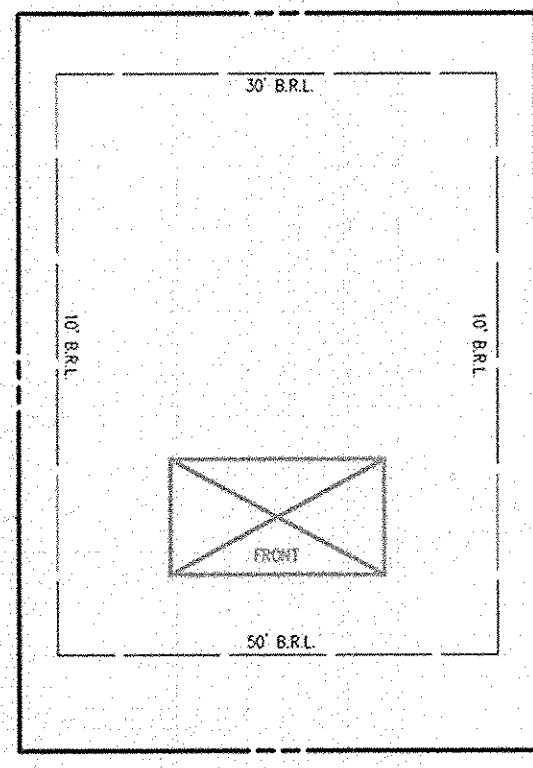


SHEET INDEX

SHEET NO.	DESCRIPTION
1	FINAL PLAN - COVER SHEET
2	COLEWOOD COURT PLAN AND PROFILE
3	MD-216 WIDENING - PLAN AND PROFILE
4	MD-216 WIDENING - CROSS SECTIONS
5	MD-216 WIDENING - CROSS SECTIONS
6	DRAINAGE AREA MAP - STORMDRAIN
7	STORM DRAIN PROFILES & STRUCTURE SCHEDULE
8	GRADING AND SEDIMENT CONTROL PLAN
9	SEDIMENT CONTROL NOTES AND DETAILS
10	LANDSCAPE PLAN, STREET TREE AND SOILS PLAN
11	MAINTENANCE OF TRAFFIC PLAN
12	PAVEMENT MARKING PLAN

COORDINATE TABLE

POINT	NORTHING	EASTING
1	545308.8753	1329991.5554
2	545279.4889	1330045.8202
3	544999.0330	1330405.7120
4	544982.7420	1330403.8227
5	544843.8051	1330264.0457
6	544770.1487	1330198.1405
7	544781.7977	1330185.9381
8	544687.8249	1330193.8717
9	544813.3411	1330289.9676
10	544932.7955	1330430.3528
11	544928.7581	1330467.3325
12	544841.6806	1330533.5699
13	544790.2917	1330569.2997
14	544442.4010	1330419.2533
15	544502.8908	1330504.0102
16	544522.5207	1330503.8584
17	543889.1428	1329219.9688
18	544416.3075	1329582.1698
19	544650.2128	1329623.2845
20	544650.5102	1329640.4168
21	545113.4161	1329896.7653



BULK REGULATIONS: LOTS LESS THAN 3 ACRES

- A.) MINIMUM WIDTH AT FRONT B.R.L. = 100 FT.
- B.) SETBACK: FRONT = 50 FT.
SIDE = 10 FT.
SIDE = 10 FT.
REAR = 30 FT.

LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
LOT 4	45,441 S.F.	3,058 S.F.	42,385 S.F.
LOT 5	42,120 S.F.	2,885 S.F.	39,235 S.F.
LOT 8	44,070 S.F.	3,851 S.F.	40,209 S.F.
LOT 9	47,666 S.F.	6,899 S.F.	40,768 S.F.

ROAD NAME	CLASSIFICATION	RIGHT-OF-WAY	DESIGN SPEED
COLEWOOD CT.	PUBLIC ACCESS PLACE	40 FEET	30 M.P.H.

ROAD NAME	CENTERLINE STA.	OFFSET	POSTED SIGN	SIGN CODE
COLEWOOD CT.	0+45	25' R	STOP SIGN	R1-1

APPROVED: DEPARTMENT OF PUBLIC WORKS
Walter R. Wall
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 12-26-07

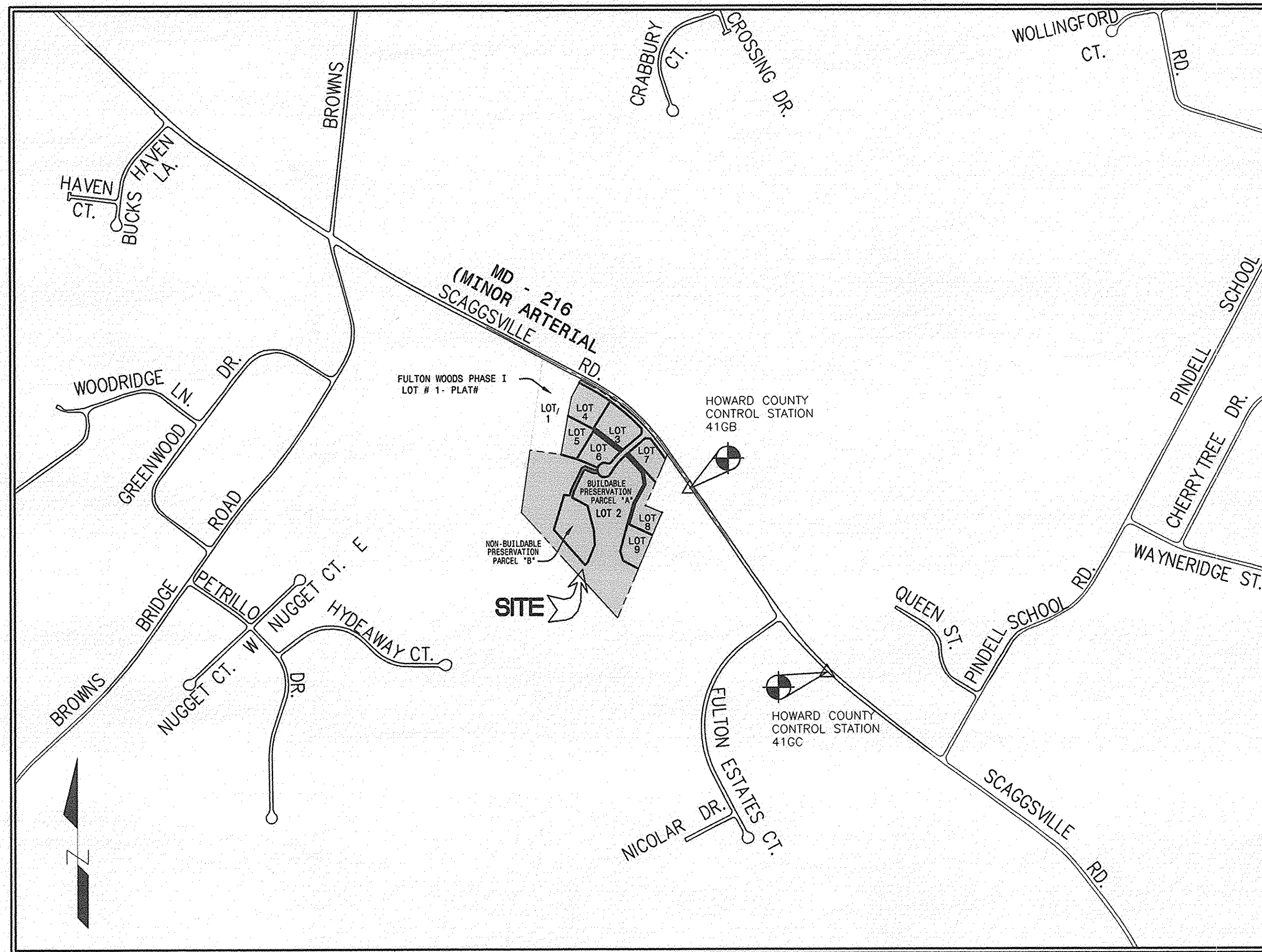
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Candy Smith
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/18/08

APPROVED: DEPARTMENT OF ENGINEERING
[Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 1/12/08

GENERAL NOTES

1. THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS AND LAND DEVELOPMENT REGULATION PER COUNCIL BILL NO. 45-2003 AND THE 2004 ZONING REGULATIONS.
2. THE SUBJECT PROPERTY ZONED R1-60 PER 2/2/04 COMPREHENSIVE ZONING PLAN AND THE "COUP LITE" ZONING AMENDMENTS EFFECTIVE 7-28-06.
3. a. GROSS AREA OF TRACT = 21.37 AC.
b. AREA OF FLOODPLAIN = 0.20 AC.
c. AREA OF 25% OR GREATER SLOPES = 0.0 AC.
d. NET AREA OF TRACT = 21.17 AC.
4. a. AREA OF PROPOSED ROAD R/W = 0.55 AC.
b. AREA OF PROPOSED BUILDABLE LOTS = 7.34 AC.
c. AREA OF PROPOSED BUILDABLE PRESERVATION PARCEL "A" = 11.34 AC.
d. AREA OF NON-BUILDABLE PRESERVATION PARCELS "B" = 2.14 AC.
5. NUMBER OF LOTS PROPOSED:
a. BUILDABLE = 7
b. BUILDABLE PRESERVATION PARCEL "A" = 1
c. NON-BUILDABLE PRESERVATION PARCEL "B" = 1
6. PRIOR CASE NUMBERS ARE AS FOLLOWS: SP-06-011, WP-06-076 & F-06-008 (PLAT # 19301).
7. PRIVATE WATER AND PUBLIC SHARED SEPTIC SEWER SHALL BE UTILIZED WITHIN THIS DEVELOPMENT.
8. SOILS INFORMATION TAKEN FROM SOIL MAP NO. 13, SOIL SURVEY, HOWARD COUNTY, MARYLAND, JULY, 1988 ISSUE.
9. THIS AREA DESIGNATES A MINIMUM 80,000 SQ. FT. PRIVATE SEWAGE EASEMENT REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR SHARED SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THESE EASEMENTS SHALL BE HILL AND VOID UPON CONNECTION TO A PUBLIC SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENT INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY. APPROVAL OF THE NUMBER OF LOTS/PERCENTS IS SUBJECT TO PRELIMINARY PLAN APPROVAL.
10. THE LOTS SHOWN HEREIN COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED TO THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
11. BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY JACK C. MELLEMA INC. IN MARCH OF 2005.
12. TOPOGRAPHIC CONTOURS BASED FIELD RUN SURVEY PREPARED BY JACK C. MELLEMA INC. IN MARCH OF 2005.
13. THERE ARE NO AREAS OF STEEP SLOPES LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.110 D.
14. FOREST STAND DELINEATION AND WETLAND DELINEATION WAS PREPARED BY ECOSCIENCE PROFESSIONALS IN MAY 25, 2006.
15. THIS PROPERTY IS LOCATED OUTSIDE OF THE METROPOLITAN DISTRICT.
16. THE TRAFFIC STUDY WAS PREPARED BY THE LEE CUNNINGHAM AND ASSOCIATES ON NOV. 15, 2005.
17. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JOINTION OF THE FLAG OR PIPESTEM AND THE ROAD R/W LINE AND NOT THE PIPESTEM LOT DRIVEWAY TO INCLUDE LOTS 4, 5, 8, 9, AND THE ADJOINING LOT # 1 (SEE PLAT # 19301).
18. NO CEMETERIES AND HISTORIC SITES OR FEATURES EXIST WITHIN THIS SUBDIVISION.
19. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:

CONTROL STATION:	NORTHING (FT)	EASTING (FT)	ELEVATION (FT)
410B	544580.380	1330741.359	476.99
410C	545290.641	1331097.629	469.07
20. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING, AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENTS AREAS.
21. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF 9.52 ACRES OF FOREST OF WHICH 4.35 ACRES IS CROPPED AND BROWNS DR. IS CROPPED AND BROWNS DR. IS CROPPED.
22. THE FLOODPLAIN STUDY WAS PREPARED BY ALDE INC. FOR F-06-006, AND APPROVED BY THE COUNTY ON 08-20-06. PER SEC. 16.121 OF THE SUBDIVISION REGULATION OPEN SPACE IS NOT REQUIRED.
23. ALL SHOWN HOUSE SITES COMPLY WITH MINIMUM BUILDING RESTRICTION REGULATIONS.
24. THE LOTS SHOWN HEREIN COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
25. EXISTING WELLS AND/OR SEWAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM THE BEST AVAILABLE INFORMATION.
26. ALL WELLS SHALL BE DRILLED PRIOR TO FINAL PLAT RECORDATION. IT IS THE DEVELOPERS RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO FINAL PLAT SUBMISSION. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS UP THE HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT. IF A WELL SUCCESS RATE IS ACCOMPLISHED AT VARIOUS LOCATIONS WITHIN SITE, THE DEVELOPER SHALL HAVE THE OPTION TO REQUEST RELIEF FROM DRILLING THE REMAINING WELLS PRIOR TO PLAT RECORDATION.
27. A GROUND WATER APPROPRIATION PERMIT MUST BE ISSUED PRIOR TO SUBMITTAL OF RECORD PLAT FOR SIGNATURE.
28. PERCOLATION TESTS AND PLAT WAS APPROVED ON JUNE 8, 2005.
29. THE SPECIFICATIONS FOR THE DRAIN FIELDS WILL BE DESIGNED IN ACCORDANCE WITH HEALTH DEPARTMENT CRITERIA ADOPTED ON SEPTEMBER 1, 2005.
30. PRESERVATION PARCEL "A" IS TO BE PRIVATELY OWNED AND THE EASEMENT HOLDERS ARE HOWARD COUNTY AND THE HOME OWNERS ASSOCIATION. NON BUILDABLE PRESERVATION PARCEL "B" IS TO BE OWNED BY THE HOMEOWNERS ASSOCIATION WITH HOWARD COUNTY HOLDING AN EASEMENT.
31. A COMMUNITY MEETING WAS HELD ON JULY 19, 2005.
32. THE PURPOSES OF PRESERVATION PARCEL "A" ARE:
(1) RESIDENTIAL BUILDING; (2) FOREST CONSERVATION EASEMENT; (3) WETLAND PRESERVATION;
THE PURPOSE FOR PRESERVATION PARCEL "B" IS FOR PUBLIC SHARED SEPTIC SYSTEM.
33. THERE ARE NO STRUCTURES ON THE SITE.
34. A NOISE STUDY WAS PERFORMED BY STIANO ENGINEERING INC. ON OCTOBER 20, 2005 AS SHOWN ON THE PLAT # 19301.
35. NO PHASING IS PROPOSED.
36. LANDSCAPING AND STREET TREES FOR THIS SUBDIVISION WILL BE PROVIDED ON THE FINAL PLANS IN ACCORDANCE WITH SECTION 16.124 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY LANDSCAPE MANUAL.
37. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, NEW STRUCTURES AND PAVING IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT OR ITS BUFFER.
38. STATE HIGHWAY ADMINISTRATION WILL NOT RELEASE ANY ASSOCIATED BONDS UNTIL ALL ROAD DEDICATION DOCUMENTS HAVE BEEN APPROVED.
39. THE PRELIMINARY EQUIVALENT SKETCH PLAN WAS APPROVED AUGUST 28, 2006 AND FOR THIS REASON THIS PROJECT IS GRANDFATHERED FROM THE DESIGN MANUAL REVISIONS OF JULY 1, 2007.
40. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSDMA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
41. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
42. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
43. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
44. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 11 (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)". A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
45. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
46. STORMWATER MANAGEMENT WAS ACHIEVED BY CREDITS AND ENVIRONMENTAL EASEMENTS. NO MAINTENANCE AND RESPONSIBILITY TO MAINTAIN ARE NEEDED.
47. LANDSCAPING FOR LOTS 3-9 IS PROVIDED IN ACCORDANCE WITH A CERTIFIED LANDSCAPE PLAN ON FILE WITH ROAD CONSTRUCTION PLAN SET IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH A DOW DEVELOPER'S AGREEMENT WITH SURETY IN THE AMOUNT OF \$13,000.00.



LOCATION MAP

SCALE: 1" = 600'

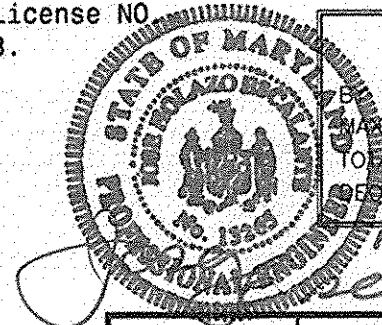
FINAL ROAD CONSTRUCTION PLAN

FULTON WOODS PHASE II

LOTS 3 THRU 9, BUILDABLE PRESERVATION PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

42. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSDMA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
43. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
44. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
45. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
46. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)". A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
47. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13265, Expiration Date: 12-26-08.



DENSITY TABULATION

RIGHT YIELD	= (21.37 Ac./4.25 Ac.) 5 LOTS
MINIMUM ALLOWABLE YIELD	= 21.37 Ac. / 2 = 10 LOTS
TOTAL UNITS PROPOSED	= 8 LOTS
TOTAL UNITS REQUIRED	= 3 (8-5 = 3)

NO.	DATE	DESCRIPTION

PROJECT NAME: **FULTON WOODS PHASE II**
 LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: **COVER SHEET**

WP-06-076 SP-06-011 F-06-008

PREPARED BY: **DALE THOMPSON**
 ENGINEER
 600 Woodland Court
 Columbia, MD 21046

OWNERS: **DEBORAH C. WILSON**
 12275 ROUTE 216
 FULTON, MD. 20759
 TEL. 443-542-9140

DEVELOPER: **FULTON, LLC**
 7017 MEANDERING STREAM WAY
 FULTON, MD. 20759
 TEL. 410-996-6756

DESIGN: JHE/AVG
 DRW: AVG
 CHK: DCW

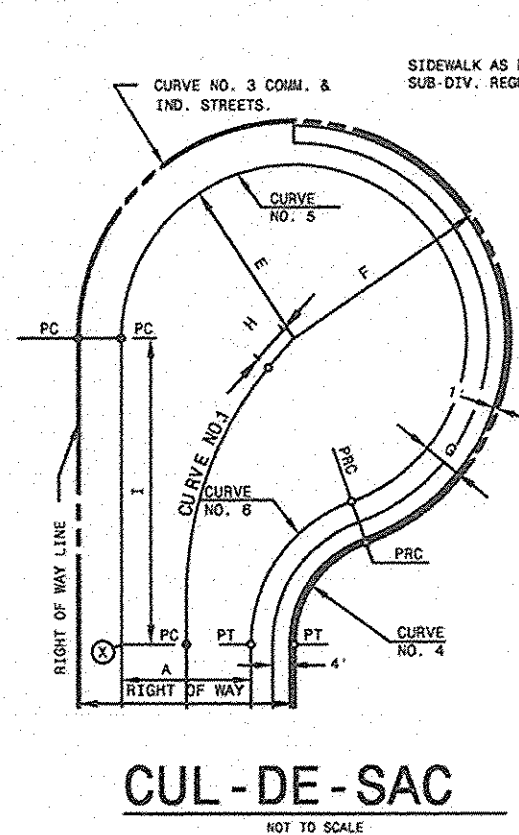
JOB: **IN HOUSE ENGINEERING**

PRJ: **WP-06-076**

DATE: **DEC. 05, 2007**

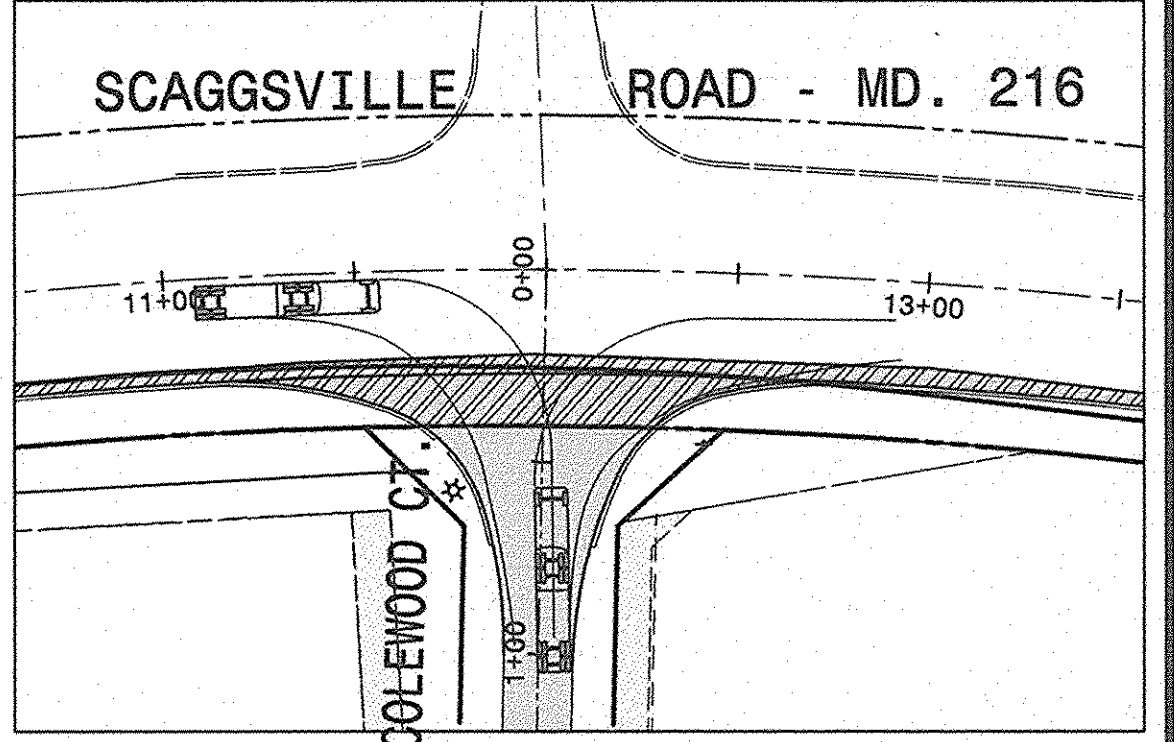
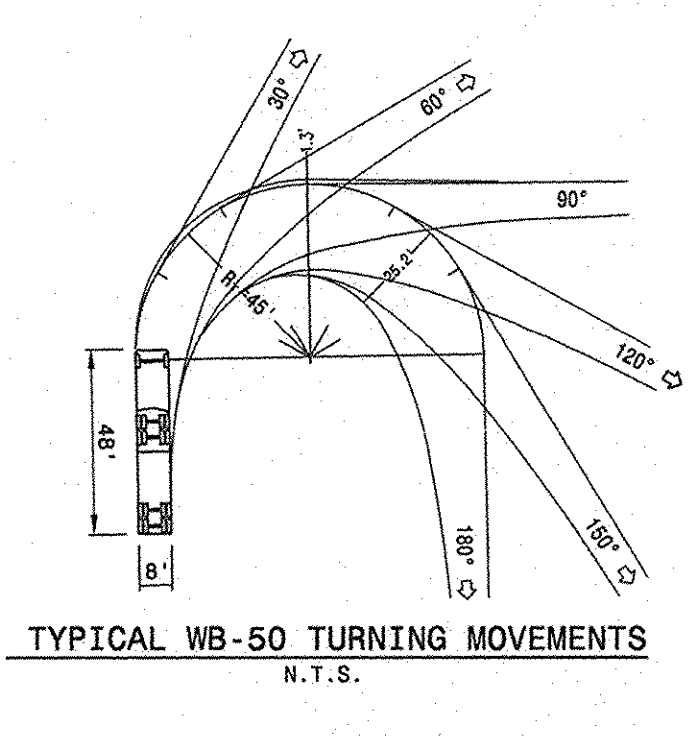
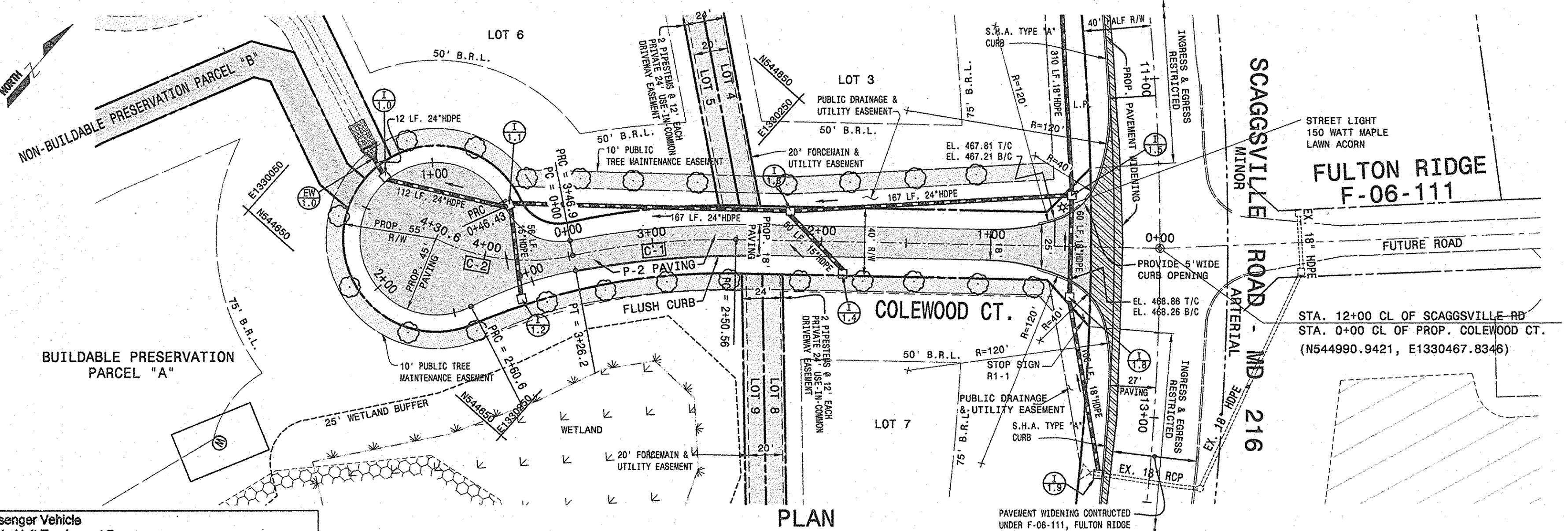
SCALE: **AS SHOWN**

SHEET **1** OF **12**

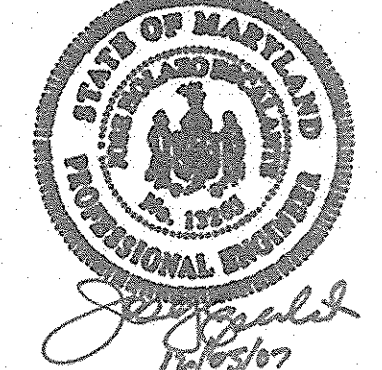


NOTE: SEE 91.04, 91.05, 91.06

DESIGN SPEED (MPH)	MINIMUM CURVE RADIUS (FT)	MINIMUM CURVE LENGTH (FT)	MINIMUM CURVE DELTA (DEGREES)
30	100	100	30
40	150	150	40
50	200	200	50
60	300	300	60
70	450	450	70
80	700	700	90
90	1100	1100	120



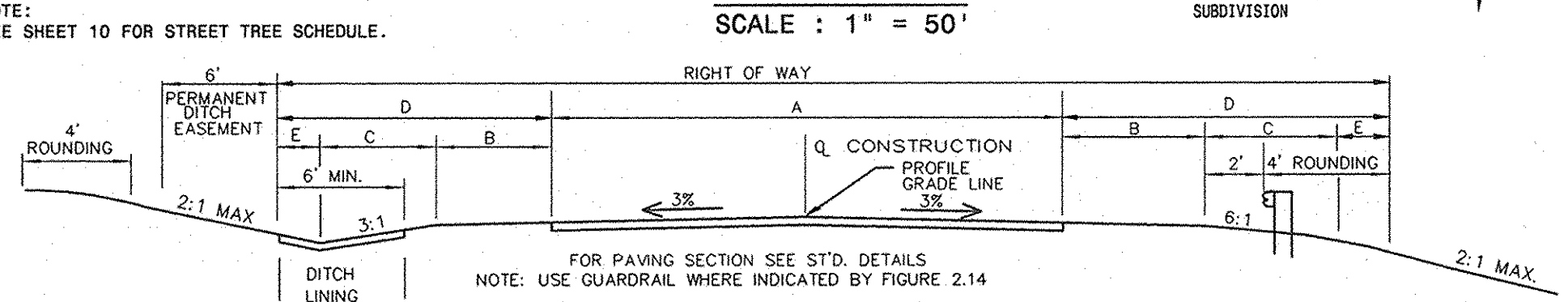
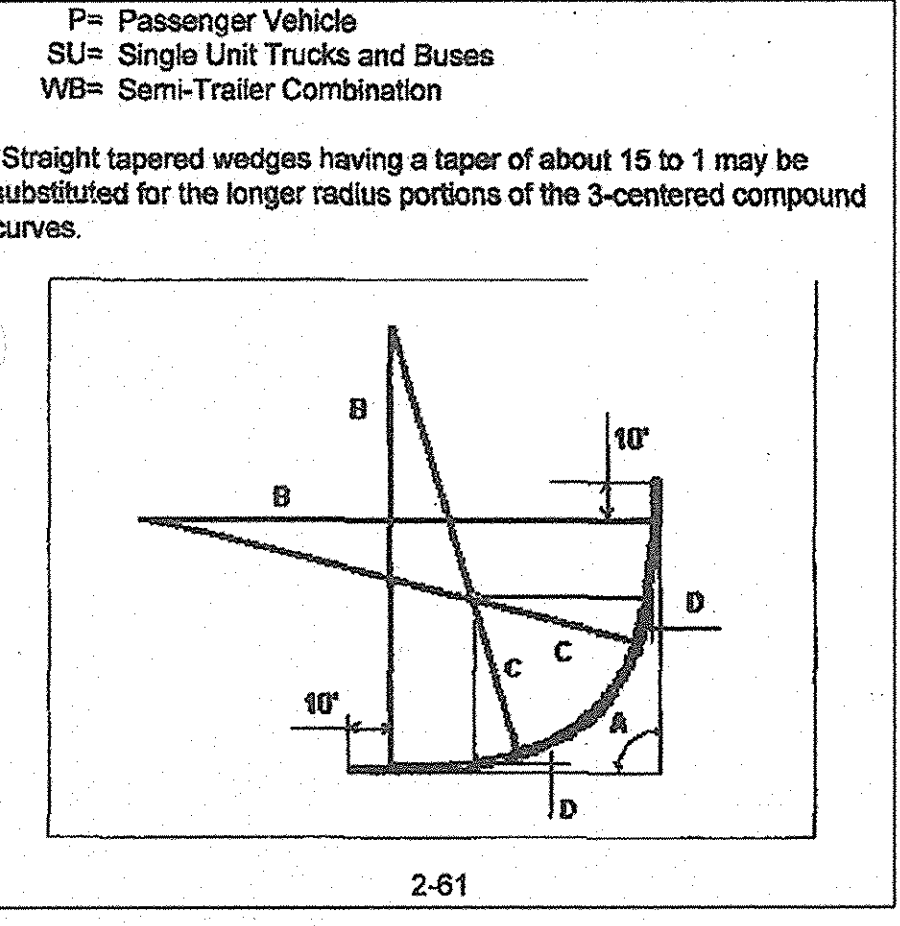
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13265, Expiration Date: 12-26-08.



