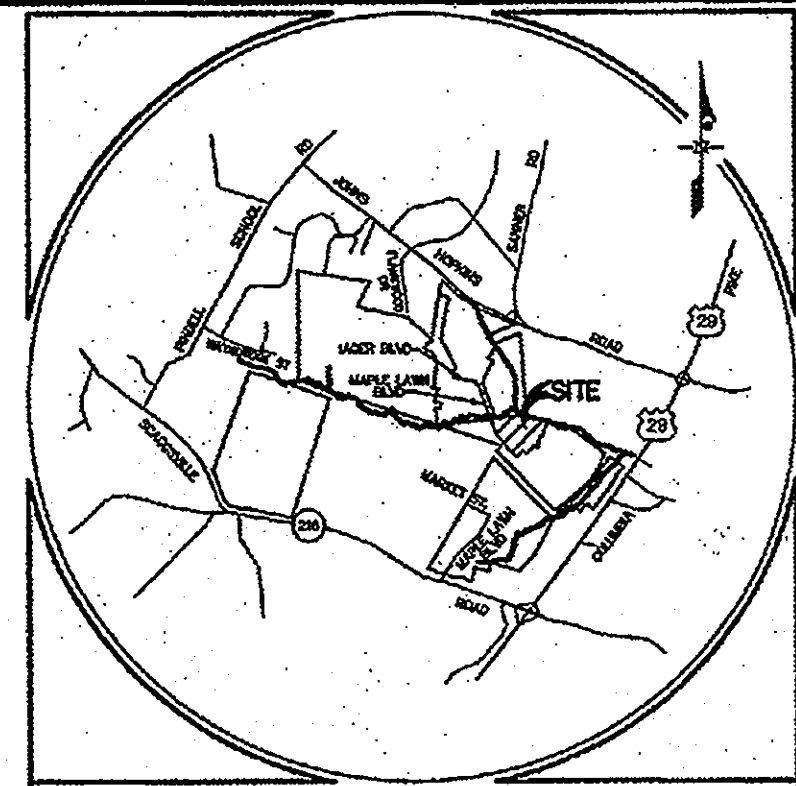
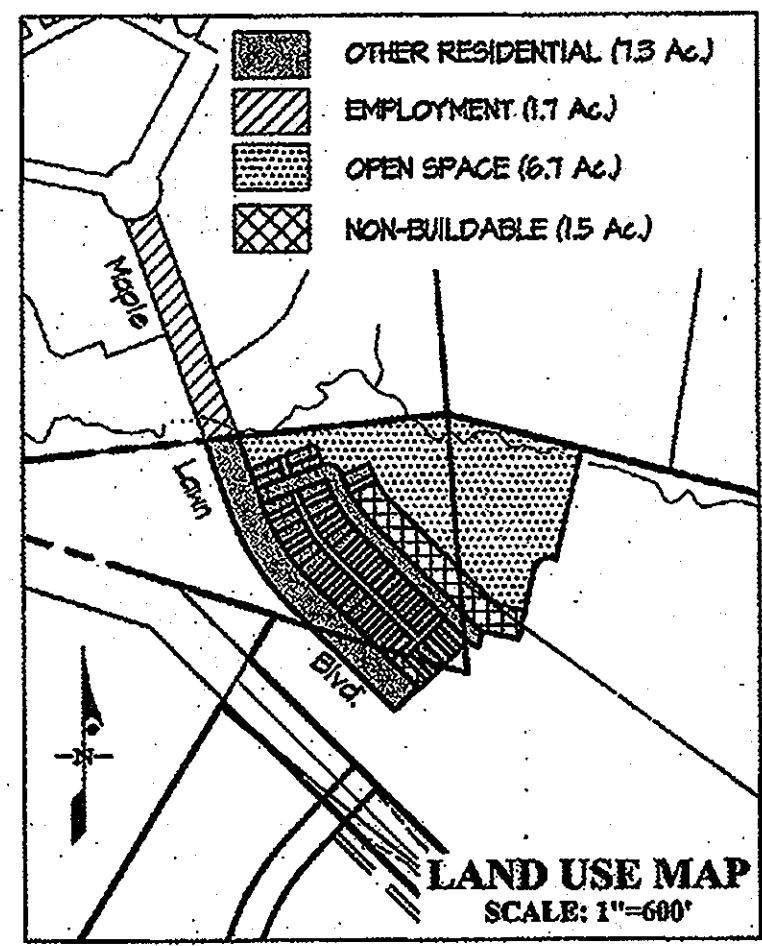


CONSTRUCTION PLAN MAPLE LAWN FARMS Hillside District - Area 1 Lots 1 through 59, Open Space Lot 60, Common Open Space Lots 61 & 62, and Non-Buildable Parcels 'F' & 'G'



VICINITY MAP
SCALE: 1" = 400'

BENCHMARKS
ELEV. = 407.05
STANDARD DISC ON CONCRETE MONUMENT

- GENERAL NOTES:**
1. Zoning: Site is being developed under MD-3 regulations, per ZP-304. Approved on 2/20/01. Underlying Zoning is RR-20.
 2. The previous Department of Planning and Zoning file numbers are 5-0-17, ZB-4954, PD-253, NP-01-11, F-04-42, NP-03-120 and NP-03-02, and F-05-01.
 3. This project is in conformance with the latest Howard County standards unless otherwise noted.
 4. The Consulting Inventory Maps do not show any easements within the project limits.
 5. The Survey Map does not indicate any scenic roads within or adjacent to the project limits.
 6. This property was bought into the Metropolitan District on August 20, 2001.
 7. All roads in this development are public. All areas indicated as utility will be private.
 8. **Site Analysis:**
Gross 582 Acres
Total Area of Phase 4a
Area of Open Space 57.1 Acres
Area of 100 Year Floodplain in Phase 4a
Area of Roadway (Public)
Area of Roadway (Private)
Area of Lots
Area of Non-Buildable Lots
50.14 Acres ±
11.2 Acres ±
6.1 Acres ±
5.0 Acres ±
5.1 Acres
0.8 Acres
3.4 Acres
1.5 Acres ±
 9. **Open Space Requirements:**
Minimum Open Space Requirement for Project is 30%.
Total Open Space Provided: 6.01 Acres ± (3.0%)
Total Open Space Required: 17.0 Acres ± (9.0%)
Recreational Open Space Provided: 0.61 Acres ± (0.8%)
Recreational Open Space Required: 0.29 Acres ± (0.2%)
The excess open space area may be used to fulfill the minimum open space requirement for future phases.
 10. **Soils Data:** was taken from the Soil Survey of Howard County, Maryland, Edition 1986.
Major Soil Series: 12 585F19 on 614B16
13 585F19 on 614B16
14 585F19 on 614B16
15 585F19 on 614B16
16 585F19 on 614B16
17 585F19 on 614B16
18 585F19 on 614B16
19 585F19 on 614B16
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55 585F19 on 614B16
56 585F19 on 614B16
57 585F19 on 614B16
58 585F19 on 614B16
59 585F19 on 614B16
60 585F19 on 614B16
61 585F19 on 614B16
62 585F19 on 614B16
 11. Topography indicated was taken from aerial topography prepared during March 1997 by SDI. Areas within the limit of submission where no grading is being proposed, contours show one grade established under F-05-01.
 12. Boundary information shown is based upon a field survey prepared by Ebschick, Little, and Heiser, P.A. on about June, 2001.
 13. **Historical delineation:** by Exploration Research, Inc. approved by the Corps of Engineers 22 SEP 01 on 6/14/01. Notice of intent to issue a permit is covered by HDE Tracking #01-NT-0544/20069421.
 14. The 100-year flood plain limits were determined by the Floodplain study prepared by Ebschick, Little and Heiser, P.A. as part of F-05-01.
 15. Horizontal and vertical datum is based on Howard County Station 41E.
 16. Existing utilities were taken from available Howard County records.
 17. Public water and sewer to be utilized.
Existing Meter Contract Number: 24-402-D
Existing Sewer Contract Number: 24-402-P
 18. Traffic Study was prepared and submitted as part of S-01-17, which was approved by the Planning Board on August 8, 2001.
 19. Erosion control measures will be included within Final Plans and Site Development Plans. No sediment control devices will encroach beyond the LOD, shown.
 20. Parking requirements will be determined and provided at the Site Development Plan stage.
 21. Street trees will be provided per the Comprehensive Sketch Plan criteria at the Final Plan stage.
 22. All buffering and other landscaping requirements/features will be shown at the Site Development Plan stage and/or final plan stage and will be provided in accordance with the Comprehensive Sketch Plan criteria.
 23. Percent stream buffers are determined by land use adjoining the open space (i.e. Employment = 50' buffer, Residential = 75' buffer). All uses adjoining an intermittent stream = 50' buffer.
 24. Stormwater management: For both quality and quantity for the development proposed to be developed, will be satisfied by the facility as shown on this Final Plan. The pond will be privately owned and maintained.
 25. As a consequence of the Sketch Plan approval prior to November 10, 2001, this project is grandfathered to the Fourth Edition of the Subdivision and Land Development Regulations.
 26. As stated in the Subdivision and Land Development Regulations, the Planning Board shall review and approve site development plans for all single-family attached and multi-family residential uses, and all employment and open space use development for the subject Maple Lawn Farms project. This and other Preliminary Subdivision Plans submitted for this project shall not be approved by the Planning Board until such time as the Planning Board has approved the Final Plans and Site Development Plans for this project.
 27. No grading, removal of vegetation cover or trees, or placement of new structures is permitted within limits of wetlands, streams or their regulated buffers, and 100 year flood plain areas, except as permitted under NP-02-54, NP-03-02, and NP-03-120.
 28. Open space lots may contain active recreational facilities as allowed by the approved Comprehensive Development Criteria.
 29. Planning for this project is in accordance with the Decision and Order for Zoning Board Case No. ZB-4954 and the Decision and Order for PB Case No. 393 (Comprehensive Sketch Plan, 5-0-17) and F-05-01.
 30. Development for this phase will be done in accordance with the Comprehensive Development Criteria approved with S-0-17 and F-05-01.
 31. The transportation and transit design will be implemented as outlined in the Preliminary Subdivision and Land Development Regulations. Ebbitt 55 as submitted as part of ZB-4954. Location and nature of bus stops within the limits of this phase will be determined at Final Plan Stage. Any alterations will be provided at Site Development Plan Stage for the development adjacent to this structure so that architectural and landscape features can be coordinated.
 32. A Noise Study was prepared by Wilson & Associates for S-0-17, which was approved by the Planning Board on August 8, 2001.
 33. The limits of this subdivision does not include the moderate income housing units. They will be part of the additional unit allocation on Parcel A-1 which are also part of Phase 4.
 34. For soil types, descriptions and limitations, see S-0-17.
 35. The minimum building setback restrictions from property lines and the public road right-of-way lines for all SFA residential lots will be in accordance with the Comprehensive Development Criteria approved per S-0-17 and F-05-01.
 36. The Maple Lawn Boulevard road crossing through the environmental sensitive areas and buffers was determined to be necessary for reasonable development of the property in accordance with Section 1616(a) of the Subdivision and Land Development Regulations during review and approval of S-0-17.
 37. All sign posts used for traffic control signs installed in the County Right-of-Way shall be erected on a 2" galvanized steel post, perforated, square base sleeve (2 gauge) 12" long. A galvanized steel pole cap shall be mounted on top of each post.
 38. All sign posts used for traffic control signs installed in the County Right-of-Way shall be erected on a 2" galvanized steel post, perforated, square base sleeve (2 gauge) 12" long. A galvanized steel pole cap shall be mounted on top of each post.
 39. All proposed trees shall be privately owned and maintained.
 40. For sediment control and construction of the stormwater management facility, see F-05-01.

NP-01-11
On May 2, 2001, NP-01-11 was granted for the following:
• Additional points of access allowed onto Sanner Road other than those permitted by 1616(a)(1), subject to further analysis and approval at later plan stages.
• Residential lots are allowed to front on neighborhood parks instead of being limited to frontage on public R/Ws as in 1616(a)(2), subject to adequate private alley access.

NP-02-02
On Oct. 11, 2002, NP-02-02 was granted to allow:
• Grading within the 75' stream buffer and floodplain as shown on the revised grading exhibit submitted 5/6/02 (waiver from Section 1616 (a)(2) and Section 1618 (a)(2) respectively).
• Elimination of intrusion at right-of-way corners of residential lots and other parcel corners at right-of-way where necessary to achieve the traditional neighborhood design (waiver from Section 1614 (a)(5)).
• The distance within the floodplain and stream buffer is subject to obtaining the necessary permits from NCE and PER. Erosion of the floodplain is subject to having adequate sight and intersection distance as determined by the DPZ, Development Engineering Division.

NP-03-120
On July 24, 2003, NP-03-120 was granted for the following:
• Installation of a temporary stream crossing for the purpose of earth moving operations (waiver from Section 1616(a)(2) and Section 1614(a)(1) and (2)).

24. Stormwater management, both quality and quantity, for this development will be satisfied by the facility shown on these plans. The pond will be privately owned and jointly maintained by the County and H.A. (see F-05-01).

SUMMARY OF MINIMUM SETBACKS FOR RESIDENTIAL LAND USE AREAS PER APPROVED POP AND CSP DEVELOPMENT CRITERIA

The following minimum structure setbacks shall apply for structures from the project boundary:

- 50-foot minimum open space buffer adjacent to existing residential communities.
- 100-foot minimum setback for residential units from Johns Hopkins Road.
- 50-foot minimum setback for commercial buildings from Johns Hopkins Road and a 20-foot minimum setback for parking from Johns Hopkins Road.

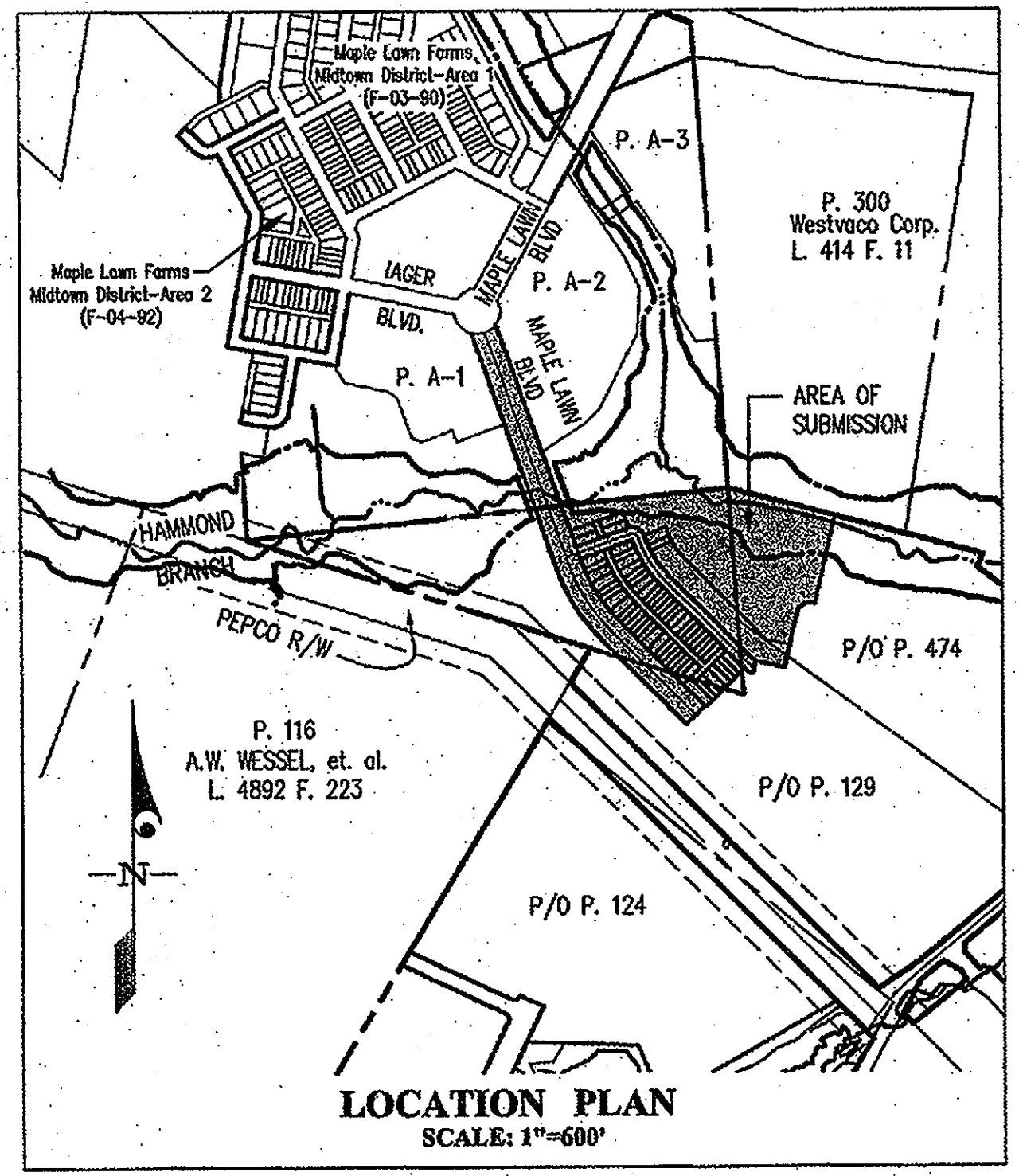
STRUCTURE SETBACKS
The minimum required setbacks for SINGLE FAMILY DETACHED structures shall be as follows:

Lot Type	Minimum Front Setback	Minimum Side Setback	Minimum Rear Setback	
			To Principal Structure	To Rear Garage (Attached or Detached) or to Accessory Structure
Cottage	10'	4' except for garage which may be 0'	20'	5'
Manor	12'	6' except for garage which may be 0'	20'	5'
Villa	12'	6' except for garage which may be 0'	20'	5'
Estate	20'	20' except for garage which may be 10'	20'	20'

STRUCTURE SETBACKS
The minimum required setbacks for OTHER RESIDENTIAL structures shall be as follows:

Lot Type	Minimum Front Setback	Minimum Side Setback	Minimum Rear Setback	
			To Principal Structure	To Rear Garage (Attached or Detached) or to Accessory Structure
Single-Family Attached	0'	0'	20'	5'
Live-Work	0'	0'	20'	5'
Semi-detached	10'	4' except for garage which may be 0'	20'	5'
Two-Family	10'	4' except for garage which may be 0'	20'	5'
Apartment	10'	10' except for garage which may be 0'	20'	5'

- Open decks must be a minimum of 10' from rear property line, and are subject to side yard setbacks.
 - Facing accessory structures and detached garages (across an alley/lane ROW) shall be 30' apart.
 - Between apartment buildings, the minimum setback distances shall be 30' front to front, 30' back to back, 50' front to back and 50' back to back, 50' back to front and 10' for all other conditions.
 - Structures may be located anywhere within such setback areas in accordance with a site development plan approved by Howard County Planning Board.
- EXCEPTIONS TO FRONT SETBACK REQUIREMENTS:**
Except for the following, section 12B-A1 applies:
- Porches may encroach into the front yard to within 2' from the property line or right-of-way for all other residential lot types.
 - Stoops and steps may encroach into the front and side yards to within 1' from the front property line for all other residential types.
 - Garden walls, fences, piers, gates and similar ornaments may be built in the front and side yards not closer than 1' from the property line, not greater than 48" in height along the front property line and not greater than 12" along the side and rear property lines.
- ACCESS:**
• Permanent access to lots may be provided by means of alleys, using perpetual reciprocal easements.
- BUILDING HEIGHT:**
• Maximum building height on all lots shall be 30' to the midpoint of the roof height measured from the highest adjoining ground elevation adjacent to the building, except as otherwise approved on a site development plan by the Howard County Planning Board.
- COVERAGE:**
• Lot coverage for estate lots shall not exceed 50 percent, including principal and accessory structures but not including sidewalks, paved parking areas, driveways, porches, stoops, steps, decks, patios, in-ground pools, landscaping and similar structures.
- PARKING:**
• No less than two parking spaces shall be provided for each single family detached dwelling unit. Such spaces may consist of garage, driveway and/or on-street parking spaces. Visitor parking and overflow parking may be accommodated on an on-street and parallel parking within the public right-of-way.



- SHEET INDEX**
1. COVER SHEET
 2. ROAD CONSTRUCTION PLAN
 3. ROAD CONSTRUCTION PLAN
 4. ROAD CONSTRUCTION PLAN
 5. ROAD DETAILS
 6. SIGNAGE, TRAFFIC CONTROL, STRIPINGS & STREET TREE PLAN
 7. STORM DRAIN STRUCTURE INFORMATION
 8. STORM DRAIN DRAINAGE ARE MAP
 9. STORM DRAIN PROFILES
 10. STORM DRAIN PROFILES
 11. STORM DRAIN PROFILES
 12. HAMMOND BRANCH CROSSING DETAILS
 13. HAMMOND BRANCH CROSSING DETAILS & NOTES
 14. FINAL FOREST CONSERVATION PLAN AND NOTES
 15. FINAL FOREST CONSERVATION DETAILS AND NOTES
 16. FINAL LANDSCAPE PLAN
 17. FINAL LANDSCAPE DETAILS, AND NOTES

OVERALL TRACKING CHART

PHASE NO.	FILE REF. NO.	GROSS ACRES	NON-BUILDABLE					S.F.D. AC. (S)	O.R. AC. (S)	E.M.P. AC. (S)	O.S. AC. (S)	PUB. RD.			S.F.D. UNITS	O.R. UNITS (APT./S.F.A.)	S.F.D. DENSITY	O.R. DENSITY	E.M.P. BLDG. AREA	E.M.P. FAR				
			SF	OR	EMP	OS	%					SF	OR	EMP										
1	F-03-01	51.82	0.00	0.00	0.00	0.00	(0.0)	---	---	---	---	---	---	---	---	---	---	---	---	---				
2	F-03-40	31.43	0.32	0.43	0.24	0.00	(3.2)	10.84	(21.0)	6.04	(21.6)	1.56	(4.2)	15.75	(42.1)	3.72	3.14	156	1.80	55	65	5.0/AC	8.0/AC	
3	F-04-42	59.20	-0.32	-0.43	2.71	0.00	(3.0)	7.11	(12.1)	12.28	(20.3)	14.20	(25.2)	22.85	(58.4)	2.52	0.48	0.00	100	41	74	5.8/AC	6.4/AC	
4a	F-05-01/F-05-02	15.41	0.00	1.48	-1.64	0.00	(1.4)	0.00	(0.0)	1.24	(41.1)	1.64	(0.4)	6.10	(43.3)	0.00	3.40	1.64	0.46	---	---	---	---	
4b	F-05-19A	0.00	0.00	0.00	-1.26	0.00	(0.0)	0.00	(0.0)	1.26	(---)	0.00	(0.0)	0.00	(0.0)	0.00	0.00	1.26	---	---	---	---		
4c	F-05-112 & F-05-113	3.00	0.00	0.00	0.00	(0.0)	0.00	(0.0)	0.00	(0.0)	3.00	(00.0)	0.00	(0.0)	0.00	0.00	3.00	---	---	---	---	---		
TOTALS		166.85	1.48	1.48	1.07	(0.0)	11.45	(0.8)	21.66	(16.8)	53.14	(19.4)	66.45	(94.9)	25.75	---	---	---	---	---	---	---	---	
OVERALL SETBACK TABULATION			PROPOSED					ALLOWED					LAND USE ACRES*			PROPOSED			ALLOWED			S-0-17		
OVERALL S.F.D./GROSS ACRE			5.3 UNITS/AC.					2.8 UNITS/AC.					SINGLE FAMILY DETACHED (S.F.D.)			175			19.3			485 (43.8)		
OVERALL O.R./GROSS ACRE			7.3 UNITS/AC.					14.0 UNITS/AC.					OTHER RESIDENTIAL (O.R.)			214			33.0			236 (21.8)		
OVERALL EMPLOYMENT FAR			0.35					---					EMPLOYMENT			534			711			355 (25.4)		
OVERALL S.F.D./O.S. DENSITY			1.6 UNITS/AC.					2.2 UNITS/AC.					TOTALS			66.45			1143			116		

*LAND ACRES INCLUDE NON-BUILDABLE AREAS

NON-BUILDABLE TRACKING CHART

PARCEL	TOTAL NON-BUILDABLE PARCEL AREA	FILE UNDER WHICH PARCEL WAS CREATED	FILE UNDER WHICH PARCEL WAS CONVERTED	AREA CONVERTED	CONVERTED TO	AREA REMAINING
A	0.52	F-03-40	F-04-42	0.52	O.R. LOTS	---
B	0.43	F-03-40	F-04-42	0.43	S.F.D. LOTS	---
C	0.24	F-03-40	SP-05-03	0.24	R/W (EMP)	---
D	1.22	F-04-42	SP-05-03	1.22	R/W (EMP)	---
E	1.64	F-04-42	F-05-01	1.64	R/W (EMP)	---
F	1.38	F-05-01	---	0	---	1.38
G	0.10	F-05-01	---	0	---	0.10
TOTAL	5.53					1.48

OVERALL OPEN SPACE TRACKING CHART

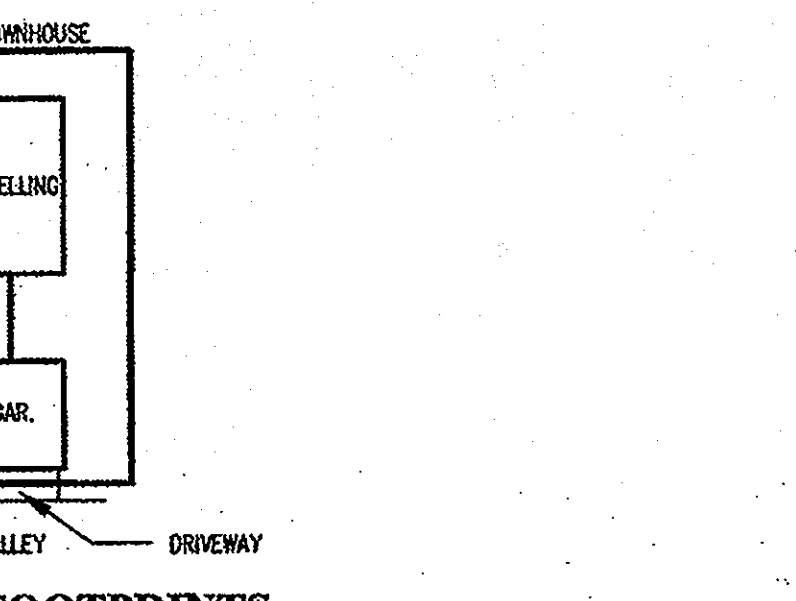
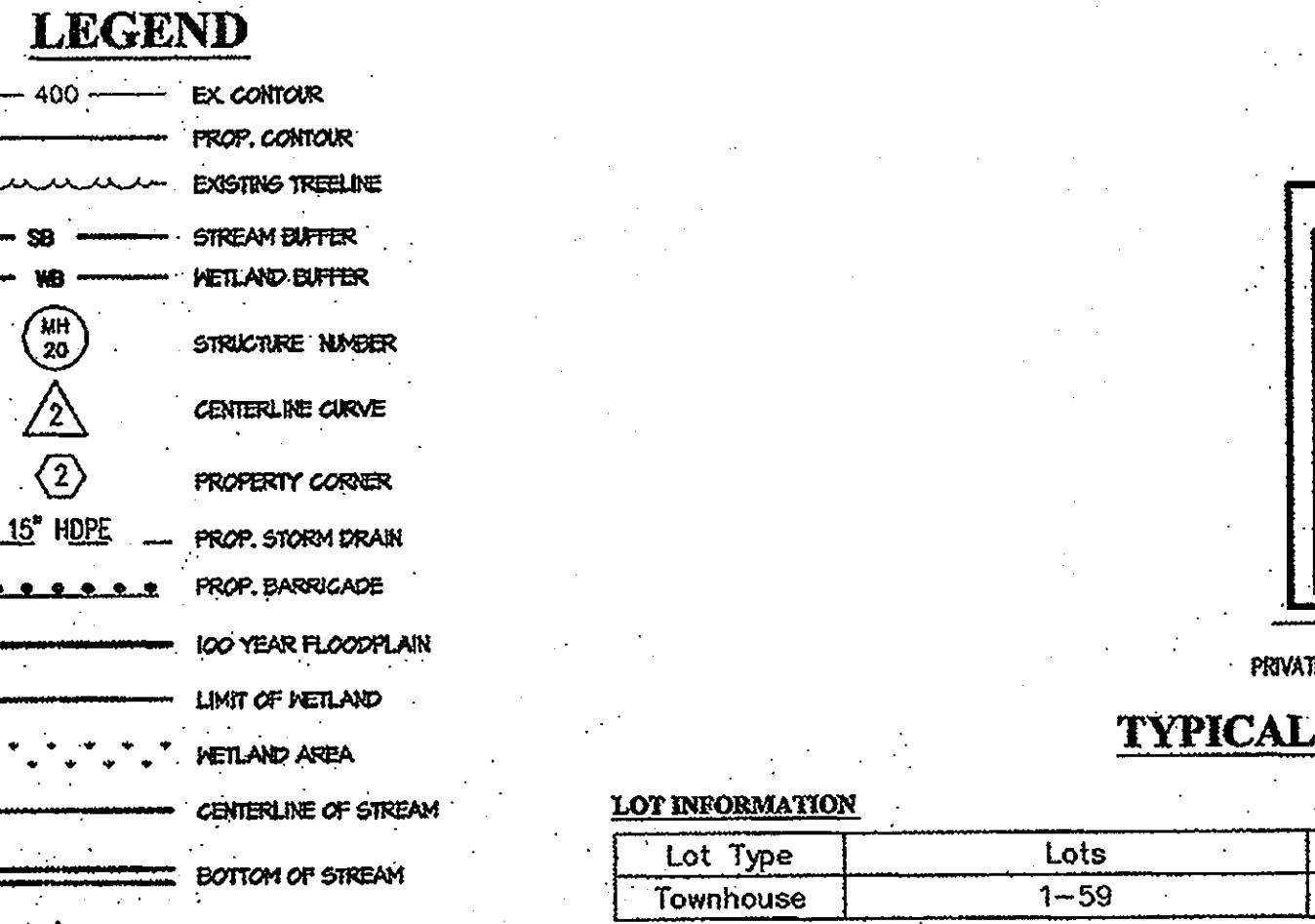
PHASE NO.	FILE REF. NO.	GROSS ACRES	O.S. AC. (S)	ACTIVE O.S. AC. (S)
1	F-03-01	51.82	21.6	(40.7)
2	F-03-40	31.43	15.75	(42.1)
3	F-04-42	59.20	22.85	(58.4)
4a	F-05-01 / 82	15.41	6.10	(43.3)
4b	F-05-19A	0.00	0.00	(0.0)
4c	F-05-112/113	3.00	0.00	(0.0)
TOTAL		166.85	66.45	(94.9)

*The percent of active open space is based upon the total open space provided.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

4-10-08



LOT INFORMATION

Lot Type	Lots	Minimum Lot Size	Min. Lot Width at Front BRL
Townhouse	1-59		

THE PURPOSE OF THIS PLAN SET IS TO EXTRACT THOSE SHEETS FROM F-05-81 THAT INCLUDE ROAD, STORM DRAIN, FOREST CONSERVATION AND LANDSCAPING, IN ORDER TO ALLOW THE PUBLIC STREETS AND STORM DRAIN SYSTEMS TO BE DEDICATED AHEAD OF THE SWM FACILITIES. FOR COMPLETENESS, CERTAIN CONSTRUCTION INFORMATION AND REQUIREMENTS FOR SWM FACILITIES WERE REPEATED ON BOTH THIS SET AND F-05-81.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
With 2 Attachments
Chief, Bureau of Highways
S-15-08
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cinda Hawk
Chief, Division of Land Development
8/2/08
Date
D. J. Williams
Chief, Development Engineering Division
8/16/08
Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3009 NATIONAL DRIVE - SUITE 200 - BURTSMVILLE OFFICE PARK
BURTSMVILLE, MARYLAND 20886
TEL: 301-421-4024 BALTIMORE 410-880-1820 DC/VA 301-389-2524 FAX: 301-421-4186

12/18/10
DATE rev. contact information

REVISION
klp
BY
APPR.

