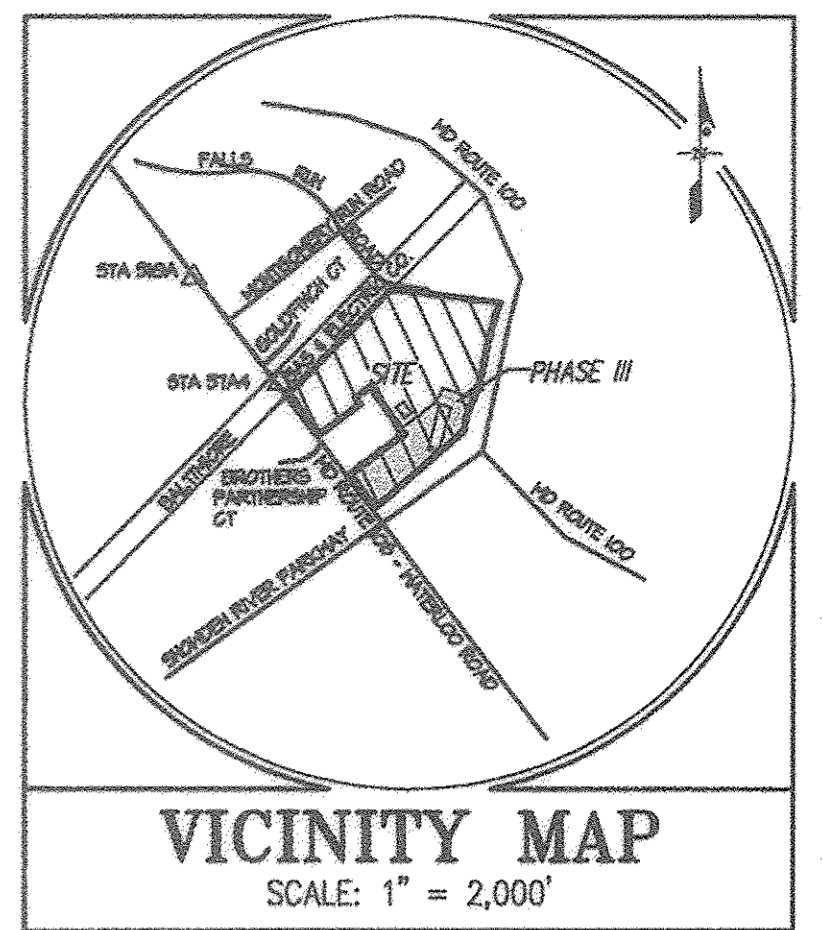


FINAL PLAN SHIPLEY'S GRANT PHASE III

LOTS C-179 thru C-205, & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293 COMMON OPEN SPACE LOT C-214, C-215 & C-294 and NON-BUILDABLE PARCELS C-216 thru C-218

A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664

ASBUILTS



Howard County Control Stations
 316A STANDARD DISC ON CONCRETE MONUMENT
 N 564,425.15, E 1367,067.65
 ELEV. = 511.65
 31A4 STANDARD DISC ON CONCRETE MONUMENT
 N 563,835.91, E 1367,071.85
 ELEV. = 437.28

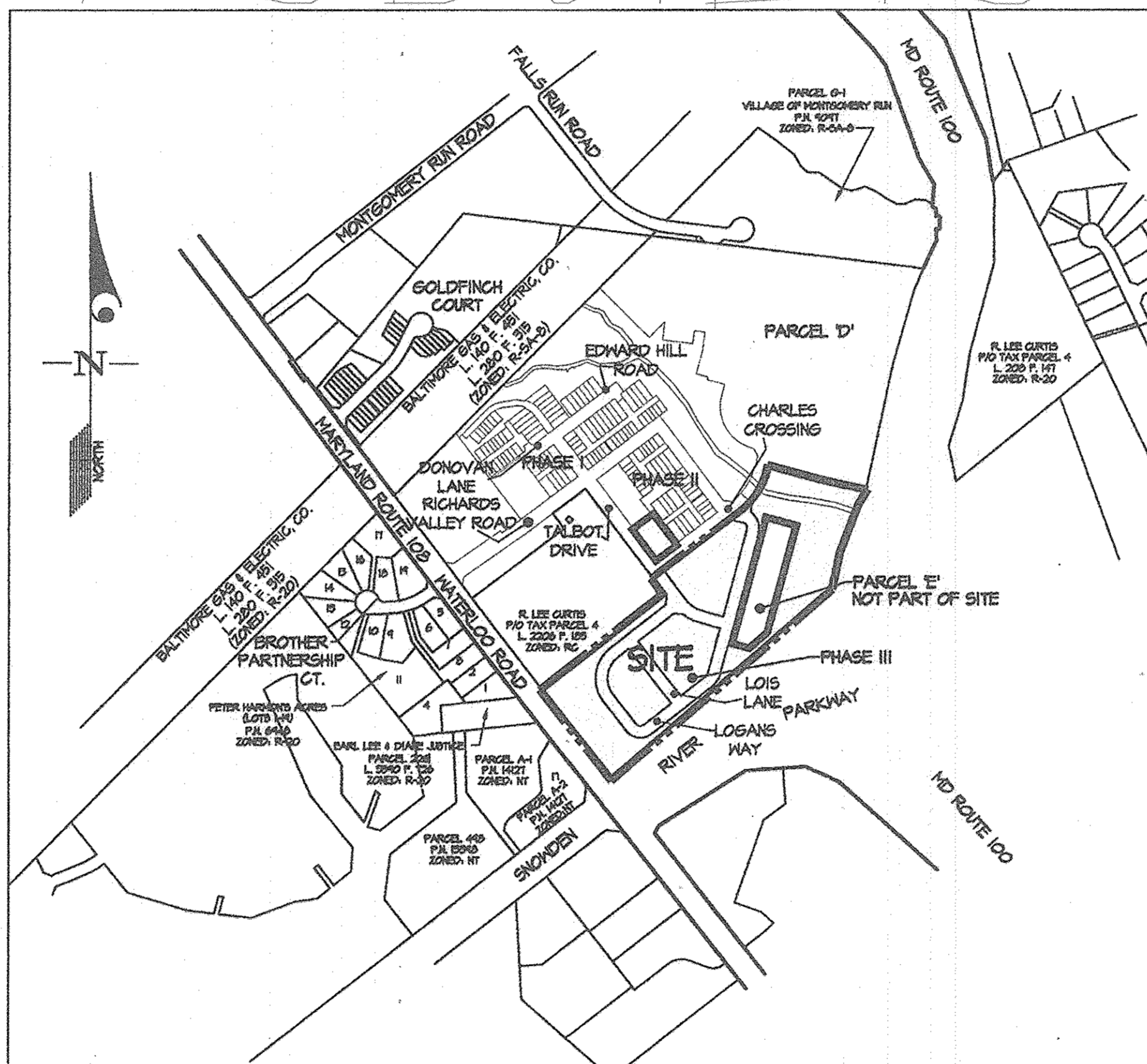
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 315-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- Street light placement and the type of fixture and pole shall be in accordance with the Howard County Design Manual, Volume III (1993) and as modified by "Guidelines for Street Lights in Residential Developments (June 1993)." A minimum spacing of 20' shall be maintained between any streetlight and any tree.
- All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube sleeve (12 gauge) - 3' long. A galvanized steel pole cap shall be mounted on top of each post.
- 45% compaction in road fill areas shall meet AASHTO T-180 requirements.
- Zoning: Site is being developed under the Amended 5th Edition of the Subdivision and Land Development Regulations for RA-15 (including the Supplementary Regulations for Traditional Residential Neighborhoods). This plan is subject to the Amended Zoning Regulations per ZRA-65.
- Applicable DPZ File Reference: S 04-04, NP 04-103, P-06-001, F-06-045, ZRA-65, P-06-004, F-07-001, F 07-48, F 07-54, P-07-011.
- This project is in conformance with the latest Howard County standards unless waivers have been approved (NP 06-045 see Note 36 below).
- Boundary information is from boundary surveys by Gutschick, Little, and Weber, P.A., dated May, 2005.
- Horizontal and vertical datum is based on Howard County Control Stations: 316A, 31A4
- Aerial topography by McKenzle Snyder, Inc. on 3/23/03. Topography NM of Md Route 108 provided by Ho. Co.
- Wetland and stream delineation by Exploration Research, Inc. submitted and approved under Sketch Plan S 04-04 dated 2/15/05. Jurisdictional determination and verification of delineation of waters of the U.S. by U.S. Army Corps of Engineers on 5/23/05. No clearing, grading or construction is permitted within wetlands, streams or their regulated buffers, unless approved by DPZ as necessary disturbances or waivers have been approved. The Department of Planning and Zoning has determined that the proposed road crossing located within the environmental features and buffers are considered necessary road disturbances in accordance with Section 16.116(c) of the Howard County Subdivision and Land Development Regulations.
- The Cemetery Inventory Maps do not show any cemeteries within the project limits. However, a cemetery does exist on the northern corner of the adjacent Curtis Property.
- The Scenic Roads Map does not indicate any scenic roads within or adjacent to the project limits.
- Existing utilities were taken from available Howard County records.
- This property is within the Metropolitan District.
- Water and Sewer are Public per Contract No. 14-4484-D and are with the Little Patuxent Sewerage Area
- 100-Year Flood plain prepared by Gutschick, Little, and Weber, P.A. was submitted and approved as a part of F 06-014 dated September 2006.
- Traffic Study and Traffic Signal Warrant Analysis by The Traffic Group, dated Jan. 26, 2004.
- Vehicle ingress & egress to MD Route 108 is prohibited except as indicated. Vehicle ingress and egress to Snowden River Parkway and MD Route 100 is prohibited.
- The minimum width of Common Open Space Lots that contain alleys shall be 24 feet. The minimum width of alley drive lanes shall be 16 feet.
- All public streets within this development shall have sidewalks on both sides of the roadway. SFA lots may not be encumbered with sidewalks and/or sidewalk easements.
- A Sight Distance Analysis for the entrance from MD State Route 108 was provided and approved with the Sketch Plan S 04-04 on October 7, 2002.
- Common Open Area Lots C-213 thru C-215 are for the purpose of common ingress/egress and utility construction and maintenance. An easement for ingress/egress, maintenance and various public utilities (gas, telephone, electric, etc.) construction and maintenance will be overlaid with those lots as part of the final plat process.
- Noise study by Wyle Laboratories, dated May 12, 2005 and updated July 12, 2005
- A Forest Stand Delineation Plan was submitted and approved for the area covered by this plan under S 04-04 February 15, 2005. A Forest Conservation Plan was submitted and approved for the area covered by this plan under F 06-014.
- To fulfill the forest conservation requirements of this site, at least 10.04 acres of forest conservation easement is required. This requirement is addressed by providing 8.74 acres of easement area on-site that is comprised of 1.48 acres of net tract forest retention, 1.57 acres of non-credited forest retention within the floodplain and 5.74 acres of on-site afforestation. 2.15 ac. of the total 9.74 ac. of afforestation is in FCE #5 on Non-Buildable Parcel D on the approved F-06-014 FCE, and the easement for 2.13 ac. afforestation FCE #5 is to be recorded on the future resubdivision plat for Non-Buildable Parcel D. Additionally, 1.50 acres of easement area off-site is to be provided comprised of forest conservation banking.
- Where referred to herein, "Lot(s)" includes lot(s) as defined in Subdivision Sections 102(b)(30) and 102(b)(6c).
- All Open Space Lots and Common Open Space Lots are to be conveyed to the Shipley's Grant Homeowner's Association.
- The maximum allowed mean height of a principal structure in the RA-15 Zone shall be 55-feet and the mean height of accessory structures shall be 15-feet.
- As indicated in the legend, there are parking spaces that are provided to meet the parking requirement of the Zoning Ordinance for this phase of the subdivision. These parking spaces are lot specific, as indicated on the plan, and shall be reserved by signage or other methods as approved by Howard County. All non-reserved spaces shall be available for overflow / guest parking.
- During the 2006 legislative session, the County Council of Howard County introduced Bill ZRA-65 to amend the Howard County Zoning Regulations pertaining to Traditional Residential Neighborhoods by expanding the applicability of the regulations to B-1 and FGR zoning districts, changing setback requirements, and changing maximum lot coverage, under certain circumstances. The effective date of the amended Zoning Regulations is April 10, 2006.
- The approved sketch and preliminary plans for this subdivision/project indicated the 50' and 75' stream buffers referenced from the centerlines of the streams, which did not cause the stream buffers to be located on any residential lots. A DPZ and HSCD policy decision was made at the final plat and site development plan stages of this subdivision/project to indicate the 50' and 75' stream buffers referenced from the streamlines, to allow the stream buffers on residential lots less than 10 acres in size, and to not require the 50' stream setback referenced from a stream buffer located on a residential lot as normally required by subdivision section 16.120(b)(4)(ii). This "grandfathering" policy was based on earlier approvals of the related sketch and preliminary plans for this subdivision/project.

- On July 14, 2004, NP 04-103, a waiver of Section 16.120(c)(4) was granted which requires single family attached lots to have at least 15' of frontage onto a public road right-of-way; Section 16.114(e)(3), which requires truncation of public road right-of-way boundaries where public roads intersect (at corner lots); and Section 16.116.2(f) which prohibits disturbance to streams and stream buffers, to allow construction of two pedestrian bridges to cross the streams. Subject to the following 2 conditions in the approval letter:
 1. The disturbance to the stream and stream buffer related to the pedestrian bridges shall be minimized. The Preliminary Plan shall show the limit of disturbance and proposed grading associated with the bridges, and shall be subject to review and approval by the Subdivision Review Committee.
 2. If it is determined by the DEED that slight distance is inadequate at the intersections for which truncation is waived, then the appropriate easements must be added to the plan/plat.

- On March 23, 2006, NP-06-45, approved the waivers for the following: Section 16.116(a)(1) request to be permitted to grade within 25 feet of a wetland; Section 16.116(a)(2)(ii) request to be permitted to grade within 75 feet of a perennial stream; Section 16.114(f)(ii) request to be permitted to obtain vehicular access from minor arterial road instead of a lesser classification road for a proposed subdivision that fronts on minor and principle arterial roads and local road; Section 16.120(c)(ii) request to be permitted to create commercial and apartment/multifamily parcels without a minimum of 60 feet of frontage on an approved public road, and Section 16.114(f) request to be permitted to not submit and obtain approval of the required preliminary plan for a major subdivision before submitting the required final plan/plat. Subject to the following 4 conditions in the approval letter:
 1. Compliance with the DEED comments of 2/14/06
 2. The stream and wetland buffers shall be afforested in accordance with the forest conservation plan for final plan/plat, F-06-14.
 3. The applicant must obtain all required State/COE permits.
 4. The stream and wetland buffer disturbances shall not exceed the one shown on the NP-06-45 exhibit of 2/2/06.

- Water Quality and Channel Protection for Phase III is provided by existing SWM-Facilities 'B' and 'C' approved under F-06-014. The Recharge (Rev) Requirement Phase III is provided by an infiltration system (Rev15 and Rev16). This system consists of an underground pipe manifold system. Water draining to this system is to be pre-treated by a Stormceptor Water Filtration device (Rev15).

- Rev 15 and 16 are to be privately owned and maintained.
- Landscape swaley in the amount of \$14,000.00 shall be posted as a part of the Developer's Agreement.



- ### LEGEND
- ==== EXIST. CURB & GUTTER/PAVEMENT
 - ===== STANDARD CURB & GUTTER
 - PROPOSED REVERSE
 - TEMPORARY BITUMINOUS CURB
 - EX 8" S EXISTING SEWER MAIN
 - EX 8" W EXISTING WATER MAIN
 - PROPOSED SEWER MAIN
 - PROPOSED WATER MAIN
 - EX 18" SD EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - PROPOSED SIDEWALK
 - NUMBER OF PARKING SPACES
 - PROP. BARRICADE
 - PROP. LIMIT OF DISTURBANCE
 - STRUCTURE NUMBER
 - EXISTING CONTOUR
 - PROP. CONTOUR
 - EXISTING TREELINE
 - 25' WETLAND BUFFER
 - STREAM BUFFER
 - 100 YEAR FLOODPLAIN
 - CENTERLINE OF STREAM
 - WETLAND
 - LIMIT OF SUBMISSION
 - PROPOSED / EXISTING EASEMENT
 - PROPOSED PAVEMENT
 - MHU OFF-STREET PARKING SPACE (LOT SPECIFIC)
 - STREET TREE
 - ON-SITE AFFORESTATION AREA PER F-06-014
 - FLOODPLAIN FOREST RETENTION PER F-06-014 (NO CREDIT FOR RETENTION)
 - NET TRACT FOREST RETENTION PER F-06-014
 - AFFORESTATION AREA IN THE FLOODPLAIN PER F-06-014
 - NATURAL FOREST RETENTION AREA AND FOREST REMOVAL AREA IN THE FLOODPLAIN PER F-06-014
 - STREET LIGHT LOCATION

SFA PARKING ANALYSIS

Total Parking Required: 65 units x 2 spaces/unit = 130 Spaces
 Garages: 118 Spaces (2 Car Garages)
 6 Spaces (1 Car Garage - MHU's)
 6 Spaces On-Street Parking
 Total: 130 Spaces
 Overflow/Guest Parking Requirements (per Design Manual Volume III, 2.2.2)
 Parking Required: 65 units x 0.35 spaces per unit = 20 Spaces
 Overflow/Guest Parking available: 24 Spaces (On-Street Parking)

SHEET INDEX

- COVER SHEET
- TALBOT DRIVE PLAN AND PROFILE
- LOGANS WAY & LOIS LANE PLAN AND PROFILE
- LOGANS WAY PLAN AND PROFILE
- PAVING DELINEATION - LIGHTING - AND SIGNAGE PLAN
- GRADING PLAN
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL DETAILS
- STORM DRAIN PROFILES
- STORM DRAIN PROFILES
- STORM DRAIN DRAINAGE AREA MAP
- LANDSCAPE AND STREET TREE PLAN
- DETAILS & LANDSCAPE NOTES
- CURB RETURN PROFILES

| FOREST CONSERVATION EASEMENT (FCE) AREA | 1 | 2 (A-D) | 3 | 4 | TOTAL |
|---|------|---------|------|------|-------|
| PARCEL WHERE FCE IS LOCATED | C | C | C | C | |
| CREDITED FOREST RETENTION AREA ON NET TRACT (IN AC.) | N/A | 1.40 | 0.08 | N/A | 1.48 |
| NON-CREDITED FOREST RETENTION AREA IN FLOODPLAIN (IN AC.) | N/A | 1.21 | 0.30 | 0.05 | 1.57 |
| FOREST PLANTING AREA OUTSIDE THE FLOODPLAIN (IN AC.) | 0.27 | 2.33 | 0.32 | 0.46 | 3.38 |
| FOREST PLANTING AREA WITHIN THE FLOODPLAIN (IN AC.) | N/A | 0.14 | 0.04 | 0.05 | 0.23 |
| TOTAL ACRAGE OF AFFORESTATION PROVIDED (IN AC.) | 0.27 | 2.47 | 0.36 | 0.51 | 3.61 |
| NATURAL REGENERATION AREA (IN AC.) | N/A | N/A | N/A | N/A | N/A |
| MINIMUM TOTAL AREA IN CONSERVATION EASEMENT (IN AC.) | 0.27 | 5.08 | 0.74 | 0.57 | 6.66 |

| PHASE No. | CO. FILE No. | R-A-15 ZONE AREAS | | | | | | | | | | B-1 ZONE | FOR ZONE | | | | | |
|------------------|--------------|-------------------|--------------------|-----------|----------|------------------------------|----------------------|---------------------------|--------------------|-----------------------------------|--------------------|--------------------|----------|----------------------------------|------------------|---------------|----------------------|---------------|
| | | GROSS | 100 YR FLOOD PLAIN | NET | SFA LOTS | MIN. REGRD. O/S ¹ | CREDITED O/S PROV. 2 | NON-CREDITED O/S PROVIDED | TOTAL O/S PROVIDED | MIN. REGRD. REC. O/S ³ | REC. O/S PROVIDED | | | MIN. REGRD. TND O/S ⁴ | TND O/S PROVIDED | APTS. PARCELS | FUBLIC ROADS | PRIVATE ROADS |
| PHASE I | F-07-043 | 13.63 AC. | 1.26 AC. | 12.21 AC. | 2.15 AC. | 8.2 AC. (60%) | 0.3 AC. | 8.6 AC. | 24,800 SF. | 57,245 SF. | 0.7 AC./24,612 SF. | 0.9 AC./34,910 SF. | 0 AC. | 2.0 AC. | 0.9 AC. | 0.1 AC. | 4.2 AC. ⁵ | 0 AC. |
| PHASE II | F-07-059 | 5.81 AC. | 0 AC. | 5.81 AC. | 2.36 AC. | 1.5 AC. (26%) | 0.1 AC. | 0.7 AC. | 24,800 SF. | 28,248 SF. | 0.3 AC./13,068 SF. | 0.9 AC./40,144 SF. | 0 AC. | 2.1 AC. | 0.7 AC. | 0 AC. | 0 AC. | |
| PHASE III | F-06-008 | 13.35 AC. | 0.30 AC. | 13.35 AC. | 2.84 AC. | 3.5 AC. (26%) | 0.4 AC. | 6.3 AC. | 26,000 SF. | 27,618 SF. | 0.7 AC./30,492 SF. | 0 AC./0 SF. | 0 AC. | 2.9 AC. | 0.8 AC. | 0 AC. | 0 AC. | |
| CUMULATIVE TOTAL | | 32.79 AC. | 1.86 AC. | 31.43 AC. | 7.35 AC. | 14.7 AC. (44%) | 0.8 AC. | 15.6 AC. | 72,900 SF. | 113,111 SF. | 1.7 AC./13,181 SF. | 1.8 AC./14,954 SF. | 0 AC. | 7.0 AC. | 2.4 AC. | 4.2 AC. | 0 AC. | |

* PARCELS 'A' AND 'B' PREVIOUSLY RECORDED UNDER F 06-014

- NOTES:
- MINIMUM REQUIRED OPEN SPACE (O/S) IS CALCULATED AS 25% OF THE GROSS AREA.
 - PERCENT OPEN SPACE PROVIDED IS OF THE GROSS AREA.
 - MINIMUM REQUIRED RECREATION OPEN SPACE (ROS) IS CALCULATED AS 400 SF. PER UNIT.
 - MINIMUM REQUIRED TRADITIONAL NEIGHBORHOOD O/S IS CALCULATED AS 20% OF THE REQUIRED OPEN SPACE.
 - MINIMUM REQUIRED MHU'S ARE CALCULATED AS 10% OF THE TOTAL NUMBER OF UNITS.

| PHASE No. | R-A-15 UNIT TABULATION | | | | | | | MODERATE INCOME HOUSING UNITS | | |
|------------------|-----------------------------|-----------|--------------------------------------|----------------|---------------|------------|------------------|-------------------------------|-----------------------------------|----------------|
| | MAX. NO. OF UNITS PERMITTED | NET | MAX. UNIT DENSITY (15 UNITS/NET AC.) | STD. SFA UNITS | MHU SFA UNITS | APT. UNITS | TOTAL UNITS | PROPOSED UNIT DENSITY | REQUIRED MHU'S @ 10% ⁵ | PROPOSED MHU'S |
| PHASE I | 12,21 AC. | 12.21 | 104 | 52 | 10 | 0 | 62 | 5 UNITS / AC. | 6 | 10 |
| PHASE II | 5.81 AC. | 5.81 | 56 | 6 | 0 | 62 | 10.6 UNITS / AC. | 6 | 6 | 6 |
| PHASE III | 13.35 AC. | 200 | 54 | 6 | 0 | 65 | 4.9 UNITS / AC. | 7 | 6 | 6 |
| CUMULATIVE TOTAL | | 31.43 AC. | 471 | 167 | 22 | 0 | 184 | 6.0 UNITS / AC. | 19 | 22 |

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14431, Expiration Date: May 21, 2010.
 Date: 7/16/10
 Michael J. Trapp
 PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 14431, Expiration Date: May 21, 2010.
 Date: 7/16/10
 Michael J. Trapp
 PROFESSIONAL ENGINEER

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-9-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 8/17/10

Chief, Development Engineering Division
 Date: 8/17/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3309 NATIONAL DRIVE - SUITE 250 - BIRTSVILLE OFFICE PARK
 BIRTSVILLE, MARYLAND 20855
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

| DATE | REVISION | DES. mjt | DRN. mjt | CHK. |
|---------|--|----------|----------|------|
| 7/16/10 | UPDATE PROPERTY LINES AND LOT ID'S PER PLAT F 10-040 | MJT | MJT | |
| | | BY | APPR. | |

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
 BA WATERLOO TOWNHOMES, LLC.
 c/o BOZZUTO HOMES, INC.
 7850 WALKER DRIVE, SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL
 301-623-1525

REVISED COVER SHEET
SHIPLEY'S GRANT
 PHASE III
 LOTS C-179 thru C-205, & C-256 thru C-291 OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
 COMMON OPEN SPACE LOTS C-214, C-215 & C-294 and NON-BUILDABLE PARCELS C-216 thru C-218
 A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664
 HOWARD COUNTY, MARYLAND

| SCALE | ZONING | G. L. W. FILE No. |
|-----------|----------------|-------------------|
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| NOV. 2015 | 37-1&2 | 1 OF 14 |

