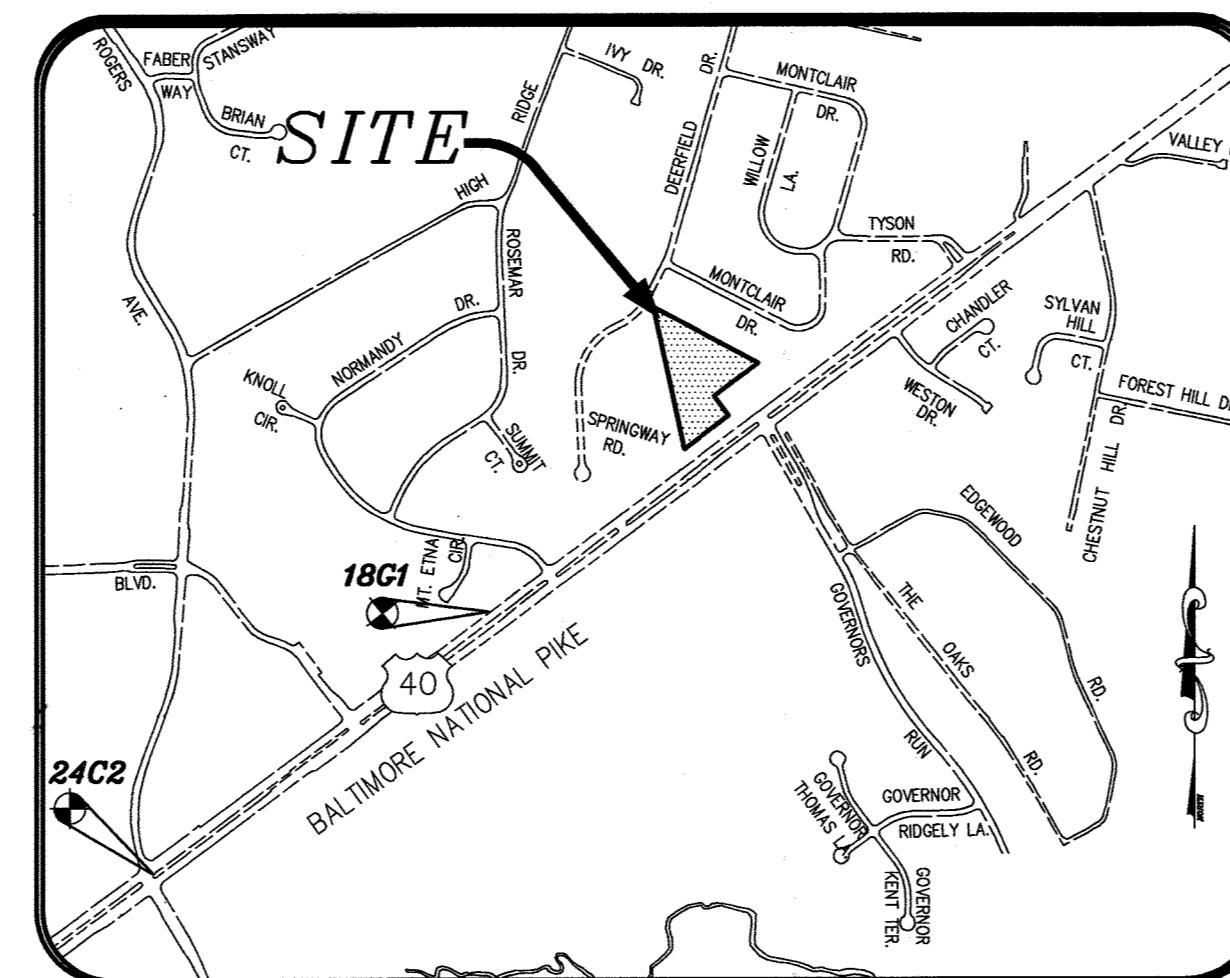


CONSTRUCTION PLANS SERIO ESTATES LOTS 1 - 8 AND OPEN SPACE LOTS 9 & 10

SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

GENERAL NOTES:

- SITE DATA:**
 ZONING : R-20
 TAX MAP 18 PARCEL 59 BLOCK 19
 DEED REFERENCE : 5899/492
 DPZ FILE NUMBERS : SP-02-010; WP-03-062; 14-4442-D;
 MDE PERMIT TRACKING NUMBER : 03-NT-0047/200362099
 GROSS AREA : 4.49 ACRES
 AREA OF WETLANDS : 0.33 ACRES
 MINIMUM LOT SIZE : 12,000 SQ. FT.
 NUMBER OF ALLOWED BUILDABLE LOTS : 8
 NUMBER OF PROPOSED BUILDABLE LOTS : 8
 NUMBER OF OPEN SPACE LOTS : 2
 AREA OF OPEN SPACE REQUIRED (40% X 4.49) = 1.80 Ac.
 AREA OF OPEN SPACE PROVIDED = 2.0 Ac
 AREA OF NON CREDITED OPEN SPACE = 0.14 Ac
 AREA OF CREDITED OPEN SPACE = 1.86 Ac
- 2' TOPOGRAPHY FOR THE DEVELOPED AREAS IS BASED ON A FIELD RUN SURVEY BY MILDENBERG, BOENDER AND ASSOCIATES, INC. ON SEPTEMBER 2001.
- BASED ON AVAILABLE COUNTY DATA, NO HISTORIC STRUCTURES OR BURIAL GROUNDS EXIST ON SITE.
- SUBJECT PROPERTY ZONED R-20 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED 1968, SHEET 16.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. PUBLIC WATER AND SEWER WILL BE UTILIZED.
- WETLAND STUDY PREPARED BY WILDMAN ENVIRONMENTAL SERVICES, INC. IN JAN. 2002.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS :
 A) WIDTH - 12 FEET (4 FEET SERVING MORE THAN ONE RESIDENT).
 B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1.5" MIN.).
 C) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT RADIUS.
 D) STRUCTURES (CULVERT/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- NO STRUCTURES EXIST ON SITE.
- THIS SUBDIVISION PLAN IS SUBJECT TO THE FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- NO STEEP SLOPES EXIST ON SITE.
- STORMWATER MANAGEMENT IS PROVIDED BY NON-ROOFTOP DISCONNECTION CREDIT, SHEET FLOW TO BUFFER, RAIN GARDENS, NATURAL CONSERVATION AREA CREDIT AND A PRIVATELY OWNED AND MAINTAINED SURFACE SAND FILTER.
- THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD '83/'91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 18G1 AND NO. 24C2.
 18G1 N 589984.951 E 1367750.255 EL. 408.491
 24C2 N 588648.312 E 1366038.195 EL. 354.780
- THE FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY MILDENBERG, BOENDER AND ASSOCIATES, INC. ON JUNE 2002. AND WAS APPROVED ON JAN. 17, 2003.
- THE TRAFFIC STUDY WAS PREPARED BY MARS GROUP ON JULY 2002 AND WAS APPROVED ON JAN. 17, 2003.
- THE NOISE STUDY WAS PREPARED BY WILDMAN ENVIRONMENTAL ON JULY 2002 AND WAS APPROVED ON JAN. 17, 2003.
- THIS PLAN IS SUBJECT TO WP-03-062 APPROVED BY DIVISION OF LAND DEVELOPMENT ON JANUARY 17, 2003 WHICH WAIVES THE REQUIREMENT OF OPEN SPACE LOTS HAVE 40' OF FRONTAGE ON A PUBLIC ROAD, LOTS OR PARCELS HAVING SUFFICIENT FRONTAGE ON A PUBLIC ROAD, PROHIBITS GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND ALL NEW CONSTRUCTION WITHIN 25 FEET OF WETLANDS AND PROHIBITS GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND ALL NEW CONSTRUCTION WITHIN 50 FEET OF AN INTERMITTENT STREAM. THIS PLAN IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. DEVELOPER SHALL MODIFY THE EXISTING 24 FOOT WIDE ACCESS EASEMENT TO ACCOMMODATE A PRIVATE ACCESS EASEMENT DESIGNED TO PROVIDE ACCESS TO THE 8 PROPOSED RESIDENTIAL LOTS AND THE TWO OPEN SPACE LOTS. BEYOND THE TERMINUS OF THIS PRIVATE ACCESS PLACE, A USE-IN-COMMON DRIVEWAY SHALL BE CONSTRUCTED WITHIN A 24 FOOT WIDE EASEMENT TO PROVIDE ACCESS TO LOTS 3 - 6. A DEVELOPER'S AGREEMENT FOR THE PRIVATE ACCESS PLACE AND MAINTENANCE AGREEMENTS FOR BOTH THE PRIVATE ACCESS PLACE AND USE-IN-COMMON DRIVEWAY WILL BE REQUIRED IN CONJUNCTION WITH THE FINAL PLAN.
 2. DISTURBANCE TO THE WETLANDS, WETLAND BUFFERS AND STREAMBANK BUFFER NEEDED FOR THE INSTALLATION OF THE PRIVATE ACCESS PLACE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE RE-ESTABLISHED. ANY REQUIRED PERMITS ASSOCIATED WITH THIS DISTURBANCE MUST BE OBTAINED FROM THE STATE / COE.
 3. THIS PROJECT IS SUBJECT TO DESIGN MANUAL VOLUME III WAIVER TO TABLE 2.01 WHICH LIMITS THE NUMBER OF LOTS UTILIZING A USE-IN-COMMON DRIVEWAY TO 6 LOTS. APPROVED BY DEVELOPMENT ENGINEERING DIVISION ON NOVEMBER 6, 2006 SUBJECT TO THE FOLLOWING CONDITION.
 1. SP-02-010 WAS SUBMITTED FOR REVIEW WITHIN THE REQUIRED WINDOW FOR GRANDFATHERING, THE PREVIOUSLY APPROVED PRIVATE ACCESS PLACE WITH A MAXIMUM OF 8 USERS IS ACCEPTABLE.
 4. FOREST CONSERVATION EASEMENT(S) HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT. HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
 5. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION HAVE BEEN FULFILLED BY PROVIDING 1.05 ACRES OF RETENTION AND PAYMENT OF FEE-IN-LIEU FOR 0.59 ACRES OF REQUIRED REFORESTATION TO THE FOREST CONSERVATION FUND IN THE AMOUNT OF \$19,275.30. FINANCIAL SURETY FOR THE RETENTION OF 1.05 AC. OF FOREST (45,738 S.F.x0.2) IN THE AMOUNT OF \$9,147.60 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT.
 6. LANDSCAPING FOR LOTS 1-8 & OPEN SPACE LOTS 9 & 10 HAS BEEN PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (17 SHADE TREES, 7 EVERGREEN TREES AND 7 SHRUBS - \$6,360.00) HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT. 16 STREET TREES ARE REQUIRED AND PROVIDED.