APPROVED: DEPARTMENT OF PUBLIC WORKS CHIEF, BUREAU OF HIGHWAYS	<i>Willie Z. Abell</i>	12-26-07
APPROVED: DEPARTMENT OF PLANNING AND ZONING CHIEF, DIVISION OF LAND DEVELOPMENT	<i>Cathy Harvath</i>	1/18/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>[Signature]</i>	12/26/08

Figure 2.18
Channelization of Commercial Entrances
3-Centered Curve Data

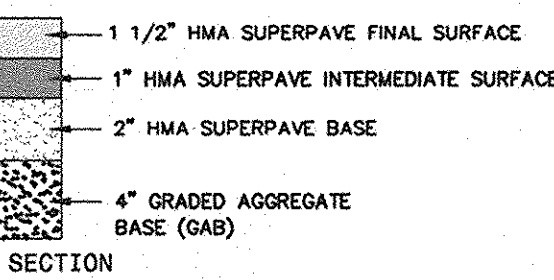
Design Vehicle	Angle of Turn (A)	Simple Curve Radius (ft)	3-Centered Compound Curve Symmetric			Offset (ft)
			B	C	D	
P	75	35	100	25	100	2.0
SU	75	55	120	45	120	2.0
WB	75	85	120	45	120	5.0
P	90	30	100	20	100	2.5
SU	90	50	120	40	120	2.0
WB	90	-	120	40	120	5.0
P	105	-	100	20	100	2.5
SU	105	-	100	35	100	2.5
WB	105	-	100	35	100	5.0
P	120	-	100	20	100	2.0
SU	120	-	100	30	100	3.0
WB	120	-	100	30	100	6.0



CLASSIFICATION	A	B	C	D	E	R/W
ACCESS PLACE COLEWOOD CT.	18'	4'	4'	11'	3'	40'

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO ≤ 5 TO ≤ 7	7 TO ≤ 8 TO ≤ 9	9 TO ≤ 10 TO ≤ 11	11 TO ≤ 12 TO ≤ 13	13 TO ≤ 14 TO ≤ 15
P-2	PARKING DRIVE ADJES. RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10' TO RIGHT THROUS PER DAY LOCAL ROAD. ACCESS PLACE, ACCESS STREET CUL-DE-SACS. RESIDENTIAL.	HMA SUPERPAVE FINAL SURFACE 0.5 HMA, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE 0.5 HMA, PG 64-22, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0
		HMA SUPERPAVE BASE 1.0 HMA, PG 64-22, LEVEL 1 (ESAL)	2.0	2.0	2.0	2.0	2.0
		GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0

CURVE	LENGTH	RADIUS	DELTA	CHORD	TANGENT	DIRECTION
C1	97.07	410.67	13°32'34"	96.84	48.76	S42°50'07"W
C2	83.01	123.03	38°39'21"	81.44	43.15	N55°23'31"E



NOTE: PAVING SECTIONS SHOWN ARE BASED ON CBR VALUES OF LESS THAN 5 INCHES. IF FIELD EVALUATION FOUND THE CBR VALUES TO BE GREATER THAN 5 INCHES, THE PAVING SECTIONS WILL BE REVISED ACCORDINGLY.

PROJECT NAME: **FULTON WOODS PHASE II**
LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

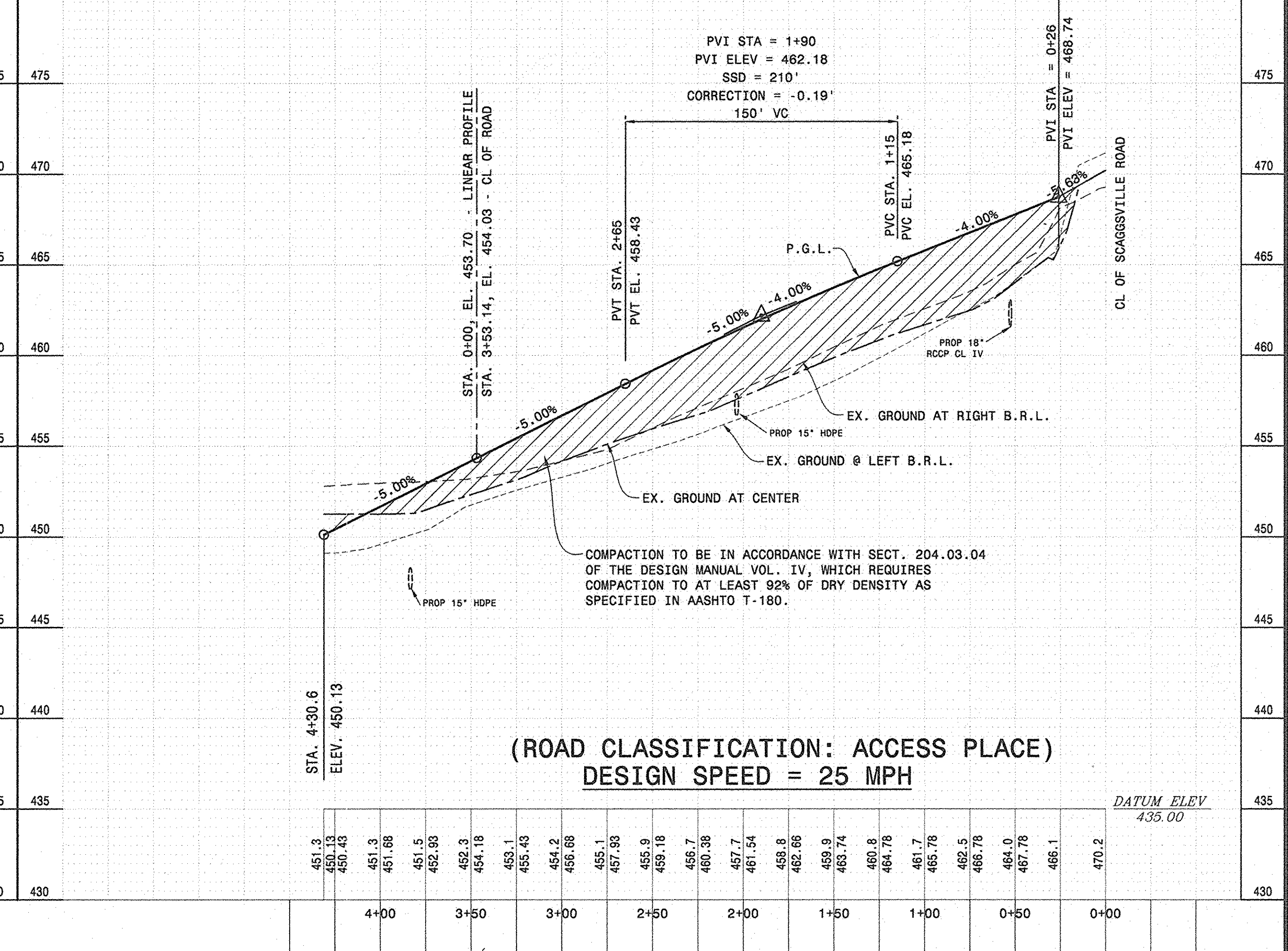
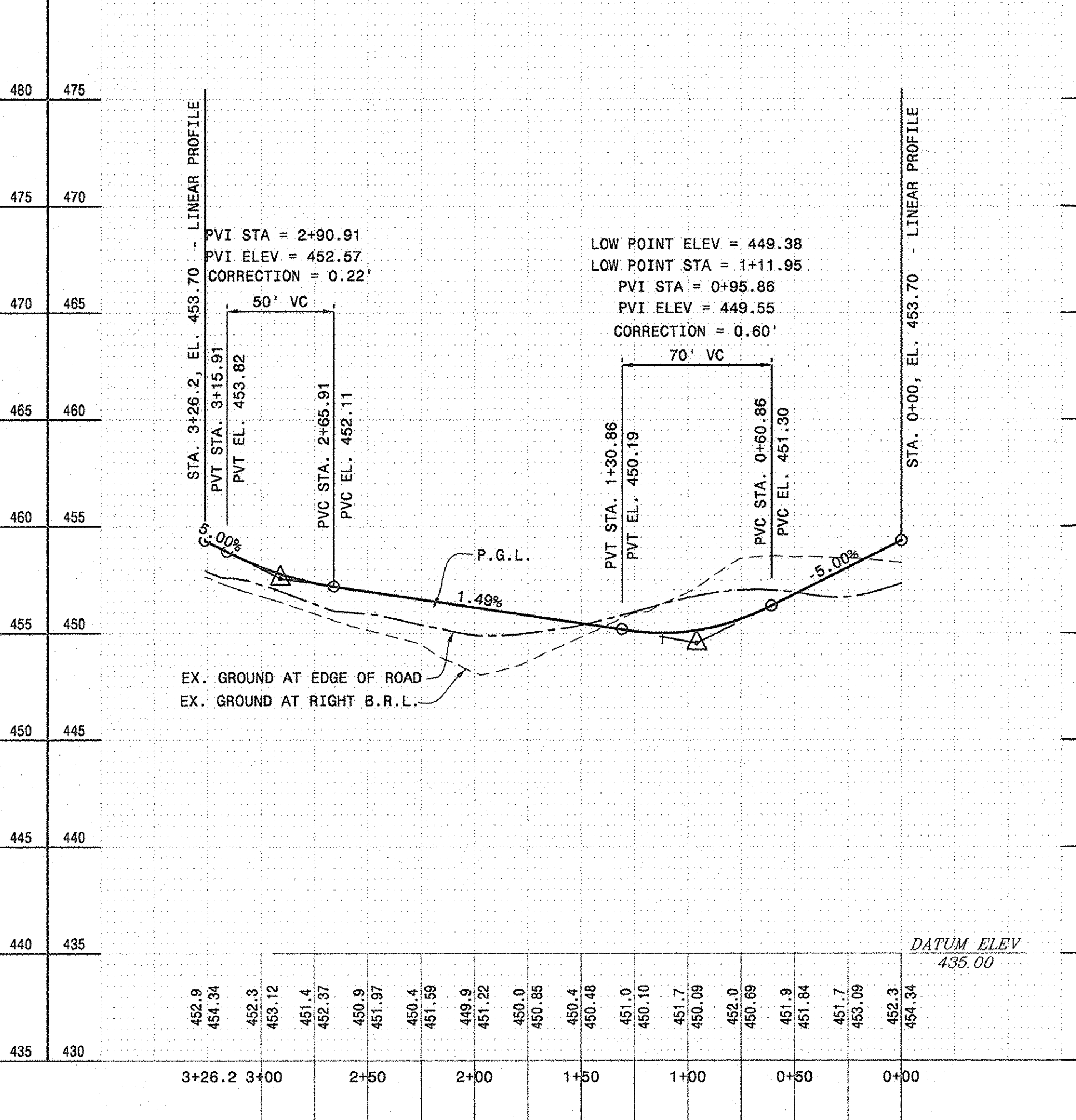
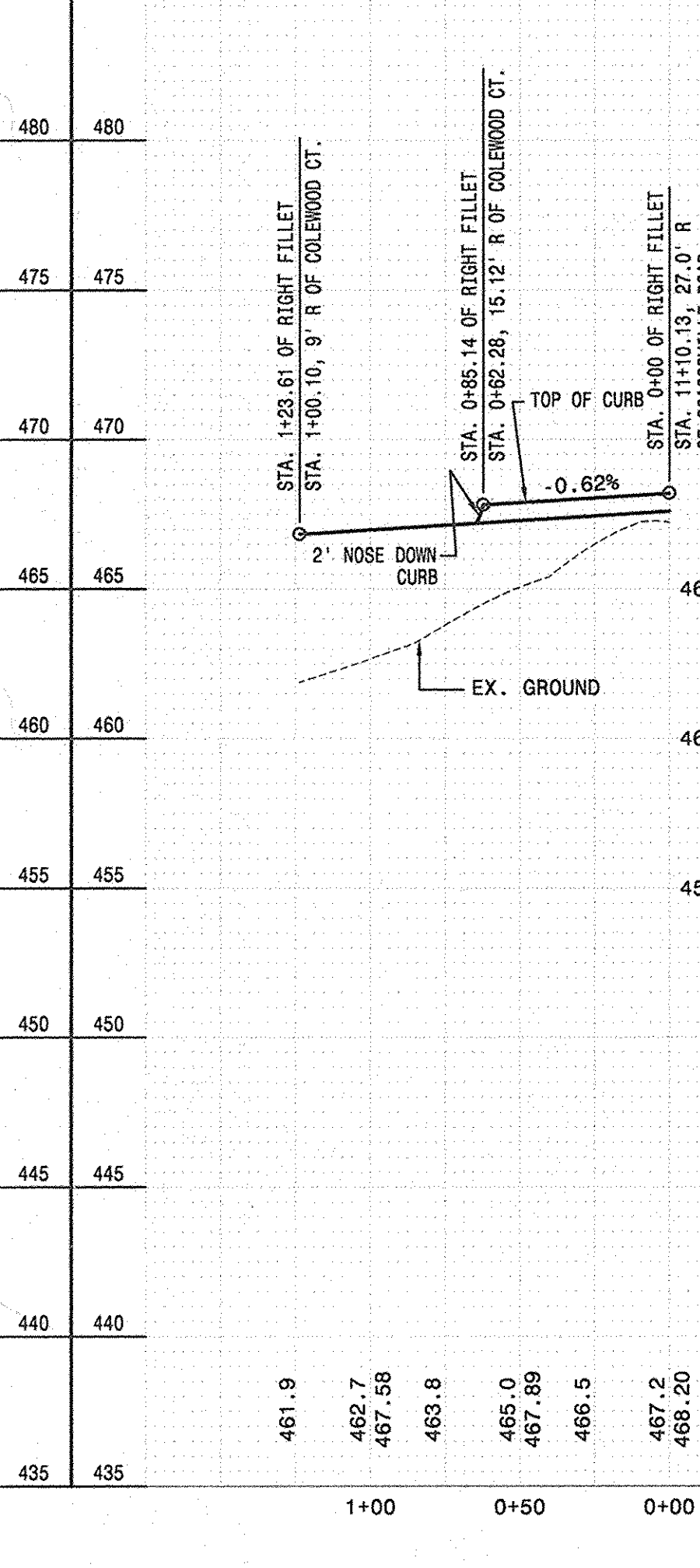
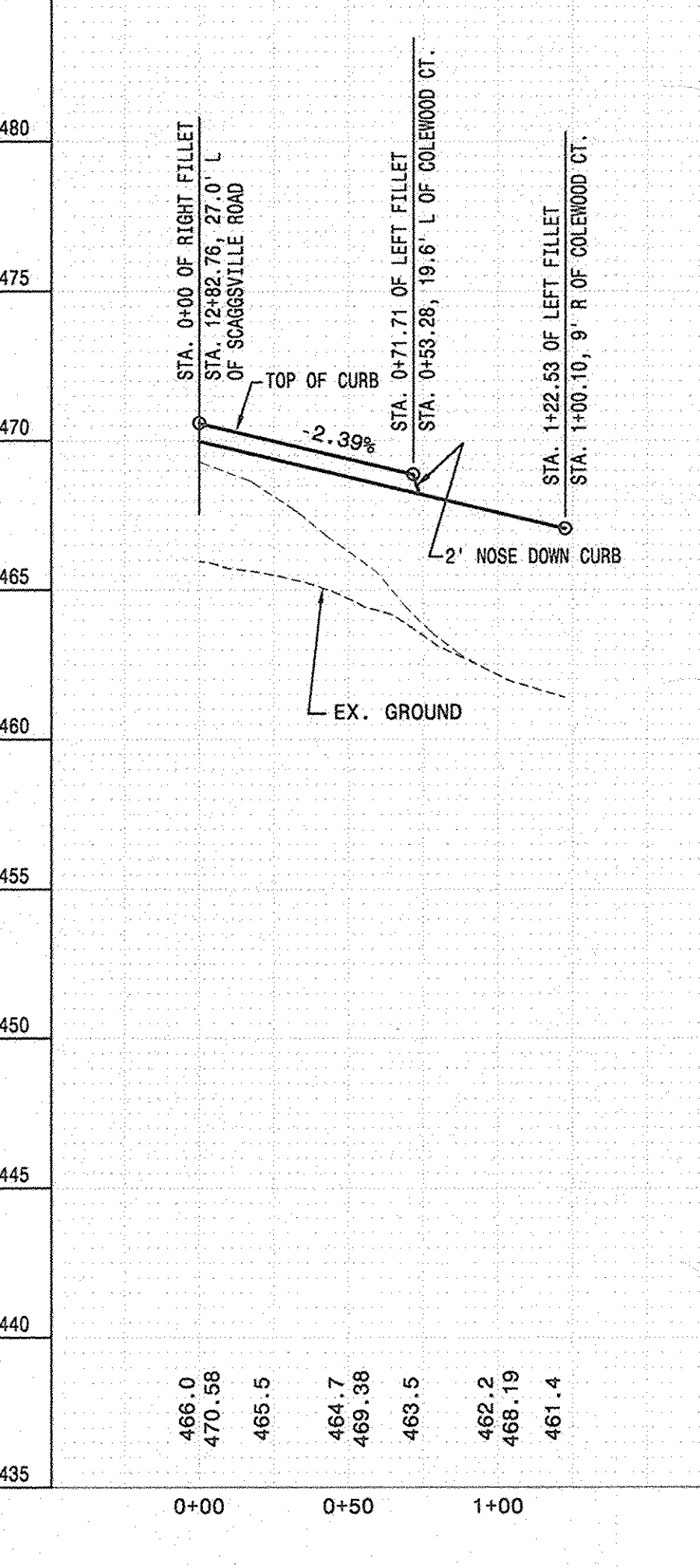
TITLE: **COLEWOOD COURT - PLAN AND PROFILE**

WP-06-076 SP-06-011 F-06-096

PREPARED BY: DALE THOMPSON
OWNERS: DEBORAH C. WILSON, 12275 ROUTE 216, FULTON, MD. 20759, TEL. 443-542-9140

DEVELOPER: FULTON, LLC, 7017 MEANDERING STREAM WAY, FULTON, MD. 20759, TEL. 410-995-6736

DES.: JHE/AVG JOB: IN HOUSE ENGINEERING
DRW.: AVG PROJ.: AS SHOWN
CHK.: DCW DATE: DEC. 05, 2007 SCALE: AS SHOWN SHEET 2 OF 12

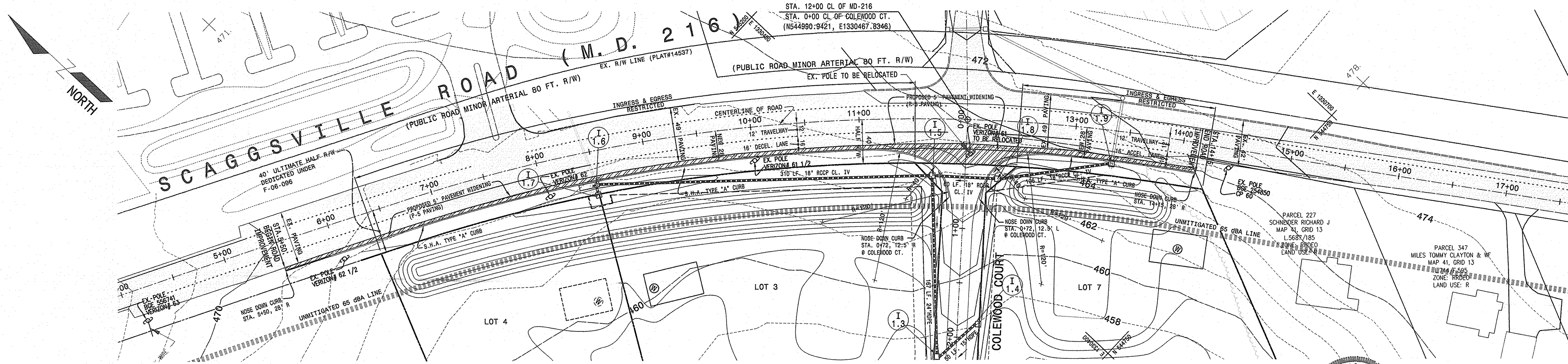


FILLET RADI AT LEFT
SCALE: 1" = 50' HOR.
1" = 5' VER.

FILLET RADI AT RIGHT
SCALE: 1" = 50' HOR.
1" = 5' VER.

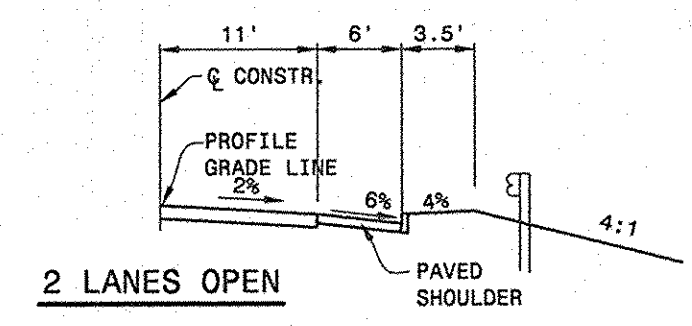
CUL-DE-SAC - LINEAR PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.

COLEWOOD CT. - PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.

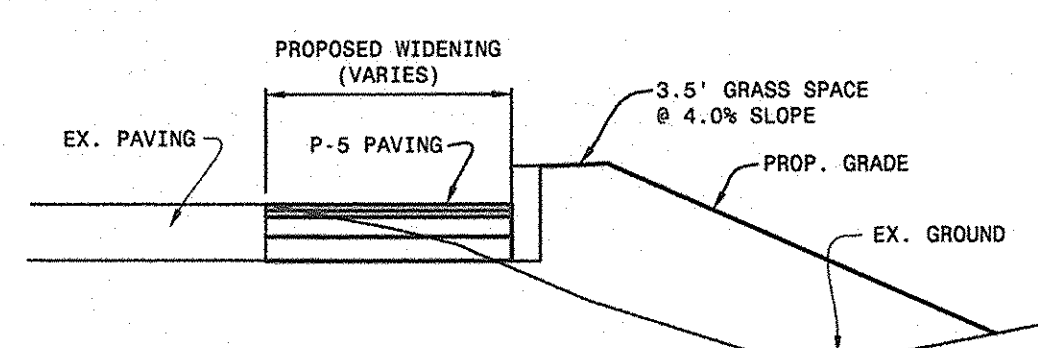


PLAN
SCALE: 1" = 50'

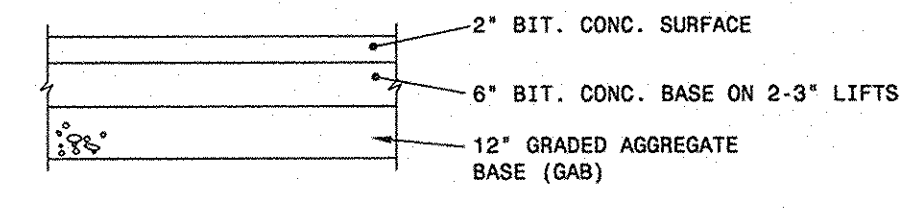
NOTE:
ALL UTILITY POLES MUST BE SET A MINIMUM
OF 2 FT. BEHIND PROPOSED CURB AND GUTTER.



**MINOR ARTERIAL
TYPICAL SECTIONS
(MD RTE. 216)**

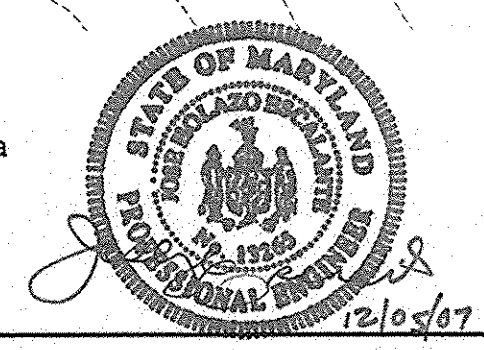


TYPICAL WIDENING SECTION
NOT TO SCALE



S.H.A. PAVEMENT SECTION
NOT TO SCALE

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 13265, Expiration Date: 12-26-08.

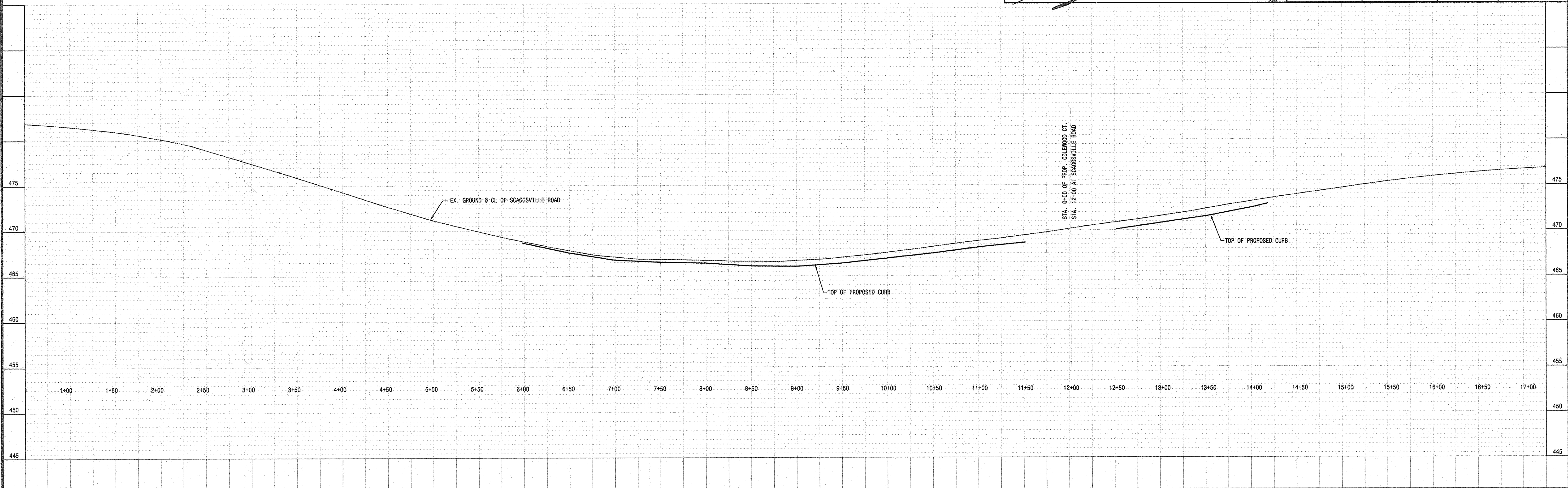


PROJECT NAME : **FULTON WOODS PHASE II**
LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 41, GRID 13 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE : **MD-216 WIDENING - PLAN AND PROFILE**
WP-06-076 SP-06-011 F-06-096