PREPARED FOR:
G&R MAPLE LAWN INC.
SUITE 410 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: Mark Bennett
410-484-8400

COVER SHEET
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS 61 & 62,
AND NON-BUILDABLE PARCELS 'F' & 'G'
A SUBDIVISION OF PARCELS 129, 205 AND 474 AND
A RESUBDIVISION OF PARCEL 2, PLAT NO. 16787


SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	04001a
DATE	TAX MAP - GRD	SHEET
MAR., 2008	41-22	1 OF 17

HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 5

TILGHMAN STREET CENTERLINE CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	DELTA
(1)	94.12	25.00'	28.49	26.61	N 64°03'19" W
(2)	186.26	41.00'	44.18	184.65	S 81°31'50" E
(3)	25.66	46.00'	18.11	25.31	S 60°50'50" E

TOP OF CURB ELEVATION TABLE			
PT. NO.	STATION	OFFSET	ELEV.
(19)	24+86.58	32.00' L	389.49
(20)	0+57.03	14.00' R	386.10
(21)	2+64.07	14.00' R	374.49
(22)	3+03.79	14.00' R	373.52
(23)	4+90.05	14.00' R	377.42
(24)	9+61.93	14.00' R	400.58
(25)	9+87.59	14.00' R	401.11
(26)	OMITTED INTENTIONALLY		
(27)	9+61.93	14.00' L	400.58
(28)	4+90.05	14.00' L	377.42
(29)	3+03.79	14.00' L	373.52
(30)	2+64.07	14.00' L	374.49
(31)	0+57.00	14.00' L	386.10
(32)	24+08.03	32.00' L	386.34

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

Road Construction Plan
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, 05 LOT 60, COMMON OPEN AREAS 61 & 62, AND NON-BUILDABLE PARCELS 'F' & 'G'
 A SUBDIVISION OF PARCELS 22, 23, AND 47 AND A REZONING OF PARCELS 22, 23 AND 47 AND ELECTION DISTRICT No. 5 HOWARD COUNTY, MD

OWNER:
 628 MAPLE LAWN, INC.
 SUITE 410 WOODBINE CENTER
 1629 GIBBERSTOWN RD
 BALTIMORE, MD 21208
 ATT: Mark Bennett
 410-484-8400

DESIGNED DEV: DATE: MAR, 2008
 DRAWN AHL
 CHECKED DEV: DATE:
 SCALE: 1"=50'
 DRAWING: 2 of 17
 ZONING: MND-3
 JOB No.: 04001c

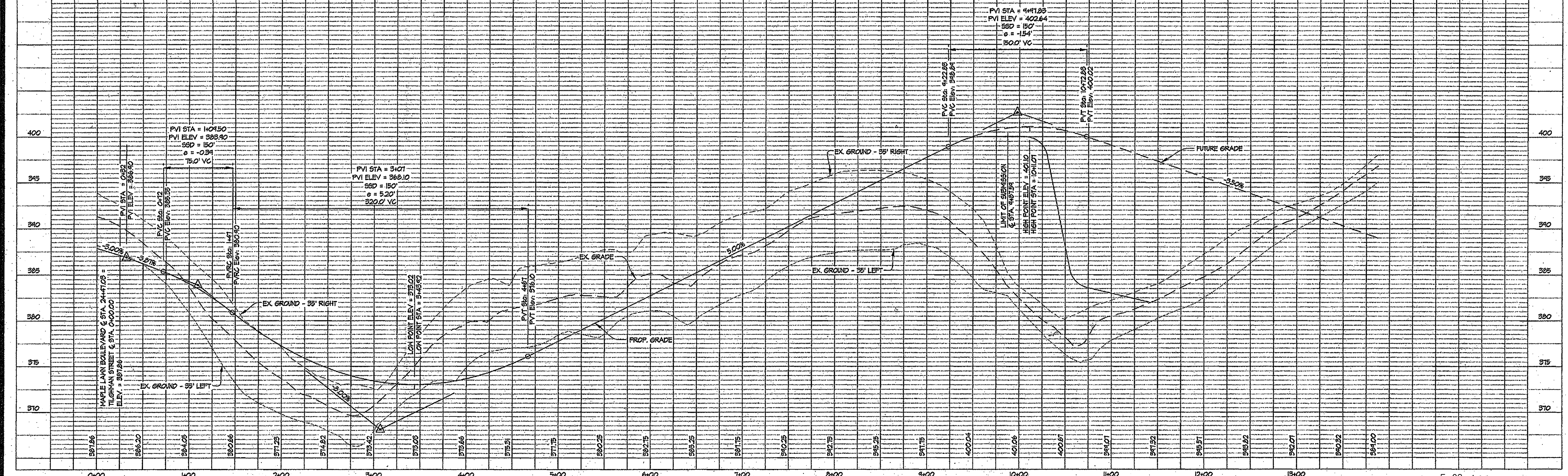
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter R. White
 Chief, Bureau of Highways
 Date: 5-15-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cindy Hammett
 Chief, Division of Land Development
 Date: 5/2/08

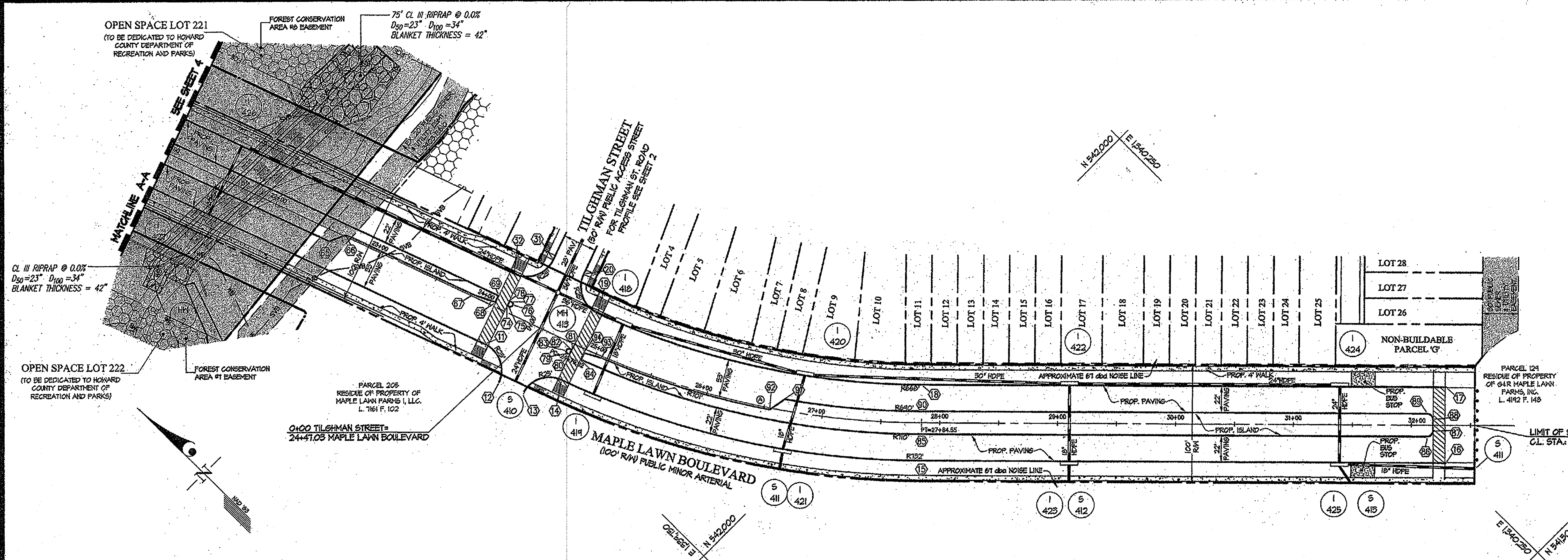
John DeMunnis
 Chief, Development Engineering Division
 Date: 5/19/08

Note: storm drain located within Common Open Area U2 will be owned and maintained by the Homeowners Association.

NOTE: ERL FOR SINGLE FAMILY ATTACHED IS 0' FOR LOTS FRONTING ON TILGHMAN STREET. RIGHT AND LEFT EXISTING GROUND SHOWN IS 35' OFFSET FROM TILGHMAN STREET CENTERLINE.



MAPLE LAWN BLVD. CENTERLINE CURVE TABLE						CURB ELEVATION TABLE				
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA	PT. NO	STATION	OFFSET	ELEV.
(A)	304.7'	100.0'	54.82	302.25	S 82°02'19" E	24°56'34"	(12)	24+36.03	57.00' R	388.07
							(13)	24+57.93	56.89' R	388.94
							(14)	24+82.70	32.00' R	389.30
							(15)	27+84.55	32.00' L	405.30
							(16)	32+29.58	32.00' R	419.68
							(17)	32+29.58	32.00' L	419.68
							(18)	27+84.55	32.00' L	405.30
							(19)	24+86.56	32.00' L	389.48
							(20)	0+57.00	14.00' R	386.10
							(31)	0+57.00	14.00' L	386.10
							(32)	24+08.03	32.00' L	386.34
							(66)	22+54.03	10.00' R	383.00
							(68)	22+65.25	0.92' L	383.39
							(67)	23+83.50	1.00' L	386.21
							(68)	24+04.00	3.48' L	386.93
							(69)	24+04.00	10.00' L	386.66
							(74)	24+14.00	4.70' L	387.30
							(75)	24+15.86	4.92' L	387.38
							(76)	24+18.50	7.90' L	387.53
							(77)	24+16.50	10.00' L	387.38
							(78)	24+14.00	10.00' L	387.30
							(79)	24+77.53	10.00' R	389.86
							(80)	24+80.03	10.00' R	389.94
							(81)	24+80.03	4.70' R	389.84
							(82)	24+78.17	4.92' R	389.86
							(83)	24+75.53	7.90' R	389.81
							(84)	24+89.89	10.00' R	390.09
							(85)	27+84.55	10.00' R	405.76
							(86)	32+13.48	10.00' R	419.75
							(87)	32+18.48	5.00' R	419.97
							(88)	32+18.48	5.00' L	419.97
							(89)	32+13.48	10.00' L	419.75
							(90)	27+84.55	10.00' L	405.76
							(91)	26+66.01	9.92' L	399.71
							(92)	26+55.04	0.92' R	399.31
							(93)	25+05.34	1.00' R	391.03
							(94)	24+89.89	3.13' R	390.35



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter R. ...
 Chief, Bureau of Highways
 Date: 5-15-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cynthia ...
 Chief, Division of Land Development
 Date: 5/2/08

...
 Chief, Development Engineering Division
 Date: 5/19/08

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.

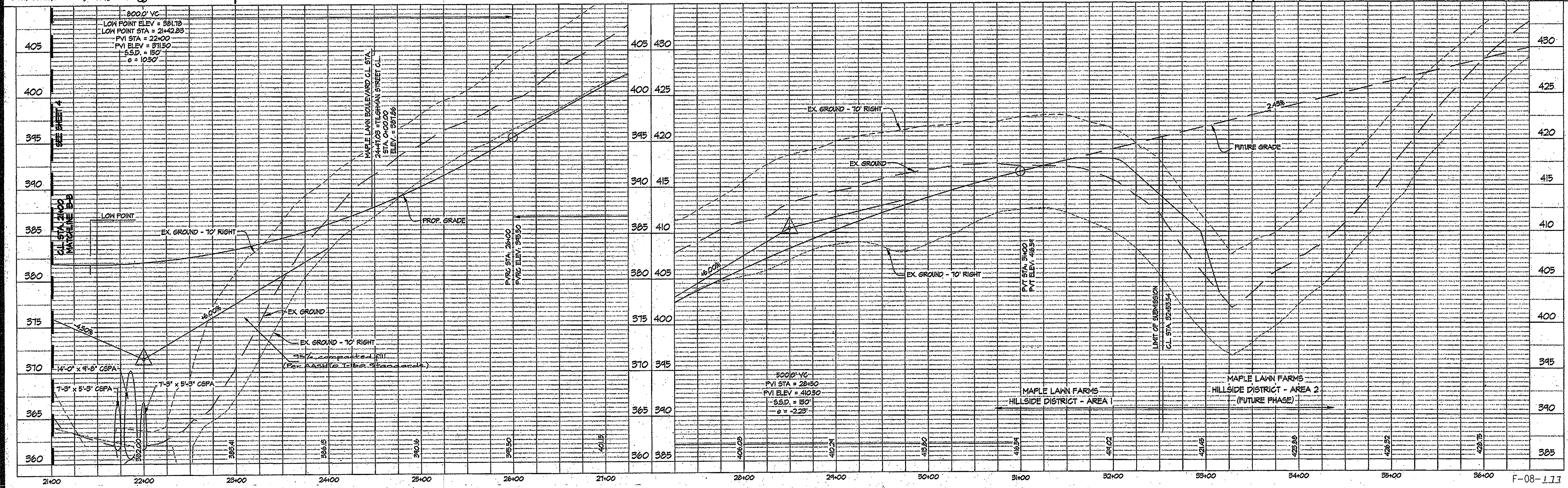
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

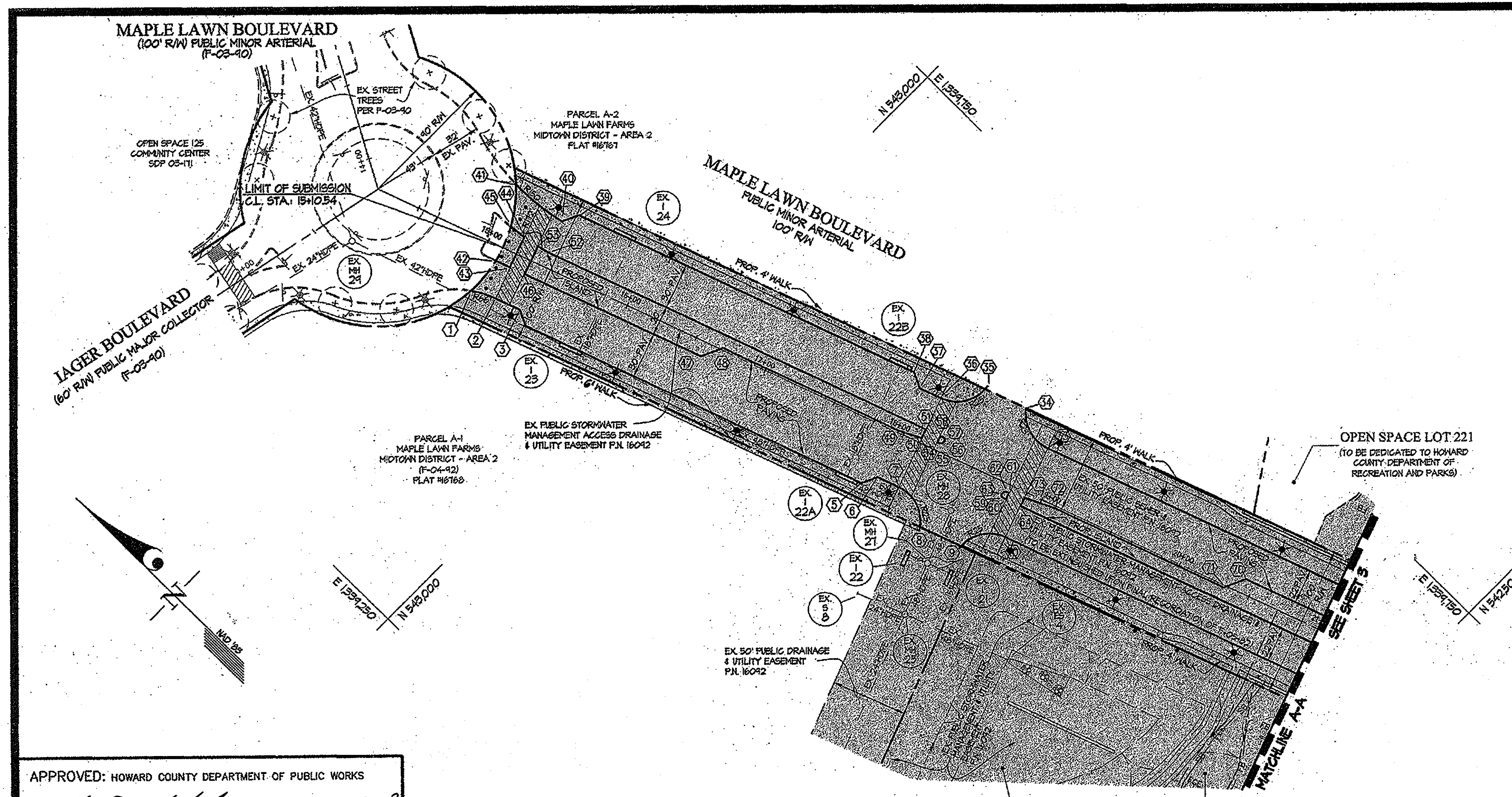
Road Construction Plan
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS 61 & 62, AND NON-BUILDABLE PARCELS 'F' & 'G'
 A SUBDIVISION OF PARCELS 228, 229, 422, 423 AND 424
 A REVISION OF PARCEL 'G' ON PLAT 1677

DESIGNED DEV: [Blank]
 DRAWN: AWL
 CHECKED: [Blank]
 DATE: MAR., 2008

SCALE: 1"=50'
 DRAWING: 3 of 17
 ZONING: MD-3
 JOB NO.: 04001a

OWNER: 6247 MAPLE LAWN, INC.
 SUITE 410 WOODBINE CENTER
 1629 BOSTERTOWN RD
 BALTIMORE, MD 21208
 ATTN: Mark E. Perrett
 410-684-8400





CURB ELEVATION TABLE				CURB ELEVATION TABLE			
PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.
(1)	MATCH	EXISTING CURB		(52)	15+37.93	10.00' L	388.69
(2)	15+20.45	31.97' R	398.60	(53)	15+30.43	10.83' L	388.83
(3)	15+38.47	31.97' R	398.22	(54)	18+21.96	4.68' L	389.23
(4)	15+46.49	40.00' R	397.81	(55)	18+23.82	4.90' L	389.17
(5)	17+88.60	40.00' R	389.72	(56)	18+26.46	7.88' L	389.12
(6)	17+96.63	32.00' R	389.79	(57)	18+24.46	9.98' L	389.17
(7)	18+11.88	32.00' R	388.91	(58)	18+21.96	9.98' L	389.23
(8)	18+36.59	52.70' R	388.58	(59)	18+76.57	9.98' R	387.12
(9)	18+64.46	52.00' R	387.51	(60)	18+79.07	10.00' R	387.04
(10)	18+88.96	32.00' R	385.96	(61)	18+79.09	4.69' R	387.04
(11)	18+64.96	50.00' L	387.49	(62)	18+77.23	4.91' R	387.12
(12)	18+36.58	52.57' L	388.58	(63)	18+74.58	7.88' R	387.27
(13)	18+11.96	32.00' L	388.91	(64)	18+88.07	10.00' R	386.41
(14)	17+96.63	32.00' L	389.59	(65)	20+43.46	10.00' L	382.83
(15)	17+88.60	40.00' L	389.72	(66)	20+32.24	0.92' R	383.21
(16)	15+46.49	40.00' L	397.81	(67)	19+10.50	1.00' R	385.95
(17)	15+38.12	31.63' L	398.23	(68)	18+89.10	3.49' R	386.68
(18)	MATCH	EXISTING CURB					
(19)	MATCH	EXISTING CURB					
(20)	15+20.44	9.97' R	398.06				
(21)	15+20.43	12.47' L	399.01				
(22)	MATCH	EXISTING CURB					
(23)	15+30.44	10.00' R	398.85				
(24)	16+57.46	10.00' R	395.43				
(25)	16+68.68	0.92' L	395.27				
(26)	17+95.96	1.00' L	390.30				
(27)	18+11.96	2.96' L	389.63				
(28)	18+11.96	10.00' L	389.63				

NOTE: SEE F-05-02 FOR THE FINAL PLAT OF THIS PORTION OF THE MAPLE LAWN BOULEVARD RIGHT-OF-WAY DEDICATION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-15-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Date: 5/15/08

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.



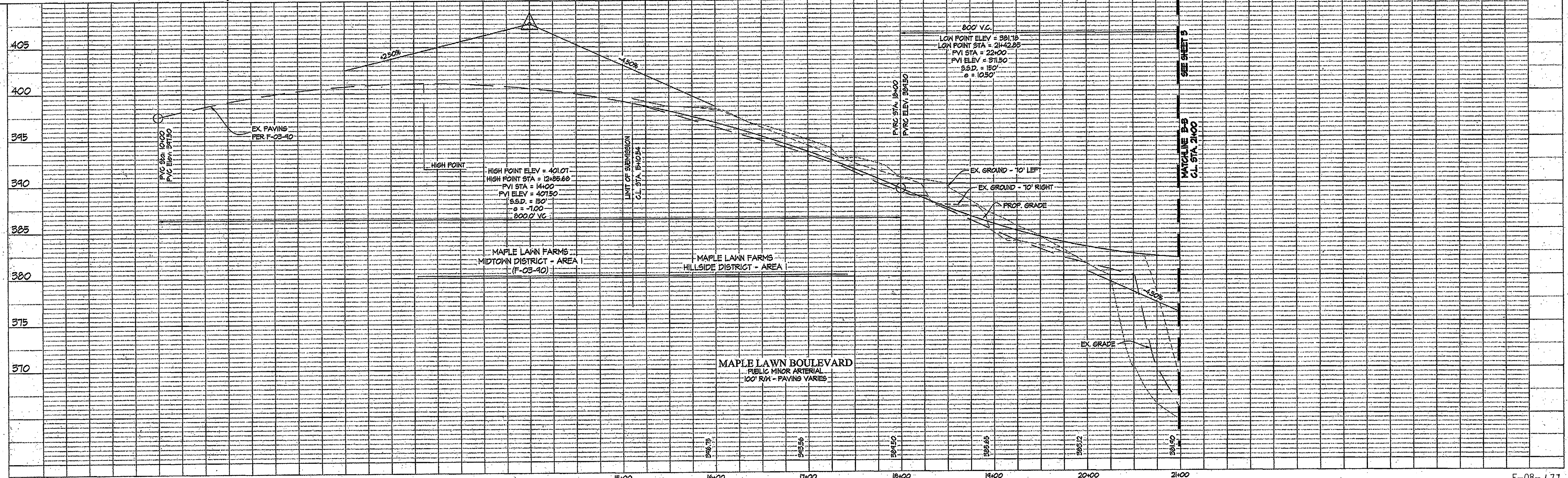
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-999-2524 FAX: 301-421-4186

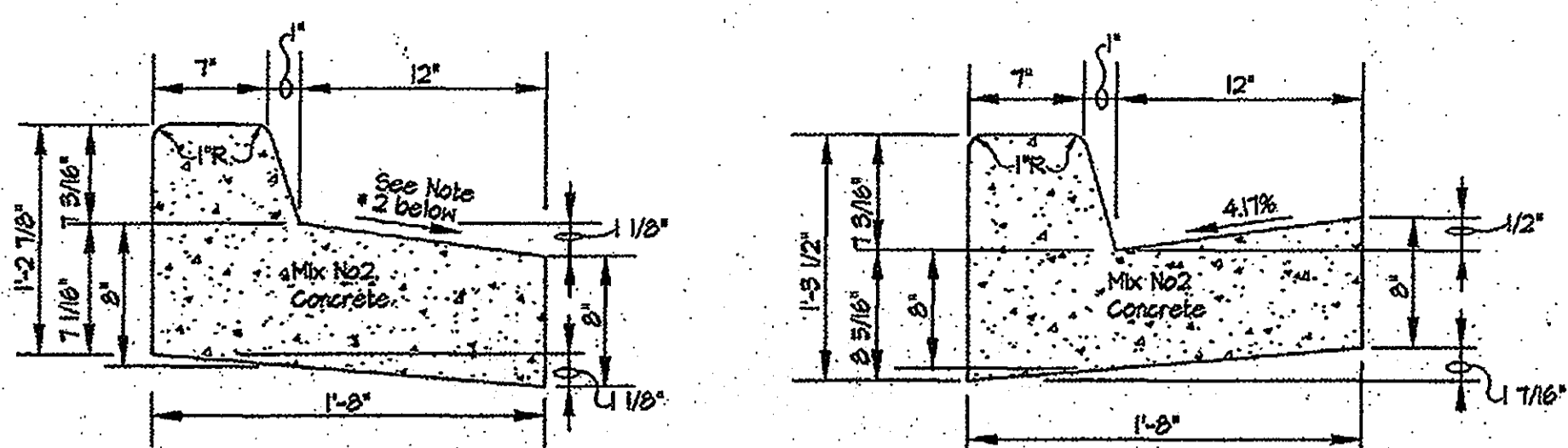
Road Construction Plan
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS 61 & 62 AND NON-BUILDABLE PARCELS 'F' & 'G'
 A SUBDIVISION OF PARCELS 22, 25, AND 44 AND A RESUBDIVISION OF PARCELS 27 OR PLAT 1687

ELECTION DISTRICT No. 5 HOWARD COUNTY, MD

OWNER: G&R MAPLE LAWN, INC.
 SITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN RD
 BALTIMORE, MD 21288
 ATTN: Mark Bennett
 410-491-8400

DESIGNED DEV: SCALE 1"=50'
 DRAWN ANL: DRAWING 4 of 17
 CHECKED DEV: ZONING M&D-3
 DATE: FEB, 2008 JOB No. 04001a

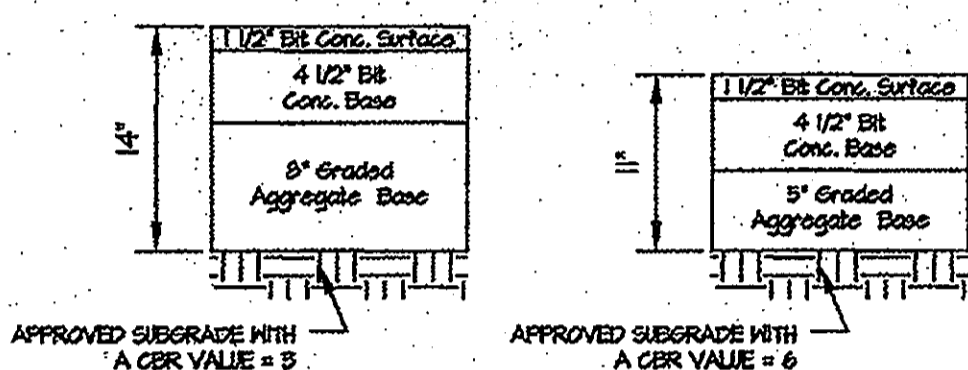




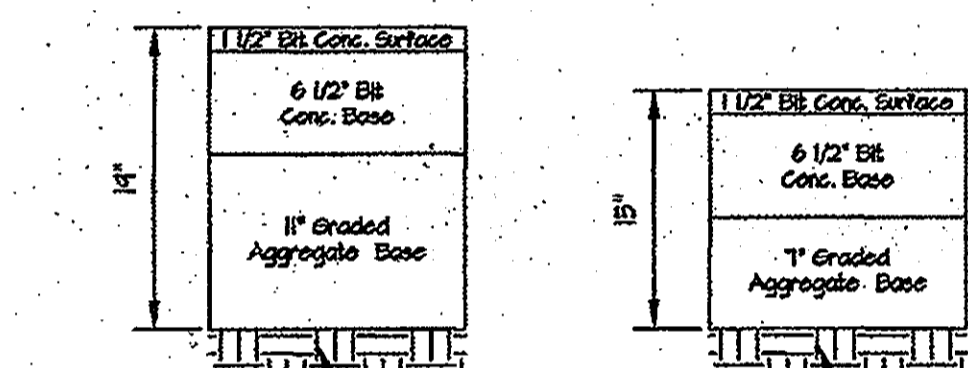
Reverse T1 Combination Curb & Gutter
N.T.S.

Standard T1 Combination Curb & Gutter
N.T.S.

- Notes:**
- Standard T1 Combination Curb and Gutter to be used in all public rights of way.
 - Gutter pan at median edge of intermediate arterials or the high side of super-elevated sections shall be sloped at the same rate and in the same direction as the pavement. Match pavement cross slope when curb is located on the low side of super-elevated section and the rate of super-elevation is greater than 3% for modified curb and gutter.



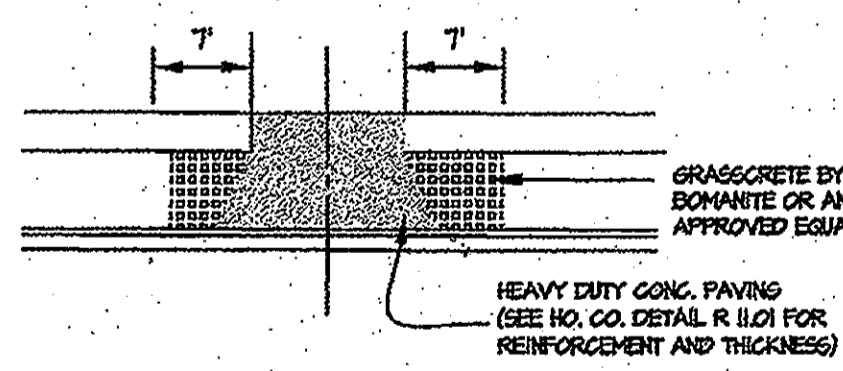
P-3 Granular Base
For all Alleys and Access Streets
N.T.S.