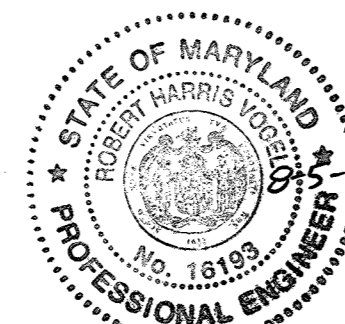


VICINITY MAP ADC MAP : MAP #12, F-5
SCALE 1" = 1000'

SHEET INDEX	
1	COVER SHEET
2	PRIVATE ACCESS PLACE PLAN, PROFILES AND DETAILS
3	GRADING AND SEDIMENT CONTROL PLAN
4	SEDIMENT CONTROL NOTES, DETAILS, & MISC. DETAILS
5	STORM DRAIN DRAINAGE AREA MAP
6	STORM DRAIN AND CULVERT PROFILES
7	STORMWATER MANAGEMENT PLAN, PROFILES AND DETAILS
8	STORMWATER MANAGEMENT SPECIFICATIONS AND SOIL BORINGS
9	FOREST CONSERVATION AND LANDSCAPING PLAN

OWNER/DEVELOPER

FOX CHAPEL COURT, LLC
 2965 BROOKWOOD ROAD
 ELLICOTT CITY, MARYLAND
 21042-2501
 410-465-2512



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

Robert Harris
 P.E. NAME: *Robert Harris* P.E.#: *18193* DATE: *8-5-21*

No AS-BUILT INFORMATION ON THIS SHEET



I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17942, Exp Date 9/3/08

5/26/08

LEGEND

- DENOTES WETLANDS
- PUBLIC 100 YEAR FLOODPLAIN AND UTILITY EASEMENT
- EXISTING SPECIMEN TREES
- FOREST CONSERVATION EASEMENT (RETENTION)
- FOREST CONSERVATION SIGNAGE
- TREE PROTECTIVE FENCING
- SHADE TREE
- EVERGREEN TREE
- PROPOSED TREELINE
- EXISTING TREELINE
- EX. PUBLIC SEWER AND UTILITY EASEMENT
- NON-CREDITED OPEN SPACE
- EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT
- PUBLIC WATER, SEWER, DRAINAGE AND UTILITY EASEMENT
- PRIVATE DRAINAGE AND UTILITY EASEMENT
- PRIVATE ACCESS PLACE EASEMENT
- PRIVATE USE-IN-COMMON DRIVEWAY EASEMENT
- PRIVATE ACCESS EASEMENT FOR 10' NOISE WALL
- PRIVATE 10' NOISE WALL MAINTENANCE EASEMENT
- EROSION CONTROL MATTING
- EXTERIOR LIGHT FIXTURE
- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Fox Chapel Court, LLC
 By: *Vince T. Serio* DATE: *5-20-08*
 Signature of Developer
 Printed Name of Developer: *Vince T. Serio Managing Member*

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Jacob Hkmat DATE: *5/26/08*
 Signature of Engineer
 R. JACOB HKMAT
 PRINTED NAME OF ENGINEER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

4/18/08
 Approved: Department of Public Works

4/24/08
 Approved: Department of Planning and Zoning

4/18/08
 Approved: Chief, Development Engineering Division

- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- FOR DRIVEWAY INTERSECTION DETAIL USE HOWARD COUNTY STANDARD DETAILS R-6--05
- THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY GILES ENGINEERING ASSOCIATES ON OR AROUND MAY, 2002, AND WAS APPROVED ON JANUARY 17, 2003.
- THE STREET LIGHT LOCATION AND TYPE OF LIGHT IS AS FOLLOWS :

STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
FOX CHAPEL COURT	0+22	15' RT	100 watt HPS VAPOR COLONIAL POST-TOP MOUNTED ON A 14" FIBERGLASS POLE
- STREET LIGHTS WILL BE REQUIRED IN THIS DEVELOPMENT IN ACCORDANCE WITH THE DESIGN MANUAL STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SELECTED SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (OCTOBER 2006)." THE OCTOBER 2006 POLICY INCLUDES GUIDELINES FOR LATERAL AND LONGITUDINAL PLACEMENT. A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- MARYLAND DEPARTMENT OF THE ENVIRONMENT TRACKING NUMBER - 03-NT-0047/200362099.
- 10-FOOT NOISE WALL MAINTENANCE IS RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION. PROVIDE AN ADDRESS SIGN AT THE INTERSECTION OF THE PRIVATE ACCESS PLACE AND THE STREET. THE SIGN SHALL CLEARLY IDENTIFY ALL THE HOUSES ACCESSED FROM THE PRIVATE ACCESS PLACE. EACH NUMBER SHALL BE A MINIMUM OF 3" PLAIN BLOCK LETTERS (ADDRESS RANGE PERMITTED).

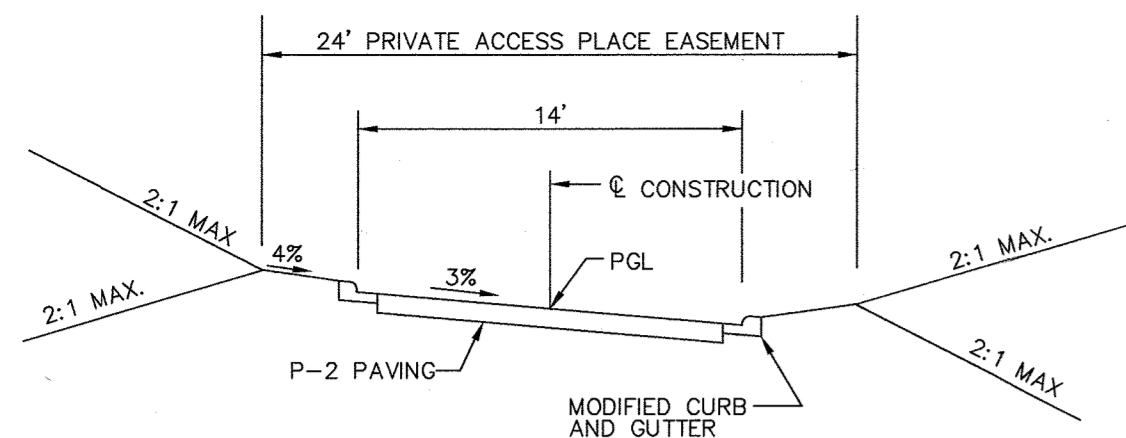
date	MAY 2008
project	02-005
illustration	JJO
scale	AS SHOWN
approval	JJO
revision	RJH

no.	description	date

SERIO ESTATES
 LOTS 1-8 & OPEN SPACE LOTS 9 & 10
 TAX MAP 18 PARCEL 59
 HOWARD COUNTY, MARYLAND
 SECOND ELECTION DISTRICT
 COVER SHEET

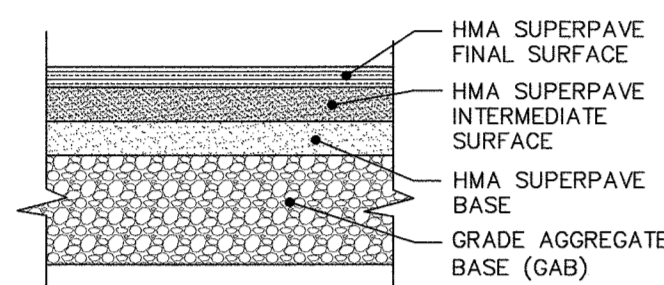
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0298 Fax

