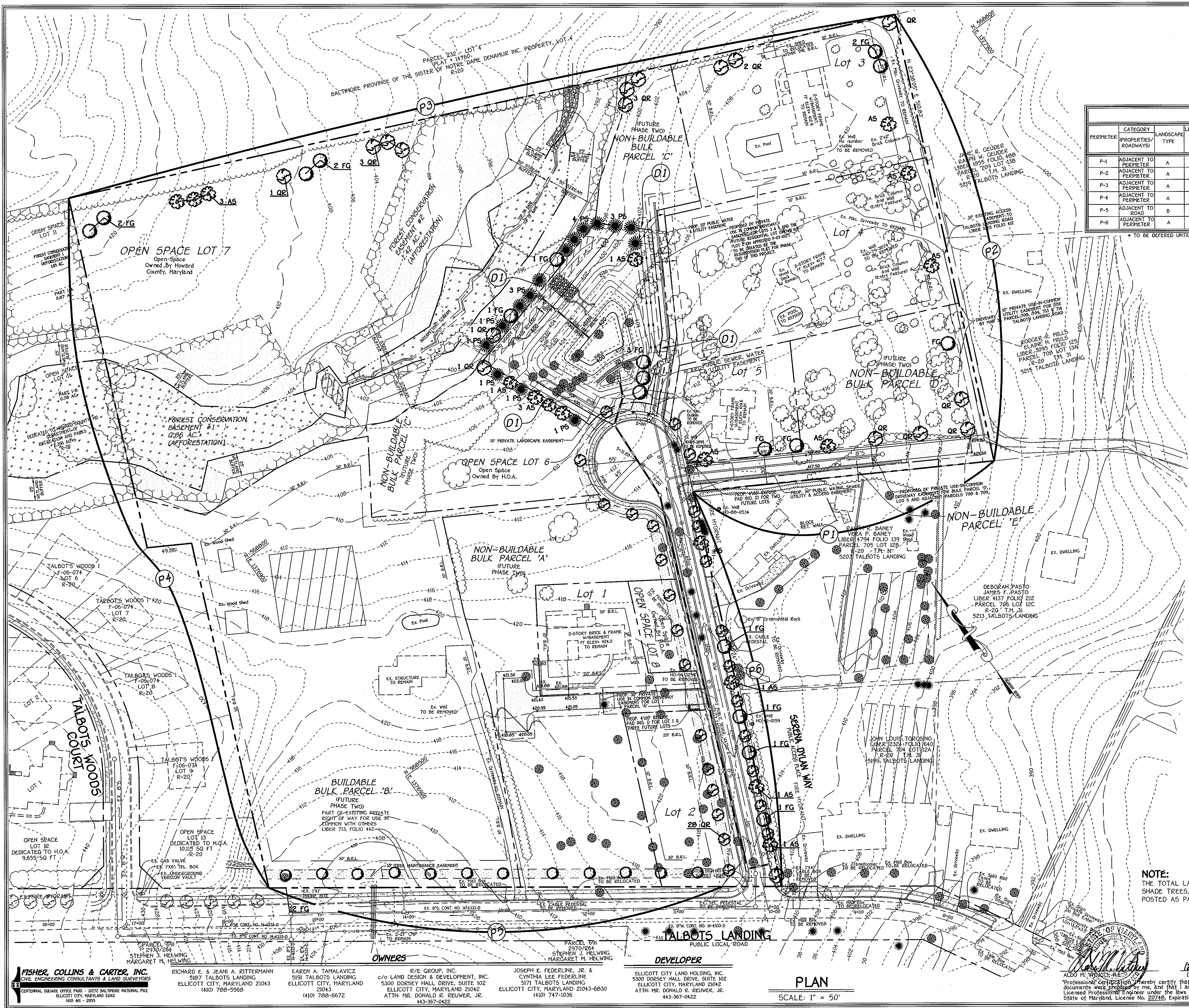
PRIVATE REFUSE PAD LANDSCAPING		
4' x 10' PAD NUMBER:	PAD NO. 1	PAD NO. 2
NUMBER OF TREES REQUIRED:	---	---
SHADE TREES	---	---
EVERGREEN TREES	8	8
SHRUBS	---	---
NUMBER OF TREES PROVIDED:	---	---
SHADE TREES	---	---
EVERGREEN TREES	8	8
SHRUBS - AZALEA 'BLAAS' PINK' / BLAAS' PINK AZALEA PLANTED 18"-24" APART	---	---

FINANCIAL SURETY FOR THE 16 PROVIDED LANDSCAPE SHRUBS SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF (16 x \$30.00) = \$480.00.

NOTE:
 THE TOTAL LANDSCAPE SURETY OF \$18,030.00 FOR THE 51 SHADE TREES, 15 EVERGREEN TREES & 16 SHRUBS SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.

**STREET TREE AND LANDSCAPE PLAN
 TALBOTS WOODS II**
 PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8,
 NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
 NON-BUILDABLE PARCEL 'E' AND
 BUILDABLE BULK PARCEL 'B'

TAX MAP No. 31 ZONING R-20
 GRID No. 16 PARCEL Nos. 713 through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 6 OF 14



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SQUARE OFFICE PARK - 10277 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 (410) 481-2993

OWNERS
 RICHARD E. & JEANI A. RITTERMANN
 5187 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 780-5568

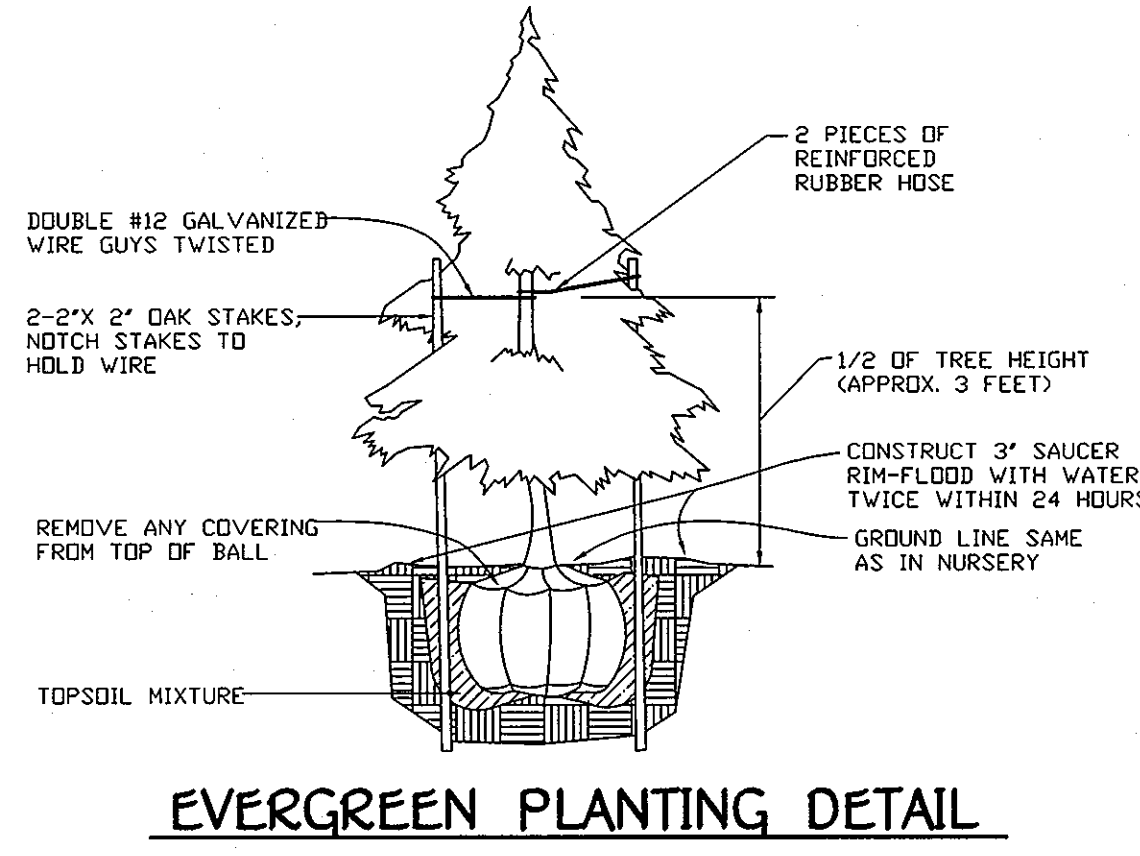
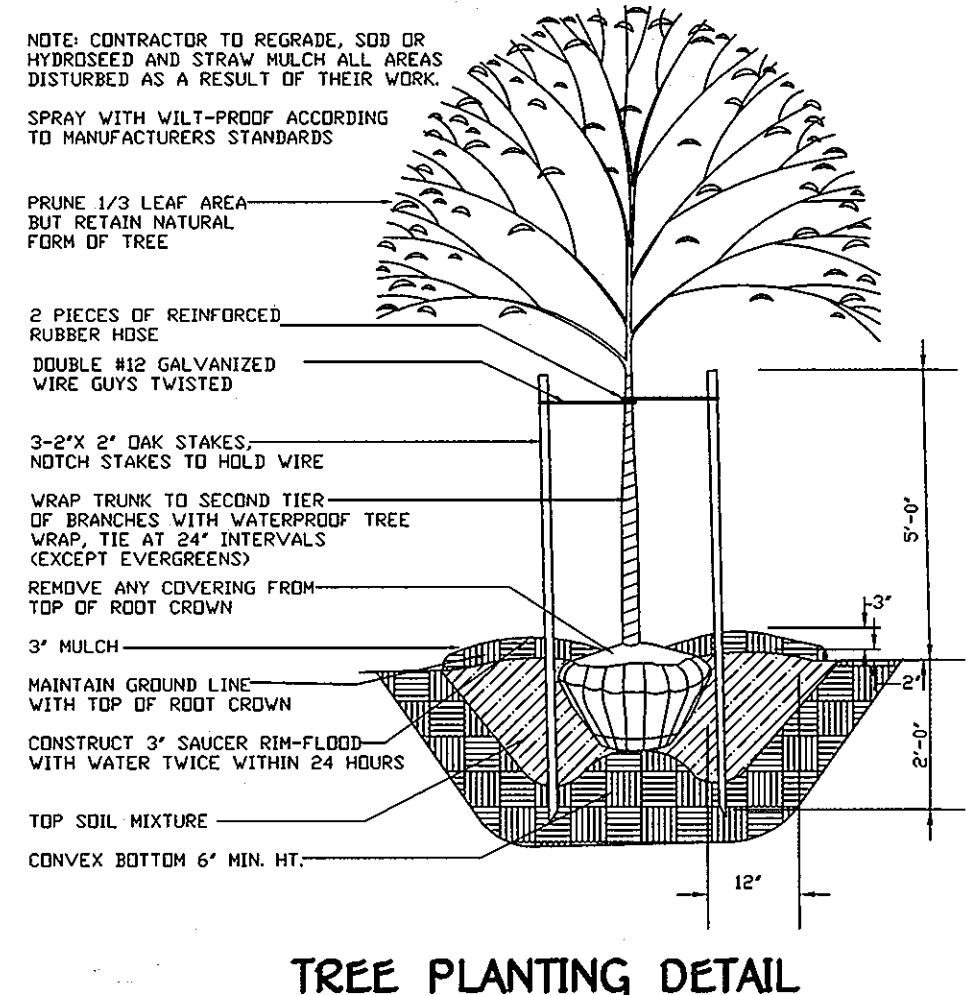
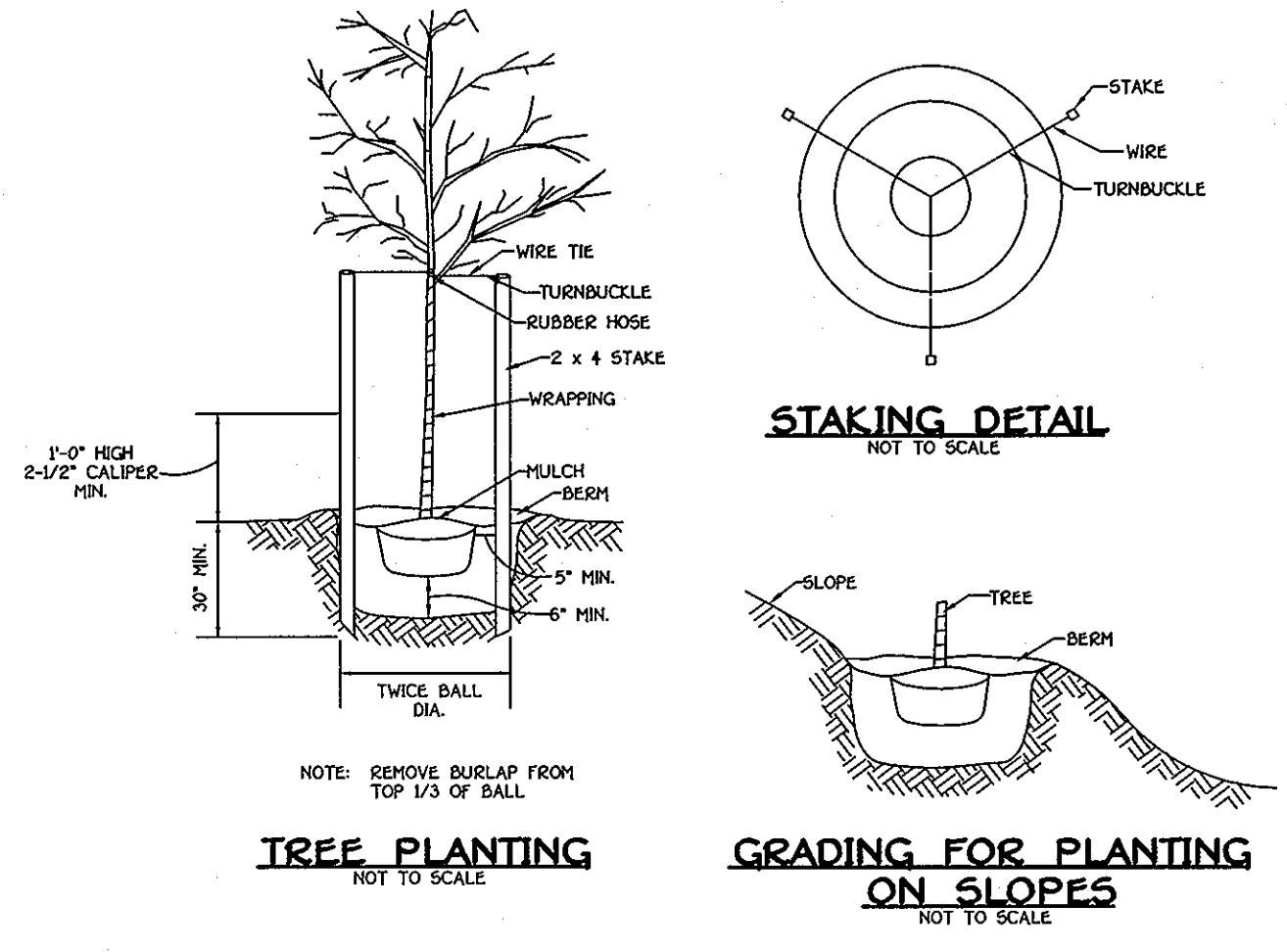
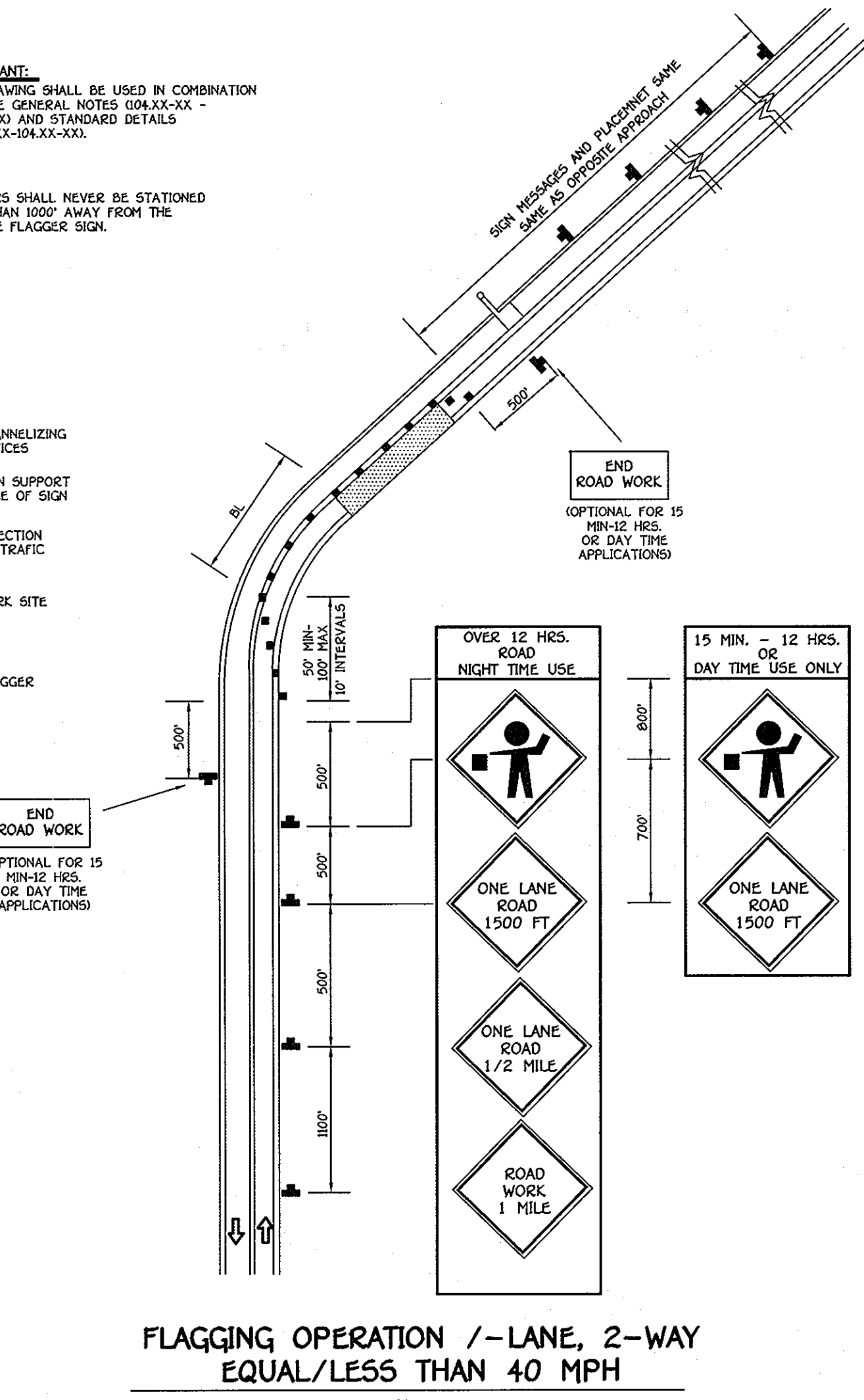
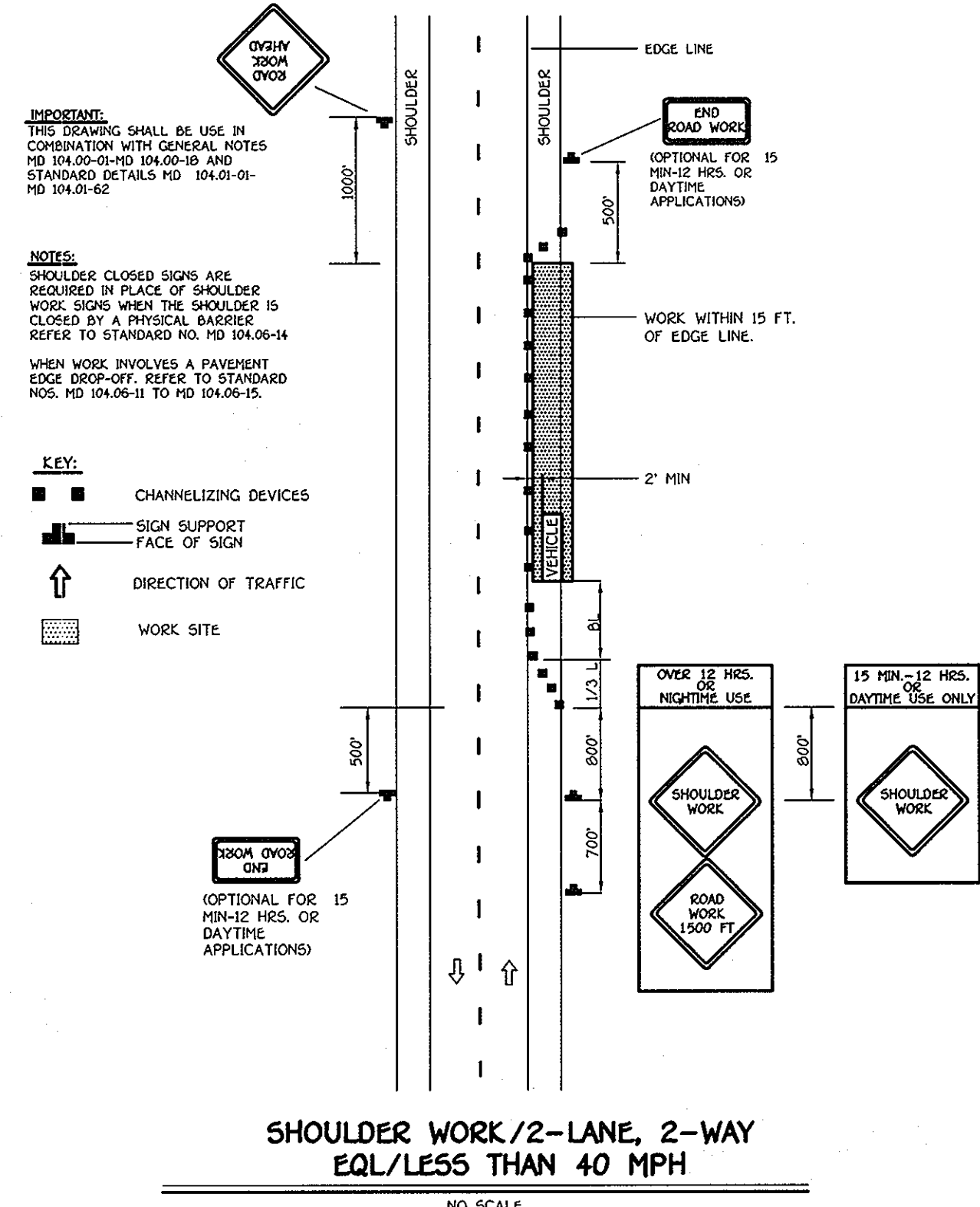
DEVELOPER
 R/E GROUP, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