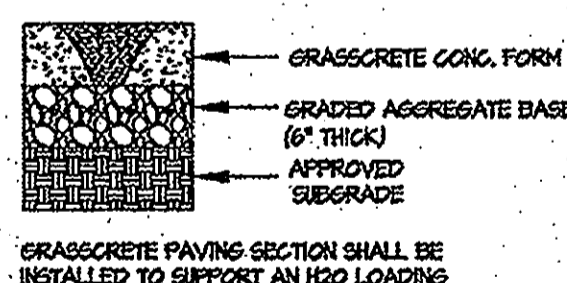
P-5 Granular Base
For all Alleys and Access Streets
N.T.S.

Paving Sections

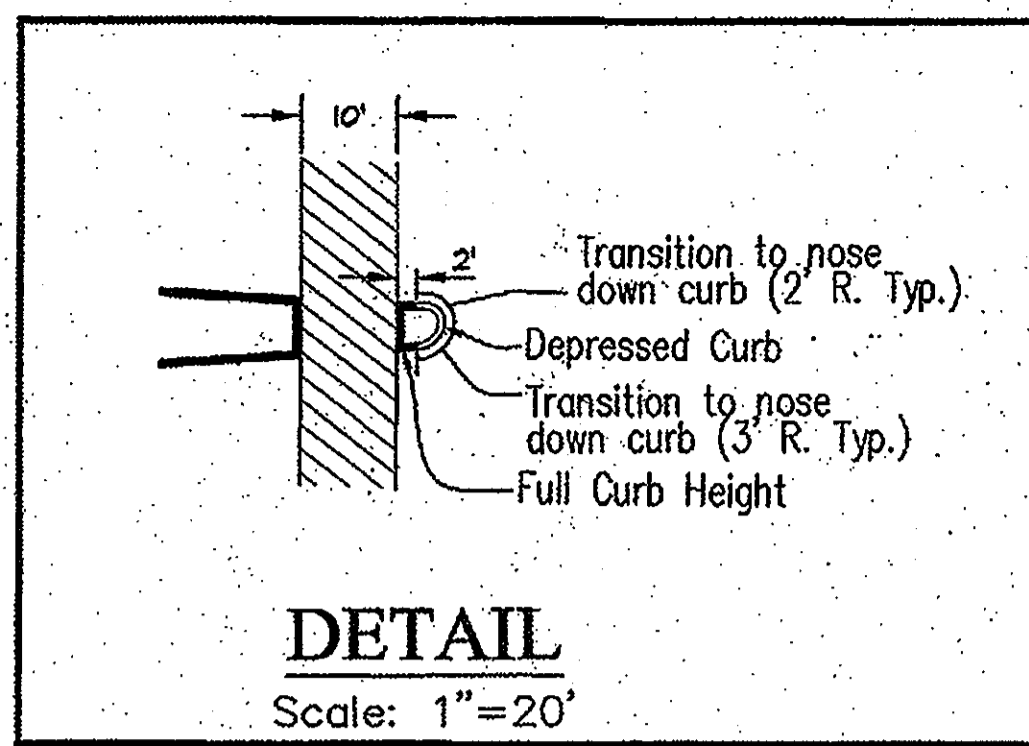
Note: Depending on the CER values obtained in the field, the paving sections may be revised, if approved by a professional soils engineer. These substitutions must also be approved by the Howard County Dept. of Public Works.



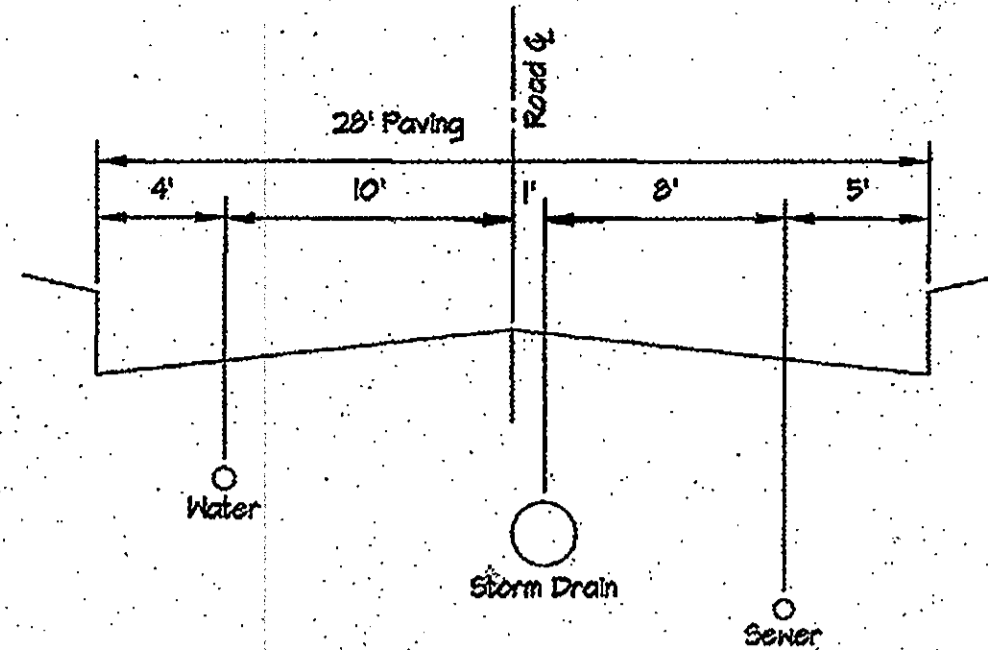
Alley Entrance Detail
N.T.S.



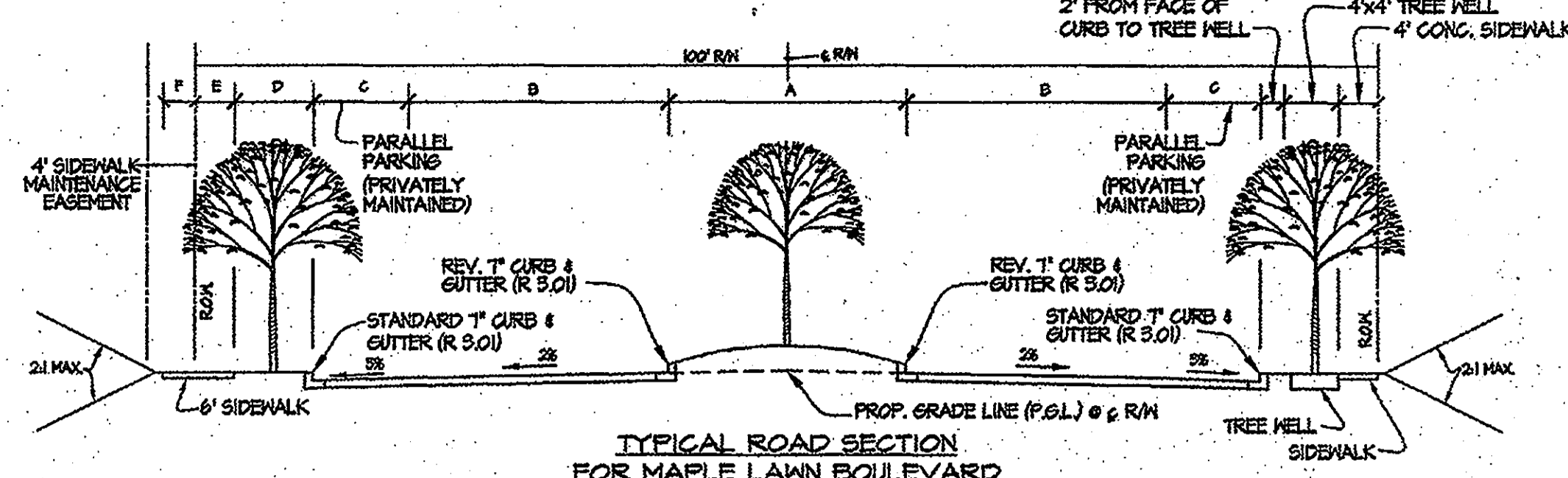
Grasscrete Detail
N.T.S.



DETAIL
Scale: 1"=20'



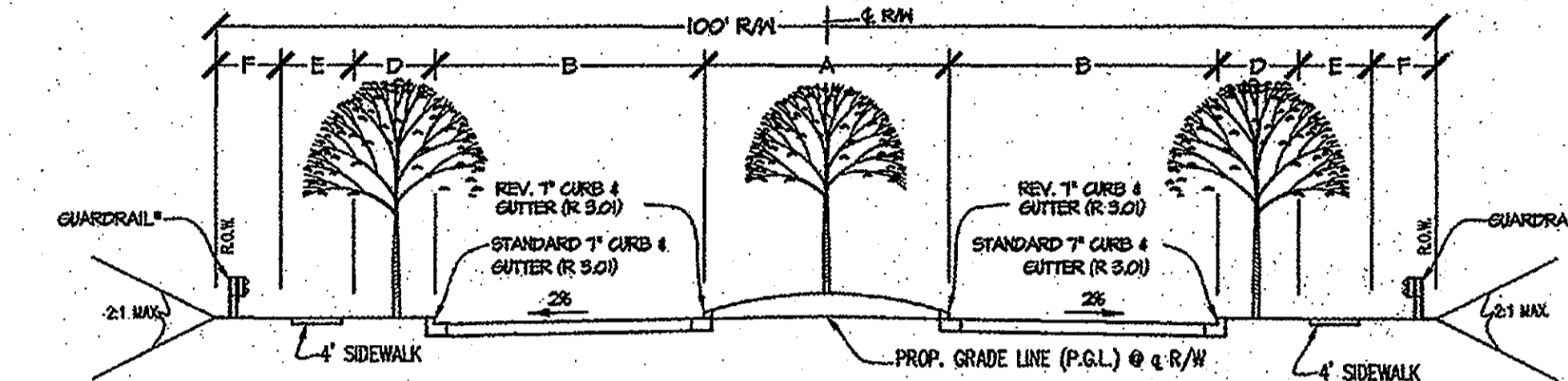
Typical Utility Locations
28' Paving Width
N.T.S.



TYPICAL ROAD SECTION FOR MAPLE LAWN BOULEVARD

TYPICAL ROAD SECTION & ROAD INFORMATION

ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
MAPLE LAWN BLVD.	E4054 TO 18+44.97	MINOR ARTERIAL	25 MPH	20'	22'	8'	6'-8"	3'-4"	2'-8"	100'	P-5



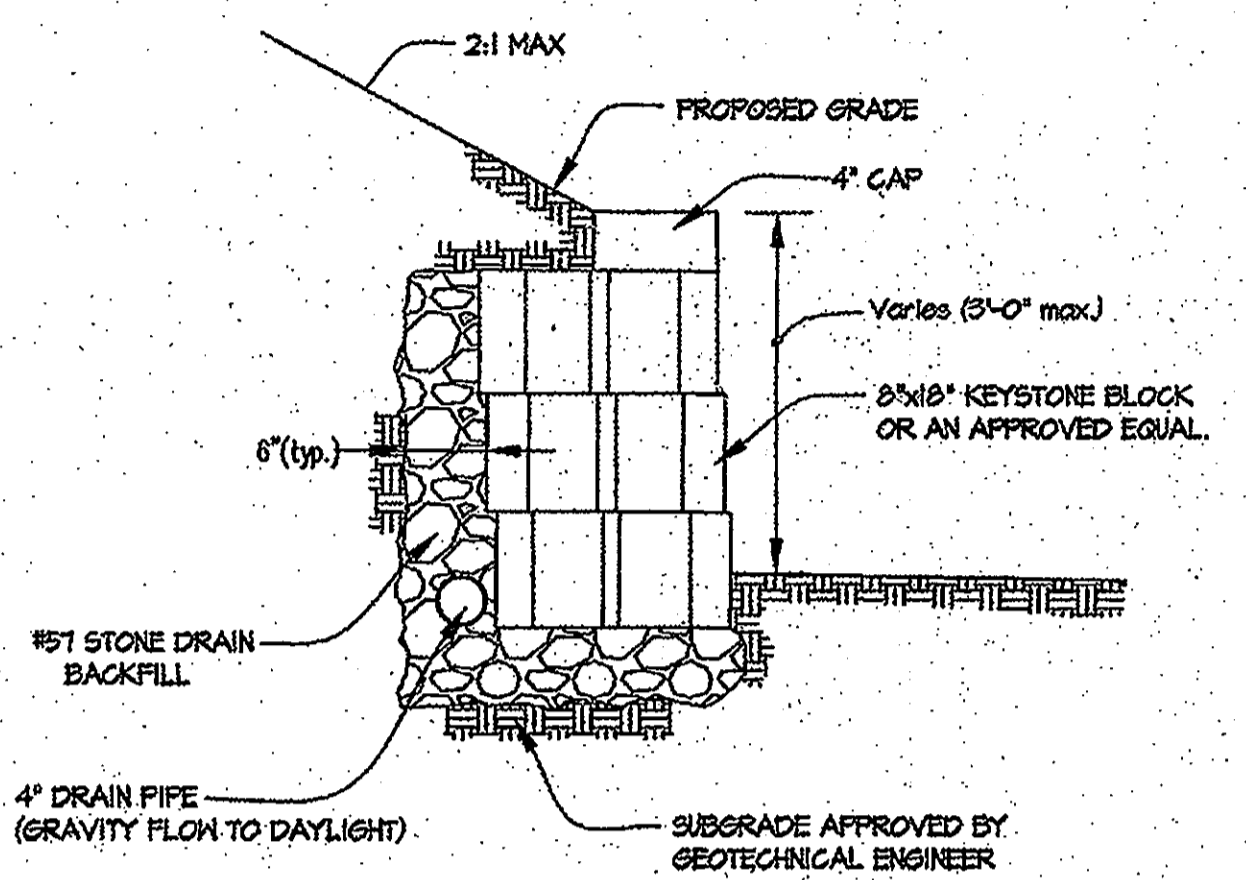
TYPICAL ROAD SECTION FOR MAPLE LAWN BOULEVARD

TYPICAL ROAD SECTION & ROAD INFORMATION

ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
MAPLE LAWN BLVD.	18+44.97 TO 20+08.50	MINOR ARTERIAL	25 MPH	20'	22'	8'	6'	4'	100'	P-5	
MAPLE LAWN BLVD.	20+08.50 TO 20+22.50	MINOR ARTERIAL	25 MPH	20'	22'	8'	VARIES 4'	VARIES 4'	100'	P-5	
MAPLE LAWN BLVD.	20+22.50 TO 23+56	MINOR ARTERIAL	25 MPH	20'	22'	8'	10'	4'	100'	P-5	
MAPLE LAWN BLVD.	23+56 TO 25+11.50	MINOR ARTERIAL	25 MPH	20'	22'	8'	VARIES 4'	VARIES 4'	100'	P-5	
MAPLE LAWN BLVD.	25+11.50 TO 52+53.54	MINOR ARTERIAL	25 MPH	20'	22'	8'	15'	4'	100'	P-5	

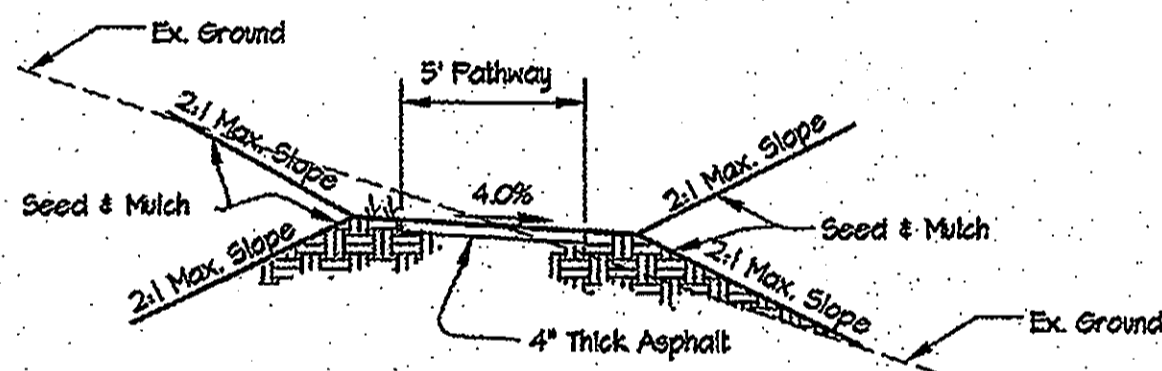
* GUARDRAIL TO BE PROVIDED ALONG NORTH BOUND MAPLE LAWN BLVD. FROM STA. 20+08.50 TO STA. 22+50 AND ALONG SOUTH BOUND MAPLE LAWN BLVD. FROM STA. 20+22.50 TO STA. 23+56 IN ACCORDANCE WITH SHA STANDARD NO. MD-660.01.

* 'C' IS USED WHEN PARALLEL PARKING IS PROVIDED. NO PARALLEL PARKING IS BEING PROVIDED ALONG THIS PORTION OF MAPLE LAWN BOULEVARD.

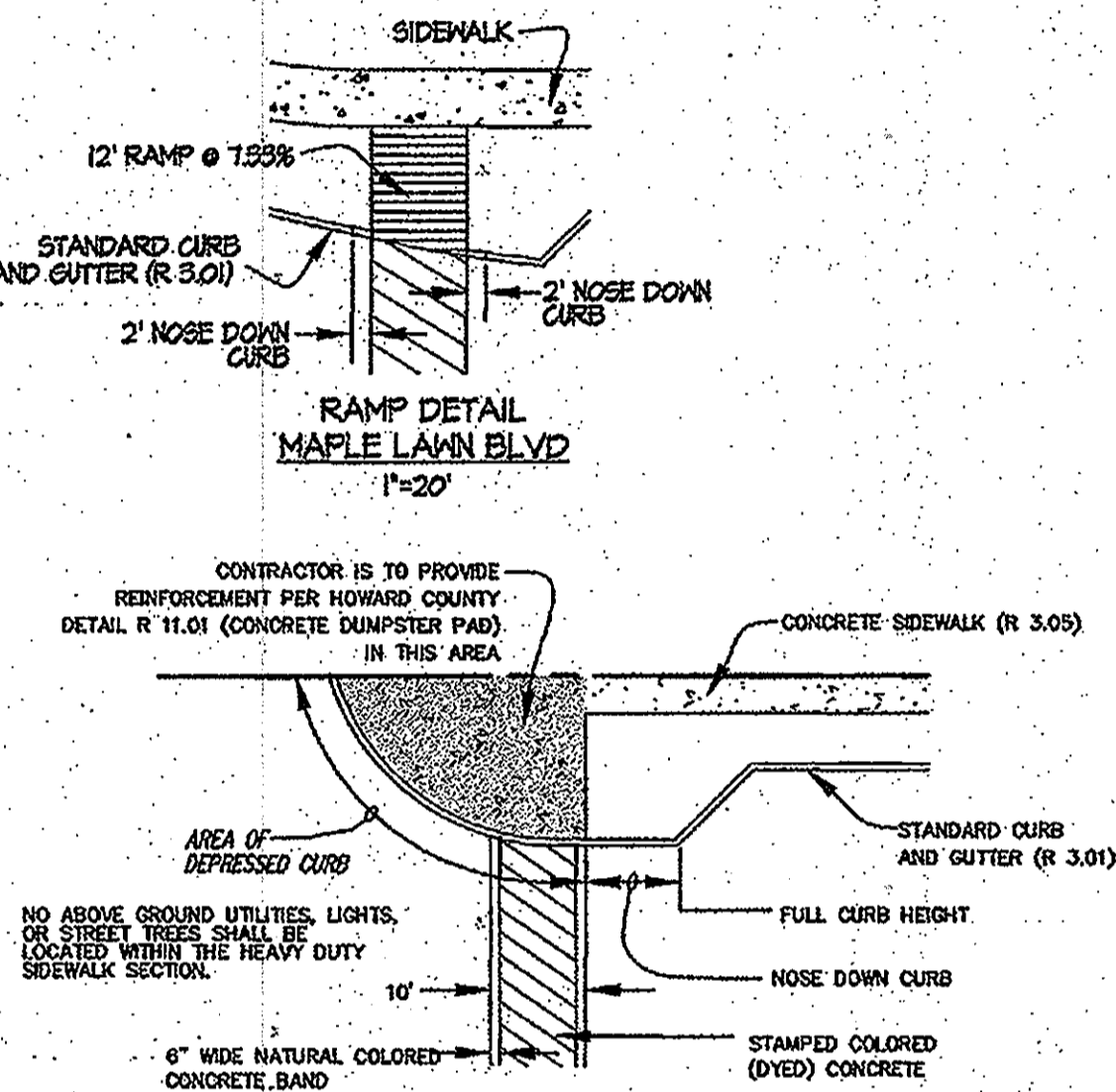


WALL DETAIL
NOT TO SCALE

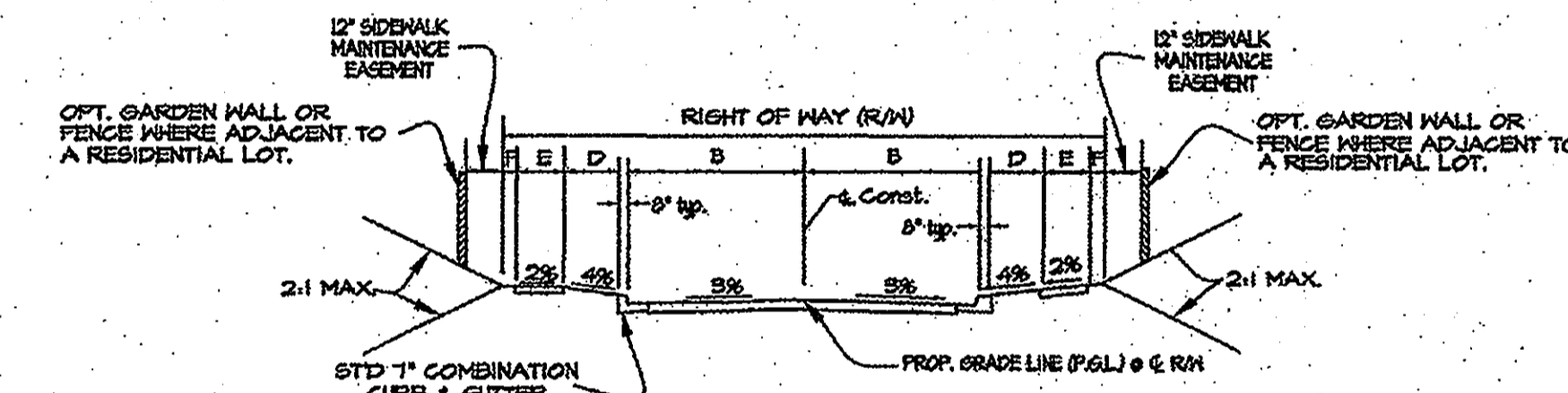
NOTE: DRAIN SYSTEM IS SUITABLE FOR WALL SITES WHERE GROUND WATER SEEPAGE DOES NOT EXIST. A GEOTECHNICAL ENGINEER SHALL EVALUATE THE WALL SITE FOR GROUNDWATER CONDITIONS AND PROVIDE ALTERNATIVE WALL DRAIN DETAILS AS NEEDED.



5-0 Pathway Detail
N.T.S.



TYPICAL RAMPING/CROSSWALK DETAIL
N.T.S.



TYPICAL ROAD SECTION FOR TILGHMAN STREET

TYPICAL ROAD SECTION & ROAD INFORMATION

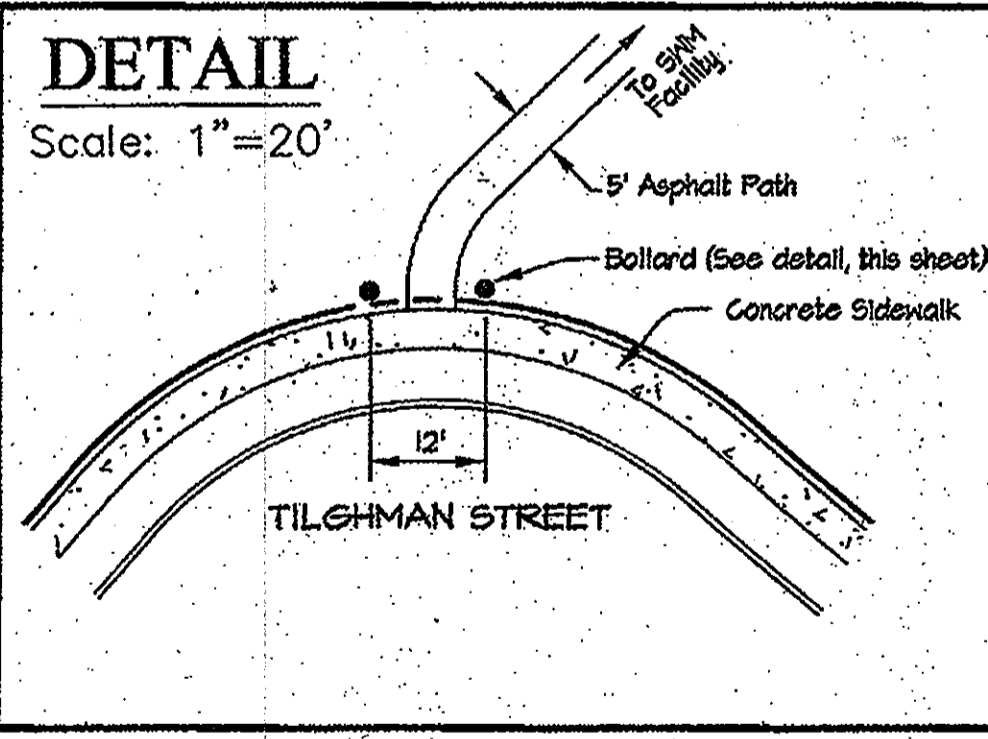
ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
TILGHMAN STREET	0+00 TO 0+81.91	ACCESS STREET	25 MPH	18'	18'	8'	4'	4'	50'	P-5	

TYPICAL ROAD SECTION FOR ALLEYS

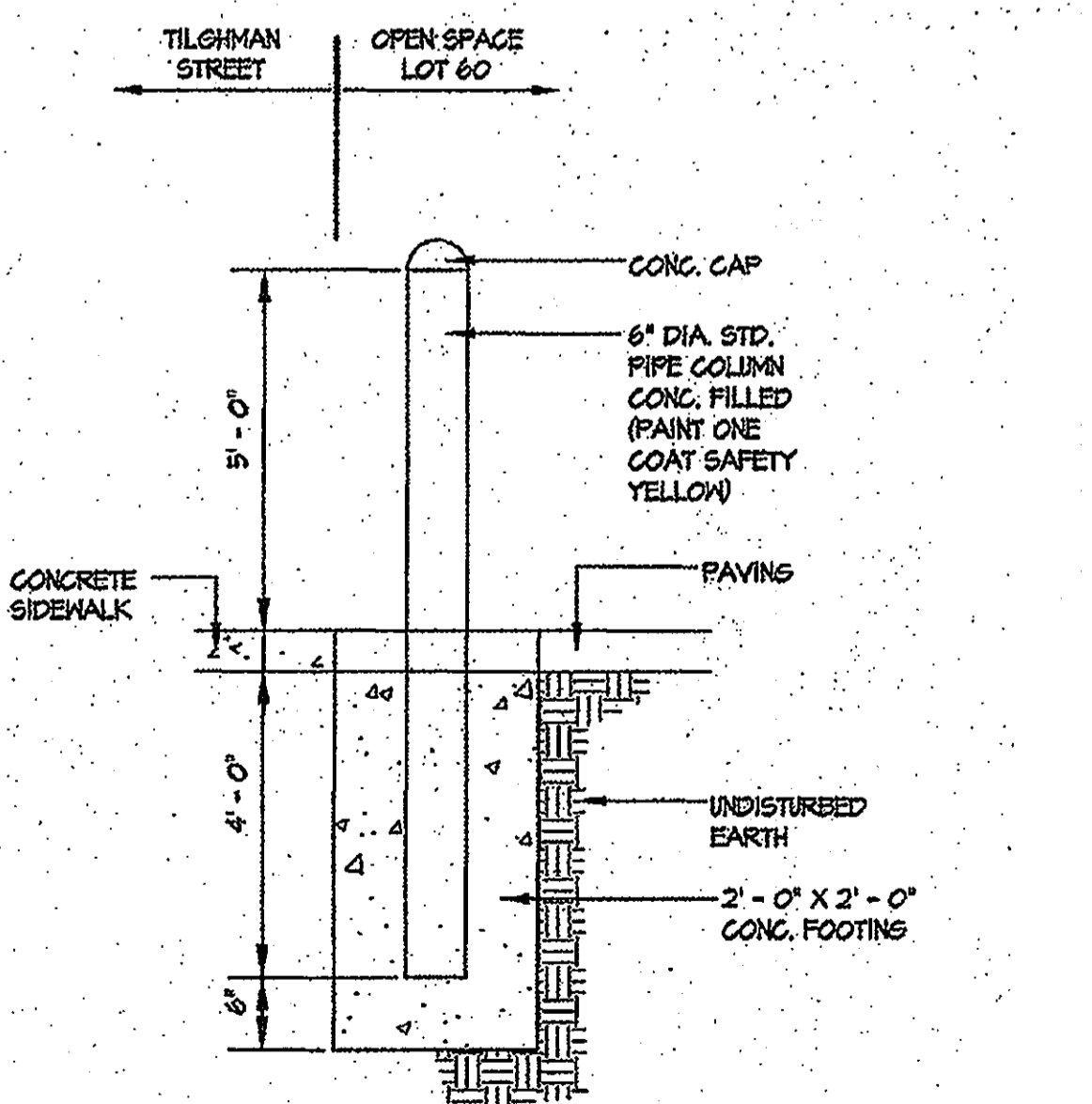
TYPICAL ROAD SECTION & ROAD INFORMATION

ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
PRIVATE ALLEYS	N/A	N/A	N/A	18'	8'	4'	---	---	---	---	P-5

* DIMENSIONS SHOWN ARE MINIMUMS. ADDITIONAL PAVING HAS BEEN PROVIDED FOR TRUCK TURNING PURPOSES.