AS-BUILT DEC. 2020



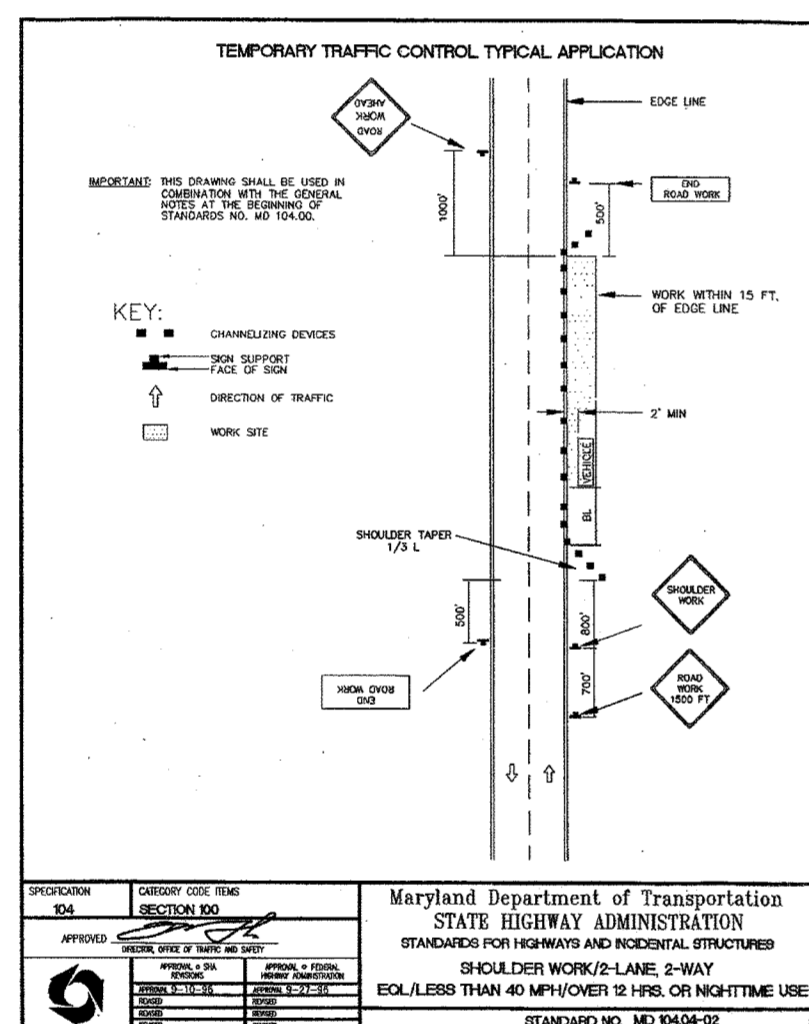
TYPICAL PRIVATE ACCESS PLACE SECTION
N.T.S.

DESIGN SPEED: 15 MPH



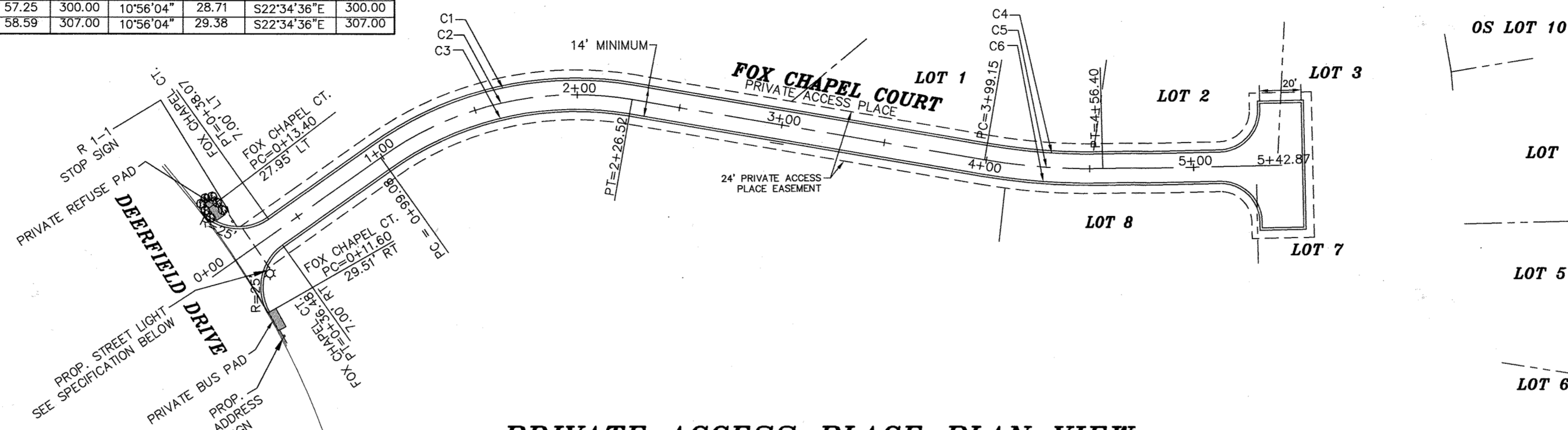
NOTE: FOR PAVEMENT MATERIAL WIDTH REFERENCE
HOWARD COUNTY R=2.01

PAVING SECTION - P2
SECTION N.T.S.



M.O.T. PLAN

CURVE	LENGTH	RADIUS	DELTA	TANGENT	BEARINGS	CHORD
C1	132.94	169.00	45°04'15"	70.12	N39°38'42"W	169.00
C2	127.44	162.00	45°04'15"	67.22	N39°38'42"W	162.00
C3	121.93	155.00	45°04'15"	64.32	N39°38'42"W	155.00
C4	55.92	293.00	10°56'04"	28.04	S22°34'36"E	293.00
C5	57.25	300.00	10°56'04"	28.71	S22°34'36"E	300.00
C6	58.59	307.00	10°56'04"	29.38	S22°34'36"E	307.00

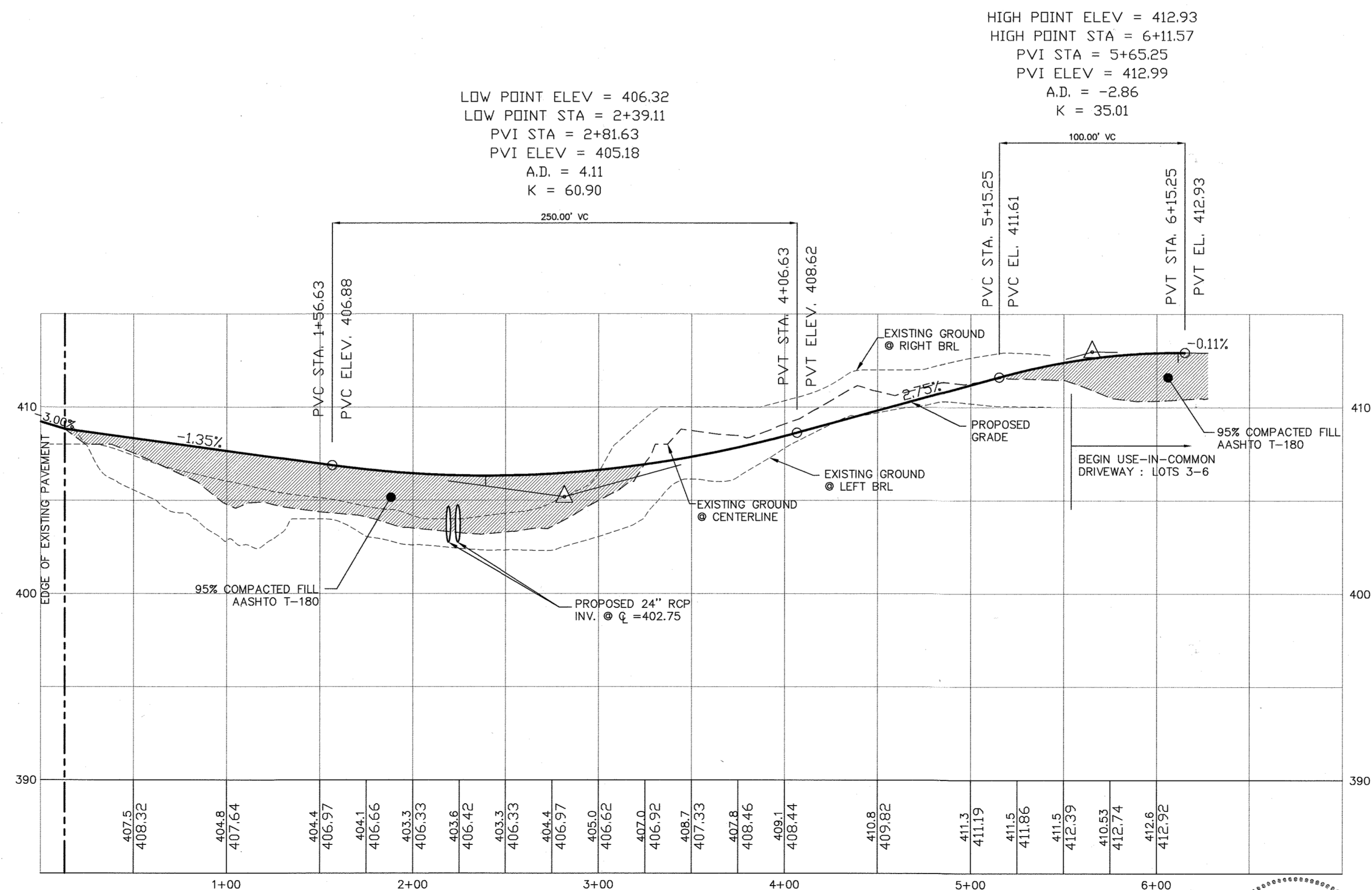


PRIVATE ACCESS PLACE PLAN VIEW

SCALE: HOR. 1"=50'