PROFESSIONAL CERTIFICATION
 I, ALDO M. VINCIGUERRA, hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.
 ALDO M. VINCIGUERRA
 DATE: 12-8-08

PLAN
 SCALE: 1" = 50'

12/08/08 06:03:33 (m:\projects\121512008\205\05 PM) (ames)

APPROVED: DEPARTMENT OF PUBLIC WORKS
Walter Z. Marshall 1-12-09
 CHIEF, BUREAU OF HIGHWAYS
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Stank 1/14/09
 CHIEF, DIVISION OF LAND DEVELOPMENT
David Edmund 1/14/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug; no heated-in plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines For Baltimore-Washington Metropolitan Areas", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all agenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope.

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.

This plan is intended for landscape use only. see other plan sheets for more information on grading, sediment control, layout, etc.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410.484.2899

OWNERS

RICHARD E. & JEANI A. RITTERMANN
 5187 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 798-5568

KAREN A. TAMALAVICZ
 5191 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 798-6672

DEVELOPER

R/E GROUP, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

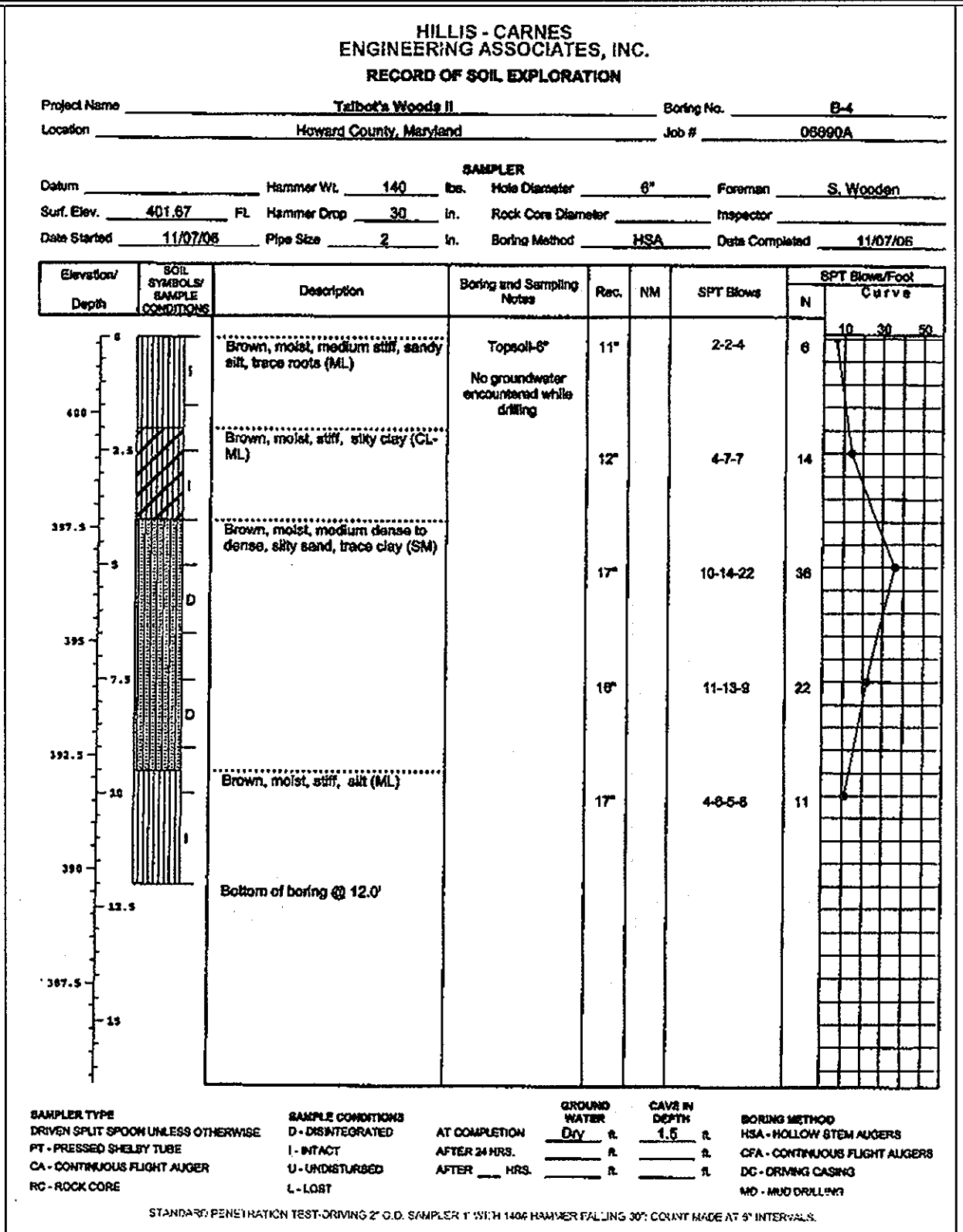
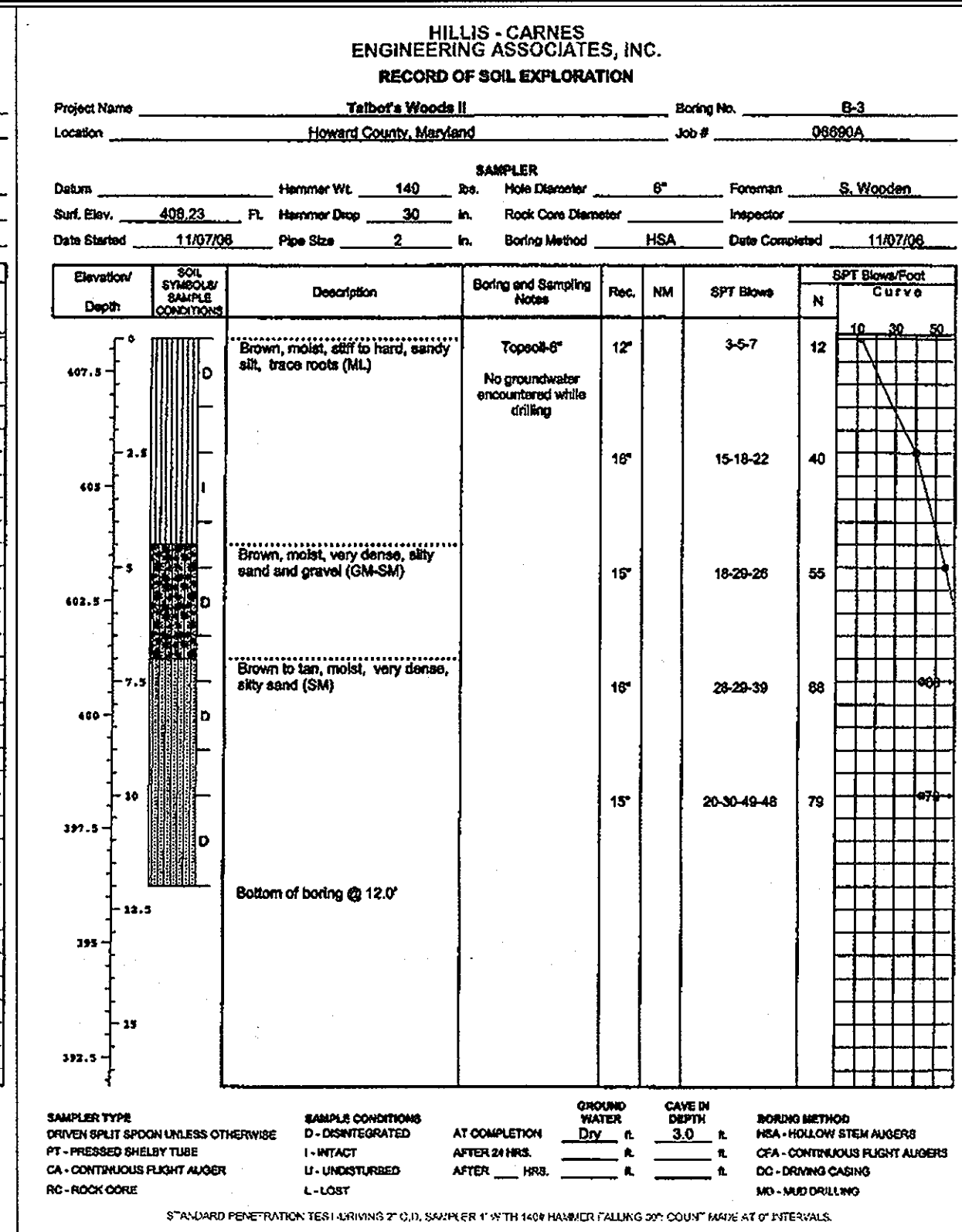
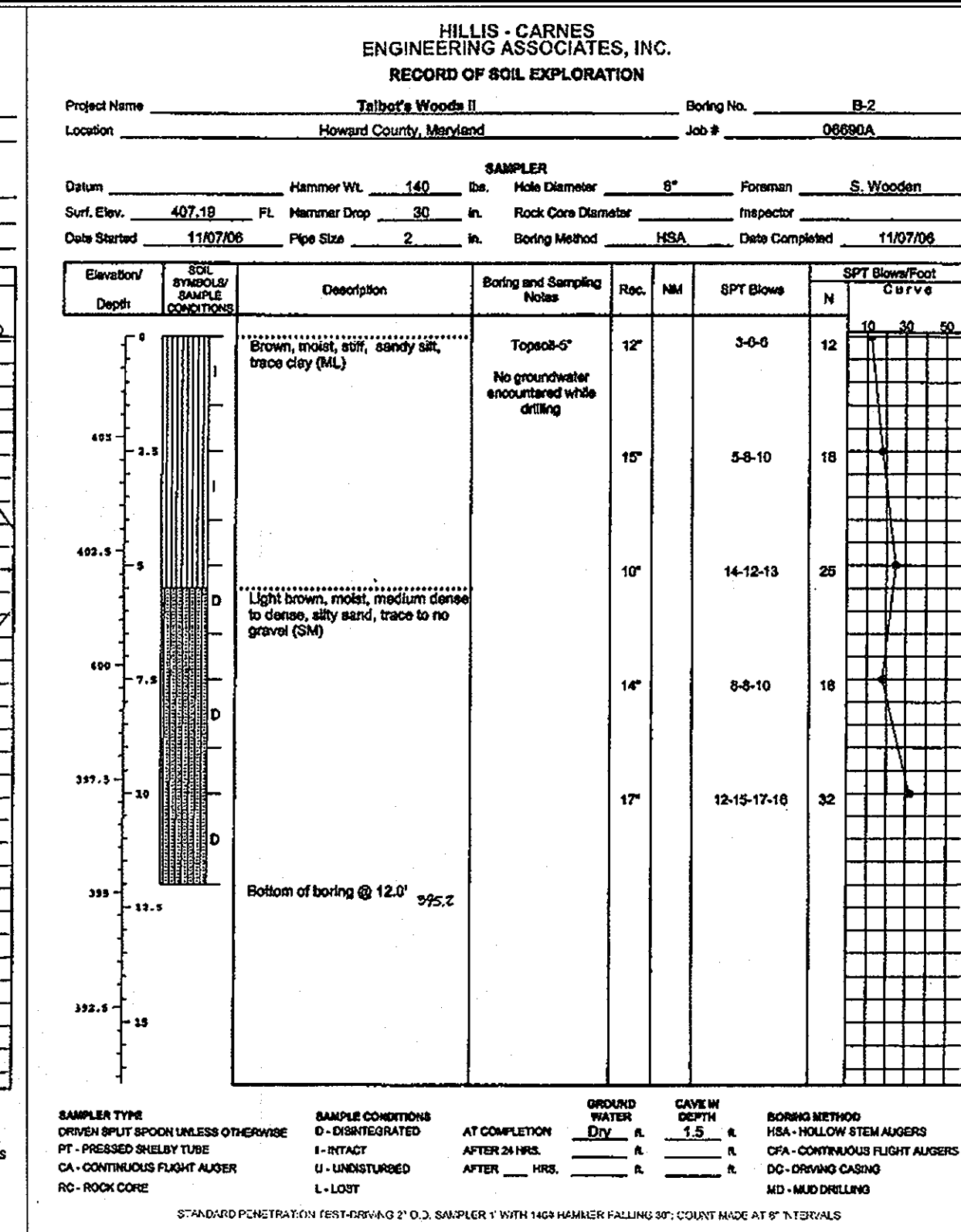
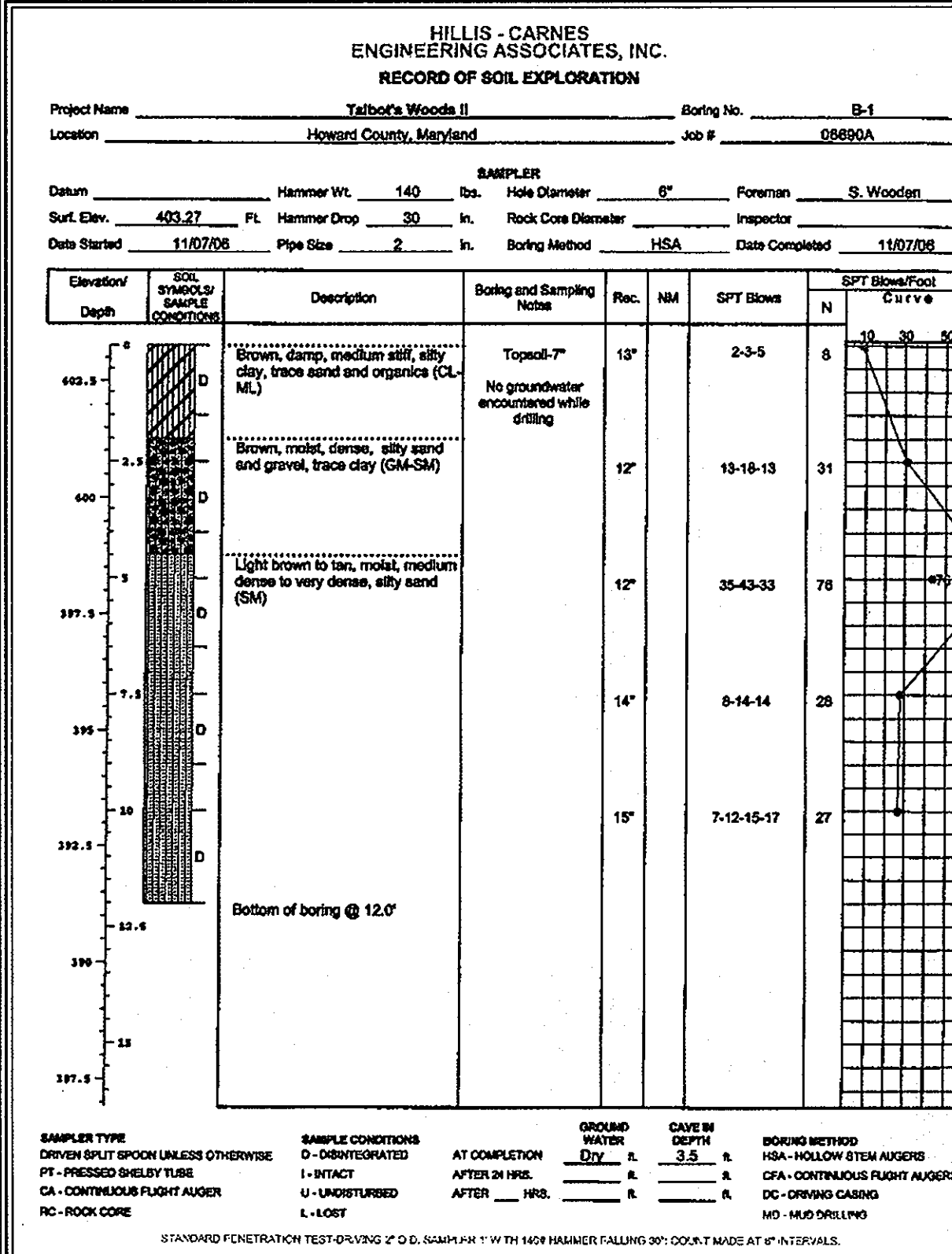
JOSEPH E. FEDERLINE, JR. & CYNTHIA LEE FEDERLINE
 5171 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043-6830
 (410) 747-1036

STATE OF MARYLAND
 Professional Certification of these documents prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.