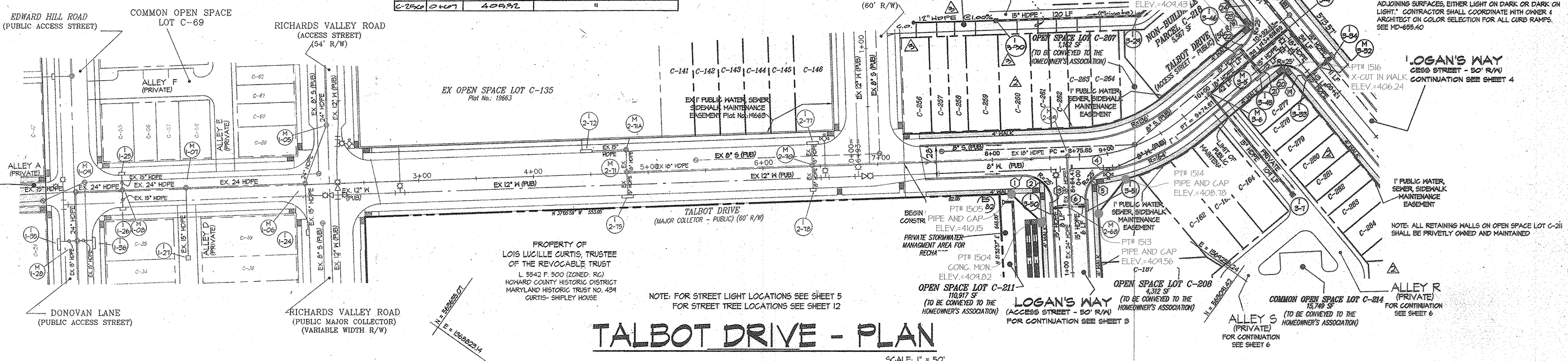
| CENTERLINE CURVE DATA | | | | | | | | | |
|-----------------------|-----------|-------------|-----------|---------|--------|---------|--------|------------------|-------------|
| STREET NAME | P.C. STA. | P.C.C. STA. | P.T. STA. | RADIUS | ARC | TANGENT | CHORD | BEARING | DELTA |
| TALBOT DRIVE | 8+75.65 | --- | 9+14.61 | 150.00' | 49.96' | 51.56' | 71.19' | S. 56° 00' 02" E | 91° 48' 05" |

| Storm Drain Lateral Schedule | | | |
|------------------------------|------|------------------|-------------------------------------|
| Lot No. | Sta. | Invert Elevation | Description |
| C-204 | 0+91 | 402.04 | 4" HDPE Tee rotated 45° up for 1' |
| C-204 | 0+91 | 402.84 | Verl. 4" HDPE 45° bend up for 1.00' |
| C-202 | 0+40 | 404.02 | " |
| C-201 | 0+25 | 404.17 | " |
| C-200 | 1+09 | 404.35 | " |
| C-200 | 0+15 | 404.74 | " |
| C-200 | 0+29 | 404.80 | " |
| C-200 | 0+40 | 405.14 | " |
| C-200 | 0+47 | 405.92 | " |

| CURB FLOW LINE ELEVATION TABLE | | | | |
|--------------------------------|----------|------|----------|--------|
| PT. NO. | STATION | ROAD | OFFSET | ELEV. |
| (1) | 8+26.14 | TD | 14' R | 404.35 |
| (2) | 0+20.81 | LH | 21.7' R | 404.10 |
| (3) | 0+29.33 | LH | 14' R | 408.26 |
| (4) | 8+48.32 | TD | 14' R | 408.28 |
| (5) | 0+21.07 | LH | 20.18' L | 408.56 |
| (6) | 0+51.52 | LH | 14' L | 408.84 |
| (7) | 13+20.64 | LH | 14' L | 406.41 |
| (8) | 13+48.37 | LH | 21.32' L | 406.11 |
| (9) | 10+53.03 | TD | 14' R | 405.80 |
| (10) | 10+53.03 | TD | 14' L | 405.80 |
| (11) | 13+41.01 | LH | 21.32' L | 405.51 |
| (12) | 14+02.64 | LH | 14' L | 405.23 |

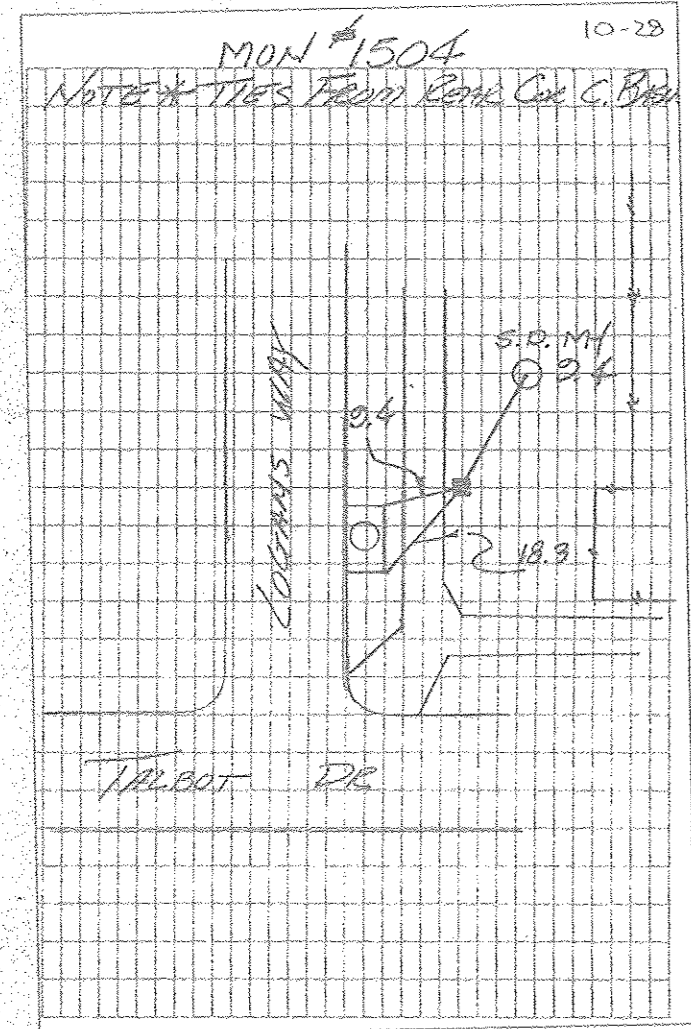
TD=TALBOT DRIVE
LH=LOGAN'S WAY
LL=LOIS LANE

EX. PUBLIC WATER, SEWER & UTILITY EASEMENT Plot No. 19235

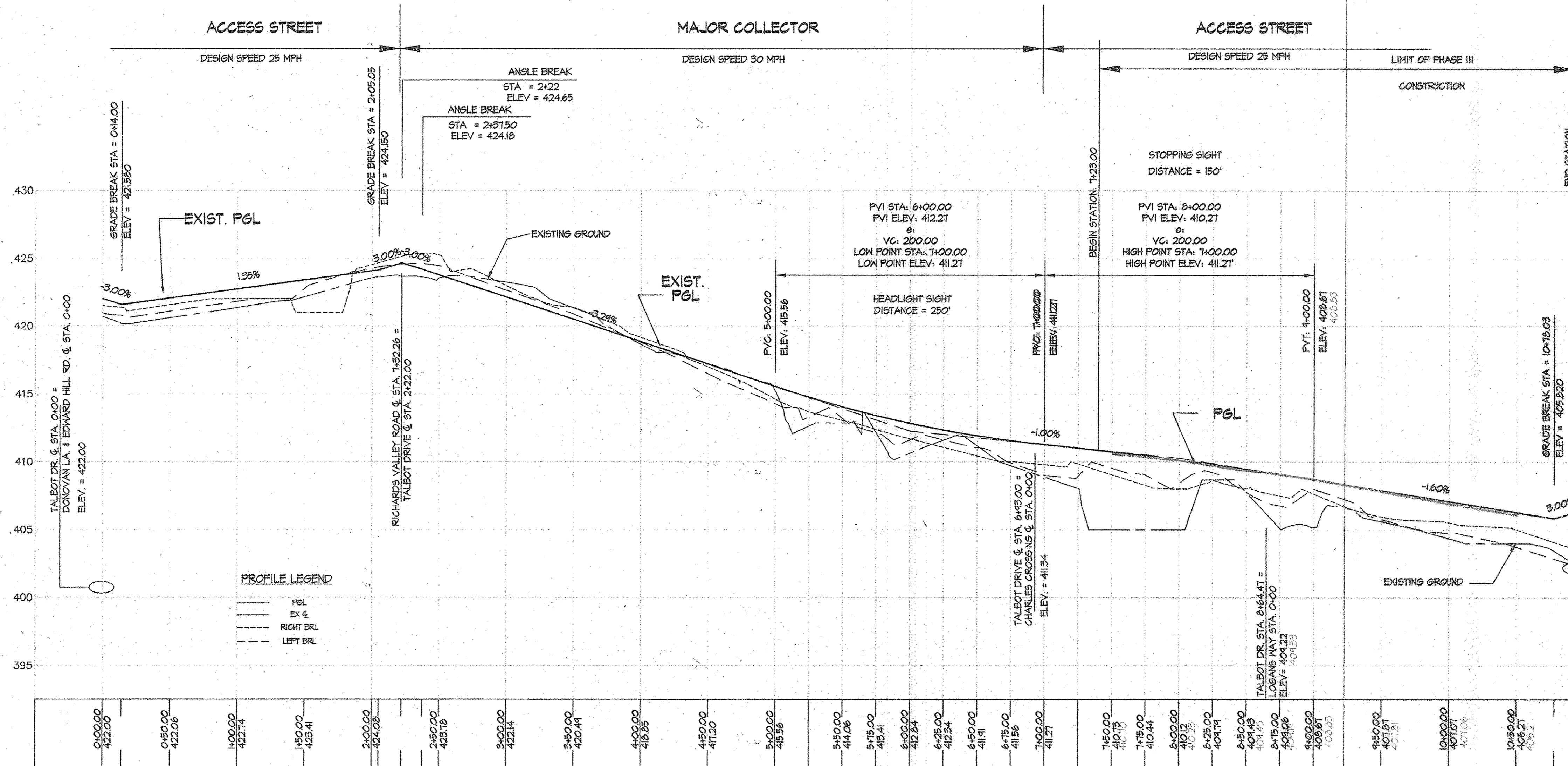


TALBOT DRIVE - PLAN

SCALE: 1" = 50'



CONCRETE MONUMENT # 1504



TALBOT DRIVE - PROFILE

SCALE: (H) 1" = 50'
(V) 1" = 5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. Williams 8-9-10
Chief, Bureau of Highways
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Kurt Shelton 8/10/10
Chief, Division of Land Development
Date

Michael J. Troop 8/17/10
Chief, Development Engineering Division
Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 220 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20896
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4166

| DATE | REVISION | BY | APP'R. |
|--------|--|------|--------|
| 4/1/11 | Add Lateral Conn. For Lots C-135 Thru C-204 | Wend | MT |
| 7/6/10 | UPDATE PROPERTY LINES AND LOT ID'S PER PLAT F 10-040 | MJT | MJT |

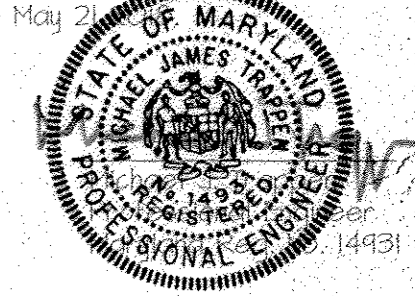
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7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL
301-623-1525

REVISION TALBOT DRIVE PLAN AND PROFILE
SHIPLEY'S GRANT
PHASE III
LOTS C-179 thru C-205, & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
COMMON OPEN SPACE LOT C-214, C-215 & C-294 AND NON-BUILDABLE PARCELS C-216 thru C-218
A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664
ELECTION DISTRICT No. 1

| SCALE | ZONING | G. L. W. FILE No. |
|------------------------|----------------|-------------------|
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| NOV 2015 JULY, 2010 | 37-1&2 | 2 OF 14 |

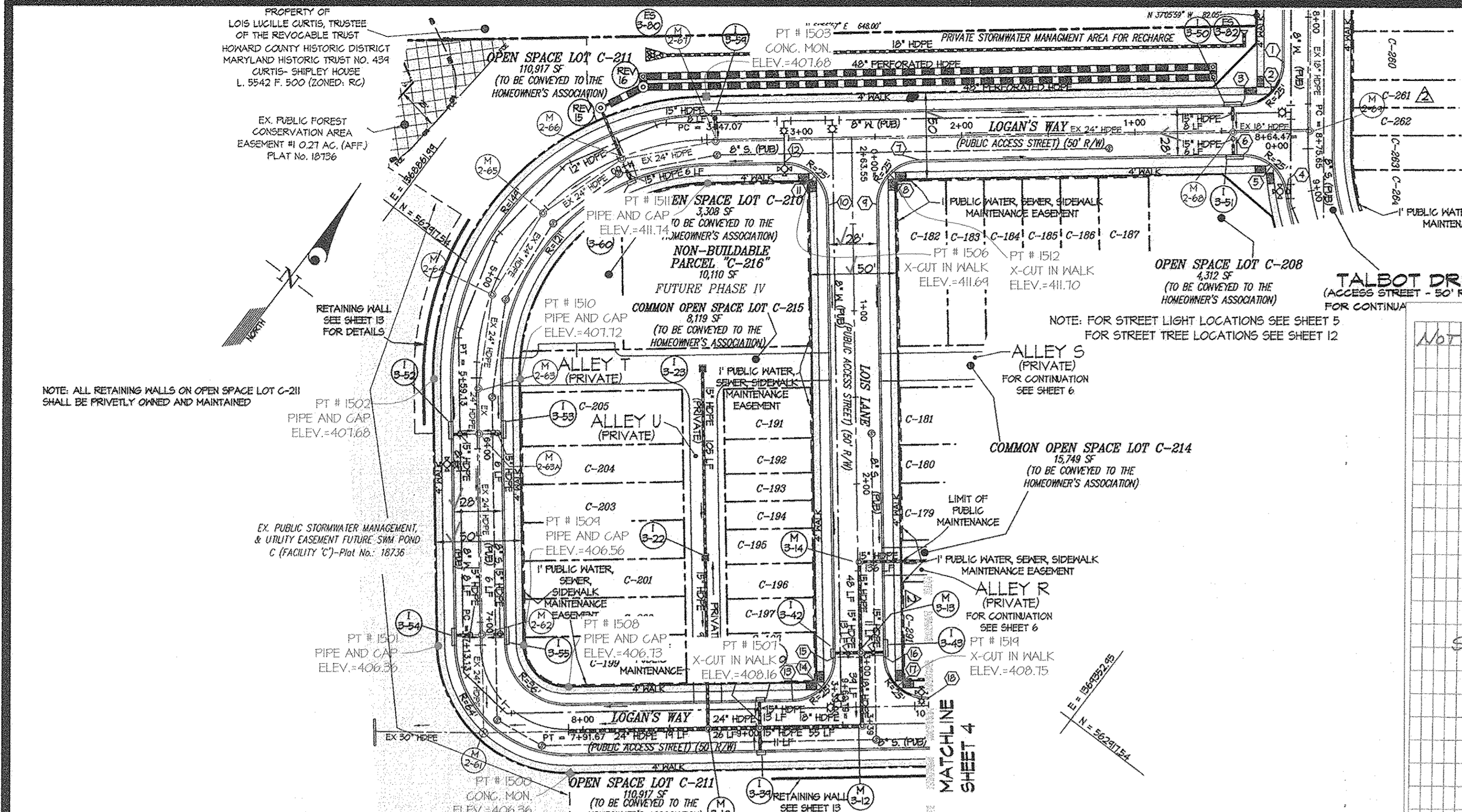
ASBULTS F 08-006

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14431, Expiration Date: May 21, 2010.



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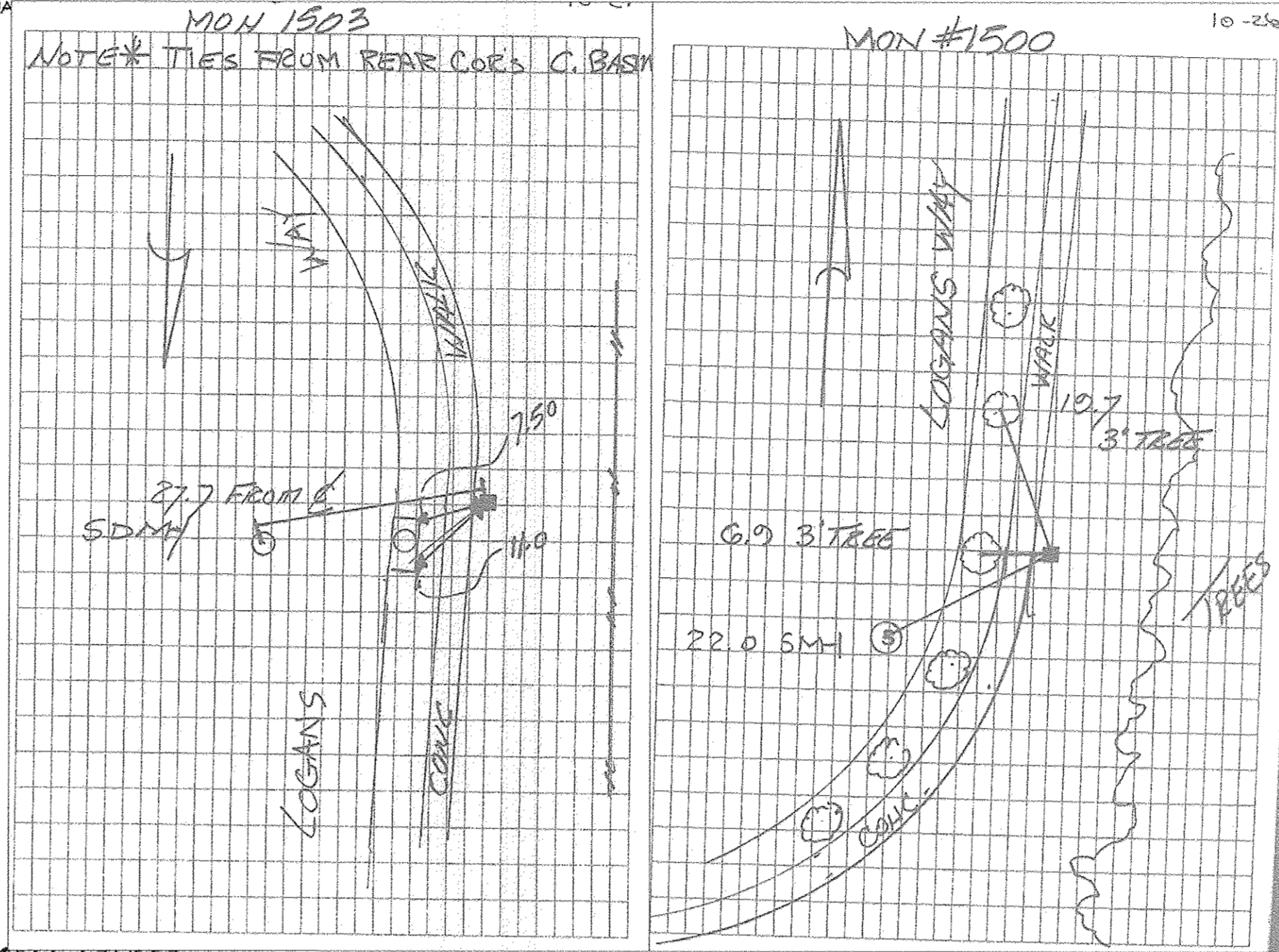
Michael J. Troop
Professional Engineer



| CENTERLINE CURVE DATA | | | | | | | | | |
|-----------------------|-----------|-------------|-----------|---------|---------|---------|---------|-------------------|-------------|
| STREET NAME | P.C. STA. | P.C.C. STA. | P.T. STA. | RADIUS | ARC | TANGENT | CHORD | BEARING | DELTA |
| LOGAN'S WAY | 3+41.01 | --- | 5+91.13 | 135.00' | 212.06' | 135.00' | 140.42' | N. 06° 54' 44" E. | 90° 00' 00" |
| LOGAN'S WAY | 7+13.13 | --- | 7+41.67 | 500.00' | 78.54' | 50.00' | 70.71' | N. 83° 08' 16" W. | 90° 00' 00" |

| CURB FLOW LINE ELEVATION TABLE | | | | | | | | | | |
|--------------------------------|---------|---------|------|----------|--------|---------|---------|------|----------|--------|
| ELEV. | PT. NO. | STATION | ROAD | OFFSET | ELEV. | PT. NO. | STATION | ROAD | OFFSET | ELEV. |
| 409.36 | (1) | 8+26.14 | TD | 14' R | 409.35 | (11) | 2+84.88 | LM | 21.32' L | 411.54 |
| 409.17 | (2) | 0+20.81 | LM | 21.17' R | 409.10 | (12) | 3+02.55 | LM | 14' L | 411.44 |
| 408.94 | (3) | 0+38.33 | LM | 14' R | 408.86 | (13) | 4+21.19 | LM | 14' L | 407.76 |
| 408.55 | (4) | 8+48.32 | TD | 14' R | 408.28 | (14) | 9+38.87 | LM | 21.32' L | 407.82 |
| 408.52 | (5) | 0+21.07 | LM | 20.18' L | 408.58 | (15) | 3+00 | LL | 14' R | 408.04 |
| 408.66 | (6) | 0+57.52 | LM | 14' L | 408.84 | (16) | 3+00 | LL | 14' L | 408.04 |
| 411.52 | (7) | 2+24.55 | LM | 14' L | 411.53 | (17) | 9+81.51 | LM | 21.32' L | 408.60 |
| 411.66 | (8) | 2+42.23 | LM | 21.32' L | 411.64 | (18) | 9+49.19 | LM | 14' L | 408.71 |
| 410.95 | (9) | 0+39 | LL | 14' L | 410.90 | | | | | |
| 410.91 | (10) | 0+39 | LL | 14' R | 410.90 | | | | | |

NOTE: ALL SIDEWALK RAMP SURFACE SHALL CONFORM TO ADAAG 4.24 FOR DETECTABLE WARNING. ADAAG 4.24 STATES "DETECTABLE WARNING SHALL CONSIST OF RAISED TRIANGULAR DOMES WITH A DIAMETER OF NOMINAL 0.4', A HEIGHT OF NOMINAL 0.2" AND A CENTER TO CENTER SPACING OF NOMINAL 2.35' AND CONTRAST VISUALLY WITH ADJOINING SURFACES EITHER LIGHT OR DARK OR DARK OR LIGHT". CONTRACTOR SHALL COORDINATE WITH OWNER & ARCHITECT ON COLOR SELECTION FOR ALL CURB RAMPS. SEE MD-695.40