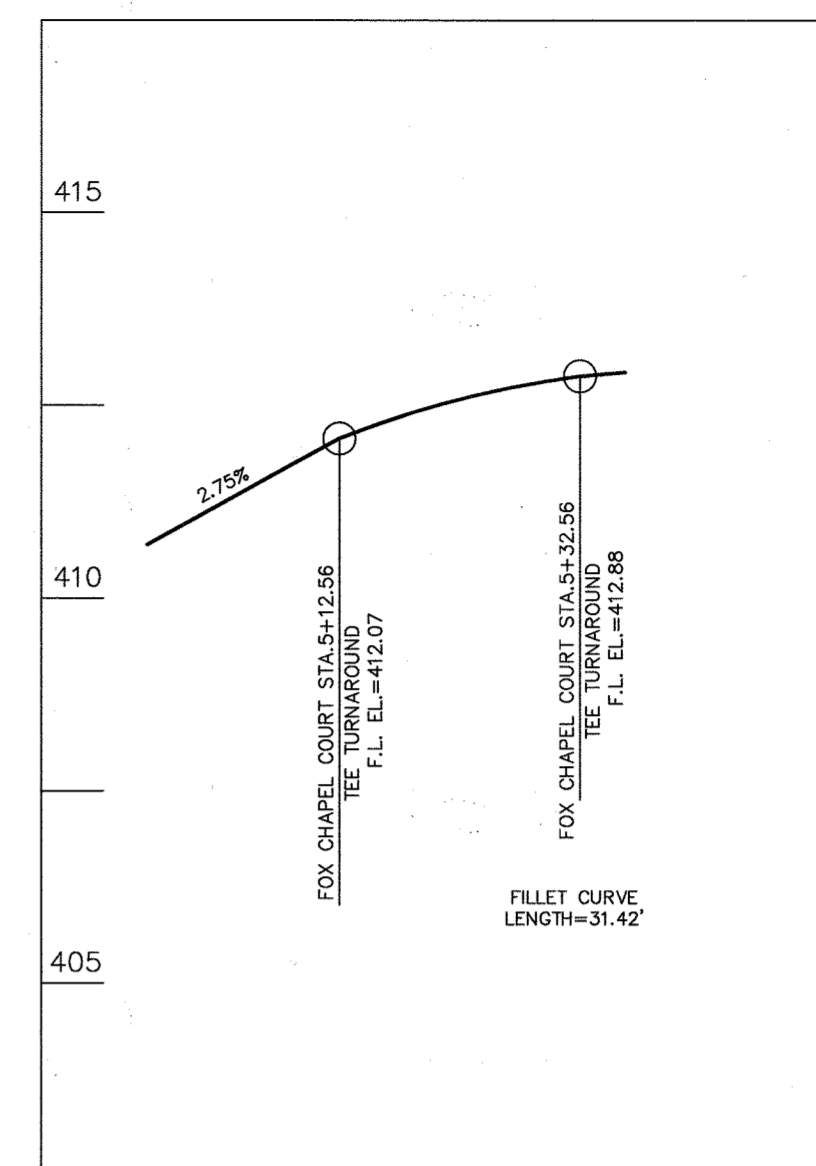
THE STREET LIGHT LOCATION AND TYPE OF LIGHT IS AS FOLLOWS:

STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
FOX CHAPEL COURT	0+22	15' RT	100 watt HPS VAPOR COLONIAL POST-TOP MOUNTED ON A 14' FIBERGLASS POLE



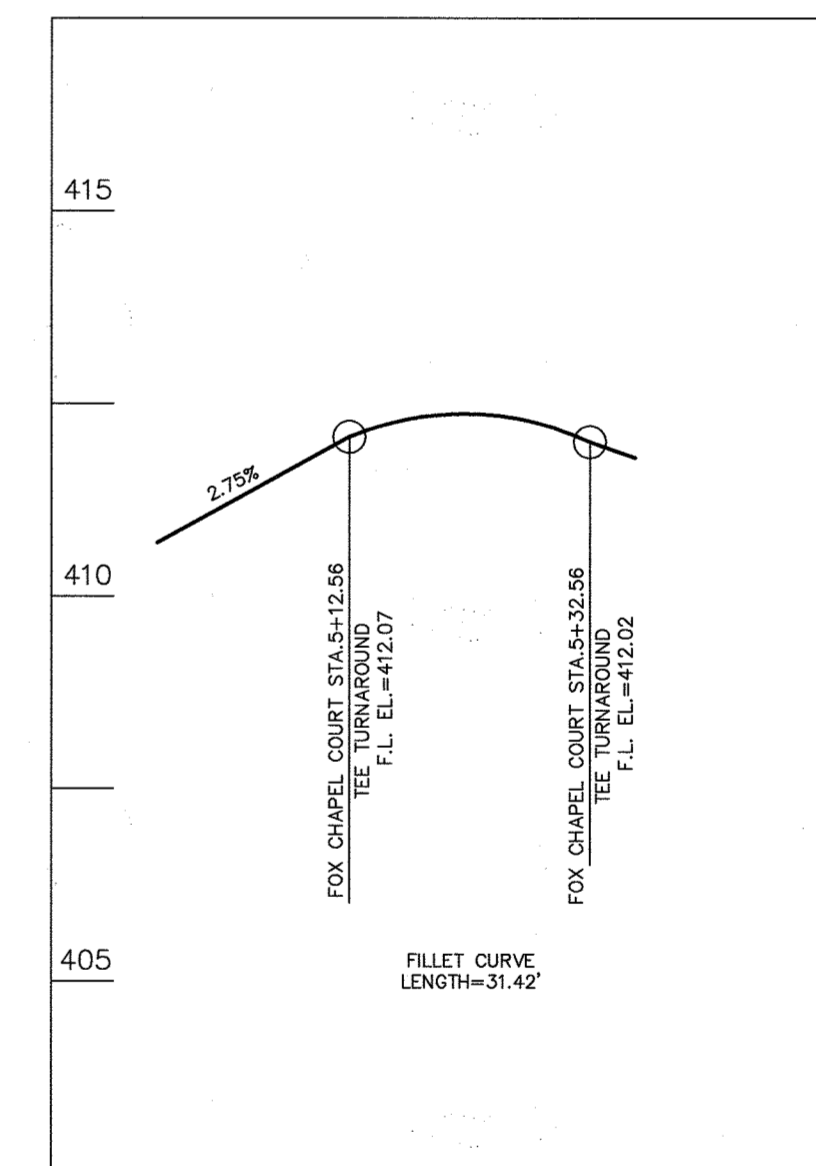
FOX CHAPEL COURT PRIVATE ACCESS PLACE PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



RIGHT FILLET PROFILE

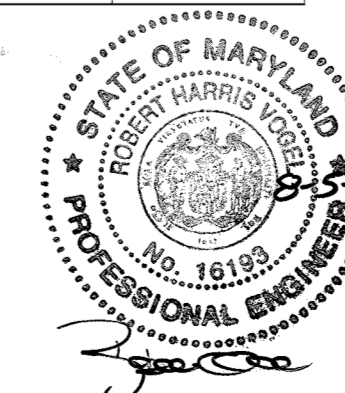
SCALE: HOR. 1"=25'
VER. 1"=2.5'



LEFT FILLET PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'

APPROVED: DEPARTMENT OF PUBLIC WORKS
 X X X X X
 CHIEF BUREAU OF HIGHWAYS DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 X X X X X
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 APPROVED: DEPARTMENT OF ENGINEERING
 X X X X X
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THIS UNDERGROUND SWM FACILITY.