DETAIL
Scale: 1"=20'



BOLLARD DETAIL
N.T.S.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
with 2 copies
Chief, Bureau of Highways
Date: 5-15-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief
Chief, Division of Land Development
Date: 5/19/08

APPROVED: DEVELOPMENT ENGINEERING DIVISION
Chief
Chief, Development Engineering Division
Date: 5/19/08

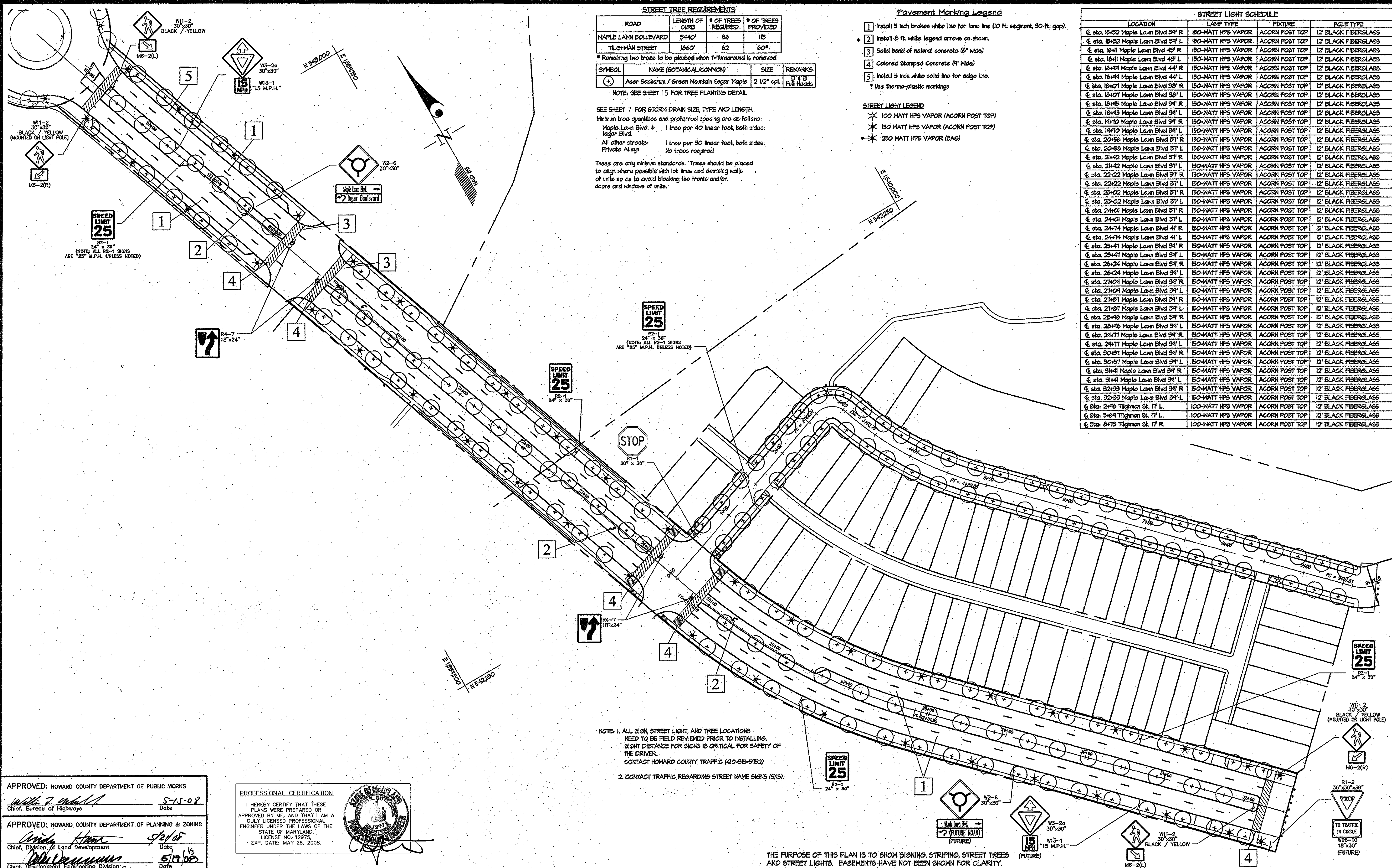
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 220 - BIRTONVILLE OFFICE PARK
BIRTONVILLE, MARYLAND 20886
TEL: 301-421-4024 FAX: 301-421-4024

DATE	BY	REVISION
10/2/10	LJP	rev. contact information

PREPARED FOR:
G&R MAPLE LAWN INC.
SUITE 410 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: Mark Bennett
410-484-8400

ROAD DETAILS
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 1
LOTS 1 THROUGH 59, 05 LOT 60, COMMON OPEN AREAS 61 & 62, AND NON-BUILDABLE PARCELS 'F' & 'G'
A SUBDIVISION OF PARCELS 129, 205 AND 474 AND A RESUBDIVISION OF PARCEL E, PLAT NO. 16707

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR., 2008	41-22	5 OF 17



STREET TREE REQUIREMENTS

ROAD	LENGTH OF CURB	# OF TREES REQUIRED	# OF TREES PROVIDED
MAPLE LAWN BOULEVARD	5440'	66	113
TILGHMAN STREET	1860'	62	60*

* Remaining two trees to be planted when T-Turnaround is removed.

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	REMARKS
(+)	Acer Saccharum / Green Mountain Sugar Maple	2 1/2' cal.	B 4 B Full Heads

NOTE: SEE SHEET 15 FOR TREE PLANTING DETAIL.

SEE SHEET 7 FOR STORM DRAIN SIZE, TYPE AND LENGTH.
 Minimum tree quantities and preferred spacing are as follows:
 Maple Lawn Blvd. & larger Blvd. 1 tree per 40 linear feet, both sides.
 All other streets- Private Alleys 1 tree per 30 linear feet, both sides. No trees required.

These are only minimum standards. Trees should be placed to align where possible with lot lines and demising walls of units so as to avoid blocking the fronts and/or doors and windows of units.

- Pavement Marking Legend**
- 1 Install 5 inch broken white line for lane line (10 ft. segment, 30 ft. gap).
 - 2 Install 2 ft. white legend arrows as shown.
 - 3 Solid band of natural concrete (6" wide).
 - 4 Colored Stamped Concrete (4" wide).
 - 5 Install 5 inch white solid line for edge line.
* Use thermo-plastic markings.

- STREET LIGHT LEGEND**
- * 100 WATT HPS VAPOR (ACORN POST TOP)
 - * 150 WATT HPS VAPOR (ACORN POST TOP)
 - * 250 WATT HPS VAPOR (SAG)

STREET LIGHT SCHEDULE

LOCATION	LAMP TYPE	FIXTURE	POLE TYPE
Sta. 15+32 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 15+32 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 16+11 Maple Lawn Blvd 43' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 16+11 Maple Lawn Blvd 43' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 16+49 Maple Lawn Blvd 44' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 16+49 Maple Lawn Blvd 44' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 18+07 Maple Lawn Blvd 38' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 18+07 Maple Lawn Blvd 38' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 18+45 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 18+45 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 19+10 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 19+10 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 20+56 Maple Lawn Blvd 37' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 20+56 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 20+56 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 21+42 Maple Lawn Blvd 37' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 21+42 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 21+42 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 22+22 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 22+22 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 22+22 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 23+02 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 23+02 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 24+01 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 24+01 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 24+01 Maple Lawn Blvd 37' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 24+74 Maple Lawn Blvd 41' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 24+74 Maple Lawn Blvd 41' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 24+74 Maple Lawn Blvd 41' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 25+47 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 25+47 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 26+24 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 26+24 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 27+04 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 27+04 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 27+04 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 27+87 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 28+46 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 28+46 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 29+77 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 29+77 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 30+57 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 30+57 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 31+41 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 31+41 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 32+33 Maple Lawn Blvd 34' R	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 32+33 Maple Lawn Blvd 34' L	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 2+46 Tilghman St. 17' L	100-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 5+64 Tilghman St. 17' L	100-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta. 8+73 Tilghman St. 17' R	100-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter R. ... 5-15-08
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
... 5/21/08
 Chief, Division of Land Development Date

... 5/12/08
 Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12775, EXP. DATE: MAY 26, 2008.

NOTE: 1. ALL SIGN STREET LIGHT, AND TREE LOCATIONS NEED TO BE FIELD REVIEWED PRIOR TO INSTALLING. SIGHT DISTANCE FOR SIGNS IS CRITICAL FOR SAFETY OF THE DRIVER. CONTACT HOWARD COUNTY TRAFFIC (410-313-5752).

2. CONTACT TRAFFIC REGARDING STREET NAME SIGNS (SNS).

THE PURPOSE OF THIS PLAN IS TO SHOW SIGNING, STRIPING, STREET TREES AND STREET LIGHTS. EASEMENTS HAVE NOT BEEN SHOWN FOR CLARITY.

GLWGUTSCHICK LITTLE & WEBBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALD: 410-893-9520 DC/VA: 301-593-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10/18/10	rev. contact information	klp	APPR

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

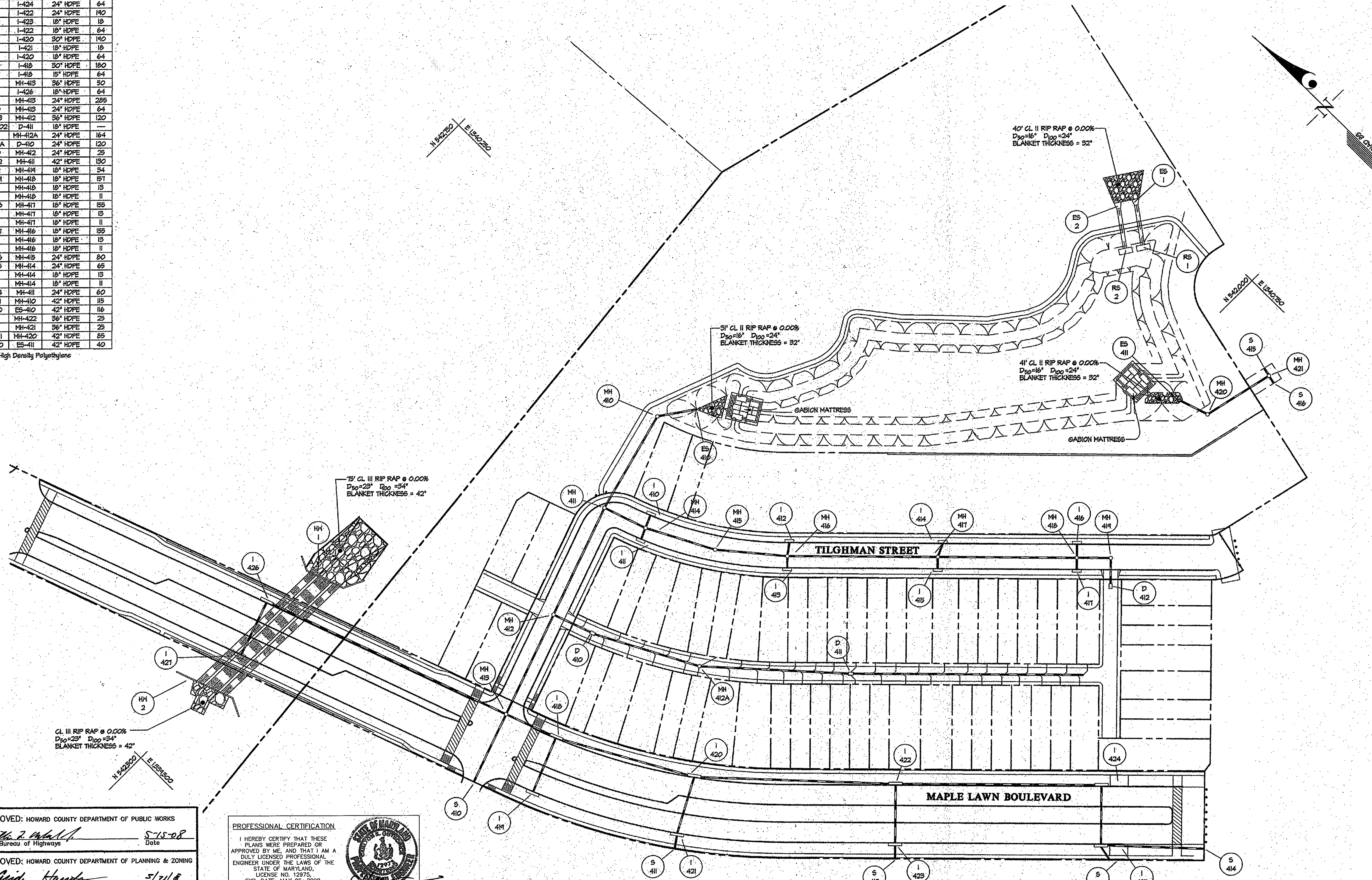
SIGNAGE, TRAFFIC CONTROL, STRIPING & STREET TREE PLAN

MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 39, ON LOT 60, COMMON OPEN AREAS 61 & 62, AND NON-BUILDABLE PARCELS 67 & 63.
 A SUBDIVISION OF PARCELS 129, 205 AND 474 AND A RESUBDIVISION OF PARCEL E, PLAT NO. 16767
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR., 2008	41-22	6 OF 17

From No.	To No.	Dia. (in.) & Type of Pipe	L. (ft)
S-414	I-425	18" HDPE	18
S-413	I-425	18" HDPE	18
I-425	I-424	24" HDPE	64
I-424	I-422	24" HDPE	190
S-412	I-423	18" HDPE	18
I-423	I-422	18" HDPE	64
I-422	I-420	30" HDPE	190
S-411	I-421	18" HDPE	18
I-421	I-420	18" HDPE	64
I-420	I-418	30" HDPE	180
I-419	I-418	18" HDPE	64
I-418	MH-413	36" HDPE	50
I-427	I-426	18" HDPE	64
I-426	MH-413	24" HDPE	285
S-410	MH-413	24" HDPE	64
MH-413	MH-412	36" HDPE	120
YDI + YD2	D-411	18" HDPE	—
D-411	MH-412A	24" HDPE	164
MH-412A	D-410	24" HDPE	120
D-410	MH-412	24" HDPE	25
MH-412	MH-411	42" HDPE	130
D-412	MH-414	18" HDPE	34
MH-414	MH-418	18" HDPE	187
I-416	MH-418	18" HDPE	18
I-417	MH-418	18" HDPE	11
MH-418	MH-417	18" HDPE	155
I-414	MH-417	18" HDPE	13
I-415	MH-417	18" HDPE	11
MH-417	MH-416	18" HDPE	155
I-412	MH-416	18" HDPE	13
I-413	MH-416	18" HDPE	11
MH-416	MH-415	24" HDPE	80
MH-415	MH-414	24" HDPE	65
I-410	MH-414	18" HDPE	13
I-411	MH-414	18" HDPE	11
MH-414	MH-411	24" HDPE	60
MH-411	MH-410	42" HDPE	115
MH-410	ES-410	42" HDPE	116
S-416	MH-422	36" HDPE	25
S-415	MH-421	36" HDPE	25
MH-421	MH-420	42" HDPE	85
MH-420	ES-411	42" HDPE	40

HDPE = High Density Polyethylene



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter R. Mahall
 Chief, Bureau of Highways
 Date: 5/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chris Hawks
 Chief, Division of Land Development
 Date: 5/21/08
Mark Bennett
 Chief, Development Engineering Division
 Date: 5/19/08

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4824 BALT: 410-882-1820 DC/VA: 301-989-2524 FAX: 301-421-4168

DATE	REV.	DESCRIPTION	BY	APP'R.
10/18/10	1	Rev. contact information		

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

STORM DRAIN STRUCTURE INFORMATION
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, 63, 64, COMMON OPEN AREAS G1 & G2, AND NON-BUILDABLE PARCELS 'F' & 'G' A SUBDIVISION OF PARCELS 129, 205 AND 474 AND A RESUBDIVISION OF PARCEL E, PLAT NO. 16767
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR, 2008	41-22	7 OF 17

DRAINAGE AREA INFORMATION

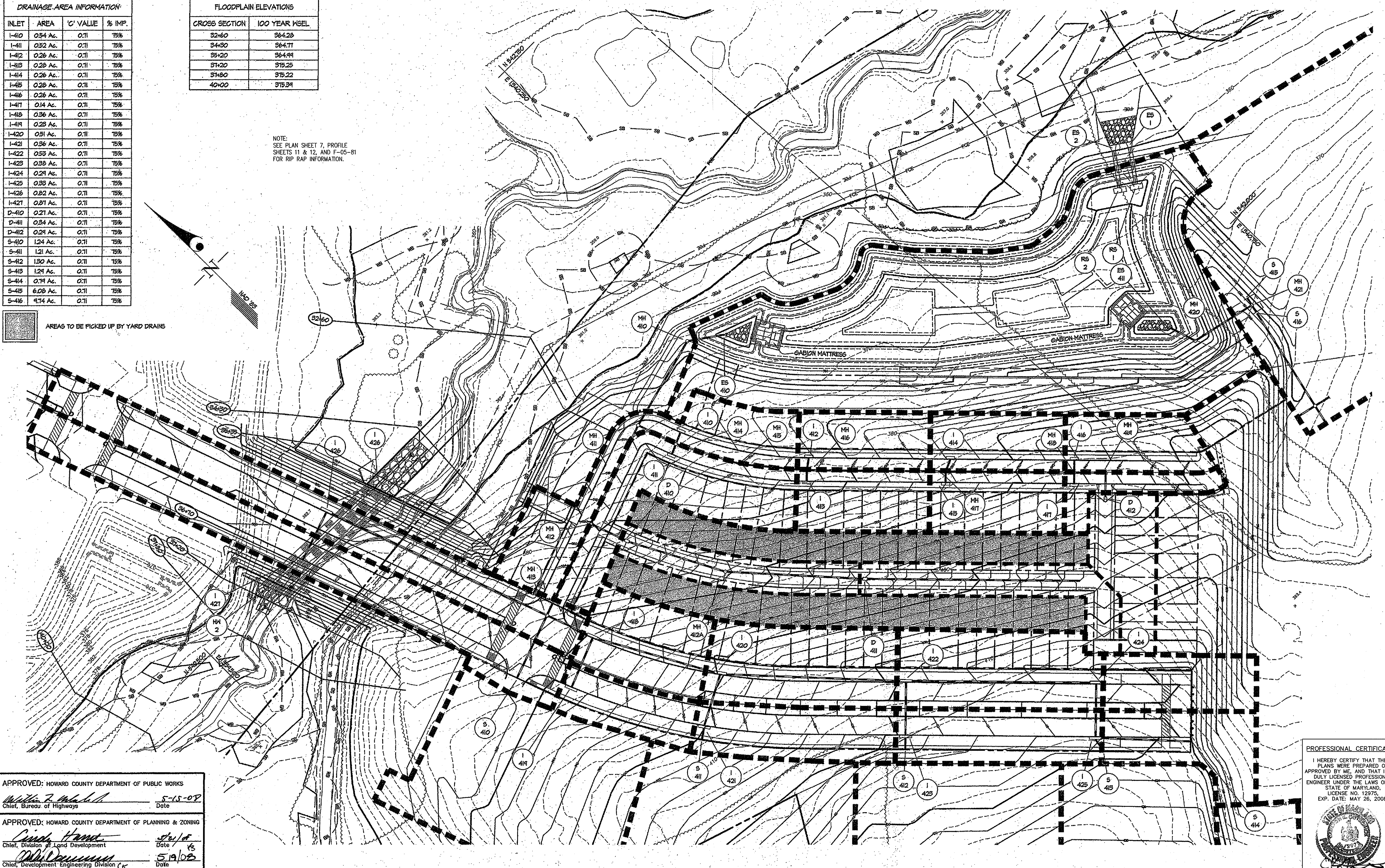
INLET	AREA	C' VALUE	% IMP.
I-410	0.54 Ac.	0.71	75%
I-411	0.52 Ac.	0.71	75%
I-412	0.26 Ac.	0.71	75%
I-413	0.28 Ac.	0.71	75%
I-414	0.26 Ac.	0.71	75%
I-415	0.28 Ac.	0.71	75%
I-416	0.26 Ac.	0.71	75%
I-417	0.14 Ac.	0.71	75%
I-418	0.36 Ac.	0.71	75%
I-419	0.28 Ac.	0.71	75%
I-420	0.51 Ac.	0.71	75%
I-421	0.36 Ac.	0.71	75%
I-422	0.53 Ac.	0.71	75%
I-423	0.38 Ac.	0.71	75%
I-424	0.29 Ac.	0.71	75%
I-425	0.38 Ac.	0.71	75%
I-426	0.82 Ac.	0.71	75%
I-427	0.87 Ac.	0.71	75%
D-410	0.27 Ac.	0.71	75%
D-411	0.54 Ac.	0.71	75%
D-412	0.24 Ac.	0.71	75%
S-410	1.24 Ac.	0.71	75%
S-411	1.21 Ac.	0.71	75%
S-412	1.30 Ac.	0.71	75%
S-413	1.29 Ac.	0.71	75%
S-414	0.71 Ac.	0.71	75%
S-415	6.08 Ac.	0.71	75%
S-416	4.74 Ac.	0.71	75%

FLOODPLAIN ELEVATIONS

CROSS SECTION	100 YEAR MEEL
32+60	364.28
34+30	364.77
35+20	364.44
37+20	375.25
37+20	375.22
40+00	375.34

NOTE:
SEE PLAN SHEET 7, PROFILE
SHEETS 11 & 12, AND F-05-81
FOR RIP RAP INFORMATION.

AREAS TO BE PICKED UP BY YARD DRAINS



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William P. ... 5-15-08
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chris Hunt 5/15/08
 Chief, Division of Land Development Date

John ... 5/19/08
 Chief, Development Engineering Division Date

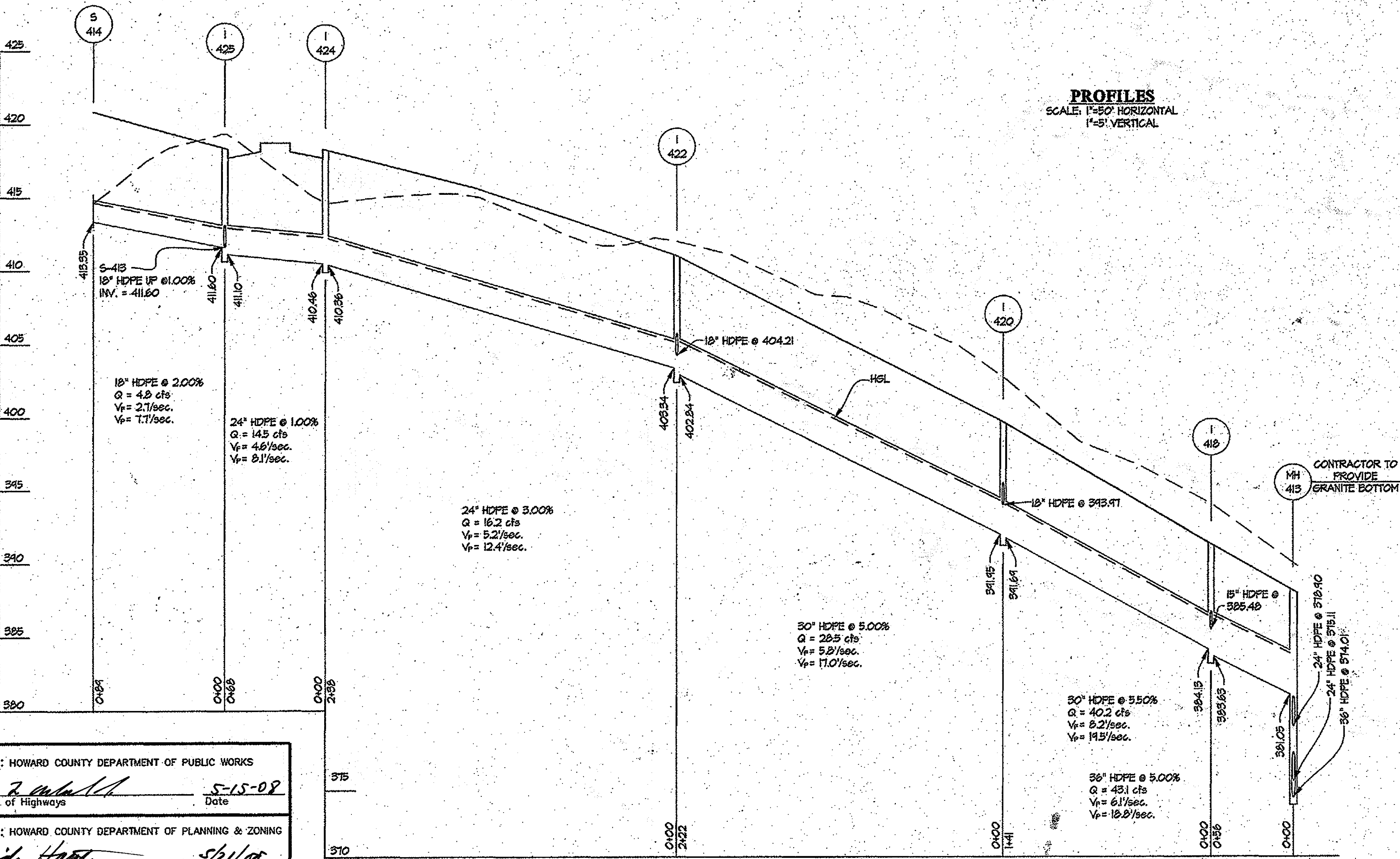
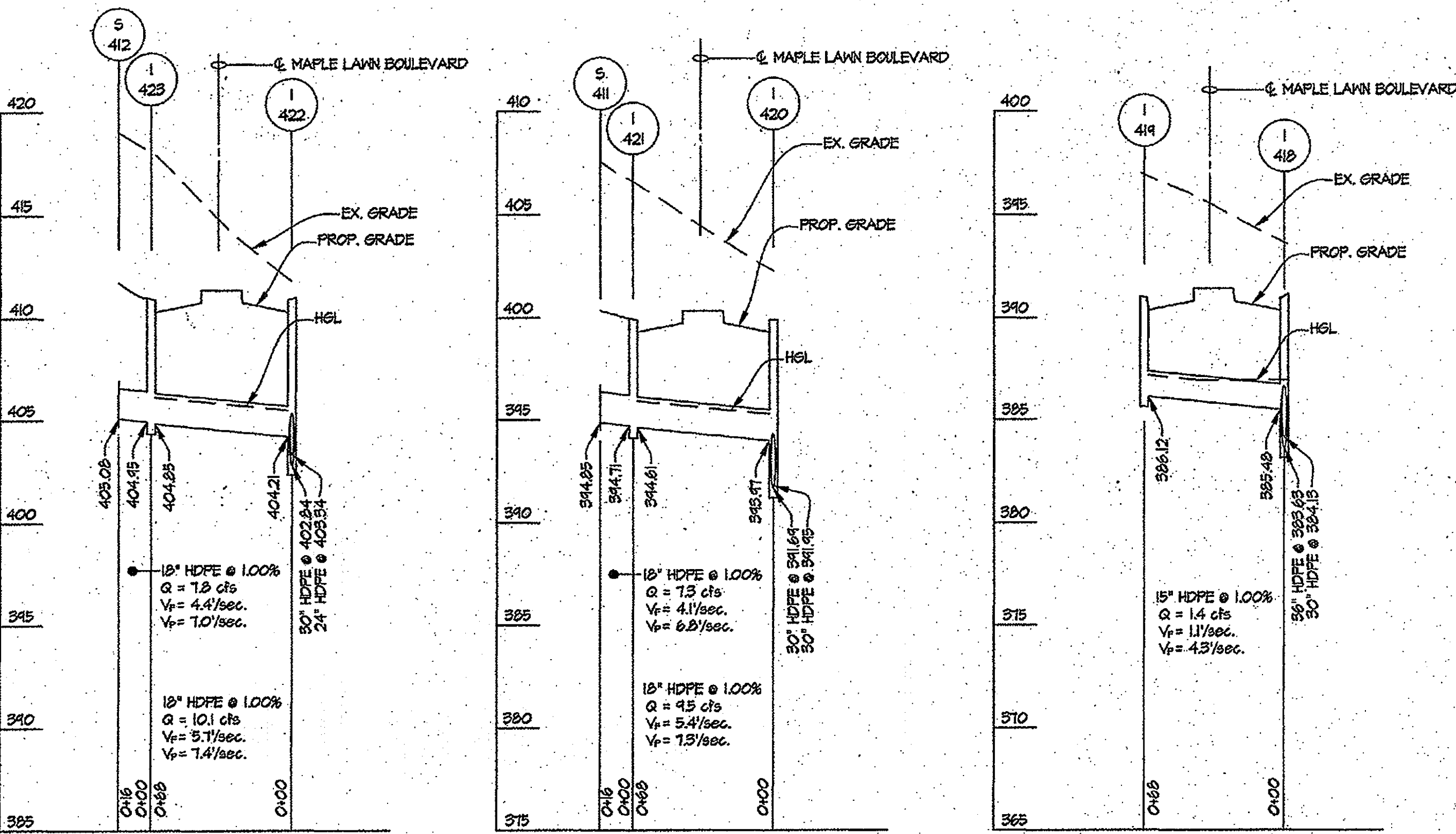
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXP. DATE: MAY 26, 2008.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3808 NATIONAL DRIVE - SUITE 250 - BURNINGSHIRE OFFICE PARK
 BURNINGSHIRE, MARYLAND 20896
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-593-2524 FAX: 301-421-4186

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: *Mark Bennett*
 410-484-8400

STORM DRAIN DRAINAGE AREA MAP
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 55, OS LOT 60, COMMON OPEN AREAS 61 & 62,
 AND NON-BUILDABLE PARCELS 'F' & 'G'
 A SUBDIVISION OF PARCELS 229, 205 AND 474 AND
 A RESUBDIVISION OF PARCEL E, PLAT NO. 16767

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR, 2008	41-22	8 OF 17



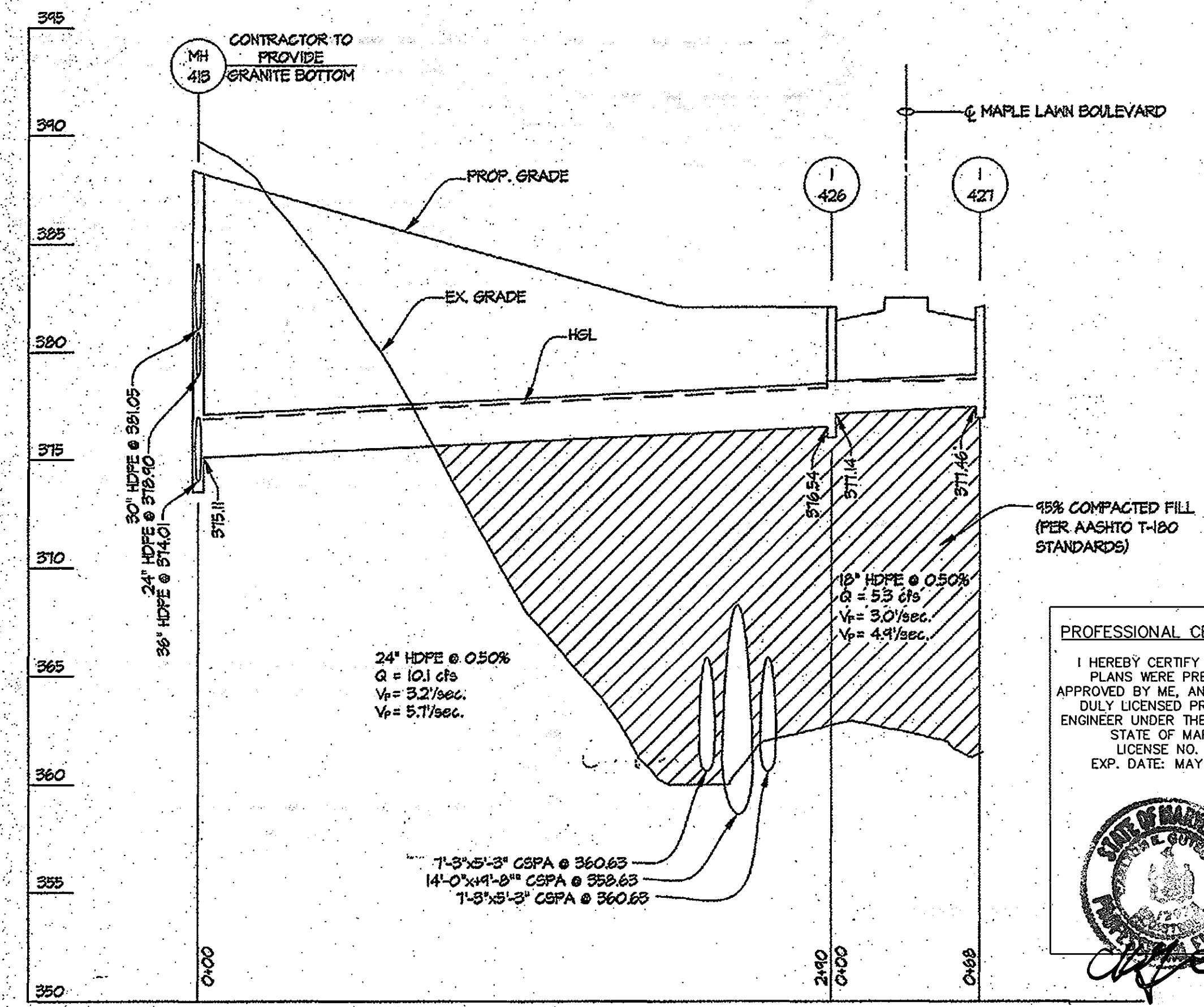
STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-418	A-15 INLET	---	341.00	340.25	335.48	338.63	MONT. CO. MC-501.01	N 542,108 E 1339,841	
I-419	A-15 INLET	---	341.04	340.24	---	338.17	MONT. CO. MC-501.01	N 542,164 E 1339,782	
I-420	A-15 INLET	---	341.98	341.12	343.97	341.64	MONT. CO. MC-501.01	N 542,054 E 1339,914	
I-421	A-15 INLET	---	341.85	341.16	344.71	344.61	MONT. CO. MC-501.01	N 542,011 E 1339,862	
I-422	A-15 INLET	---	410.90	410.33	404.21	402.84	MONT. CO. MC-501.01	N 541,882 E 1340,071	
I-423	A-15 INLET	---	410.90	410.33	404.45	404.85	MONT. CO. MC-501.01	N 541,831 E 1340,026	
I-424	A-15 INLET	---	417.94	417.78	410.46	410.36	MONT. CO. MC-501.01	N 541,704 E 1340,246	
I-425	A-15 INLET	---	417.94	417.78	411.60	411.10	MONT. CO. MC-501.01	N 541,654 E 1340,200	
I-426	A-15 INLET	---	381.75	381.73	371.14	376.54	MONT. CO. MC-501.01	N 542,524 E 1339,121	
I-427	A-15 INLET	---	381.75	381.73	---	371.46	MONT. CO. MC-501.01	N 542,503 E 1339,660	
MH-413	STANDARD MANHOLE	5'-0"	---	387.01	381.05	374.01	HO. CO. 6.5.13	N 542,246 E 1339,821	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT 24-4230 D

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	64	
18"	HDPE	307	
24"	HDPE	384	
30"	HDPE	355	
36"	HDPE	52	

HDPE Indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hancor or an approved equal.