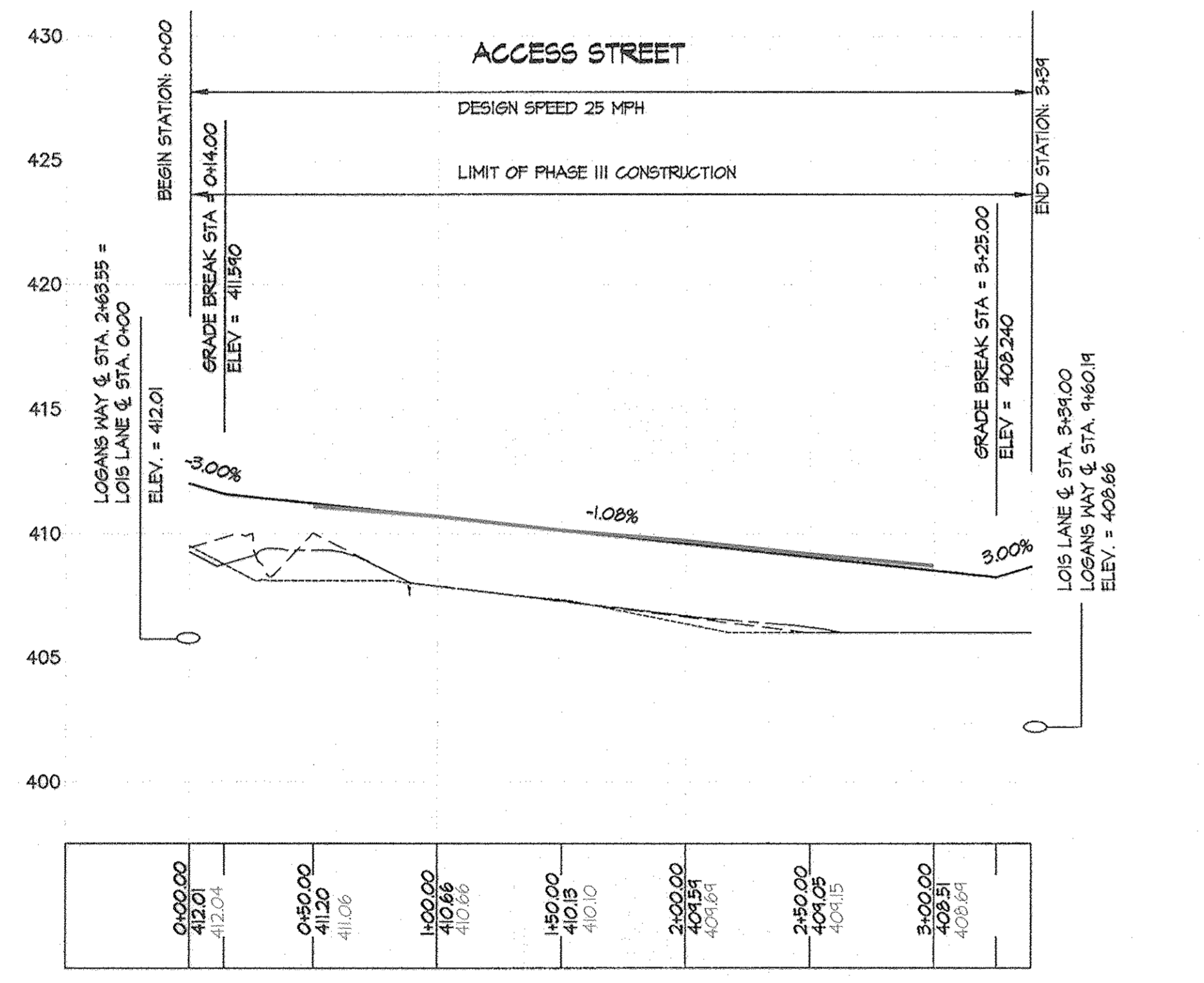


PROFESSIONAL CERTIFICATION
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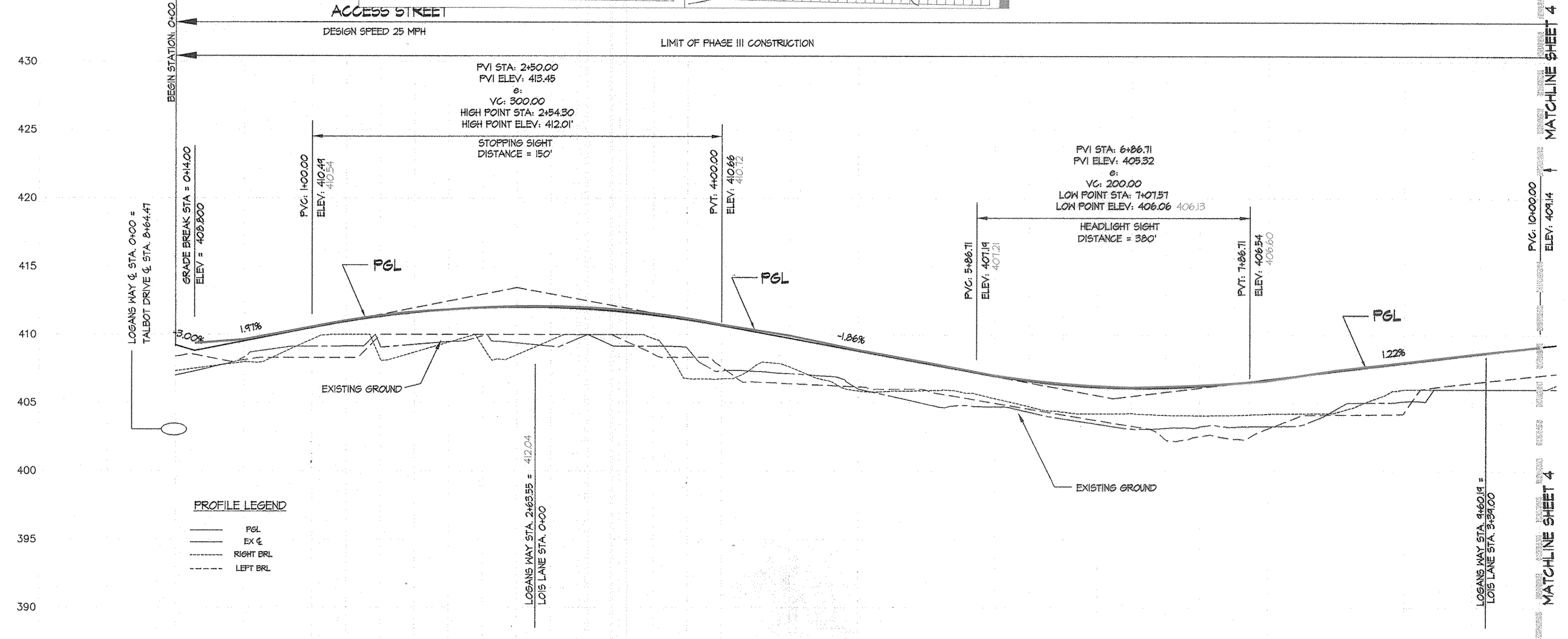
LOGAN'S WAY AND LOIS LANE - PLAN

SCALE: 1" = 50'



LOIS LANE - PROFILE

SCALE: (H) 1" = 50'
(V) 1" = 5'



LOGAN'S WAY - PROFILE

SCALE: (H) 1" = 50'
(V) 1" = 5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
With 2/11/10
Chief, Bureau of Highways
Date: 8-9-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Rob Shalton
Chief, Division of Land Development
Date: 8/11/10

Chris Demme
Chief, Development Engineering Division
Date: 8/11/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 FAX: 301-421-4166

PREPARED FOR/OWNER PARCELS C-139 THRU C-140:
BA WATERLOO TOWNHOMES, LLC.
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL
301-623-1525

REVISED LOGAN'S WAY & LOIS LANE PLAN AND PROFILE
SHIPLEY'S GRANT
PHASE III
LOTS C-179 THRU C-205, & C-256 THRU C-291, OPEN SPACE LOTS C-207, C-208, C-210 THRU C-212, C-292 & C-293
COMMON OPEN SPACE LOTS C-214, C-215 & C-294 AND NON-BUILDABLE PARCELS C-216 THRU C-218
A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT NOS 19661 THRU 19664
ELECTION DISTRICT NO. 1

| SCALE | ZONING | G. L. W. FILE NO. |
|------------|----------------|-------------------|
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| NOV., 2015 | 37-1&2 | 3 OF 14 |
| JULY, 2010 | | |

L:\CAD\DRAWINGS\03000\PHASE III\ASBULTS\SCANS\06002-PHASE III-ASB SHIT 3 OF 14.dwg
PLOTTED 9/18/2016 6:19 PM, LAST SAVED: 9/21/2015 6:00 PM, PLOTTED BY: Steve L. Simpson

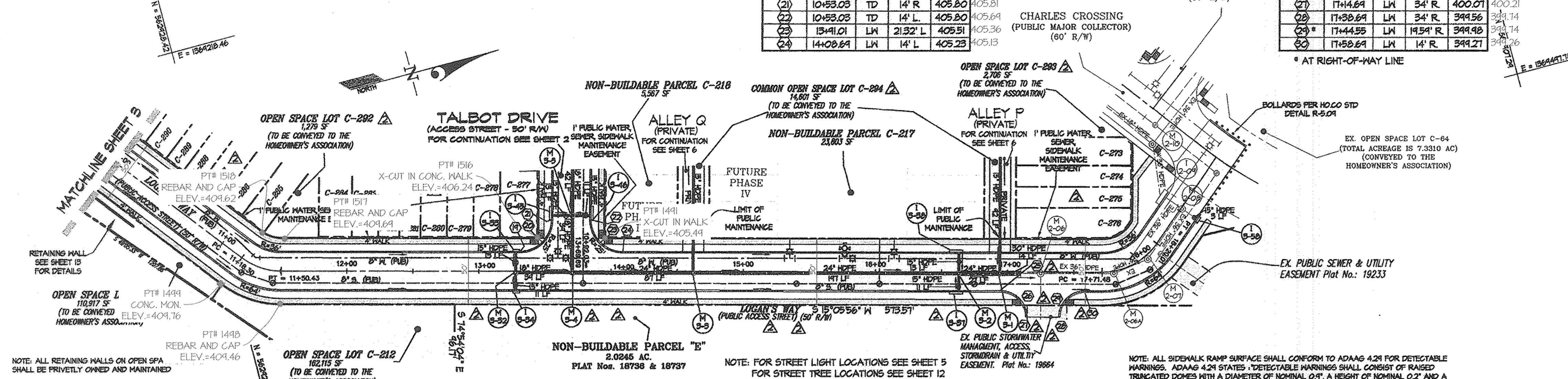
| CENTERLINE CURVE DATA | | | | | | | | | |
|-----------------------|-----------|-------------|-----------|--------|--------|---------|--------|-------------------|-------------|
| STREET NAME | P.C. STA. | P.C.C. STA. | P.T. STA. | RADIUS | ARC | TANGENT | CHORD | BEARING | DELTA |
| LOGAN'S WAY | 11419.50 | --- | 11850.43 | 50.00' | 92.83' | 16.64' | 51.58' | S. 33° 30' 20" W. | 36° 48' 48" |
| LOGAN'S WAY | 11711.49 | --- | 11820.01 | 50.00' | 48.93' | 26.57' | 46.65' | N. 12° 42' 24" W. | 35° 36' 24" |

| CURB FLOW LINE ELEVATION TABLE | | | | |
|--------------------------------|----------|------|----------|--------|
| PT. NO. | STATION | ROAD | OFFSET | ELEV. |
| (1) | 13+30.64 | LN | 14' L | 406.41 |
| (2) | 13+48.57 | LN | 21.32' L | 406.11 |
| (3) | 10+53.03 | TD | 14' R | 405.80 |
| (4) | 10+53.03 | TD | 14' L | 405.80 |
| (5) | 13+41.01 | LN | 21.32' L | 405.51 |
| (6) | 14+08.64 | LN | 14' L | 405.23 |

TD = TALBOT DRIVE
LN = LOGAN'S WAY

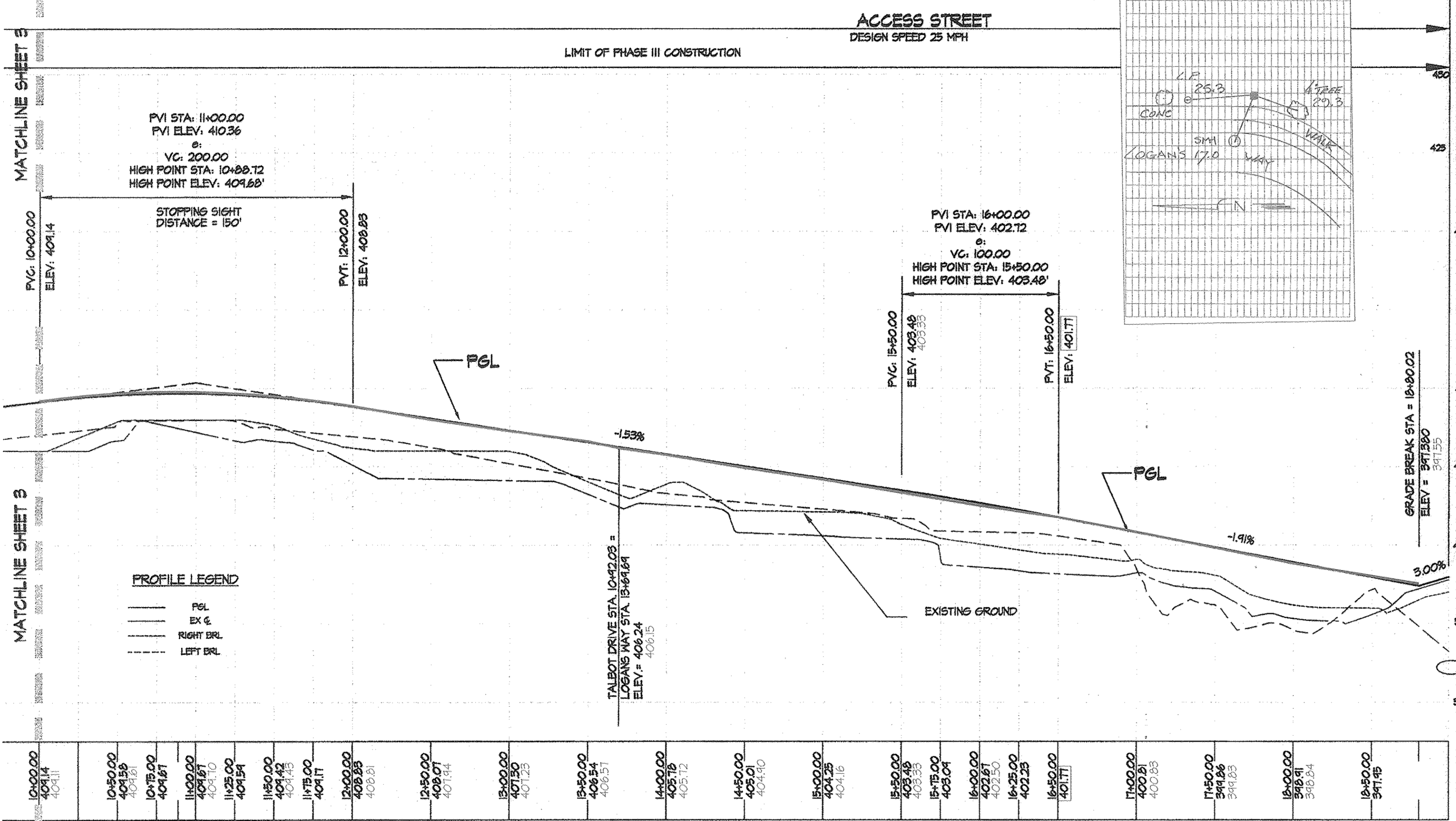
| CURB FLOW LINE ELEVATION TABLE | | | | |
|--------------------------------|----------|------|----------|--------|
| PT. NO. | STATION | ROAD | OFFSET | ELEV. |
| (7) | 16+44.64 | LN | 14' R | 400.50 |
| (8) | 17+09.23 | LN | 14.54' R | 400.41 |
| (9) | 17+44.64 | LN | 34' R | 400.07 |
| (10) | 17+38.64 | LN | 34' R | 399.56 |
| (11) | 17+44.64 | LN | 14' R | 399.46 |
| (12) | 17+58.64 | LN | 14' R | 399.21 |

* AT RIGHT-OF-WAY LINE



LOGAN'S WAY - PLAN

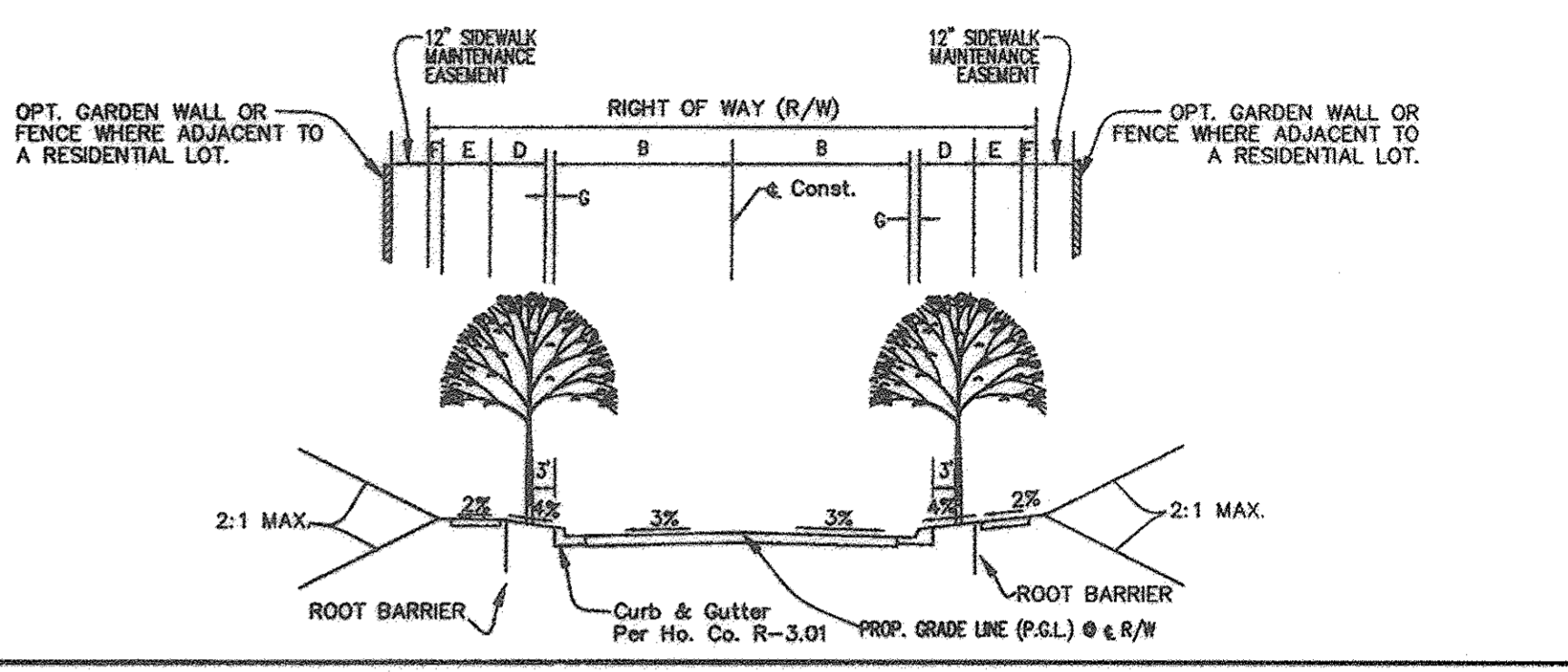
SCALE: 1" = 50'



LOGAN'S WAY - PROFILE

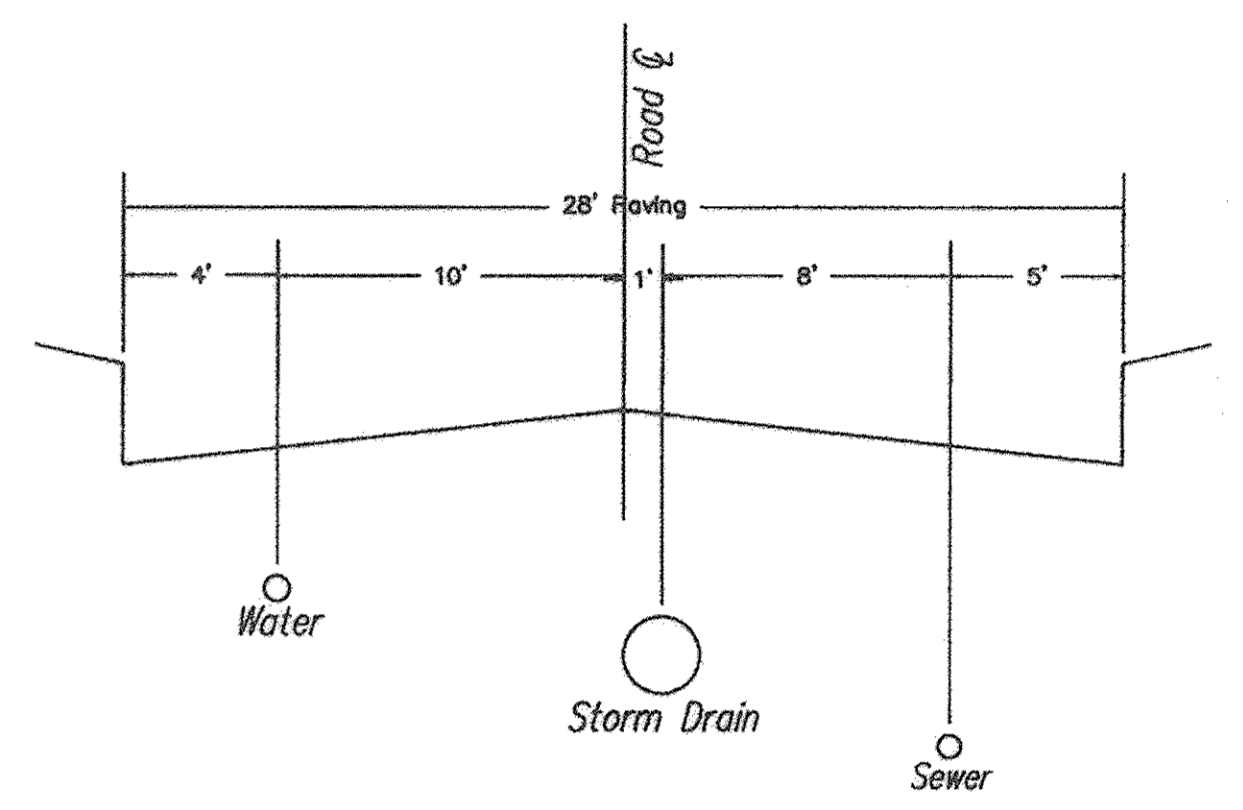
SCALE: (H) 1" = 50'
(V) 1" = 5'

| ROAD INFORMATION | | | | | | | | | | | | |
|------------------|---------------------|---------------------|--------------|-----|-----|----------|----|----|--------|-----|-----|----------------|
| ROAD NAME | STATION | ROAD CLASSIFICATION | DESIGN SPEED | A | B | C | D | E | F | G | R/W | PAVING SECTION |
| TALBOT DRIVE | 7+23.00 TO 10+92.03 | ACCESS STREET | 25 MPH | 14' | --- | 5'-6.75" | 4' | 4' | 13.25' | 50' | --- | P-3 |
| LOGAN'S WAY | 0+00.00 TO 18+99.02 | ACCESS STREET | 25 MPH | 14' | --- | 5'-6.75" | 4' | 4' | 13.25' | 50' | --- | P-3 |
| LOIS LANE | 0+00 TO 3+38.00 | ACCESS STREET | 25 MPH | 14' | --- | 5'-6.75" | 4' | 4' | 13.25' | 50' | --- | P-3 |



TYPICAL PUBLIC ROAD SECTION

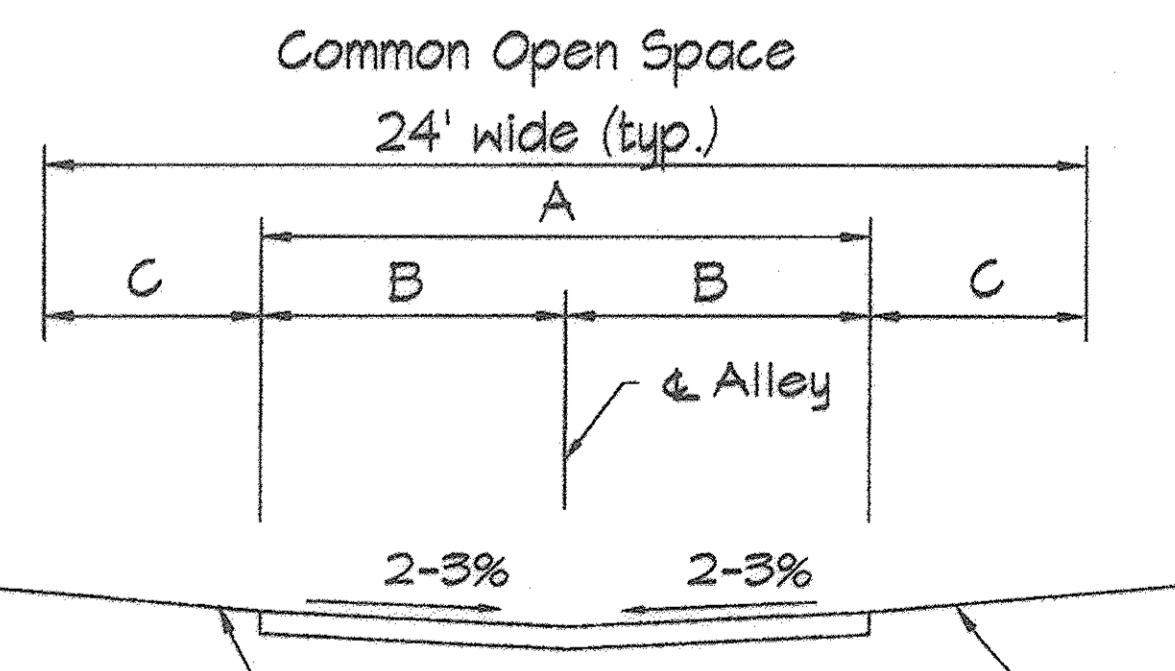
NOT TO SCALE



TYPICAL UTILITY LOCATIONS

NOT TO SCALE

| ROAD NAME | STATION | ROAD CLASSIFICATION | DESIGN SPEED | A | B | C | D | E | F | R/W | PAVING SECTION |
|----------------|---------|---------------------|--------------|-----|----|----|-----|-----|-----|-----|----------------|
| PRIVATE ALLEYS | N/A | N/A | N/A | 10' | 8' | 4' | --- | --- | --- | --- | P-3 |



TYPICAL ROAD SECTION FOR PRIVATE ALLEYS

NOT TO SCALE
ASBUILT SHEET 4 OF 8

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William R. ...
 Chief, Bureau of Highways
 Date: 8/9/10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
...
 Chief, Division of Land Development
 Date: 8/17/10

...
 Chief, Development Engineering Division
 Date: 8/12/10

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 14431, Expiration Date: May 21, 2010.