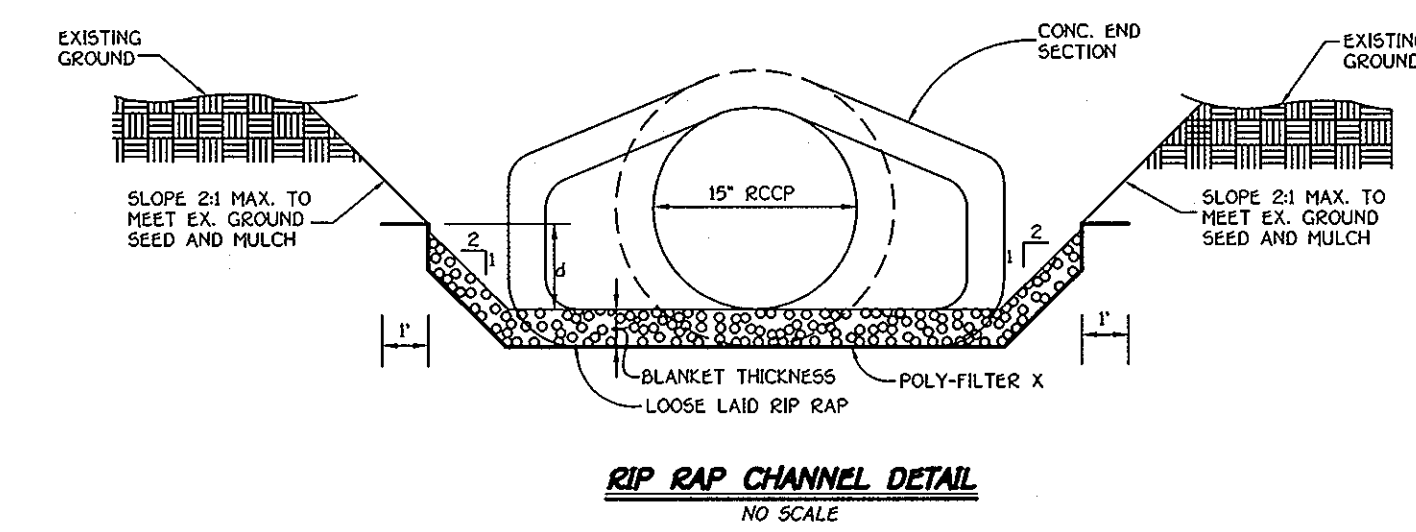
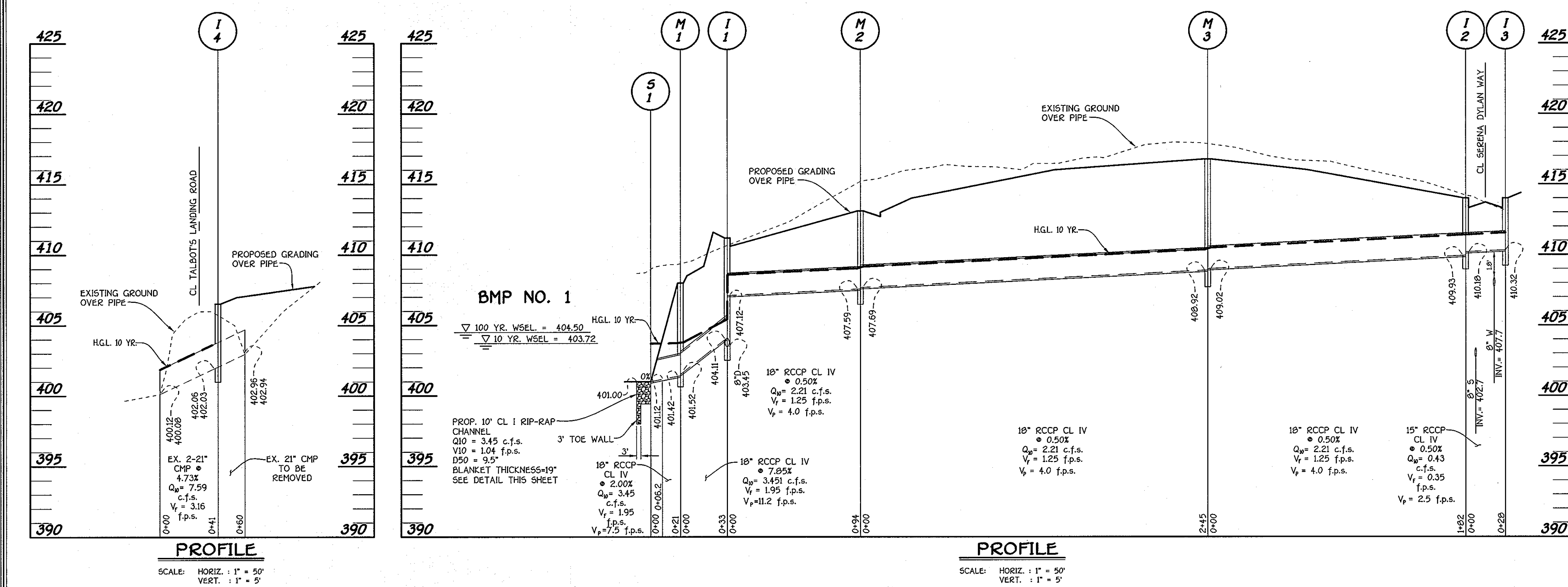
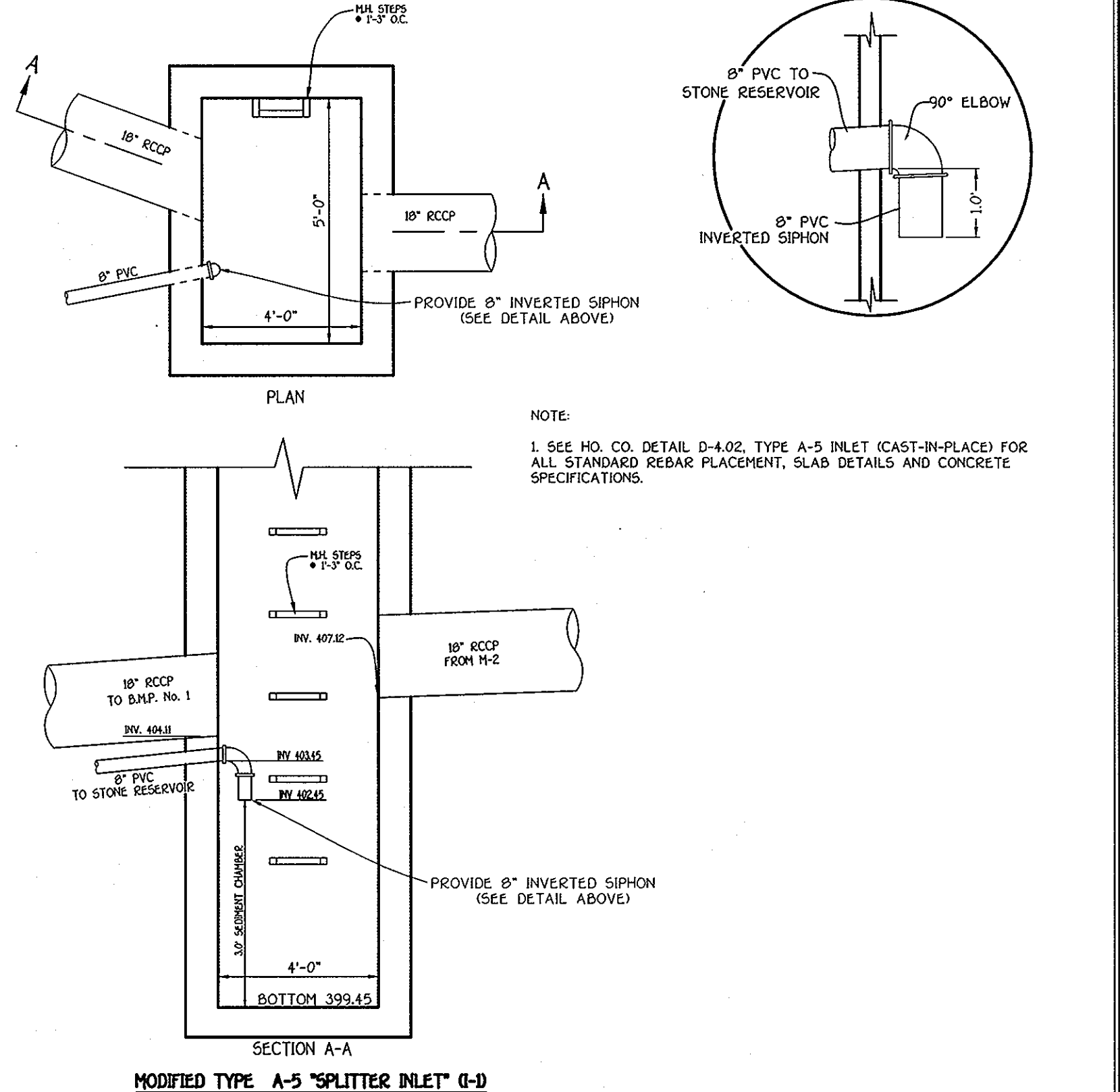
ALDO M. VITTOCI, P.E.
 DATE: 12-08

TRAFFIC CONTROL PLANS & LANDSCAPING NOTES AND DETAILS
TALBOTS WOODS II
 PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8, NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D', NON-BUILDABLE PARCEL 'E' AND BUILDABLE BULK PARCEL 'B'

TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 Through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 7 OF 14



APPROVED: DEPARTMENT OF PUBLIC WORKS
 W. J. [Signature] 1-12-09 DATE
 CHIEF, BUREAU OF HIGHWAYS
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 C. [Signature] 1/14/09 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 D. [Signature] 1.14.9 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS

- The subgrade for the filter, rip-rap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
- Stone for the rip-rap or gabion outlets may be placed by equipment. Both shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works.

RIP-RAP CHANNEL DESIGN DATA

STRUCTURE	AREA	WETTED PERIMETER	R	R ^{2/3}	S	S ^{1/2}	W	d	n	Q (c.f.s.)	Q (c.f.s.)	OP-RAP SIZE D ₅₀ D _{max}	BLANKET THICKNESS
S-1	3.30	13.16'	3.01	2.07	0.0050	0.0707	12'	0.26'	0.04	1.04	3.45	9.5" 15"	19"

* - DENOTES WIDTH AT END OF 10' RIPRAP CHANNEL.

PIPE SCHEDULE

SIZE	CLASS	LENGTH
15"	RCCP, CLASS IV	28 L.F.
18"	RCCP, CLASS IV	575 L.F.
8"	PERF PVC	69 L.F.
8"	SOLID PVC	30 L.F.
4"	D.I.P. POND DRAIN	69 L.F.

STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEVATION	BOTTOM ELEVATION	INV. IN	INV. OUT	CL STA/COORDINATES	"W"	TYPE	REMARKS
I-1	411.20	400.45	407.12 (107)	404.11 (107)	LP STA 1+72.00	2.5'	MODIFIED "A-5"	SEE ABOVE
I-2	413.64	---	410.18 (157)	409.93 (167)	12' LT. CL STA 0+48.42	2.5'	A-10	D - 4.03
I-3	413.64	---	---	---	12' RT. CL STA 0+48.42	2.5'	A-5	D - 4.01
I-4	406.77	---	402.03 (217)	9.66' RT. CL STA 1+37.30	2.5'	A-5	D - 4.01	
I-5	410.50	---	---	---	402.00 N 5680713.24 E 1377354.41	---	18" END SECTION	D - 5.51
M-1	408.00	---	401.52 (107)	401.42 (107)	N 568074.56 E 1377305.64	---	4" STD. MANHOLE	G - 512
M-2	413.10	---	407.69 (107)	407.59 (107)	11' LT. CL STA 4+81.85	---	4" STD. MANHOLE	G - 512
M-3	416.76	---	409.02 (107)	408.92 (107)	15' LT. CL STA 2+32.11	---	4" STD. MANHOLE	G - 512
M-4	402.60	---	398.60 (47)	398.10 (47)	N 5680821.40 E 1377342.73	---	4" STD. MANHOLE	G - 512

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 1822 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042

OWNERS
 RICHARD E. & JEANI A. RITTERMANN
 5187 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 790-5568

DEVELOPER
 R/E GROUP, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

DEVELOPER
 ELLICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

Professional certification. I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20749, Expiration Date 2-22-09.

STORM DRAIN PROFILES, SOIL BORINGS AND DETAILS
TALBOTS WOODS II
 PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8
 NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
 NON-BUILDABLE PARCEL 'E' AND
 BUILDABLE BULK PARCEL 'B'
 TAX MAP NO. 31 GRID NO. 15 PARCEL NOS. 713 THROUGH 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 9 OF 14

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
Using vegetation as cover for barren soil to protect it from forces that cause erosion. PURPOSE
Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil.

- A. Site Preparation
1. Install erosion and sediment control structures (either temporary or permanent) such as diversion, grade stabilization structures, berms, waterways, or sediment control basins.

- B. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine soil amendment ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres.

- C. Seeded Preparation
1. Temporary Seeding
Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment.

- D. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law.

- E. Methods of Seeding
1. Hydroseeding
Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cable-knife seeder.

- F. Mulch Specifications (in order of preference)
1. Straw
Straw shall consist of thoroughly threshed wheat, rye or oat straw, perpendicular bright in color, and shall not be musty, moldy, chaff, decayed, or excessively dusty and shall be free of noxious weed seeds.

- G. Mulch Application
1. If grading is completed outside of the seeding season, mulch should be applied as prescribed in this section and maintained until the seeding rate is completed.

- Incremental Stabilization - Cut Slopes
All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses.

- Incremental Stabilization - Fill Slopes
Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.

- SEED MIXTURES - TEMPORARY SEEDING
1. Select one or more of the species or mixtures listed in Table 26 for the appropriate Plant Hardness Zone from (Figure 5) and enter them in the Permanent Seeding Summary below.

Table with 5 columns: No., Species, Application Rate (lb/acre), Seeding Dates, Seeding Depths. Includes entries for BARLEY, OATS, and RYE.

Table with 5 columns: No., Species, Application Rate (lb/acre), Seeding Dates, Seeding Depths. Includes entries for TALL FESCUE, PERENNIAL RYE GRASS, and HARD FESCUE.

- SEED MIXTURES - PERMANENT SEEDING
Seeding grass and legumes to establish ground cover for a minimum of one year on disturbed areas generally occurs within the top 3-5" of soil.

- SEED MIXTURES - PERMANENT SEEDING
1. Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone from (Figure 5) and enter them in the Permanent Seeding Summary below.

Table with 5 columns: No., Species, Application Rate (lb/acre), Seeding Dates, Seeding Depths. Includes entries for TALL FESCUE, PERENNIAL RYE GRASS, and HARD FESCUE.

OWNER: FISHER, COLLINS & CARTER, INC. ENGINEERING CONSULTANTS & LAND SURVEYS. ADDRESS: 10722 BALTIMORE NATIONAL PIKE, ELICOTT CITY, MARYLAND 21043.

OWNER: RICHARD E. & JEANI A. RITTERMANN, 2187 TALBOTS LANDING, ELICOTT CITY, MARYLAND 21043.

DEVELOPER: R/E GROUP, INC. c/o LAND DESIGN & DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102, ELICOTT CITY, MARYLAND 21043.

STORM WATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-37B. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation
Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil.

EARTH FILL
Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials.

Structure Backfill
Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness.

Pipe Conduits
All pipes shall be circular in cross section. Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe.

Erosion and Sediment Control
Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized.

OPERATION AND MAINTENANCE
An operation and maintenance plan in accordance with local or State regulations will be prepared for all ponds.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth.

Plastic Pipe
The following criteria shall apply for plastic pipe:
1. Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1799 or ASTM D-2241.

Concrete
Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standards Specifications for Construction and Materials, Section 414, Mix No. 3.

DUST CONTROL
CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS. PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES.

SEEDIMENT EROSION CONTROL NOTES
TALBOTS WOODS II
PHASE ONE
BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8, NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D', NON-BUILDABLE PARCEL 'E' AND BUILDABLE BULK PARCEL 'B'.