Trench bedding to be provided per Howard County Detail @ 2.01, "Trench for P.V.C. pipe and HDPE"



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE MAY 28, 2008.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-15-08

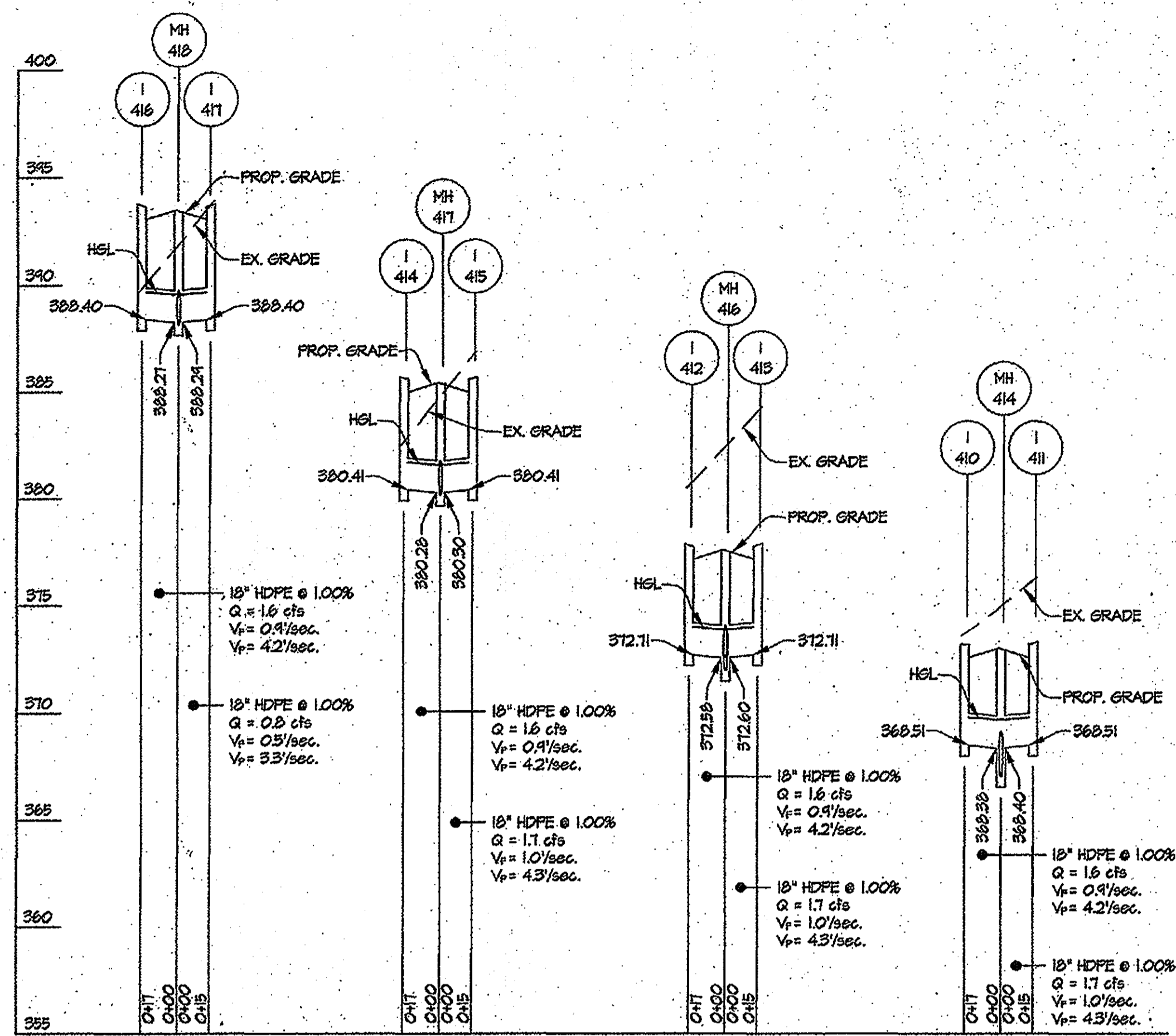
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/21/08
 Chief, Development Engineering Division
 Date: 5/19/08

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20888
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4188

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1828 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Beckett
 410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS 61 & 62,
 AND NON-BUILDABLE PARCELS 'F' & 'G'
 A SUBDIVISION OF PARCELS 129, 285 AND 414 AND
 A RESUBDIVISION OF PARCEL E, PLAT NO. 1677

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR., 2008	41-22	9 OF 17

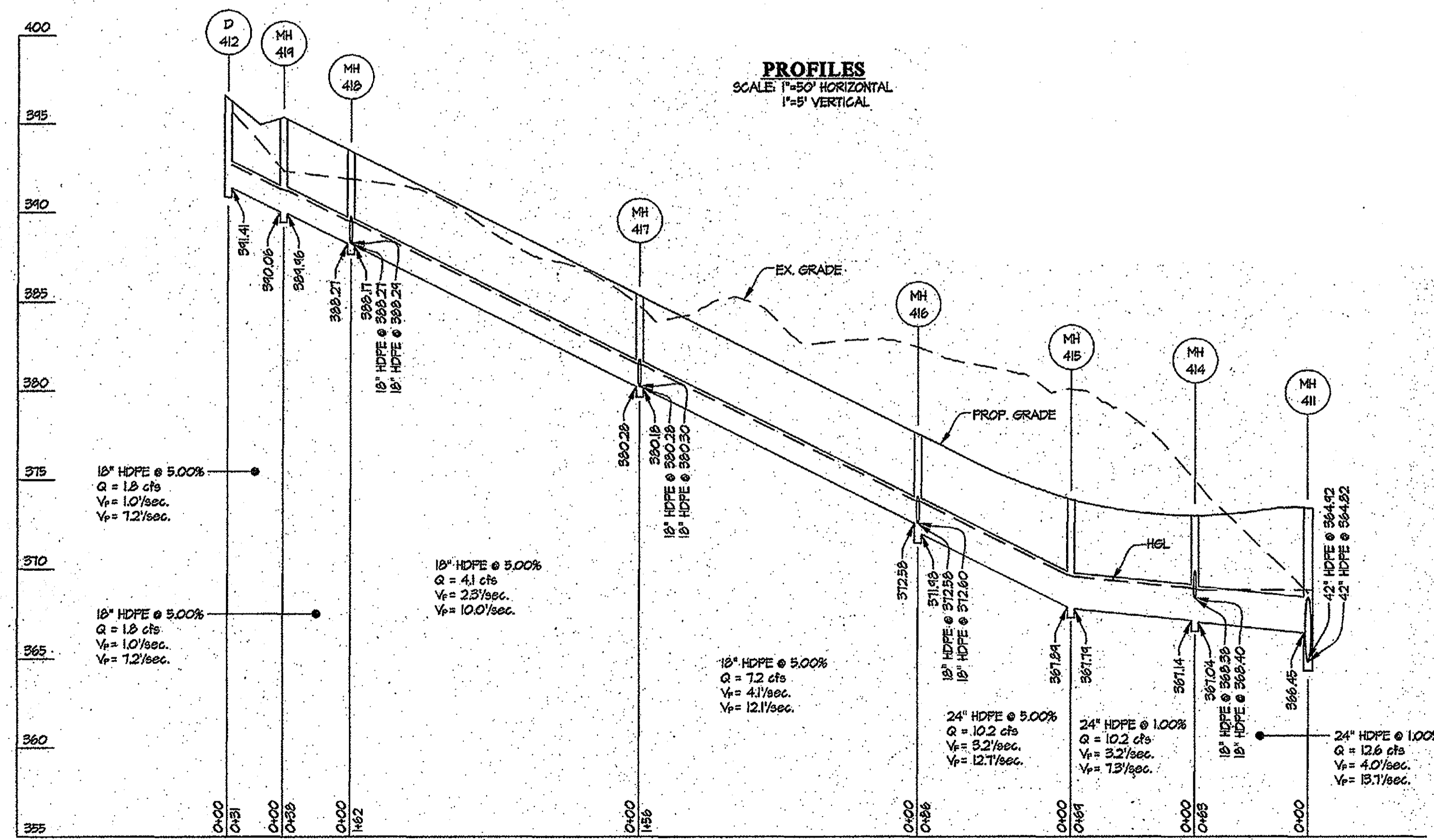


STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-410	A-10 INLET	---	---	373.20	---	368.51	HO. CO. SD 4.41	N 542,278 E 1340,071	
I-411	A-10 INLET	---	---	373.20	---	368.51	HO. CO. SD 4.41	N 542,261 E 1340,071	
I-412	A-10 INLET	---	574.05	378.55	---	372.71	HO. CO. SD 4.41	N 542,156 E 1340,182	
I-413	A-10 INLET	---	574.05	378.55	---	372.71	HO. CO. SD 4.41	N 542,156 E 1340,162	
I-414	A-10 INLET	---	385.85	385.55	---	380.41	HO. CO. SD 4.41	N 542,045 E 1340,241	
I-415	A-10 INLET	---	385.85	385.55	---	380.41	HO. CO. SD 4.41	N 542,025 E 1340,0271	
I-416	A-10 INLET	---	345.43	345.43	---	388.40	HO. CO. SD 4.41	N 541,924 E 1340,405	
I-417	A-10 INLET	---	345.43	345.43	---	388.40	HO. CO. SD 4.41	N 541,910 E 1340,885	
MH-411	STANDARD MANHOLE	5'-0"	---	373.44	366.45	364.82	HO. CO. 6 5.12	N 542,332 E 1340,082	
MH-414	STANDARD MANHOLE	4'-0"	---	372.91	368.40	367.04	HO. CO. 6 5.12	N 542,272 E 1340,083	
MH-415	STANDARD MANHOLE	4'-0"	---	373.92	367.84	367.74	HO. CO. 6 5.12	N 542,211 E 1340,116	
MH-416	STANDARD MANHOLE	4'-0"	---	371.60	372.60	371.98	HO. CO. 6 5.15	N 542,145 E 1340,171	
MH-417	STANDARD MANHOLE	4'-0"	---	388.40	380.50	380.18	HO. CO. 6 5.12	N 542,034 E 1340,280	
MH-418	STANDARD MANHOLE	4'-0"	---	345.48	388.24	388.17	HO. CO. 6 5.12	N 541,914 E 1340,344	
MH-419	STANDARD MANHOLE	4'-0"	---	345.57	340.06	384.96	HO. CO. 6 5.12	N 541,842 E 1340,420	
D-412	SINGLE 'S' INLET	---	---	345.94	345.36	---	341.41	N 541,870 E 1340,348	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4238 D

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (LF)	REMARKS
18"	HDPE	470	
24"	HDPE	205	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-12 by Hancor or an approved equal.
 Trench bedding to be provided per Howard County Detail 6 2.01,
 Trench for P.V.C. pipe and HDPE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William R. Marshall 5-15-08
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cindy Hunt 5/21/08
 Chief, Division of Land Development Date

Mark Bennett 5/19/08
 Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 2509 NATIONAL DRIVE - SUITE 250 - BURTONTOWNE OFFICE PARK
 BURTONTOWNE, MARYLAND 20868
 TEL: 301-421-4024 BALT: 410-886-1620 DC/VA: 301-393-2524 FAX: 301-421-4168

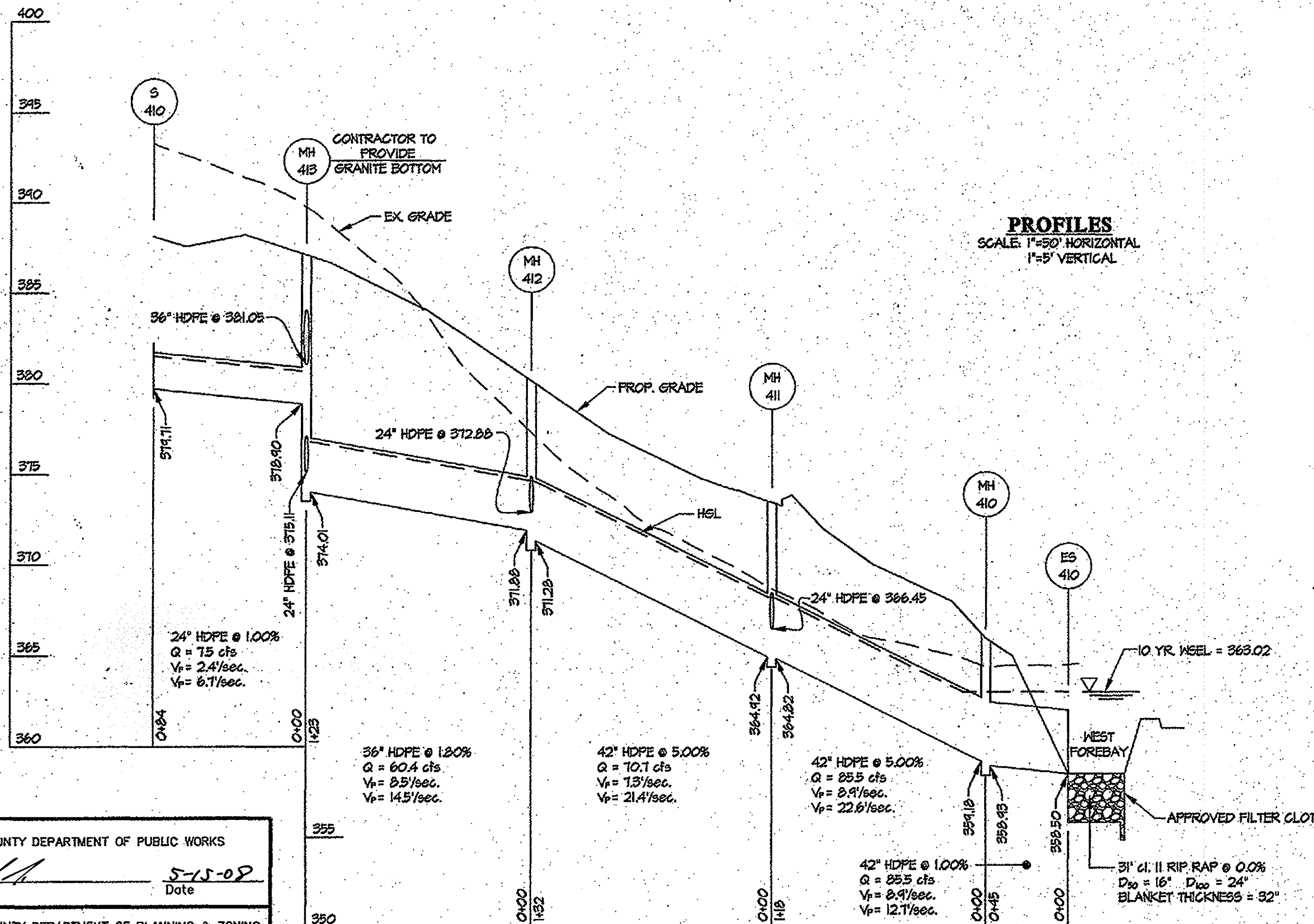
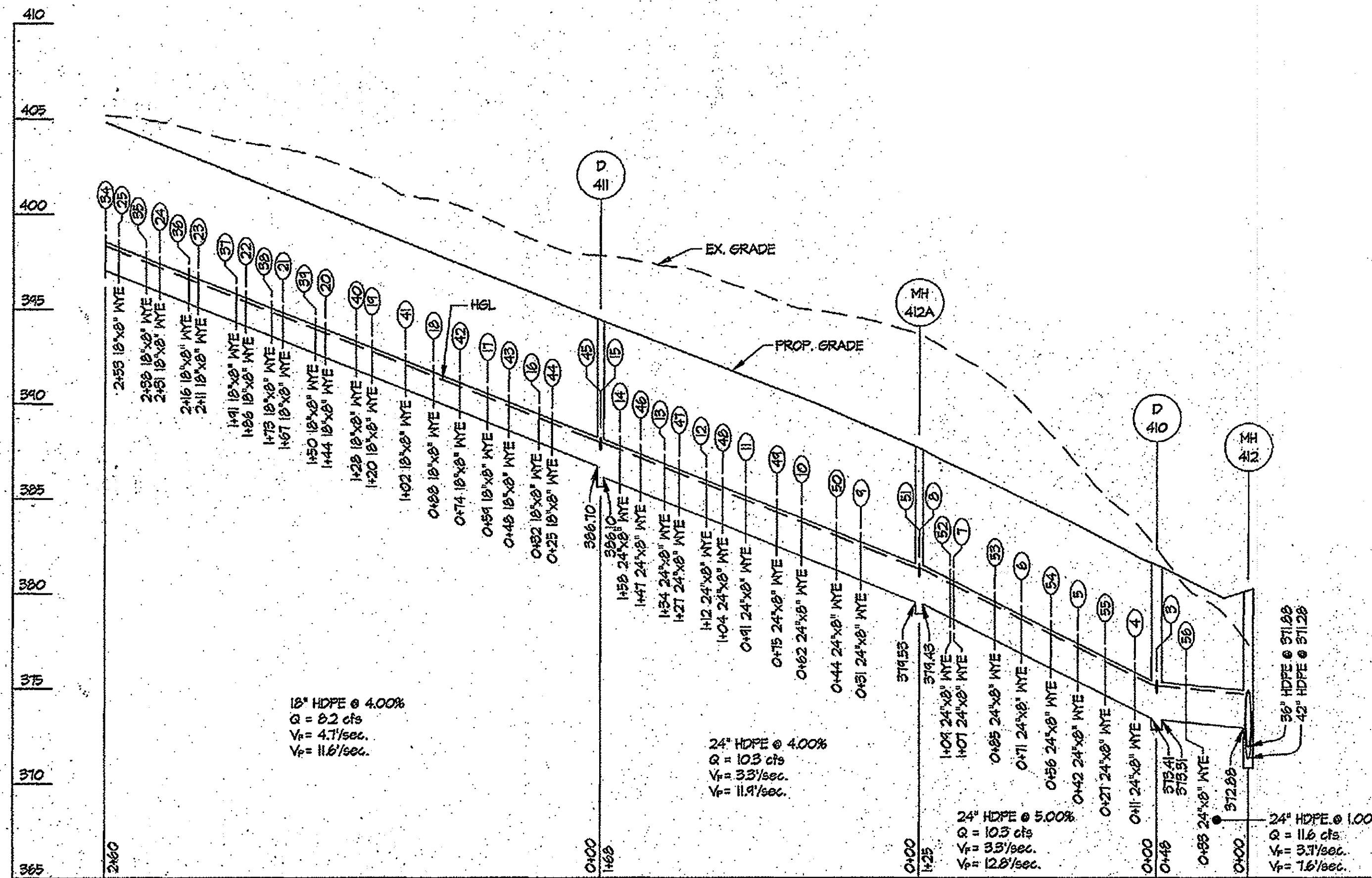
DATE	REV. CONTACT INFORMATION	REVISION	BY	APPR.
10/15/10				

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS 61 & 62,
 AND NON-BUILDABLE PARCELS 'F' & 'G'
 A SUBDIVISION OF PARCELS 129, 205 AND 474 AND
 A RESUBDIVISION OF PARCEL E, PLAT NO. 16767

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR., 2008	41-22	10 OF 17



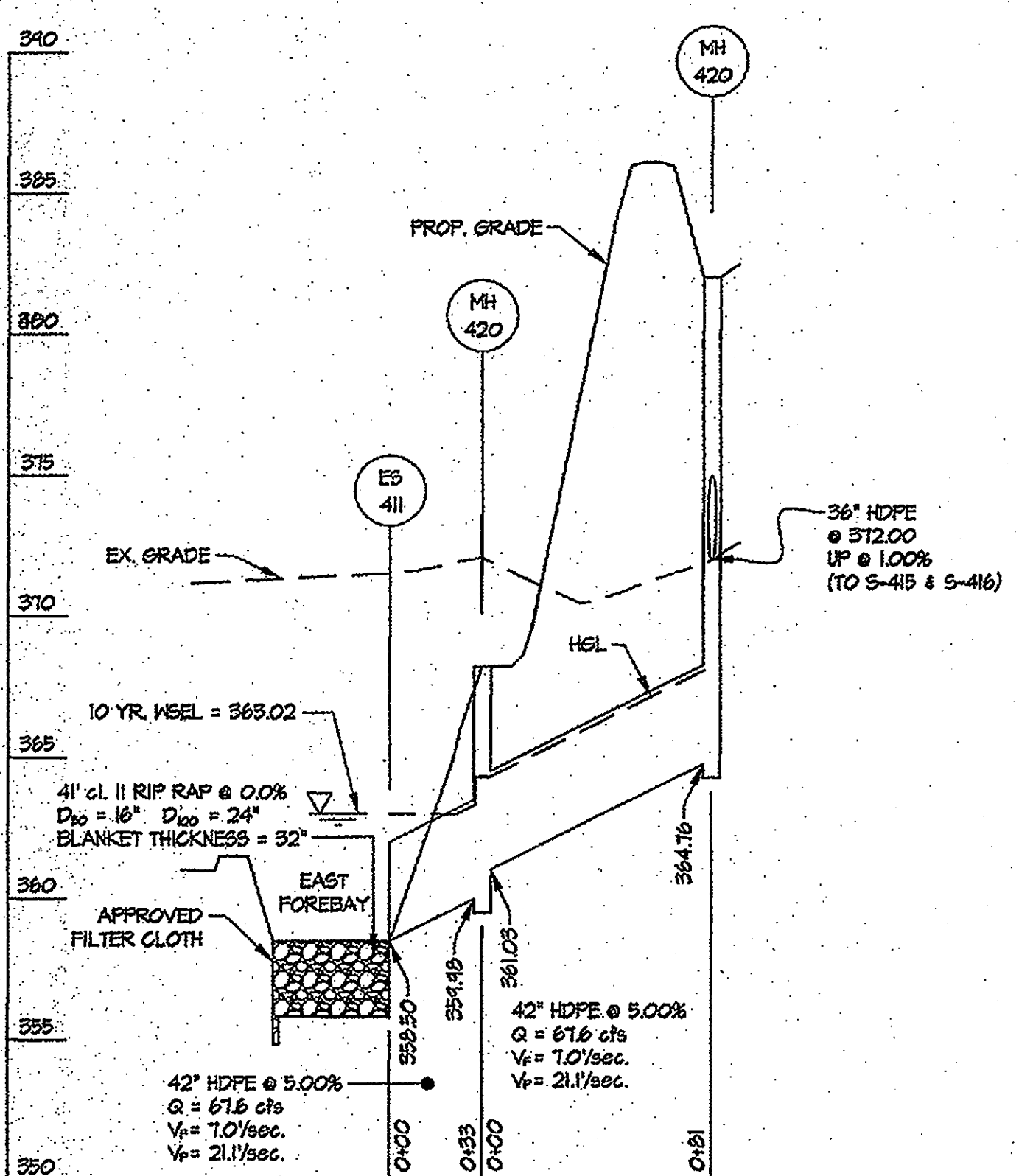
STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
MH-410	STANDARD MANHOLE	5'-0"	---	365.96	364.18	364.40	HO. CO. 6 5.13	N 542,362 E 1340,716	
MH-411	STANDARD MANHOLE	5'-0"	---	373.44	366.45	364.82	HO. CO. 6 5.13	N 542,332 E 1340,062	
MH-412	STANDARD MANHOLE	5'-0"	---	380.15	372.88	371.28	HO. CO. 6 5.13	N 542,288 E 1339,493	
MH-412A	STANDARD MANHOLE	4'-0"	---	381.62	380.87	374.49	HO. CO. 6 5.12	N 542,281 E 1340,012	
MH-413	STANDARD MANHOLE	5'-0"	---	387.01	381.05	374.01	HO. CO. 6 5.13	N 542,246 E 1339,231	
MH-420	STANDARD MANHOLE	6'-0"	---	368.21	361.03	354.98	MD-384.05	N 541,424 E 1340,610	
MH-421	STANDARD MANHOLE	6'-0"	---	381.83	---	364.76	MD-384.05	N 541,412 E 1340,688	
D-410	DOUBLE 'S' INLET	---	---	381.58	381.54	373.31	HO. CO. SD 4.22	N 542,242 E 1339,454	
D-411	DOUBLE 'S' INLET	---	---	344.44	344.35	387.55	HO. CO. SD 4.22	N 542,006 E 1340,125	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4238 D

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
8"	HDPE	500	
18"	HDPE	260	
24"	HDPE	410	
36"	HDPE	120	
42"	HDPE	340	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hancox or an approved equal.
 Trench bedding to be provided per Howard County Detail @ 2.01.
 Trench for P.V.C. pipe and HDPE.

YARD DRAIN SCHEDULE			
LOT NO.	INV. OF MAIN LINE	INV. @ HDPE @ MAIN	INV. @ HDPE @ PROP. LINE
3	---	374.75	374.85
4	375.25	374.52	374.66
5	375.36	376.05	376.18
6	376.24	377.51	377.67
7	376.62	374.24	374.43
8	---	380.87	380.96
9	380.64	381.36	381.51
10	381.44	382.78	382.78
11	383.11	383.78	383.44
12	383.85	384.62	384.71
13	384.83	385.50	385.64
14	385.77	386.44	386.57
15	---	387.55	387.00
16	387.45	388.35	388.48
17	384.02	384.44	384.57
18	340.18	340.57	340.70
19	341.44	341.86	341.94
20	342.42	342.84	342.97
21	343.31	343.73	343.86
22	344.04	344.51	344.64
23	345.04	345.51	345.64
24	345.40	346.32	346.45
25	346.76	347.18	347.31
26	347.04	347.46	347.60
27	346.18	346.60	346.73
28	345.21	345.71	345.84
29	344.21	344.71	344.84
30	343.55	343.97	344.10
31	342.65	343.05	343.18
32	341.71	342.14	342.27
33	340.74	341.16	341.29
34	384.54	384.01	384.14
35	388.56	388.98	389.11
36	387.66	388.08	388.21
37	---	387.55	387.00
38	385.34	386.01	386.15
39	384.52	385.14	385.30
40	383.60	384.27	384.37
41	382.46	383.15	383.22
42	381.20	381.87	381.97
43	---	380.87	380.75
44	378.72	379.34	379.52
45	377.54	378.21	378.32
46	376.06	376.75	376.88
47	374.64	375.31	375.42
48	373.14	373.86	373.94



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 With 2.00/11 5-15-09
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development Date 5/24/09

Chief, Development Engineering Division Date 5/19/09

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.