DATE: 8-5-21
P.E. NAME: [Signature]
P.E.#: 16193

OWNER/DEVELOPER

FOX CHAPEL COURT, LLC.
2965 BROOKWOOD RD
ELLICOTT CITY, MD 21042-2501
410-465-2512

NO AS-BUILT INFORMATION ON THIS SHEET

AS-BUILT DEC 2020 F-07-075

project	20005	date	MAY 2008
illustration	JJO	engineering	JJO
scale	AS SHOWN	approval	RJH

no.	description	date

SERIO ESTATES
 LOTS 1-8 & OPEN SPACE LOTS 9 & 10
 TAX MAP 18, PARCEL 59, BLOCK 19
 HOWARD COUNTY
 SECOND ELECTION DISTRICT
 PRIVATE ACCESS PLACE PLAN, PROFILES AND DETAILS

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5075 Dorsey Hall Drive, Suite 202, Beltsville, Maryland 21042
 (410) 997-0298 Fax

LEGEND

- DENOTES WETLANDS
- PUBLIC 100 YEAR FLOODPLAIN AND UTILITY EASEMENT
- EXISTING SPECIMEN TREES
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- FOREST CONSERVATION SIGNAGE
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OWNER/DEVELOPER

FOX CHAPEL COURT, LLC.
2965 BROOKWOOD RD
ELLICOTT CITY, MD 21042-2501
410-465-2512

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Fox Chapel Court, LLC
By: Vincent S. Serio 5-21-08
SIGNATURE OF DEVELOPER DATE
Vincent S. Serio
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

R. JACOB NIKMAT 5/21/08
SIGNATURE OF ENGINEER DATE
R. JACOB NIKMAT
PRINTED NAME OF ENGINEER

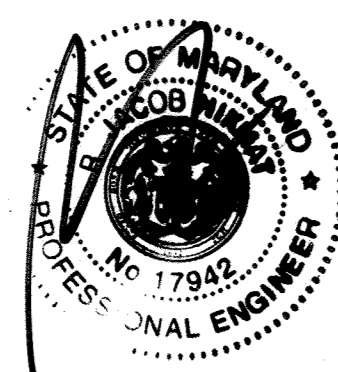
APPROVED: DEPARTMENT OF PUBLIC WORKS

CHIEF BUREAU OF HIGHWAYS DATE: 6/24/08

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Judy Grant 6/24/08
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Michael Serio 6/18/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



AS-BUILT CERTIFICATION FOR PSWM

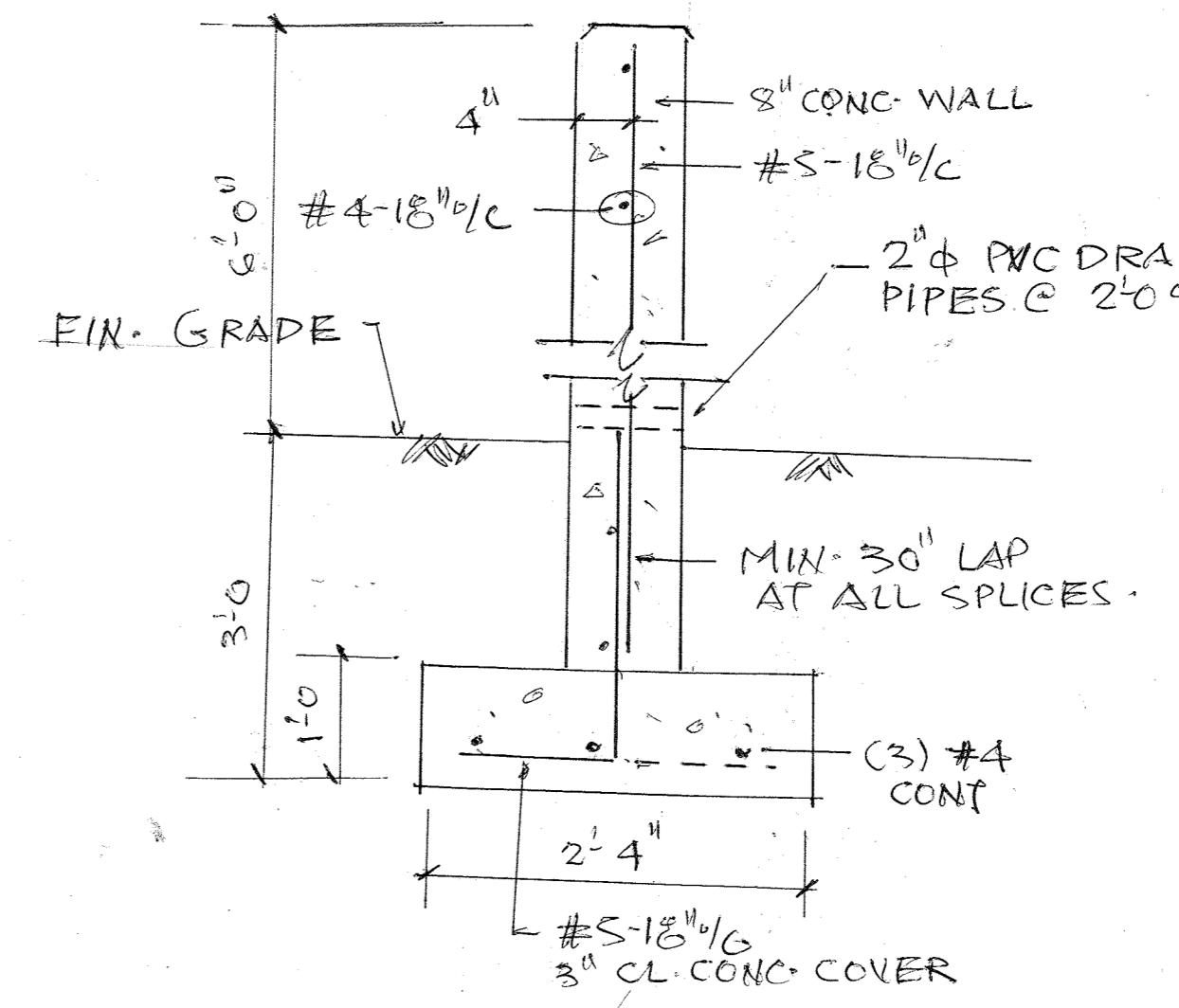
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

DATE: 10/19/2011 P.E.#: 8-521

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT AND MOE PERMIT (SEE SEQUENTIAL NOTES #2) (1 DAY)
2. CLEAR AND GRUB FOR EROSION AND SEDIMENT CONTROL MEASURES OR DEVICES ONLY.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) (1 DAY)
4. INSTALL SUPER SILT FENCE (SSF) ALONG FOX CHAPEL COURT (BOTH SIDES) (5 DAYS)
 - a. ON THE WEST SIDE INSTALL SSF ALONG THE LIMIT OF DISTURBANCE (LOD) AT THE TOP OF THE PROPOSED ROADWAY SUPPORTING SLOPE FROM THE SCB TO LOT #8.
 - b. ON THE EAST SIDE INSTALL SSF ALONG THE LIMIT OF DISTURBANCE (LOD) AT THE TOP OF THE PROPOSED ROADWAY SUPPORTING SLOPE FROM THE SCB TO LOT #1. THEN ALONG THE LOD AT FOREST CONSERVATION EASEMENT "A". PROVIDE DOUBLE SSF AS SHOWN ON THE GRADING AND SEDIMENT CONTROL PLAN AT ES-2.
5. INSTALL A-1 BARTH DIVERSION DIKE ALONG THE BACK OF LOTS 6, 7, 8. STABILIZE FLOW CHANNELS WITH EROSION CONTROL MATTING. (2 DAYS)
6. INSTALL SUPER SILT FENCE ALONG THE NORTH SIDE OF ROUTE 40 (REAR OF LOTS 4, 5 & 6), ALONG THE EAST SIDE OF LOT #4, AND ALONG THE SOUTH SIDE OF LOT #8 TO JOIN THE SSF AT FOREST CONSERVATION EASEMENT "A" (5 DAYS)
7. CONSTRUCT FOX CHAPEL COURT ROADWAY EMBANKMENT (5 DAYS)
8. INSTALL CULVERT UNDER FOX CHAPEL COURT. INSTALL ENDWALLS (EW1, EW2) AND RIP-RAP APRONS. WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE THE SSF IN THE FLOW CHANNELS AND REPLACE WITH SNOT FENCE (SF) THAT RUNS ALONG THE EDGE OF THE RIP-RAP APRONS AND THE BACK OF THE ENDWALLS. (6 DAYS)
9. COMPLETE THE ROADWAY EMBANKMENT UP TO THE FINISH SURGRADE ELEVATION (5 DAYS)
10. INSTALL PUBLIC SEWER AND WATER IN ACCORDANCE WITH APPROVED PLANS IN CONTRACT 16-4443-D (20 DAYS)
11. INSTALL STORM DRAIN AS SHOWN ON THE GRADING AND SEDIMENT CONTROL PLAN. PROVIDE INLET PROTECTION FOR 3-1 AND 3-2. BURY PIPES TO RECHARGE TRENCH AND SAND FILTER. INSTALL RIP-RAP APRON AT ES-2 (10 DAYS)
12. BRING SITE TO FINISH GRADE AND STABILIZE WITH TEMPORARY SEEDING SPECIFICATIONS. ADJUST SOUP GRASSES AS NEEDED TO BRING THE PROPOSED SWALES FROM LOTS #6 AND #1 INTO THE SAND FILTER TRENCH UP TO FINISH GRADE. STABILIZE THESE SWALES IN ACCORDANCE WITH THE GRADING AND SEDIMENT CONTROL PLAN. (10 DAYS)
13. INSTALL MODIFIED CURB AND OUTER AND PAVING SECTION UP TO THE HIGHEST PERMITTED INTERMEDIATE SURFACE. (5 DAYS)
14. INSTALL NOISE WALL AND STABILIZE ANY RESULTING DISTURBED AREA (5 DAYS)
15. WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, COMPLETE SITE GRADING AND STABILIZE (20 DAYS)
16. WITH APPROVAL OF THE SEDIMENT CONTROL INSPECTOR CONSTRUCT THE RECHARGE TRENCH, LEVEL SPREADER, SAND FILTER AND POREBAY (5 DAYS)
17. UPON STABILIZATION OF THE SITE WITH ESTABLISHED VEGETATION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES AND PIPES IN PILES TO SAND FILTER AND RECHARGE TRENCH. STABILIZE ANY RESULTING DISTURBED AREAS. (5 DAYS)
18. SURVEY SAND FILTER INTERIOR TO INSURE COMPLIANCE WITH THE SWM PLAN DIMENSIONS. CONTINUE ONLY WITH THE CERTIFYING PROFESSIONAL ENGINEER (2 DAYS)
19. COMPLETE SWM "AS-BUILT" CERTIFICATION AND SUBMIT TO APPROPRIATE AGENCIES WITHIN 30 DAYS OF COMPLETION OF THE PROJECT.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THE REVISIONS TO THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 10688, EXPIRATION DATE: FEBRUARY 10, 2015.
THIS CERTIFICATION IS FOR REVISION #2 ONLY.