SEAL OF STATE OF MARYLAND
DATE: 12-9-09
ALDO R. BARNES, REGISTERED PROFESSIONAL ENGINEER

APPROVED: DEPARTMENT OF PUBLIC WORKS
M. WILSON, CHIEF, BUREAU OF HIGHWAYS
APPROVED: DEPARTMENT OF PLANNING AND ZONING
G. HANCOCK, CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: DEPARTMENT OF PUBLIC WORKS
M. WILSON, CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
G. HANCOCK, CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION

By the Developer:
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program...

Signature Of Developer: DONALD R. REUBER, JR.
Printed Name Of Developer: DONALD R. REUBER, JR.

By The Engineer:
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions, This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction...

Signature Of Engineer: ALDO R. BARNES, JR.
Printed Name Of Engineer: ALDO R. BARNES, JR.

- Sequence of Construction
1. OBTAIN A GRADING PERMIT. (1 WEEK)
2. NOTIFY "MHS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777...

- Care of Water during Construction
All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be excavated...

- Excavation
Excavation - This is generally done as an emergency measure. The site is sprinkled with water until the surface is moist, repeat as needed until the ground is irrigated to the point that runoff begins to flow.

- Calculus Channel
CALCULUS CHANNEL - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED REAPPLICATION.

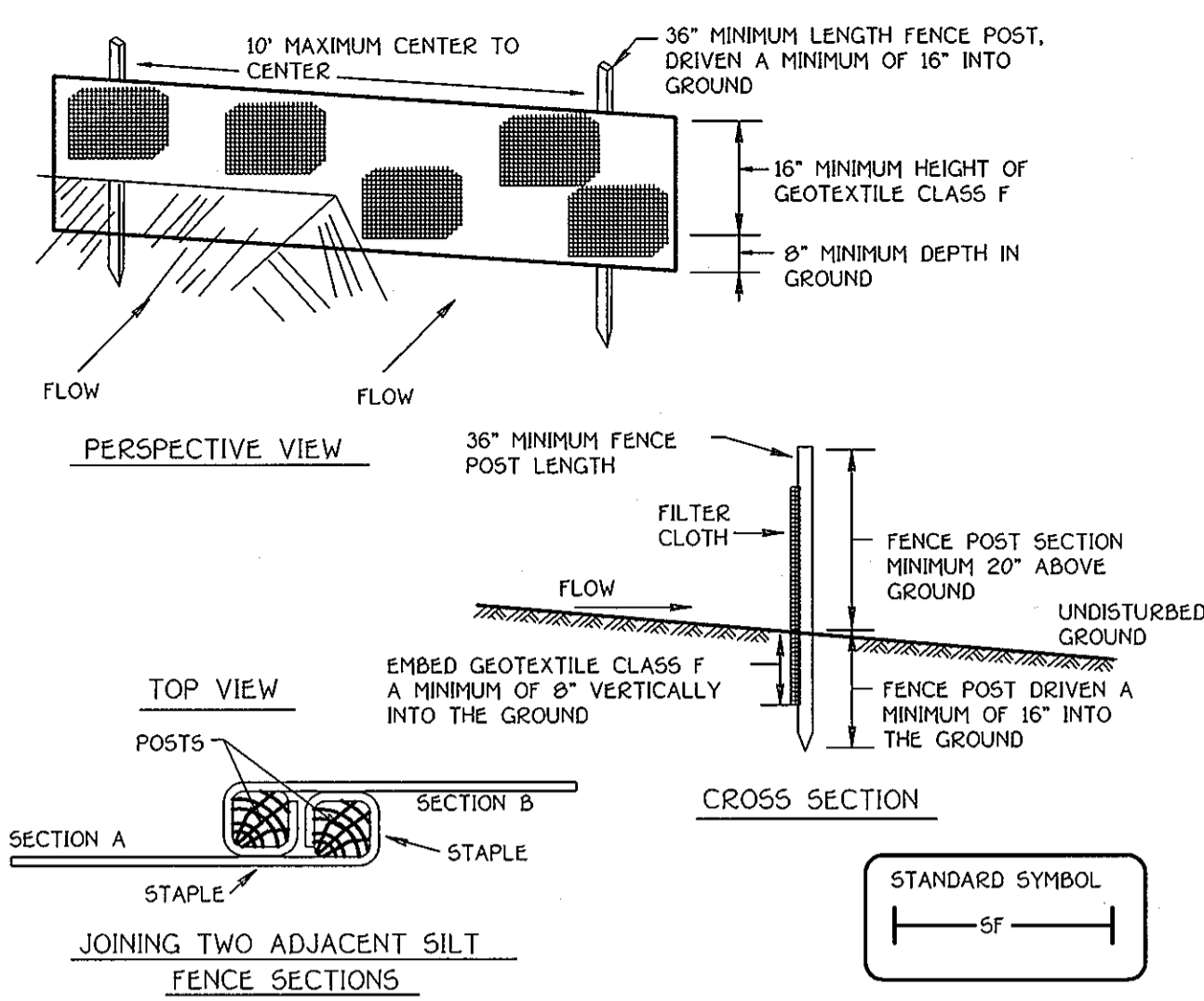
- Soils
SOILS - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SEAL OF STATE OF MARYLAND
DATE: 12-9-09
ALDO R. BARNES, REGISTERED PROFESSIONAL ENGINEER

SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSING AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (S13-1855).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERE TO.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7) SITE ANALYSIS:

TOTAL AREA OF SITE	15,229 ACRES
AREA DISTURBED	4.62 ACRES
AREA TO BE ROOFED OR PAVED	1.19 ACRES
AREA TO BE VEGETATIVELY STABILIZED	3.43 ACRES
TOTAL CUT	8,300 CU.YDS.
TOTAL FILL	8,300 CU.YDS.
- 8) OFFSITE WASTE/BORROW AREA LOCATION N/A
- 9) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 10) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.



Construction Specifications

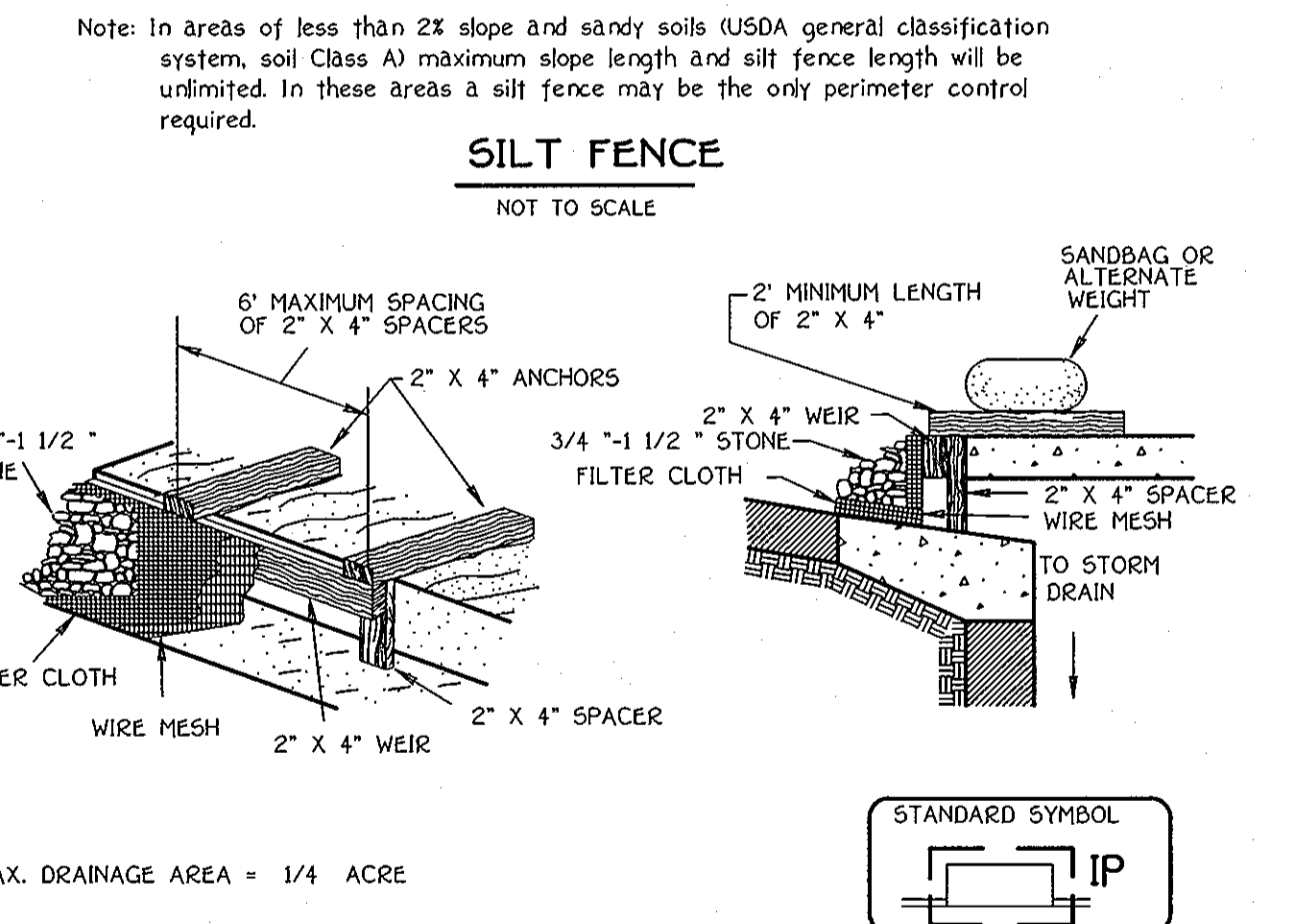
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal/ft / minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min)	Test: MSMT 322
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

Silt Fence Design Criteria

Slope Steepness	(Minimum) Slope Length	(Maximum) Silt Fence Length
flatter than 5:1	unlimited	unlimited
5:1 to 10:1	125 feet	1000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2X slope and sandy soils (USDA general classification system, soil class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

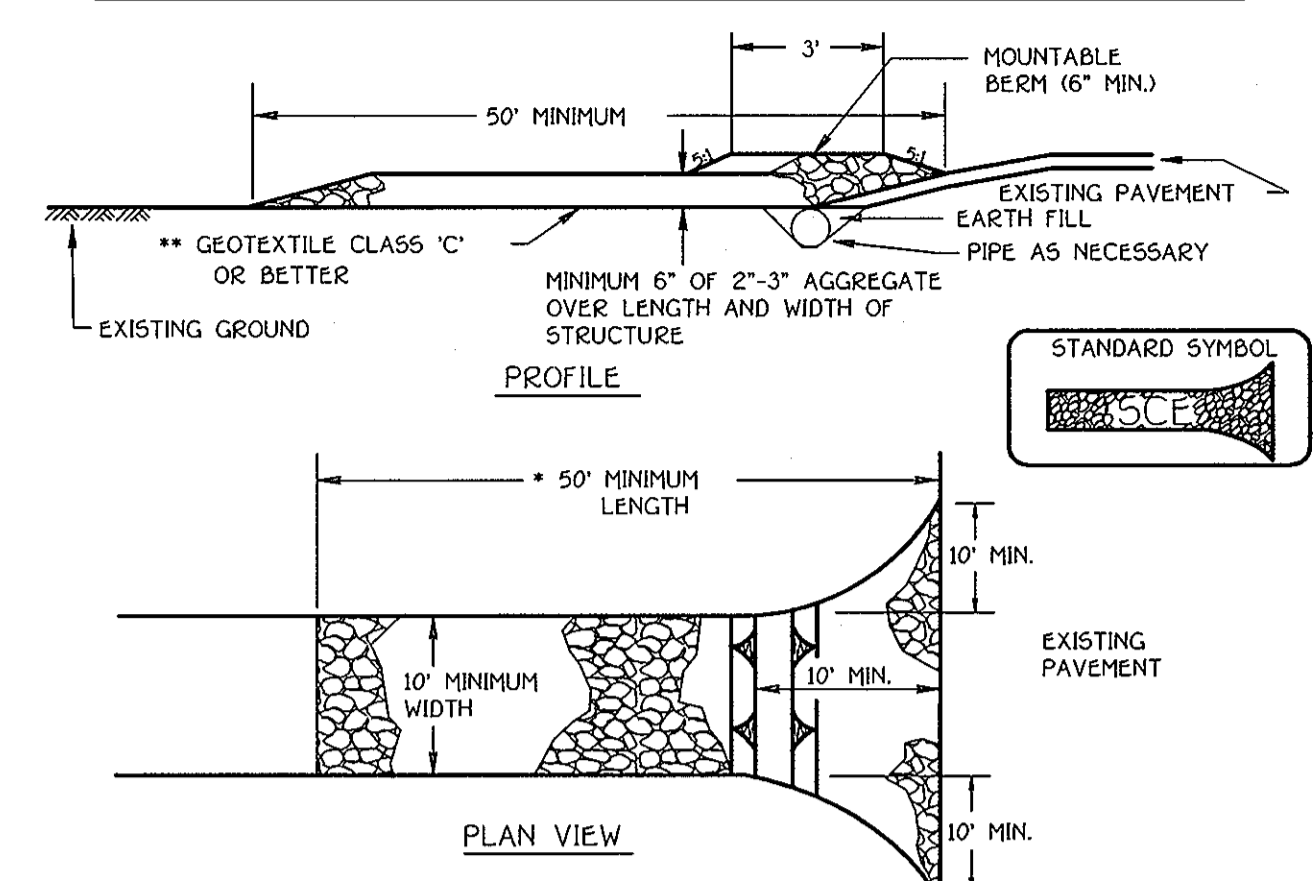


Construction Specifications

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
2. Place a continuous piece of Geotextile Class E of the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
3. Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
5. The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
8. Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

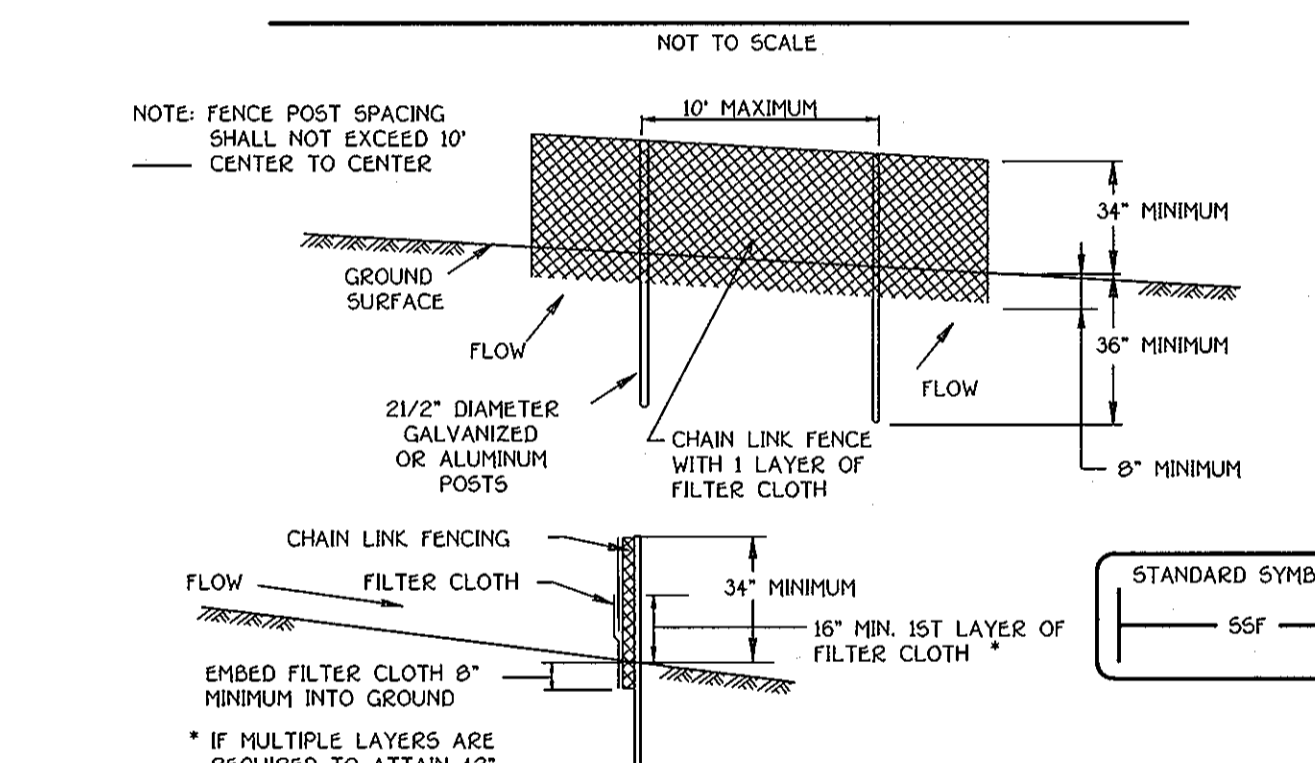
CURB INLET PROTECTION
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE



- Construction Specification**
1. Length - minimum of 50' (*30' for single residence lot).
 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounded berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. when the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

SUPER SILT FENCE



- Construction Specifications**
1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
 2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
 3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 4. Filter cloth shall be embedded a minimum of 8" into the ground.
 5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 6. Maintenance shall be performed as needed and silt bulges removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
 7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal/ft / minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min)	Test: MSMT 322

Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

By the Developer:
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The As-Built Plan Of The Pond Within 30 Days Of Completion. I Also Assume Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *Donald R. Reulwer, Jr.* Date: 12-8-08
Printed Name of Developer: DONALD R. REULWER, JR.

By the Engineer:
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The As-Built Plan Of The Pond Within 30 Days Of Completion. I Assume Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Engineer: *Donald R. Reulwer, Jr.* Date: 12-8-08
Printed Name of Engineer: DONALD R. REULWER, JR.

These Plans Represent A Professional Opinion Based On My Personal Knowledge Of The Site Conditions. I Assume Periodic On-Site Inspections By The Howard Soil Conservation District.