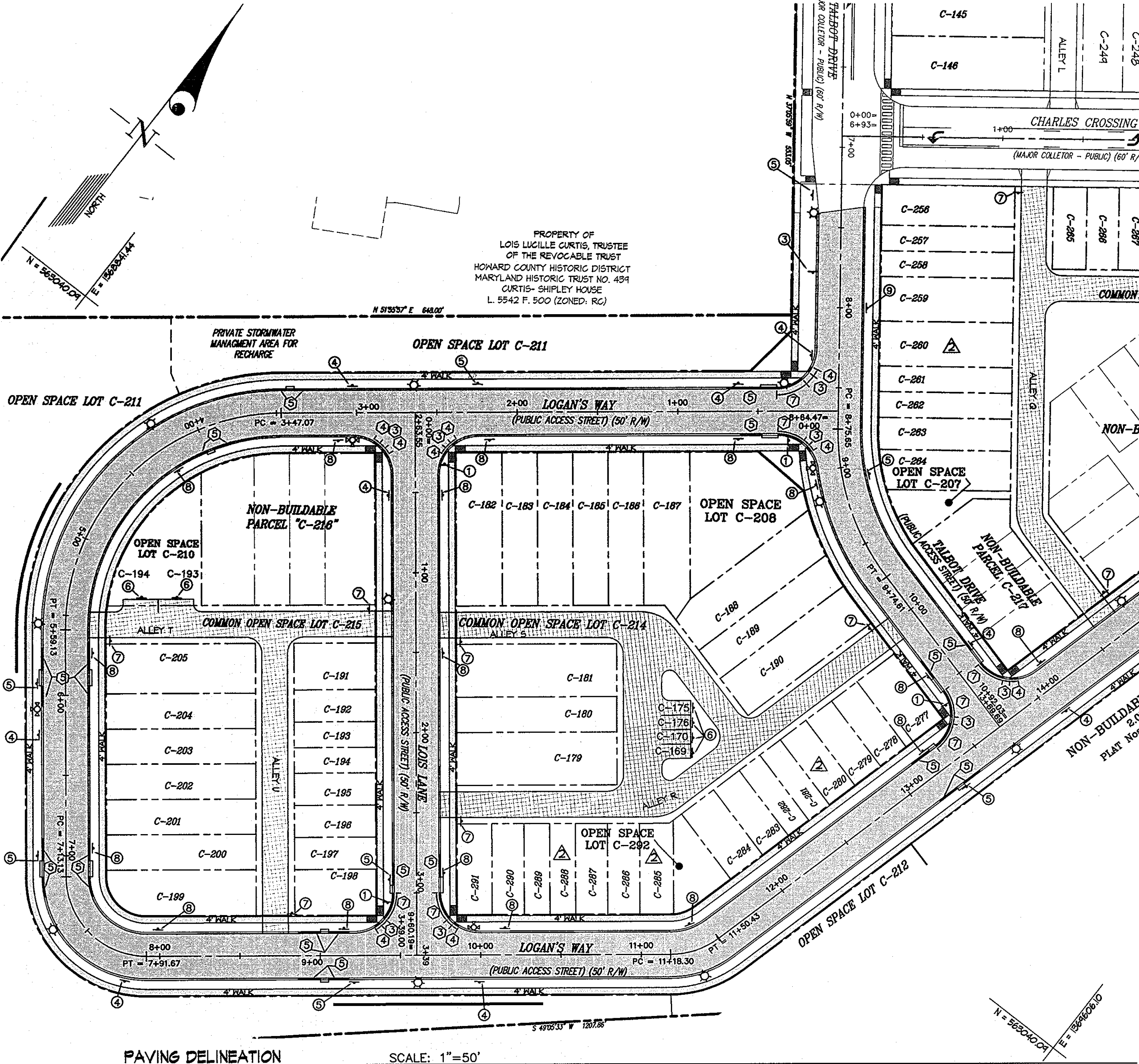
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 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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 BURTNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4188

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
 BA WATERLOO TOWNHOMES, LLC.
 c/o BOZZUTO HOMES, INC.
 7850 WALKER DRIVE, SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL
 301-623-1525

REVISED LOGAN'S WAY PLAN AND PROFILE
SHIPLEY'S GRANT
 PHASE III
 LOTS C-179 thru C-205 & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
 COMMON OPEN SPACE LOTS C-214, C-215 & C-294 AND NON-BUILDABLE PARCELS C-216 thru C-218
 A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664
 ELECTION DISTRICT No. 1

| SCALE | ZONING | G. L. W. FILE No. |
|-------------------------|----------------|-------------------|
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| NOV. 2015 JULY, 2010 | 37-1&2 | 4 OF 14 |



STREET LIGHT LEGEND

☆ PROPOSED STREET LIGHT.
100 WATT HIGH PRESSURE SODIUM VAPOR
TRADITIONAIRE POST TOP FIXTURE MOUNTED ON
A 14-FOOT BLACK FIBERGLASS EMBEDDED POLE

PAVING LEGEND

■ P-5 COUNTY PAVING
■ P-3 COUNTY PAVING
■ P-3 PRIVATE PAVING
■ CURB TRANSITION

SIGN LEGEND

☆ PROPOSED STREET SIGN

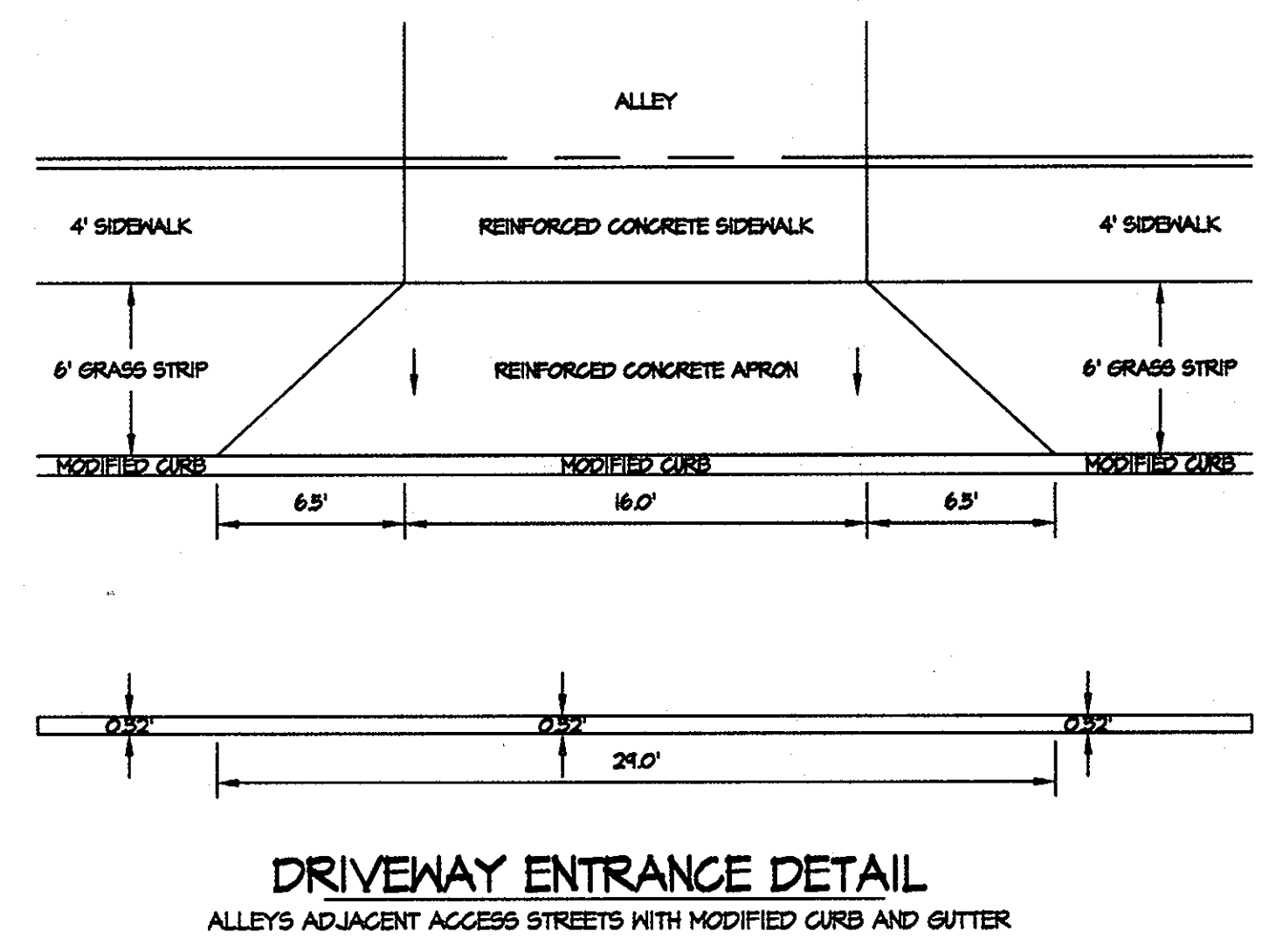
STREET LIGHT LOCATIONS

| STREET | STATION | OFFSET |
|--------------|---------|------------|
| LOGANS WAY | 0+34 | 17.5 RIGHT |
| LOGANS WAY | 2+64 | 17 RIGHT |
| LOGANS WAY | 4+23 | 17 RIGHT |
| LOGANS WAY | 5+55 | 17 RIGHT |
| LOGANS WAY | 7+39 | 17 RIGHT |
| LOGANS WAY | 9+61 | 17 RIGHT |
| LOGANS WAY | 11+34 | 17 RIGHT |
| LOGANS WAY | 13+70 | 17 RIGHT |
| LOGANS WAY | 14+78 | 17 LEFT |
| LOGANS WAY | 17+10 | 17 LEFT |
| LOGANS WAY | 17+98 | 17 RIGHT |
| LOGANS WAY | 18+65 | 22 LEFT |
| TALBOT DRIVE | 7+41 | 17 RIGHT |
| TALBOT DRIVE | 9+17 | 17 RIGHT |
| LOIS LANE | 1+16 | 17 RIGHT |

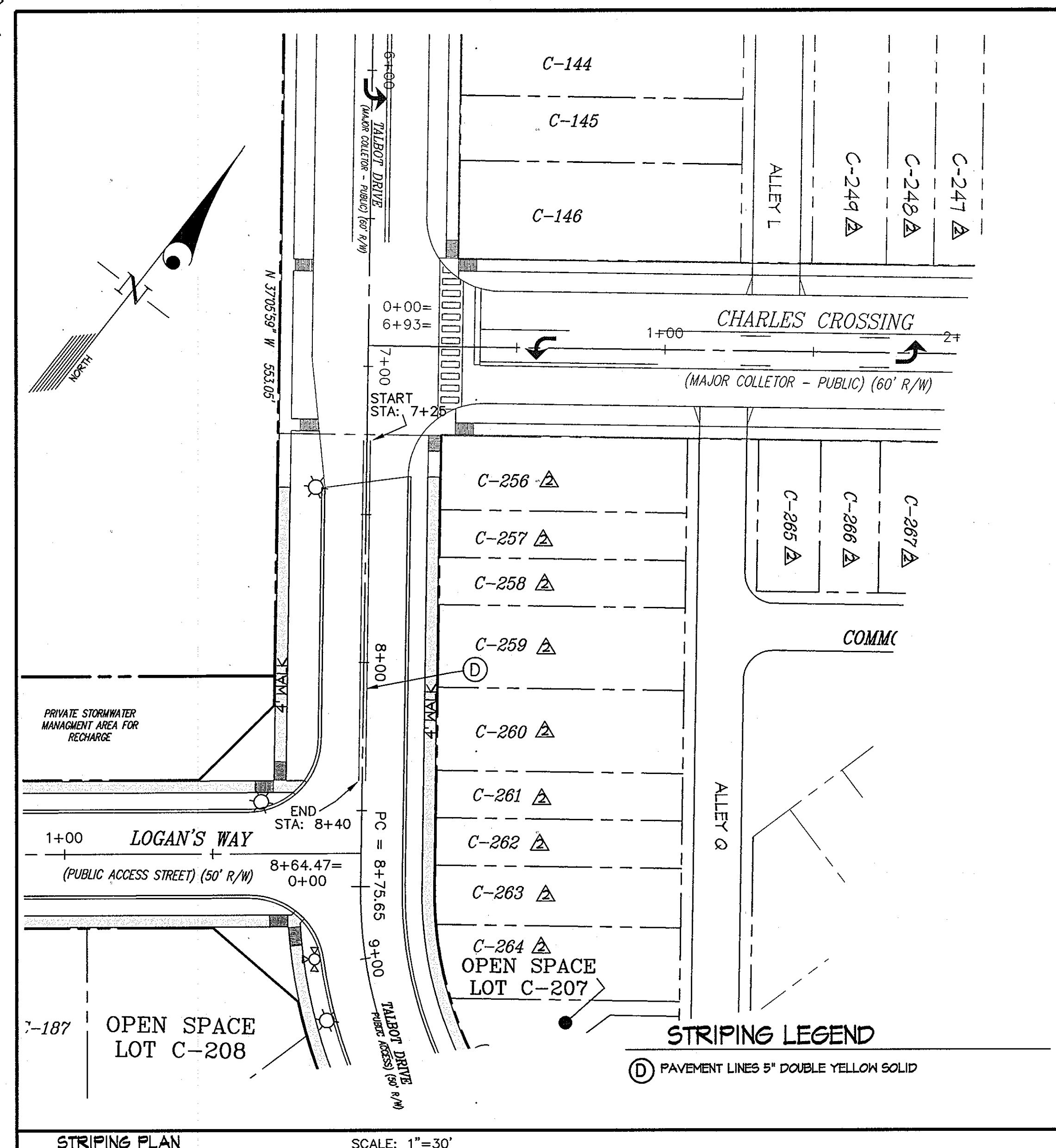
GENERAL NOTES:
1. A 20' MINIMUM DISTANCE SHALL BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHT.
2. A 5' MINIMUM DISTANCE SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND A FIRE HYDRANT.

SIGNING NOTES:
SIGN ERRECTED AT THE SIDE OF THE ROAD SHALL BE MOUNTED AT A HEIGHT OF AT LEAST 7 FEET MEASURES FROM THE BOTTOM OF THE SIGN TO THE NEAR EDGE OF THE PAVING.
2. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
3. SIGNS SHALL BE 12" TO 18" FROM EDGE OF SIGN TO CURBLINE. STOP SIGNS SHALL BE LOCATED 15' BACK FROM INTERSECTING STREET CURB LINE OR AS DIRECTED BY HOWARD COUNTY TRAFFIC DIVISION.
4. ALL SIGN LOCATIONS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION PRIOR TO ANY INSTALLATIONS.

PAVEMENT MARKING NOTES
1. ALL PAVEMENT MARKINGS TO BE APPLIED USING 'SETFAST PREMIUM ALKYD' TRAFFIC PAINT' BY SHERWIN WILLIAMS OR APPROVED EQUAL.
2. ALL PAVEMENT MARKINGS ARE TO BE EITHER LOCATED OR APPROVED BY THE TRAFFIC DIVISION PRIOR TO THE PLACEMENT OF ANY MARKINGS



DRIVEWAY ENTRANCE DETAIL
ALLEYS ADJACENT ACCESS STREETS WITH MODIFIED CURB AND GUTTER

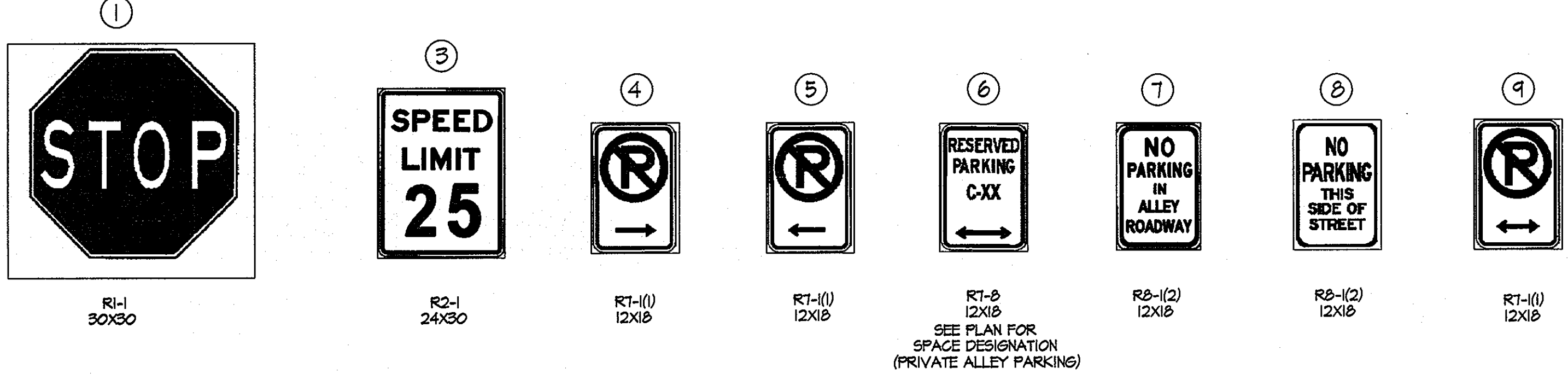


STRIPING PLAN SCALE: 1"=30'

STRIPING LEGEND

Ⓧ PAVEMENT LINES 5" DOUBLE YELLOW SOLID

SIGN LEGEND



CURB TRANSITION NOTES

- ① TRANSITION FROM STANDARD TO MODIFIED CURB AND GUTTER.
- ② TRANSITION FROM STANDARD CURB AND GUTTER TO FLUSH CURB AND GUTTER.
- ③ FLUSH CURB.
- ④ TRANSITION FROM MODIFIED CURB AND GUTTER TO FLUSH CURB AND GUTTER.
- ⑤ TRANSITION FROM MODIFIED TO STANDARD CURB AND GUTTER AT INLETS. FOR ADDITIONAL INFORMATION SEE HOWARD COUNTY STANDARD R-3.06.
- ⑥ 3.5' OF STANDARD CURB AND GUTTER ADJACENT TO INLET FOLLOWED BY A TRANSITION FROM STANDARD CURB AND GUTTER TO FLUSH CURB AND GUTTER.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Michelle J. Smith 8-9-10
Chief, Bureau of Highways
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Robert J. ... 8/17/10
Chief, Division of Land Development
Date

... 8/17/10
Chief, Development Engineering Division
Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

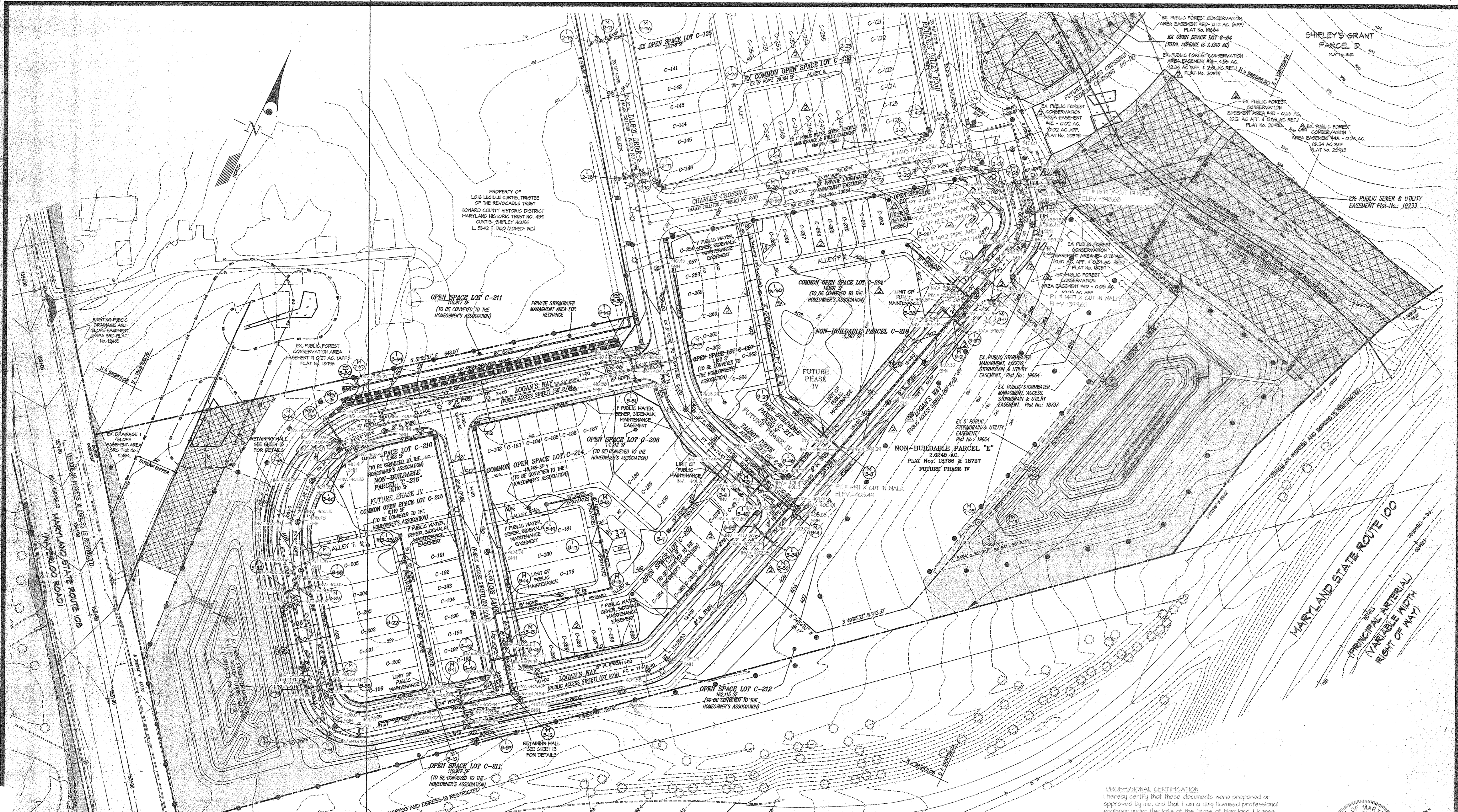
| DATE | REVISION | BY | APP'R. |
|--------|--|-----|--------|
| 7/6/10 | UPDATE PROPERTY LINES AND LOT ID'S PER PLAT F 10-090 | MJT | MJT |

PREPARED FOR/OWNER PARCELS C-139 THRU C-140:
BA WATERLOO TOWNHOMES, LLC.
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL
301-623-1525

REVISD PAVING DELINEATION - STRIPING - LIGHTING - AND SIGNAGE PLAN
SHIPLEY'S GRANT
PHASE III
LOTS C-179 THRU C-205 & C-256 THRU C-291, OPEN SPACE LOTS C-207, C-208, C-210 THRU C-212, C-292 & C-293
COMMON OPEN SPACE LOT C-214, C-215 & C-294 AND NON-BUILDABLE PARCELS C-216 THRU C-218
A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664
ELECTION DISTRICT No. 1
HOWARD COUNTY, MARYLAND

| SCALE | ZONING | G. L. W. FILE No. |
|------------|----------------|-------------------|
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| JULY, 2010 | 37-1&2 | 5 OF 14 |

PROFESSIONAL CERTIFICATION
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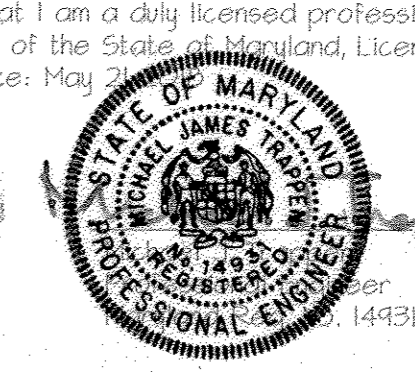
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-9-10
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 8/17/10
 Chief, Division of Land Development

[Signature] 8/17/10
 Chief, Development Engineering Division

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[Signature]
 Date



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[Signature]

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 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

| DATE | REVISION | BY | APPR. |
|---------|--|-----|-------|
| 4/14/11 | Add 20' lateral connection for lots C-256 thru C-264 | WJ | MJ |
| 7/6/10 | UPDATE PROPERTY LINES AND LOT ID'S PER PLAT F 10-040, FCE NOTES PER F 10-060 & REM. PAR E HC'S | MJT | MJT |

PREPARED FOR: OWNER PARCELS C-139 thru C-140:
 BA WATERLOO TOWNHOMES, LLC.
 c/o BOZZUTO HOMES, INC.
 7850 WALKER DRIVE, SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL
 301-623-1525

ASBULTS
 REVISION GRADING PLAN
SHIPLEY'S GRANT
 PHASE III
 LOTS C-179 thru C-205 & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
 COMMON OPEN SPACE LOT C-214, C-215 & C-294 and NON-BUILDABLE PARCELS C-216 thru C-218
 A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664
 ELECTION DISTRICT No. 1
 HOWARD COUNTY, MARYLAND

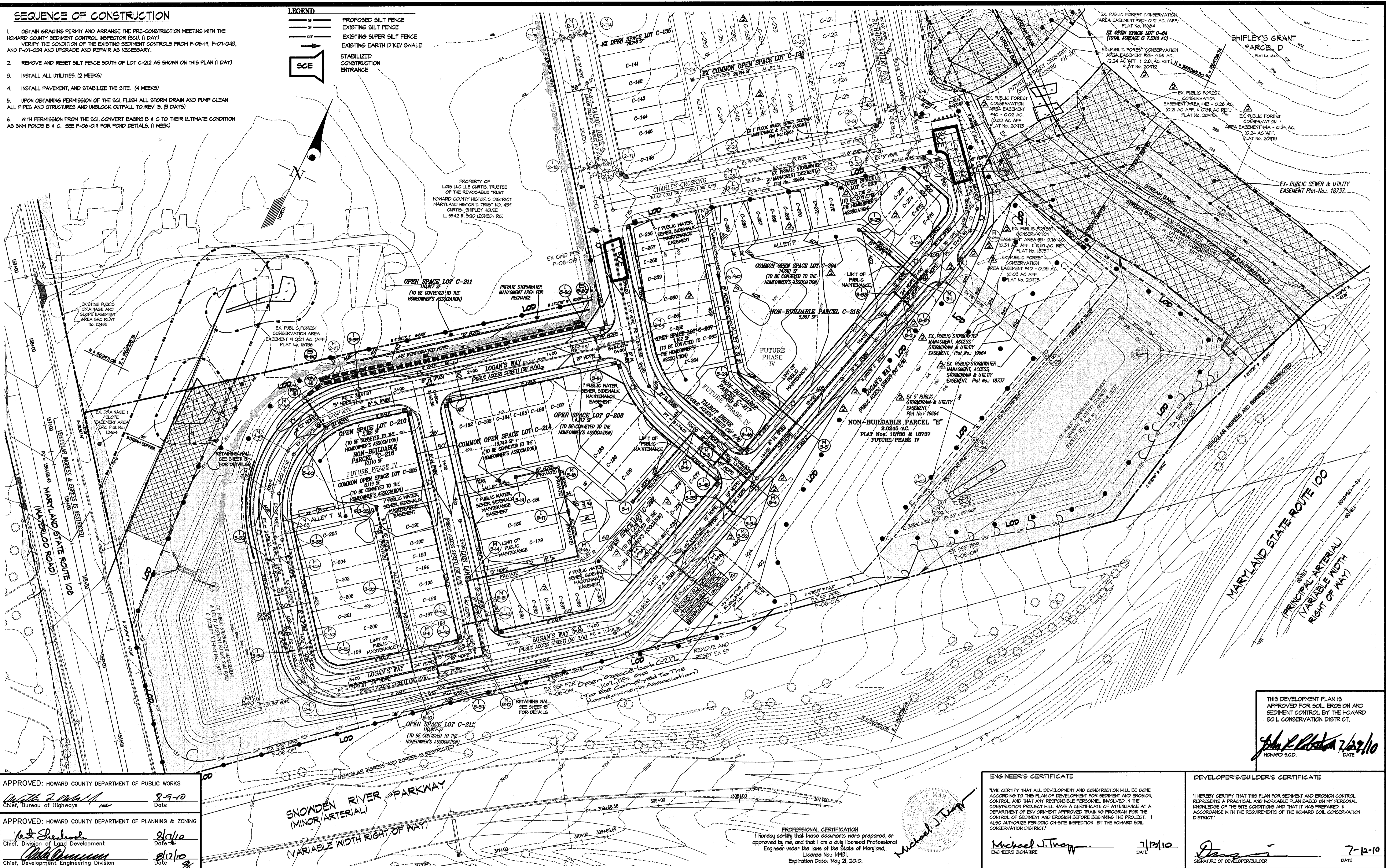
| SCALE | ZONING | G. L. W. FILE No. |
|------------------------|----------------|-------------------|
| 1"=50' | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| NOV 2015 JULY, 2010 | 37-18.2 | 6 OF 14 |

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT AND ARRANGE THE PRE-CONSTRUCTION MEETING WITH THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR (SCI). (1 DAY)
VERIFY THE CONDITION OF THE EXISTING SEDIMENT CONTROLS FROM F-06-19, F-07-043, AND F-07-054 AND UPGRADE AND REPAIR AS NECESSARY.
2. REMOVE AND RESET SILT FENCE SOUTH OF LOT C-212 AS SHOWN ON THIS PLAN (1 DAY)
3. INSTALL ALL UTILITIES. (2 WEEKS)
4. INSTALL PAVEMENT, AND STABILIZE THE SITE. (4 WEEKS)
5. UPON OBTAINING PERMISSION OF THE SCI, FLUSH ALL STORM DRAIN AND PUMP CLEAN ALL PIPES AND STRUCTURES AND UNBLOCK OUTFALL TO REV 15. (3 DAYS)
6. WITH PERMISSION FROM THE SCI, CONVERT BASINS B & C TO THEIR ULTIMATE CONDITION AS SHOWN POND B & C. SEE F-06-019 FOR POND DETAILS. (1 WEEK)

LEGEND

- SF — PROPOSED SILT FENCE
- SF — EXISTING SILT FENCE
- SF — EXISTING SUPER SILT FENCE
- SF — EXISTING EARTH DIKE/ SWALE
- SCE — STABILIZED CONSTRUCTION ENTRANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

William R. ... 8-9-10
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

... 8/11/10
Chief, Division of Land Development Date
... 8/12/10
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

| DATE | REVISION | BY | APP'R |
|---------|--|-----|-------|
| 7/10/11 | Remove Pit Added to Open Space Lot C-212 | WSD | WSD |
| 4/4/11 | Add and Lateral Connect For Lots C-215 thru C-216 | WSD | WSD |
| 7/6/10 | UPDATE PROPERTY LINES AND LOT ID'S PER PLAT F 10-040, FCE NOTES PER F 10-060 & REM. PAR E H2'S | MJT | MJT |

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
BA WATERLOO TOWNHOMES, LLC.
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL
301-623-1525

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED, OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
License No: 14451
Expiration Date: May 21, 2010.