- STRUCTURAL NOTES:**
1. SOIL BEARING CAPACITY = 2000 PSF
 2. CONCRETE:
 - FC = 3000 PSI
 - AIR-ENTRAINED
 3. PROVIDE CONTROL JOINTS IN WALL @ 40' MAX. (MIN. 3116 X 2" SAW CUT)

STAMPED FOR THE DESIGN OF SOUND WALL ONLY.

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland, License No. 13756. Expiration date: 12-23-2013
3/17/12
Jankubhai A. Patel, P.E.
STATE OF MARYLAND PROFESSIONAL ENGINEER

date	MAY 2008
project	02-005
illustration	JJO
scale	1"=60'
revision	

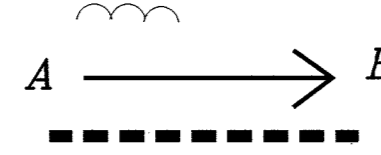
date	3/18/12
description	REVISION OF SOUND WALL FROM WOOD TO REINFC. CONC.
revisions	

SERIO ESTATES
LOTS 1-8 & OPEN SPACE LOTS 9 & 10
TAX MAP 18 PARCELS 59 BLOCK 19
HOWARD COUNTY, MARYLAND
2nd ELECTION DISTRICT
GRADING AND SEDIMENT CONTROL PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsay Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax: (410) 997-0298 Fax

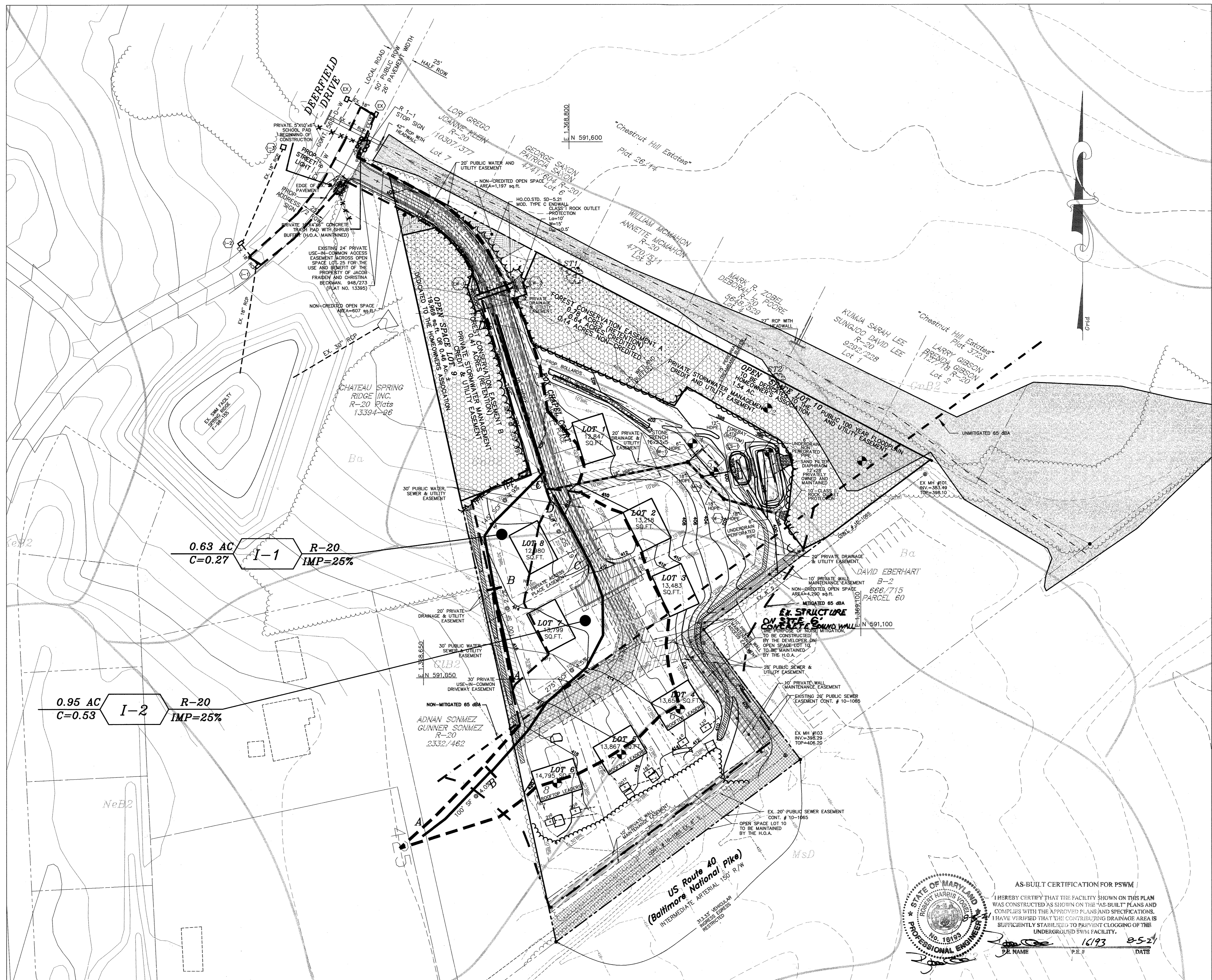
LEGEND

EXISTING TREELINE
 TIME OF CONCENTRATION FLOW PATH
 PROPOSED DRAINAGE DIVIDE



SOILS DESCRIPTIONS:

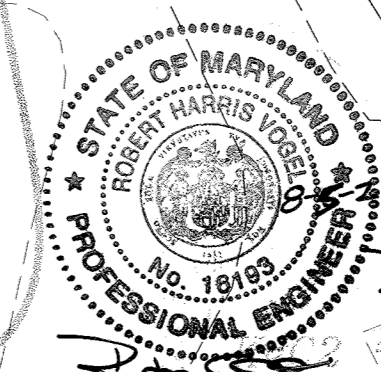
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
Ba	BAILE SILT LOAM (TYPE D)	Md	MADE LAND
GIB2	GLENELG LOAM, 3 TO 8 % SLOPES, MODERATELY ERODED (TYPE B)	M/E	MONTALTO AND RELAY SOILS, 15 TO 45 (TYPE C)
GnB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPES, MODERATELY (TYPE B)	M/S	MONTALTO AND RELAY VERY STONY SILT LOAMS, 3 TO 25% SLOPES (TYPE C)
KeB2	KELLY SILT LOAM, 3 TO 8% SLOPES, MODERATELY ERODED (TYPE D)	NeB2	NESHAMINY SILT LOAM, 3 TO 8 % SLOPES, MODERATELY ERODED (TYPE B)



5/20/08

OWNER/DEVELOPER
 FOX CHAPEL COURT, LLC.
 2965 BROOKWOOD RD
 ELLICOTT CITY, MD 21042-2501
 410-465-2512

APPROVED: DEPARTMENT OF PUBLIC WORKS
 X X X X X
 CHIEF BUREAU OF HIGHWAYS DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Cindy Kinnon 6/24/08
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 APPROVED: DEPARTMENT OF DEVELOPMENT ENGINEERING DIVISION
 DATE 6/18/08



AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
 P.E. NAME: MILDENBERG, BOENDER & ASSOC., INC. DATE: 12/13/08

project	02-005	date	MAY 2008
illustration	JJO	engineering	JJO
scale	1"=50'	approval	RJH

revisors	description	date

SERIO ESTATES
 LOTS 1-8 & OPEN SPACE LOTS 9 & 10
 TAX MAP 18 PARCELS 59 BLOCK 19 HOWARD COUNTY, MARYLAND
 2nd ELECTION DISTRICT
STORM DRAIN DRAINAGE AREA MAP