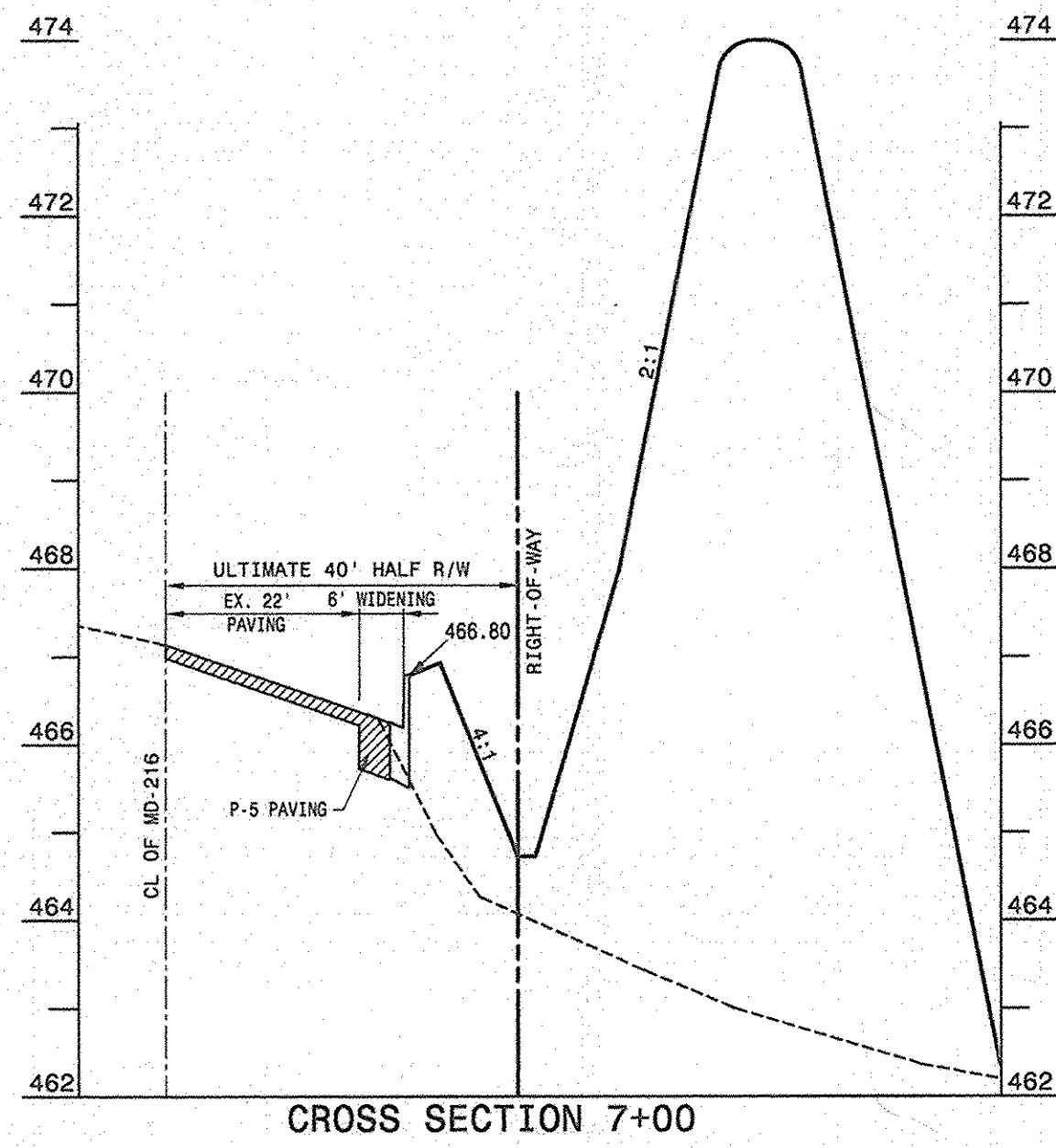
NO.	DATE	DESCRIPTION
REVISIONS		
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		12-26-07
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
		1/15/08
APPROVED: DEPARTMENT OF TRANSPORTATION		
		12/20/08

PREPARED BY : DALE THOMPSON REGISTERED PROFESSIONAL ENGINEER IN HOUSE ENGINEERING	OWNERS : DEBORAH C. WILSON 12275 ROUTE 216 FULTON, MD. 20759 TEL. 443-542-9140
DES. : JHE/AVG JOB : DRW. : AVG PROJ. : CHK. : DCW DATE : DEC. 05, 2007	DEVELOPER : FULTON, LLC 7017 MEANDERING STREAM WAY FULTON, MD. 20759 TEL. 410-955-6736
SCALE : AS SHOWN	SHEET 3 OF 12

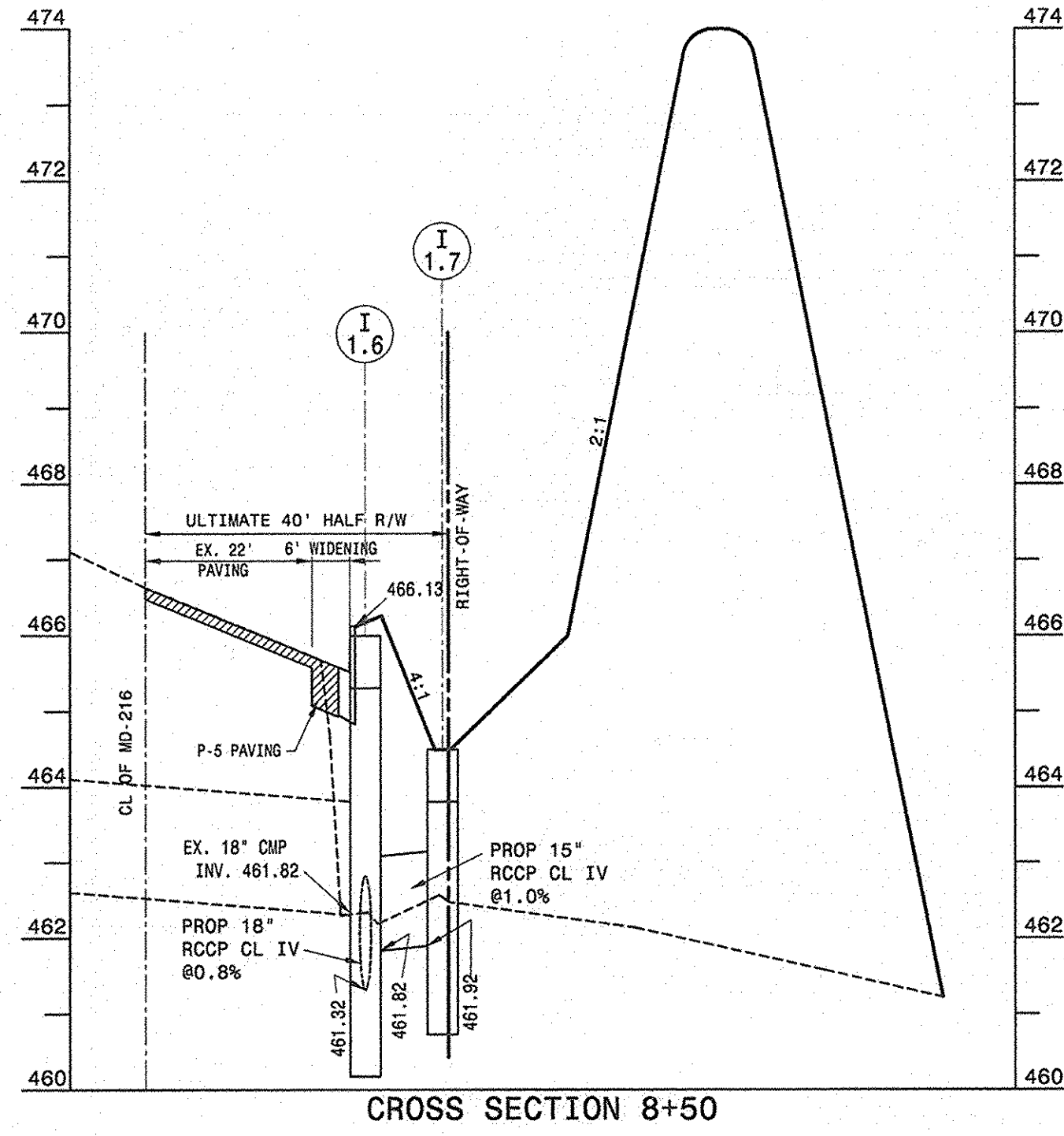


PROFILE
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1" = 5' VER.

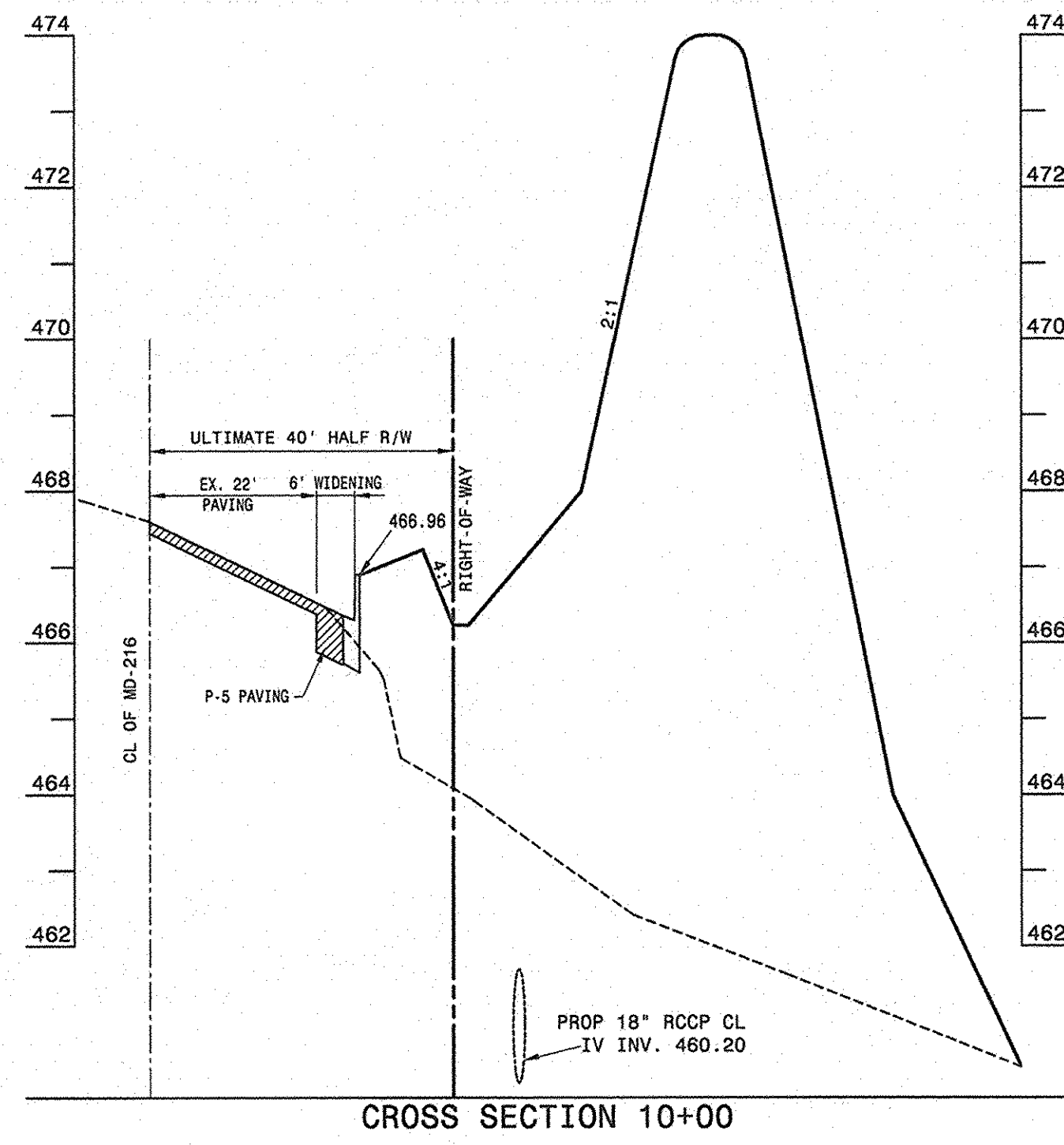
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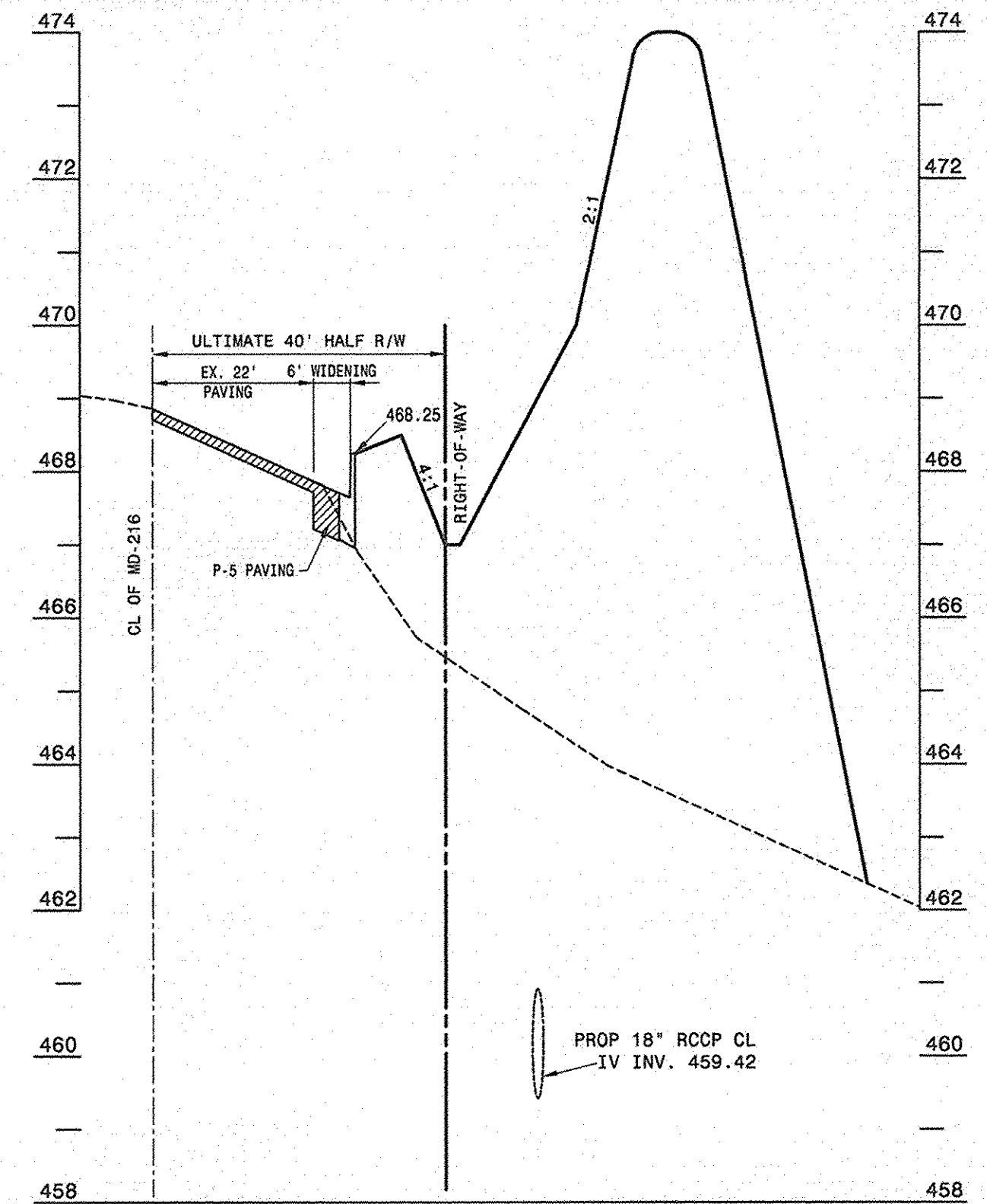
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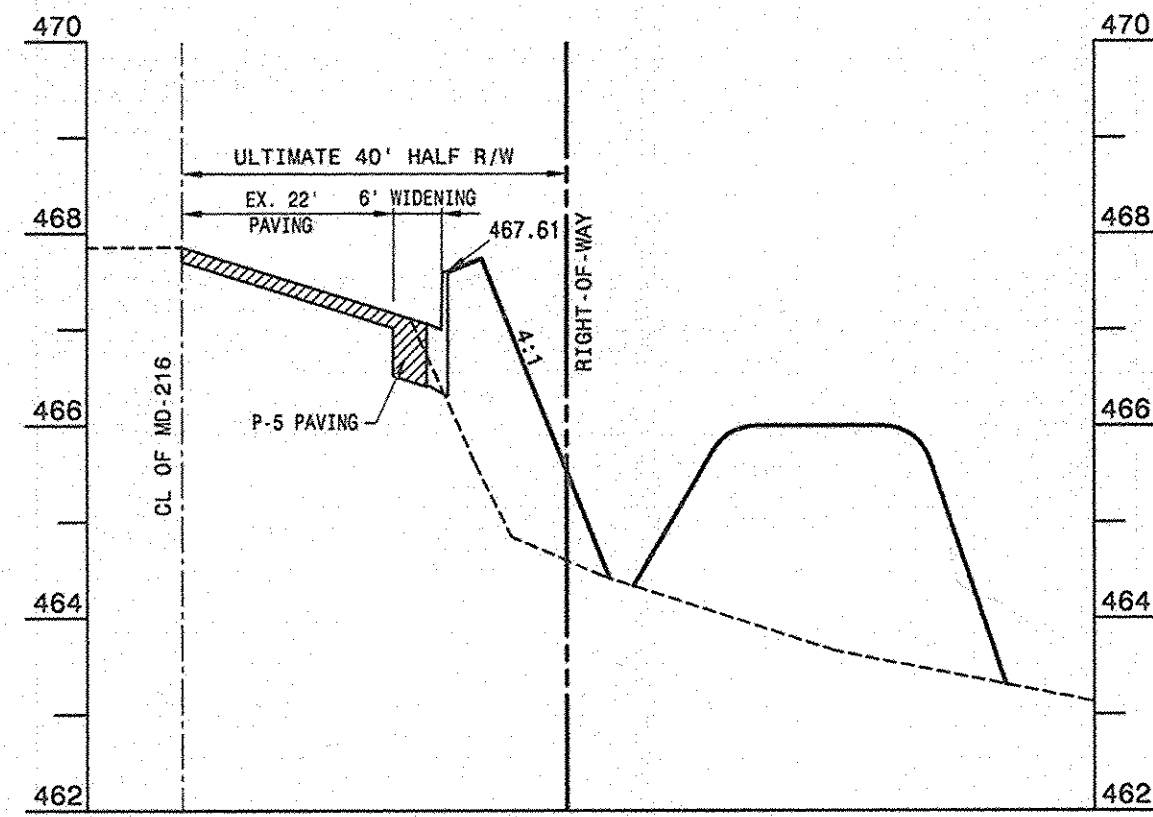
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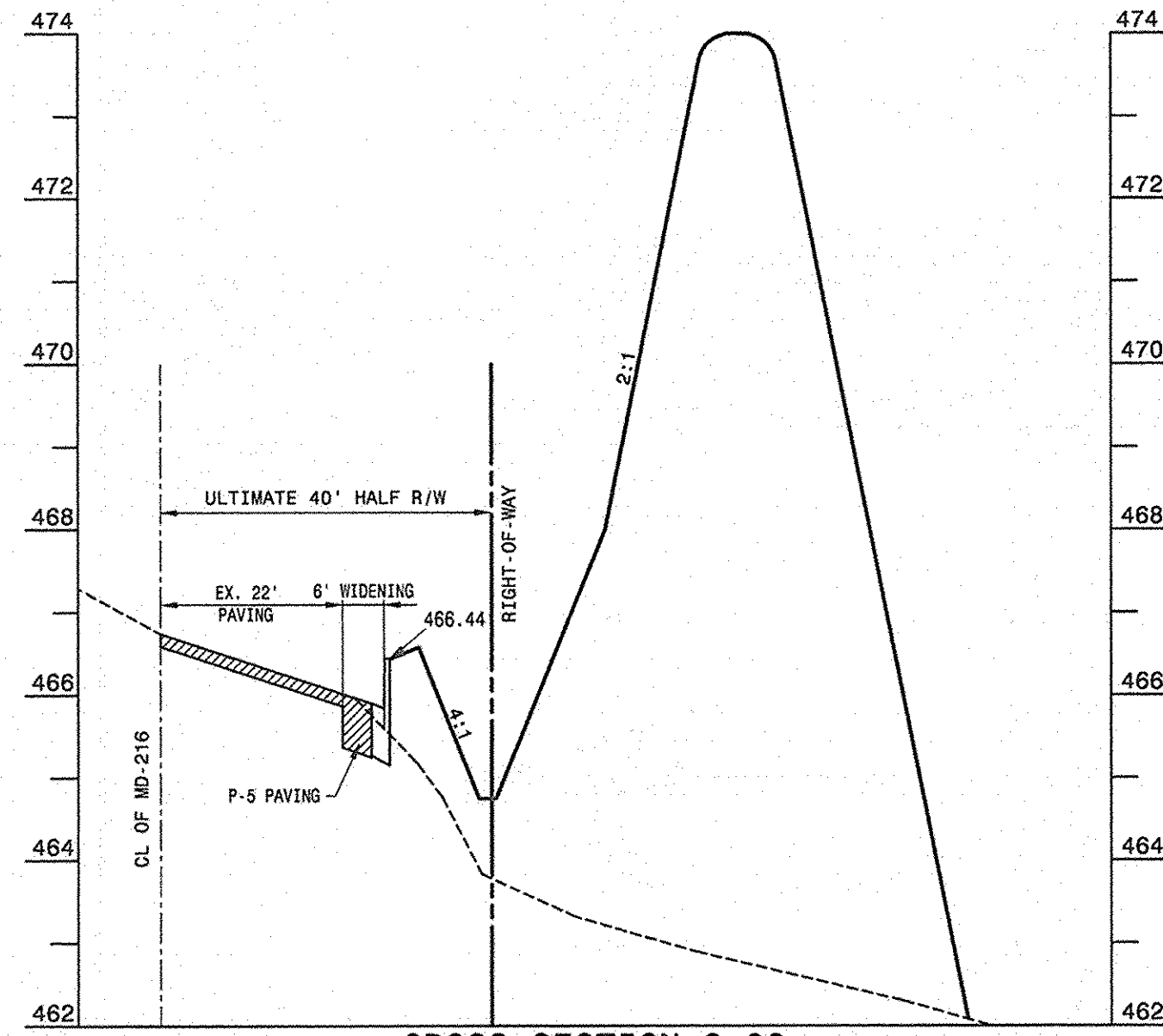
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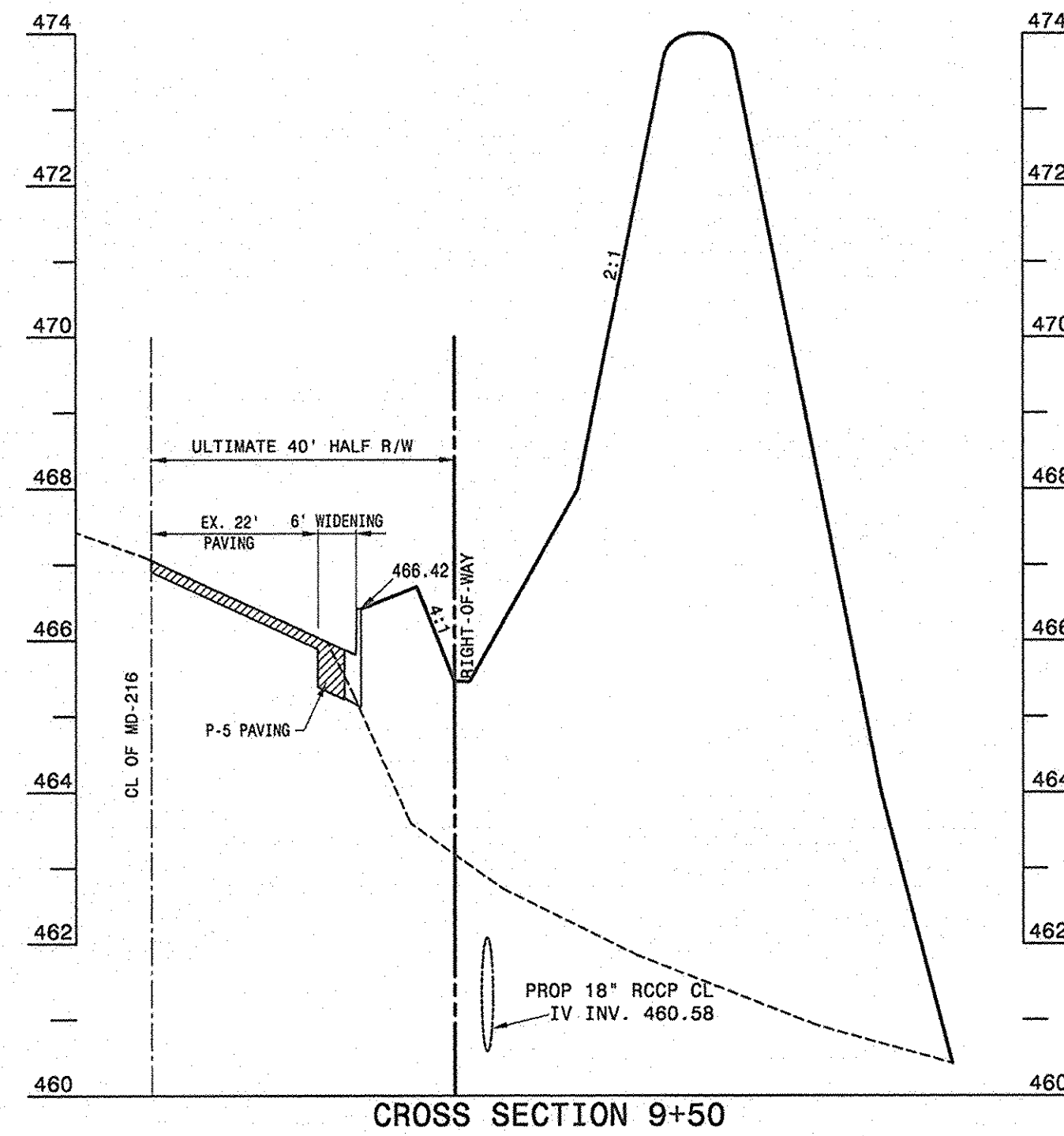
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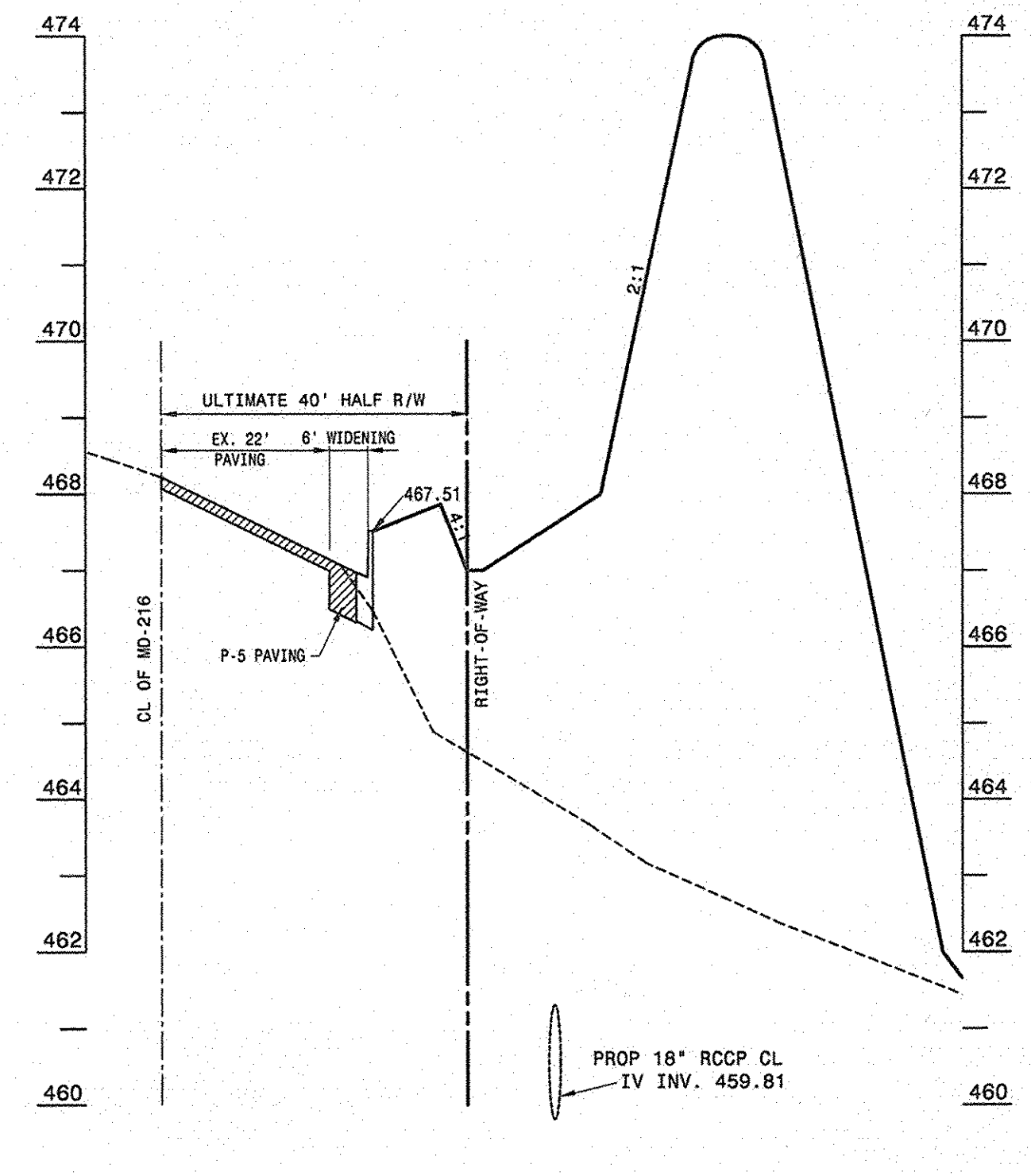
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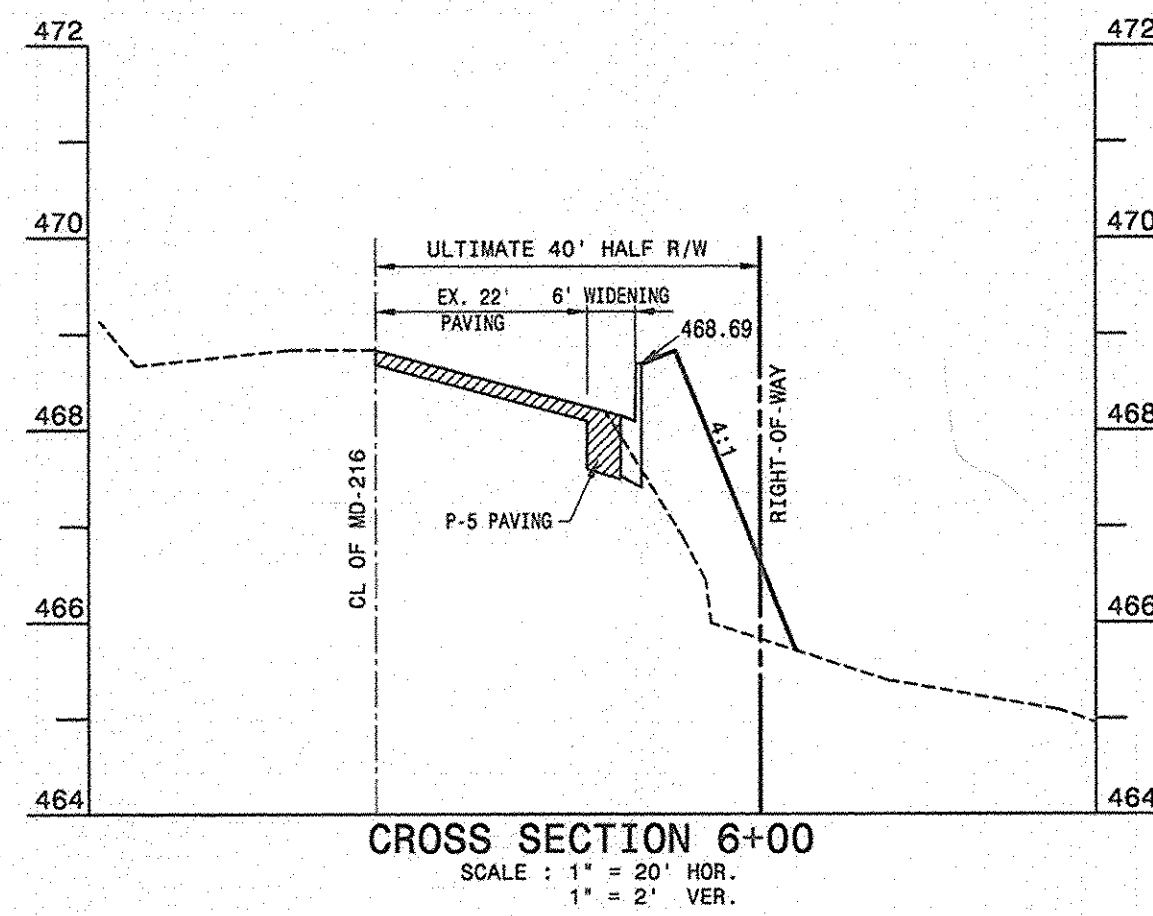
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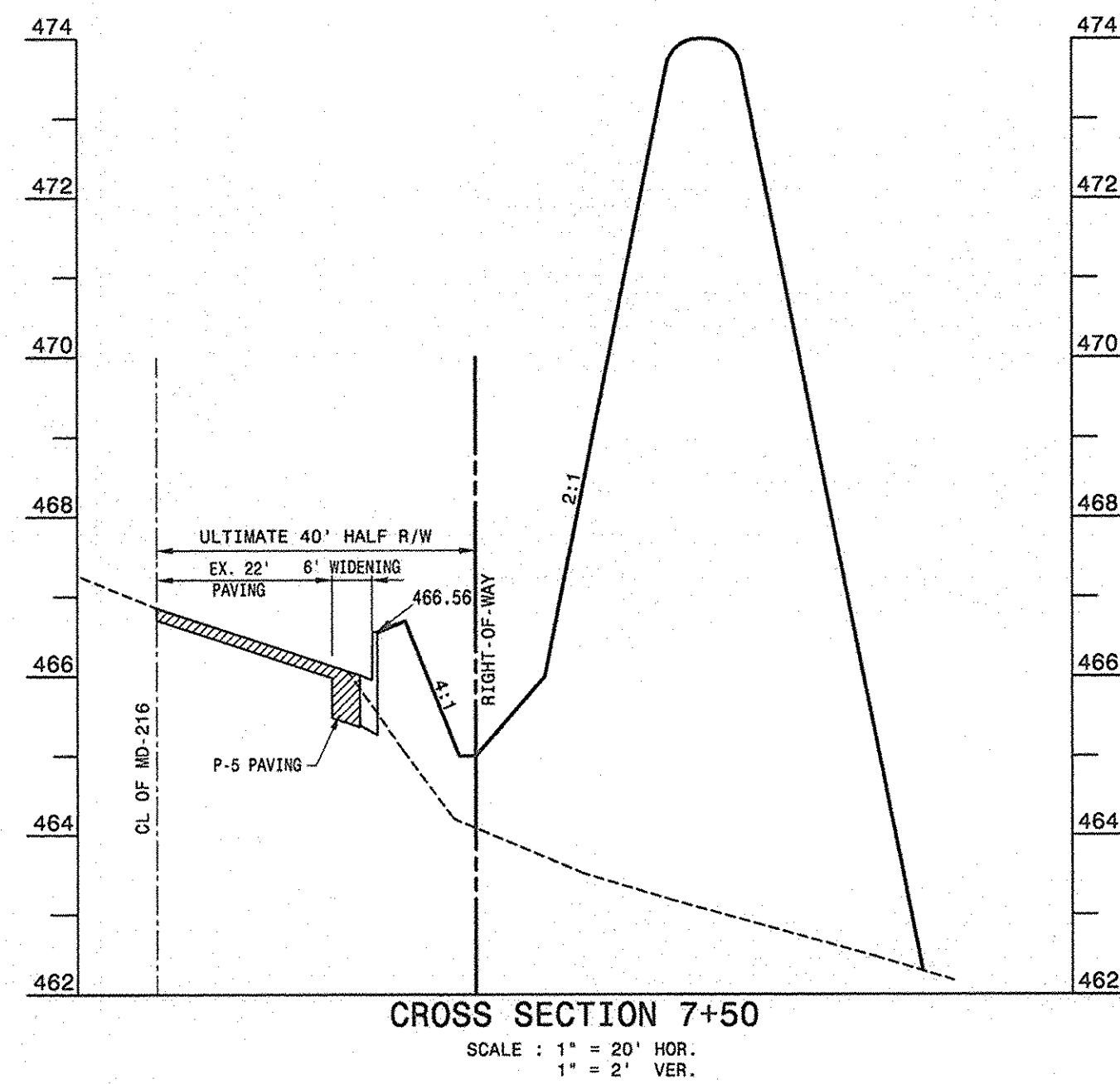
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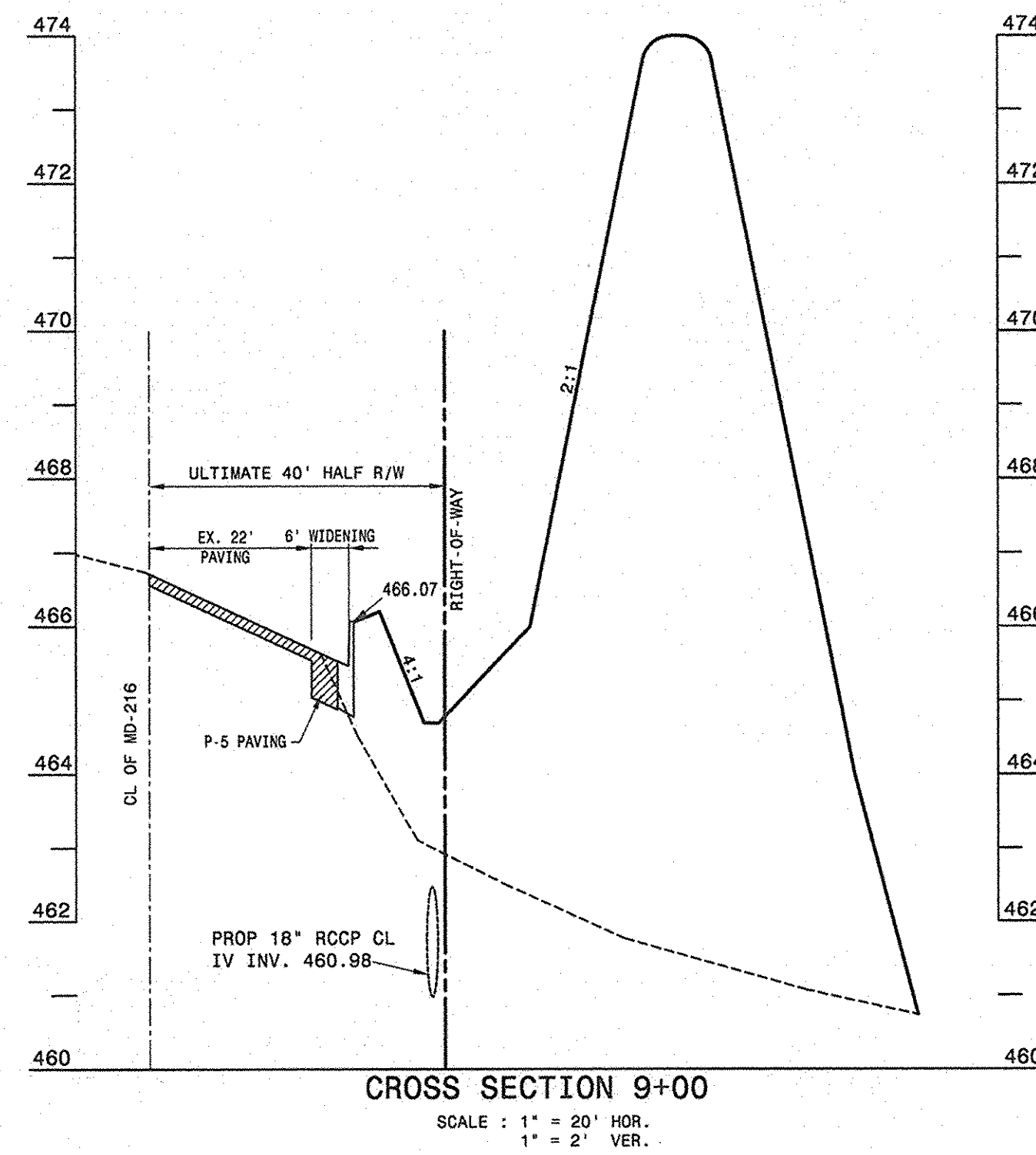
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CROSS SECTION 6+00
SCALE: 1" = 20' HOR., 1" = 2' VER.