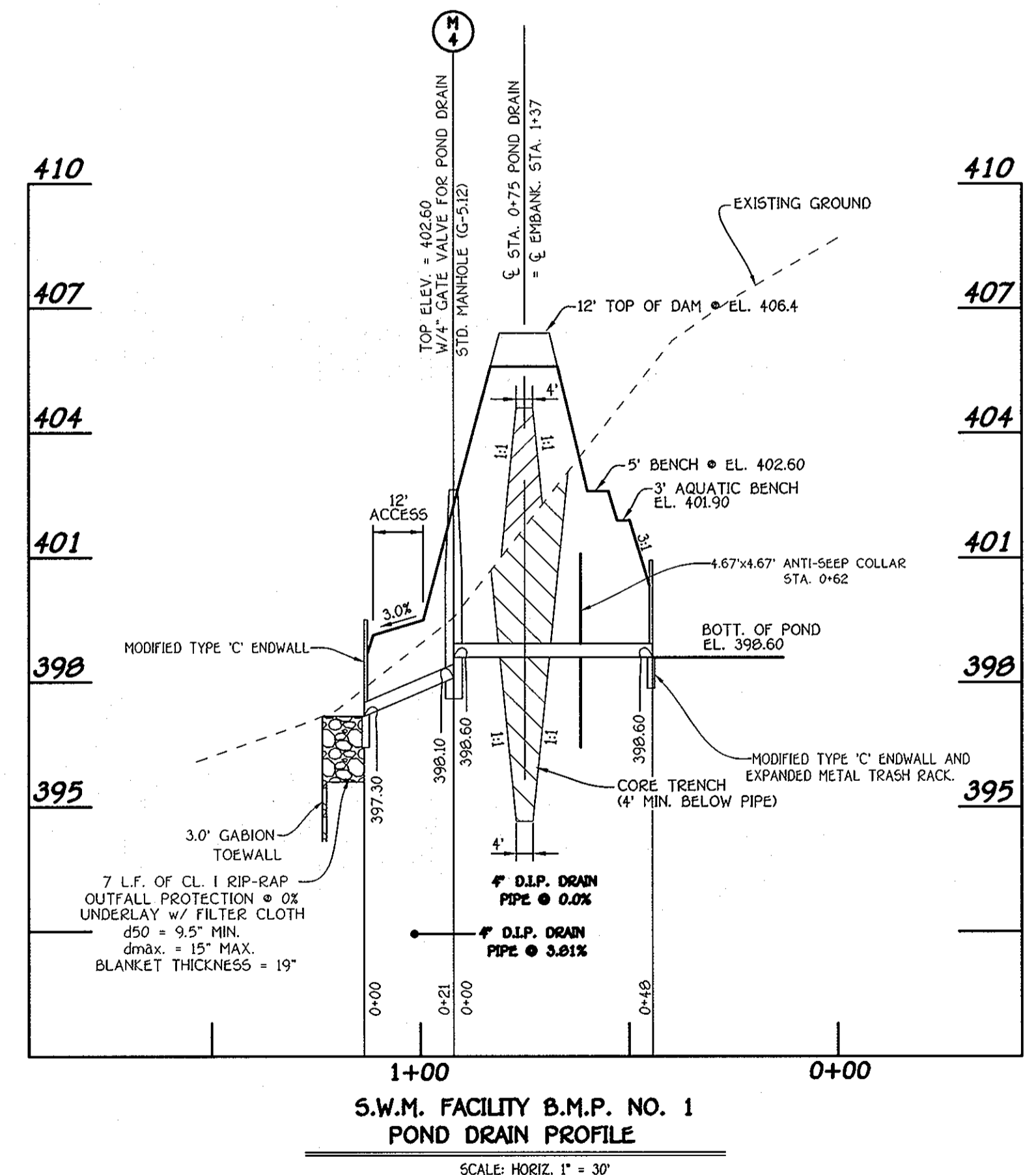
Signature of Department of Public Works: *William J. Haggard* Date: 1-12-09
Chief, Bureau of Highway Maintenance

Signature of Department of Planning And Zoning: *David Edwards* Date: 1/14/09
Chief, Development Engineering Division

AS-BUILT CERTIFICATION
I Herby Certify That The Facility Shown On This Plan Was Constructed As Shown On The "As-Built" Plans And Meets The Approved Plans And Specifications.

Signature: _____ P.E. No. _____ Date: _____

Certify Means To State Or Declare A Professional Opinion Based Upon On-site Inspections And Material Tests Which Are Conducted During Construction. The On-site Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed By Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.



S.W.M. FACILITY B.M.P. NO. 1
POND DRAIN PROFILE
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'

OWNERS

RICHARD E. & JEANI A. RITTERMANN
5187 TALBOTS LANDING
ELLCOTT CITY, MARYLAND 21043
(410) 788-5568

KAREN A. TAMALAVICZ
5191 TALBOTS LANDING
ELLCOTT CITY, MARYLAND 21043
(410) 788-6672

R/E GROUP, INC.
C/O LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
ATTN: MR. DONALD R. REULWER, JR.
443-367-0422

JOSEPH E. FEDERLINE, JR. & CYNTHIA LEE FEDERLINE
5171 TALBOTS LANDING
ELLCOTT CITY, MARYLAND 21043-6830
(410) 747-1036

DEVELOPER

ELLCOTT CITY LAND HOLDING, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
ATTN: MR. DONALD R. REULWER, JR.
443-367-0422

Professional Engineer Seal for Donald R. Reulwer, Jr., License No. 20748, Expiration Date 2-22-09.

Signature: *Donald R. Reulwer, Jr.* Date: 12-8-08

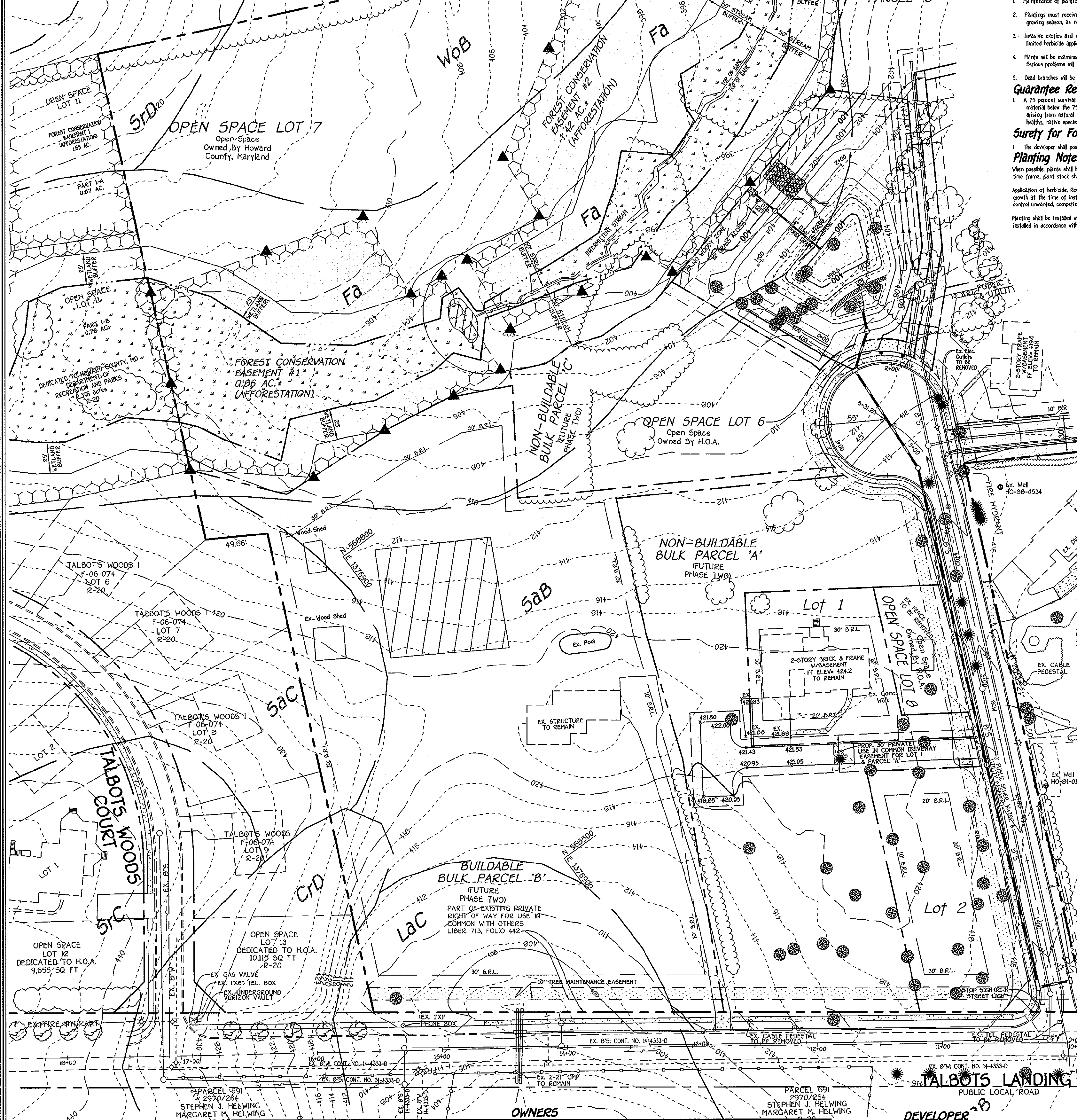
SEDIMENT EROSION CONTROL NOTES AND DETAILS
TALBOTS WOODS II
PHASE ONE
BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8
NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
NON-BUILDABLE PARCEL 'E' AND
BUILDABLE BULK PARCEL 'B'

TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 Through 720
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
ZONING: R-20
DATE: DECEMBER, 2008
SHEET 10 OF 14

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SOIL	NAME	CLASS
CrD	Croon and Evesboro soils, 10 to 15 percent slopes	C
Fa	Fallingston sandy loam, 0 to 2 percent slopes	D
Lac	Lagore silt loam, 8 to 15 percent slopes	C
SaB	Sassafras loam, 2 to 5 percent slopes	B
SaC	Sassafras loam, 5 to 10 percent slopes	B
SaD	Sassafras gravelly sandy loam, 2 to 5 percent slopes	C
SaE	Sassafras and Croon soils, 5 to 10 percent slopes	C
SaF	Sassafras and Croon soils, 10 to 15 percent slopes	C
Wob	Woodstown sandy loam, 2 to 5 percent slopes	C

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas



Planting/Soil Specifications

1. Installation of bare-root plant stock shall take place between March 15 - April 20 (bare-root stock March 15 - May 30 or September 15 - November 15. Fall planting of bare stock is not recommended).
2. Disturbed areas shall be seeded and amended as per general construction plan for project. Planting areas not impacted by site grading shall have no additional topsoil installed.
3. Bare-root plants shall be installed so that the top of root mass is level with the top of existing grade. Roots shall be dipped in anti-desiccant gel prior to planting. Bare-root plants shall consist of 3 plants existing soil to 1 part pine fines or equivalent.
4. Fertilizer shall consist of Agriform 22-0-2, or equivalent, applied as per manufacturer's specifications, for wood plants. Herbaceous plants shall be fertilized with Comcoke 8-6-2.
5. Plant material shall be transported to the site in a banded or covered truck. Plants shall be kept moist prior to planting.
6. All nonorganic debris associated with the planting operation shall be removed from the site by the contractor.

Sequence of Construction

1. Sediment control shall be installed in accordance with general construction plan for site.
2. Plants shall be installed as per Plant Schedule and the Planting/Soil Specifications for the project.
3. Upon completion of the planting, signage shall be installed as shown.
4. Planting shall be maintained and guaranteed in accordance with the Maintenance and Guarantee requirements for project.

Maintenance of Plantings

1. Maintenance of plantings shall last for a period of 2 years.
2. Plantings must receive 2 gallons of water, either through precipitation or watering, weekly during the 1st growing season, as needed. During second growing season, once a month during May-September, if needed.
3. Invasive species and noxious weeds will be removed, as required, from planting areas mechanically and/or with limited herbicide application (not spot-treatment) where appropriate. All field successional species will be retained. Serious problems will be treated with the appropriate agent.
4. Plants will be examined a minimum two times during the growing season for serious plant pests and diseases. Serious problems will be treated with the appropriate agent.
5. Dead branches will be pruned from plantings.

Guarantee Requirements

1. A 75 percent survival rate of tree/whip plantings will be required at the end of 2 growing seasons. All plant material below the 75 percent threshold will be replaced at the beginning of the next growing season. Wild trees arising from natural regeneration may be counted up to 50 percent towards the total survival number if they are healthy, native species at least 12 inches tall.

Surety for Forestation

1. The developer shall post a surety bond, letter of credit or other acceptable form of security to ensure that forestation plantings are completed.

Planting Notes

When possible, plants shall be installed within 24 hours of delivery. If installation cannot be performed within this time frame, plant stock shall be watered and protected from desiccation.

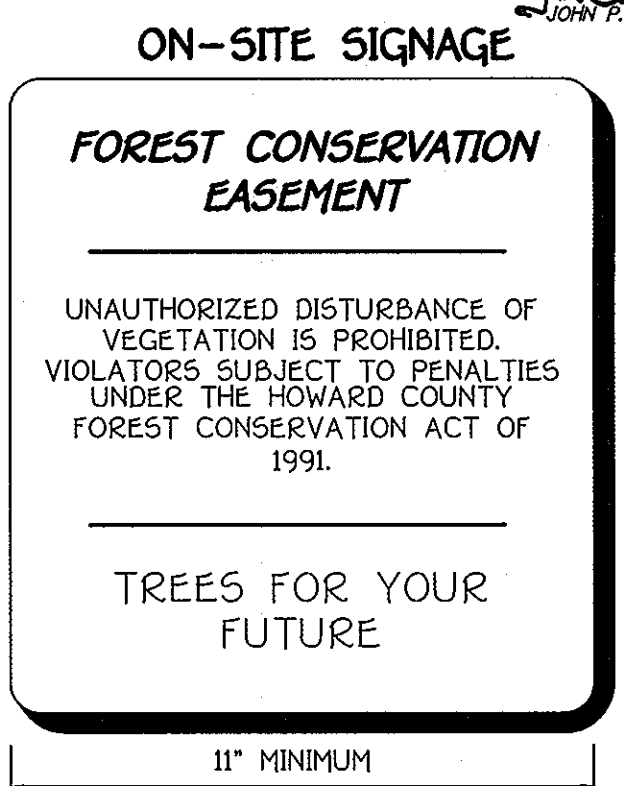
Application of herbicide, Roundup or equivalent, may be used to protect plant material from old field successional growth at the time of installation. Heavy re-vegetation of herbicide, or a combination thereof, may be used to control unwanted competing vegetation.

Planting shall be installed within one year or two growing seasons of subdivision approval. Plantings shall be installed in accordance with the time schedule indicated in Note 1 of the planting/Seeding Specifications.

Eco-Science Professionals, Inc.
 CONSULTING ECOLOGISTS

MD DNR Qualified Professional
 USACE Certified Professional
 Certification # WDCPS340000440
 JOHN P. CAROLLES

APPROVED: DEPARTMENT OF PUBLIC WORKS
 M. Williams, Chief, Bureau of Highways, 1-12-09 DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Linda Hunt, Chief, Division of Land Development, 1/19/09 DATE
 David Quinn, Chief, Development Engineering Division, 1/14/09 DATE



FCP NOTES:

1. Any Forest Conservation Easement (FCE) area shown herein is subject to protective covenants which may be found in the Land Records of Howard County which restrict the disturbance and use of these areas.
2. Forested areas occurring outside of the FCE shall not be considered part of the FCE and shall not be subject to protective land covenants.
3. Limits of disturbance shall be restricted to areas outside the limit of temporary fencing or the FCE boundary, whichever is greater.
4. There shall be no clearing, grading, construction or disturbance of vegetation in the Forest Conservation Easement, except as permitted by Howard County DPZ.
5. No stumps, planting debris, equipment, hauling areas, etc. shall occur within areas designated as Forest Conservation Easements.
6. Temporary fencing shall be used to protect forest resources during construction. The fencing shall be placed along all FCE boundaries which occur within 15 feet of the proposed limits of disturbance.
7. Permanent signage shall be placed 50-100' apart along the boundaries of all areas included in Forest Conservation Easements.
8. The Forest Conservation Requirements of Section 16.1200 of the Howard County Code and Forest Conservation Act For this Subdivision will be Fulfilled by Providing 2.28 Acres Of On-site Afforestation. A Total Surety of \$49,950.40 Based on 2.28 Ac. Afforestation will be Provided With The Developer's Agreement.

FCE Planting Area # 1 - 0.86 acres

Planting units required: 602 (301 whips)

Planting units provided: 602 (230 whips and 372 trees)

Qty	Species	Size	Spacing	Total FCA Units
6	Acer rubrum - Red maple	1" cal.	15' o.c.	6
6	Quercus alba - White oak	1" cal.	15' o.c.	6
12 Total 1" caliper trees (0.5 planting units per tree) = 42 Total FCA unit credit				
50	Acer rubrum - Red maple	2-3" whip	11' o.c.	50
40	Cercis canadensis - Red bud	2-3" whip	11' o.c.	40
40	Cornus florida - Flowering dogwood	2-3" whip	11' o.c.	40
30	Liriodendron tulipifera - Tulip poplar	2-3" whip	11' o.c.	30
30	Prunus serotina - Black cherry	2-3" whip	11' o.c.	30
30	Robinia pseudo-acacia - Black locust	2-3" whip	11' o.c.	30
22	Quercus alba - White oak	2-3" whip	11' o.c.	22
22	Viburnum prunifolium - Blackhaw	2-3" whip	11' o.c.	22
280 Total whip plantings (12 planting units per tree) = 560 Total FCA unit credit				
Total Unit Credit: (42 + 560) = 602				

1" CAL TREES = 200/ACRE (12 TREES/200 = 0.06 AC) 3.5 Planting units = 1 - 1" Cal. Tree
 WHIPS w/shelters = 350/ACRE = 350 x 0.80 AC = 280 WHIPS 2 Planting units = 1 Whip

FCE Planting Area # 2 - 1.42 acres

Planting units required: 995 (497 whips)

Planting units provided: 995 (466 whips and 529 trees)

Qty	Species	Size	Spacing	Total FCA Units
12	Acer rubrum - Red maple	1" cal.	15' o.c.	12
6	Quercus alba - White oak	1" cal.	15' o.c.	6
18 Total 1" caliper trees (0.5 planting units per tree) = 63 Total FCA unit credit				
80	Acer rubrum - Red maple	2-3" whip	11' o.c.	80
60	Cercis canadensis - Red bud	2-3" whip	11' o.c.	60
60	Cornus florida - Flowering dogwood	2-3" whip	11' o.c.	60
60	Liriodendron tulipifera - Tulip poplar	2-3" whip	11' o.c.	60
56	Prunus serotina - Black cherry	2-3" whip	11' o.c.	56
50	Robinia pseudo-acacia - Black locust	2-3" whip	11' o.c.	50
50	Quercus alba - White oak	2-3" whip	11' o.c.	50
50	Viburnum prunifolium - Blackhaw	2-3" whip	11' o.c.	50
466 Total whip plantings (12 planting units per tree) = 932 Total FCA unit credit				
Total Unit Credit: (63 + 932) = 995				

1" CAL TREES = 200/ACRE (12 TREES/200 = 0.06 AC) 3.5 Planting units = 1 - 1" Cal. Tree
 WHIPS w/shelters = 350/ACRE = 350 x 1.33 AC = 466 WHIPS 2 Planting units = 1 Whip

Planting Notes:

Planting units defined by the spacing requirements established in the FCA Manual. One planting unit is defined as 1 seedling or whip without shelter. The Manual states that 700 seedlings/whips without shelters are required per acre, or 300 whip whips, or 200 1" caliper trees, or 100 2" caliper trees. By convention it has been determined that a seedling or whip without shelter = 1 whip with shelter = 2 units. Caliper trees = 1.5 units and 1" caliper tree = 2 units. The use of plant units simplifies the plant density calculations when mixing stock sizes.