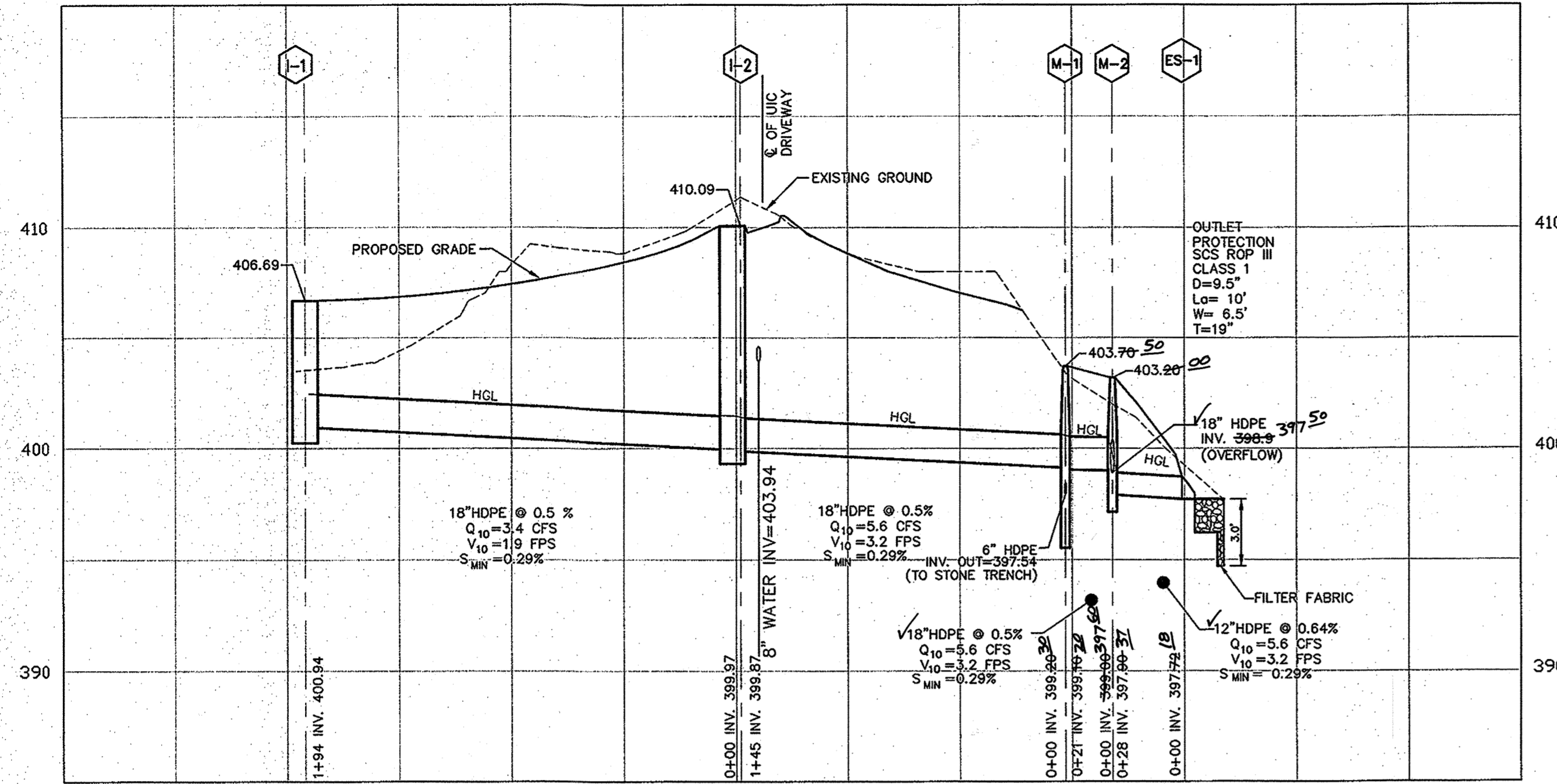
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296 Balt. (410) 997-0298 Fax

STRUCTURE SCHEDULE

NO.	LOCATION	TOP	INV. IN	INV. OUT	COMMENTS
I-1	STA. 2+37.07 : 7.00' RIGHT	406.69	-	400.94	TYPE A-10, H.C.STD. SD-4.03
I-2	STA. 4+30.53 : 7.00' RIGHT	410.09	399.97	399.87	TYPE A-10, H.C.STD. SD-4.03
M-1	N 591,271.33 E 1,368,922.02	403.7 50	399.26 30	399.10 20	H.C.STD. G-5.12 DETAIL SHEET 7
M-2	N 591,256.42 E 1,368,936.52	402.7 50	396.06 30	398.40 30	H.C.STD. G-5.12 DETAIL SHEET 7
M-3	N 591,233.35 E 1,368,958.96	402.6	397.45	397.00	H.C.STD. G-5.12
ES-1	N 591,261.50 E 1,368,964.72	-	397.72	-	CMP END SECTION OR EQUIVALENT
ES-2	N 591,218.49 E 1,369,012.47	-	396.7	-	CMP END SECTION OR EQUIVALENT
EW-1	STA. 2+20.69 : 17.75' RIGHT	-	430.0	-	MOD. TYPE C ENDWALL; H.C. STD. SD-5.21
EW-2	STA. 2+20.69 : 17.75' LEFT	-	-	429.50	MOD. TYPE C ENDWALL; H.C. STD. SD-5.21

NOTE:

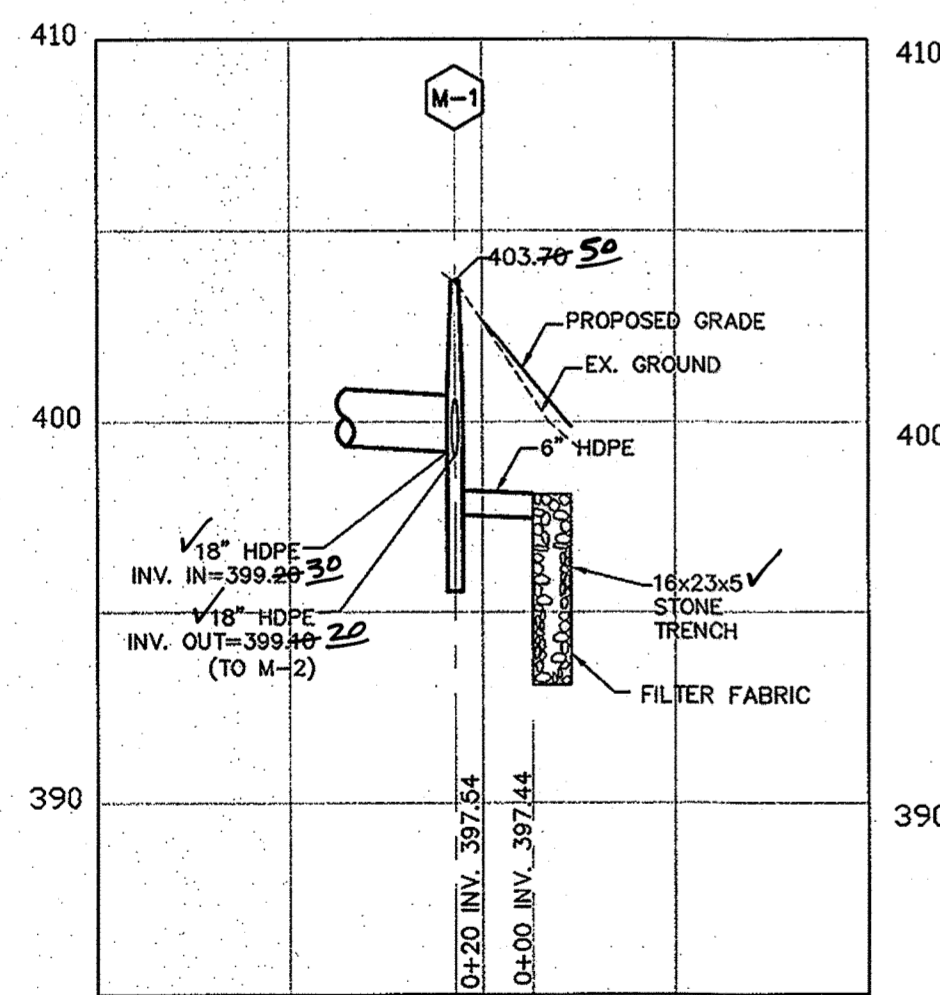
- STATIONS GIVEN TO CENTERLINE FACE OF INLET AT TOP OF CURB FOR INLETS LOCATED WITHIN THE PRIVATE ACCESS PLACE.
- LOCATION OF MANHOLES IS TO CL OF MANHOLE COVER. END SECTION GIVEN TO THE CENTERLINE OF PIPE AT THE CONNECTION OF THE STORM DRAIN PIPE TO THE END SECTION.
- ELEVATIONS MEASURED TO CENTER OF ALL INLETS.