Michael J. Tracy
Michael J. Tracy
ENGINEER'S SIGNATURE
7/12/10
DATE

DEVELOPER'S/BUILDER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

...
SIGNATURE OF DEVELOPER/BUILDER
7-12-10
DATE

REVISED SEDIMENT CONTROL PLAN
SHIPLEY'S GRANT
PHASE III
LOTS C-179 thru C-205 & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
COMMON OPEN SPACE LOT C-214, C-215 & C-294 AND NON-BUILDABLE PARCELS C-216 thru C-218
A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT No 19661 THRU 19664
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 1

| SCALE | ZONING | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=50' | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| JULY, 2010 | 37-1&2 | 7 OF 14 |

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
... 7/29/10
DATE

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARBOR OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 50-0-0 UREAFORM FERTILIZER (4 LBS/1000 SQ FT).
- 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 LBS/1000 SQ FT) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (28 LBS/1000 SQ FT) BEFORE SEEDING. HARBOR OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 31, SEED WITH 60 LBS PER ACRE (14 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (28 LBS/1000 SQ FT) OF HEERING LOVEGRASS. DURING THE PERIOD OF OCTOBER 1 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOG. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 340 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF HEERING LOVEGRASS (7 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOG.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROTTED, NEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GAL PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT OR HIGHER, USE 340 GAL PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 318-1825.

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 1 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAP/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOG, TEMPORARY SEEDING AND MULCHING (SEC. G).

TEMPORARY STABILIZATION, WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

| | |
|------------------------------------|-----------------|
| 7. SITE ANALYSIS: | |
| TOTAL AREA OF SITE | 13.85 ACRES |
| AREA DISTURBED | 11.81 ACRES |
| AREA TO BE ROOFED OR PAVED | 2.24 ACRES |
| AREA TO BE VEGETATIVELY STABILIZED | 4.22 ACRES |
| TOTAL CUT | 10,000 Cu. Yds. |
| TOTAL FILL | 10,000 Cu. Yds. |
| WASTE BORROW AREA | N/A |

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

CONSTRUCTION AND MATERIAL & TOPSOIL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

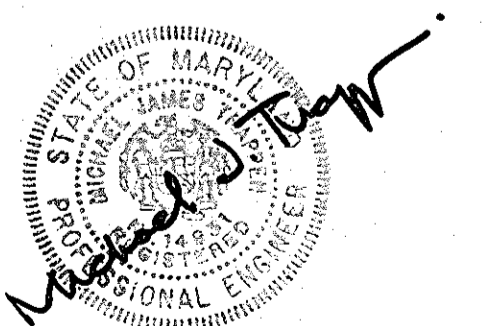
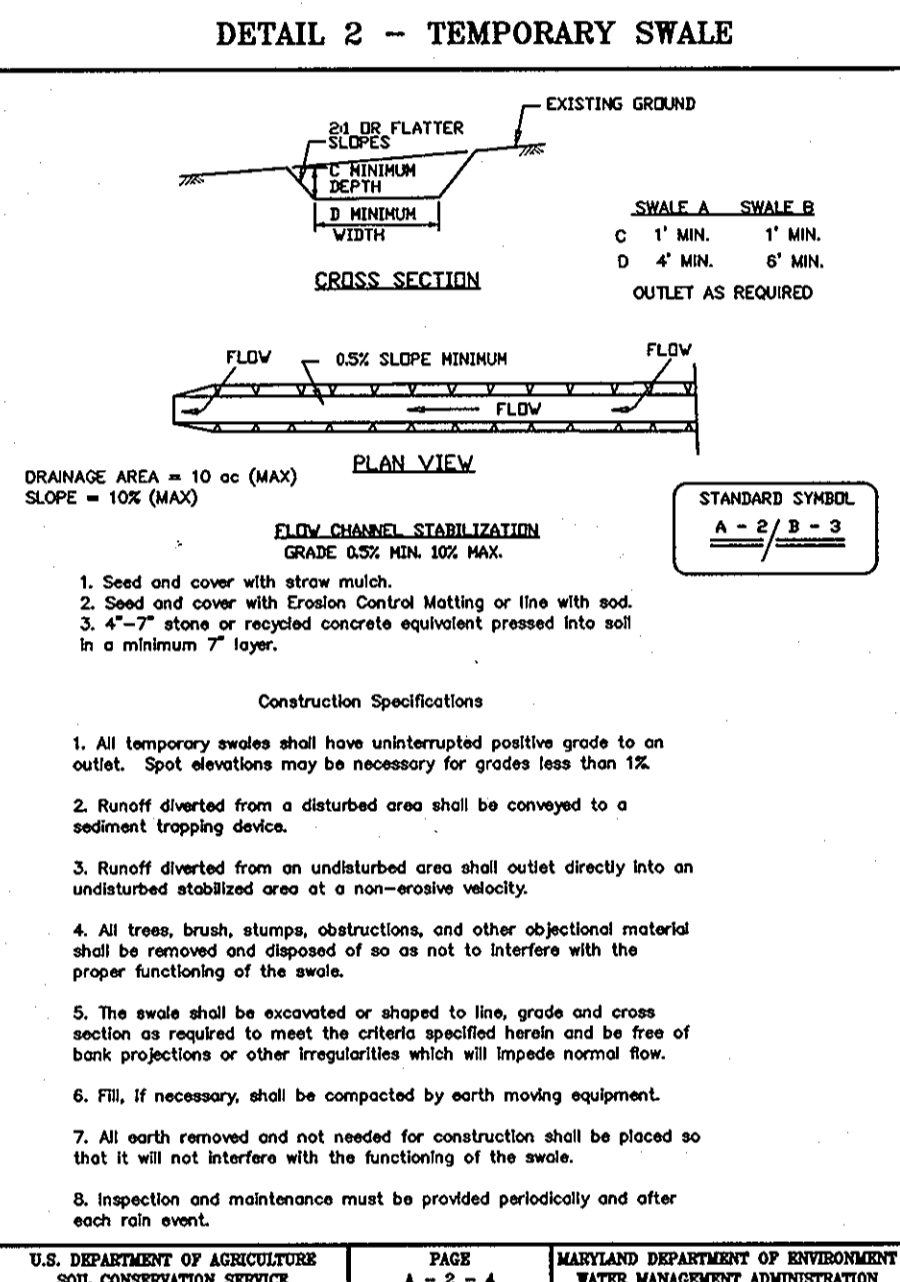
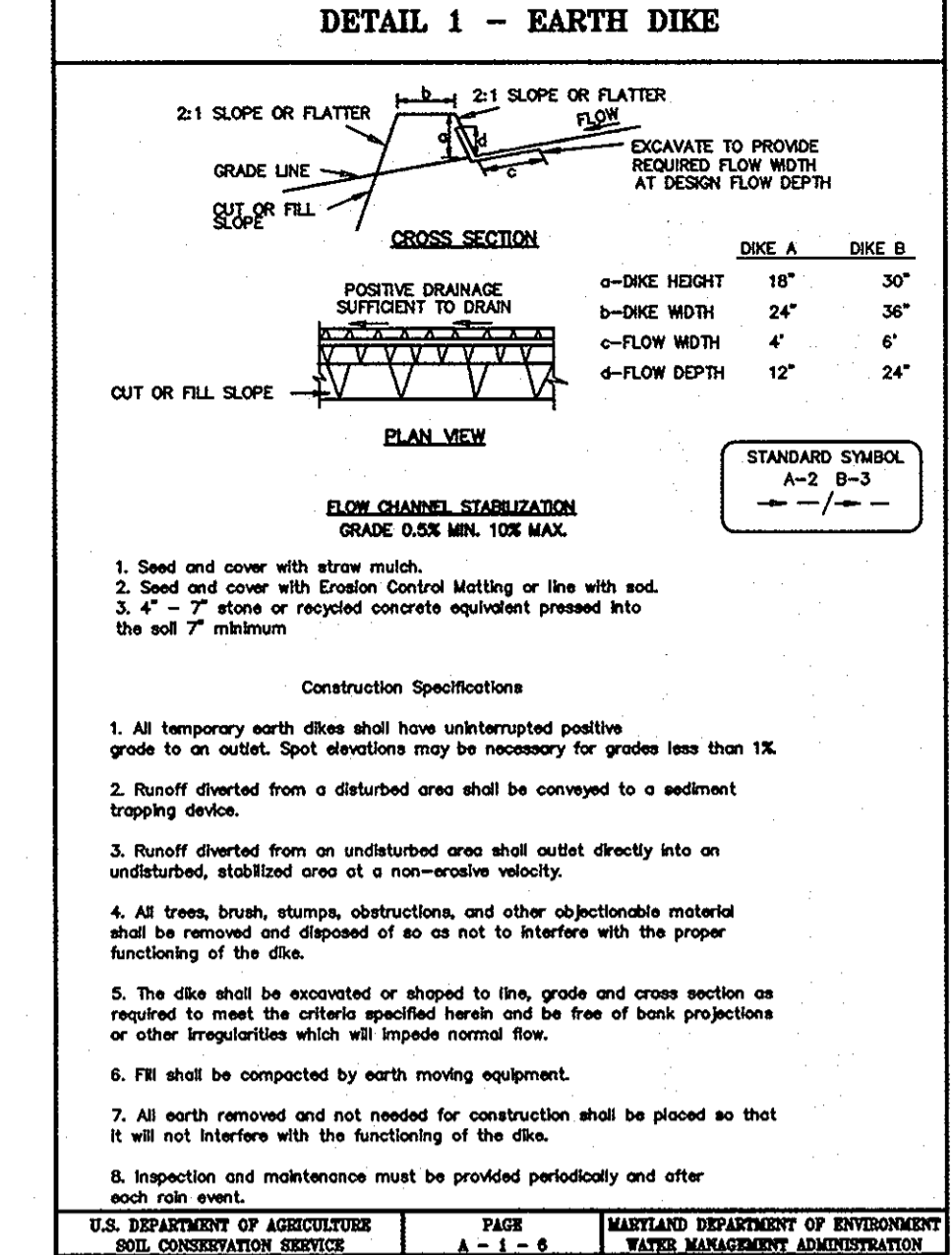
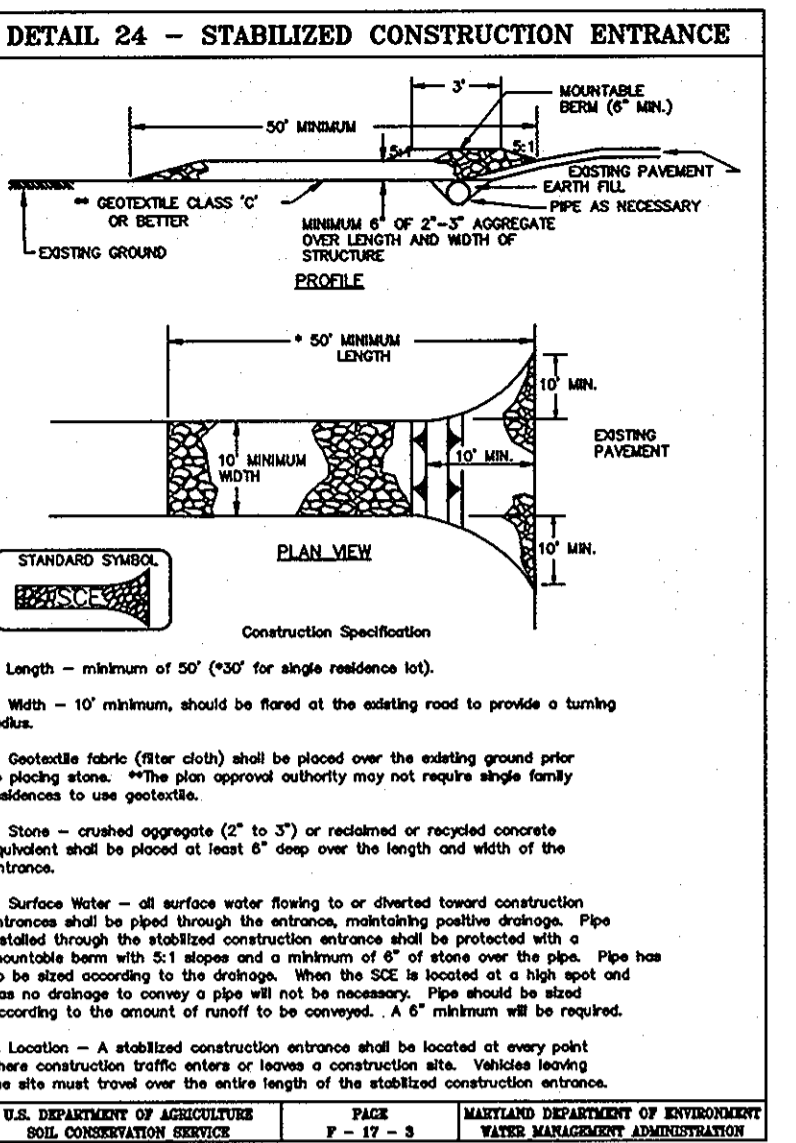
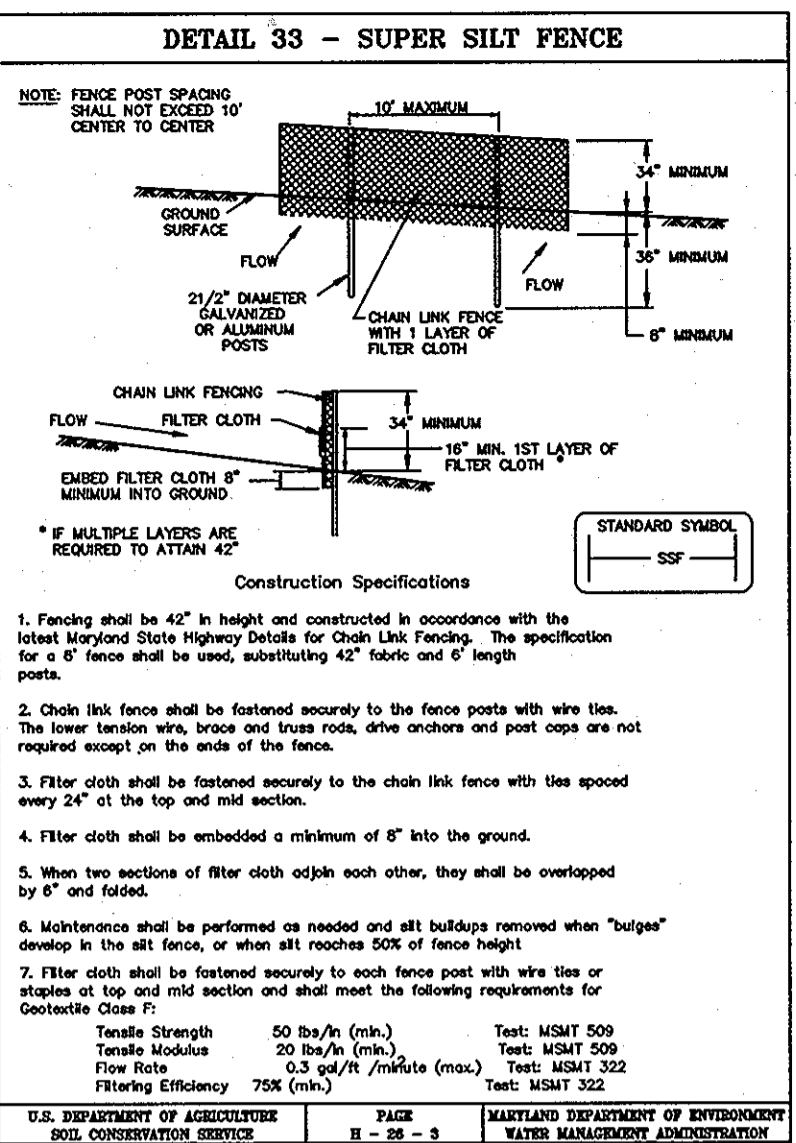
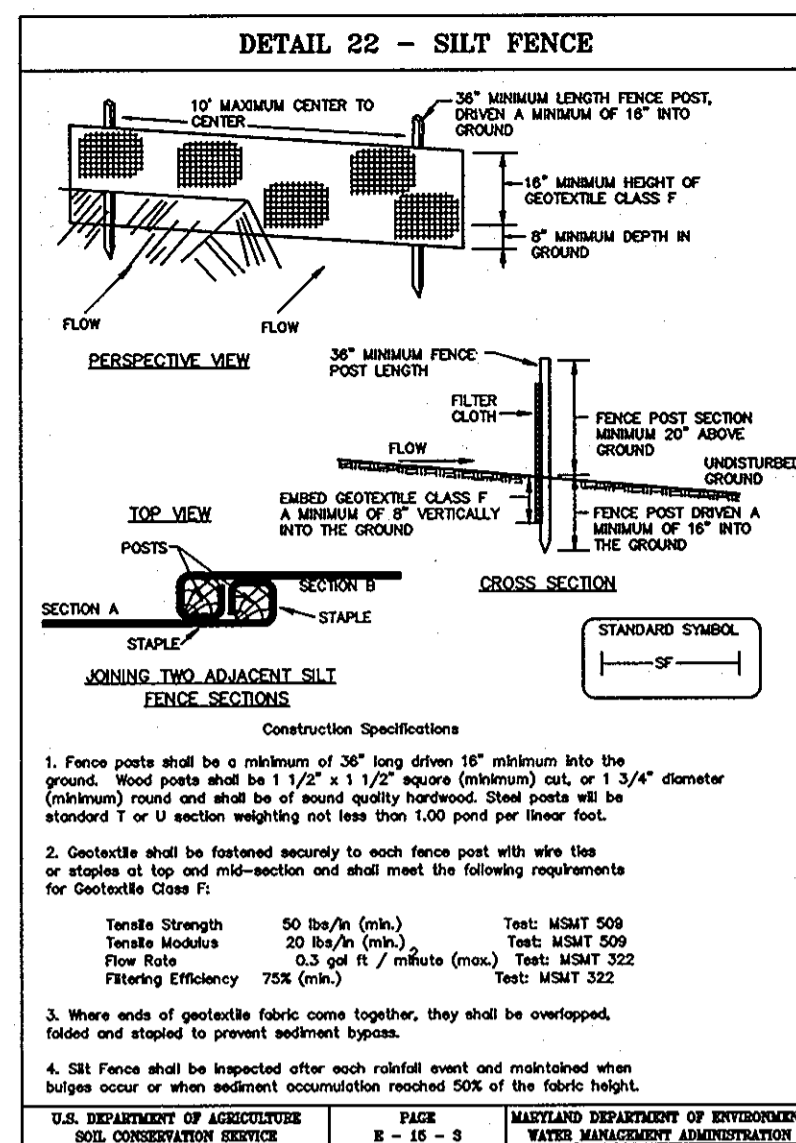
- A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
- B. TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND MIXED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

- A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

- A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER & LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 15 PERCENT BY WEIGHT.
 3. TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
 4. NO SOG OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR PEST CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.



PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared, or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 14431, Expiration Date: May 21, 2010.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

John K. [Signature] 7/29/10
HOWARD S.C.D. DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter J. [Signature] 8-9-10
Chief, Bureau of Highways DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Keith [Signature] 8/17/10
Chief, Division of Land Development DATE
[Signature] 8/17/10
Chief, Development Engineering Division DATE

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1620 DC/VA: 301-589-2524 FAX: 301-421-4186

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
BA WATERLOO TOWNHOMES, LLC.
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL
301-623-1525

REVISED SEDIMENT CONTROL DETAILS
SHIPLEY'S GRANT
PHASE III
LOTS C-179 thru C-205 & C-256 thru C-291 OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292, C-293
COMMON OPEN SPACE LOT C-214, C-215 & C-294 AND NON-BUILDABLE PARCELS C-216 thru C-218
A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT No. 19661 THRU 19664
ELECTION DISTRICT No. 1

| | | |
|------------|----------------|-------------------|
| SCALE | ZONING | G. L. W. FILE No. |
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| JULY, 2010 | 37-1&2 | 8 OF 14 |

DEVELOPER'S/BUILDER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

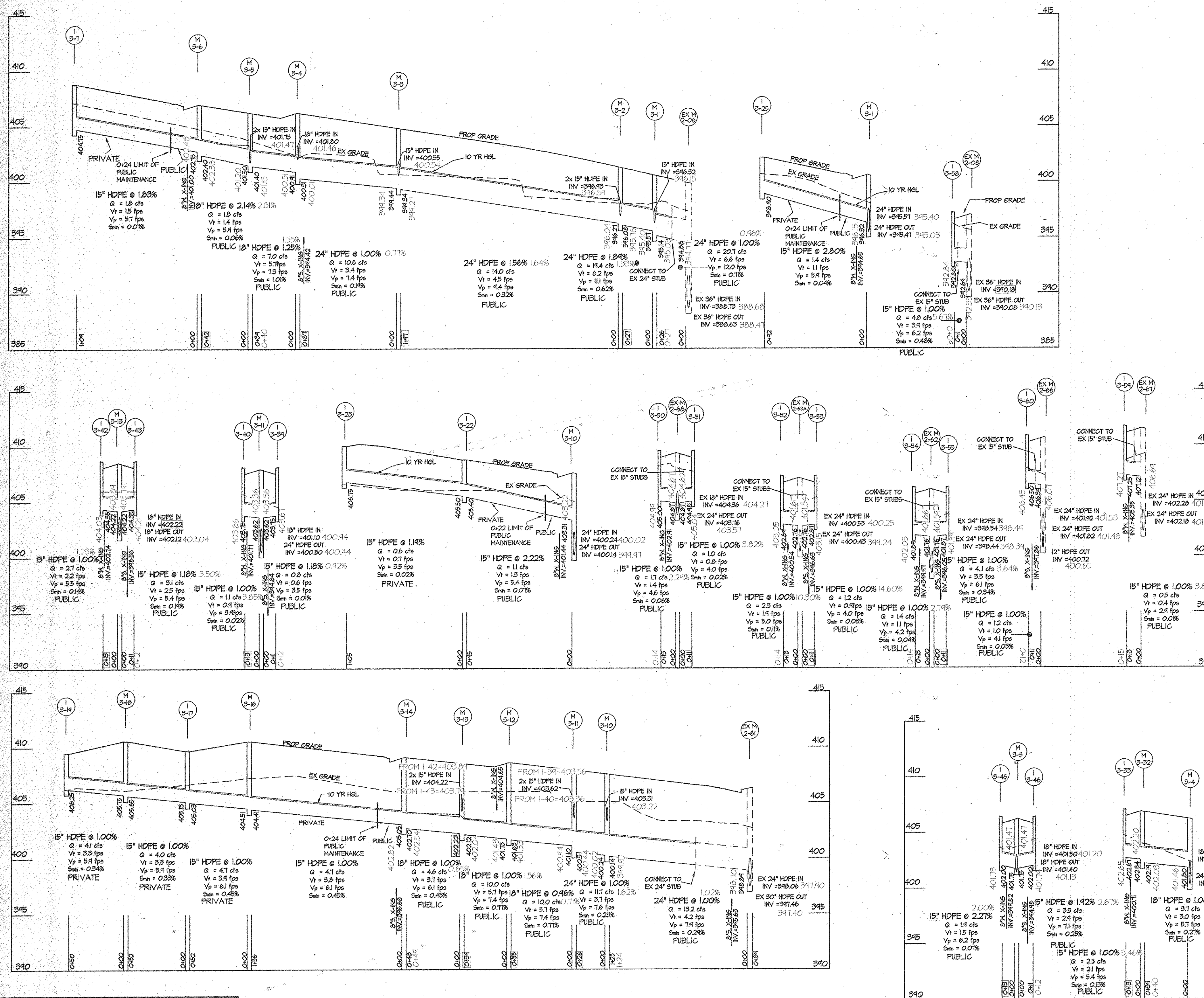
[Signature] 7-12-10
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Michael J. Trappan 7/13/10
ENGINEER'S SIGNATURE DATE

S.D. STRUCTURE SCHEDULE

| NO. | TYPE | WIDTH (INSIDE) | TOP ELEVATION | | INVERT ELEVATION | | STANDARD DETAIL | NOTES | LOCATION | OWNERSHIP & MAINTENANCE |
|--------|----------|----------------|---------------|--------|------------------|----------|-----------------|---|----------------------|-------------------------|
| | | | UPPER | LOWER | UPPER | LOWER | | | | |
| M-3-01 | MANHOLE | 4'-0" | 400.84 | ---- | 396.32 | 395.03 | HO. CO. G. 5.12 | | 164404 T R | PUBLIC |
| M-3-02 | MANHOLE | 4'-0" | 401.44 | ---- | 396.95 | 396.06 | HO. CO. G. 5.12 | | 164404 T R | PUBLIC |
| M-3-03 | MANHOLE | 4'-0" | 404.80 | ---- | 400.55 | 399.54 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| M-3-04 | MANHOLE | 4'-0" | 406.06 | ---- | 401.48 | 400.01 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| M-3-05 | MANHOLE | 4'-0" | 406.24 | ---- | 401.75 | 401.40 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| M-3-06 | MANHOLE | 4'-0" | 406.48 | ---- | 402.15 | 402.40 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| I-3-07 | SINGLE S | 2'-11/2" | 408.80 | ---- | 404.75 | terminal | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| M-3-10 | MANHOLE | 4'-0" | 401.55 | ---- | 403.31 | 400.14 | HO. CO. G. 5.13 | | 164201 T R | PUBLIC |
| M-3-11 | MANHOLE | 4'-0" | 401.92 | ---- | 403.62 | 400.50 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| M-3-12 | MANHOLE | 4'-0" | 408.64 | ---- | 401.83 | 401.63 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| M-3-13 | MANHOLE | 4'-0" | 408.51 | ---- | 404.22 | 402.12 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| M-3-14 | MANHOLE | 4'-0" | 409.07 | ---- | 405.05 | 402.70 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| M-3-16 | MANHOLE | 4'-0" | 410.54 | ---- | 404.51 | 404.41 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| I-3-17 | SINGLE S | 2'-11/2" | 409.50 | ---- | 405.15 | 405.05 | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| M-3-18 | MANHOLE | 4'-0" | 410.54 | ---- | 405.15 | 405.65 | HO. CO. G. 5.12 | | 164201 T R | PRIVATE |
| I-3-19 | SINGLE S | 2'-11/2" | 409.50 | ---- | 406.25 | terminal | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| I-3-22 | SINGLE S | 2'-11/2" | 408.75 | ---- | 405.50 | 405.40 | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| I-3-23 | SINGLE S | 2'-11/2" | 410.00 | ---- | 405.15 | terminal | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| I-3-25 | SINGLE S | 2'-11/2" | 402.15 | ---- | 398.90 | terminal | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| I-3-24 | SINGLE S | 2'-11/2" | 406.00 | ---- | 401.75 | 401.65 | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| I-3-30 | SINGLE S | 2'-11/2" | 406.20 | ---- | 402.95 | terminal | HO. CO. D. 4.22 | USE RECTANGULAR REPLACEMENT GRADE PER MD 37A.03 | N. 563292 E. 1564340 | PRIVATE |
| M-3-32 | MANHOLE | 4'-0" | 406.85 | ---- | 402.54 | 402.14 | HO. CO. G. 5.12 | | 164201 T R | PUBLIC |
| I-3-33 | A-5 | 2'-6" | 401.07 | 406.99 | 402.61 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |
| I-3-34 | A-5 | 2'-6" | 401.07 | 406.99 | 402.61 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |
| I-3-37 | A-10 | 2'-6" | 401.83 | 401.64 | 397.06 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-38 | A-10 | 2'-6" | 401.83 | 401.64 | 397.06 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-39 | A-5 | 2'-6" | 408.14 | 408.08 | 403.15 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |
| I-3-40 | A-5 | 2'-6" | 408.14 | 408.08 | 403.15 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |
| I-3-42 | A-5 | 2'-6" | 408.14 | 408.08 | 403.15 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |
| I-3-43 | A-10 | 2'-6" | 408.14 | 408.08 | 403.15 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-45 | A-10 | 2'-6" | 408.14 | 408.08 | 403.15 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-46 | A-10 | 2'-6" | 408.14 | 408.08 | 403.15 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-50 | A-10 | 2'-6" | 409.64 | 409.44 | 405.00 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-51 | A-10 | 2'-6" | 409.64 | 409.44 | 405.00 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-52 | A-10 | 2'-6" | 401.40 | 401.22 | 402.84 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-53 | A-10 | 2'-6" | 401.40 | 401.22 | 402.84 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-54 | A-10 | 2'-6" | 406.25 | 406.13 | 401.84 | terminal | HO. CO. D. 4.03 | | 164201 T R | PUBLIC |
| I-3-55 | A-5 | 2'-6" | 398.14 | 398.04 | 393.80 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |
| I-3-59 | A-5 | 2'-6" | 411.71 | 411.66 | 401.25 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |
| I-3-60 | A-5 | 2'-6" | 410.91 | 410.81 | 406.50 | terminal | HO. CO. D. 4.01 | | 164201 T R | PUBLIC |



S.D. Pipe Summary Table PUBLICLY OWNED AND MAINTAINED

| Size (in.) | Type | Quantity (L.F.) | Remarks |
|------------|------|-----------------|-------------------|
| 15 | HDPE | 227 | ADS N12 or equiv. |
| 18 | HDPE | 262 | ADS N12 or equiv. |
| 24 | HDPE | 488 | ADS N12 or equiv. |

S.D. Pipe Summary Table PRIVATELY OWNED AND MAINTAINED

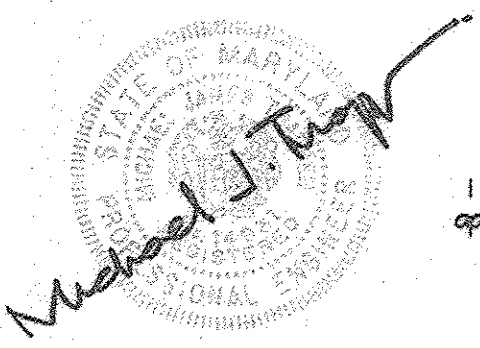
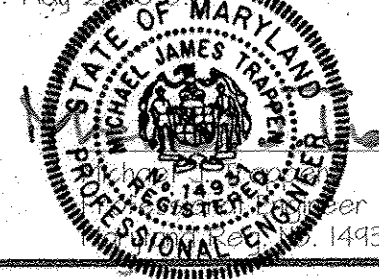
| Size (in.) | Type | Quantity (L.F.) | Remarks |
|------------|------|-----------------|-------------------|
| 15 | HDPE | 900 | ADS N12 or equiv. |

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-9-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 8/17/10

Chief, Development Engineering Division
 Date: 8/17/10

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14431, Expiration Date: May 21, 2010.

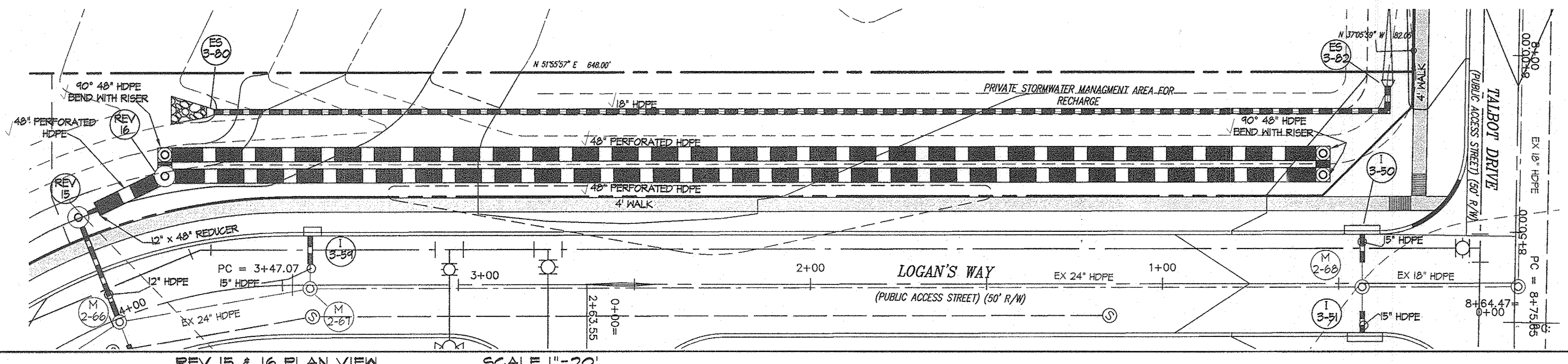


GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK
 BURTENVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-989-2524

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
 BA WATERLOO TOWNHOMES, LLC.
 c/o BOZZUTO HOMES, INC.
 7850 WALKER DRIVE, SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL
 301-623-1525

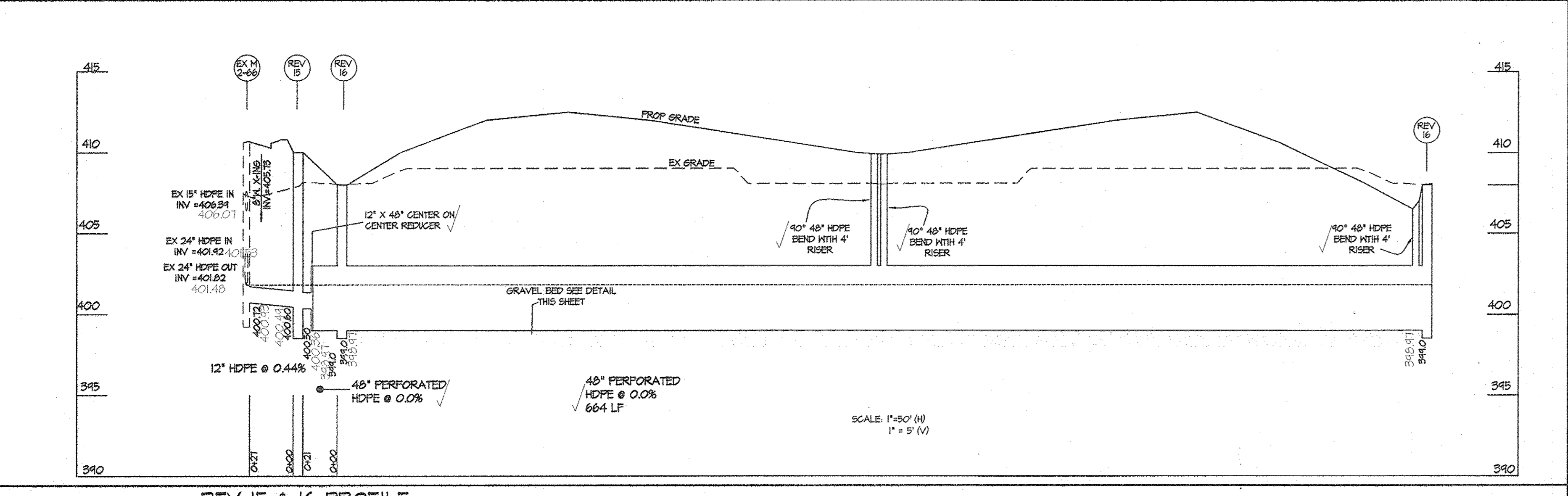
REVISED STORM DRAIN PROFILES
SHIPLEY'S GRANT
 PHASE III
 LOTS C-179 thru C-205 & C-256 thru C-291 OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
 A COMMON OPEN SPACE LOT C-214, C-215 & C-294 AND NON-BUILDABLE PARCELS C-216 thru C-218
 A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT No. 19661 THRU 19664
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'(H), 1"=5'(V)
 ZONING: R-A-15
 G. L. W. FILE No.: 06002
 DATE: NOV. 2015
 TAX MAP - GRID: 37-1&2
 SHEET: 9 OF 14



S.D. STRUCTURE SCHEDULE

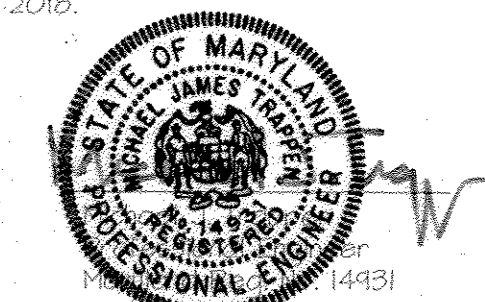
| NO. | TYPE | WIDTH (INSIDE) | TOP ELEVATION | | INVERT ELEVATION | | STANDARD DETAIL | NOTES | LOCATION | OWNERSHIP & MAINTENANCE |
|---------|-------------|----------------|---------------|-------|------------------|--------|-----------------------|-------|--------------------------|-------------------------|
| | | | UPPER | LOWER | UPPER | LOWER | | | | |
| ES-3-82 | END SECTION | | 409.50 | ---- | 401.50 | ---- | | | 3405 STEU R TALBOT DRIVE | PRIVATE |
| ES-3-80 | END SECTION | | 405.55 | ---- | 403.55 | ---- | | | 3405 STEU R LOGAN'S WAY | PRIVATE |
| REV-15 | STORMCEPTOR | 6'-0" | 410.00 | ---- | 400.80 | 400.50 | SEE DETAIL THIS SHEET | | 3473.50 R LOGAN'S WAY | PRIVATE |
| REV-16 | MANHOLE | 5'-0" | 406.00 | ---- | 344.00 | 344.00 | HO. CO. G. 5.13 | | 3476.25 R LOGAN'S WAY | PRIVATE |



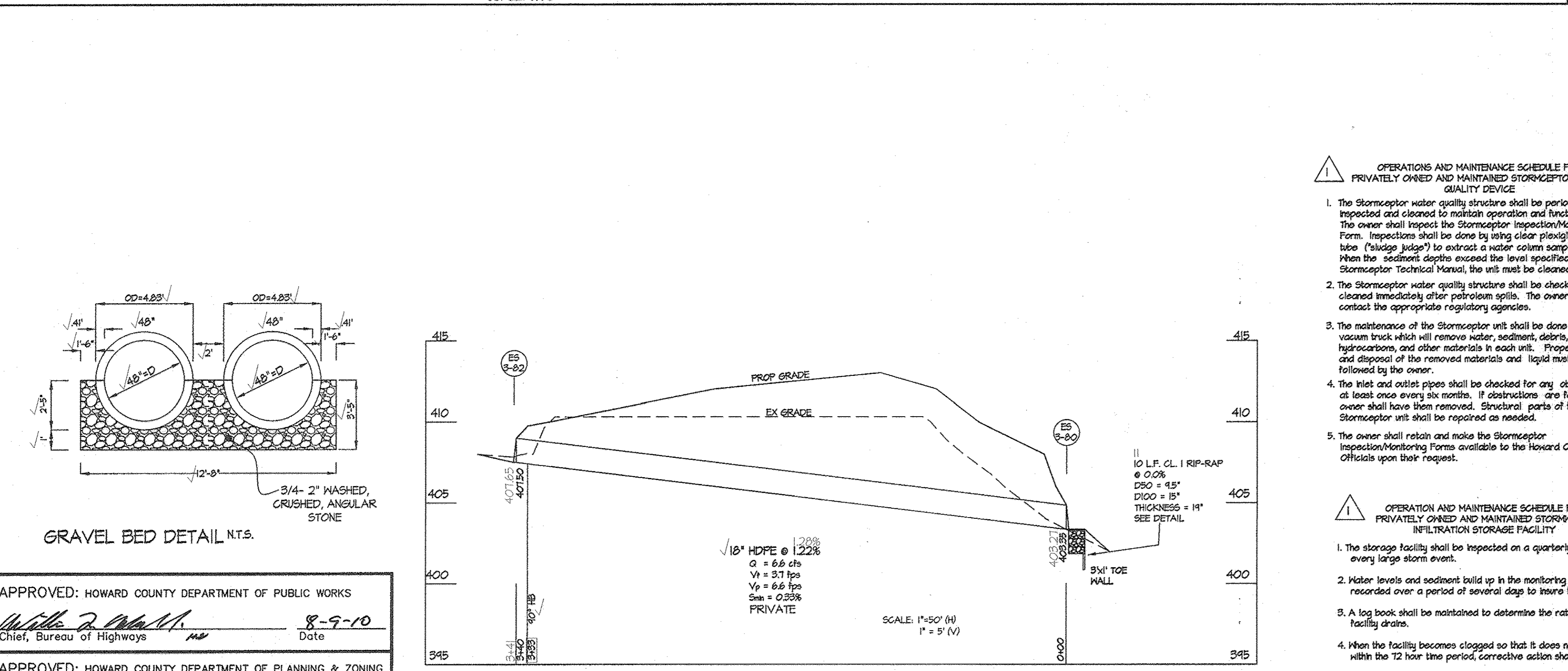
S.D. Pipe Summary Table PRIVATELY OWNED AND MAINTAINED

| Size (in.) | Type | Quantity (L.F.) | Remarks |
|------------|-----------------|-----------------|-------------------|
| 12 | HDPE | 21 | ADS N12 or equiv. |
| 18 | HDPE | 340 | ADS N12 or equiv. |
| 48 | PERFORATED HDPE | 675 | ADS N12 or equiv. |

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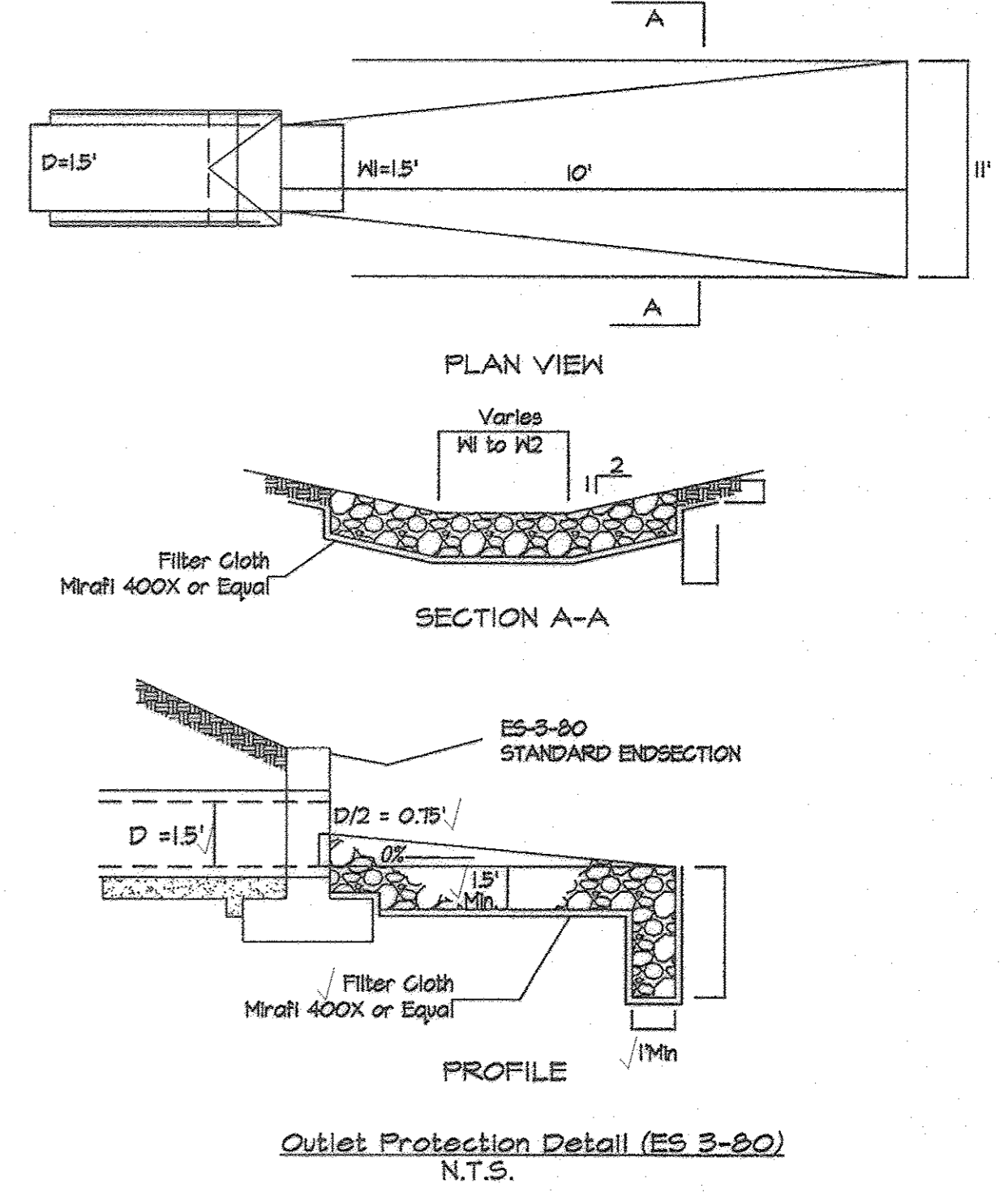
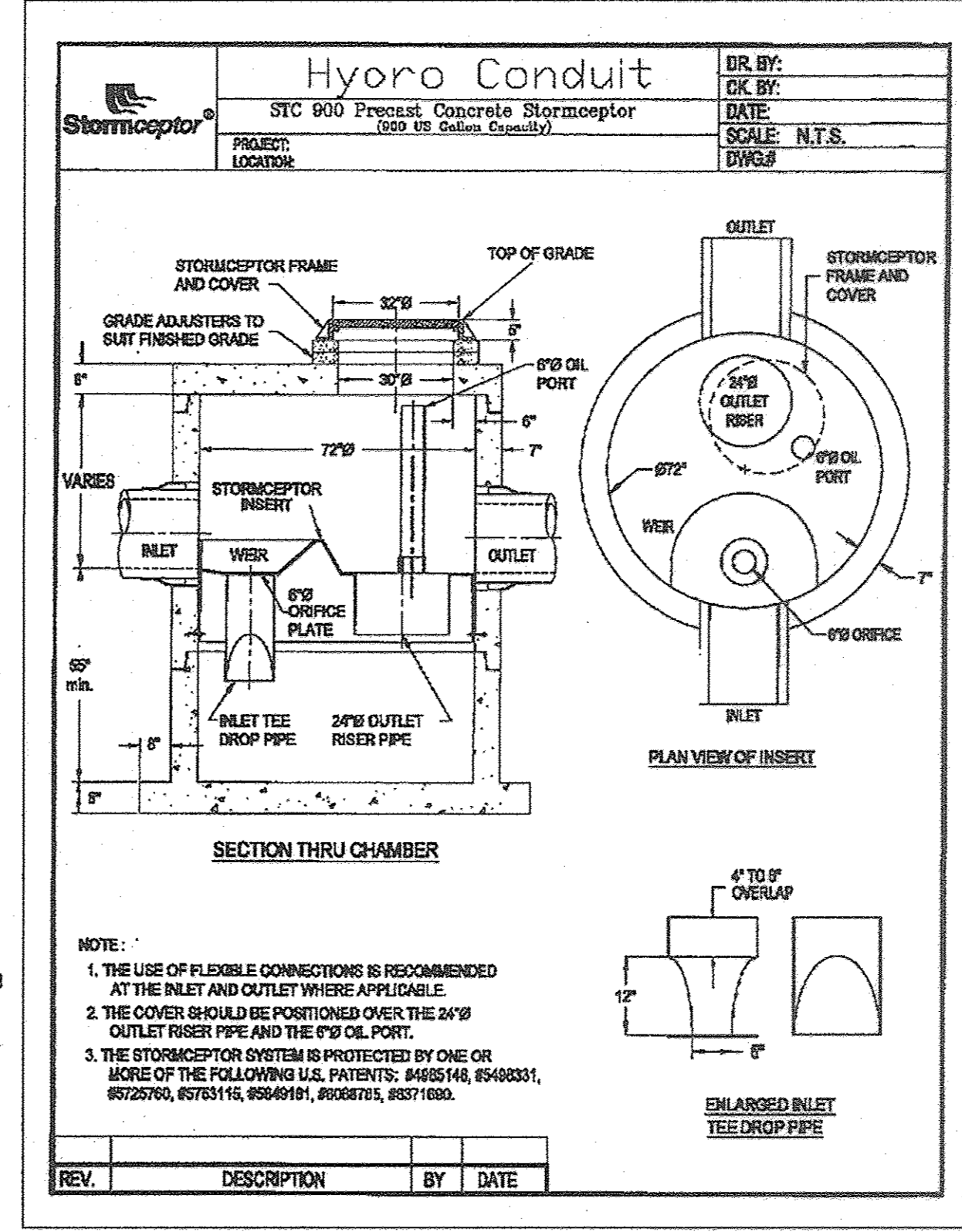


9/8/16
Date



- OPERATIONS AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE**
- The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor Inspection/Monitoring Form. Inspections shall be done by using clear plastic tubes ("sludge judge") to extract a water column sample. When the sediment depth exceeds the level specified in the Stormceptor Technical Manual, the unit must be cleaned.
 - The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
 - The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove water, sediment, debris, floating hydrocarbons, and other materials in each unit. Proper clearing and disposal of the removed materials and liquid must be followed by the owner.
 - The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found, the owner shall have them removed. Structural parts of the Stormceptor unit shall be repaired as needed.
 - The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available to the Howard County officials upon their request.