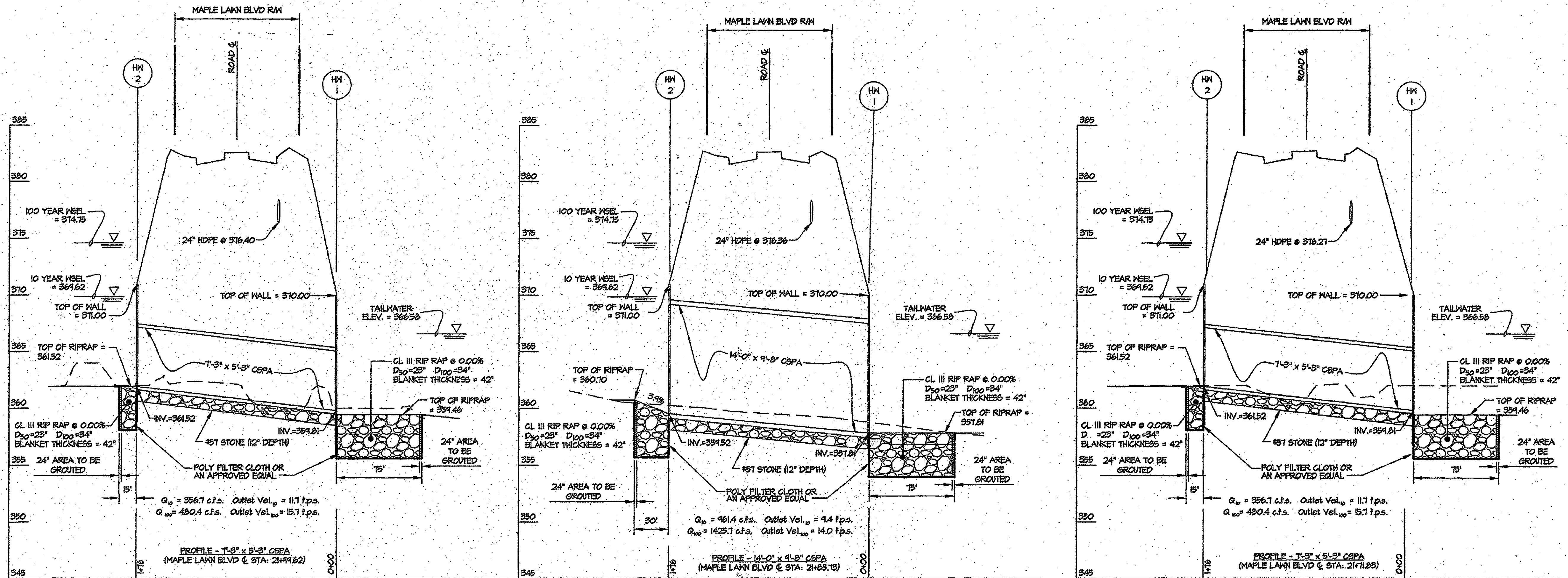
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 301-421-4188

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

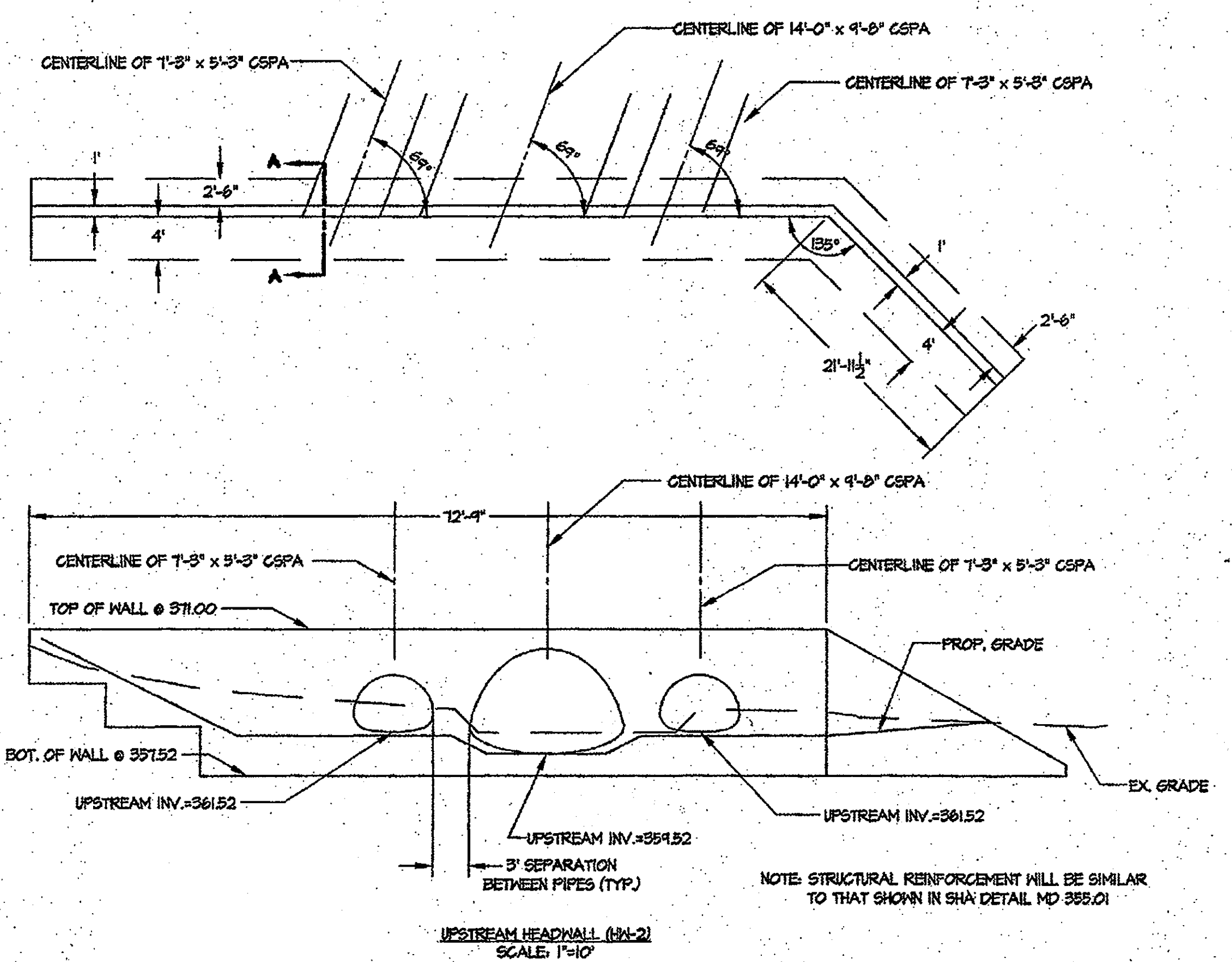
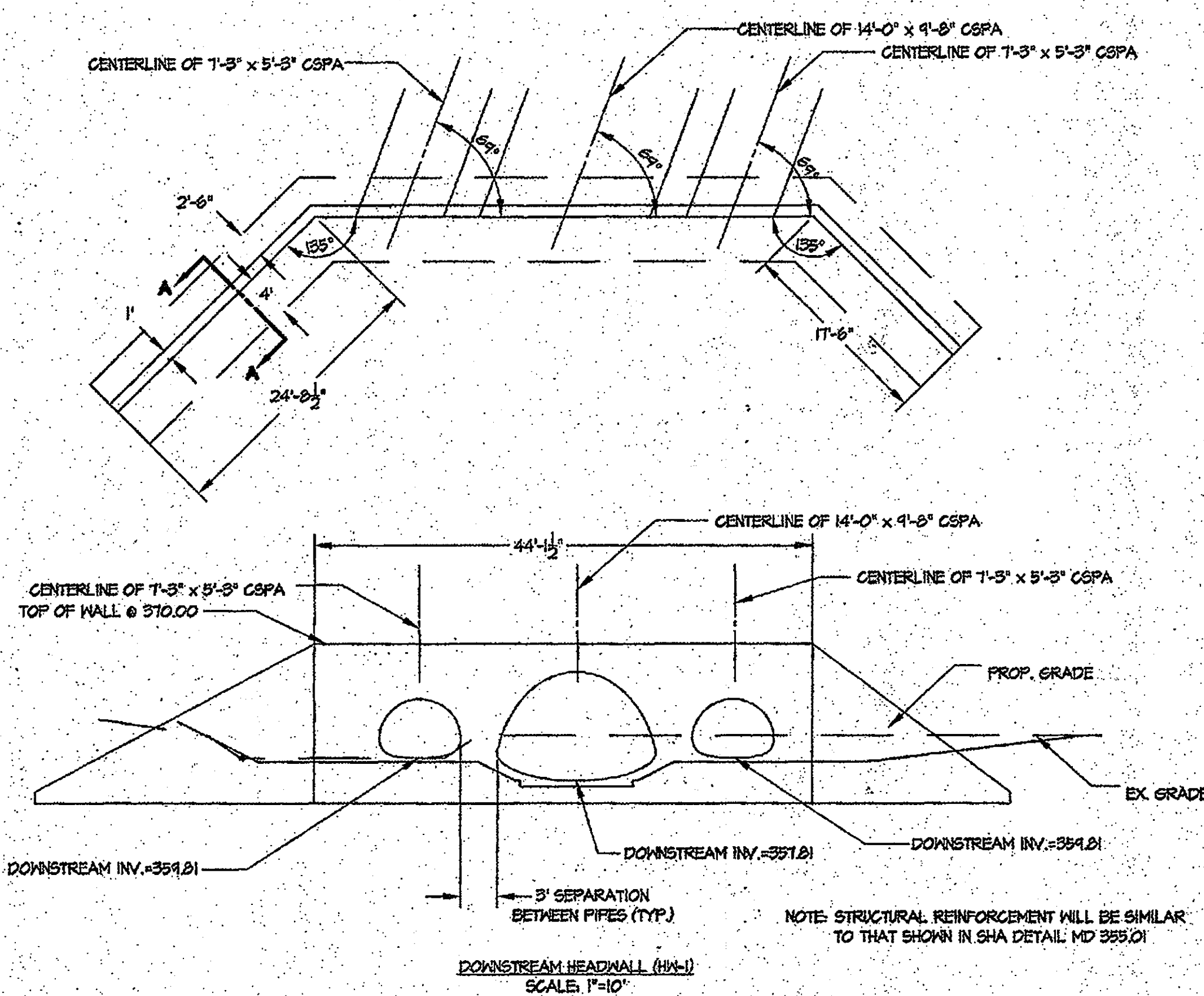
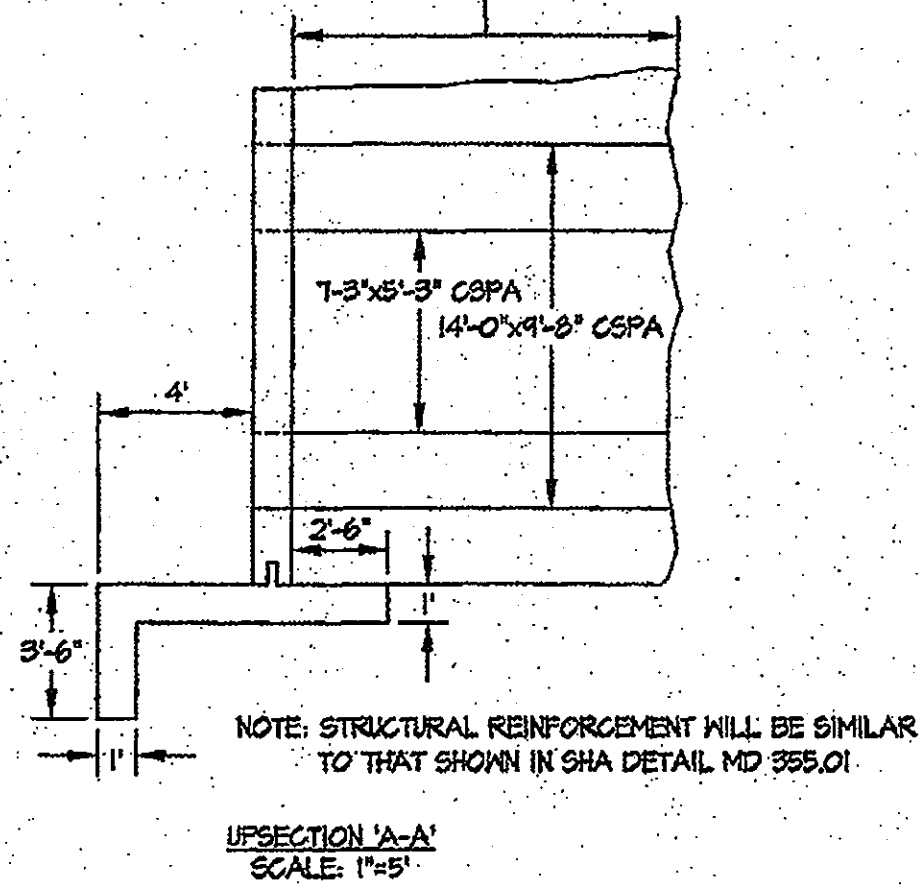
STORM DRAIN PROFILES
 MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS 61 & 62,
 AND NON-BUILDABLE PARCELS 'F' & 'G'
 A SUBDIVISION OF PARCELS 129, 285 AND 474 AND
 A RESUBDIVISION OF PARCEL E, PLAT NO. 16767

SCALE: 1"=50'
 ZONING: MXD-3
 G. L. W. FILE NO.: 04001a

DATE: MAR., 2008
 TAX MAP - GRID: 41-22
 SHEET: 11 OF 17



MINIMUM 10' WIDE HORIZONTAL ZONE TO BE BACKFILLED WITH COARSE SELECT GRANULAR BORROM MEETING AASHTO M-145 CLASSIFICATION A-1-b OR BETTER. BACKFILL SHALL BE TESTED BY ON-SITE GEOTECHNICAL ENGINEER.



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 28, 2008.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Walter R. ... 5-15-07
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

... 5/21/07
Chief, Division of Land Development Date
... 5/19/08
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3900 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
BURTOWNSVILLE, MARYLAND, 20686
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-569-2524 FAX: 301-421-4186

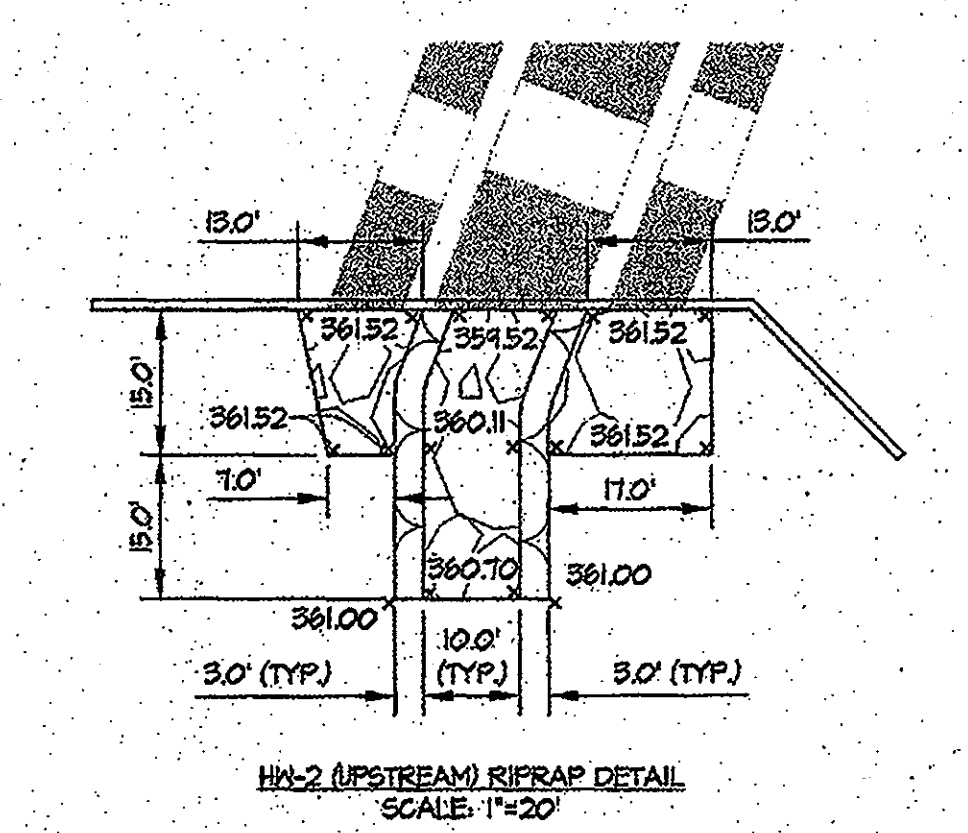
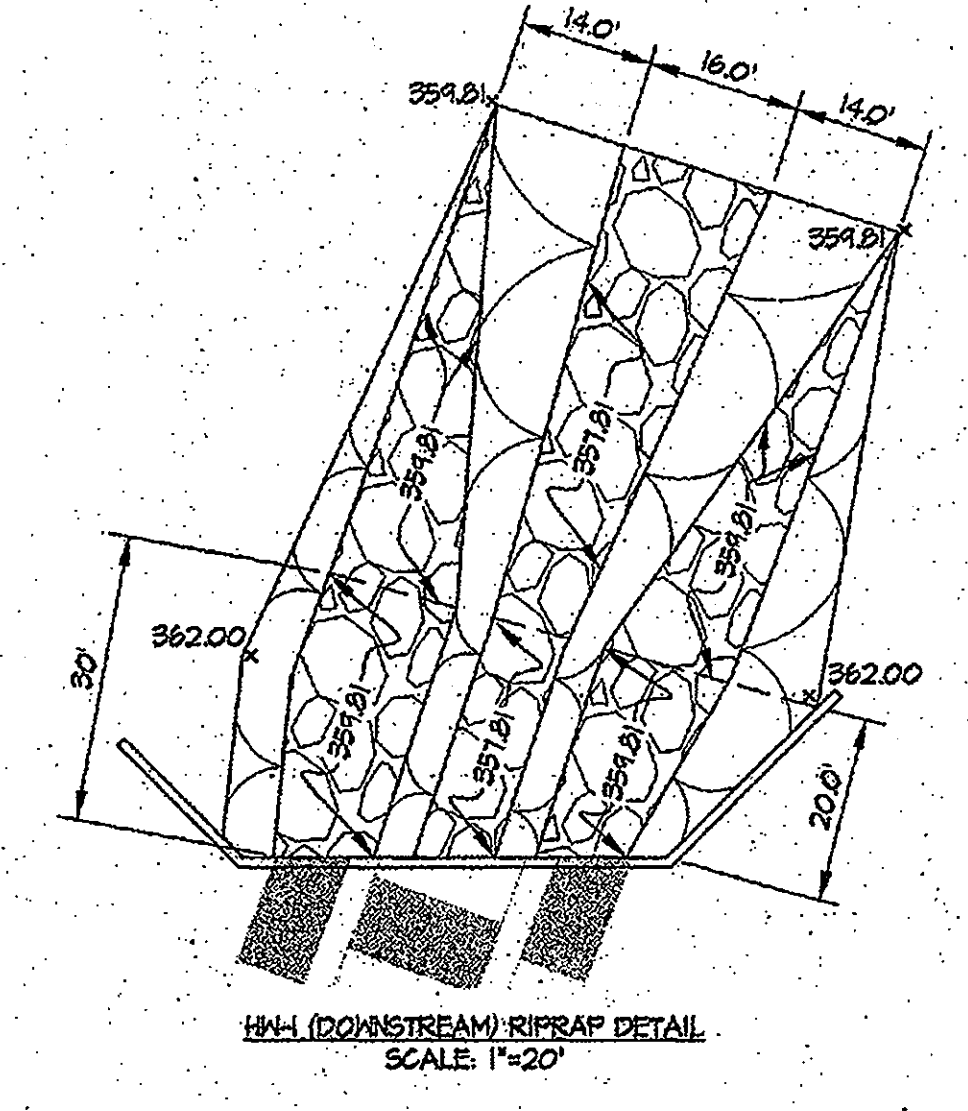
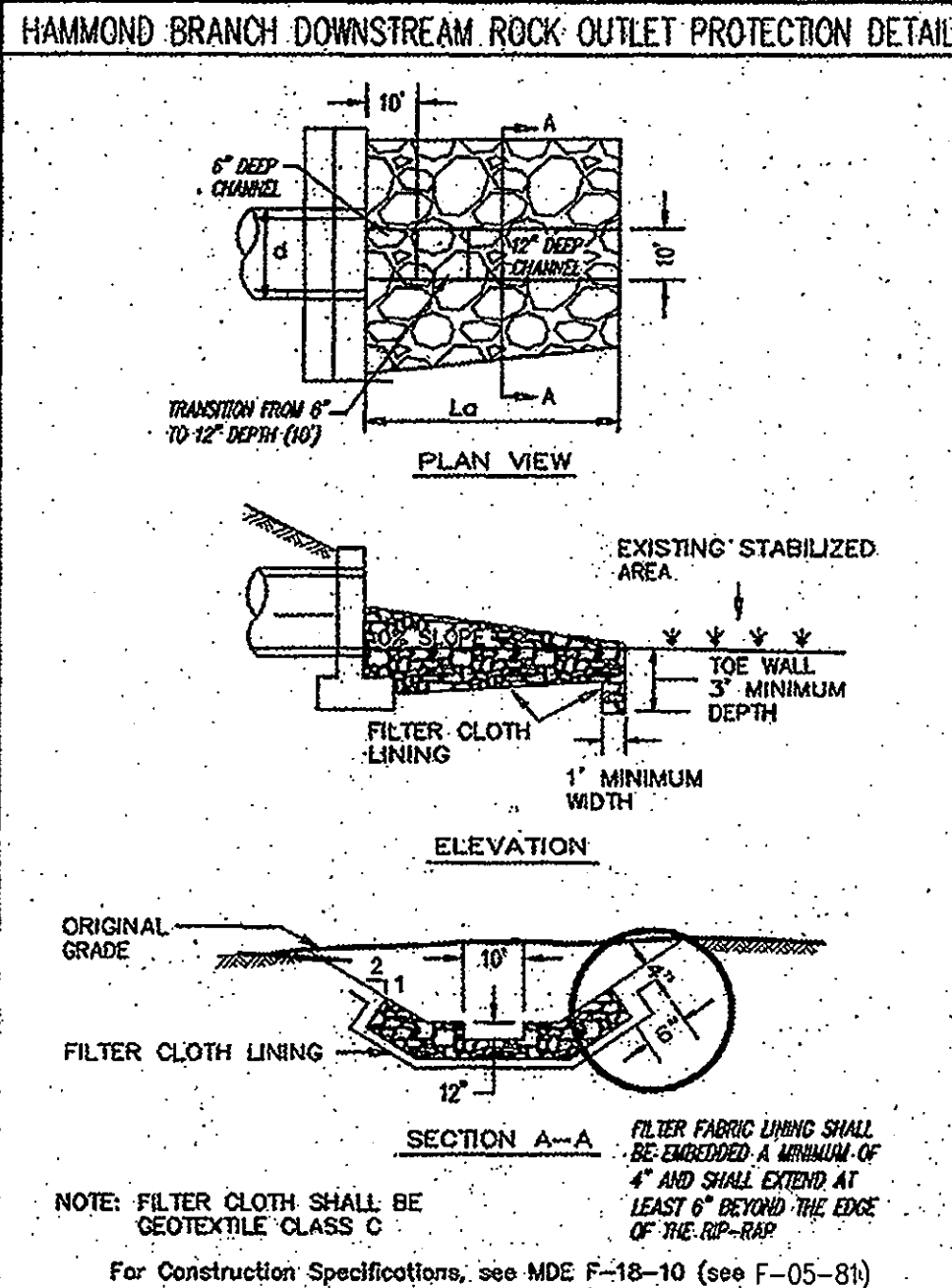
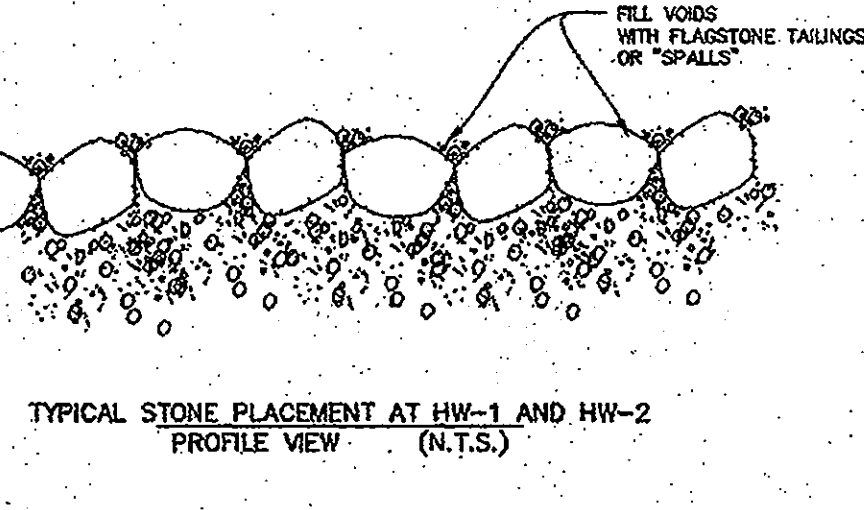
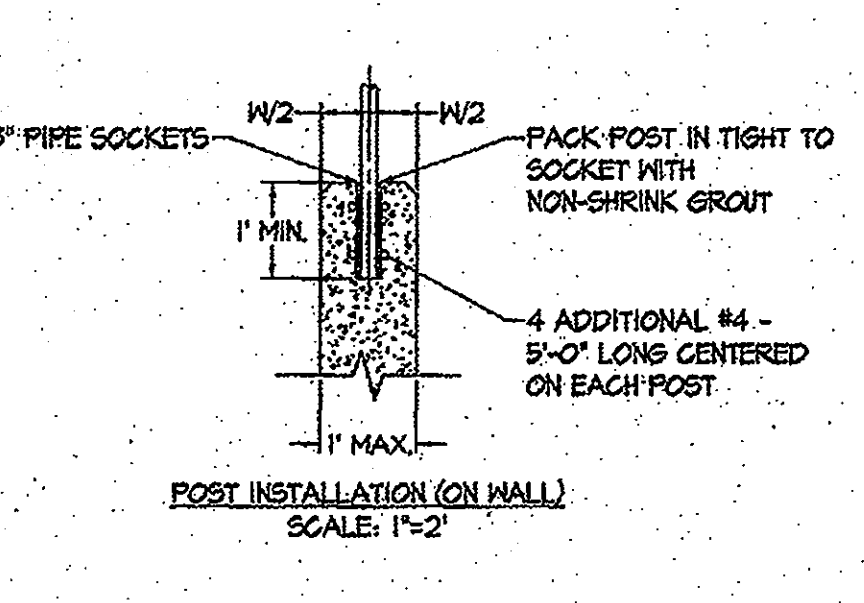
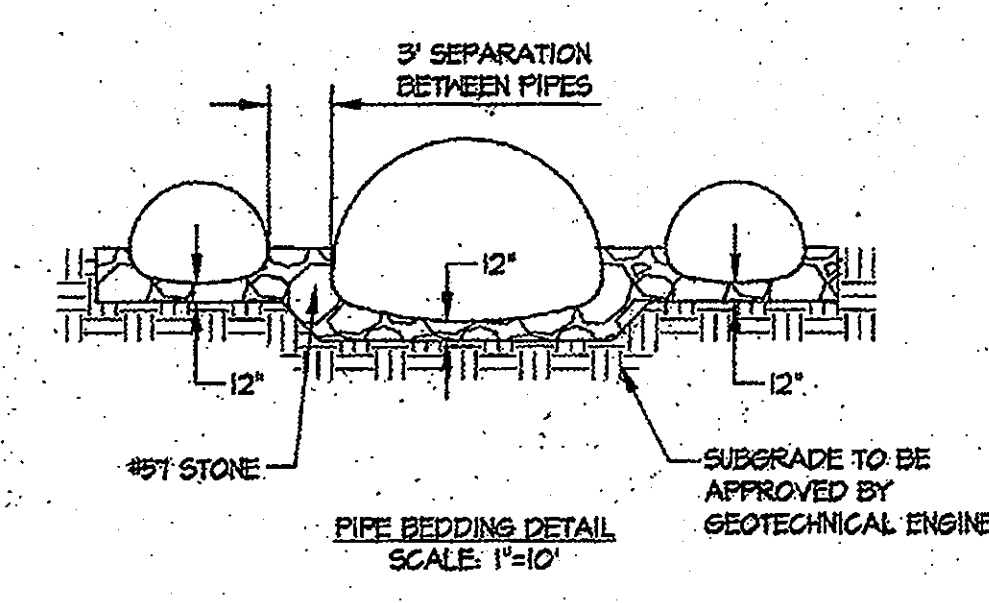
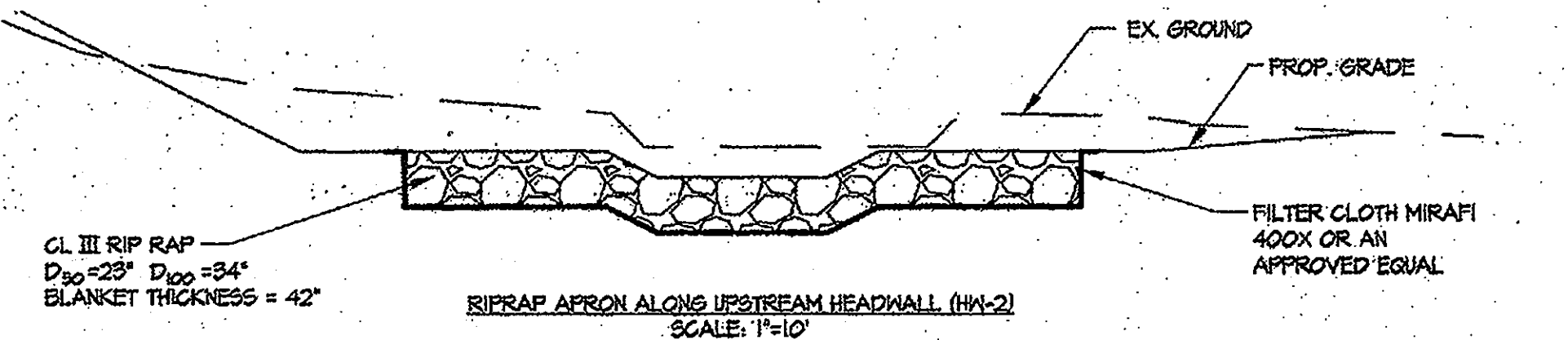
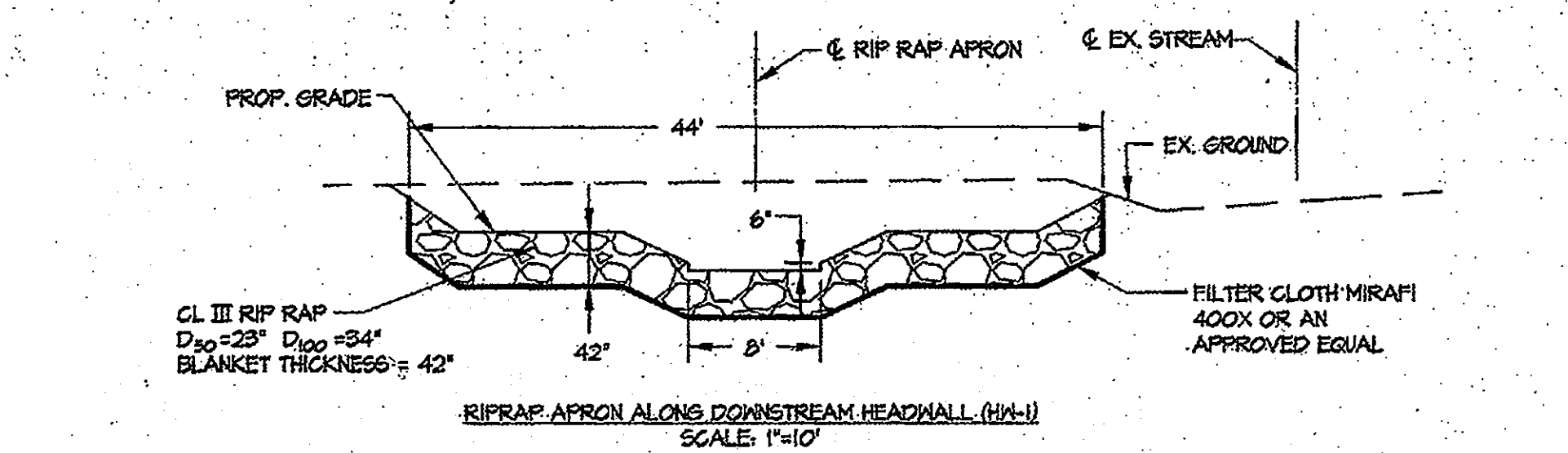
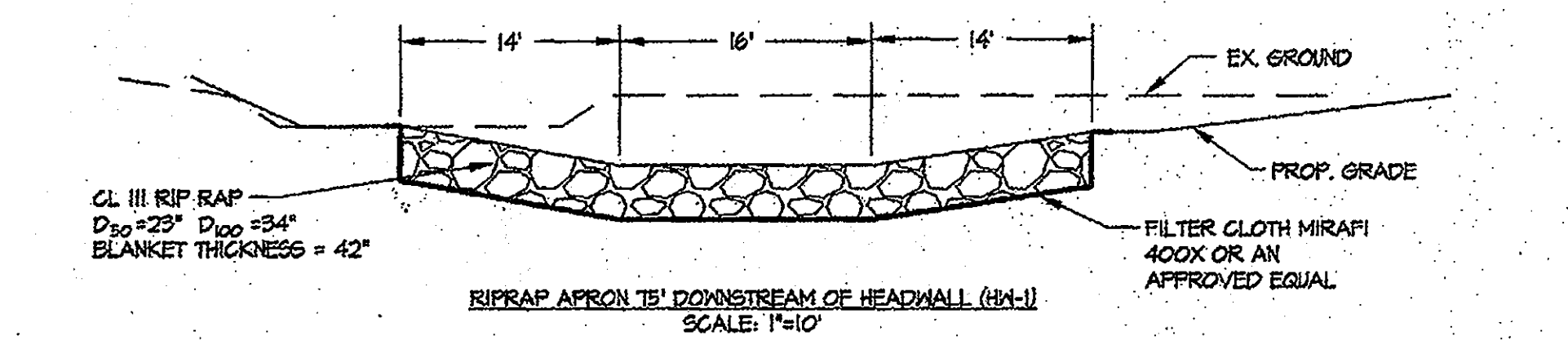
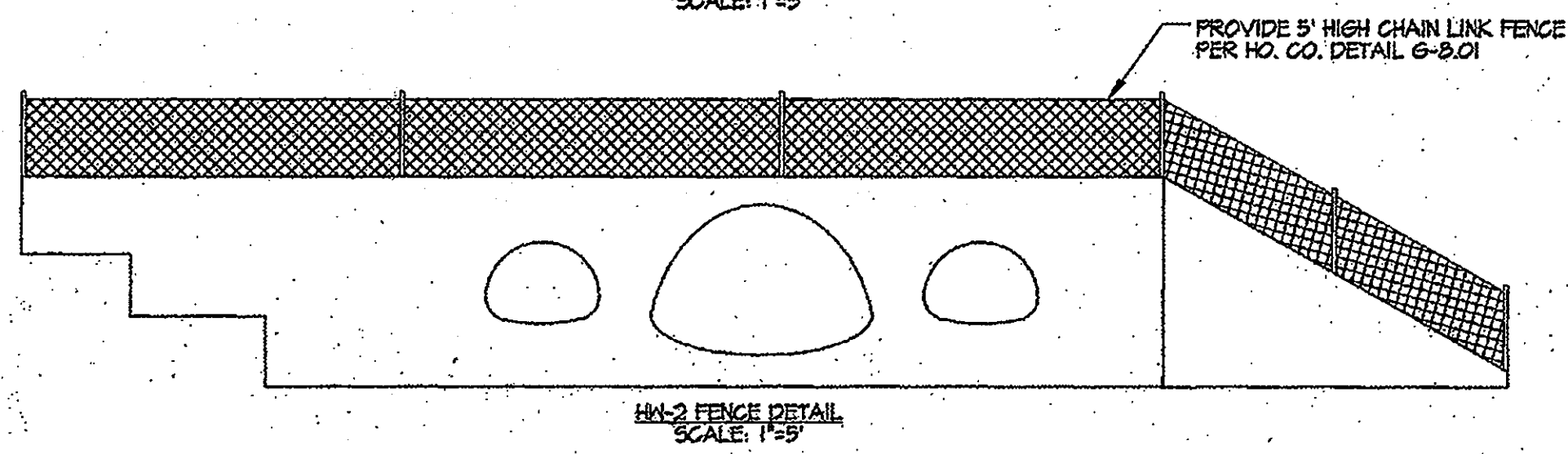
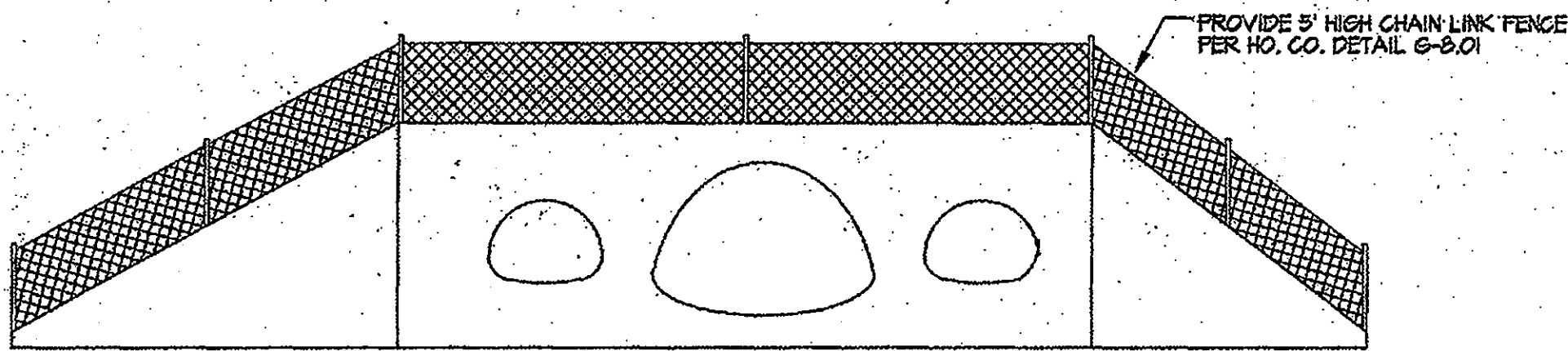
DATE: 10/18/10 BY: [Signature] APPR: [Signature]