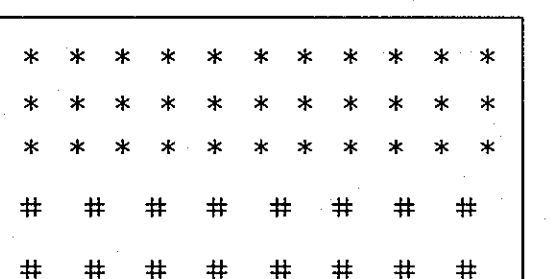
** - These species should not be planted within the wetland limits.

1" caliper trees should be staggered along the outer perimeter of the planting area to serve as demarcation of the boundary. The trees should be no closer than 15 foot spacing. Whip spacing to be placed on 11 foot centers, shelters will be required per Howard County policy.

Planting shall be made in a curvilinear fashion along contour. The planting should avoid a grid appearance but should be spaced to facilitate maintenance.

All whips are required to be installed with tree shelters per Howard County FCA requirements.

PATTERN SPACING DIAGRAM



* = whip w/shelter 11' on center spacing
 * = 1" caliper tree 15' on center spacing
 Species shall be randomly interspersed. Rows should be planting along contours

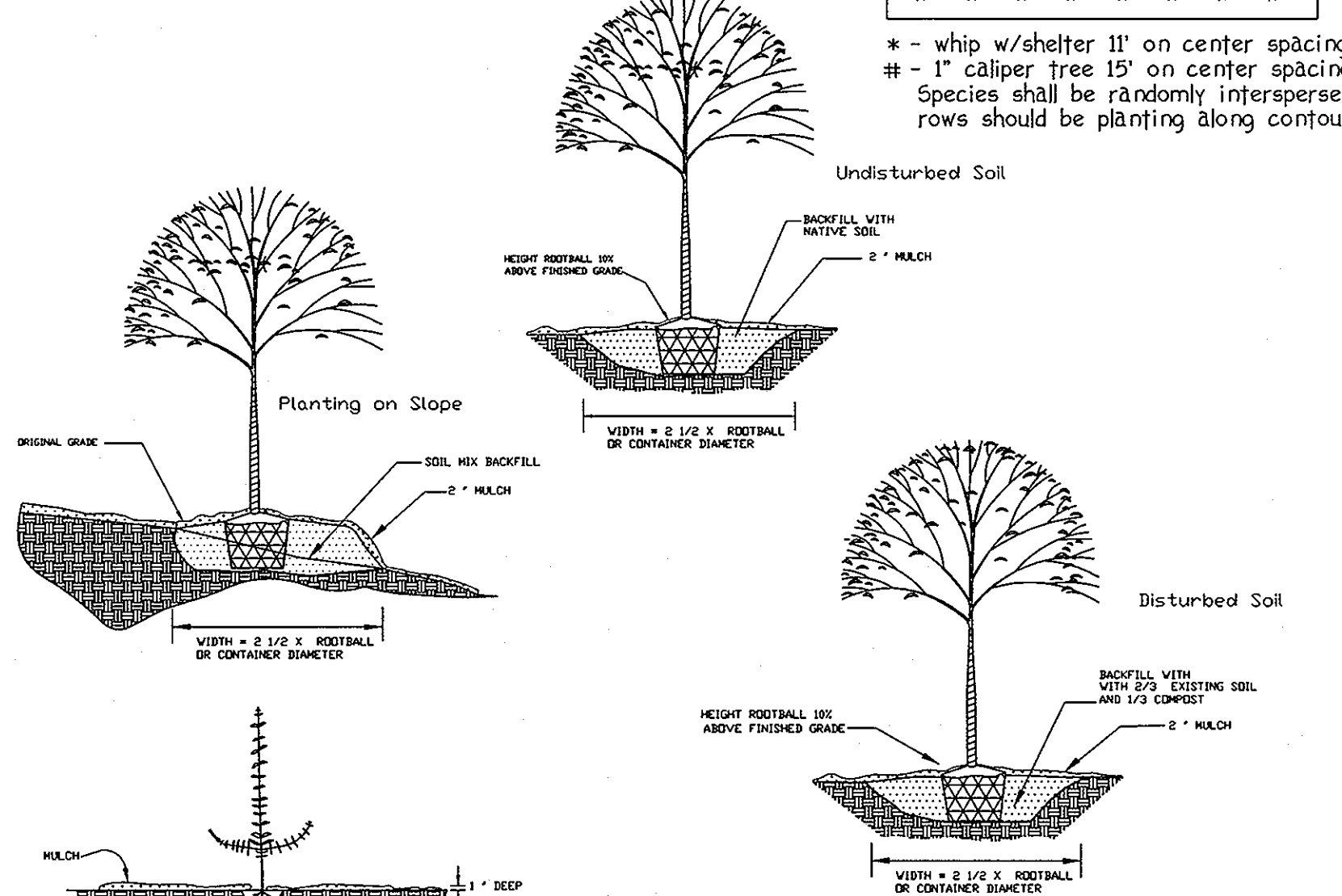
Construction Period Protection Program

- A. Forest Protection Techniques**
 Soil Protection Area (Critical Root Zone)
 The soil protection area, or critical root zone, of a tree is that portion of the soil column where most of its roots may be found. The majority of roots responsible for water and nutrient uptake are located just below the soil surface.
 The limit of disturbance (LDD) line depicted on this plan shows the proposed extent of construction activities. Eco-Science Professionals, or another qualified professional designated by the developer, will install the Soil Protection Area in accordance with the Critical Root Zone for the Forest Protection Area as determined in accordance with the Critical Root Zone Determination Guidelines in Appendix C, Eco-Science Professionals, or another qualified professional, will also assess the condition of the new forest edge to determine if selective thinning or pruning is needed to improve the condition of the edge.
- B. Pre-Construction Meeting**
 Upon staking of limits of disturbance and installation of all signage, a pre-construction meeting will be held between the developer, contractor and appropriate County inspectors. The purpose of the meeting will be to notify all tree protection measures outlined in the FCP to the plan, that all sediment control is in order, and to notify the contractor of possible penalties for non-compliance with the FCP.
- C. Storage Facilities/Equipment Cleaning**
 All equipment storage, parking, sanitary facilities, material stockpiles, etc. associated with construction of the project will be restricted to those areas shown within the limit of disturbance. Washing of equipment will be prohibited from all forest retention areas. Washwater resulting from equipment cleaning will be contained to prevent runoff into wetlands, streams and other environmentally sensitive areas.
- D. Sequence of Construction**
 The following timetable represents the proposed timetable for construction of the proposed project. The construction start date for this project has not been finalized. The actual project start date is predicated on the issuance of all necessary permits and approvals for the project. The items outlined in the Forest Conservation Plan will be initiated upon commencement of the project.
 Below is a sequence of construction:
 1. Install all tree protection signage, fencing and sediment control devices.
 2. Hold pre-construction meeting between developer, contractor and County inspectors.
 3. Grade site and construct improvements. Stabilize all disturbed areas in accordance with grading plan.
 4. Remove sediment control devices after forest retention signage is in place.
 5. Hold post-construction meeting with County inspectors to assure compliance with FCP.
- E. Construction Monitoring**
 Eco-Science Professionals, or another qualified professional designated by the developer, will monitor construction of the project to ensure that all activities are in compliance with the Forest Conservation Plan. For a post-construction meeting to review the project site, the meeting will allow the County inspector to verify that all Forest Conservation Easement areas have been properly retained and that all post construction protection measures (permanence signage) have been installed.
- F. Activities Permitted During Construction**
 The forest conservation plan will allow the following activities within forest resources during the construction phase of the project:
 These activities will not damage or negatively impact the forest resources on the property:
 1. Passive recreation (overlooking, hiking, etc.)
- G. Post-Construction Meeting**
 Upon completion of construction, Eco-Science Professionals, or another qualified professional designated by the developer, will notify the County that construction has been completed and request for a post-construction meeting to review the project site. The meeting will allow the County inspector to verify that all Forest Conservation Easement areas have been properly retained and that all post construction protection measures (permanence signage) have been installed.

Post-Construction Management Plan

The post-construction management plan will further ensure that all Forest Conservation Easement Areas are maintained. The developer will be responsible for implementation of the post-construction management plan.

The following items will be incorporated into the plan for the subject property:
 A. Signage
 Signage indicating the limits of the forest retention areas shall be maintained.



FOREST CONSERVATION PLAN TALBOT'S WOODS II

PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8, NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D', NON-BUILDABLE PARCELS 'E' AND BUILDABLE BULK PARCEL 'B'

TAX MAP NO. 31 GRID NO. 16 PARCEL Nos. 713 Through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 11 OF 14

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 11200 GOLF COURSE DRIVE, SUITE 100, GREENBELT, MD 20814
 (410) 788-5568

RICHARD E. & JEANI A. RITTERMANN
 5187 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 788-5568

KAREN A. TAMALAVICZ
 5191 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 788-6672

R/E GROUP, INC.
 C/O LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

JOSEPH E. FEDERLINE, JR. & CYNTHIA LEE FEDERLINE
 5171 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043-6830
 (410) 747-1036

ELLICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

ALDO M. VITTORELLI
 12-08 DATE
 Professional Certification I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.

PLAN
 SCALE: 1" = 50'

APPROVED: DEPARTMENT OF PUBLIC WORKS
William J. McNeill 1-12-09
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
George Hanrahan 1/14/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David Edmund 1-14-9
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DRAINAGE AREA DATA						
STRUCTURE NO.	DRAINAGE AREA	AREA	% ZONED	T/C Hrs.	% IMP.	
I-1	A	0.70 AC.	0.48	R-20	0.10	46%
I-2	B	0.78 AC.	0.36	R-20	0.10	28%
I-3	C	0.13 AC.	0.65	R-20	0.10	70%
I-4	D	3.11 AC.	0.37	R-20	0.10	22%

SOILS LEGEND			
SOIL	NAME	CLASS	
CrD	Croom and Evesboro soils, 10 to 15 percent slopes	C	
Fa	Fallingston sandy loam, 0 to 2 percent slopes	D	
LaC	Legore silt loam, 8 to 15 percent slopes	C	
SaB	Sassafras loam, 2 to 5 percent slopes	B	
SaC	Sassafras loam, 5 to 10 percent slopes	B	
SrB	Sassafras gravelly sandy loam, 2 to 5 percent slopes	B	
SrC	Sassafras and Croom soils, 5 to 10 percent slopes	C	
SrD	Sassafras and Croom soils, 10 to 15 percent slopes	C	
WoB	Woodstown sandy loam, 2 to 5 percent slopes	C	

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas



STORM DRAIN DRAINAGE AREA MAP
TALBOTS WOODS II
 PHASE ONE
 BUILDABLE LOTS 1 - 3, OPEN SPACE LOTS 6 - 8,
 NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
 NON-BUILDABLE BULK PARCEL 'E' AND
 BUILDABLE BULK PARCEL 'B'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 11200 GARDEN SQUARE OFFICE PARK - 1822 BALTOUR NATIONAL FEE
 ELLICOTT CITY, MARYLAND 21042
 410-461-8895

RICHARD E. & JEANI A. RITTERMANN
 5187 TALBOTS LANDING
 ELLICOTT CITY, MARYLAND 21043
 (410) 793-9568

KAREN A. TAMALAVICZ
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 c/o LAND DESIGN & DEVELOPMENT, INC.
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 ATTN: MR. DONALD R. REIJWER, JR.
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 (410) 747-1036

ELLICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REIJWER, JR.
 443-367-0422

ALDO M. VINCIGUERRA
 12900
 DATE
 I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.

TALBOTS LANDING
 PUBLIC LOCAL ROAD

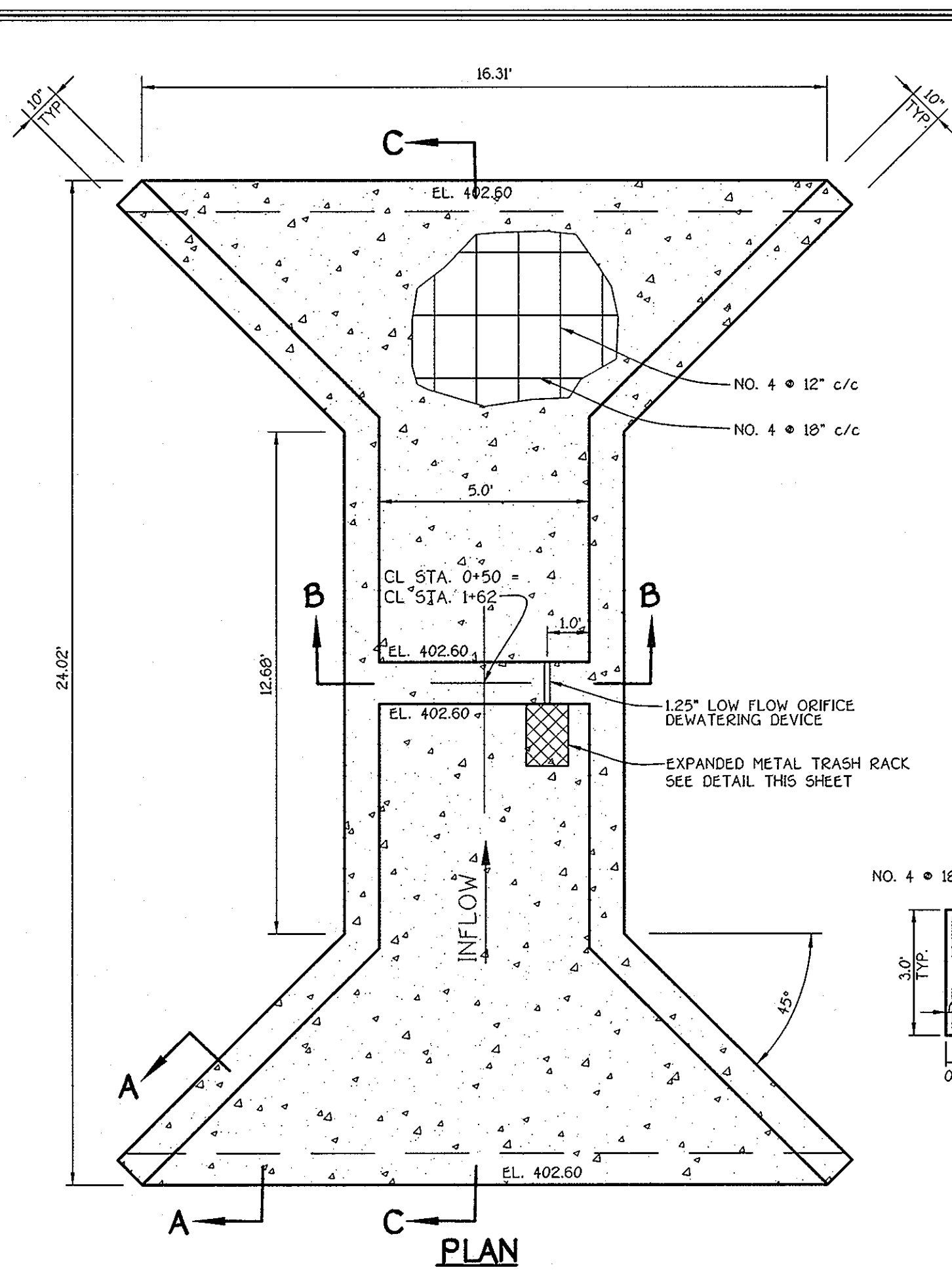
OWNERS
 PARCEL 791
 2970/284
 STEPHEN J. HELLWING
 MARGARET M. HELLWING
 R-20

DEVELOPER
 PARCEL 791
 2970/284
 STEPHEN J. HELLWING
 MARGARET M. HELLWING
 R-20

PLAN
 SCALE: 1" = 50'

TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 Through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 12 OF 14

1:12000(06055)dwg\plan\0603 SHEET 12 DRAINAGE PLAN.dwg, 12/5/2008 2:02:55 PM, jbmsh



EMBANKMENT AND CUT-OFF TRENCH CONSTRUCTION

THE AREA OF THE PROPOSED SWM POND SHOULD BE STRIPPED OF TOPSOIL AND ANY OTHER UNSUITABLE MATERIALS FROM THE EMBANKMENT OR STRUCTURE AREA IN ACCORDANCE WITH SOIL CONSERVATION GUIDELINES. AFTER STRIPPING OPERATIONS HAVE BEEN COMPLETED, THE EXPOSED SUBGRADE MATERIALS SHOULD BE PROOF-ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR EQUIPMENT IN THE PRESENCE OF A GEOTECHNICAL ENGINEER OR REPRESENTATIVE USING A DYNAMIC CONE PENETROMETER. ANY EXCESSIVELY SOFT OR LOOSE MATERIALS IDENTIFIED BY PROOF-ROLLING OR PENETROMETER TESTING SHOULD BE EXCAVATED TO SUITABLE FIRM SOIL AND THEN GRADES RE-ESTABLISHED BY BACKFILLING WITH SUITABLE SOIL. A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO MONITOR PLACEMENT AND COMPACTION OF FILL FOR THE EMBANKMENT AND CUT-OFF TRENCH IN ACCORDANCE WITH MARYLAND SOIL CONSERVATION SPECIFICATION 37B SOILS CONSIDERED SUITABLE FOR THE CENTER OF EMBANKMENT AND CUT-OFF TRENCH SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL.