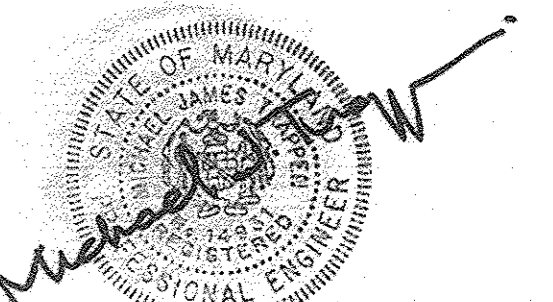
- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORM-WATER INFILTRATION STORAGE FACILITY**
- The storage facility shall be inspected on a quarterly basis and after every large storm event.
 - Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
 - A log book shall be maintained to determine the rate at which the facility drains.
 - When the facility becomes clogged so that it does not drain down within the 12 hour time period, corrective action shall be taken.
 - The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
 - Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.



OPERATION AND MAINTENANCE SCHEDULE

| FACILITY COMPONENT REQUIRING MAINTENANCE | MAINTENANCE ACTIVITY | WHEN MAINTENANCE ACTIVITY IS REQUIRED | EXPECTED FACILITY PERFORMANCE AFTER MAINTENANCE |
|--|---|---|--|
| STORAGE FACILITY | TRASH AND DEBRIS REMOVAL & SEDIMENT REMOVAL | FLOATABLE OBJECTS OR OTHER DEBRIS IS PRESENT IN THE STORAGE PIPES | PIPES ARE CLEAR OF ALL FLOATABLE OBJECTS AND DEBRIS. |
| PIPING FITTINGS AND CONTROL DEVICES | ENSURE ALL FITTINGS ARE SECURE AND THAT ALL CONTROLS ARE UNBLOCKED. FLUSH WITH WATER. | DRAINAGE SYSTEM IS OBSTRUCTED BY DEBRIS OR SEDIMENT. | SYSTEM FLOWS FREELY. |
| STORMCEPTOR | REMOVE ALL WATER AND POLLUTANTS FROM STRUCTURE. | SEDIMENT ACCUMULATES TO A DEPTH OF THREE FEET IN THE TREATMENT SUMP OR AFTER A SPILL. | STRUCTURE IS EMPTY. |

NOTE: COMPONENTS ARE TO BE INSPECTED QUARTERLY



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APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. Wall 8-9-10
Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Kent Sheehy 8/17/10
Chief, Division of Land Development

Michael J. Weber 8/17/10
Chief, Development Engineering Division

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4166

| DATE | REVISION | BY | APPR. |
|---------|--|-----|-------|
| 7/6/10 | REVISE TITLE BLOCK PER PLAT F 10-010 | MJT | MJT |
| 8/15/10 | OPERATION AND MAINTENANCE SCHEDULE ADDED | DIS | |

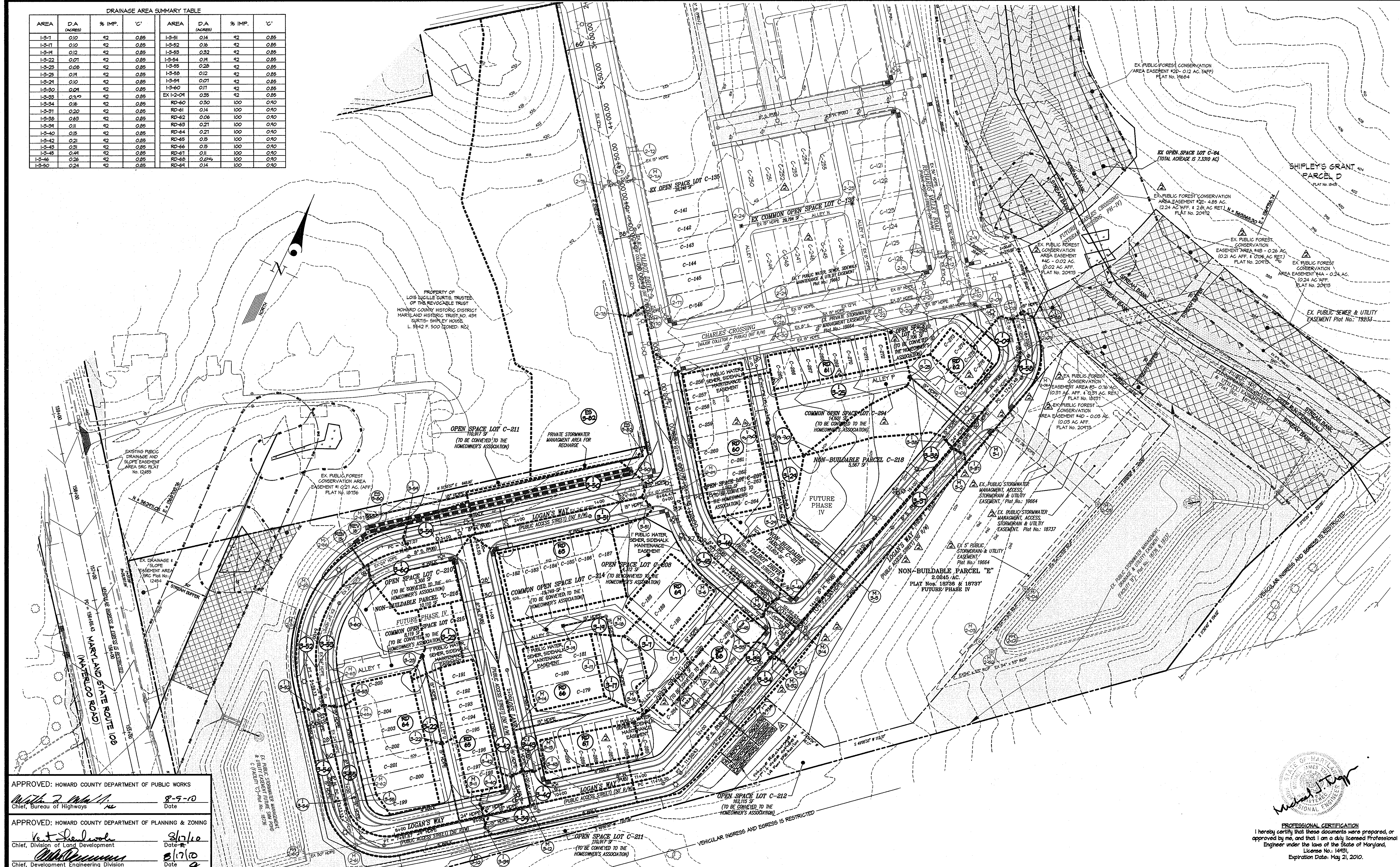
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c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL
301-623-1525

REVISED STORM DRAIN PROFILES
SHIPLEY'S GRANT
PHASE III

LOTS C-179 thru C-205 & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
COMMON OPEN SPACE LOT C-214, C-215 & C-294 and NON-BUILDABLE PARCELS C-216 thru C-218
A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664
ELECTION DISTRICT No. 1

| SCALE | ZONING | G. L. W. FILE No. |
|-------------------------|----------------|-------------------|
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| NOV. 2015 JULY, 2010 | 37-1&2 | 10 OF 14 |

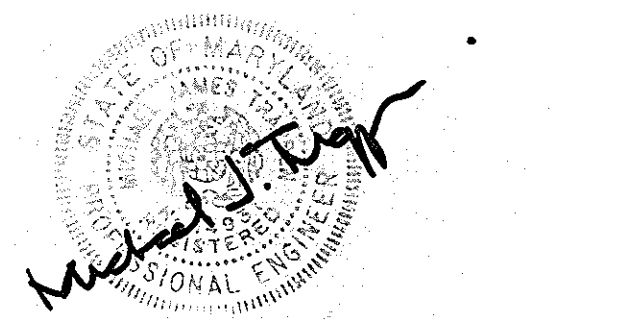
| DRAINAGE AREA SUMMARY TABLE | | | | | | | |
|-----------------------------|--------------|--------|------|-----------|--------------|--------|------|
| AREA | D.A. (ACRES) | % IMP. | C' | AREA | D.A. (ACRES) | % IMP. | C' |
| 1-3-7 | 0.10 | 42 | 0.85 | 1-3-51 | 0.14 | 42 | 0.85 |
| 1-3-11 | 0.12 | 42 | 0.85 | 1-3-52 | 0.16 | 42 | 0.85 |
| 1-3-14 | 0.12 | 42 | 0.85 | 1-3-55 | 0.32 | 42 | 0.85 |
| 1-3-22 | 0.21 | 42 | 0.85 | 1-3-54 | 0.18 | 42 | 0.85 |
| 1-3-25 | 0.28 | 42 | 0.85 | 1-3-55 | 0.28 | 42 | 0.85 |
| 1-3-26 | 0.14 | 42 | 0.85 | 1-3-58 | 0.12 | 42 | 0.85 |
| 1-3-24 | 0.10 | 42 | 0.85 | 1-3-54 | 0.07 | 42 | 0.85 |
| 1-3-30 | 0.04 | 42 | 0.85 | 1-3-60 | 0.17 | 42 | 0.85 |
| 1-3-35 | 0.12 | 42 | 0.85 | EX 1-2-04 | 0.95 | 42 | 0.85 |
| 1-3-34 | 0.16 | 42 | 0.85 | RD-60 | 0.30 | 100 | 0.40 |
| 1-3-31 | 0.20 | 42 | 0.85 | RD-61 | 0.14 | 100 | 0.40 |
| 1-3-36 | 0.65 | 42 | 0.85 | RD-62 | 0.06 | 100 | 0.40 |
| 1-3-34 | 0.11 | 42 | 0.85 | RD-63 | 0.21 | 100 | 0.40 |
| 1-3-40 | 0.15 | 42 | 0.85 | RD-64 | 0.21 | 100 | 0.40 |
| 1-3-42 | 0.21 | 42 | 0.85 | RD-65 | 0.15 | 100 | 0.40 |
| 1-3-45 | 0.31 | 42 | 0.85 | RD-66 | 0.15 | 100 | 0.40 |
| 1-3-45 | 0.44 | 42 | 0.85 | RD-67 | 0.11 | 100 | 0.40 |
| 1-3-46 | 0.25 | 42 | 0.85 | RD-68 | 0.25 | 100 | 0.40 |
| 1-3-50 | 0.24 | 42 | 0.85 | RD-64 | 0.14 | 100 | 0.40 |



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. ... 8-9-10
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
W. J. ... 8/17/10
 Chief, Division of Land Development Date

W. J. ... 8/17/10
 Chief, Development Engineering Date



PROFESSIONAL CERTIFICATION
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 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186
 BALT: 410-880-1020 DC/VA: 301-989-2524

| DATE | REVISION | BY | APPR. |
|---------|--|-----|-------|
| 7/10/11 | Recharge Pit Added to Open Space Lot C-214 | WJL | WJL |
| 4/4/11 | Add 2nd Lateral Conduit For Lots C-250 thru C-264 | WJL | WJL |
| 7/6/10 | UPDATE PROPERTY LINES AND LOT ID'S PER PLAT F 10-040, FCE NOTES PER F 10-040 & REM. PAR E H2'S | MLT | MLT |

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
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 c/o BOZZUTO HOMES, INC.
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REVISED STORM DRAIN DRAINAGE AREA MAP
SHIPLEY'S GRANT
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 ELECTION DISTRICT No. 1
 HOWARD COUNTY, MARYLAND

| SCALE | ZONING | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=50' | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| JULY, 2010 | 37-1&2 | 11 OF 14 |



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
With R. M. H. H. 8-5-10
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Kat Stalow 8/17/10
 Chief, Division of Land Development Date

Chris DeWanna 8/17/10
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
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| DATE | REVISION | BY | APPR. |
|---------|--|-----|-------|
| 1/15/11 | Recharge Pit Added to Open Space Lot C-212 | WJW | MDP |
| 4/9/11 | Add and Lateral Connections for Lots C-206 thru C-209 | WJW | MDP |
| 7/6/10 | UPDATE PROPERTY LINES AND LOT ID'S PER PLAT F 10-040, FCE NOTES PER F 10-060 & REM. PAR E HC'S | MJT | MJT |

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REVISED LANDSCAPE AND STREET TREE PLAN
SHIPLEY'S GRANT
 PHASE III
 LOTS C-179 thru C-205 & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
 COMMON OPEN SPACE LOT C-214, C-215 & C-294 and NON-BUILDABLE PARCELS C-216 thru C-218
 A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT Nos 19661 THRU 19664
 ELECTION DISTRICT No. 1

| SCALE | ZONING | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=50' | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| JULY, 2010 | 37-1&2 | 12 OF 14 |

LEGEND

QUANTITY 14
 TYPE

- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED STREET TREE
- EXISTING PLANTINGS PER F-06-11

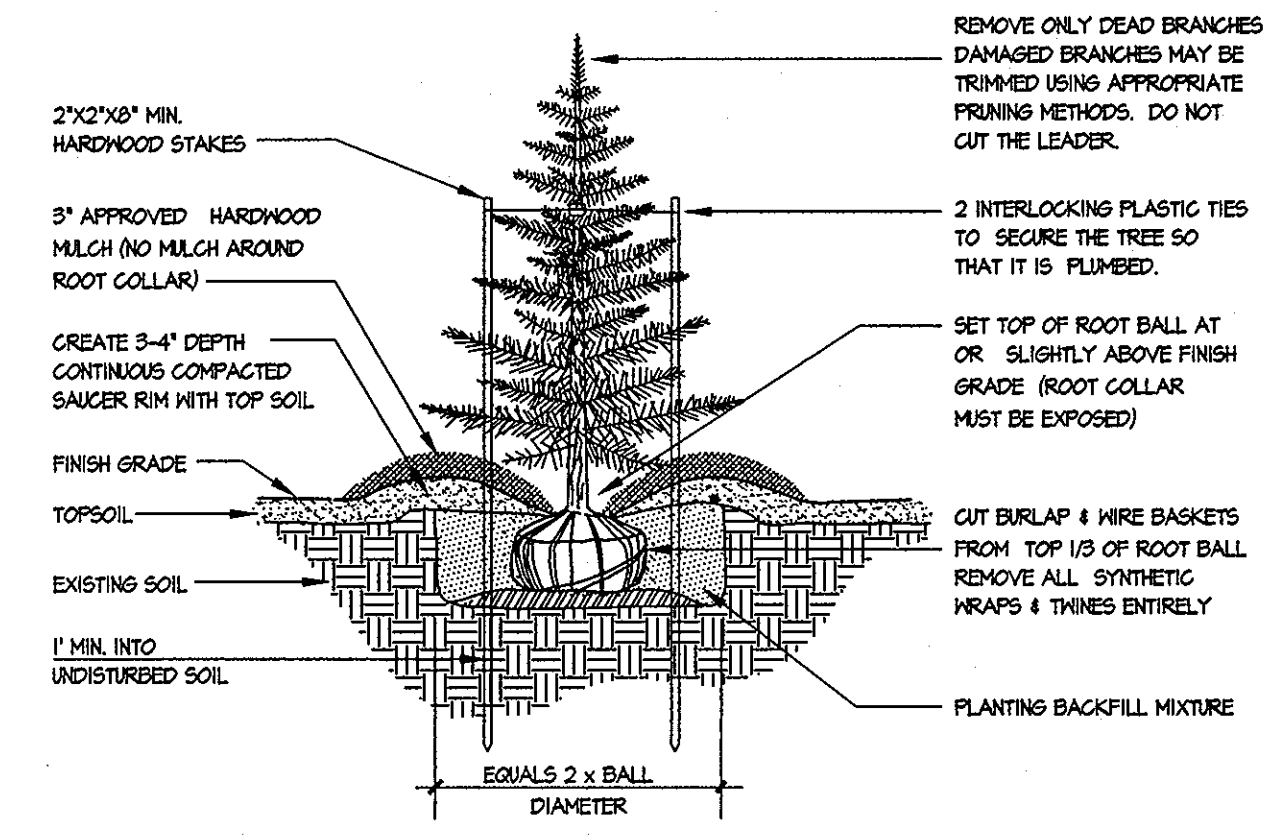
Michael J. Trapani
 PROFESSIONAL CERTIFICATION
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| PLANT LIST | | | | | |
|--------------------------|--------|------------------------------|--|-----------|--|
| SYMBOL | QUANT. | SIZE | NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER | COMMENTS | |
| TREES - SHADE | | | | | |
| C | 7 | 2.5' CAL. 12-14' HT. MIN. | QUERCUS BICOLOR / SWAMP WHITE OAK | B4B, FULL | |
| L | 11 | 2.5' CAL. 12-14' HT. MIN. | LIQUIDAMBAR STRACIFLUA / SHEETSUM | B4B, FULL | |
| S | 7 | 2.5' CAL. 12-14' HT. MIN. | PLATANUS OCCIDENTALIS / SYCAMORE | B4B, FULL | |
| U | 7 | 3.5' CAL. | ULMUS AMERICANA PRINCETON / PRINCETON ELM | B4B, FULL | |
| TREES - EVERGREEN | | | | | |
| PS | 32 | 8-10' HT. MIN. | FINUS STROBUS / WHITE PINE | B4B, FULL | |

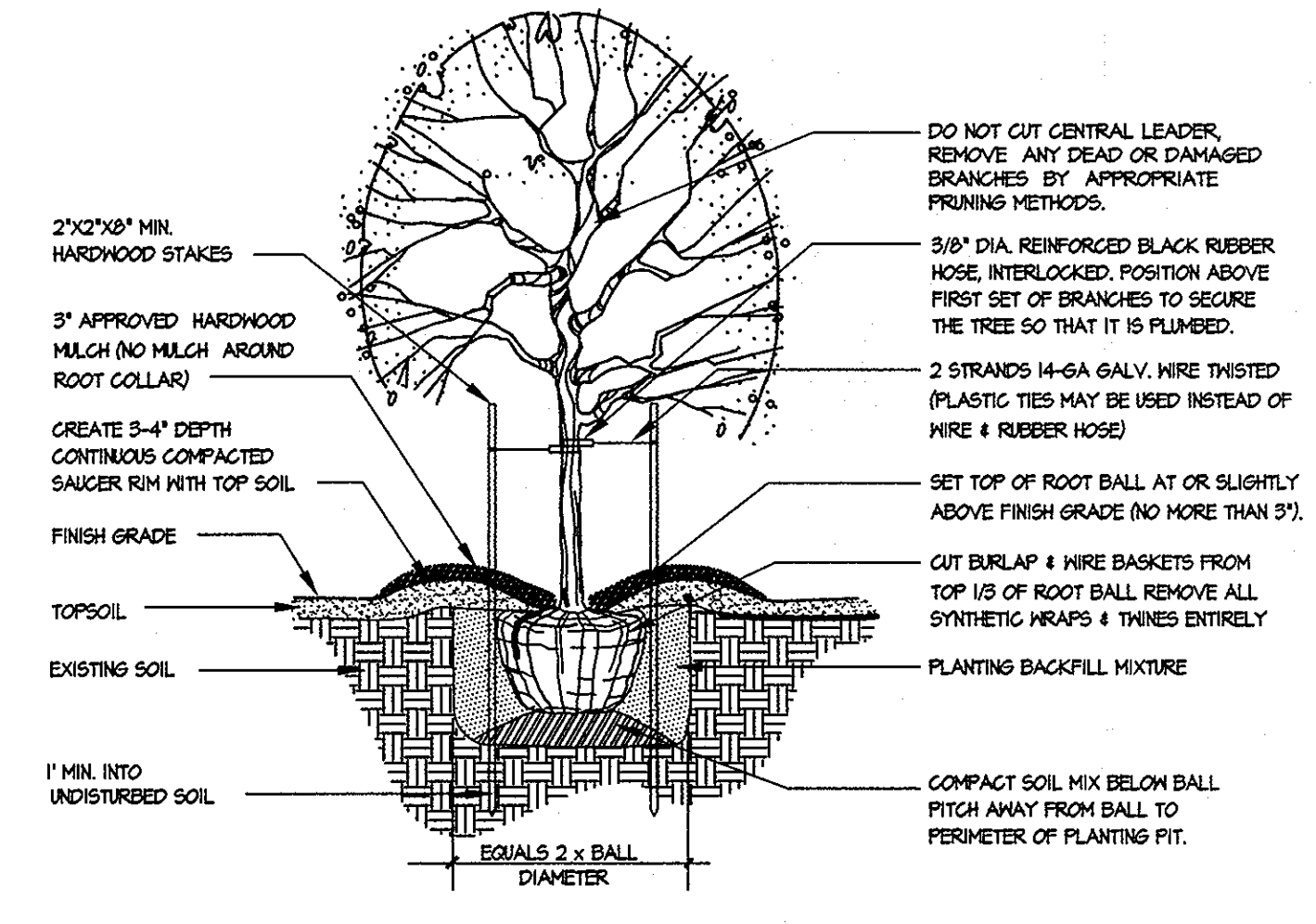
| STREET TREE SCHEDULE | |
|--|-----------|
| LINEAR FEET OF CURBLINE | 4352 L.F. |
| NUMBER OF STREET TREES REQUIRED: STREET TREES (1:40) | 104 |
| NUMBER OF STREET TREES PROVIDED: STREET TREES OTHER TREES (2:1 SUBSTITUTION) | 104 0 |

LANDSCAPING NOTES

- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocation is required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full heavy, well formed, and symmetrical and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- Financial surety for the required landscaping per schedule A shall be posted with the Developer's Agreements in the amount of \$14,400.00.
- The owner, tenant, and /or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.