CROSS SECTION 7+50
SCALE: 1" = 20' HOR., 1" = 2' VER.

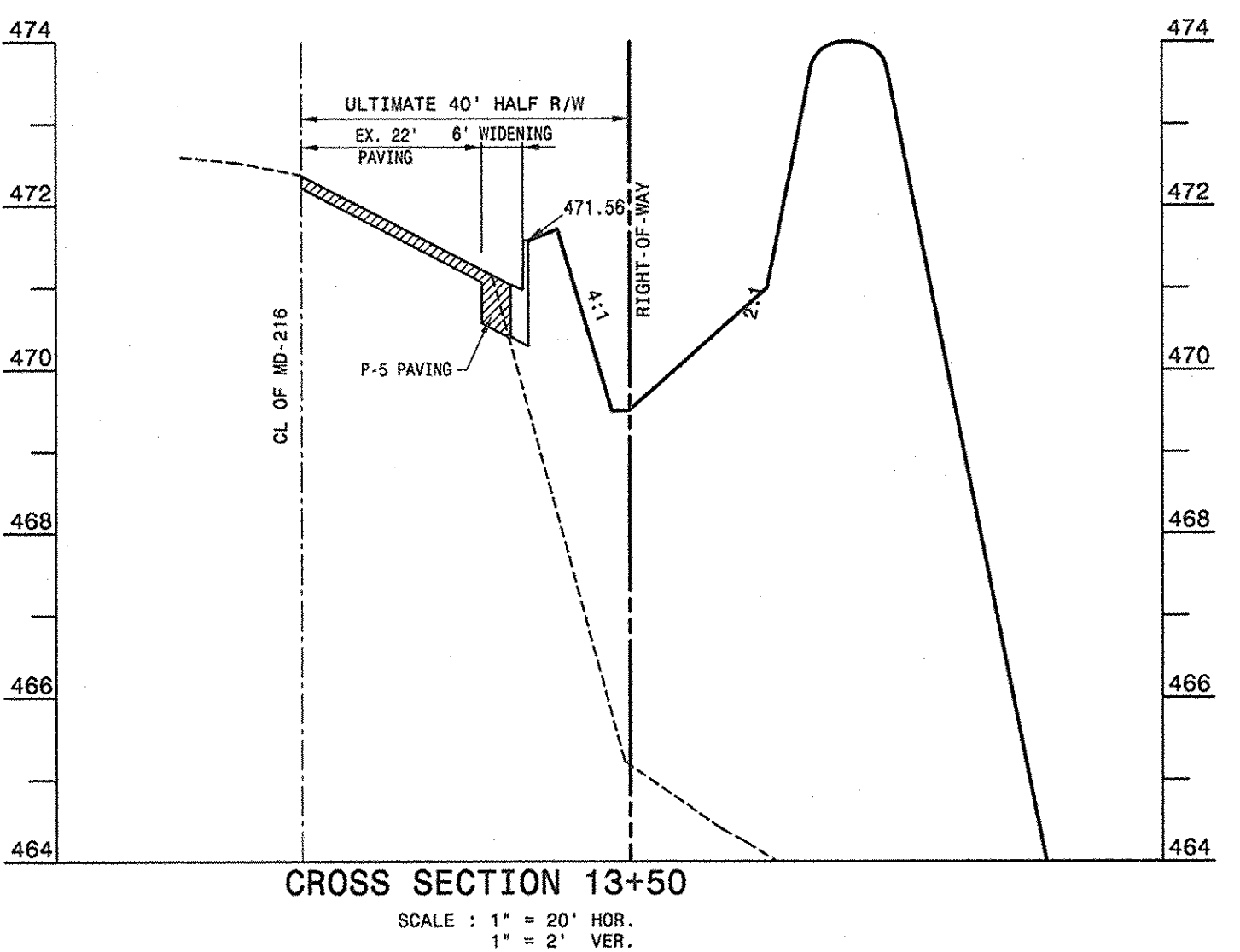
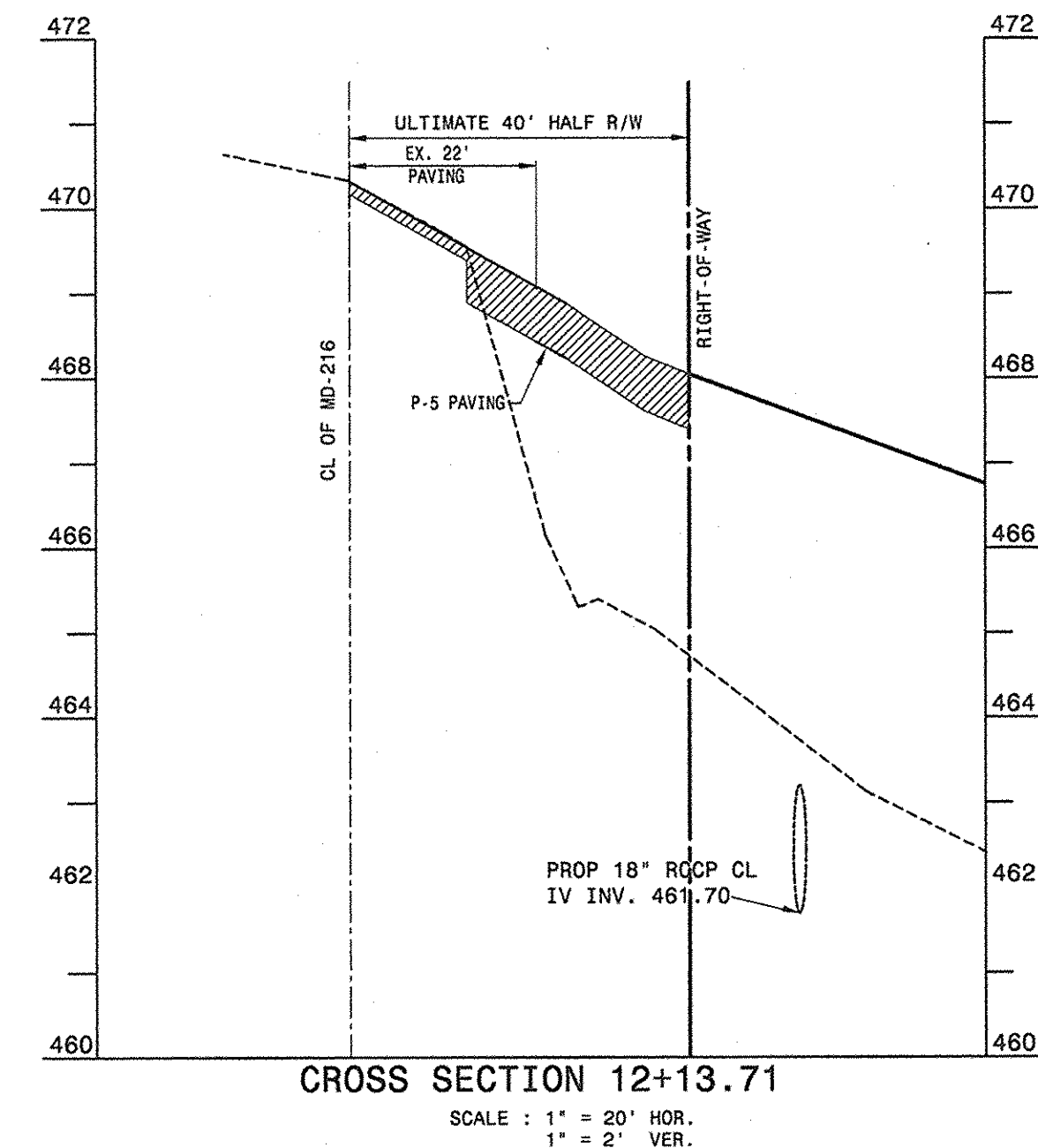
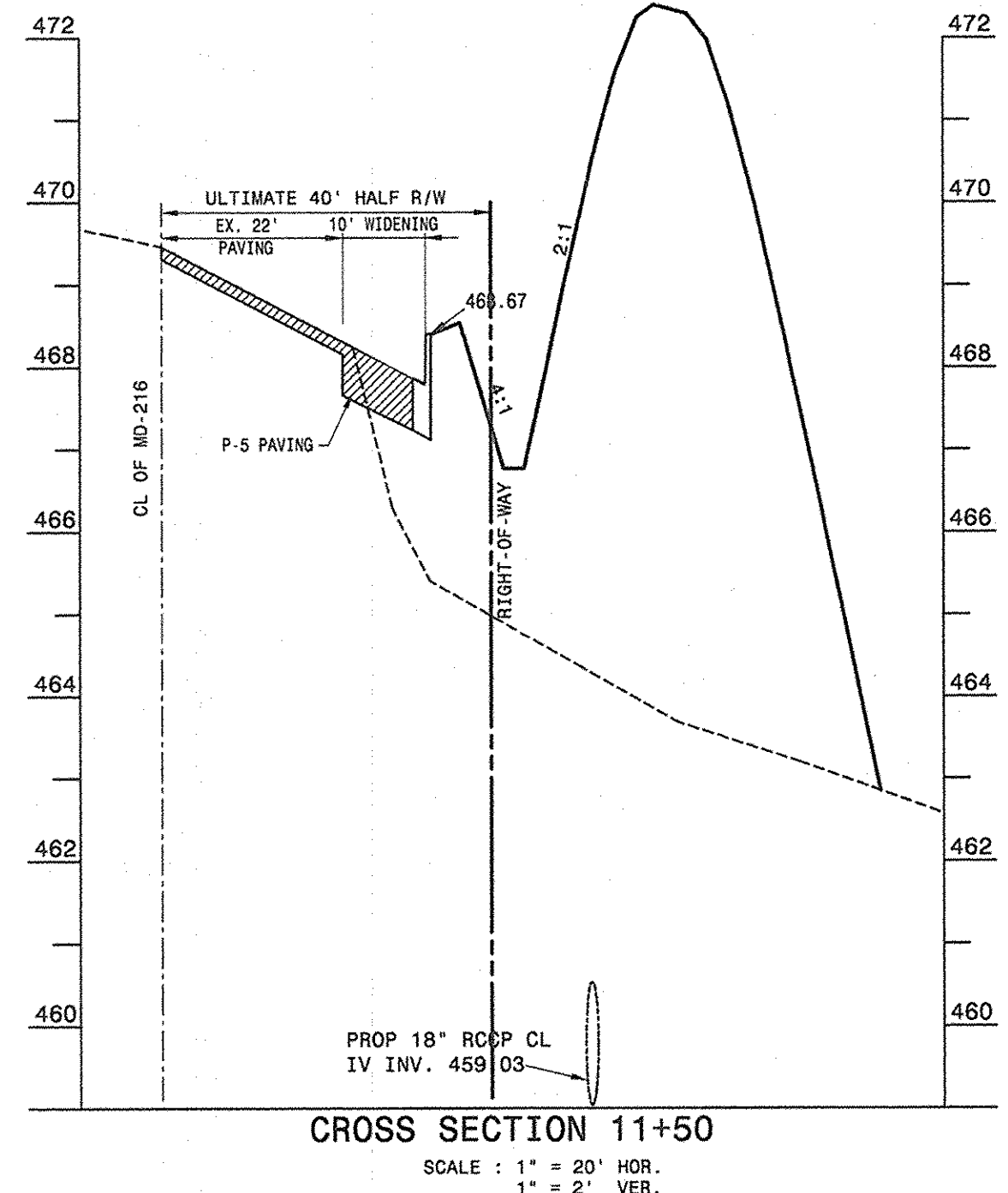
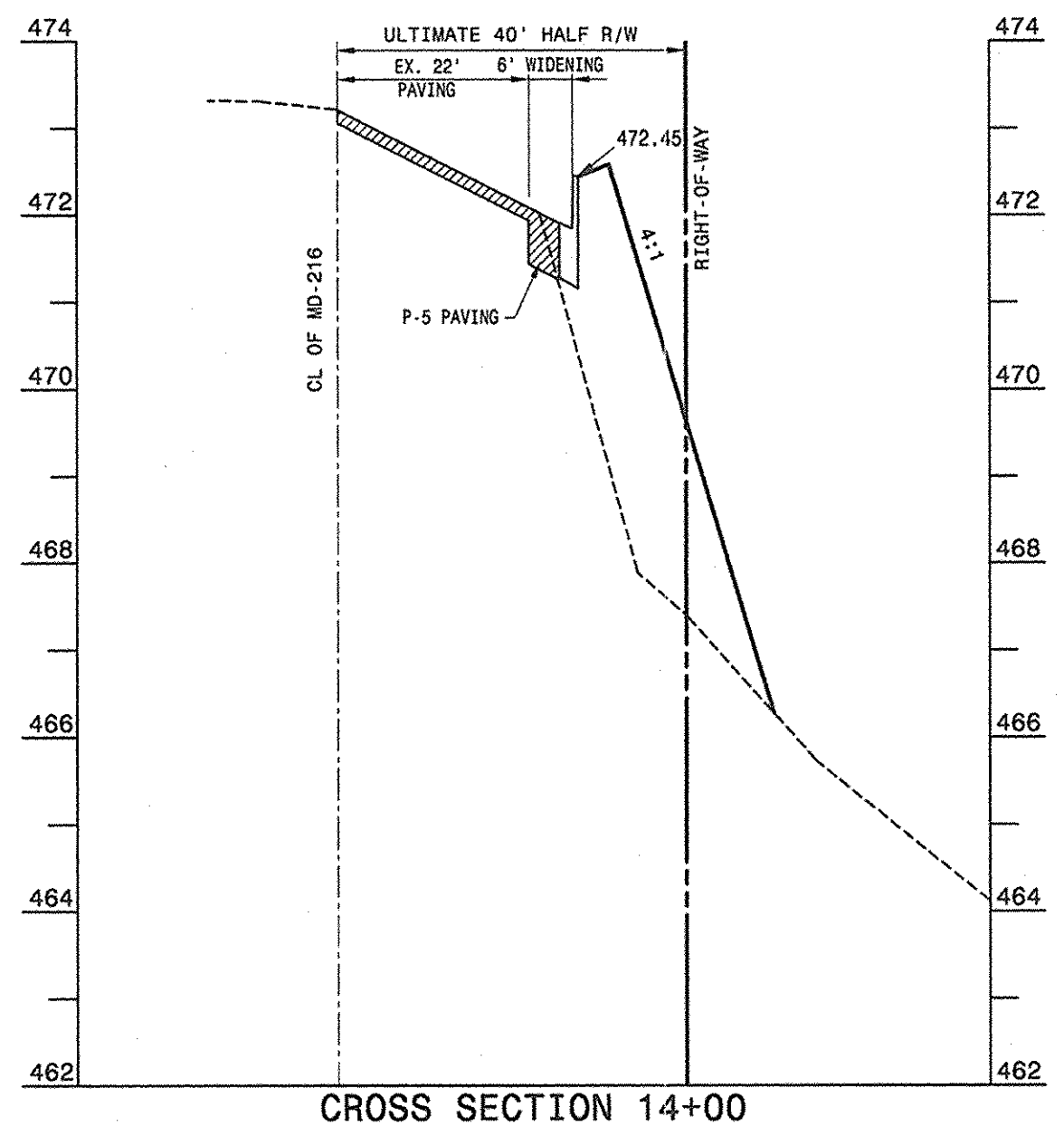
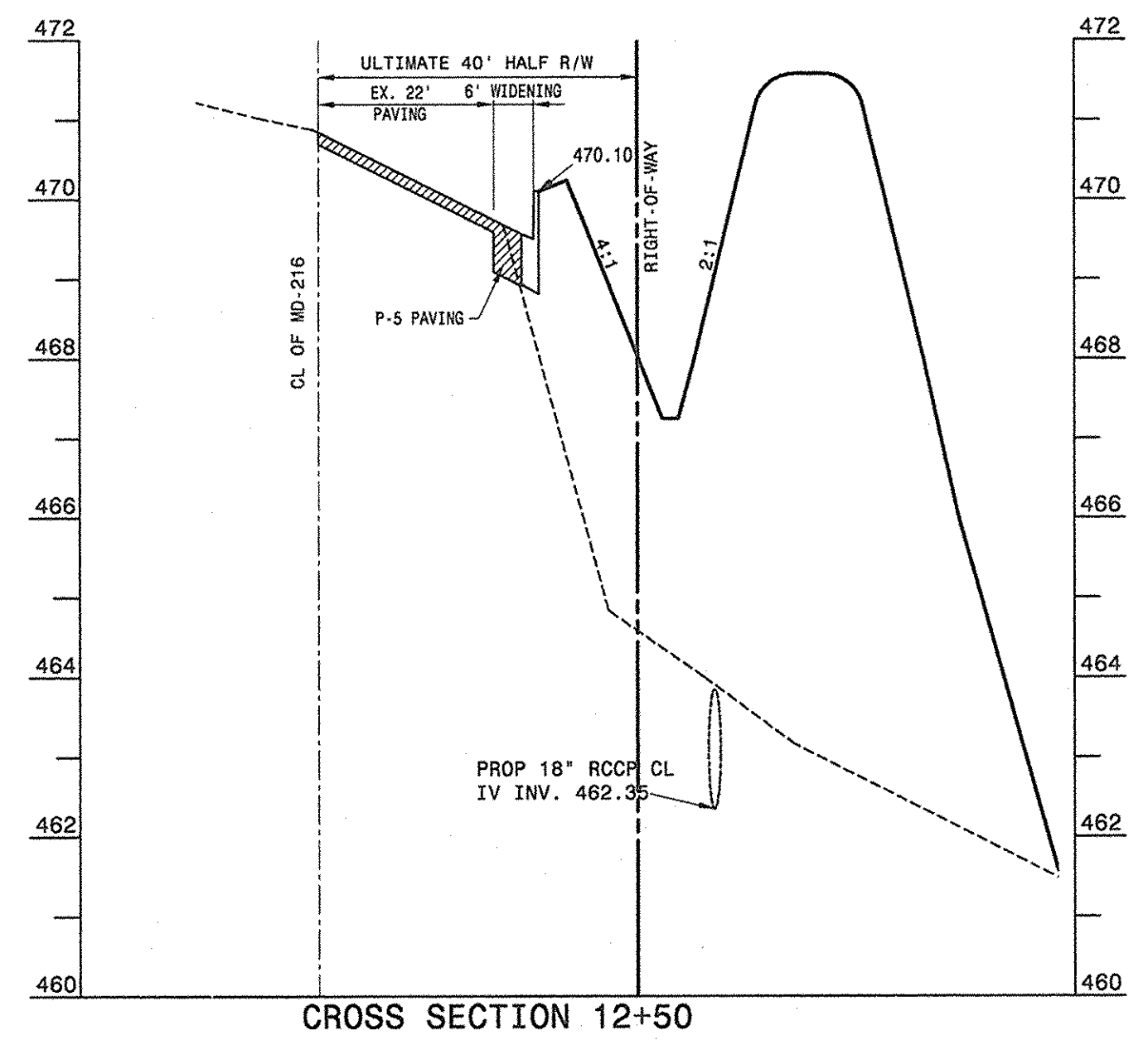
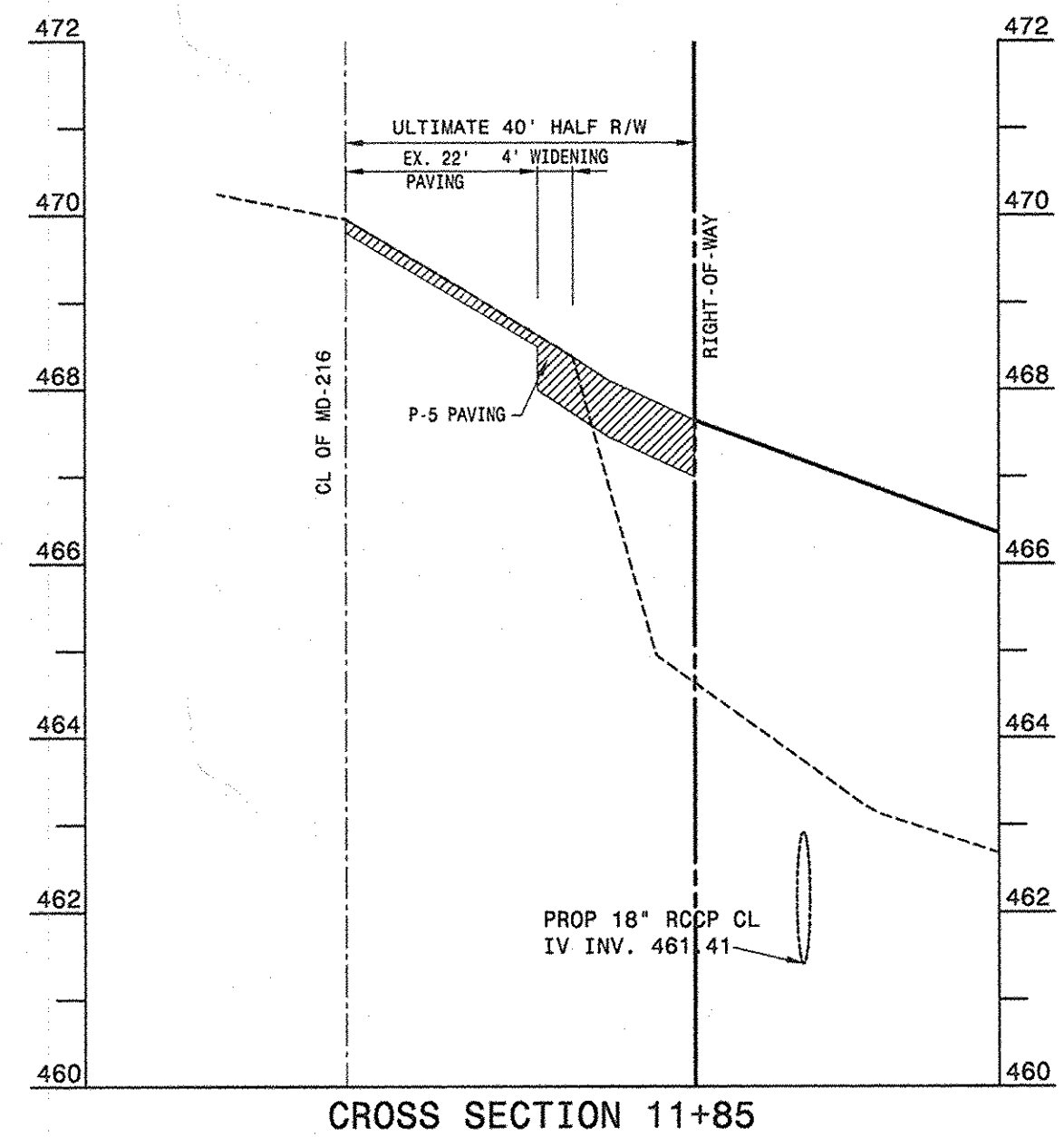
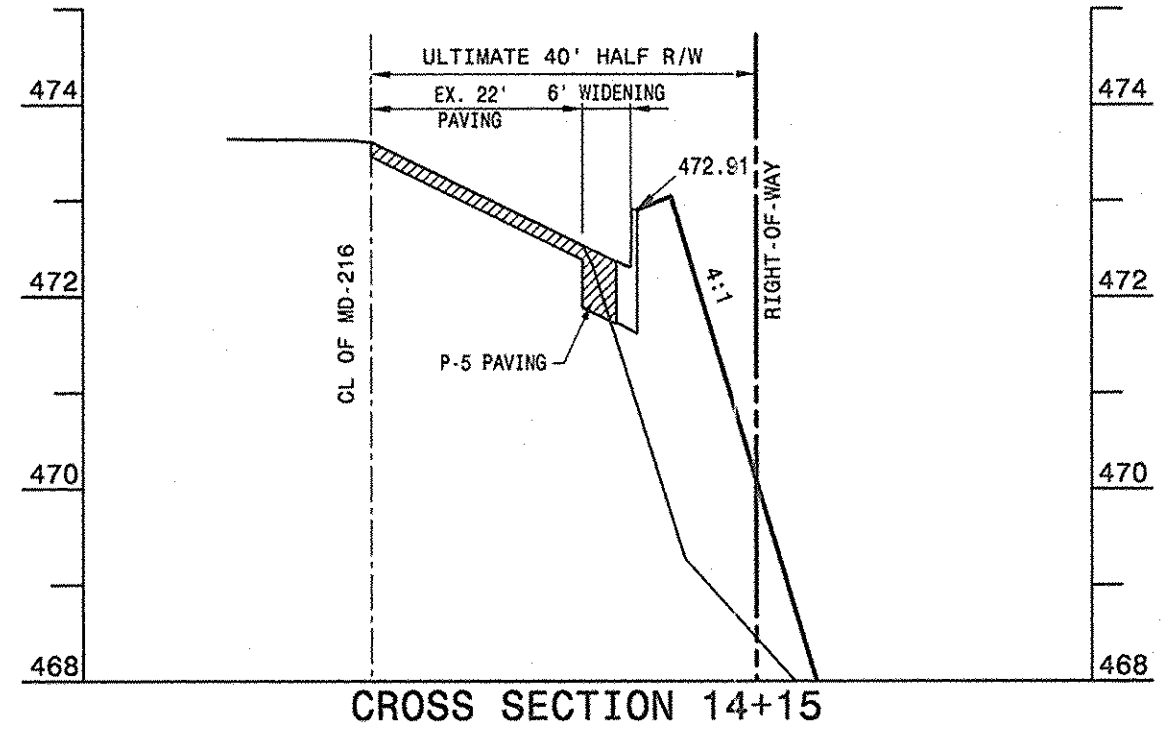
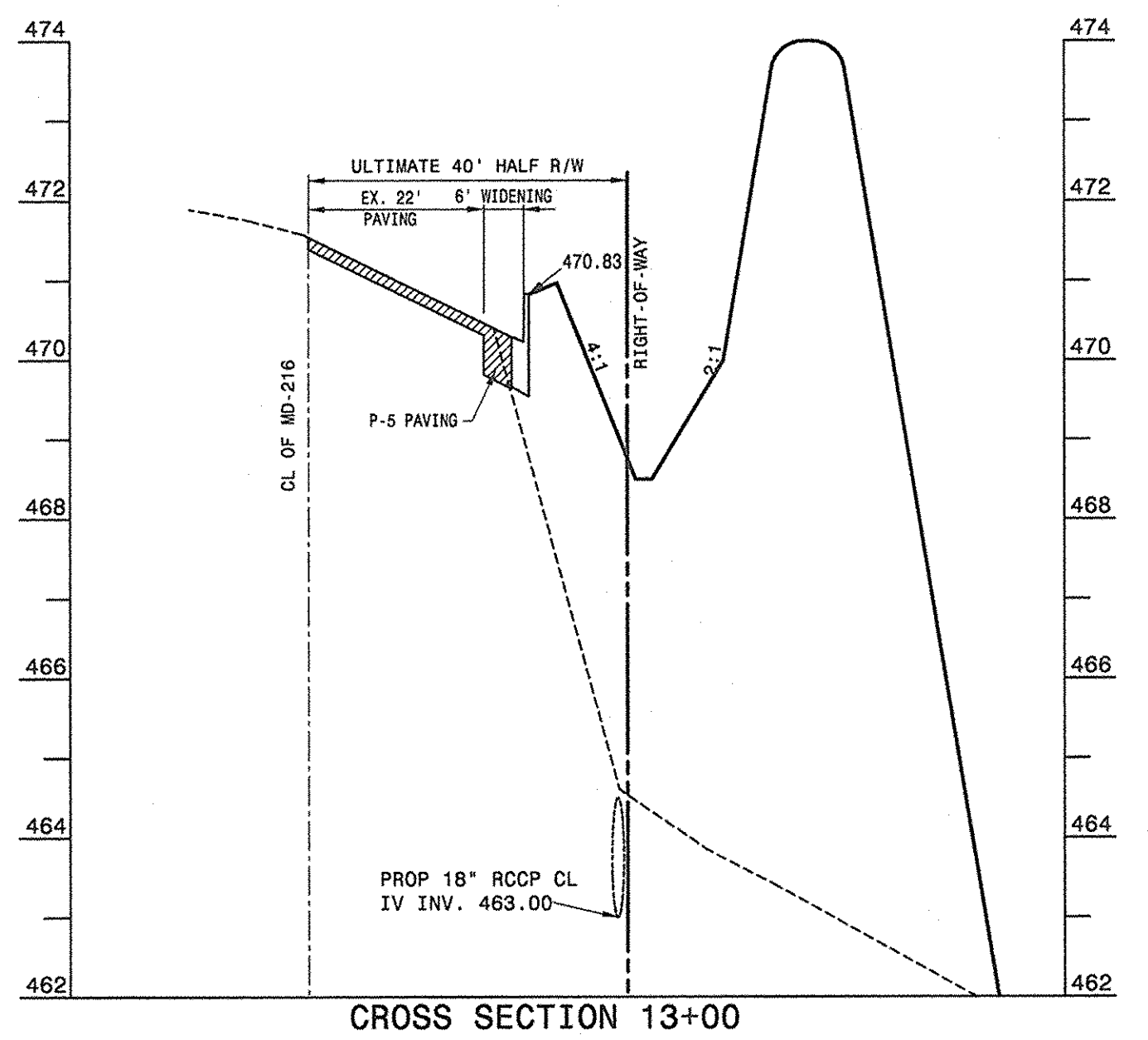
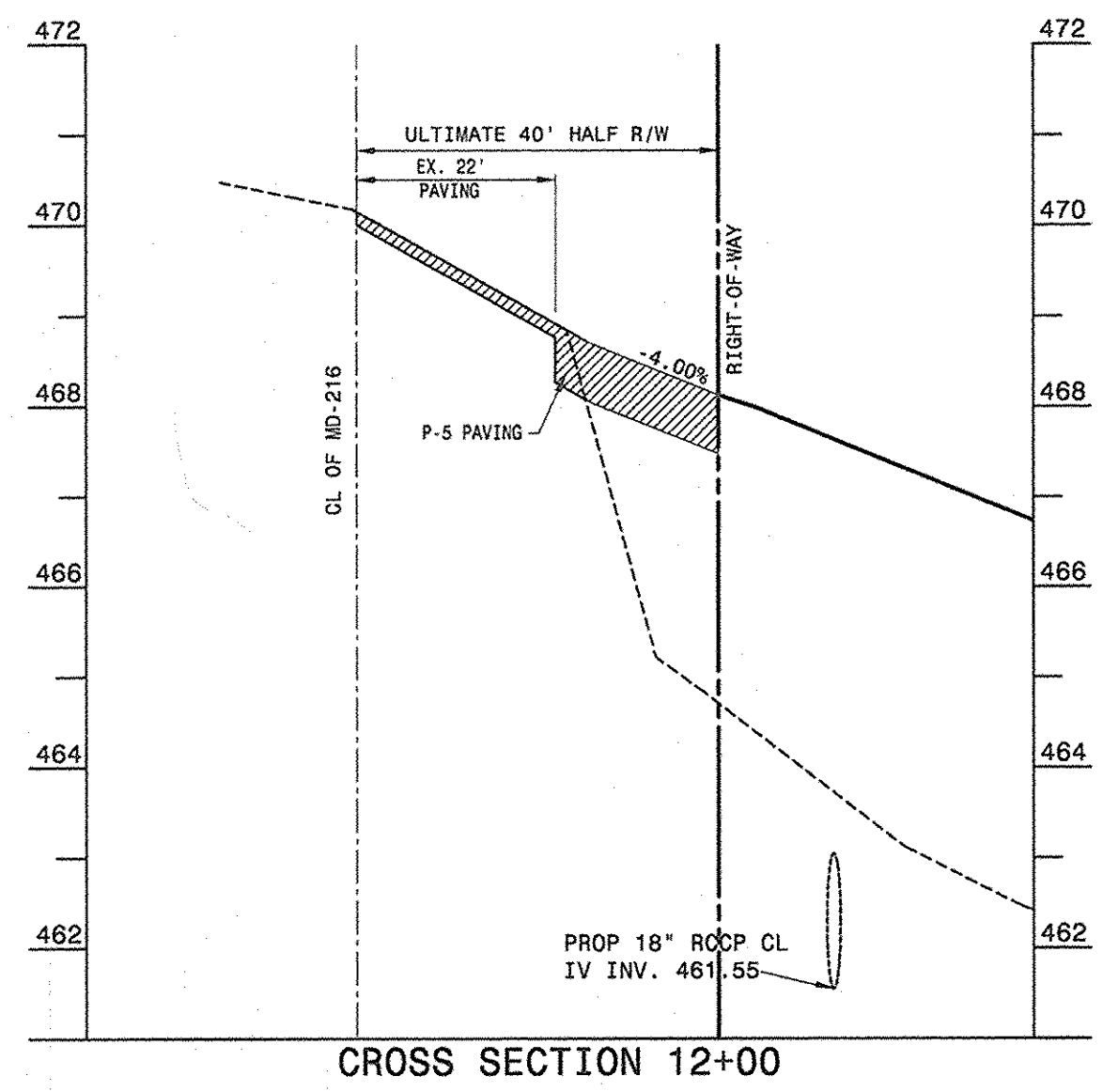