PREPARED FOR:
G&R MAPLE LAWN INC.
SUITE 410 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: Mark Bennett
410-484-8400

HAMMOND BRANCH CROSSING DETAILS

MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
LOTS 1 THROUGH 39, OS LOT 60, COMMON OPEN AREAS 61 & 62,
AND NON-BUILDABLE PARCELS 'F' & 'G'
A SUBDIVISION OF PARCELS 129, 204 AND 414 AND
A RESUBDIVISION OF PARCEL B, PLAT NO. 16767

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR, 2008	41-22	12 OF 17



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

William Z. Smith 5-15-08
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Judy Hamilton 5/21/08
Chief, Division of Land Development Date

Mark Bennett 5/19/08
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DCVA: 301-989-2524 FAX: 301-421-4168

10/18/10	rev. contact information	klp	BY	APPR.
DATE	REVISION			

PREPARED FOR:
G&R MAPLE LAWN INC.
SUITE 410 WOODHOLM CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
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410-484-8400

HAMMOND BRANCH CROSSING DETAILS & NOTES
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS C1 & C2,
AND NON-BUILDABLE PARCELS F1 & F2
A SUBDIVISION OF PARCELS 129, 205 AND 474 AND
A RESUBDIVISION OF PARCEL E, PLAT NO. 16767

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR, 2008	41-22	13 OF 17

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Maple Lawn Farms Culvert Hillside District
Location: Howard County, Maryland

Station	Soil Sample Location	Description	Boring and Sampling Info	Soil	SPT Blows	Notes
10+00	10' Depth	Brown, silty, medium dense sand with traces of clay, mica	6 inches organic topsoil at boring surface	10-14	11	
10+00	20' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	30' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	40' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	50' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	60' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	70' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	80' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	90' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	100' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

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10+00	30' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	40' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	50' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	60' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	70' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	80' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	90' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	100' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Maple Lawn Farms Culvert Hillside District
Location: Howard County, Maryland

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10+00	30' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	40' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	50' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	60' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	70' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	80' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	90' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	100' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Maple Lawn Farms Culvert Hillside District
Location: Howard County, Maryland

Station	Soil Sample Location	Description	Boring and Sampling Info	Soil	SPT Blows	Notes
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10+00	30' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	40' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	50' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	60' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	70' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	80' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	90' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	
10+00	100' Depth	Grey, silty, medium dense, subangular to angular sand with traces of mica, mica		10-14	11	

5.0 EVALUATIONS AND RECOMMENDATIONS

Our findings indicate that the site conditions are adequate for a project of the intended scope. Special considerations should be given to the dewatering necessary in order to accomplish the required excavation, undercutting and bedding construction for the culverts. Dense decomposed rock materials in HCEA boring B-4 at elevation EL 399.2 may require non-conventional excavation techniques like the use of rippers, excavators with rock teeth, rock hammer etc. to achieve planned foundation bedding invert levels.

The following recommendations have been developed on the basis of the previously described project characteristics and subsurface conditions. If there are any changes to the project characteristics or if different subsurface conditions are encountered during construction, HCEA should be consulted so that the recommendations of this report can be reviewed and revised, if necessary.

5.1 Culverts

Culvert structures can be planned to bear on medium dense, or very dense natural ground materials encountered at the boring locations. Soft/loose surficial soil conditions are anticipated to extend locally to depths of 2 to 5 feet below culvert invert levels at locations of borings B-2 and B-3 based on topographic information provided and the boring results. Pockets of organic aluminum could be encountered in areas of this existing stream, or in lowlying wetland areas adjacent to the stream.

Foundation bedding materials should extend through surficial organic soils and/or loose/soft materials that were encountered periodically in the upper two feet to five feet of site grades during the investigation. Undercut materials can be replaced with clean, crushed #57 stone or other freely draining material approved by the Geotechnical Engineer.

Dewatering of the culvert foundation to accomplish undercutting and to place bedding for support of the new culvert structures at Hammond Branch will be required. Depending upon the depth of proposed culvert bedding materials, undercut requirements and proximity of excavations to the existing stream; extensive groundwater flows through upper granular soils could require the need for an elaborate perimeter dewatering system like deep wells or well points. An effective system should maintain water levels a minimum of two feet below excavation invert levels.

Interested contractors should adequately familiarize themselves with the site conditions and the information provided prior to bidding the project. Specialty foundation and/or dewatering contractors familiar with Piedmont geology in general and Howard County soils in particular should be solicited to identify project construction requirements and to perform the work.

Backfill materials and methods are extremely important in the construction of metal pipe arch culvert structures. Backfill of the haunch areas adjacent to the pipe are extremely critical to the performance or behavior of the completed structure. A "select fill structural backfill zone" consisting of the haunch areas under the culverts and a minimum 10 foot wide horizontal width beyond the sidewalls of the super-span structures is typically specified to be backfilled with coarse granular bottom bedding (ASTM D 14-145 Classification A-1-D, or better. Manufacturer's representatives should be contacted directly for backfill requirements for their particular structure types.

Select backfill materials should be constructed in maximum 8-inch thick compacted lifts and to minimum in-place densities equal to 92 percent of Modified Proctor maximum dry density. Other suitable and comparable materials from onsite soils can be used in the structural backfill zone of culverts beyond the 10-foot "select fill structural zone".

Culvert structures founded and backfilled as recommended and in accordance with all other Manufacturer Backfill Requirements are considered to have adequate bearing capacity to support structural loads and the soil envelope with minimal differential settlements. Settlements resulting from the silt and sand soils encountered in the investigation are expected to be elastic and to occur during backfilling and final grading operations. No long-term consolidation settlements are expected.

Hammond Branch waters have not been tested for pH and resistivity as part of this project. Manufacturers should be contacted directly with regard to specific concerns and/or testing requirements about corrosion protection.

Prior to beginning the stream diversion and culvert foundation excavation work, a special preconstruction conference on the culvert is recommended. The purpose of the meeting would be to review the contractor's proposed construction means and methods. A representative of the Owner, Civil Engineer, Prime Contractor, Specialty subcontractors, Manufacturer, and Geotechnical Engineer responsible for monitoring the construction should be in attendance.

Retaining walls either consisting of poured in place concrete walls or a combination of pound in-place headwalls and segmental retaining walls are assumed to be required for culvert end-sections. Walls should be designed for retained soils, surcharge loads and hydrostatic or seepage pressures as required by the road and culvert design.

An angle of internal friction of 32 degrees and an in-place moist unit weight of 138 pcf is recommended for walls retaining A-1 select granular backfill materials. For wall systems retaining on site, granular mixtures of sand and silt, we recommend an angle of internal friction of 30 degrees and a moist unit weight of 135 pcf. Clay soils should not be used to backfill structures.

Retaining walls must be designed for the full range of potential modes of failure including base sliding, overturning, bearing capacity, internal shear capacity and global stability.

Drainage systems are recommended for retaining wall designs. Depending on the site and height of the wall, drainage may include aggregate drainage material or man-made products like Mini-drain boards and a blanket drain with a discharge pipe and gravity flow to a suitable outfall. In the event that backfill soils retained by the wall are subject to horizontal water flows (i.e. seepage), additional chimney drains with outfalls to the blanket drain may also be required for upstream walls. Drainage materials may also require geotextile filter cloth for protection from fines associated with seepage. These details need to be considered in this particular wall design.

6.0 RECOMMENDED ADDITIONAL SERVICES

Additional soil and foundation engineering, testing, and consulting services recommended for this project are summarized below:

Site Preparation and Profiling: A Geotechnical Engineer or experienced Soils Inspector should inspect the site after it has been stripped and excavated. The Inspector should determine if any undercutting or in-place densification is necessary to prepare a subgrade for fill placement or for slab support.

Fill Placement and Compaction: A Geotechnical Engineer or experienced Soils Inspector should witness any required filling operations and should take sufficient in-place density tests to verify that the specified degree of fill compaction is achieved. He should observe and approve borrow materials used and should determine if their existing moisture contents are suitable.

Footing Excavation Inspections: A Geotechnical Engineer or experienced Soils Inspector should inspect the footing excavations for the building foundations. He should verify that the design bearing pressure is available and that no loose pockets exist beneath the bearing surfaces of the footing excavations. Based on the inspection, the Inspector would either approve the bearing surfaces or recommend that loose or soft soils be undercut to expose satisfactory bearing materials.

HILLIS-CARNES ENGINEERING

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.

CONSTRUCTION PERIOD PROTECTION PROGRAM

- The limit of forest retention shall be staked and flagged.
- A pre-construction meeting at the site should be held to confirm the limits of clearing specified. The meeting should include the owner or the owner's representative, the on-site foreman in charge of land disturbance, the environmental consultant and the appropriate Howard County inspectors.
- Forest protection devices and signs (see details) shall be installed prior to any clearing or grading. The protection devices and signs shall be maintained during the entire construction period. None of the devices shall be anchored or attached in any way to the trees to be saved. The maintenance time frame may be extended to accommodate subsequent phases of development.
- Equipment, vehicles and building materials shall not be within the protected area. Activities strictly to implement any reforestation planting and maintenance (i.e. watering, fertilizing, thinning, pruning, removal of dead and diseased trees where necessary, etc.) of the conservation area are permitted. Clearing for the purpose of sodding or planting grass is not permitted within the forest conservation area once it's established.
- At the end of the construction period, the designated qualified professional shall convey certification to the administrator of the Howard County Forest Conservation Program that all forest retention areas have been preserved, all reforestation and/or afforestation plantings (if applicable) have been installed as required by the forest conservation plan, and that all protection measures required for the post-construction period have been installed.

Upon review of the final certification document for completeness and accuracy, the program coordinator will notify the owner of release from the construction period obligations. The 2-year (min.) post-construction management and protection period then commences.

FOREST CONSERVATION PROGRAM SEQUENCE

(NOTE: REFER TO SEQUENCE OF CONSTRUCTION ON SHEET 2 OF F-05-81).

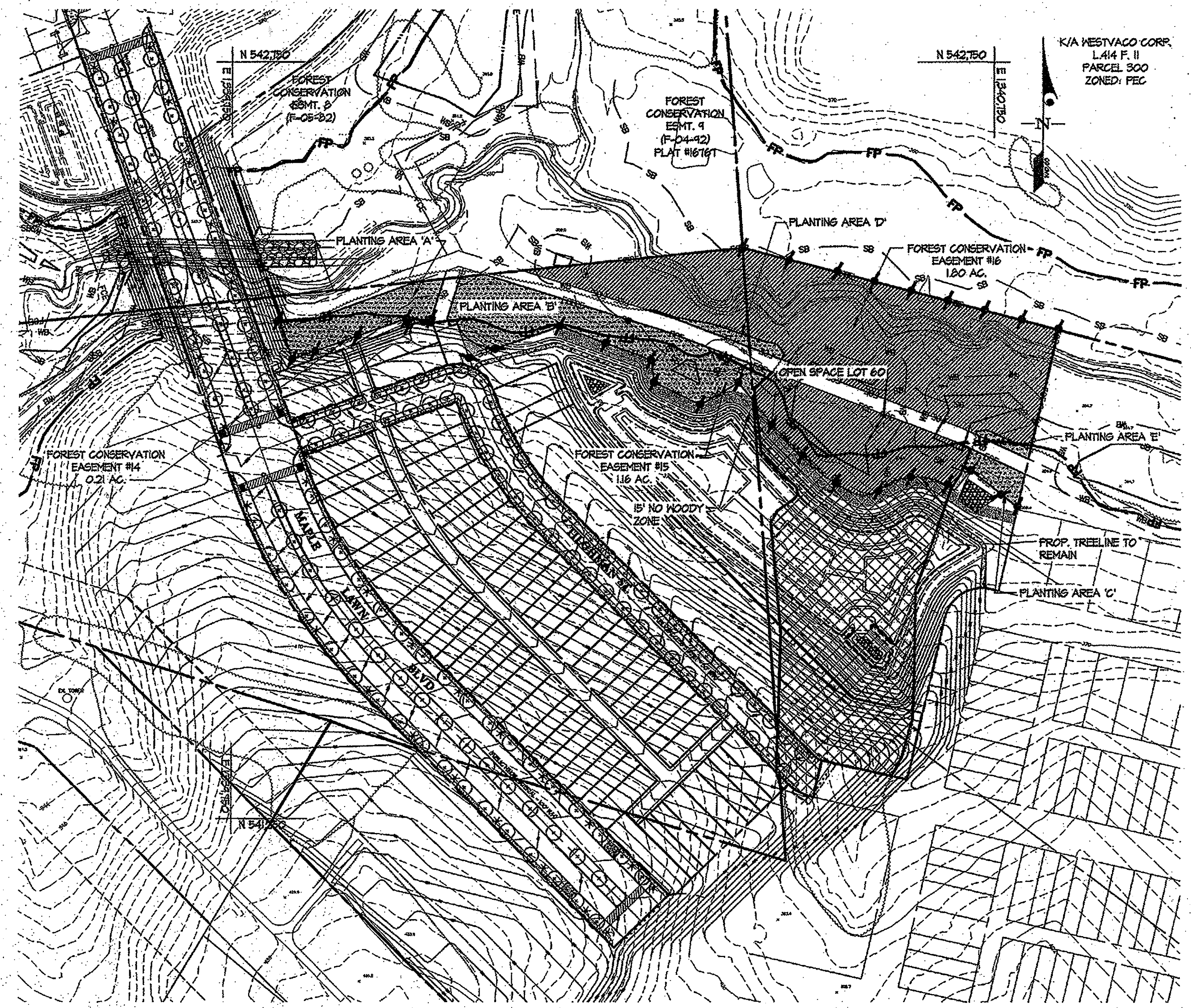
- OBTAIN ALL NECESSARY PERMITS.
- STAKEOUT LIMITS OF DISTURBANCE.
- FIELD MEETING TO REVIEW AND VERIFY LIMIT OF DISTURBANCE FOR THE LIMITS OF GRADING AND CONSTRUCTION.
- INSTALL FOREST CONSERVATION SIGNS (SEE DETAIL ON THIS SHEET) AND FOREST PROTECTION DEVICES ALONG THE FCE AREAS. (FENCES) ALONG THE PORTION OF THE LIMIT OF DISTURBANCE (THAT INVOLVES CLEARING AND/OR RETENTION OF TREES) SEE ALSO THE SEDIMENT CONTROL PLANS FOR OTHER PROTECTION MEASURES.
- COMMENCE SITE CONSTRUCTION.
- INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE CONSTRUCTION PERIOD OBLIGATIONS; START OF POST-CONSTRUCTION MANAGEMENT PERIOD.
- POST-CONSTRUCTION MANAGEMENT FOR A PERIOD OF 2 YEARS (MIN.).
- FINAL INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE OWNER'S FOREST CONSERVATION OBLIGATION.

NOTES:

- THE TREE PROTECTION FENCING SHOWN ON THESE PLANS IS TEMPORARY AND SHALL REMAIN IN PLACE DURING CONSTRUCTION ACTIVITY, BUT THE FOREST CONSERVATION SIGNAGE IS PERMANENT AND SHALL REMAIN IN PLACE AROUND THE FOREST CONSERVATION EASEMENTS AFTER THE REMOVAL OF THE TREE PROTECTION FENCING.
- FOREST CONSERVATION SIGNAGE SHALL BE INSTALLED ALONG THE PERIMETER OF THE CONSERVATION EASEMENT AT 50' TO 100' APART AND AT ALL CORNERS WHERE THE EASEMENT CHANGES DIRECTION.
- ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.

GENERAL NOTES

- This afforestation plan is provided in accordance with the requirements of Subtitle 12 "Forest Conservation" of the Howard County Code.
- Implementation of this plan must be performed by a contractor that is knowledgeable and experienced in afforestation/reforestation techniques and practices.
- The owner is responsible for a 2-year (min.) post-construction maintenance period which involves activities necessary to ensure survival and growth of the conservation area. Two inspections per year by a qualified professional at beginning and end of the growing season, are recommended in order to take remedial steps as necessary. If, after one year, the possibility exists that the original planting (if applicable) will not meet survival rate standards, the applicant may choose to establish reinforcement plantings.
- At the end of the post-construction management and protection period, certification by a qualified consultant will be required before to the owner can be released from his/her forest conservation obligation to the administrator of the Howard County Forest Conservation program.
- The contractor is responsible for the location of any existing utilities. The repair of any utilities damaged by the contractor shall be at the contractor's expense.
- Street trees provided at Final Plan Stage. Landscape and Buffering requirements to be provided at Final Plan Stage or Site Plan Stage.
- The forest conservation easements shown on this plan will be established to fulfill the requirements of the Forest Conservation Program. No clearing, grading or construction is permitted within the forest conservation easements, however, forest management practices as defined in the Deed of Forest Conservation Easement are allowed.
- The forest conservation requirements per Section 16.1202 of the Howard County Code and the Forest Conservation manual for Phase 4 of this project with an afforestation and reforestation obligation of 3.48 acres will be fulfilled with retention in the amount of 0.27 acres, afforestation planting in the amount of 0.90 acres and utilizing 2.31 acres of excess afforestation planting from previous phases, which leaves 6.67 acres of excess afforestation planting being done in advance as forest conservation credit for future phases of this project.
- Disturbed areas within the 100 year floodplain must be stabilized according to the riparian planting notes on F-05-81.



SITE DATA

GROSS AREA - PHASE IVa: 15.48
NET TRACT AREA: 12.48

CONSERVATION ESMT #14:
AREA: 0.21 Ac
FOREST RETENTION IN NET TRACT: 0.00 Ac
FOREST RETENTION IN FLOOD PLAIN: 0.00 Ac
FOREST PLANTING IN NET TRACT: 0.11 Ac
FOREST PLANTING IN FLOOD PLAIN: 0.10 Ac

CONSERVATION ESMT #15:
AREA: 1.16 Ac
FOREST RETENTION IN NET TRACT: 0.27 Ac
FOREST RETENTION IN FLOOD PLAIN: 0.26 Ac
FOREST PLANTING IN NET TRACT: 0.34 Ac
FOREST PLANTING IN FLOOD PLAIN: 0.29 Ac

CONSERVATION ESMT #16:
AREA: 1.80 Ac
FOREST RETENTION IN NET TRACT: 0.00 Ac
FOREST RETENTION IN FLOOD PLAIN: 1.74 Ac
FOREST PLANTING IN NET TRACT: 0.01 Ac
FOREST PLANTING IN FLOOD PLAIN: 0.05 Ac

LEGEND

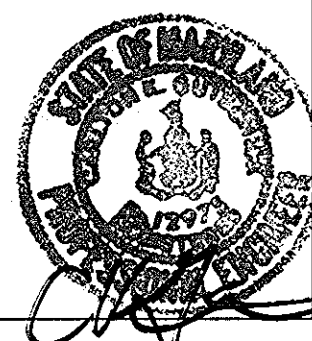
- EXISTING TOPOGRAPHY
- PROPOSED CONTOURS
- EXISTING TREE LINE
- EXISTING STRUCTURES
- SOILS
- STREAM BUFFER
- WETLANDS
- FLOODPLAIN
- FOREST AREA TO BE CLEARED
- TREE PROTECTION SIGN
- FOREST CONSERVATION EASEMENT LINE
- TREE PLANTING AREA
- EXISTING FOREST RETENTION

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Willa Z. Wall 5-15-08
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chris Hart 5/2/08
Chief, Division of Land Development Date
William 5/19/08
Chief, Development Engineering Director Date

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXP. DATE: MAY 26, 2008.



STATE OF MARYLAND

Michael B. Tran

REGISTERED ARCHITECT
Michael B. Tran 5/11/08
933 LANDSCAPE ARCHITECT

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
BURTONTOWN, MARYLAND 20686
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-289-2824 FAX: 301-421-4186

PREPARED FOR:
G&R MAPLE LAWN INC.
SUITE 410 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: Mark Bennett
410-484-8400

FINAL FOREST CONSERVATION PLAN & NOTES

MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS G1 & G2,
AND NON-BUILDABLE PARCELS 'P' & 'Q'
A SUBDIVISION OF PARCELS 129, 202 AND 414 AND
A RESUBDIVISION OF PARCEL E, PLAT NO. 16767

SCALE	ZONING	G. L. W. FILE No.
1"=100'	MXD-3	04001a
DATE	TAX MAP - GRD	SHEET
MAR, 2008	41-22	14 OF 17

DATE	REVISION	BY	APPR.
10/18/10	rev contact information	kfr	

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

RETENTION / AFFORESTATION / REFORESTATION SUMMARY TABLE FOR MAPLE LAWN FARM PROJECT											
PHASE NO.	GROSS AC.	FLOODPLAIN AC.	NET TRACT AREA	EXG. FOREST IN AC.	FOREST CLEARED	FOREST RETAINED	EXCESS RETENTION	REF/AFF. REQUIRED	CREDITED PLANTING PROVIDED	EXCESS FOREST CON. (PLANTING/RETENTION)	COMMENTS
1	51.98	3.40	48.58	9.45	0.51	8.94	0.63	0.00	4.56	5.19	Per F-03-07
2	① 75.20	2.38	72.82	0.00	0.00	0.00	0.00	10.92	③ 6.67	-4.25	Per F-03-90
2	① 5.70	0.00	5.70	0.00	0.00	0.00	0.00	0.86	0.00	-0.86	Per SDP-03-140
3	② 19.09	14.85	4.24	0.21	0.00	0.21	0.00	0.43	10.49	10.06	Per F-04-92
3	-	-	-	-	-	-	-	-	-	-1.16	④ Per F-05-81
4	15.48	3.00	12.48	1.92	1.65	0.27	0.00	3.21	0.90	-2.31	Per F-05-81
TOTAL	167.45	23.63	143.82	11.58	2.16	9.42	0.63	15.42	21.46	6.67	

- ① Includes future phase areas of Maple Lawn Farms. When those areas are recorded in future phases, the forest conservation requirements will already have been met.
- ② 19.09 ACRES = 59.80 ACRES (Phase 3 site total) - 40.71 ACRES (Area of forest con. in Phase 3 already provided by F-03-90 (35.01 Ac) and SDP-03-140 (5.70 Ac.))
- ③ Reduced from 6.97 Ac. as shown on F-03-90 to 6.67 Ac. because of the 0.16 Ac. reduction of Conservation Easement #4 on F-04-79 and the 0.14 Ac. reduction of Conservation Easement #5 on F-04-88.
- ④ F-05-81 is a revision of Open Space Lots 221 & 222, and a conversion of Parcel 'E' to R/W. Forest Conservation Easement (FCE) #7 will abandon 0.25 ac. and FCE #8 will abandon 0.91 ac.