EVERGREEN TREE PLANTING DETAIL NTS



DECIDUOUS TREE PLANTING DETAIL NTS

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

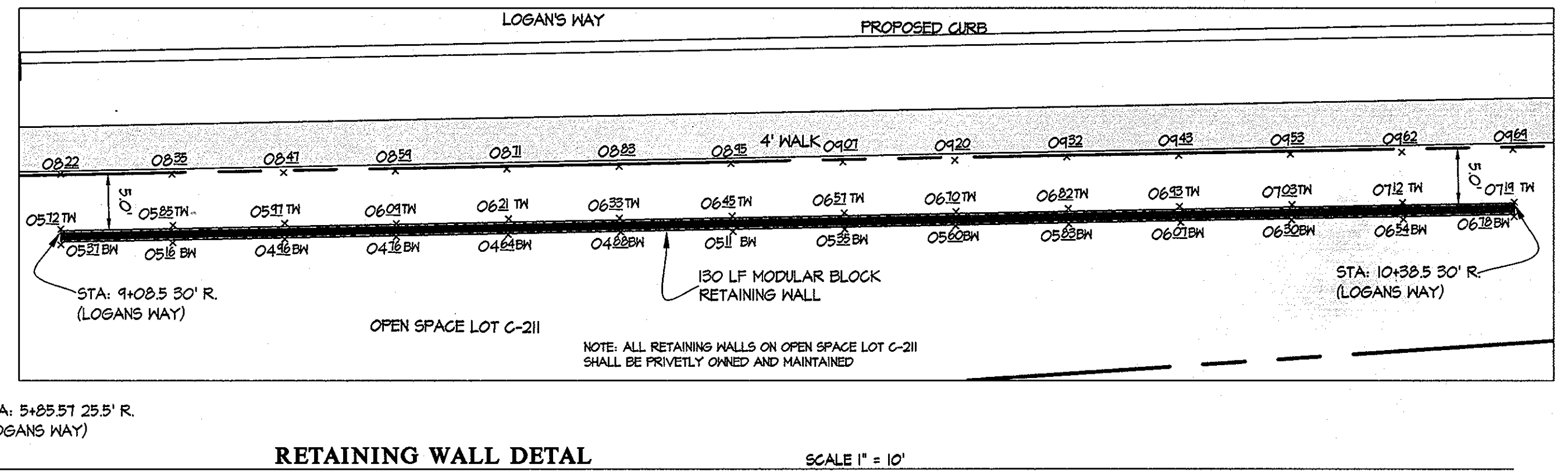
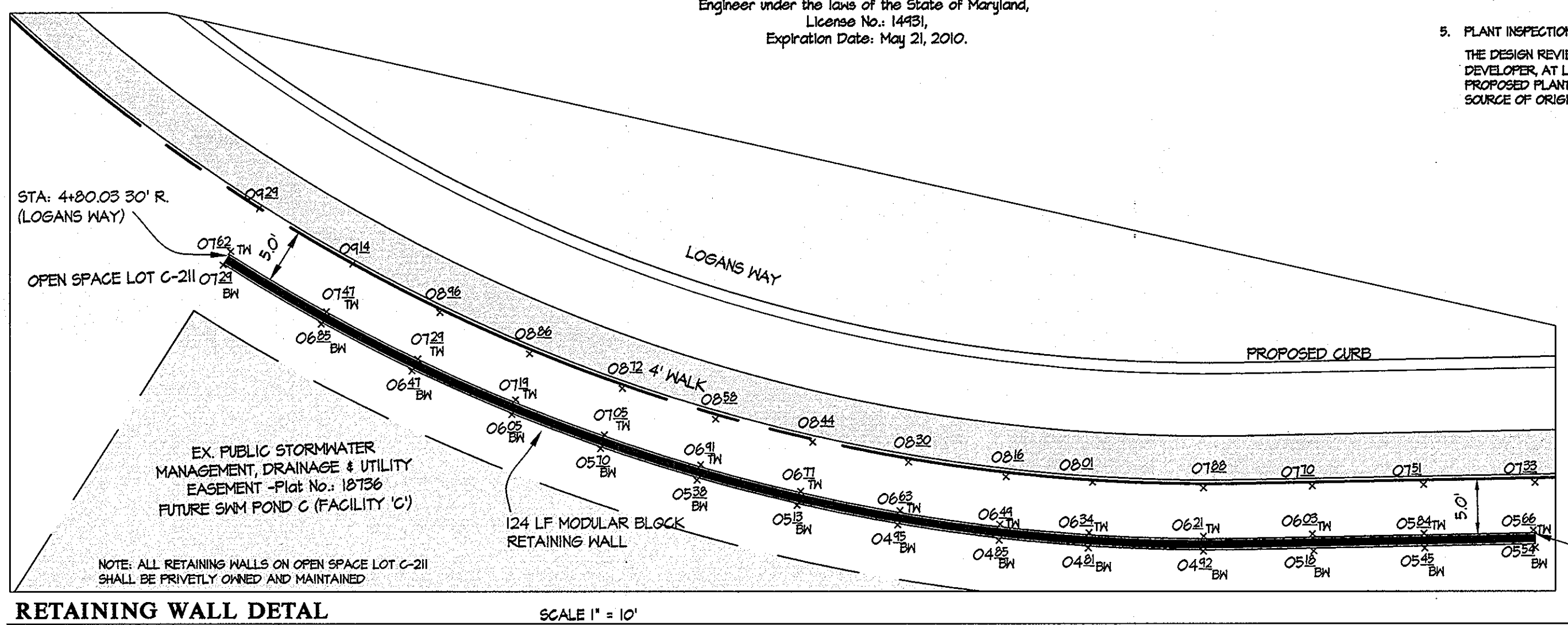
- A. PLANT MATERIALS**
THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPORT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.
- B. PLANTING METHODS**
ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING.
- 1. PLANT NAMES**
PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH STANDARDIZED PLANT NAMES, LATEST EDITION.
- 2. PLANT STANDARDS**
ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE USA STANDARD FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HERE-AFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS, THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.
- 3. PLANT MEASUREMENTS**
ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRG).
- A. CALIPER MEASUREMENTS** SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") CALIPER AND OVER.
- B. MINIMUM BRANCHING HEIGHT** FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM BRANCHING HEIGHT SHALL BE SIX FEET (6'), MAXIMUM BRANCHING HEIGHT SHALL BE SIX FEET (6').
- C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL** SHALL BE GENERALLY AS FOLLOWS:
- | CALIPER | HEIGHT | SPREAD | SIZE OF BALL |
|-----------|---------|---------|--------------|
| 3" - 3.5" | 14'-16' | 6'-8' | 52" DIAMETER |
| 3.5" - 4" | 14'-16' | 8'-10' | 56" DIAMETER |
| 4" - 4.5" | 16'-18' | 8'-10' | 60" DIAMETER |
| 4.5" - 5" | 16'-18' | 10'-12' | 64" DIAMETER |
| 5" - 5.5" | 16'-20' | 10'-12' | 68" DIAMETER |
| 5.5" - 6" | 18'-20' | 12'-14' | 72" DIAMETER |
- ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE 'AAN STANDARDS'.
- 4. PLANT IDENTIFICATION**
LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH IDENTIFICATION OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.
- 5. PLANT INSPECTION**
THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.
- 1. PLANTING SEASONS**
THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.
- 2. DIGGING**
ALL PLANT MATERIAL SHALL BE DIG, BALLED AND BURLAPPED (B4B) IN ACCORDANCE WITH THE 'AAN STANDARDS'.
- 3. EXCAVATION OF PLANT PITS**
THE LANDSCAPE CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
- A. LOCATIONS** OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.
- B. ALL PITS** SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL, DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.
- C. IF AREAS** ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GRASS COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.
- D. DIAMETER AND DEPTH OF TREE PITS** SHALL GENERALLY BE AS FOLLOWS:
- | PLANT SIZE | ROOT BALL | PIT DIA. | PIT DEPTH |
|----------------|-----------|----------|-----------|
| 3" - 3.5" CAL. | 32" | 64" | 28" |
| 3.5" - 4" CAL. | 36" | 72" | 32" |
| 4" - 4.5" CAL. | 40" | 80" | 36" |
| 4.5" - 5" CAL. | 44" | 88" | 40" |
| 5" - 5.5" CAL. | 48" | 96" | 44" |
| 5.5" - 6" CAL. | 52" | 104" | 48" |
- 6. PLANT INSPECTION AND ACCEPTANCE**
THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- 7. PLANT GUARANTEE**
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.
- A. FOR THIS PURPOSE,** THE 'GROWING SEASON' SHALL BE THAT PERIOD BETWEEN THE END OF THE 'SPRING' PLANTING SEASON, AND THE COMMENCEMENT OF THE 'FALL' PLANTING SEASON.
- B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE 'SPRING' PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING 'SPRING' PLANTING SEASON.**
- SODDING**
ALL SODDING SHALL BE IN ACCORDANCE TO THE 'LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS' LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.
- ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOD CAPABLE OF GROWTH DEVELOPMENT HERE PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4' LONG. PROVIDE SOD COMPOSED PRIMARILY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS COLUMBIA, VICTA, OR ESCORT.

| SCHEDULE A: PERIMETER LANDSCAPE EDGE | | | | |
|--|----------------------------------|---------------------|--------------|--|
| CATEGORY | ADJACENT TO PERIMETER PROPERTIES | | | |
| | A | EXISTING (F-06-01R) | C | |
| LANDSCAPE BUFFER TYPE | | | | |
| LOCATION | PERIMETER #1 | PERIMETER #1 | PERIMETER #2 | |
| LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER | 934 L.F. | 1203 L.F. | 648 L.F. | |
| CREDIT FOR EXISTING VEGETATION | NONE | | NONE | |
| CREDIT FOR WALL FENCE OR BERM | NONE | | NONE | |
| NUMBER OF PLANTS REQUIRED | | | | |
| SHADE TREES | 16 | | 16 | |
| EVERGREEN TREES | 0 | | 32 | |
| SHRUBS | 0 | | 0 | |
| NUMBER OF PLANTS PROVIDED | | | | |
| SHADE TREES | 16 | | 16 | |
| EVERGREEN TREES | 0 | | 32 | |
| OTHER TREES (2:1 sub) | 0 | | 0 | |
| SHRUBS (10:1 sub) | 0 | | 0 | |
| SUBSTITUTIONS | NONE | | NONE | |

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE PER SCHEDULE A HAS BEEN POSTED IN THE AMOUNT OF \$14,400.00 IS FOR THE FOLLOWING:

32 SHADE TREES @ \$300.00/TREE = \$9,600.00
 32 EVERGREEN TREES @ \$150.00/TREE = \$4,800.00
 TOTAL SURETY = \$14,400.00

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared, or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 14231, Expiration Date: May 21, 2010.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-9-10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 8/10/10

Chief, Development Engineering Division
 Date: 8/10/10

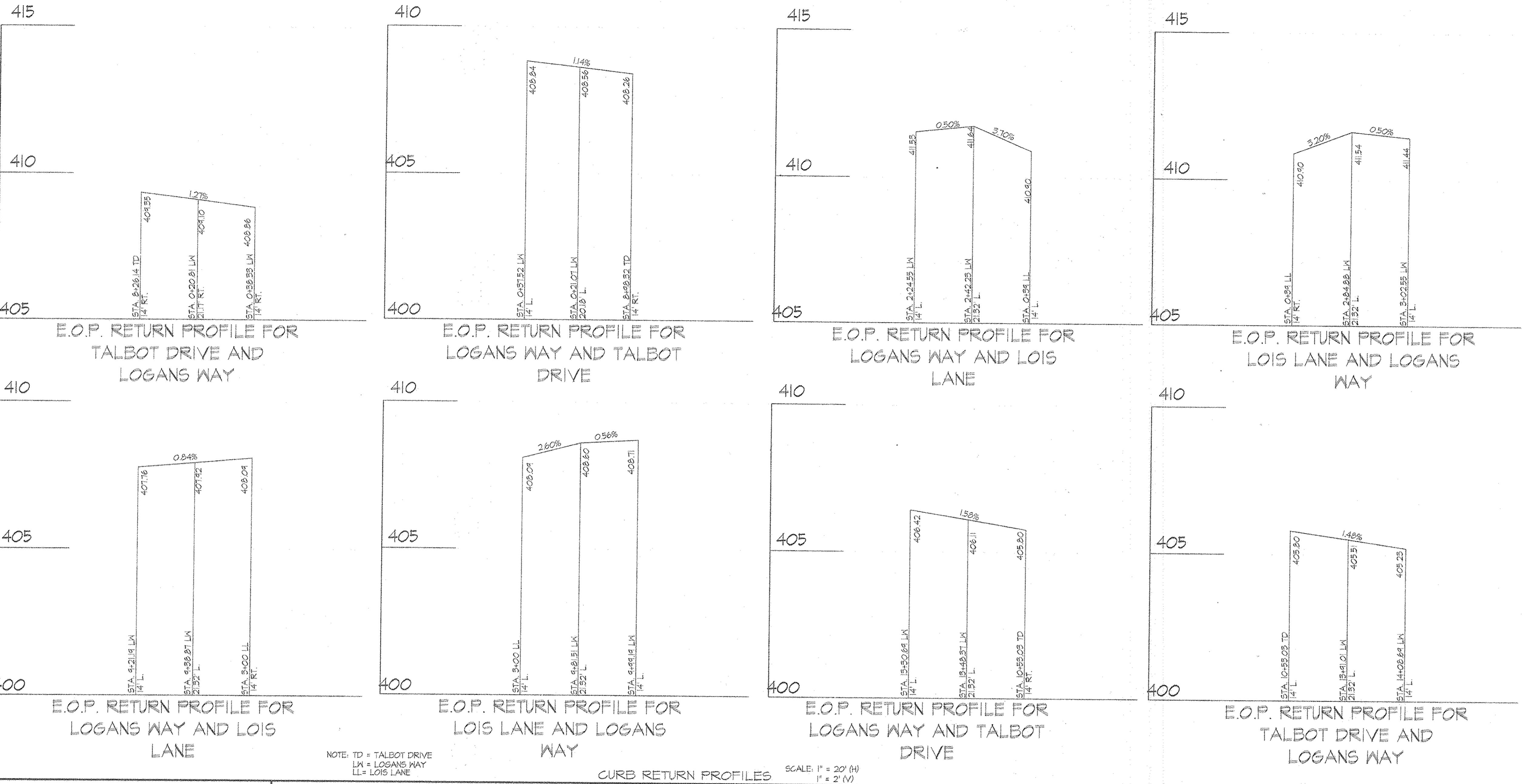
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/WA: 301-389-2524 FAX: 301-421-4188

| DATE | REVISION | BY | APP'R. |
|--------|--------------------------------------|-----|--------|
| 7/6/10 | REVISE TITLE BLOCK PER PLAT F 10-090 | MLT | MLT |
| | | BY | APP'R. |

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
 BA WATERLOO TOWNHOMES, LLC.
 c/o BOZZUTO HOMES, INC.
 7850 WALKER DRIVE, SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL
 301-623-1525

REVISED DETAILS & LANDSCAPE NOTES
SHIPLEY'S GRANT
 PHASE III
 LOTS C-179 thru C-205 & C-256 thru C-291, OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
 COMMON OPEN SPACE LOT C-214, C-215 & C-294 and NON-BUILDABLE PARCELS C-216 thru C-218
 A RESUBDIVISION OF BUILDABLE PARCELS C-139 & C-140, SHIPLEY'S GRANT, PHASE II, PLAT No. 19661 THRU 19664
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 1

| SCALE | ZONING | G. L. W. FILE No. |
|------------|----------------|-------------------|
| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| JULY, 2010 | 37-1&2 | 13 OF 14 |



NOTE: TD = TALBOT DRIVE
LW = LOGANS WAY
LL = LOIS LANE

CURB RETURN PROFILES SCALE: 1" = 20' (H)
1" = 2' (V)

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 14431, Expiration Date: May 21, 2018.

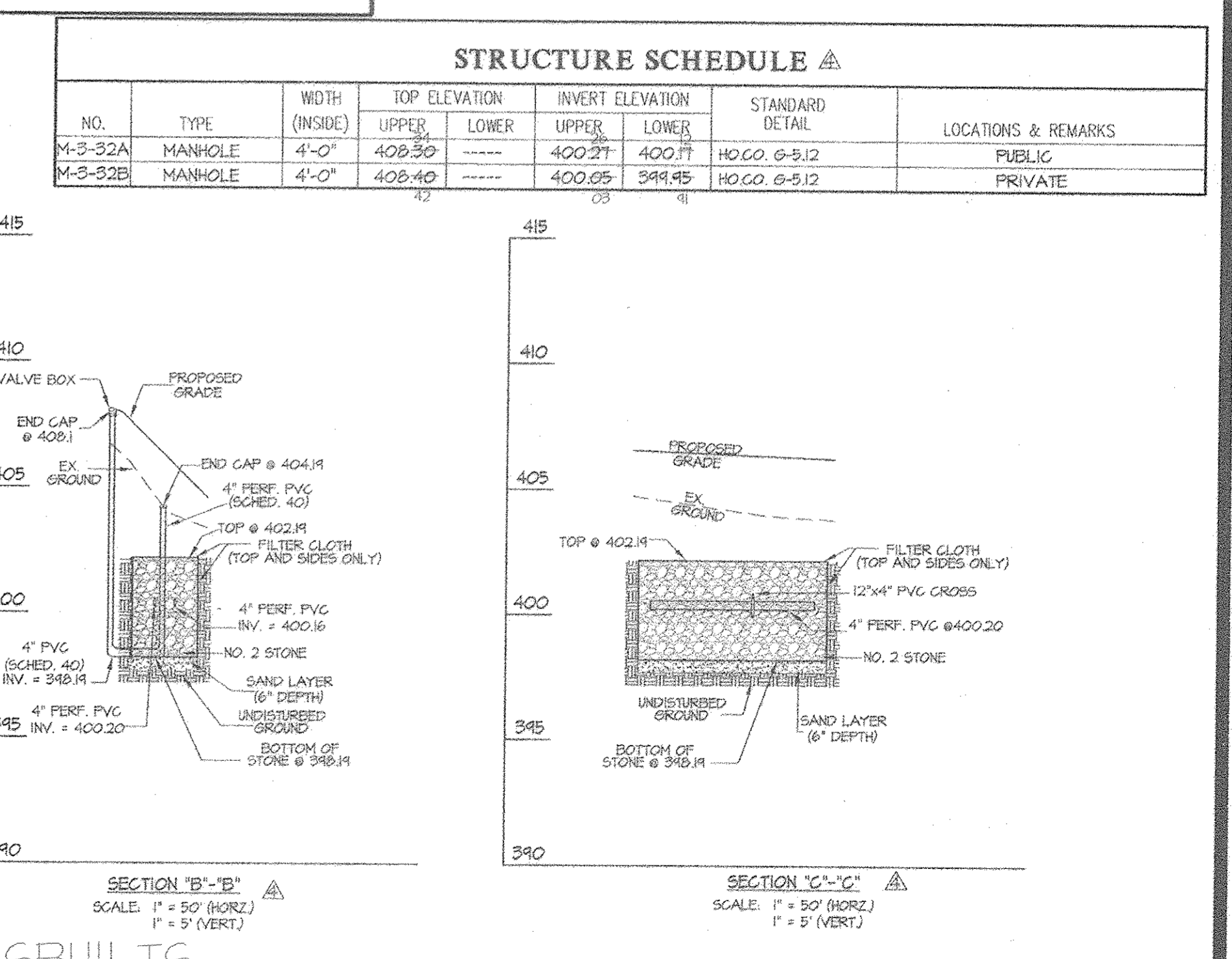
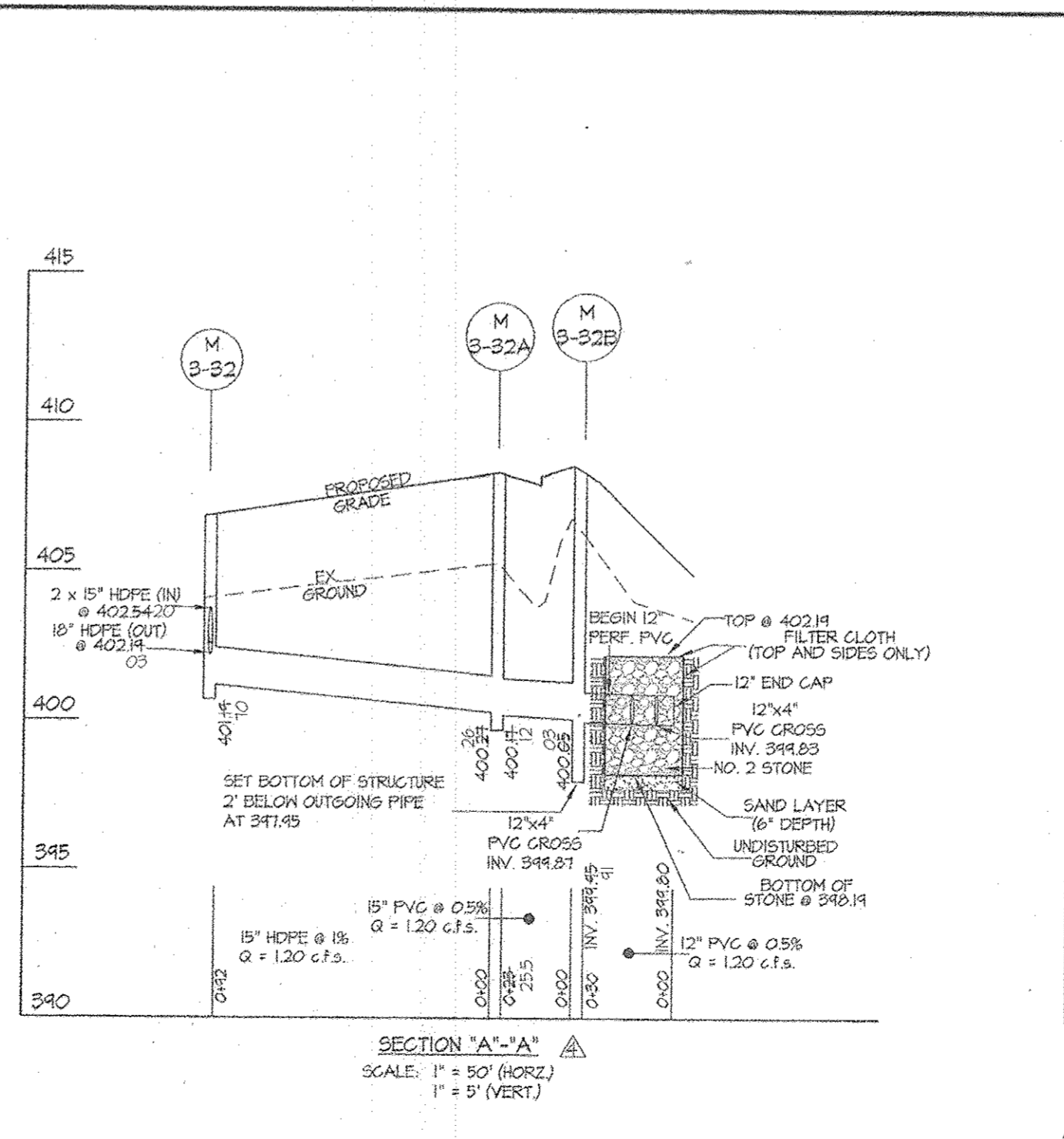
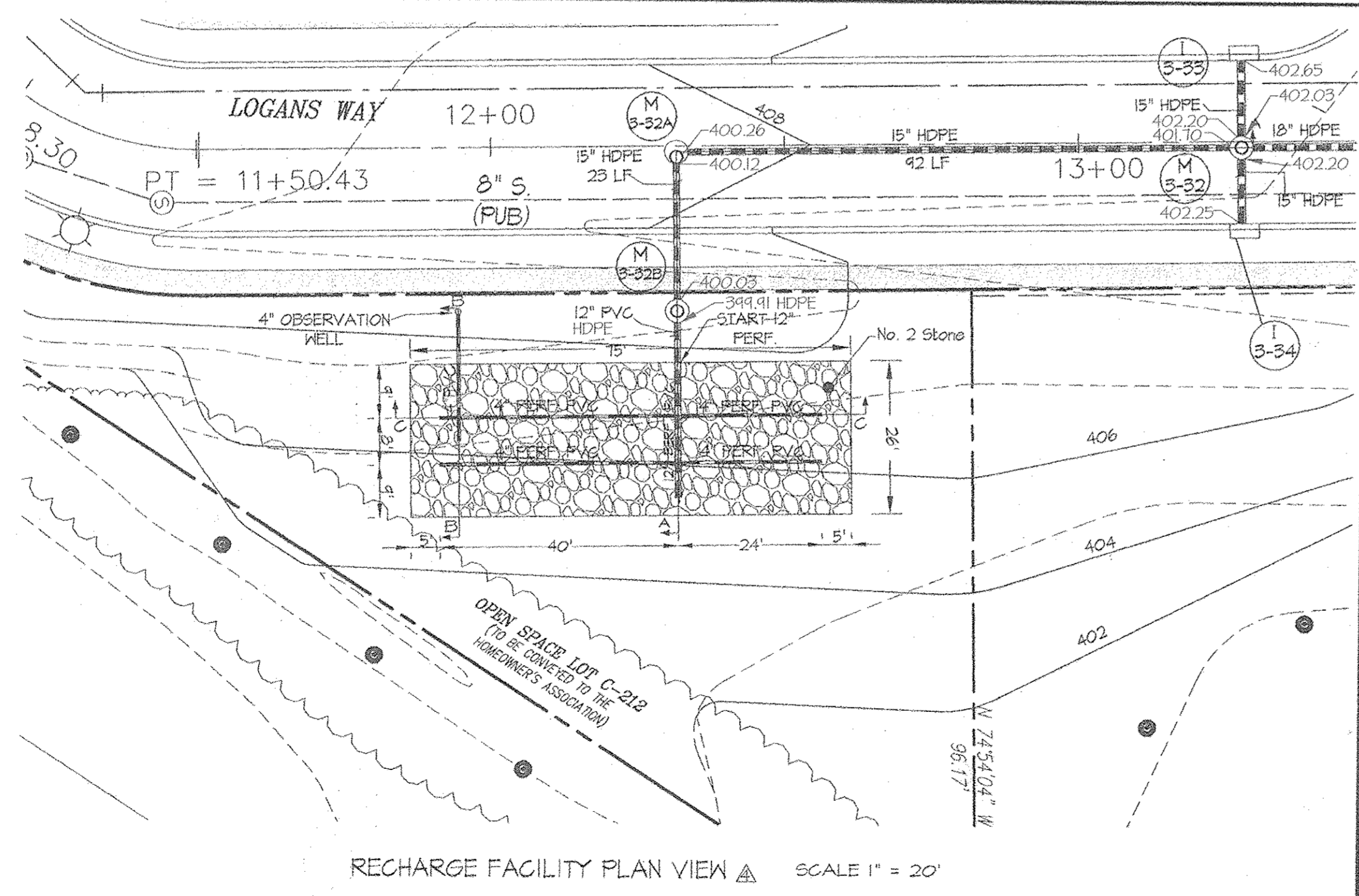


9/3/16
Date

- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES
1. THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
 2. WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
 3. A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
 4. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 12 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
 5. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
 6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

| PIPE SCHEDULE | | |
|---------------|---------------|---------|
| SIZE & TYPE | QUANTITY (LF) | REMARKS |
| 12" PVC | 7 | SCH. 40 |
| 15" HDPE | 115 | |
| 12" PERF. PVC | 23 | SCH. 40 |
| 4" PVC | 18 | SCH. 40 |
| 4" PERF. PVC | 147 | SCH. 40 |

*ALL PIPES TO BE PRIVATE.



| STRUCTURE SCHEDULE | | | | | | | | |
|--------------------|---------|----------------|---------------|--------|------------------|--------|-----------------|---------------------|
| NO. | TYPE | WIDTH (INSIDE) | TOP ELEVATION | | INVERT ELEVATION | | STANDARD DETAIL | LOCATIONS & REMARKS |
| | | | UPPER | LOWER | UPPER | LOWER | | |
| M-3-32A | MANHOLE | 4'-0" | 408.30 | 400.07 | 400.27 | 400.07 | HOCO G-312 | PUBLIC |
| M-3-32B | MANHOLE | 4'-0" | 408.40 | 400.05 | 400.05 | 399.85 | HOCO G-512 | PRIVATE |

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared, or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License No. 14431, Expiration Date: May 21, 2012.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
7-27-2011
Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/01/11
Chief, Division of Land Development

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
7/29/11
Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
BURTOWNSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-980-2524

| DATE | REVISION | BY | APPR. |
|------|------------------------|----|-------|
| 5/11 | RECHARGE DETAILS ADDED | | |

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
BA WATERLOO TOWNHOMES, LLC.
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
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REVISD CURB RETURN PROFILES & RECHARGE DETAILS
SHIPLEY'S GRANT
PHASE III
LOTS C-179 thru C-205, & C-256 thru C-291 OPEN SPACE LOTS C-207, C-208, C-210 thru C-212, C-292 & C-293
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ELECTION DISTRICT No. 1
HOWARD COUNTY, MARYLAND

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| AS SHOWN | R-A-15 | 06002 |
| DATE | TAX MAP - GRID | SHEET |
| NOV., 2015 JULY, 2011 | 37-1&2 | 14 OF 14 |