CROSS SECTION 9+00
SCALE: 1" = 20' HOR., 1" = 2' VER.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 13265, Expiration Date: 12-26-08.



APPROVED: DEPARTMENT OF PUBLIC WORKS <i>Matthew R. Smith</i> CHIEF, BUREAU OF HIGHWAYS		12-26-07 DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>David Stovall</i> CHIEF, DIVISION OF LAND DEVELOPMENT		1/10/08 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION		1/2/08 DATE
NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NAME: FULTON WOODS PHASE II LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
TITLE: MD-216 WIDENING- CROSS SECTIONS		
WP-06-076 SP-06-011 F-06-096		
PREPARED BY: DALE THOMPSON ENGINEER 4500 Woodside Court Columbia, MD 21046	OWNERS: DEBORAH C. WILSON 12275 ROUTE 216 FULTON, MD. 20759 TEL. 443-542-9140	DEVELOPER: FULTON, LLC 7017 MEANDERING STREAM WAY FULTON, MD. 20759 TEL. 410-995-6736
DES.: JHE/AVG	JOB:	SCALE: AS SHOWN
DRW.: AVG	PROJ.:	SHEET 4 OF 12
CHK.: DCW	DATE: DEC. 05, 2007	



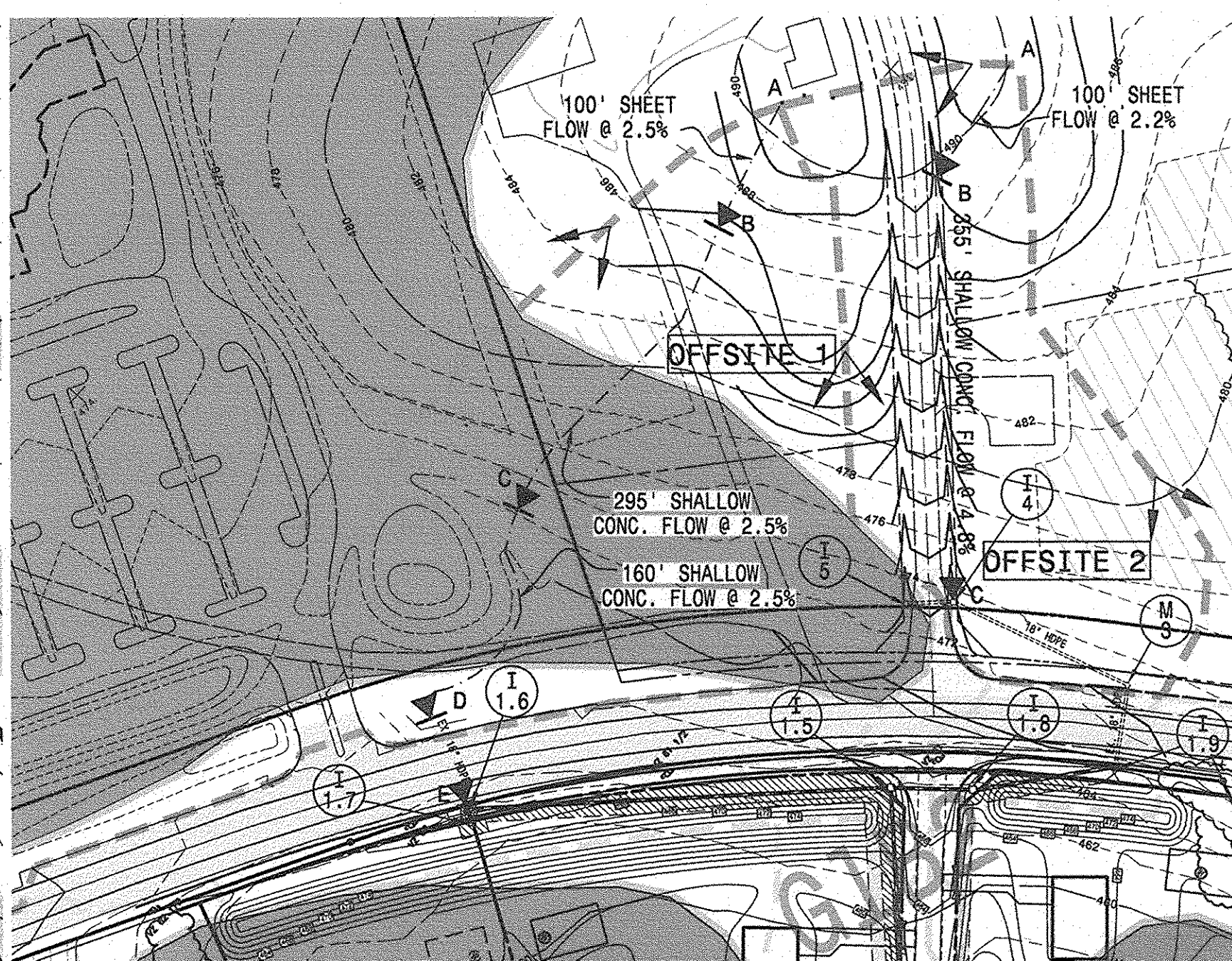
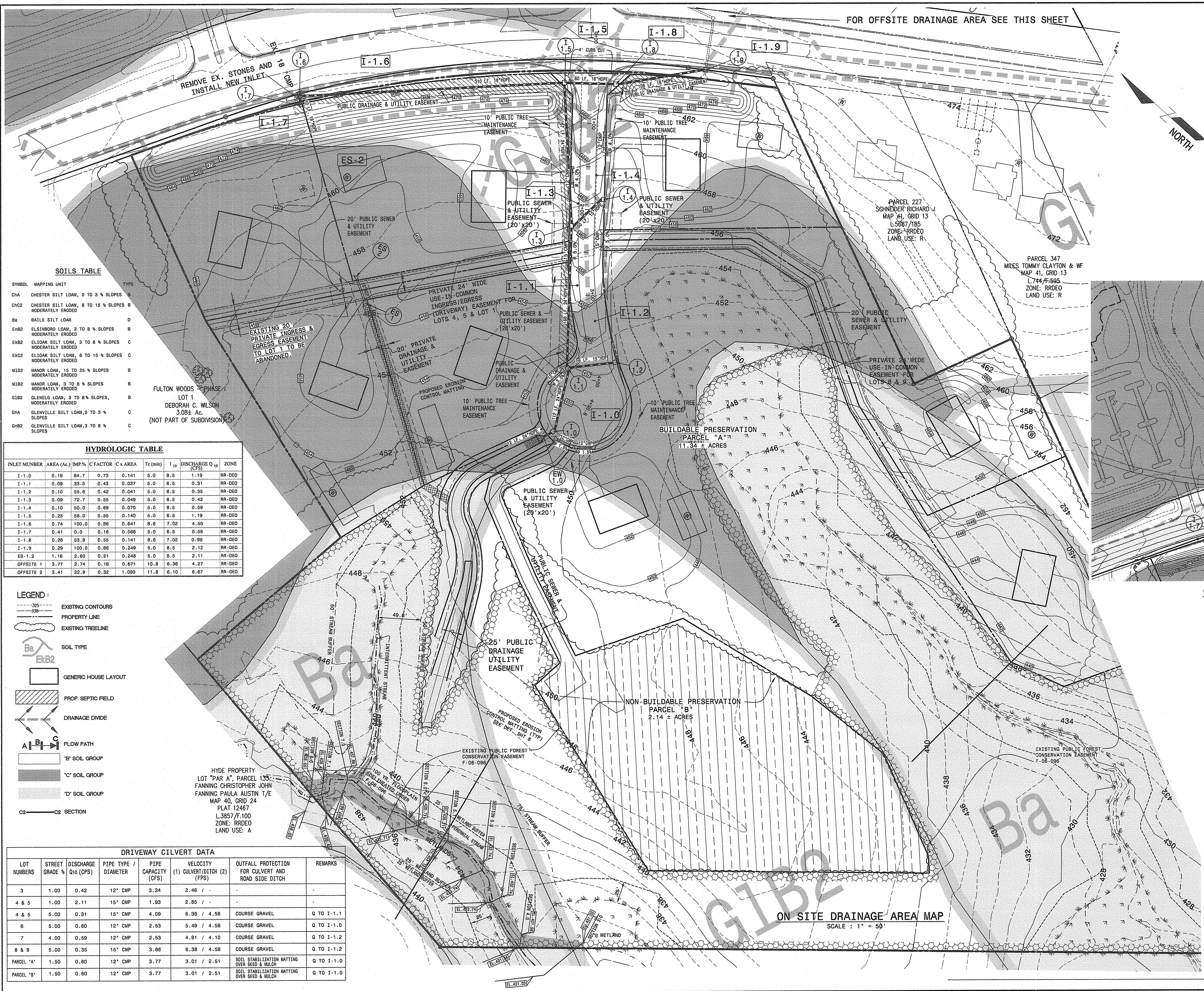
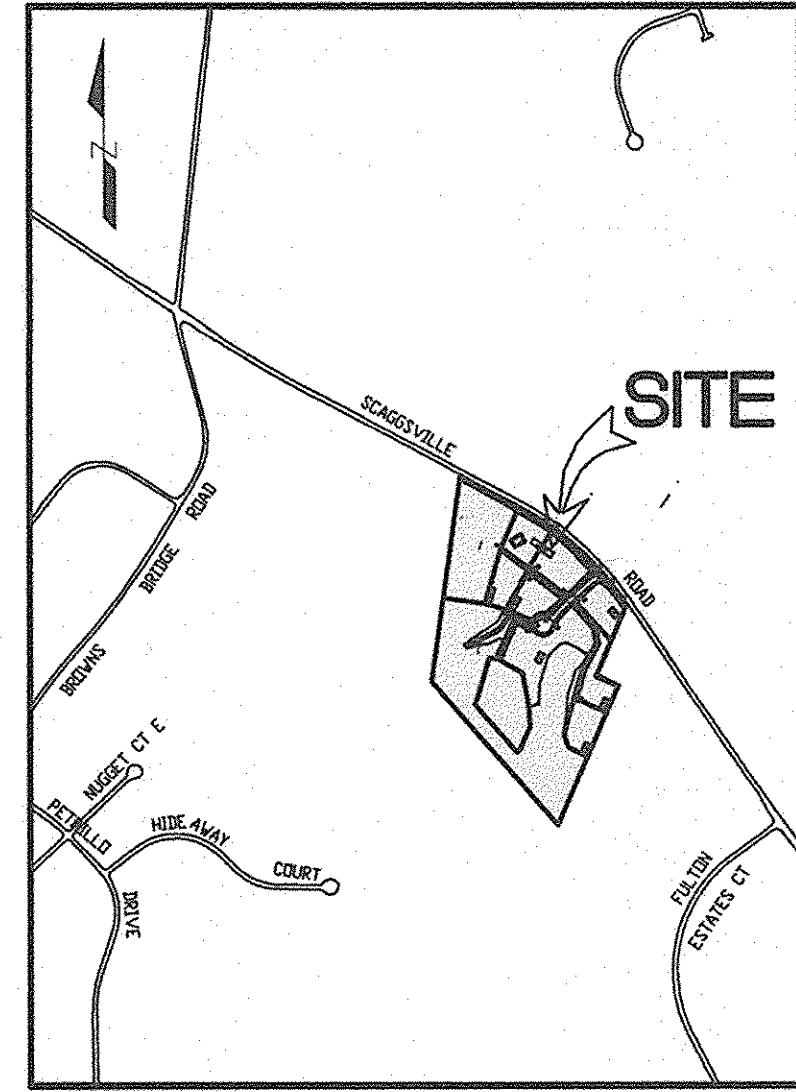
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APPROVED: DEPARTMENT OF PUBLIC WORKS <i>Matthew J. Haskins</i> CHIEF, BUREAU OF HIGHWAYS		12-26-07 DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>Carol K. Hume</i> CHIEF, DIVISION OF LAND DEVELOPMENT		1/18/08 DATE
APPROVED: <i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION		1/20/08 DATE
NO.	DATE	DESCRIPTION
REVISIONS		
PROJECT NAME: FULTON WOODS PHASE II LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
TITLE: MD-216 WIDENING- CROSS SECTIONS		
WP-06-076 SP-06-011 F-06-096		
PREPARED BY: DALE THOMPSON BUILDERS 6500 Woodlake Court Columbia, MD 21046 410-995-6736 FAX 410-995-6747	OWNERS: DEBORAH C. WILSON 12275 ROUTE 216 FULTON, MD. 20759 TEL. 443-542-9140	DEVELOPER: FULTON, LLC 7017 MEANDERING STREAM WAY FULTON, MD. 20759 TEL. 410-995-6736
DES.: JHE/AVG	JOB:	SCALE: AS SHOWN
DRW.: AVG	PRJ.:	SHEET 5 OF 11
CHK.: DCW	DATE: DEC. 05, 2007	

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FOR OFFSITE DRAINAGE AREA SEE THIS SHEET



OFF SITE DRAINAGE AREA MAP
SCALE: 1" = 100'

SOILS TABLE

SYMBOL	MAPPING UNIT	TYPE
CNA	CHESTER SILT LOAM, 0 TO 3% SLOPES	B
CNC2	CHESTER SILT LOAM, 8 TO 15% SLOPES MODERATELY ERODED	B
Ba	BATTLE SILT LOAM	D
ENB2	ELSHODRO LOAM, 3 TO 8% SLOPES MODERATELY ERODED	B
EKB2	ELIOAK SILT LOAM, 3 TO 8% SLOPES MODERATELY ERODED	C
EKC2	ELIOAK SILT LOAM, 8 TO 15% SLOPES MODERATELY ERODED	C
M1D2	MANOR LOAM, 15 TO 25% SLOPES MODERATELY ERODED	B
M1B2	MANOR LOAM, 3 TO 8% SLOPES MODERATELY ERODED	B
G1B2	GLENELG LOAM, 3 TO 8% SLOPES, MODERATELY ERODED	B
GNA	GLENVILLE SILT LOAM, 0 TO 3% SLOPES	C
GNB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPES	C

HYDROLOGIC TABLE

INLET NUMBER	AREA (Ac)	IMP%	C FACTOR	C x AREA	Tc (min)	I ₁₀	DISCHARGE Q ₁₀ (CFS)	ZONE
I-1.0	0.19	84.7	0.73	0.141	5.0	8.5	1.19	RR-DEO
I-1.1	0.09	33.3	0.43	0.037	5.0	8.5	0.31	RR-DEO
I-1.2	0.10	55.6	0.42	0.041	5.0	8.5	0.35	RR-DEO
I-1.3	0.09	72.7	0.55	0.049	5.0	8.5	0.42	RR-DEO
I-1.4	0.10	50.0	0.69	0.070	5.0	8.5	0.59	RR-DEO
I-1.5	0.25	58.0	0.55	0.140	5.0	8.5	1.19	RR-DEO
I-1.6	0.74	100.0	0.88	0.641	8.6	7.02	4.50	RR-DEO
I-1.7	0.41	0.0	0.16	0.066	5.0	8.5	0.56	RR-DEO
I-1.8	0.26	53.8	0.55	0.141	8.6	7.02	0.99	RR-DEO
I-1.9	0.29	100.0	0.88	0.249	5.0	8.5	2.12	RR-DEO
ES-1.2	1.16	2.60	0.21	0.248	5.0	8.5	2.11	RR-DEO
OFFSITE 1	3.77	2.74	0.16	0.671	10.8	6.36	4.27	RR-DEO
OFFSITE 2	3.41	22.9	0.32	1.093	11.8	6.10	6.67	RR-DEO

- LEGEND:**
- 325 --- EXISTING CONTOURS
 - 330 --- PROPERTY LINE
 - 335 --- EXISTING TREELINE
 - Ba, EKB2 SOIL TYPE
 - GENERIC HOUSE LAYOUT
 - ▨ PROP. SEPTIC FIELD
 - ↔ DRAINAGE DIVIDE
 - A-B-C FLOW PATH
 - 'B' SOIL GROUP
 - ▨ 'C' SOIL GROUP
 - ▨ 'D' SOIL GROUP
 - C2 --- C2 SECTION

HYDE PROPERTY
LOT "PAR A", PARCEL 135
FANNING CHRISTOPHER JOHN
FANNING PAULA AUSTIN T/E
MAP 40, GRID 24
PLAT 12467
L 3857 / F 100
ZONE: RROED
LAND USE: A

DRIVEWAY CULVERT DATA

LOT NUMBERS	STREET GRADE %	DISCHARGE Q ₁₀ (CFS)	PIPE TYPE / DIAMETER	PIPE CAPACITY (CFS)	VELOCITY (1) CULVERT/DITCH (2) (FPS)	OUTFALL PROTECTION FOR CULVERT AND ROAD SIDE DITCH	REMARKS
3	1.00	0.42	12" CMP	3.34	2.46 / -	-	-
4 & 5	1.00	2.11	15" CMP	1.93	2.85 / -	-	-
4 & 5	5.00	0.31	15" CMP	4.09	6.38 / 4.58	COURSE GRAVEL	Q TO I-1.1
6	5.00	0.60	12" CMP	2.53	5.49 / 4.58	COURSE GRAVEL	Q TO I-1.0
7	4.00	0.59	12" CMP	2.53	4.91 / 4.10	COURSE GRAVEL	Q TO I-1.2
8 & 9	5.00	0.35	15" CMP	3.86	6.38 / 4.58	COURSE GRAVEL	Q TO I-1.2
PARCEL "A"	1.50	0.60	12" CMP	3.77	3.01 / 2.51	SOIL STABILIZATION MATTING OVER SEED & MULCH	Q TO I-1.0
PARCEL "B"	1.50	0.60	12" CMP	3.77	3.01 / 2.51	SOIL STABILIZATION MATTING OVER SEED & MULCH	Q TO I-1.0

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13265, Expiration Date: 12-26-08.