THE SURETY AMOUNT FOR FOREST PLANTING IS FOR 0.90 AC: 39,204 s.f. x \$0.50 = \$19,602.
 THE SURETY AMOUNT FOR FOREST RETENTION AREA OUTSIDE THE FLOOD PLAIN IS 0.27 AC (11,761 S.F. x \$ 0.20)=\$2,352.00
 THE TOTAL SURETY AMOUNT IS \$21,954.

TABULATION OF PROPOSED FOREST CONSERVATION AREAS					
	FOREST CONSERVATION ESMT	14	15	16	TOTAL
CREDITED	FOREST PLANTING PROVIDED IN THE 100-YR FLOOD PLAIN	0.10 Ac	0.29 Ac	0.05 Ac	0.44 Ac
CREDITED	FOREST PLANTING PROVIDED OUTSIDE THE 100 YR FLOOD PLAIN	0.11 Ac	0.34 Ac	0.01 Ac	0.46 Ac
NON-CREDITED	FOREST RETENTION INSIDE THE 100-YR FLOOD PLAIN	0.00 Ac	0.26 Ac	1.74 Ac	2.00 Ac
CREDITED	FOREST RETENTION OUTSIDE THE 100-YR FLOOD PLAIN	0.00 Ac	0.27 Ac	0.00 Ac	0.27 Ac
	TOTAL AREA OF EACH FOREST CONSERVATION AREA	0.21 Ac	1.16 Ac	1.80 Ac	3.17 Ac

FOREST CONSERVATION WORKSHEET	
SITE DATA	
A. GROSS SITE AREA	15.48
B. AREA WITHIN 100-YEAR FLOOD PLAIN	3.00
C. NET TRACT AREA	12.48
D. LAND USE CATEGORY	MD-3
E. AFFORESTATION THRESHOLD (15% x NET TRACT AREA)	1.87
F. CONSERVATION THRESHOLD (15% x NET TRACT AREA)	1.87
EXISTING FOREST COVER	
G. EXISTING FOREST ON NET TRACT AREA	1.92
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD (On Net Tract Area)	0.05
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD (On Net Tract Area)	0.05
PROPOSED FOREST CLEARING	
J. FOREST AREAS TO BE CLEARED (On Net Tract Area)	1.65
K. FOREST AREAS TO BE RETAINED (On Net Tract Area)	0.27
PLANTING REQUIREMENTS	
TOTAL REFORESTATION ABOVE THRESHOLD REQUIRED (I x 0.25)	0.01
TOTAL REFORESTATION REQUIRED ((J-I) x 2.00)	3.20
TOTAL AFFORESTATION REQUIRED (E - G)	0.00
TOTAL AFFORESTATION AND REFORESTATION REQUIRED	3.21
PLANTING TO BE PROVIDED	0.90

FOREST CONSERVATION PLANTING QUANTITY SCHEDULE					
FOREST PLANTING LOCATION NO.	A (esmt.14)	B (esmt.15)	C (esmt.15)	D (esmt.16)	E (esmt.16)
AREA TO BE PLANTED (IN AC.)	0.21	0.57	0.06	0.04	0.02
BASE QUANTITY OF 2" CAL. TREES REQUIRED (AT 100 TREES/AC.)	21	57	6	4	2
CREDIT FOR LANDSCAPE TREES	N/A	N/A	N/A	N/A	N/A
REQUIRED QUANTITY OF 2" CAL. TREES TO BE PLANTED	21	57	6	4	2

PLANT NAME (BOTANICAL/COMMON)	FOREST PLANTING AREA				
	A	B	C	D	E
CORNUS KOUSA/KOUSA DOGWOOD	2	5	1		
ACER RUBRUM/RED MAPLE	2	5	1	4	2
CERCIS CANADENSIS/EASTERN REDBUD	2	5	1		
LIRIODENDRON TULIPFERA/TULIP TREE	2	5	1		
PLATANUS OCCIDENTALIS/AMERICAN SYCAMORE (PLANETREE)	2	5			
QUERCUS PALUSTRIS/PIN OAK	2	5			
LIQUIDAMBAR STYRACIFLUA/SWEET GUM	2	8			
QUERCUS RUBRUM/RED OAK	2	5			
QUERCUS BICOLOR/SWAMP WHITE OAK	2	5	1		
PINUS STROBUS/WHITE PINE	3	9	1		

NOTES:
 1. THE QUANTITY SHOWN ABOVE IS FOR PLANTING WITH 2 1/2" CAL. TREES AT 20' X 20' SPACING. EVERGREEN TREES SHALL BE 6'-8' HT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-15-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/21/08

APPROVED: Chief, Development Engineering Division
 Date: 5/19/08

STATE OF MARYLAND
 Michael B. Tran
 ARCHITECT
 938
 LANDSCAPE ARCHITECT
 5/11/08

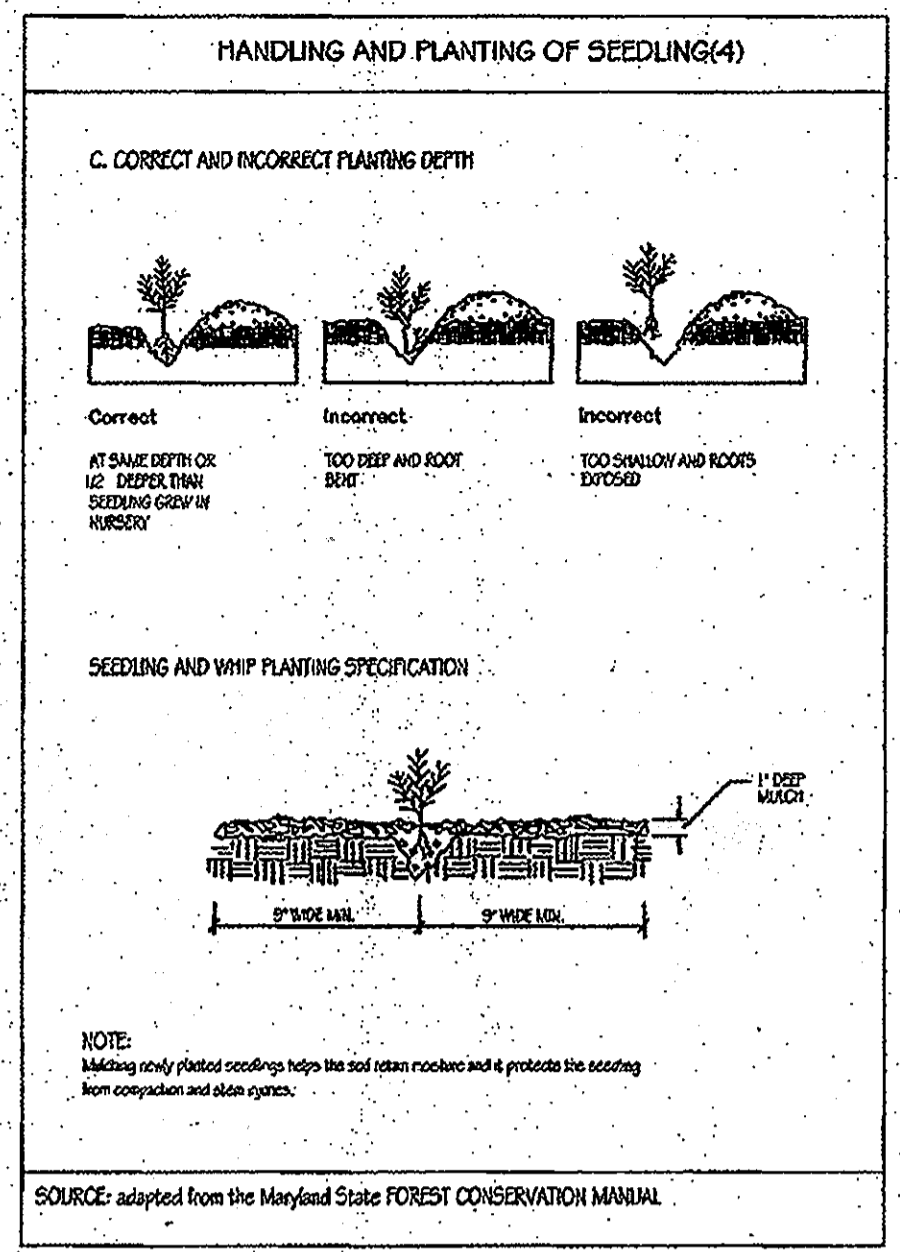
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN, MARYLAND 20885
 TEL: 301-421-4024 FAX: 410-882-1020 DC/VA: 301-569-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
10/15/10	Rev contact information	klp	

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

FINAL FOREST CONSERVATION DETAILS AND NOTES
MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 1
 LOTS 1 THROUGH 59, ON LOT 60, COMMON OPEN ARRAS 61 & 62, AND NON-BUILDABLE PARCELS 'F' & 'G' A SUBDIVISION OF PARCELS 129, 205 AND 474 AND A RESUBDIVISION OF PARCEL E, PLAT NO. 16767
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR., 2008	41-22	15 OF 17

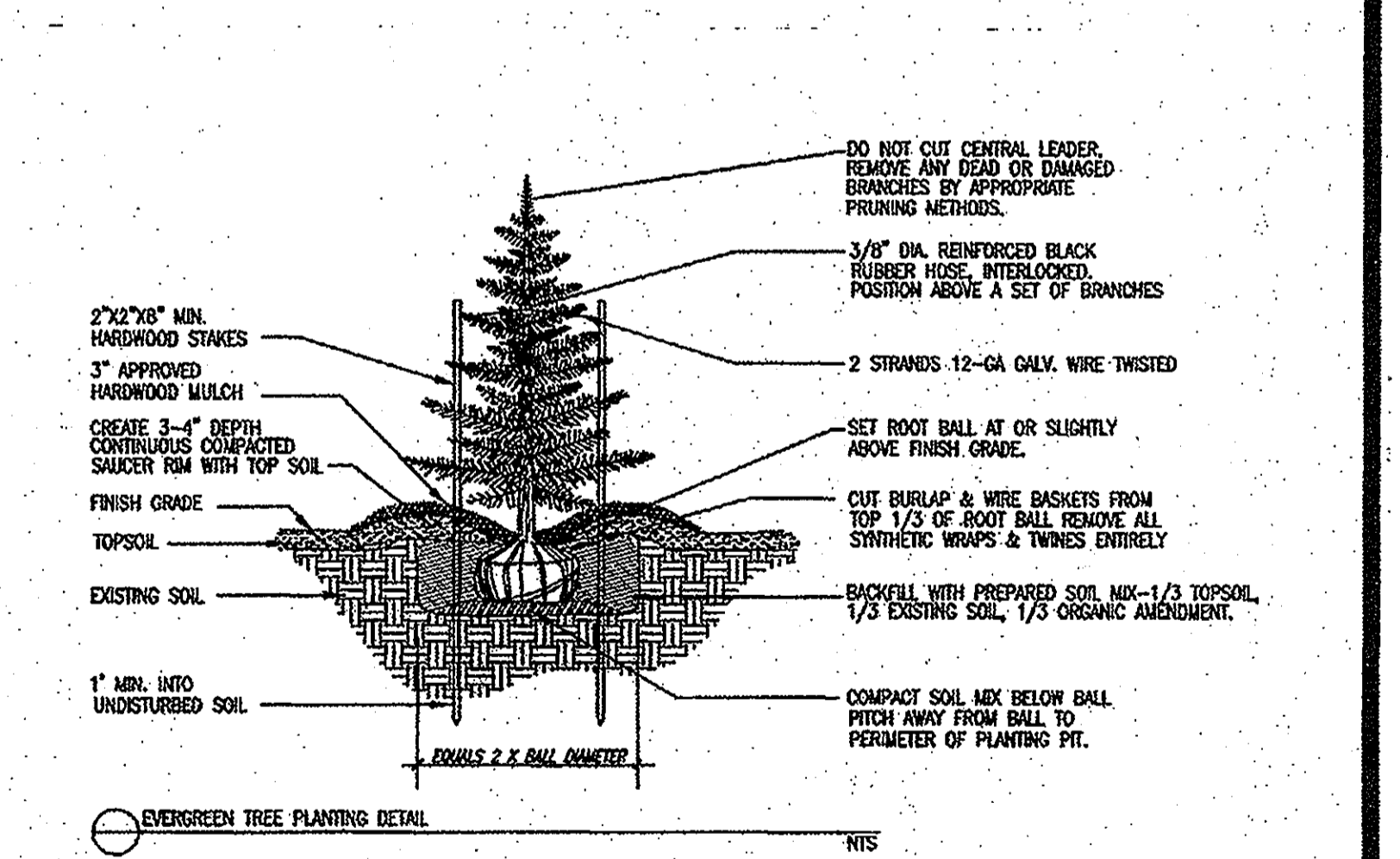
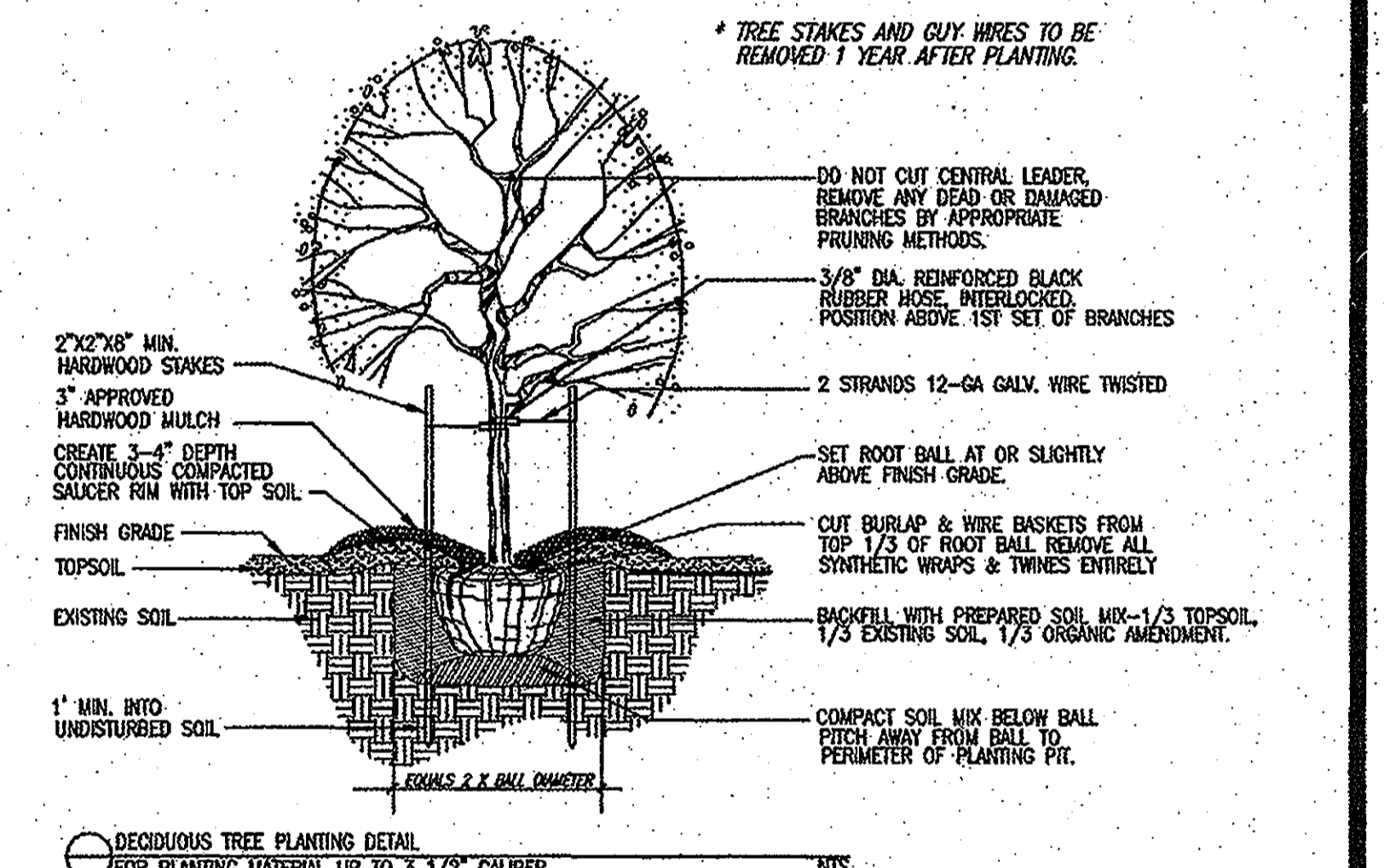
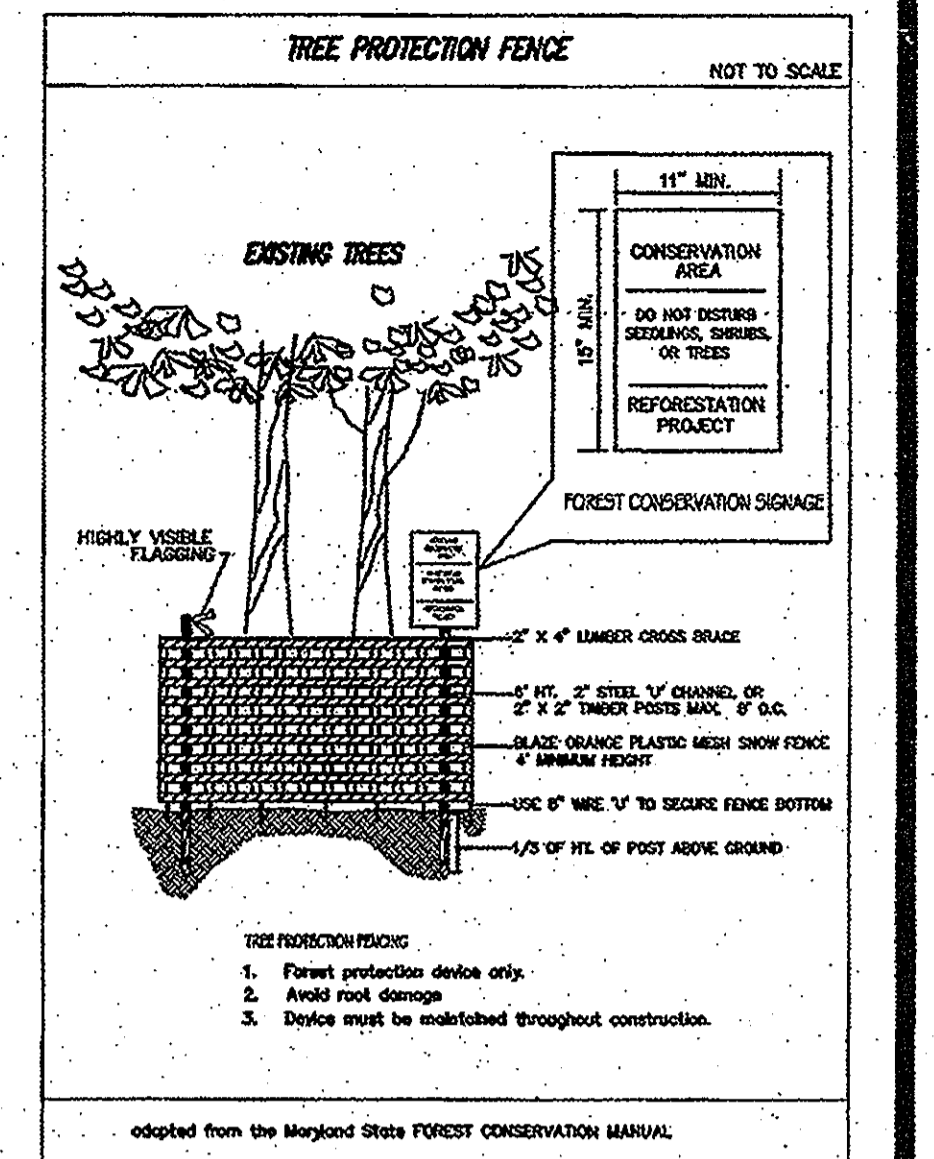


TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" CAL. OR GREATER												
PLANTING SEEDLINGS, WHIPS												
MINIMUM MONITORING	*											
FEEDBACK (IF NEEDED)												
WATER **												
PRUNING												

KEY:
 * ACTIVITIES DURING THESE MONTHS ARE DEPENDANT UPON GROUND CONDITIONS
 ** GREATLY RECOMMENDED
 *** RECOMMENDED WITH ADDITIONAL CARE
 **** RECOMMENDED
 + DEPENDANT UPON SITE CONDITIONS
 ** DEPENDANT UPON SITE CONDITIONS, WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"

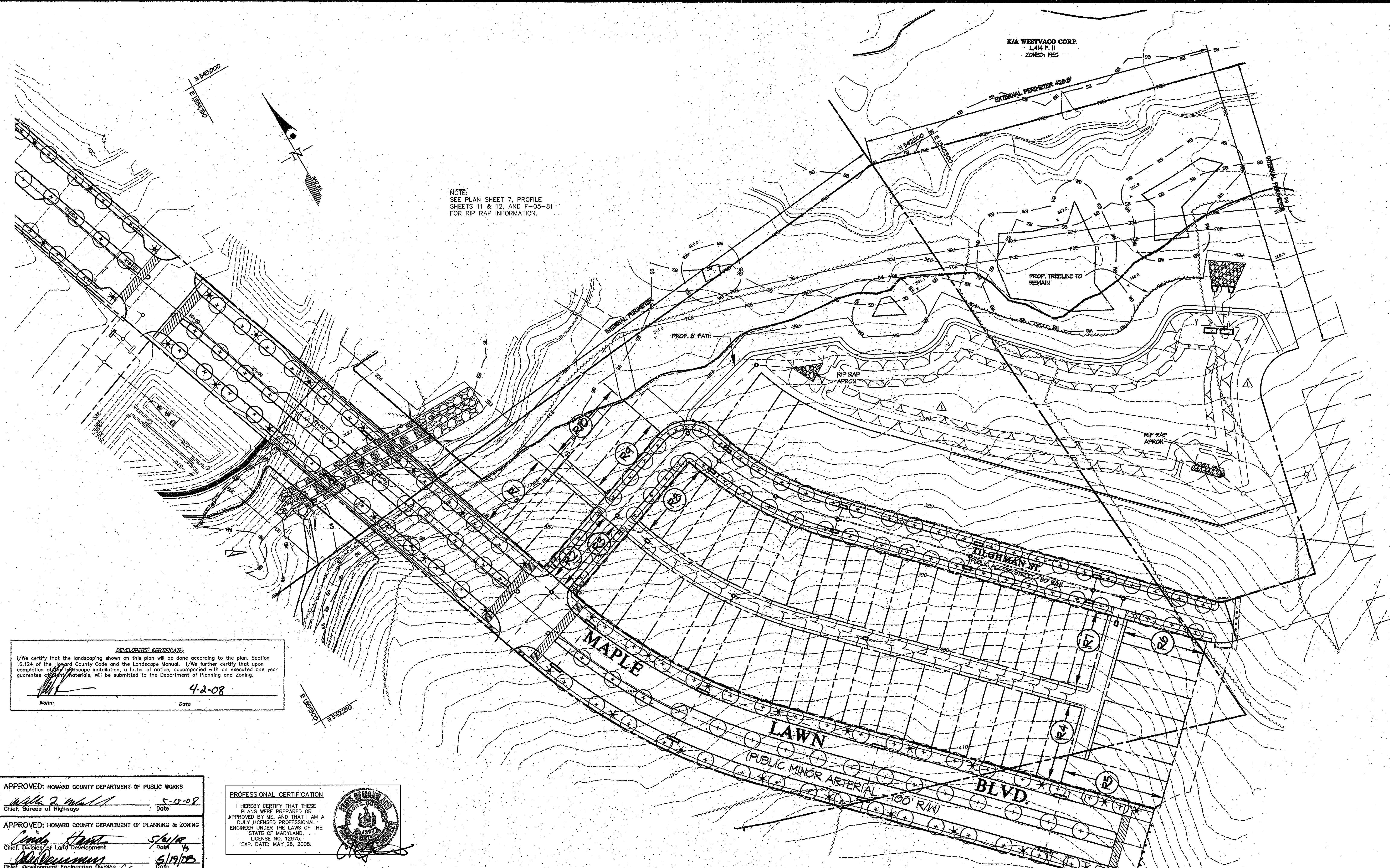
NOTE:
 The planting and care of trees is most successful when coordinated with the local climate conditions. The calendar addresses some of the recommended best times for tree reforestation and stress reduction activities.

SOURCE: adapted from the Maryland State FOREST CONSERVATION MANUAL.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.

STATE OF MARYLAND
 PROFESSIONAL ENGINEER



K/A WESTVACO CORP.
L.414 F. II
ZONED: PEC

NOTE:
SEE PLAN SHEET 7, PROFILE
SHEETS 11 & 12, AND F-05-81
FOR RIP RAP INFORMATION.

DEVELOPER'S CERTIFICATE:

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual. I/We further certify that upon completion of landscape installation, a letter of notice, accompanied with an executed one year guarantee of materials, will be submitted to the Department of Planning and Zoning.

Name: _____ Date: 4-2-08

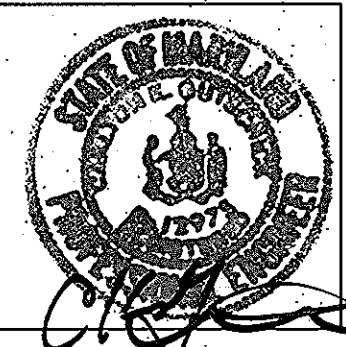
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter A. Wall Date: 5-17-08
Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cindy Hart Date: 5/2/08
Chief, Division of Land Development

APPROVED: _____ Date: 5/19/08
Chief, Development Engineering Division

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3908 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20885
TEL: 301-421-0244 FAX: 410-880-1822 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
G&R MAPLE LAWN INC.
SUITE 410 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: Mark Bennett
410-484-8400

FINAL LANDSCAPE PLAN
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1
LOTS 1 THROUGH 59, OS LOT 60, COMMON OPEN AREAS 61 & 62,
AND NON-BUILDABLE PARCELS 63 & 67
A SUBDIVISION OF PARCELS 12, 305 AND 474 AND
A RESUBDIVISION OF PARCEL E, PLAT NO. 16767

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	04001a
DATE	TAX MAP - GRID	SHEET
MAR., 2008	41-22	16 OF 17

DATE	REVISION	BY	APPR.
11/9/2010	Removed references to Schedule 'D' planting requirements; revised contact info.	DBV	

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

PERIMETER PLANTING SCHEDULE - SCHEDULE A										
PERIMETER	LAND USE	ADJACENT LAND USE	TYPE OF BUFFER	LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	NUMBER OF PLANTS REQUIRED			HOW REQUIRED BUFFER IS BEING PROVIDED
							SHADE TREES	ORNAMENTAL TREES	EVERGREEN TREES	
EXTERNAL PERIMETER 1	OPEN SPACE	COMMERCIAL	A' Buffer *	429'	429 L.F. OF EXISTING FOREST	NO	0	0	0	---

* FOLLOWS COMPREHENSIVE SKETCH PLAN GUIDELINE REQUIREMENTS

RESIDENTIAL LOT INTERNAL LANDSCAPING CHART				
BUILDING TYPE	FRONT YARD		SIDE AND REAR YARD	
	NUMBER OF PLANTS REQUIRED SHADE TREES	SHRUBS	NUMBER OF PLANTS REQUIRED SHADE TREES	SHRUBS
SINGLE FAMILY ATTACHED	NONE REQUIRED	1:4' OF LOT WIDTH AT BFL	NONE REQUIRED	NONE REQUIRED

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS SCHEDULE					
RESIDENTIAL LOT LINE	LENGTH OF SIDE PERIMETER	BUFFER REQUIRED	NUMBER OF PLANTS REQUIRED		HOW LANDSCAPING WILL BE PROVIDED
			*SHADE TREES	**SHRUBS	- DEFER TO SDP -
R-1	95'	PER MAPLE LAWN	PER RESIDENTIAL LOT		
R-2	95'	LANDSCAPE DESIGN	INTERNAL LANDSCAPING		
R-3	95'	CRITERIA	CRITERIA		
R-4	95'				
R-5	100'				
R-6	100'				
R-7	95'				
R-8	95'				
R-9	100'				
R-10	100'				

*Shade trees are not required in the front yard where the building fronts a thoroughfare with street trees. Where there is no thoroughfare (such as an attached green or parking/drive aisle) trees shall be spaced to conform with the spacing of the adjoining thoroughfare and not less than 40' on center.

**Shrubs are not required where the building fronts a thoroughfare and the sidewalk abuts the storefront. Where the sidewalk does not continuously abut the storefront, 1 shrub per 4 linear feet of storefront shall be required.

NOTES:
 1. THE BUFFERS SHOWN IN THE SCHEDULES ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA. THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED ALONG A PERIMETER EDGE:
 SHADE TREE: 1:80 LINEAR FEET OF MEASURED PERIMETER EDGE, AND
 SMALL ORNAMENTAL DECIDUOUS TREE: 1:60 LINEAR FEET OF MEASURED PERIMETER EDGE AND
 EVERGREEN TREE: 1:20 LINEAR FEET OF MEASURED PERIMETER EDGE.

2. PLANTING SIZE SHALL BE LARGE ENOUGH TO MEET THE LANDSCAPE BUFFERING REQUIREMENT ALONG EXTERNAL PERIMETERS WHERE APPLICABLE.

Projected Bond Requirement - Surety for Schedule A:

Schedule 'A' Number of Shade Trees for bonding: 0 x \$300 = \$ 0.00
 Schedule 'A' Number of Evergreen and Ornamental Trees for bonding: 0 x \$150 = \$ 0.00
 Schedule 'A' Number of Shrubs for bonding: 0 x \$ 30 = \$ 0.00

10.00

COMMENTS:

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 With 2 initials
 Chief, Bureau of Highways
 Date: 5-15-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Date: 5/21/08
 Date: 5/19/08

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3908 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20868
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11/17/2010	Removed references to schedule 'B' planting requirements revised contract info.	DEV	

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 410 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: Mark Bennett
 410-484-8400

FINAL LANDSCAPE DETAILS AND NOTES
MAPLE LAWN FARMS
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 LOTS 1 THROUGH 39, OS LOT 69, COMMON OPEN AREAS 61 & 62, AND NON-BUILDABLE PARCELS 'F' & 'G'
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