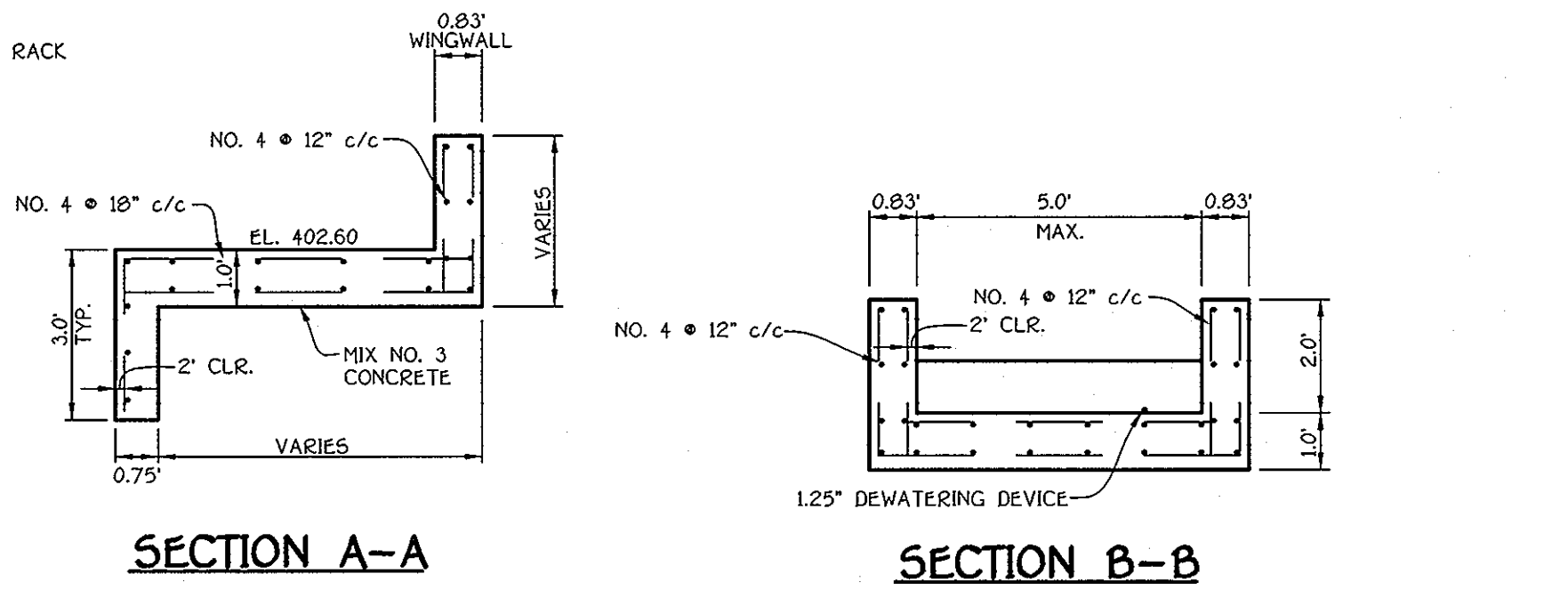
RECHARGE TRENCH NOTES

1. STONE SHALL BE CLEAN, MD #2 STONE AND SURROUNDED BY FILTER FABRIC (MIRAFI 140N OR EQUAL).
2. PRIOR TO ALLOWING WATER TO ENTER THE RECHARGE TRENCH ALL UPSTREAM AREAS SHALL BE STABILIZED (ESTABLISHED GRASS OR PAVED), IN ADDITION, THE STORM DRAIN SYSTEM MUST BE FLUSHED CLEAN PRIOR TO CONNECTING TO THE RECHARGE SYSTEM.
3. PLACE AN 18" HALF RIGID PIPE AT THE ENTRANCE TO THE RECHARGE DISTRIBUTION PIPE IN STORM DRAIN I-2. THE HALF PIPE SHALL EXTEND 12" BELOW THE INVERT AND 3" ABOVE THE CROWN.
4. PIPE SHALL BE 14 GAUGE ALUMINIZED CMP (ALCHP2) TYPE 2. THE PIPE SHALL BE PERFORATED STARTING 1' INSIDE THE TRENCH AND SOLID OUTSIDE THE TRENCH. PROVIDE TWO (2) COATS OF ZINC CHROMATE TO OUTER WALLS OF PIPE THAT WILL CONTACT THE CONCRETE WALLS AT I-2. CAP ENDS.

NOTES:

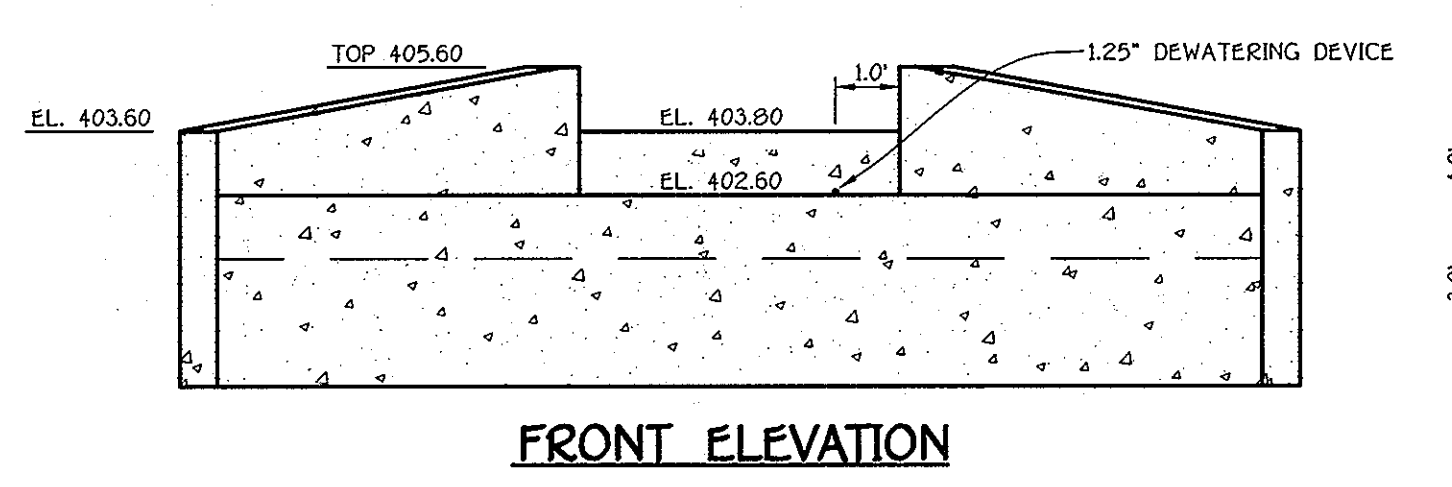
1. ALL EXPOSED EDGES TO HAVE 3/4" x 3/4" CHAMFER OR AS DIRECTED.
2. CONCRETE SHALL BE SHA MIX NO. 3 (f'c = 3500 PSI @ 28 DAYS).
3. REINFORCING STEEL SHALL BE ASTM A 615 GRADE 60.
4. QUANTITIES IN TABLE FOR ESTIMATING ONLY.
5. WEIR CONTROL SECTION SHALL BE SIZED FOR APPROPRIATE CONTROL OF DISCHARGE RATES (WEIR SHOWN IS FOR ILLUSTRATION PURPOSES ONLY.)
6. MAXIMUM WALL HEIGHT IS 3', HIGHER WALLS REQUIRE SPECIAL DESIGN.
7. VOLUME CONCRETE (CY) = 14.5
STEEL (LBS) = 1100
VALVES SHOWN ARE APPROXIMATE FOR THE MAXIMUM SIZE OF THE STRUCTURE.

NOTE:
SEE SHEET 10 FOR POND DRAIN PROFILE



SECTION A-A

SECTION B-B

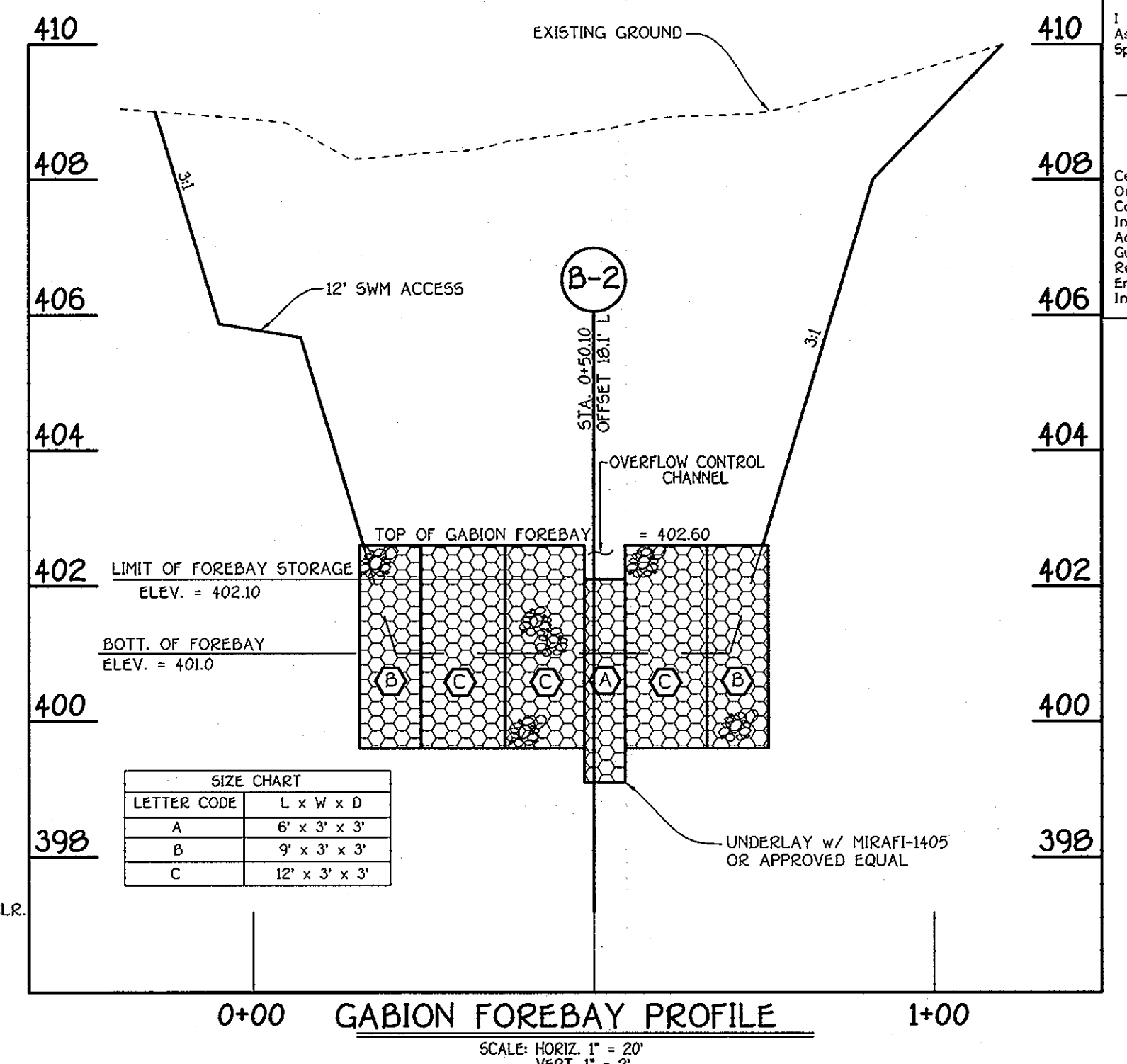


FRONT ELEVATION

LOW RISE SWM CONTROL STRUCTURE
SCALE: 1" = 30'



SECTION C-C



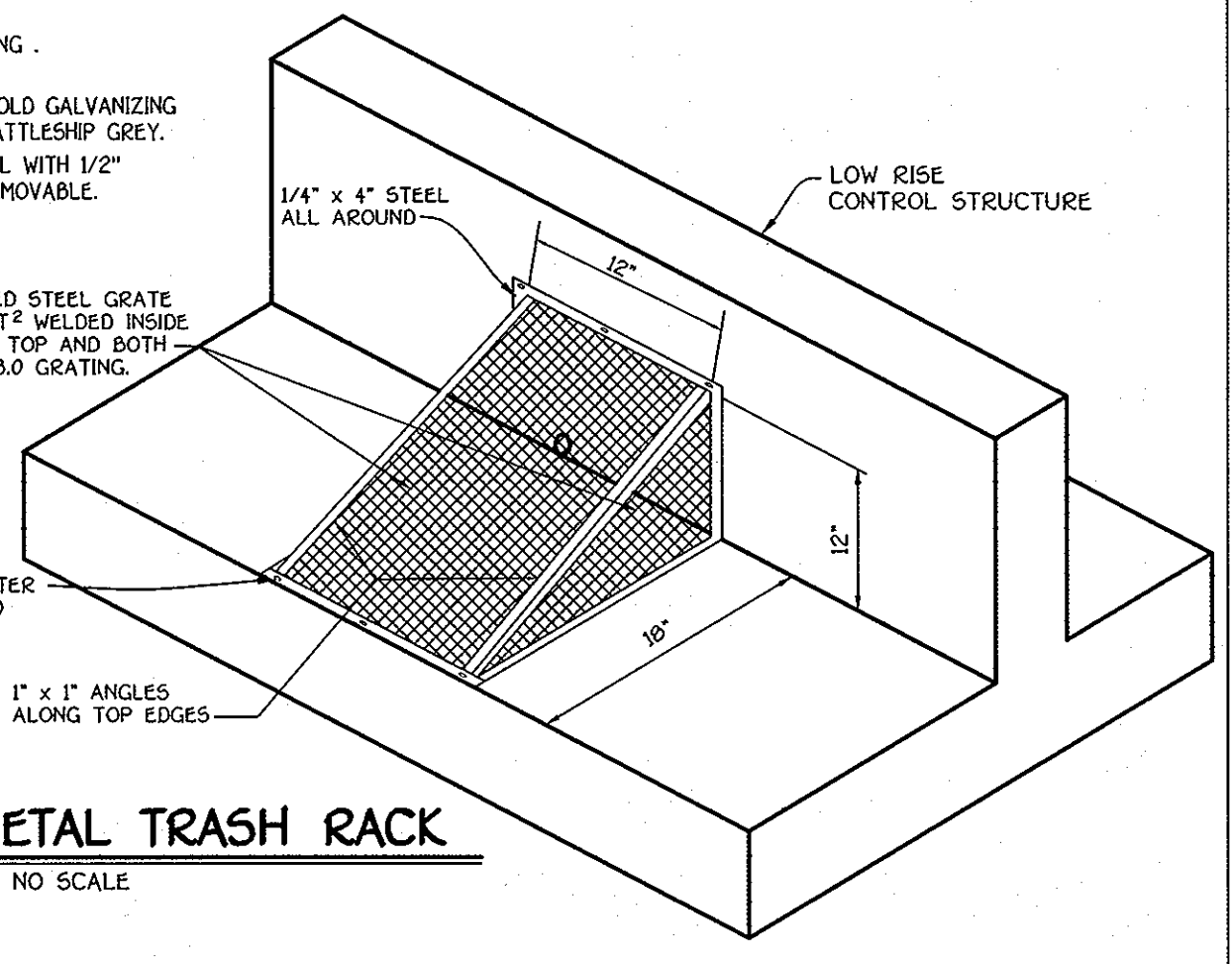
GABION FOREBAY PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

AS-BUILT CERTIFICATION
I hereby certify that the Facility shown on this Plan was constructed as shown on the "As-Built" Plans and meets the approved Plans and Specifications.

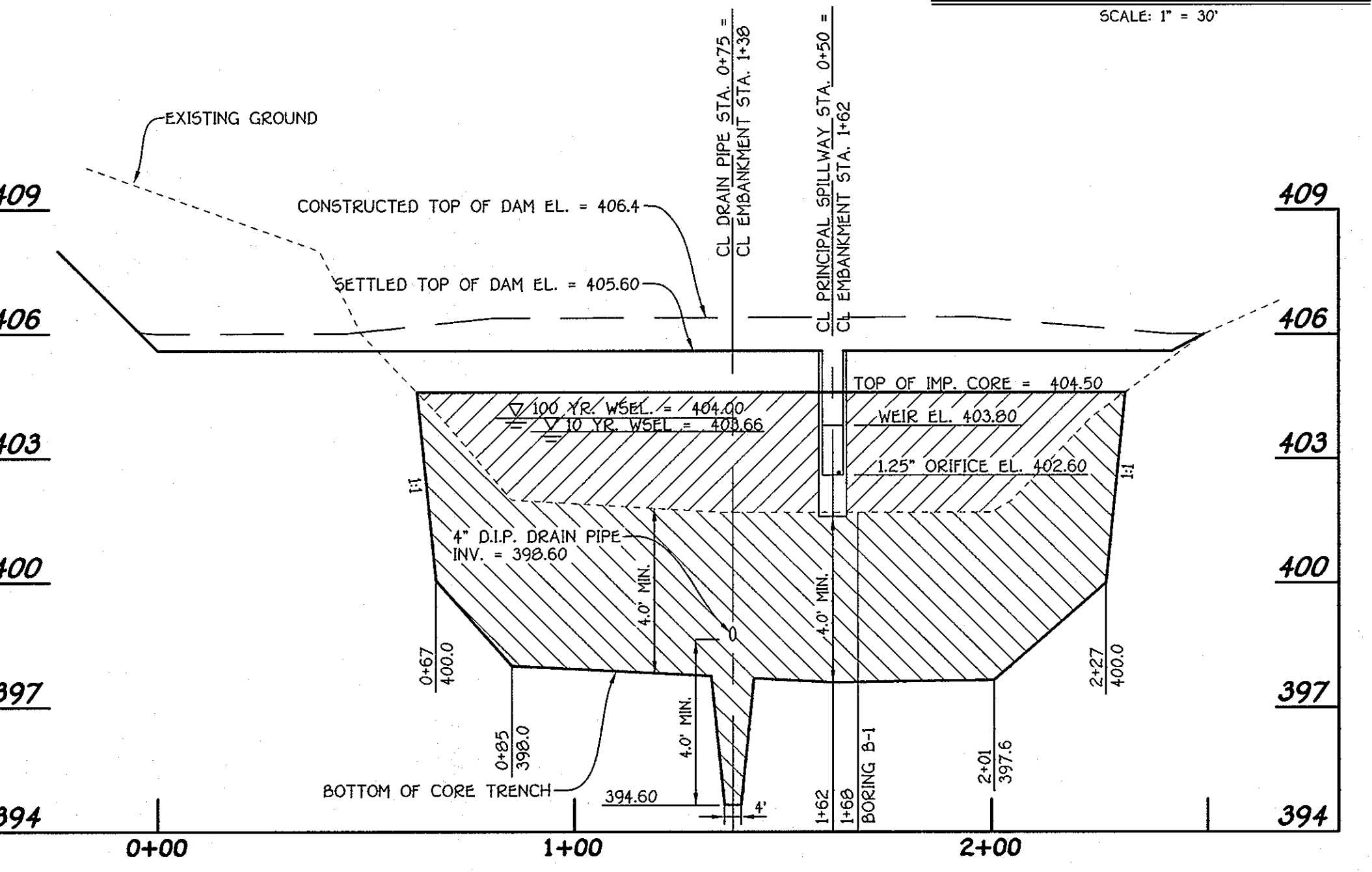
Signature: _____ P.E. No. _____
Date: _____

Certify Means to State or Declare a Professional Opinion Based Upon Onsite Inspections and Material Tests Which are Conducted During Construction. The Onsite Inspections and Material Tests are Those Inspections and Tests Deemed Sufficient and Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean or Imply a Guarantee by the Engineer Nor Does an Engineer's Certification Relieve Any Other Party from Meeting Requirements Imposed by Contract, Employment, or Other Means, Including Meeting Commonly Accepted Industry Practices.