APPROVED: DEPARTMENT OF PUBLIC WORKS
Matthew J. Smith
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 12-26-07

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Carlynn Thomas
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature]
 DATE: 1/22/08

NO.	DATE	DESCRIPTION	REVISIONS

PROJECT NAME: **FULTON WOODS PHASE II**
 LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B'
 RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: **STORM DRAIN DRAINAGE AREA MAP**
 WP-06-076 SP-06-011 F-06-096

PREPARED BY: **DALE THOMPSON**
 BUILDERS
 4500 WOODSIDE COURT
 COLUMBIA, MD 21046
 IN HOUSE ENGINEERING

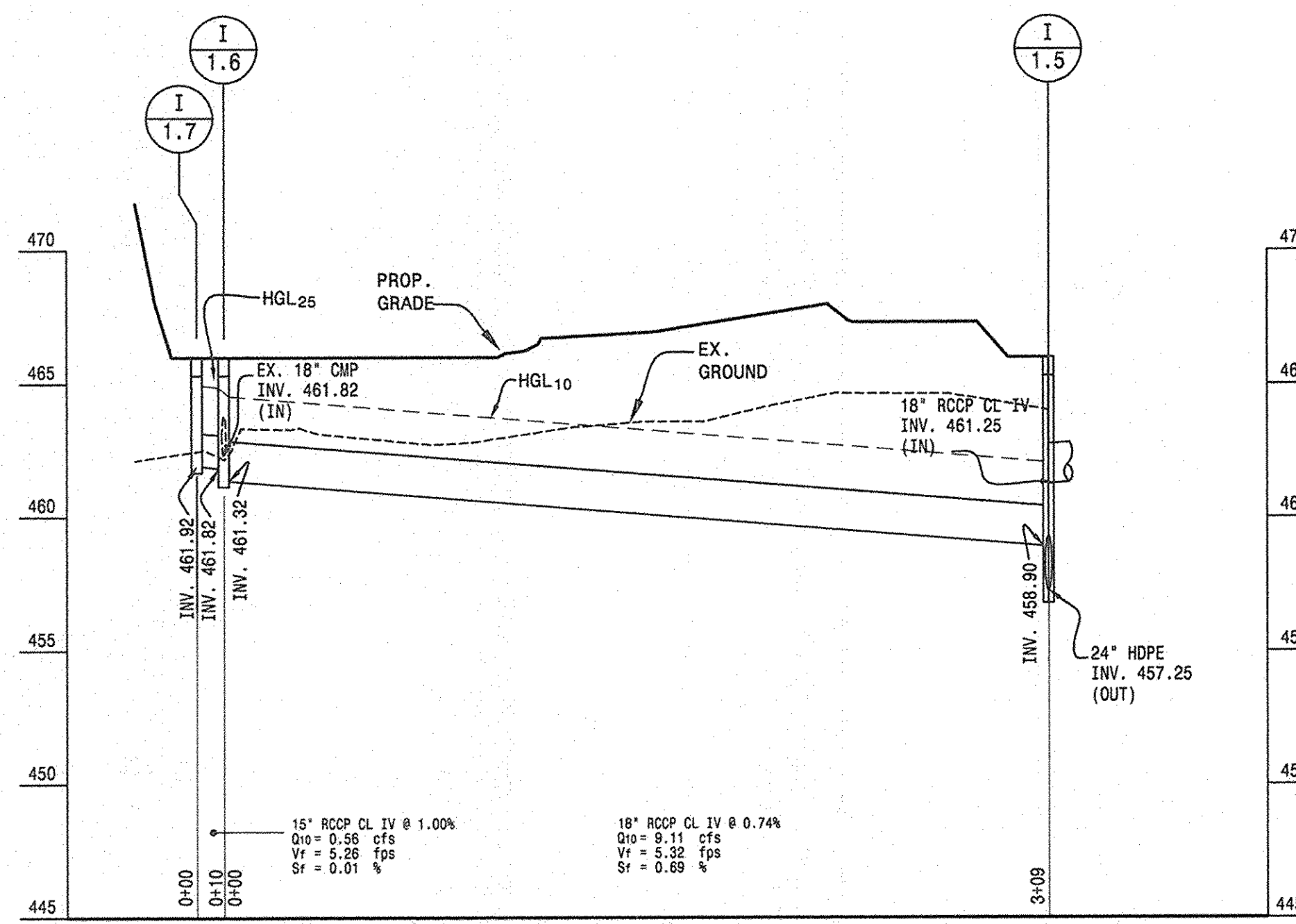
OWNERS: **DEBORAH C. WILSON**
 12275 ROUTE 216
 FULTON, MD. 20759
 TEL. 443-542-9140

DEVELOPER: **FULTON, LLC**
 7017 MEANDERING STREAM WAY
 FULTON, MD. 20759
 TEL. 410-995-6736

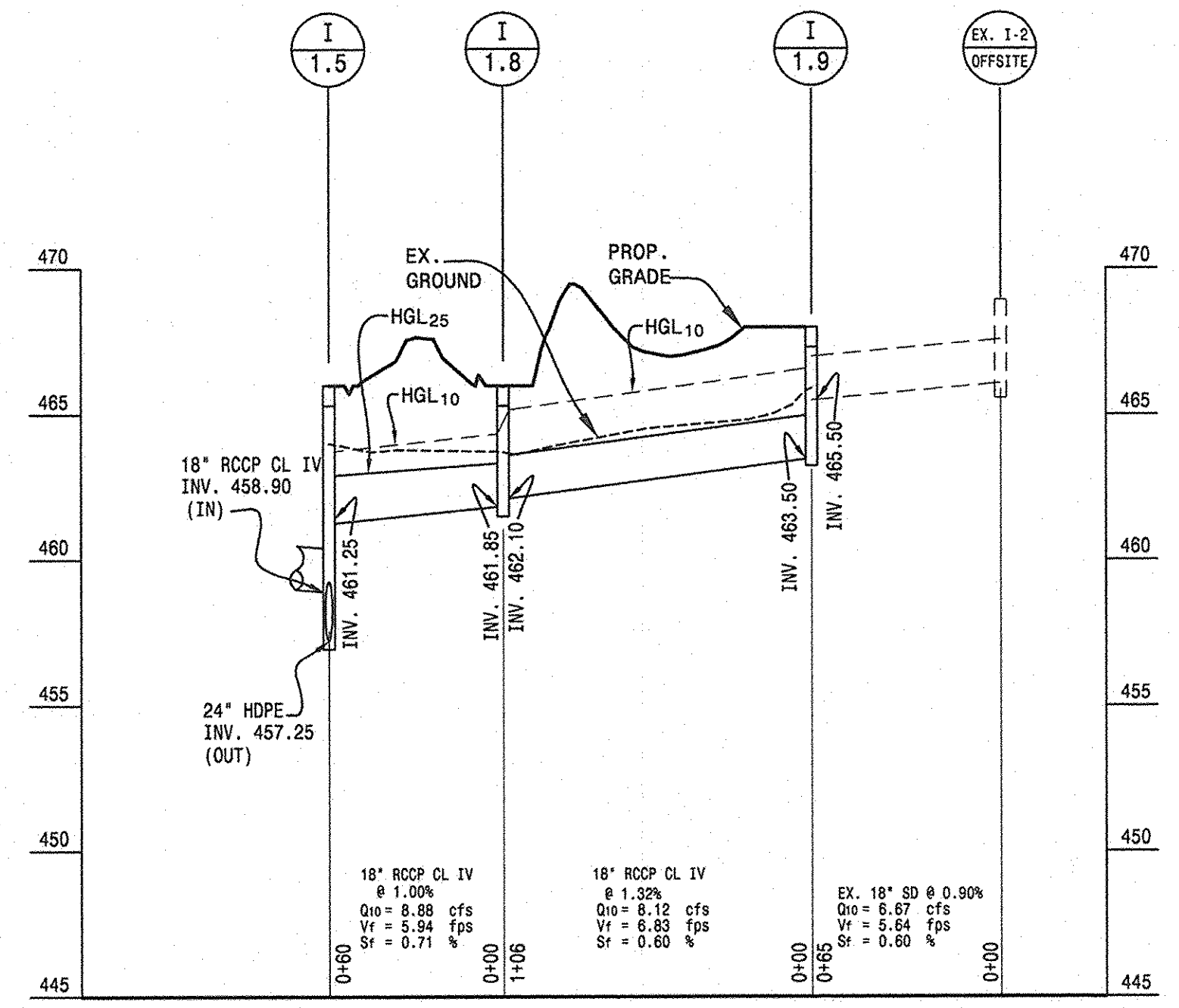
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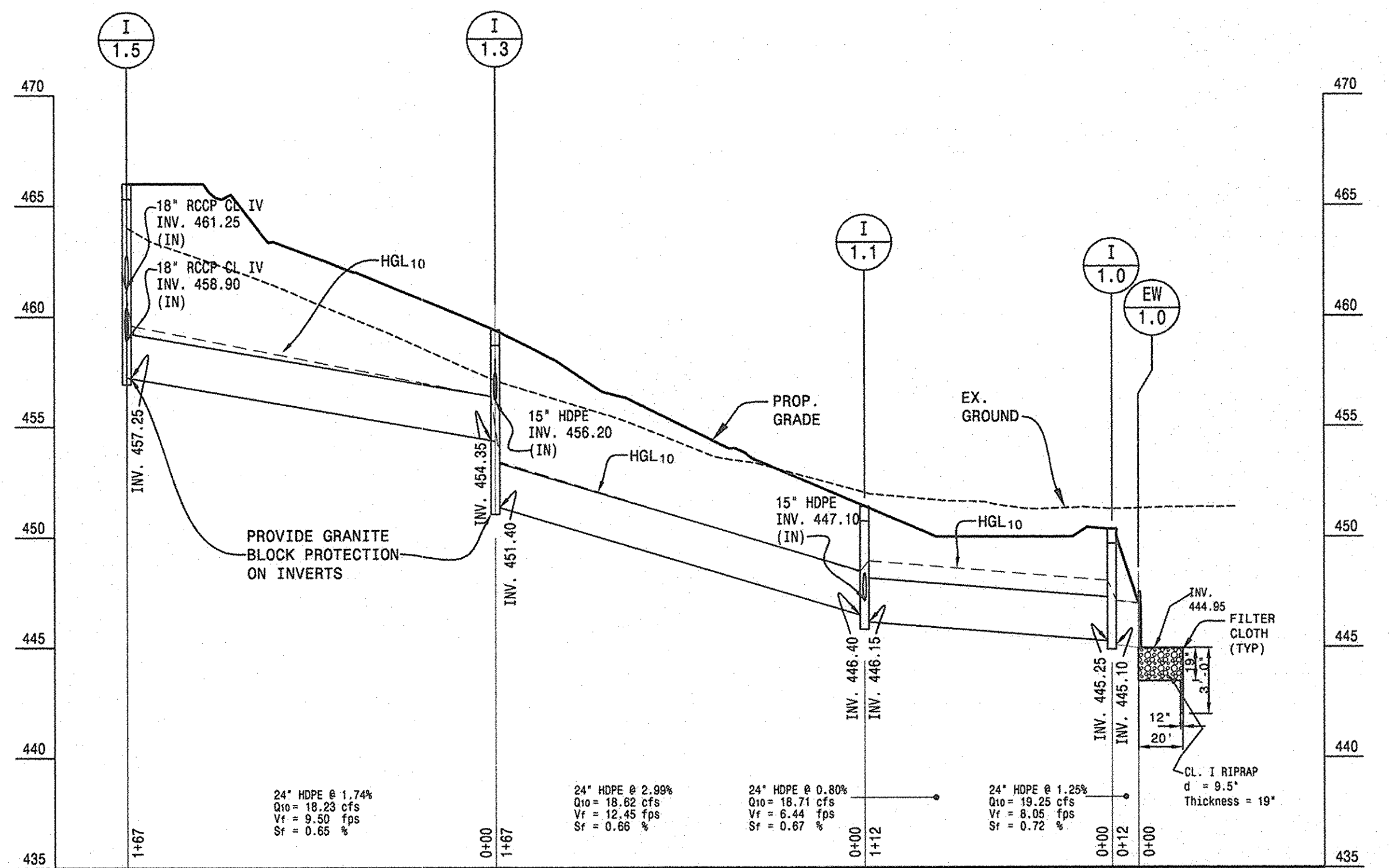
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 SHEET 6 OF 12



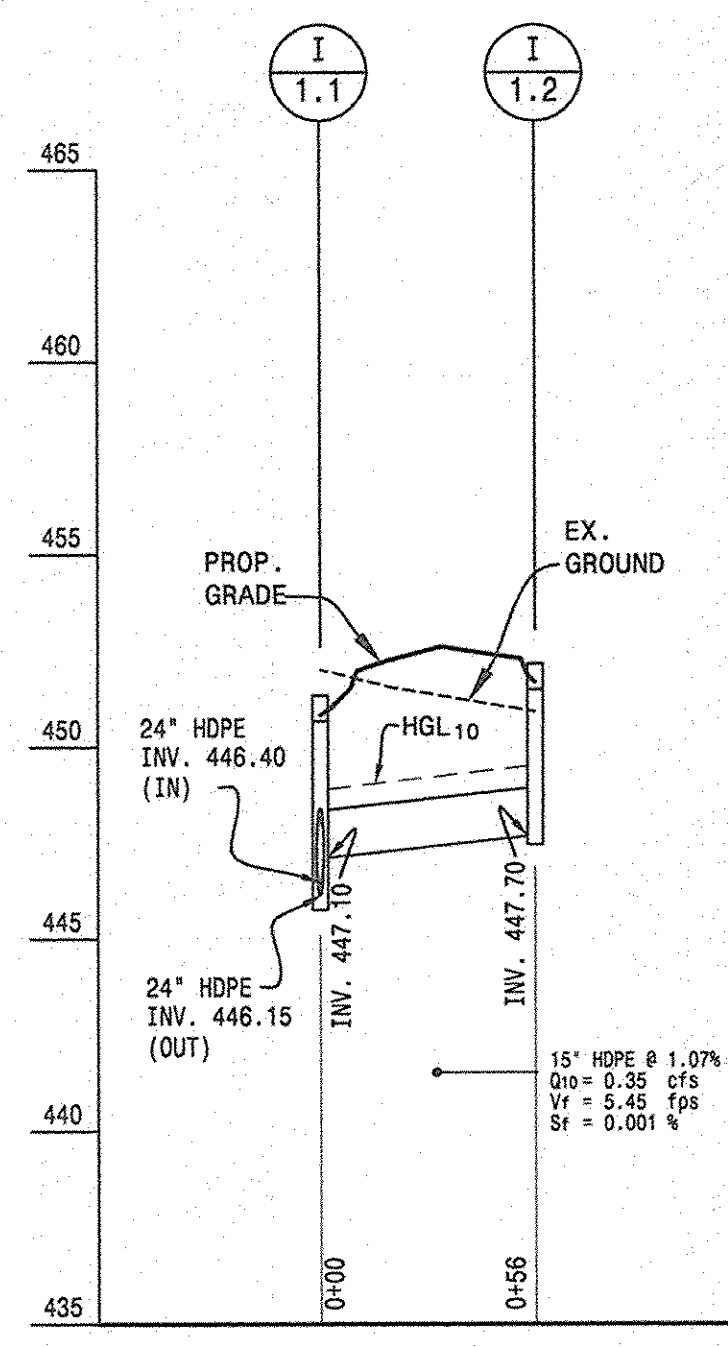
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SCALE: 1" = 50' HOR.
1" = 5' VER.



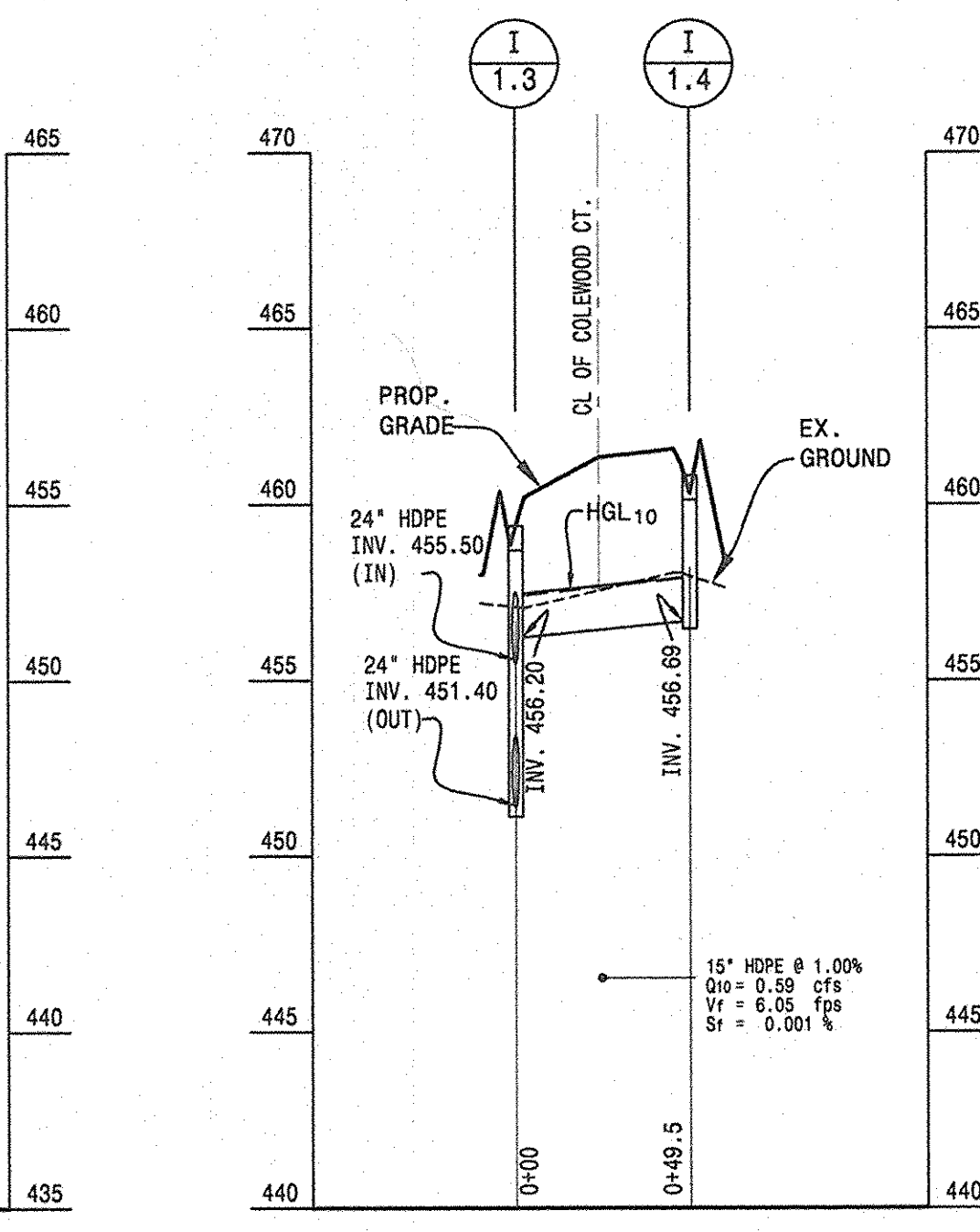
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SCALE: 1" = 50' HOR.
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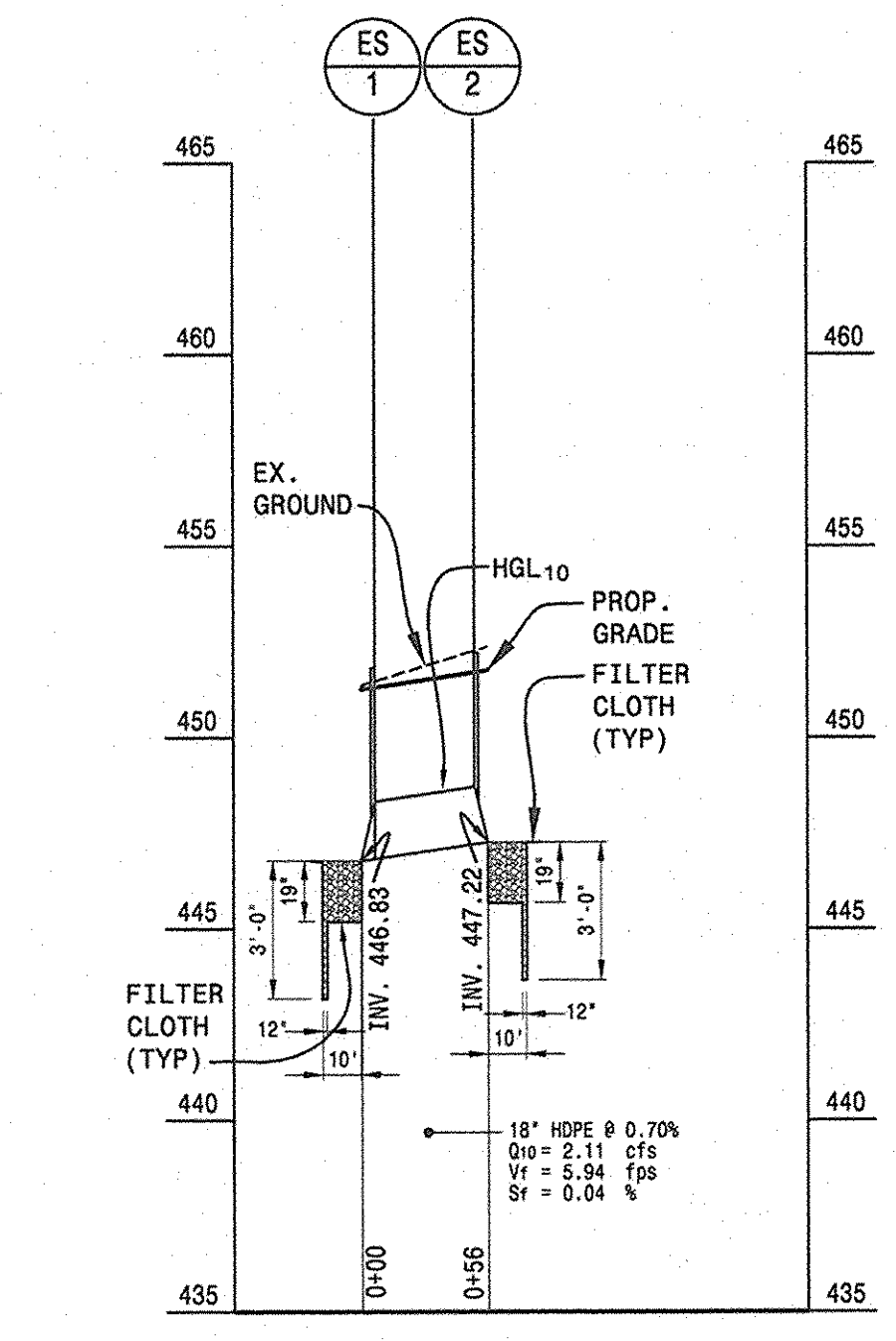
STORM DRAIN - PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.



STORM DRAIN - PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.



STORM DRAIN - PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.



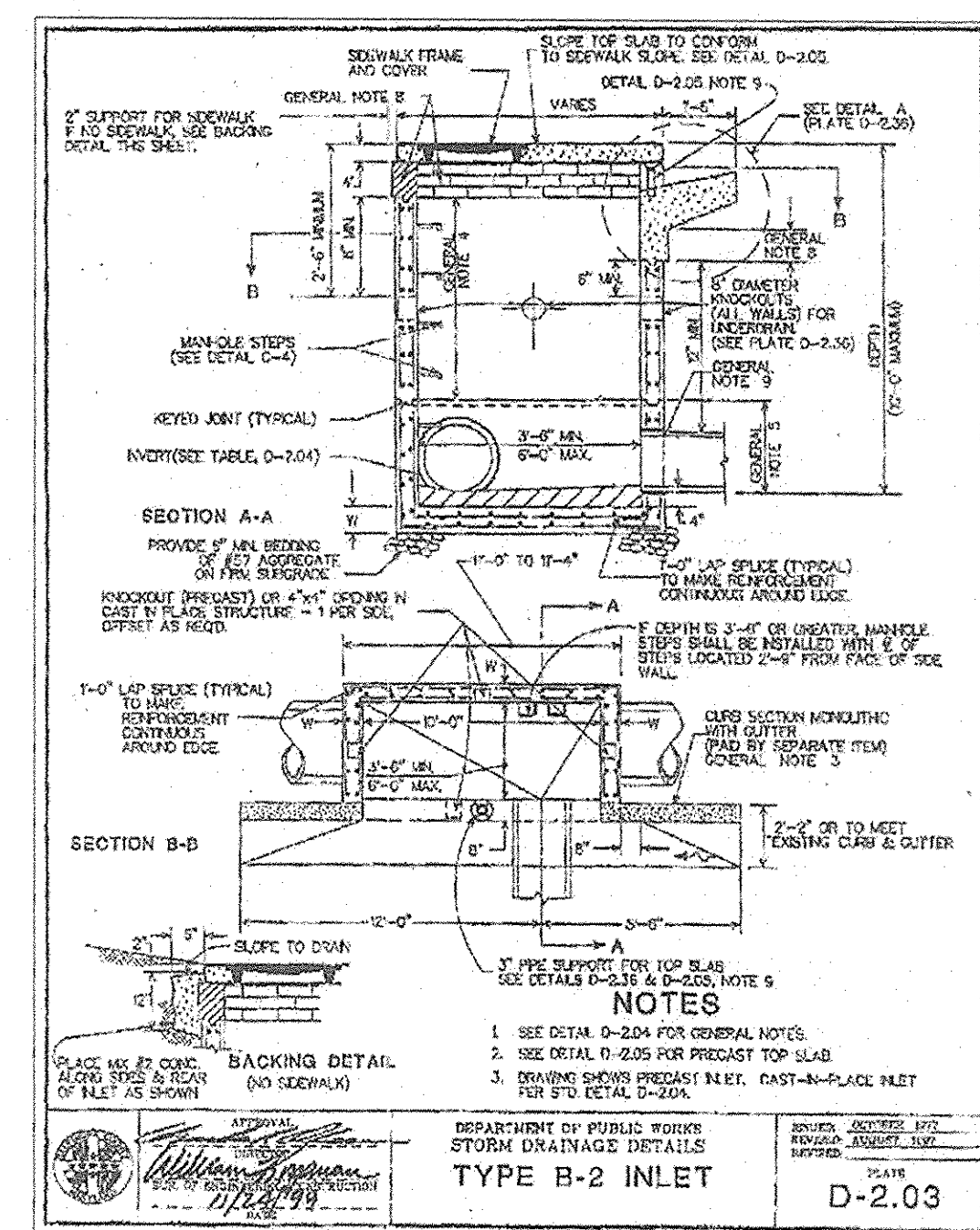
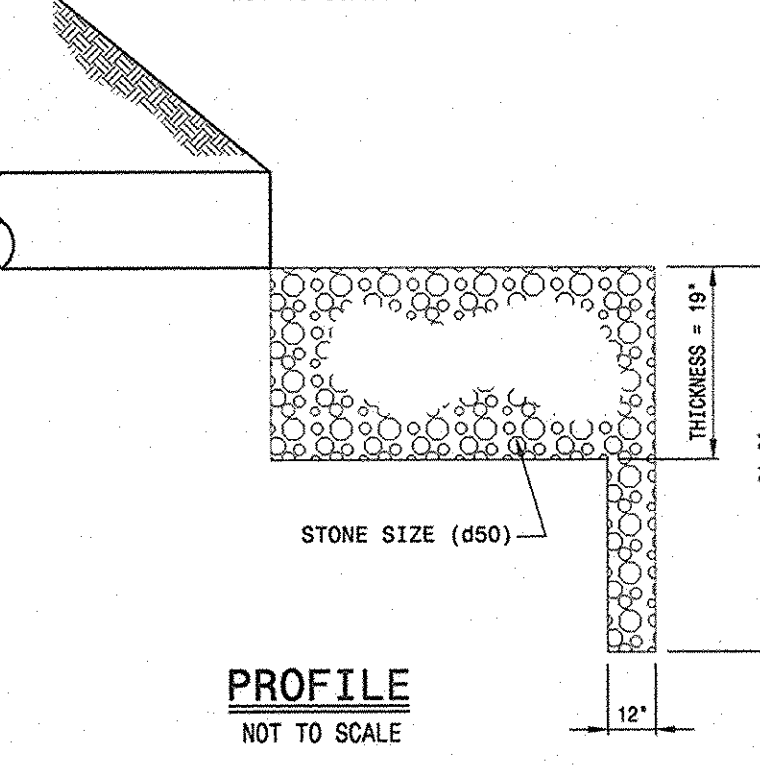
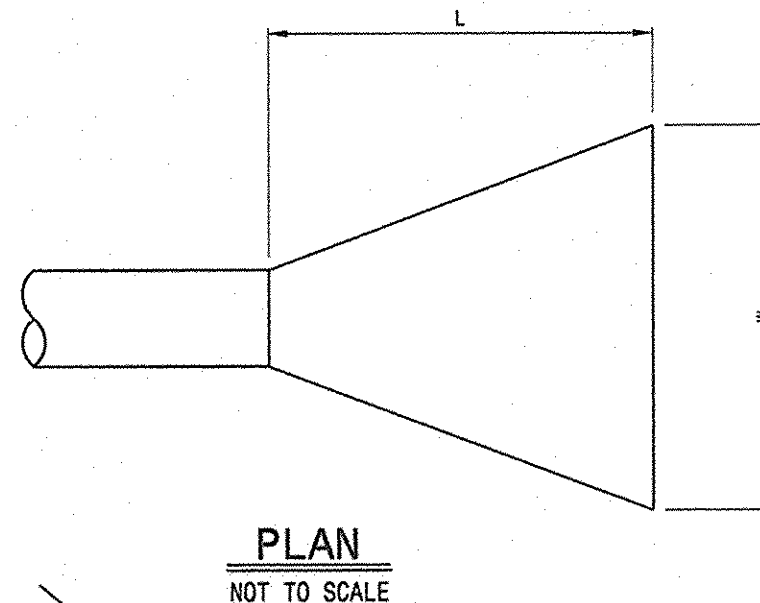
STORM DRAIN - PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.

OUTFALL/INFLOW RIPRAP STABILIZATION DATA

STRUCTURE NO.	d50 (IN.)	LENGTH (L) (FT.)	WIDTH (W) (FT.)	THICKNESS (T) (FT.)
EW-1.0	9.5"	20'	15'	19"
ES-1	9.5"	10'	12'	19"
ES-2	9.5"	10'	12'	19"

PIPE SCHEDULE

TYPE/CLASS OF PIPE	PIPE SIZE (IN.)	TOTAL LENGTH (FT.)	REMARKS
HDPE (PUBLIC)	15	106	
HDPE (PUBLIC)	24	446	DRIVEWAY CULVERTS
RCP CL IV (PUBLIC)	12	160	WITH IN SMA R/W
RCP CL IV (PUBLIC)	15	10	
RCP CL IV (PUBLIC)	18	475	



GENERAL NOTES

- UNDERGROUND SHALL BE GRADED IN PLACE IN THE PROVIDED KNOCKOUT OR 4" DIA. CIP HOLES.
- LET HOLES TO BE PROVIDED FOR HANDING PRECAST INVERTS AND BASE HOLES TO BE FILLED WITH MK #3 CONCRETE UPON INSTALLATION.
- DEVELOPMENT PROJECTS OF THE HIGHWAY CONTRACT (TYPE A & B INETS).
- (PRECAST INVERT SECTION) 8 FT. MAXIMUM HEIGHT, 1 FT. MINIMUM.
- (PRECAST BASE) 3 FT. MAXIMUM HEIGHT MINIMUM HEIGHT 1 FT. MINIMUM. SEE DETAIL D-2.03 FOR CENTER LINE ALLOWABLE RANGE 2.00' FROM PERPENDICULAR.
- PIPE OPENINGS TO BE PROVIDED AS REQUIRED. FOR SIZE, LOCATION AND INVERT ELEVATIONS, REFER TO PLANS.
- PLACEMENT OF SUBGRADE ORANGE SHALL BE AS DIRECTED BY THE ENGINEER OR AS NOTED ON PLANS.
- PRECAST WALLS USE CAST-IN-PLACE MK #3 CONCRETE OR BRICK TO GRADE - 2 COURSES MINIMUM 1 COURSE MAXIMUM INSTALL BRICK FLOOR WITH INTERIOR OF PRECAST WALL.
- CAST-IN-PLACE WALLS TOP 4" OF WALLS SHALL BE BRICK MASONRY.
- GRAFT AROUND ALL PIPES USING NON-SPIRKY GRAFT JOINT FILLER.
- NO PART OF PIPE SHALL PASS THROUGH ANY STRUCTURE CORNER AS DEFINED BY PROJECTION OF INTERIOR WALLS. SEE DETAIL C-1.
- INVERT SHALL HAVE A RADIUS SIMILAR TO TYPE A MANHOLE WHERE PIPE & LARGER RANS THROUGH INLET. SEE DETAIL D-300 (TYPE A & B INETS).
- INVERT BRICK SHALL BE ASTM C32-91 GRADE SS.
- CAST-IN-PLACE WALL WITH 1" TYPE A B INETS SHALL NOT BE USED UNLESS WHERE THE TOP SLAB MAY REASONABLY BE EXPECTED TO EXCEED TRAFFIC LOADS.

TYPES A, B & Y-1 INLETS GENERAL NOTES

STRUCTURE SCHEDULE

STRUCTURE NO.	TYPE	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME	ROAD STA. / COORDINATES	OFFSET (FACE OF CURB)	HO. CO. STD.
I-1.0	TYPE "K"	450.36	445.25	445.10	COLEWOOD CT.	N 544718.5973, E 1330067.0832	X	D. 4.36
I-1.1	TYPE "K"	451.37	447.10, 446.40	446.15	COLEWOOD CT.	3+88.86	31.8' R	D. 4.36
I-1.2	TYPE "K"	451.66	-	447.70	COLEWOOD CT.	3+76.77	12.0' L	D. 4.36
I-1.3	TYPE "K"	459.38	448.20, 454.35	451.40	COLEWOOD CT.	12+37.24	12.0' R	D. 4.36
I-1.4	TYPE "K"	460.32	-	456.69	COLEWOOD CT.	12+37.24	12.0' L	D. 4.36
I-1.5	TYPE "K"	463.33	461.25, 458.80	457.25	COLEWOOD CT.	0+53	30.0' L	D. 4.36
I-1.6	TYPE B-2	466.00	-	461.62	MD-216	9+50	31.0' R	SEE DETAIL THIS SHEET
I-1.7	TYPE "K"	466.00	461.82	461.37	MD-216	12+37.24	41.0' R	D. 4.36
I-1.8	TYPE "K"	466.00	462.10	461.85	COLEWOOD CT.	0+53	30.0' L	D. 4.36
I-1.9	TYPE B-2	466.00	465.50	463.50	MD-216	13+35	28.0' R	SEE DETAIL THIS SHEET
ES-1	END SECTION	-	-	446.83	N 544981.9862, E 1330062.9498	X	D. 5.51	
ES-2	END SECTION	-	-	447.22	N 545007.7666, E 1330077.5104	X	D. 5.51	
EW-1.0	END WALL	447.50	-	444.95	N 544724.1821, E 1330060.9560	X	D. 5.11	

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13285, Expiration Date: 12-26-08.



APPROVED: DEPARTMENT OF PUBLIC WORKS
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 12-26-07
 DATE: 1/16/08
 DATE: 11/20/08

PROJECT NAME: **FULTON WOODS PHASE II**
 LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B'
 RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: **STORM DRAIN PROFILES**

PREPARED BY: DALE THOMPSON
 OWNERS: DEBORAH C. WILSON
 DEVELOPER: FULTON, LLC

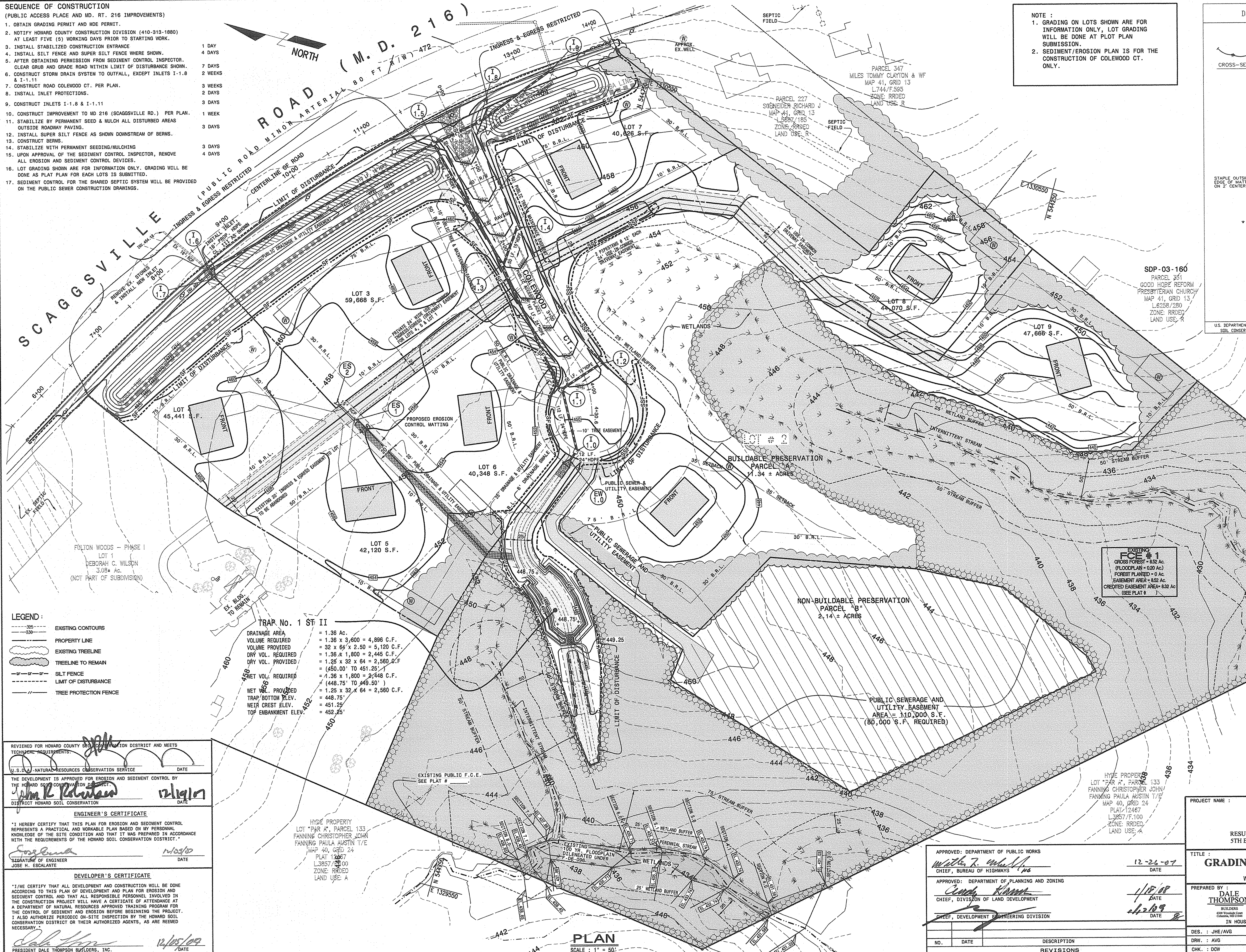
DES.: JHE/AVG
 DRW.: AVG
 CHK.: DOW

JOB: IN HOUSE ENGINEERING
 PROJ.:
 DATE: DEC. 05, 2007

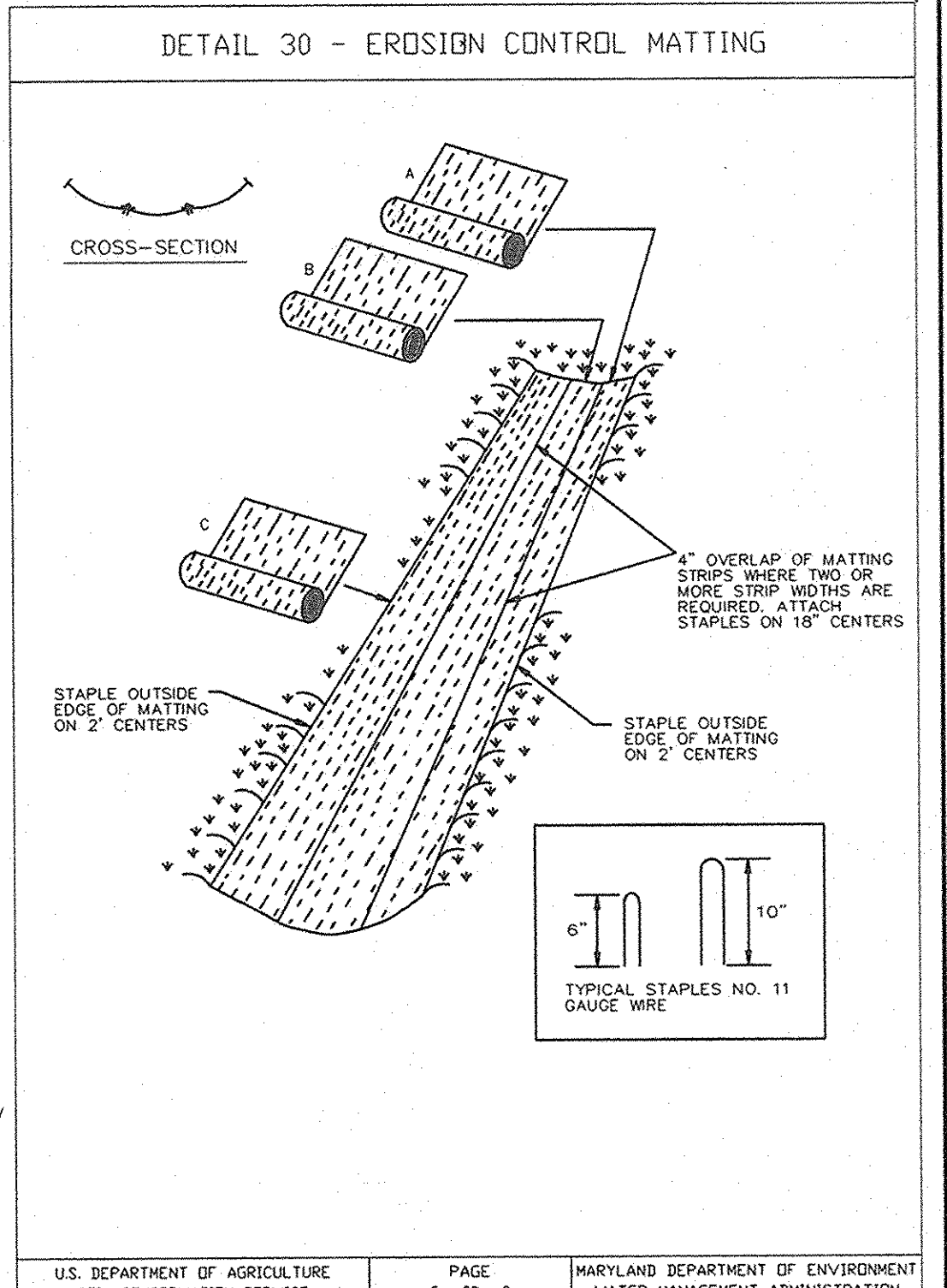
SCALE: AS SHOWN
 SHEET 7 OF 12

SEQUENCE OF CONSTRUCTION
(PUBLIC ACCESS PLACE AND MD. RT. 216 IMPROVEMENTS)

1. OBTAIN GRADING PERMIT AND MDE PERMIT. 1 DAY
2. NOTIFY HOWARD COUNTY CONSTRUCTION DIVISION (410-313-1880) AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING WORK. 4 DAYS
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE. 7 DAYS
4. INSTALL SILT FENCE AND SUPER SILT FENCE WHERE SHOWN. 2 WEEKS
5. AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR, CLEAR GRUB AND GRADE ROAD WITHIN LIMIT OF DISTURBANCE SHOWN. 3 WEEKS
6. CONSTRUCT STORM DRAIN SYSTEM TO OUTFALL, EXCEPT INLETS I-1.8 & I-1.11. 2 DAYS
7. CONSTRUCT ROAD COLEWOOD CT. PER PLAN. 3 DAYS
8. INSTALL INLET PROTECTIONS. 3 DAYS
9. CONSTRUCT INLETS I-1.8 & I-1.11. 1 WEEK
10. CONSTRUCT IMPROVEMENT TO MD 216 (SCAGGSVILLE RD.) PER PLAN. 3 DAYS
11. STABILIZE BY PERMANENT SEED & MULCH ALL DISTURBED AREAS OUTSIDE ROADWAY PAVING. 3 DAYS
12. INSTALL SUPER SILT FENCE AS SHOWN DOWNSTREAM OF BERMS. 3 DAYS
13. CONSTRUCT BERMS. 4 DAYS
14. STABILIZE WITH PERMANENT SEEDING/MULCHING. 3 DAYS
15. UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL EROSION AND SEDIMENT CONTROL DEVICES. 4 DAYS
16. LOT GRADING SHOWN ARE FOR INFORMATION ONLY. GRADING WILL BE DONE AS PLAT PLAN FOR EACH LOTS IS SUBMITTED.
17. SEDIMENT CONTROL FOR THE SHARED SEPTIC SYSTEM WILL BE PROVIDED ON THE PUBLIC SEWER CONSTRUCTION DRAWINGS.



NOTE :
1. GRADING ON LOTS SHOWN ARE FOR INFORMATION ONLY, LOT GRADING WILL BE DONE AT PLOT PLAN SUBMISSION.
2. SEDIMENT/EROSION PLAN IS FOR THE CONSTRUCTION OF COLEWOOD CT. ONLY.



- LEGEND :**
- EXISTING CONTOURS
 - PROPERTY LINE
 - EXISTING TREELINE
 - TREELINE TO REMAIN
 - SILT FENCE
 - LIMIT OF DISTURBANCE
 - TREE PROTECTION FENCE

TRAP NO. 1 ST II
DRAINAGE AREA = 1.38 Ac.
VOLUME REQUIRED = 1.38 x 3,600 = 4,986 C.F.
VOLUME PROVIDED = 32 x 64 x 2.50 = 5,120 C.F.
DRY VOL. REQUIRED = 1.36 x 1,800 = 2,448 C.F.
DRY VOL. PROVIDED = 1.25 x 32 x 64 = 2,560 C.F.
WET VOL. REQUIRED = (450.00' TO 451.25') = 1.36 x 1,800 = 2,448 C.F.
WET VOL. PROVIDED = (448.75' TO 449.50') = 1.25 x 32 x 64 = 2,560 C.F.
TRAP BOTTOM ELEV. = 448.75'
WEIR CREST ELEV. = 451.25'
TOP EMBANKMENT ELEV. = 452.25'

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

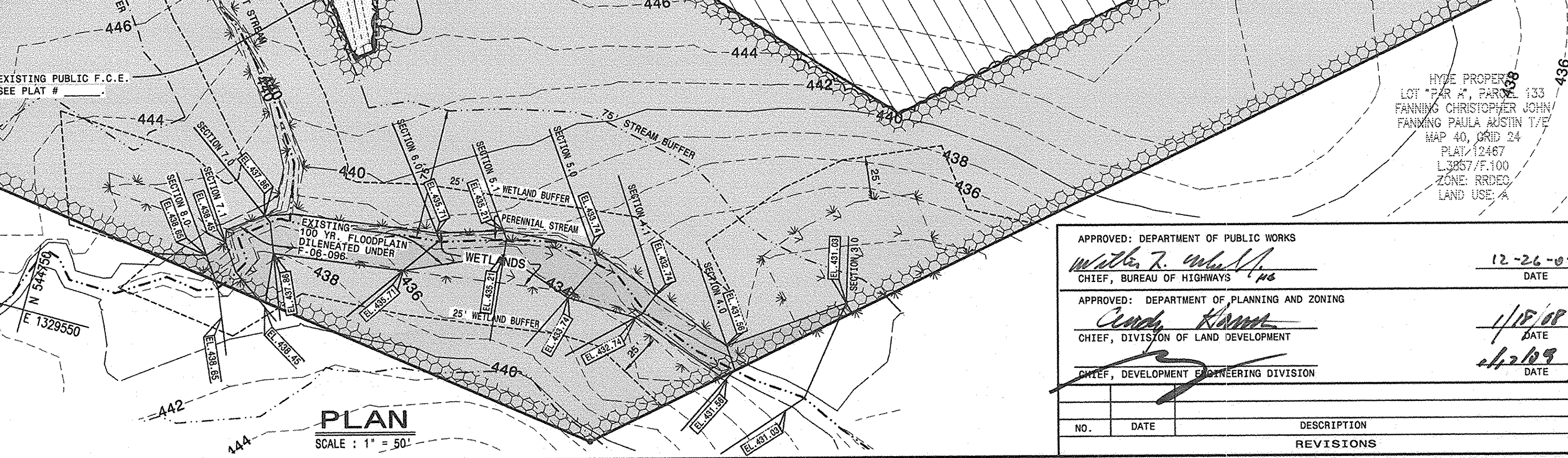
U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE: 12/15/09

THE DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

HYDE PROPERTY
LOT "PAR A", PARCEL 133
FANNING CHRISTOPHER JOHN
FANNING PAULA AUSTIN TYLE
MAP 40, GRID 24
PLAT 12467
L3857/F.100
ZONE: RRDCO
LAND USE: A



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 13265, Expiration Date: 12-26-08.



APPROVED: DEPARTMENT OF PUBLIC WORKS Walter R. [Signature] CHIEF, BUREAU OF HIGHWAYS	12-26-07 DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING Candy [Signature] CHIEF, DIVISION OF LAND DEVELOPMENT	1/15/08 DATE
DATE: 12/15/09	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	
NO. DATE DESCRIPTION REVISIONS	

PROJECT NAME: **FULTON WOODS**
LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B'
RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: **GRADING AND SEDIMENT CONTROL PLAN**

WP-06-076 SP-06-011 F-06-096

PREPARED BY: DALE THOMPSON
BUILDERS
12275 ROUTE 216
FULTON, MD. 20759
TEL. 443-542-9140

OWNERS: DEBORAH C. WILSON
12275 ROUTE 216
FULTON, MD. 20759
TEL. 443-542-9140

DEVELOPER: FULTON, LLC
7017 MEANDERING STREAM WAY
FULTON, MD. 20759
TEL. 410-995-6798

DES.: JHE/AVG JOB: IN HOUSE ENGINEERING
DRW.: AVG PROJ.:
CHK.: DCW DATE: DEC. 05, 2007

SCALE: AS SHOWN SHEET 8 OF 12

STANDARD SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permit...
2. All vegetative and structural practice are to be installed according to the provisions of this plan...
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within...

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode...

EFFECTS OF WATER QUALITY AND QUANTITY
Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of run-off, infiltration, evaporation, transpiration, percolation, and groundwater recharge...

SECTON 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS
A. Site Preparation
1. Install erosion and sediment control structures (either temporary or permanent) such as diversion, grade stabilization structures, berms, waterways, siltation control basins...

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES
1. This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

CONSTRUCTION AND MATERIAL SPECIFICATIONS
1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCA...

DETAIL 22 - SILT FENCE

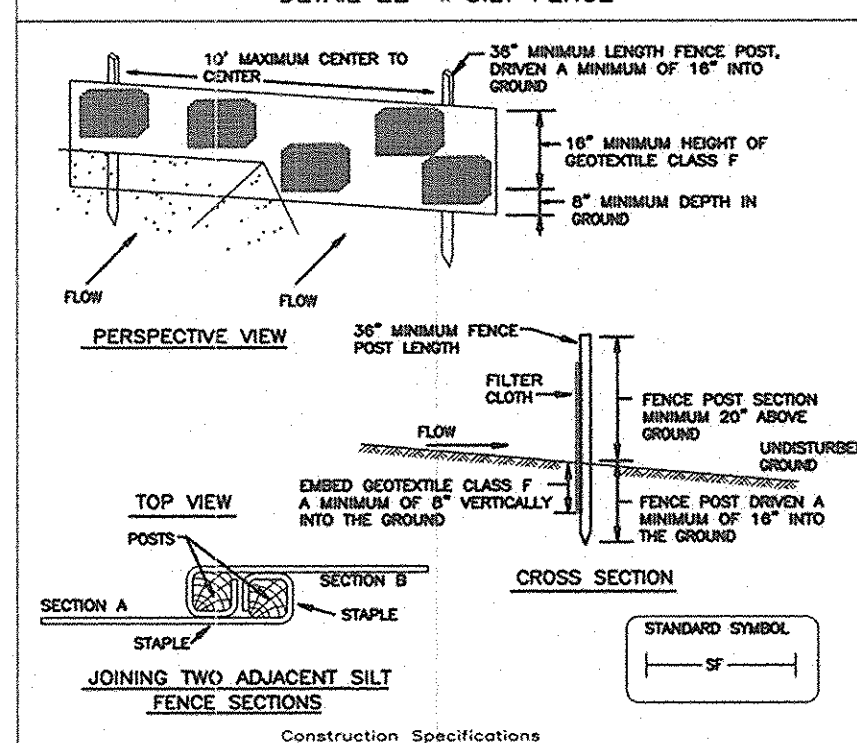


Table with 2 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE and MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION. It lists various specifications and standards for the silt fence.

DETAIL 9 - STONE OUTLET SEDIMENT TRAP - ST II

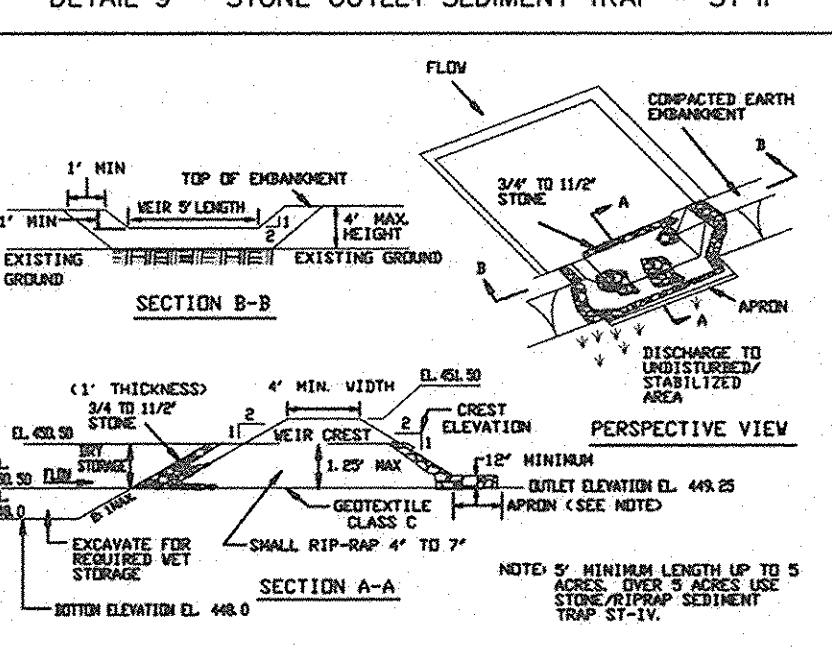


Table with 2 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE and MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION. It lists various specifications and standards for the stone outlet sediment trap.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

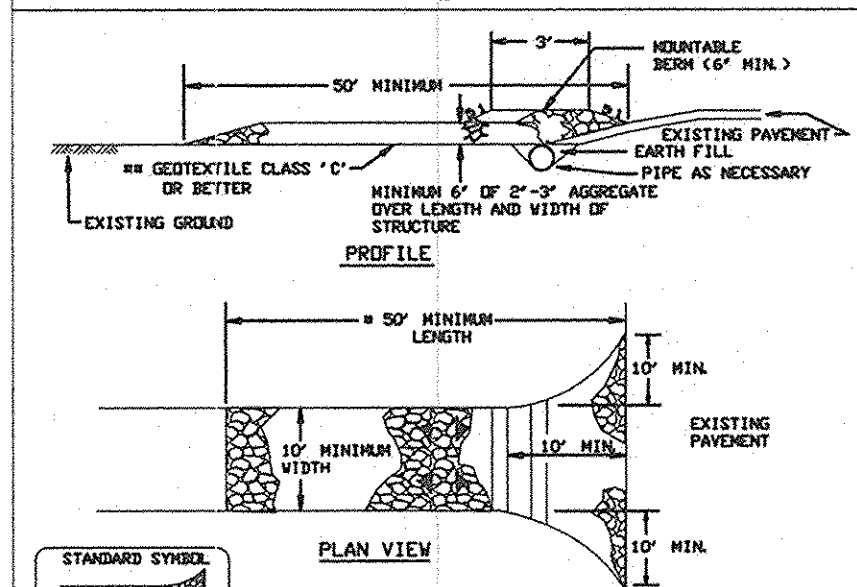


Table with 2 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE and MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION. It lists various specifications and standards for the stabilized construction entrance.

STONE OUTLET SEDIMENT TRAP - ST II

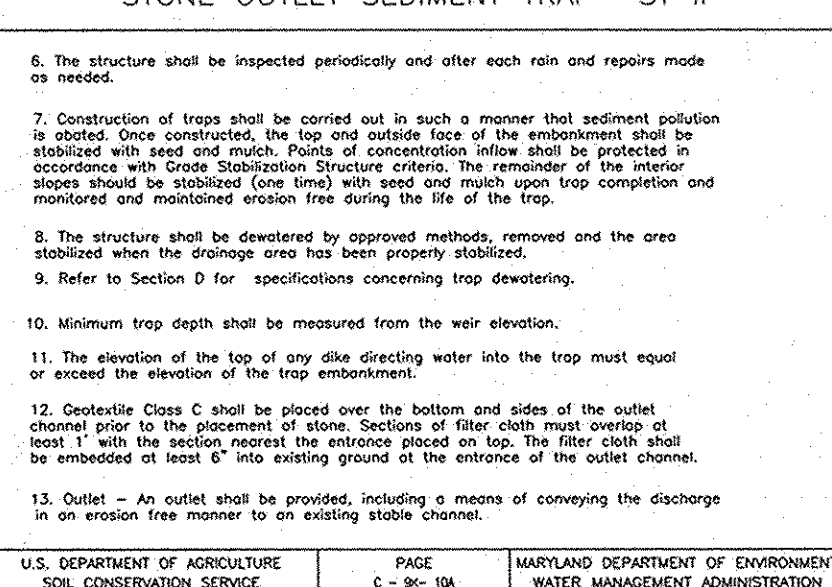


Table with 2 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE and MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION. It lists various specifications and standards for the stone outlet sediment trap.

Table showing site analysis data: Total Area of Site (21.37 Acres), Area Disturbed (6.51 Acres), Area to be seeded or paved (3.85 Acres), Area to be vegetatively stabilized (2.66 Acres), Total Cut (2485 Cu. Yds.), Total Fill (4490 Cu. Yds.).

PERMANENT SEEDING NOTES

- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1. Preferred -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.
Soil Amendments: -- Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).
Seeding: -- For periods March 1 -- April 30, and August 15 -- October 15, seed with 80 lbs/acre (1.4 lbs/sq. ft.) of Kentucky 31 Tall Fescue.

CONSTRUCTION SPECIFICATIONS

- 1. The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
2. The fill material for the embankment shall be free of roots or other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material.
3. All cut and fill slopes shall be 2:1 or flatter.

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICABLE AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL...