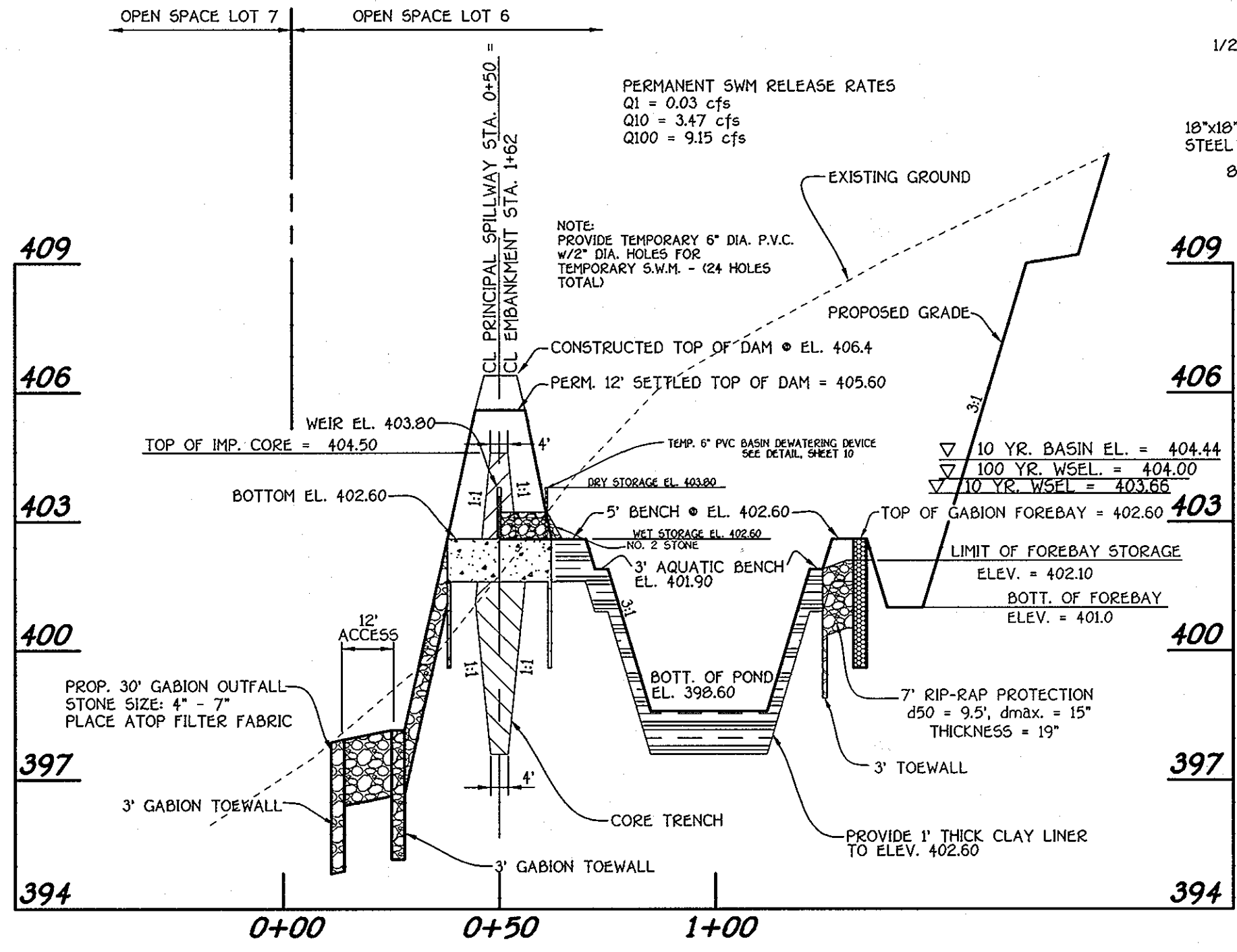
- NOTES:**
1. TRASH RACK TO BE CENTERED OVER OPENING.
 2. STEEL TO CONFORM TO ASTM A-36.
 3. ALL SURFACES TO BE COATED WITH ZINC COLD GALVANIZING COMPOUND AFTER WELDING AND PAINTED BATTLESHIP GREY.
 4. TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2" MASONRY ANCHORS, TRASH RACK TO BE REMOVABLE.



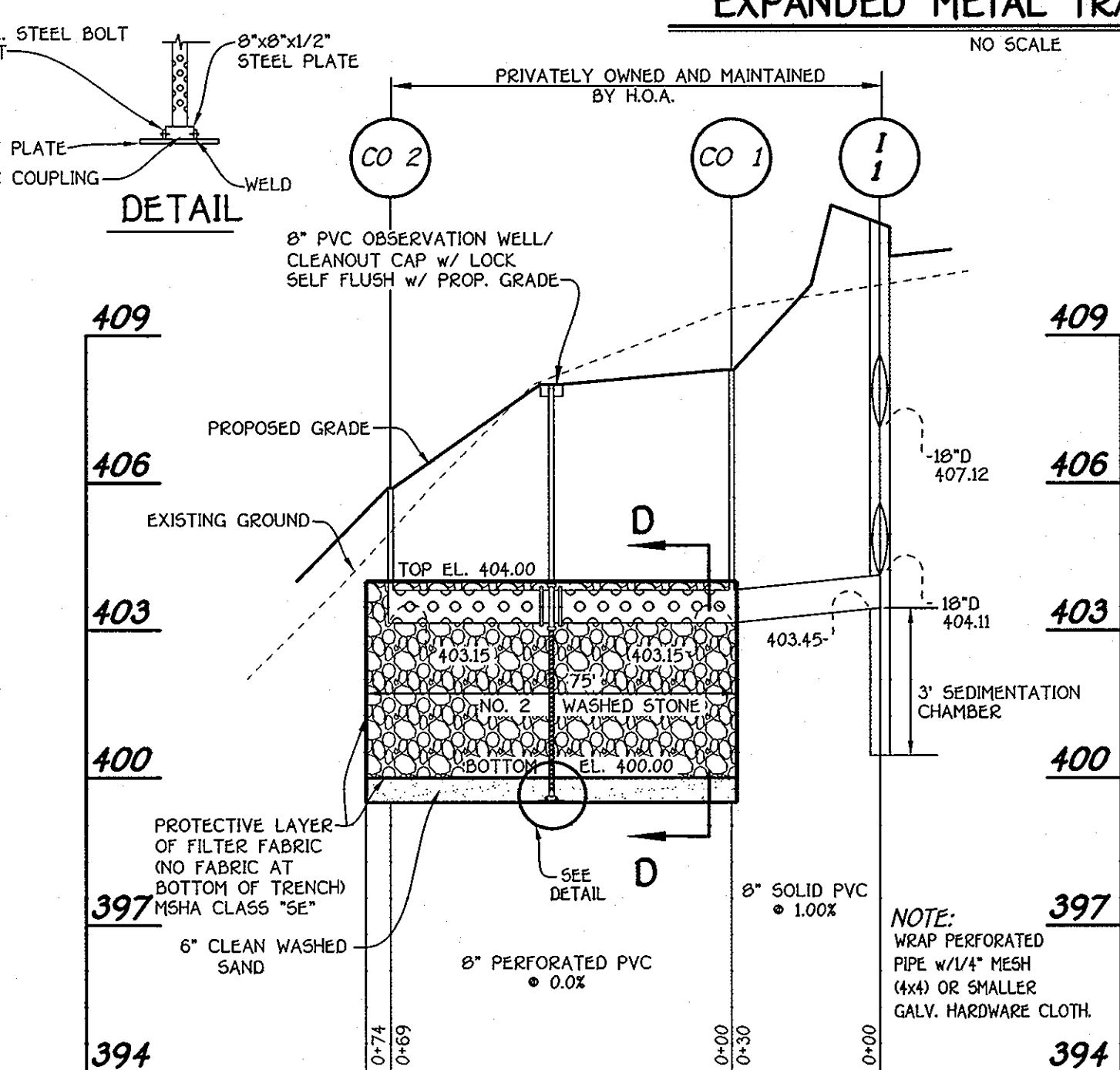
EXPANDED METAL TRASH RACK
NO SCALE



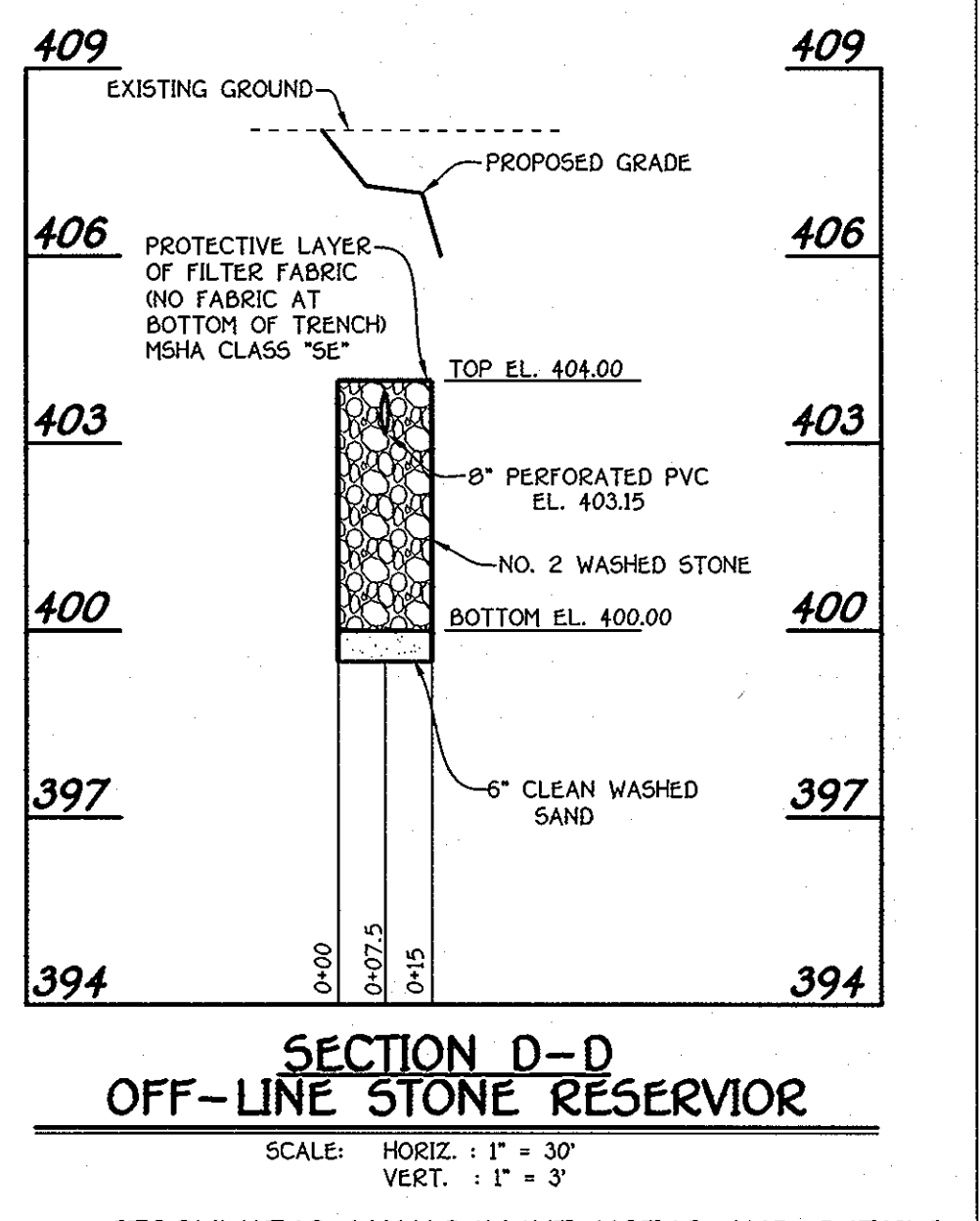
S.W.M. FACILITY B.M.P. PROFILE ALONG CL EMBANKMENT
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'



S.W.M. FACILITY B.M.P. PROFILE THRU SPILLWAY
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'



PROFILE THRU OFF-LINE STONE RESERVOIR FOR Rev
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'



SECTION D-D OFF-LINE STONE RESERVOIR
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'

NOTE:
STONE RESERVOIR TO MEET PART OF GROUND WATER RECHARGE REQUIREMENT

Professional Certification: I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.

Signature: _____ DATE: 12-8-08

APPROVED: DEPARTMENT OF PUBLIC WORKS
Signature: _____ DATE: 1-12-09
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: _____ DATE: 1/14/09
CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: _____ DATE: 1-14-09
CHIEF, DEVELOPMENT ENGINEERING DIVISION

By The Developer:
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate of Attendance At A Department Of The Environment Approved Training Program For The Control of Sediment and Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The "As-Built" Plans Within 30 Days of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: _____ DATE: 12-8-08
Printed Name of Developer: DONALD R. REUWER, JR.

By The Engineer:
I Certify That This Plan for Pond Construction Erosion and Sediment Control Represents A Practical and Feasible Plan Based On My Personal Knowledge Of The Site Conditions. This Plan was Prepared In Accordance With The Requirements of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction and Provide The "As-Built" Plans Within 30 Days of Completion.

Signature of Engineer: _____ DATE: 12-8-08
Printed Name of Engineer: _____

These Plans for Small Pond Construction Soil Erosion and Sediment Control Meet The Requirement of The Howard Soil Conservation District.
Signature: _____ DATE: 12/16/08
Howard Soil Conservation District

STORMWATER MANAGEMENT NOTES AND DETAILS TALBOTS WOODS II

PHASE ONE
BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8
NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
NON-BUILDABLE PARCEL 'E' AND
BUILDABLE BULK PARCEL 'B'

TAX MAP No. 31 GRID No. 15 PARCEL Nos. 713 Through 720
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: DECEMBER, 2008
SHEET 13 OF 14

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL OFFICE: 10275 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410-481-2899

OWNERS

RICHARD E. & JEANI A. RITTERMANN
5187 TALBOTS LANDING
ELICOTT CITY, MARYLAND 21043
(410) 798-5566

KAREN A. TAMALAVICZ
5191 TALBOTS LANDING
ELICOTT CITY, MARYLAND 21043
(410) 798-6672

DEVELOPER

R/E GROUP, INC.
c/o LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
ATTN: MR. DONALD R. REUWER, JR.
443-367-0422

JOSEPH E. FEDERLINE, JR. & CYNTHIA LEE FEDERLINE
5711 TALBOTS LANDING
ELICOTT CITY, MARYLAND 21043-6830
(410) 747-1036

DEVELOPER

ELICOTT CITY LAND HOLDING, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
ATTN: MR. DONALD R. REUWER, JR.
443-367-0422

APPROVED: DEPARTMENT OF PUBLIC WORKS
William R. ... 1-12-09
 CHIEF, BUREAU OF HIGHWAYS DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cynthia ... 1/14/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
David ... 1/14/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



DEMOLITION PLAN
TALBOTS WOODS II
 PHASE ONE
 BUILDABLE LOTS 1 - 5, OPEN SPACE LOTS 6 - 8,
 NON-BUILDABLE BULK PARCELS 'A', 'C' & 'D',
 NON-BUILDABLE PARCEL 'E' AND
 BUILDABLE BULK PARCEL 'B'

DATE: 12-9-08
 ZONING: R-20
 TAX MAP No. 31 GRID No. 16 PARCEL Nos. 713 Through 720
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: DECEMBER, 2008
 SHEET 14 OF 14

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PARK
 ELICOTT CITY, MARYLAND 21042
 410 441-2855

OWNERS
 RICHARD E. & JEANI A. RITTERMANN
 5187 TALBOTS LANDING
 ELICOTT CITY, MARYLAND 21043
 (410) 788-5568

KAREN A. TAMALAVICZ
 5191 TALBOTS LANDING
 ELICOTT CITY, MARYLAND
 21043
 (410) 788-6672

DEVELOPER
 R/E GROUP, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

JOSEPH E. FEDERLINE, JR. &
 CYNTHIA LEE FEDERLINE
 5171 TALBOTS LANDING
 ELICOTT CITY, MARYLAND 21043-6830
 (410) 747-1036

ELICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 ATTN: MR. DONALD R. REUWER, JR.
 443-367-0422

PLAN
 SCALE: 1" = 50'

David ...
 12-9-08
 Professional Engineer
 I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.

1:200806053.dwg (msh) 11/15/2008 9:37:49 AM JamesJ