Table for approvals: APPROVED: DEPARTMENT OF PUBLIC WORKS, APPROVED: DEPARTMENT OF PLANNING AND ZONING, APPROVED: DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.

BLAZE ORANGE PLASTIC MESH TREE PROTECTION DEVICE

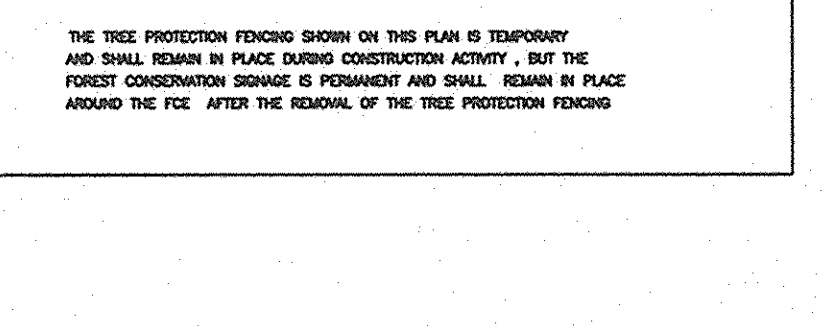


Table with 2 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE and MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION. It lists various specifications and standards for the tree protection device.

FULTON WOODS PHASE II

LOT 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 41, GRID 13 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

Table for project details: PROJECT NAME, TITLE (SEDIMENT CONTROL NOTES AND DETAILS), PREPARED BY (DALE THOMPSON), OWNERS (DEBORAH C. WILSON), DEVELOPER (FULTON, LLC).

I hereby certify that these documents were prepared on approval of me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13265, Expiration Date: 12-26-08.

SOILS TABLE

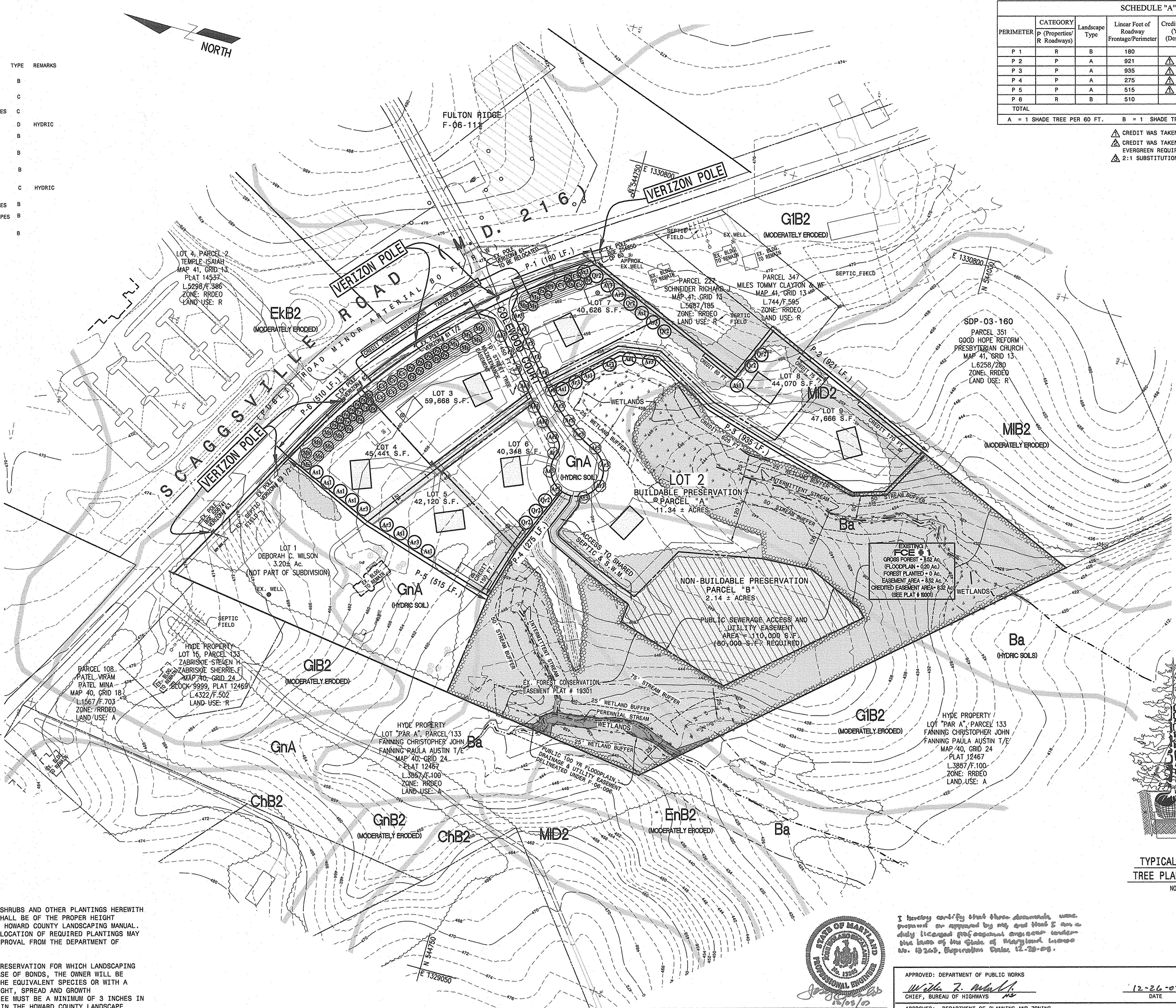
SYMBOL	MAPPING UNIT	TYPE	REMARKS
G1B2	GLENELG LOAM, 3 TO 8% SLOPE MODERATELY ERODED	B	
EK2	ELDOAK SILT LOAM, 3 TO 8% SLOPE MODERATELY ERODED	C	
EK2C	ELDOAK SILT LOAM, 8 TO 15% SLOPES MODERATELY ERODED	C	
Ba	BATTLE SILT LOAM	D	HYDRIC
MID2	MANOR LOAM, 15 TO 25% SLOPE MODERATELY ERODED	B	
MIB2	MANOR LOAM, 3 TO 8% SLOPE MODERATELY ERODED	B	
G1B2	GLENELG LOAM, 3 TO 8% SLOPES, MODERATELY ERODED	B	
GNA	GLENVILLE SILT LOAM, 0 TO 3% SLOPES	C	HYDRIC
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPES	B	
ChC2	CHESTER SILT LOAM, 8 TO 15% SLOPES MODERATELY ERODED	B	
EnB2	ELSNBORO LOAM, 3 TO 8% SLOPES MODERATELY ERODED	B	

LEGEND :

- EXISTING CONTOURS
- PROPERTY LINE
- EXISTING TREELINE
- PROP. WELL LOCATION
- GENERIC HOUSE LAYOUT
- PROP. SEPTIC FIELD
- PERC HOLE APPROVED
- PERC HOLE FAILED
- STREET TREES

NOTES:

- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIAL SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIR OR REPLACED.



SCHEDULE "A" PERIMETER LANDSCAPE EDGE

PERIMETER	CATEGORY (Properties/Roadways)	Landscape Type	Linear Feet of Roadway Frontage/Perimeter	Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	Number of Plants Required		Number of Plants Provided	
						Evergreen Trees	Shade Trees	Evergreen Trees	Shade Trees
P 1	R	B	180	NO 0 FT.	YES (BERM) 160 FT.	1	0	0	0
P 2	P	A	921	YES 325 FT.	NO 0 FT.	0	10	0	10
P 3	P	A	935	YES 625 FT.	NO 0 FT.	0	6	0	6
P 4	P	A	275	YES 150 FT.	NO 0 FT.	0	3	0	3
P 5	P	A	515	YES 0 FT.	NO 0 FT.	0	9	0	9
P 6	R	B	510	NO 0 FT.	YES (BERM) 510 FT.	0	11	0	11
TOTAL						1	43	0	43

A = 1 SHADE TREE PER 60 FT. B = 1 SHADE TREE PER 50 FT., 1 EVERGREEN TREE PER 40 FT.

CREDIT WAS TAKEN WHERE EXISTING TREE LINE WAS 25' THICK OR MORE
 CREDIT WAS TAKEN FOR BERMS GREATER THAN 3 FT. IN HEIGHT AGAINST EVERGREEN REQUIREMENTS.
 2:1 SUBSTITUTION FOR EVERGREEN AND SMALL DECIDUOUS TREES

STREET TREE TABLE

ROAD NAME	LENGTH	TREES REQUIRED	TREES PROVIDED
MD. RTE. 218	770 FT. (1:30)	26	26
COLEWOOD CT.	450 FT. (1:40) (2 SIDES = 900 FT.)	23	23
TOTAL		49	49

LARGE TREES (1:40 FT.)
 SMALL TREES (1:30 FT.)
 2:1 SUBSTITUTION FOR EVERGREEN AND SMALL DECIDUOUS TREES

PERIMETER LANDSCAPING AND STREET TREE ANALYSIS

LANDSCAPE LEGEND

QUANTITY	SYMBOL	DESCRIPTION	MINIMUM SIZE
11	(A1)	Ace Saccharum Sugar Maple	2 1/2' cal.
8	(A2)	Quercus Rubra Red Oak	2 1/2' cal.
33	(A3)	Ace Rubrum 'October Glory' October Glory Red Maple	2 1/2' cal.
15	(B)	Malus X 'Snowdrift' Snowdrift Crabapple	8-10' ht.
10	(C)	Crataegus Viridis Winter King Hawthorne	8-10' ht.
31	(F)	Picea Abies Norway Spruce	2 1/2' cal.

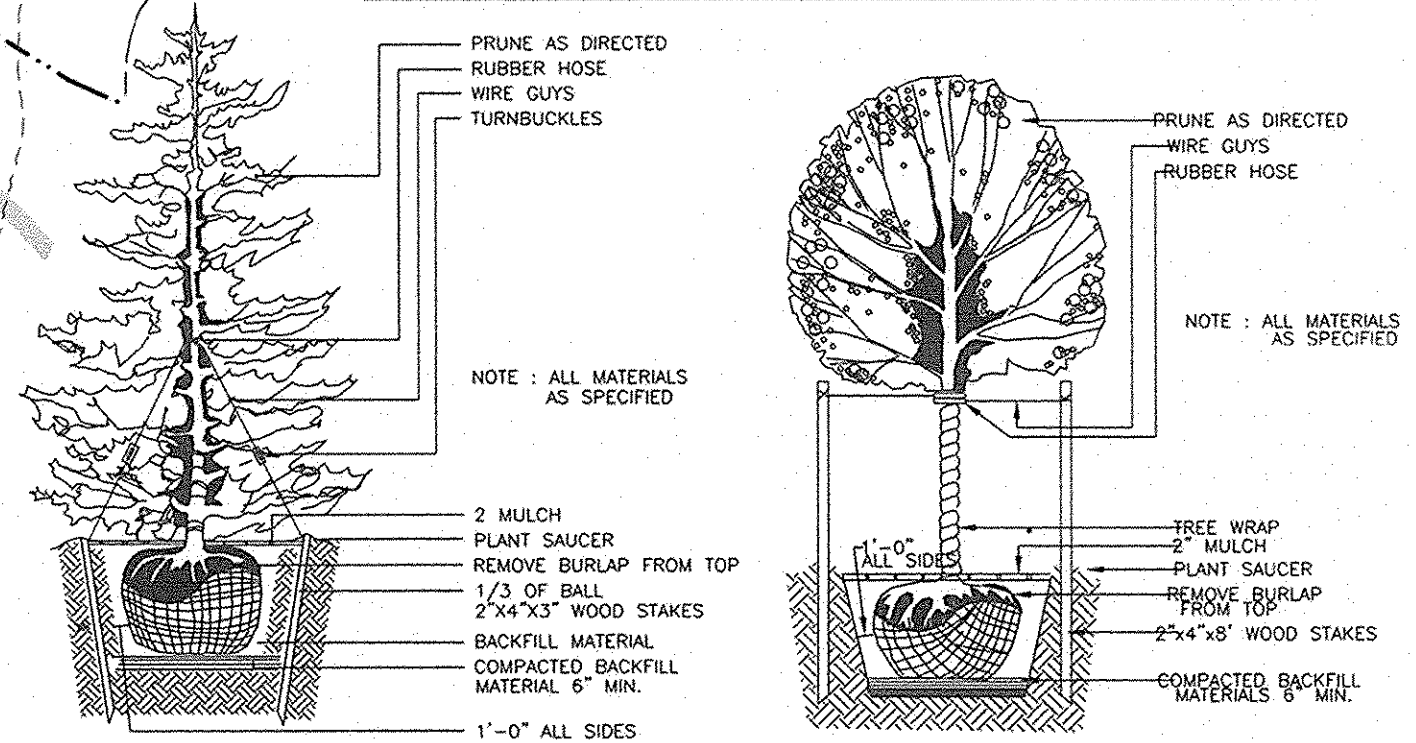
AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE.

LANDSCAPE SURETY

Release of surety will not be granted until all landscaping shown on the approved final plan or site development plan has been completed in accordance with the approved landscape plan. Surety for landscaping shall be based on the total number of required new trees (shade, ornamental and evergreen) of comparable elements shown on the landscape plan. The unit prices to be used for establishing surety requirements shall be in accordance with the adopted County Fee Schedule which is \$300.00 per shade tree and \$150.00 per evergreen/ornamental tree.

Based on all the planting Schedule, the surety for required landscaping is the following:

43 shade trees x \$300.00 = \$12,900.00 (Schedule A)
 1 Evergreen and Small Deciduous X \$150.00 = \$150.00
Total = \$13,050.00



I hereby certify that these documents were prepared or supervised by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12275, Expiration Date 12-28-08.

APPROVED: DEPARTMENT OF PUBLIC WORKS
Walter Z. ... 12-26-07
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Dale Thompson 1/18/08
 CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO.	DATE	DESCRIPTION

PROJECT NAME: **FULTON WOODS PHASE II**
 LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: **LANDSCAPE, STREET TREE AND SOILS PLAN**
 WP-06-076 SP-06-011 F-06-096

PREPARED BY: **DALE THOMPSON**
 BUILDERS 4500 WOODBINE COURT, FULTON, MD 20759
 IN HOUSE ENGINEERING

OWNERS: **DEBORAH C. WILSON**
 12275 ROUTE 216, FULTON, MD. 20759
 TEL. 443-542-9140

DEVELOPER: **FULTON, LLC**
 7017 MEANDERING STREAM WAY, FULTON, MD. 20759
 TEL. 410-995-6736

DES. : JHE/AVG JOB :
 DRW. : AVG PRJ. :
 CHK. : DCW DATE : DEC. 05, 2007

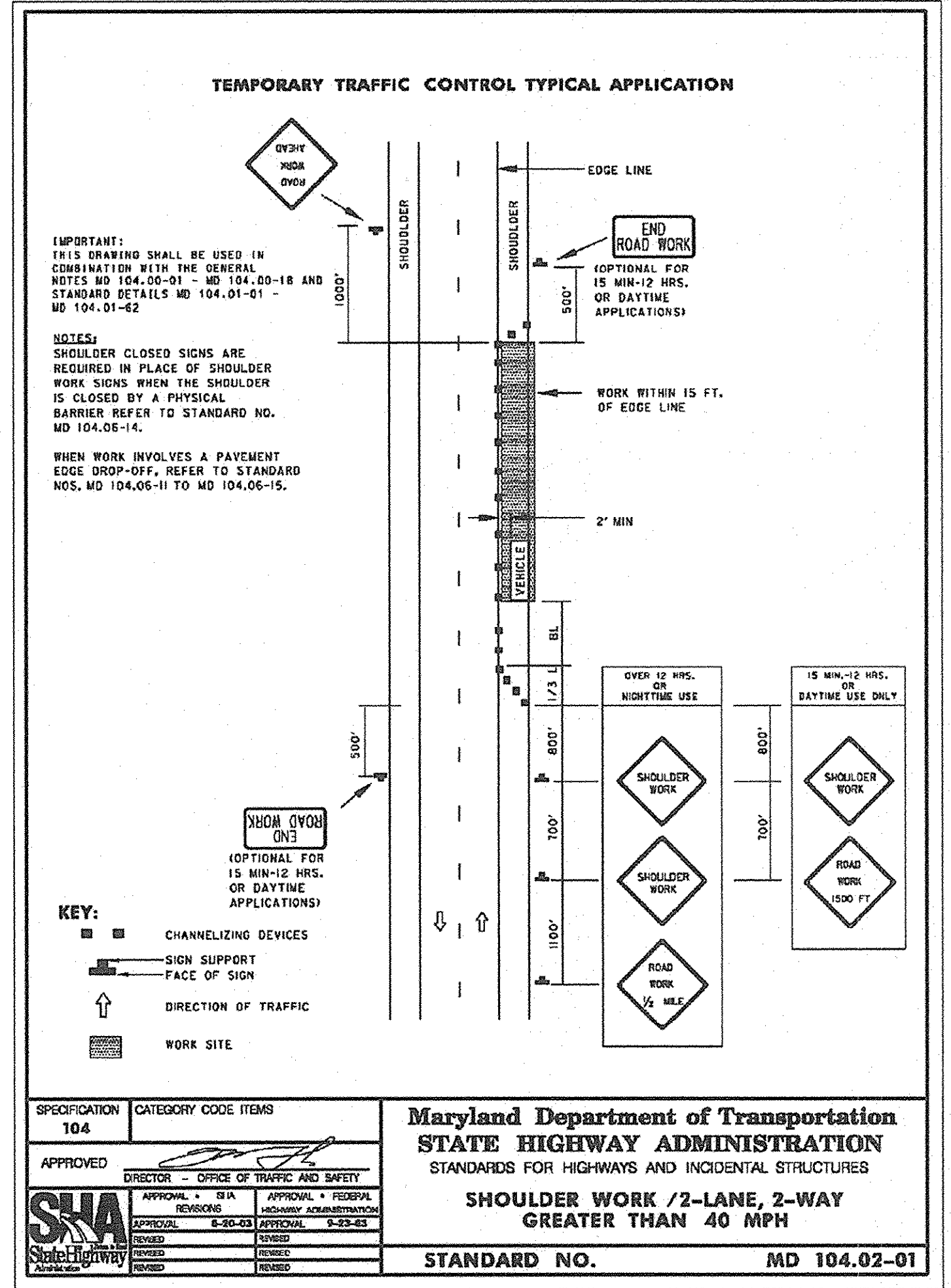
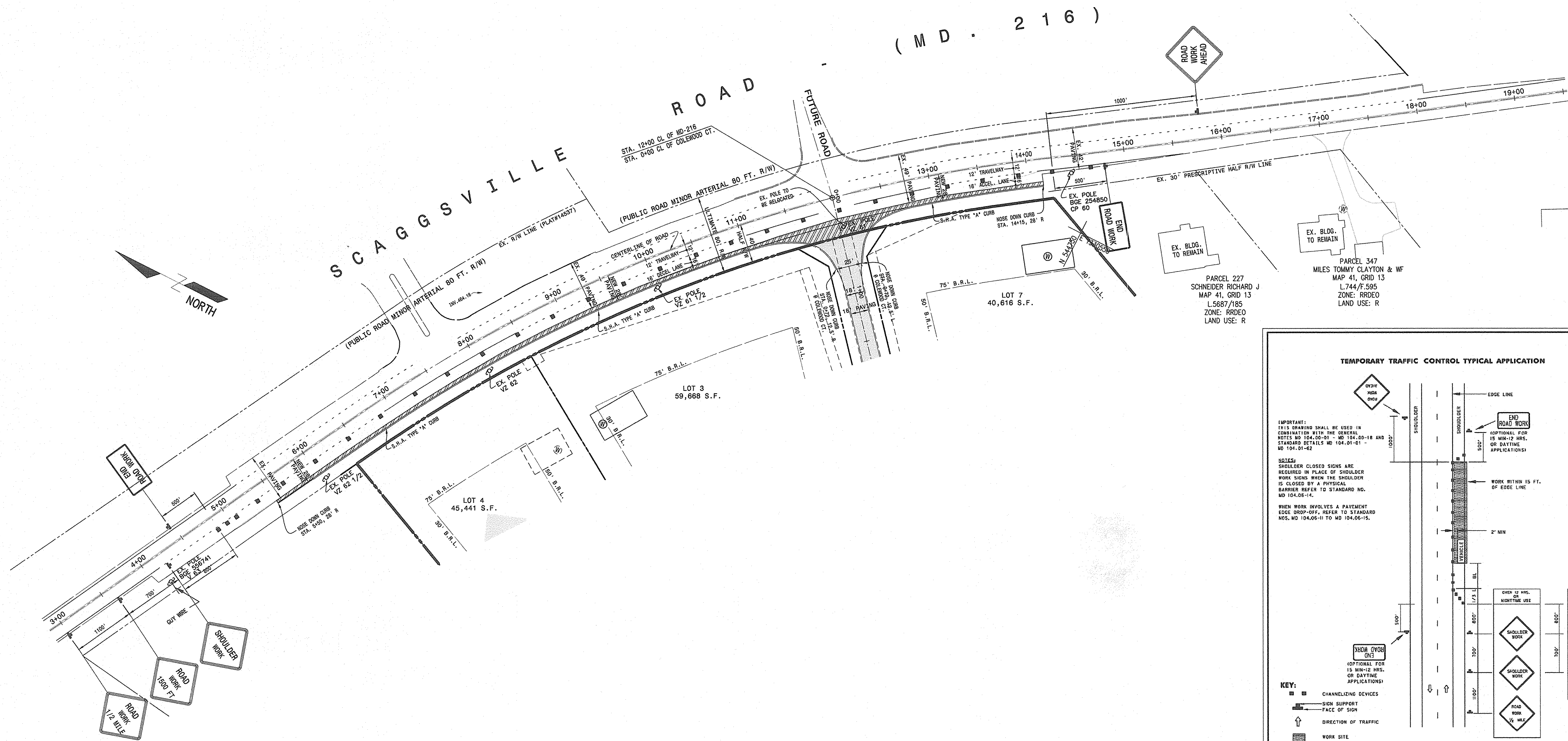
SCALE: 1" = 100'
 SHEET 10 OF 12

PLAN
 SCALE: 1" = 100'

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I / WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I / WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S / OWNER'S NAME: **DALE THOMPSON (MEMBER, FULTON, LLC)**
 DATE: **Dec 5, 2007**



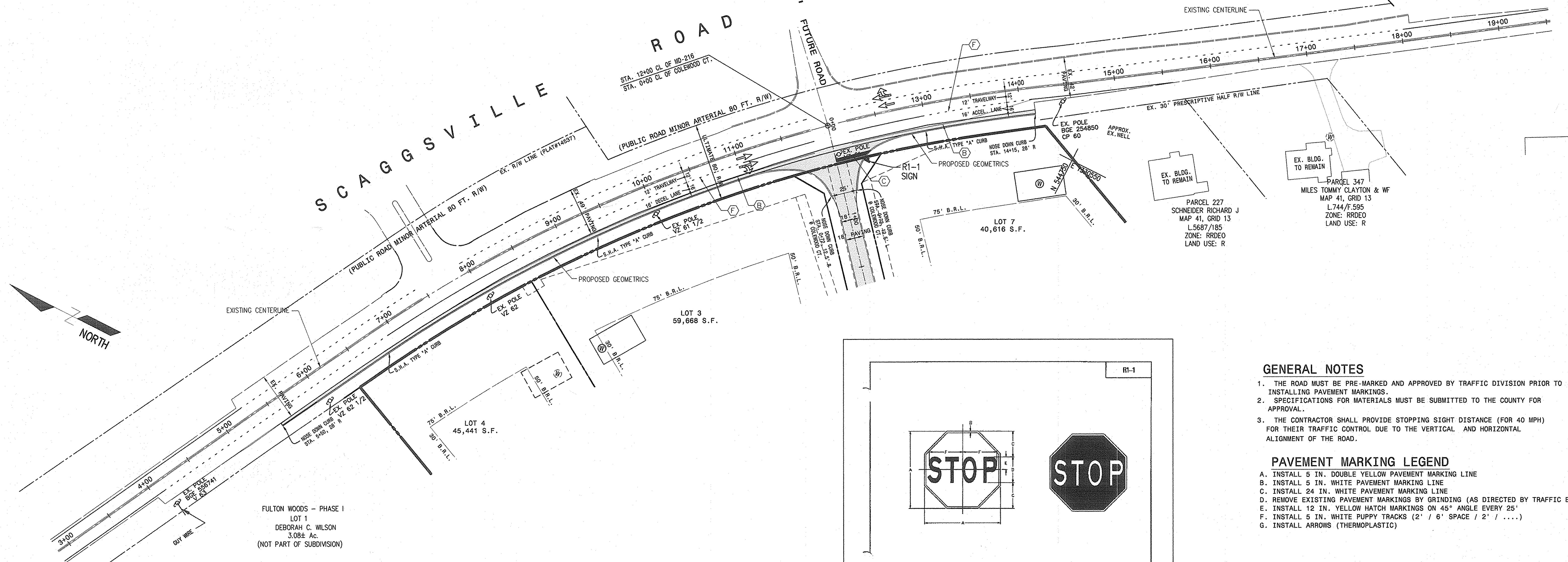
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 13265, Expiration Date: 12-26-08.



APPROVED: DEPARTMENT OF PUBLIC WORKS <i>Willa Z. [Signature]</i> CHIEF, BUREAU OF HIGHWAYS	12-26-07 DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>Cindy [Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	1/10/08 DATE
APPROVED: DEVELOPMENT ENGINEERING DIVISION <i>[Signature]</i>	1/20/08 DATE

PROJECT NAME: FULTON WOODS PHASE II	
LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
MAINTENANCE OF TRAFFIC PLAN AT SCAGGSVILLE ROAD (MD-216)	
WP-06-076	SP-06-011 F-06-096
PREPARED BY: DALE THOMPSON	OWNERS: DEBORAH C. WILSON 12275 ROUTE 216 FULTON, MD. 20759 TEL. 443-542-9140
DESIGNER: JHE/AVG	DEVELOPER: FULTON, LLC 7017 MEANDERING STREAM WAY FULTON, MD. 20759 TEL. 410-995-6736
DRW.: AVG	SCALE: 1" = 50'
DCW	SHEET 11 OF 12

(M D . 2 1 6)



FULTON WOODS - PHASE I
 LOT 1
 DEBORAH C. WILSON
 3.08± Ac.
 (NOT PART OF SUBDIVISION)

R1-1

SIGN SIZE	DIMENSIONS (INCHES)					
	A	B	C	D	E	F
MIN	24	1/2	8	1/2	4	1/2
STD	30	3/4	10	1/2	5	1/2
EXPWY	36	1	12	1/2	6	1/2
SPECIAL	48	1	16	1/2	8	1/2
BIKE	18	3/8	6	1/2	3	7/8

REFERENCES: MUTCD SECTION - 2B-4, 2B-5, 2B-6, 2B-9; MUTCD SUPPLEMENT - 2B-5, 2B-5.1, 2B-5.1.1, 2B-9

COLORS: LEGEND - WHITE; BACKGROUND - RED

APPROVED: DIRECTOR, TRAFFIC & SAFETY DIVISION DATE: 1/12/08	MARYLAND DEPARTMENT OF TRANSPORTATION State Highway Administration OFFICE OF TRAFFIC & SAFETY STOP Section: SIGNING Drawn By: EXHA Date: 12/26/07 Standard No. R1-1
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GENERAL NOTES

1. THE ROAD MUST BE PRE-MARKED AND APPROVED BY TRAFFIC DIVISION PRIOR TO INSTALLING PAVEMENT MARKINGS.
2. SPECIFICATIONS FOR MATERIALS MUST BE SUBMITTED TO THE COUNTY FOR APPROVAL.
3. THE CONTRACTOR SHALL PROVIDE STOPPING SIGHT DISTANCE (FOR 40 MPH) FOR THEIR TRAFFIC CONTROL DUE TO THE VERTICAL AND HORIZONTAL ALIGNMENT OF THE ROAD.

PAVEMENT MARKING LEGEND

- A. INSTALL 5 IN. DOUBLE YELLOW PAVEMENT MARKING LINE
- B. INSTALL 5 IN. WHITE PAVEMENT MARKING LINE
- C. INSTALL 24 IN. WHITE PAVEMENT MARKING LINE
- D. REMOVE EXISTING PAVEMENT MARKINGS BY GRINDING (AS DIRECTED BY TRAFFIC ENGINEER)
- E. INSTALL 12 IN. YELLOW HATCH MARKINGS ON 45° ANGLE EVERY 25'
- F. INSTALL 5 IN. WHITE PUPPY TRACKS (2' / 6' SPACE / 2' / ...)
- G. INSTALL ARROWS (THERMOPLASTIC)

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 13265, Expiration Date: 12-26-08.



APPROVED: DEPARTMENT OF PUBLIC WORKS CHIEF, BUREAU OF HIGHWAYS DATE: 12-26-07	APPROVED: DEPARTMENT OF PLANNING AND ZONING CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 1/12/08	PROJECT NAME: FULTON WOODS PHASE II LOTS 3 THRU 9, BUILDABLE PARCEL 'A' AND NON-BUILDABLE PRESERVATION PARCEL 'B' RESUBDIVISION OF LOT #2, TAX MAP 40 & 41, GRID 13 & 18 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND PAVEMENT MARKING PLAN / M.O.T. AT SCAGGSVILLE ROAD (MD-216) WP-06-076 SP-06-011 F-06-096
PREPARED BY: DALE THOMPSON BUILDERS 4100 ROUTE 420E FULTON, MD 20759 TEL. 443-542-9140		OWNERS: DEBORAH C. WILSON 12275 ROUTE 216 FULTON, MD. 20759 TEL. 443-542-9140
DEVELOPER: FULTON, LLC 7017 MEANDERING STREAM WAY FULTON, MD. 20759 TEL. 410-995-6736		DES. : JHE/AVG JOB : DRW. : AVG PRJ. : CHK. : DCW DATE : DEC. 05, 2007
NO. DATE DESCRIPTION REVISIONS		SCALE: 1" = 50' SHEET 12 OF 12