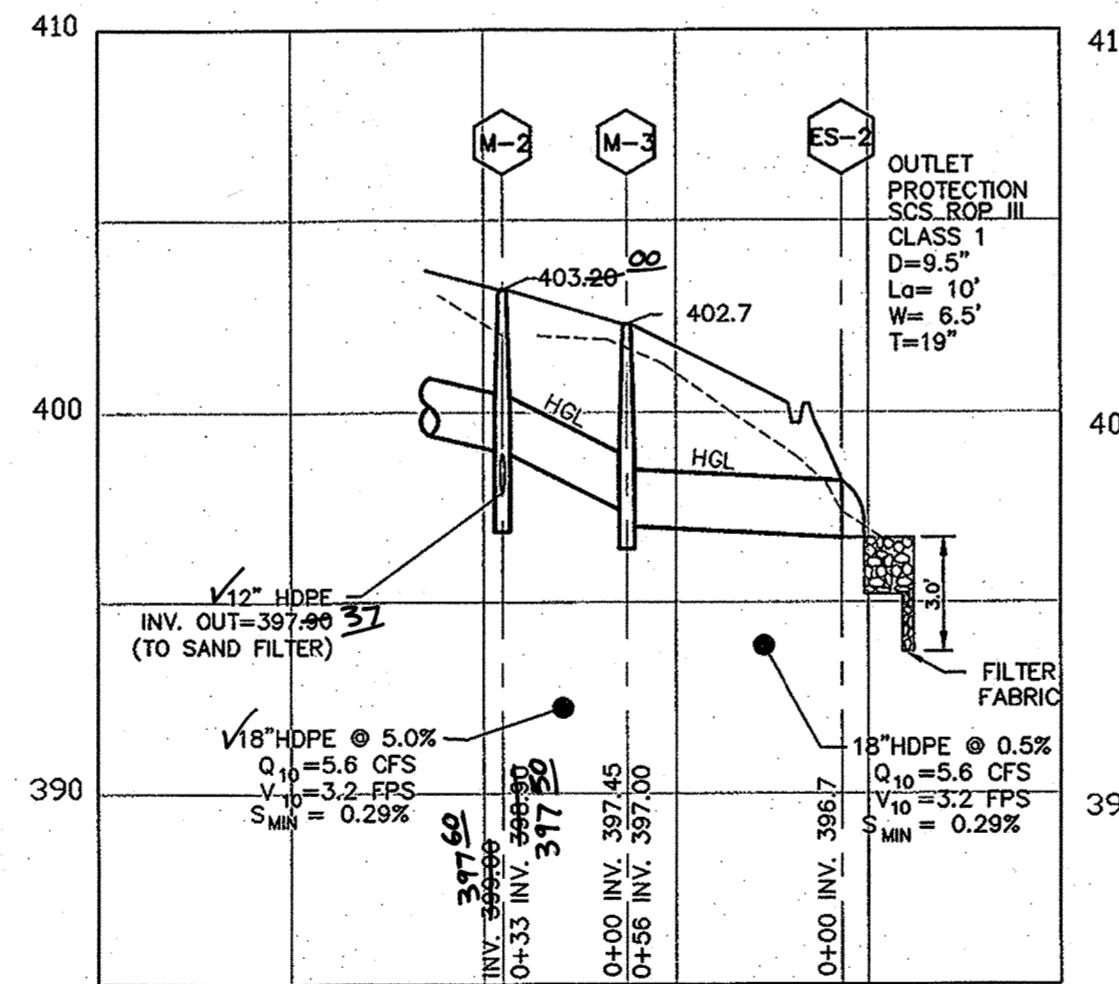
STORM DRAIN PROFILE - I-1 TO ES-1
HORIZONTAL SCALE : 1" = 50'
VERTICAL SCALE : 1" = 5'

PIPE SCHEDULE

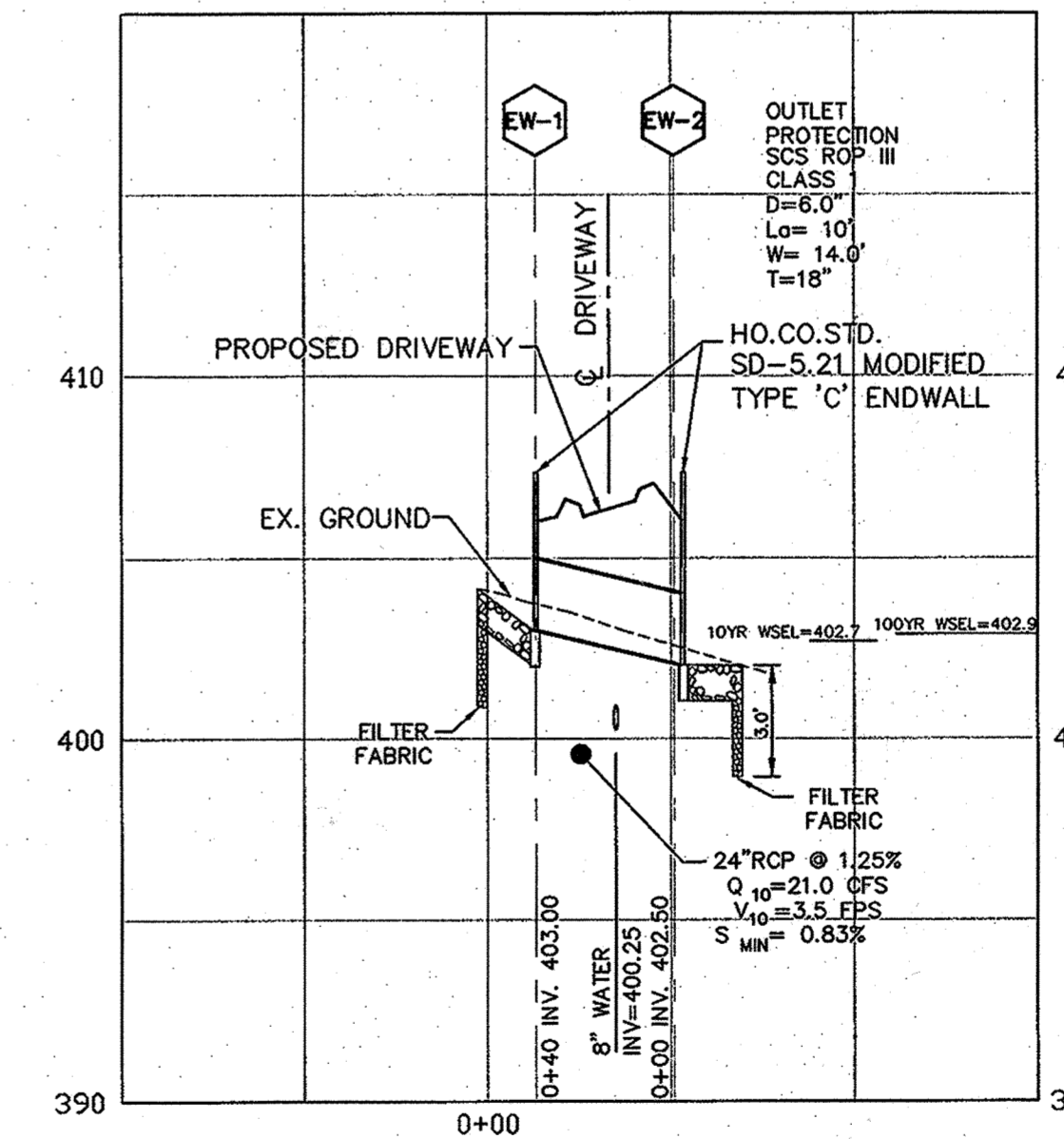
QUANTITY	PIPE SIZE
32'	12" HDPE
412'	18" HDPE
40'	6" HDPE NON-PERFORATED
50'	6" PERFORATED HDPE
80'	24" RCP



STORM DRAIN PROFILE - M-1 TO STONE TRENCH
HORIZONTAL SCALE : 1" = 50'
VERTICAL SCALE : 1" = 5'
NOTE: SEE STONE TRENCH DETAIL SHEET 7 OF 9



STORM DRAIN PROFILE - M-2 TO ES-4
HORIZONTAL SCALE : 1" = 50'
VERTICAL SCALE : 1" = 5'

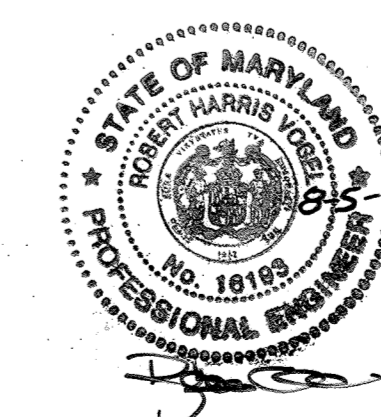
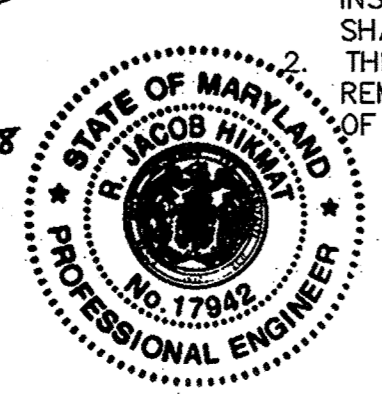


2 - 24" CULVERT PROFILE
HORIZONTAL SCALE : 1" = 50'
VERTICAL SCALE : 1" = 5'

OPERATION AND MAINTENANCE SCHEDULE FOR THE PRETREATMENT MANHOLE

- THE PRETREATMENT MANHOLE SHALL BE INSPECTED TWICE A YEAR AND DEBRIS SHALL BE REMOVED UPON INSPECTION. THE ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED A DEPTH OF 6 INCHES.

APPROVED: DEPARTMENT OF PUBLIC WORKS
X X X X
CHIEF BUREAU OF HIGHWAYS
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Gandy K... 6/24/05
CHIEF, DIVISION OF LAND DEVELOPMENT
APPROVED: [Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6/16/05



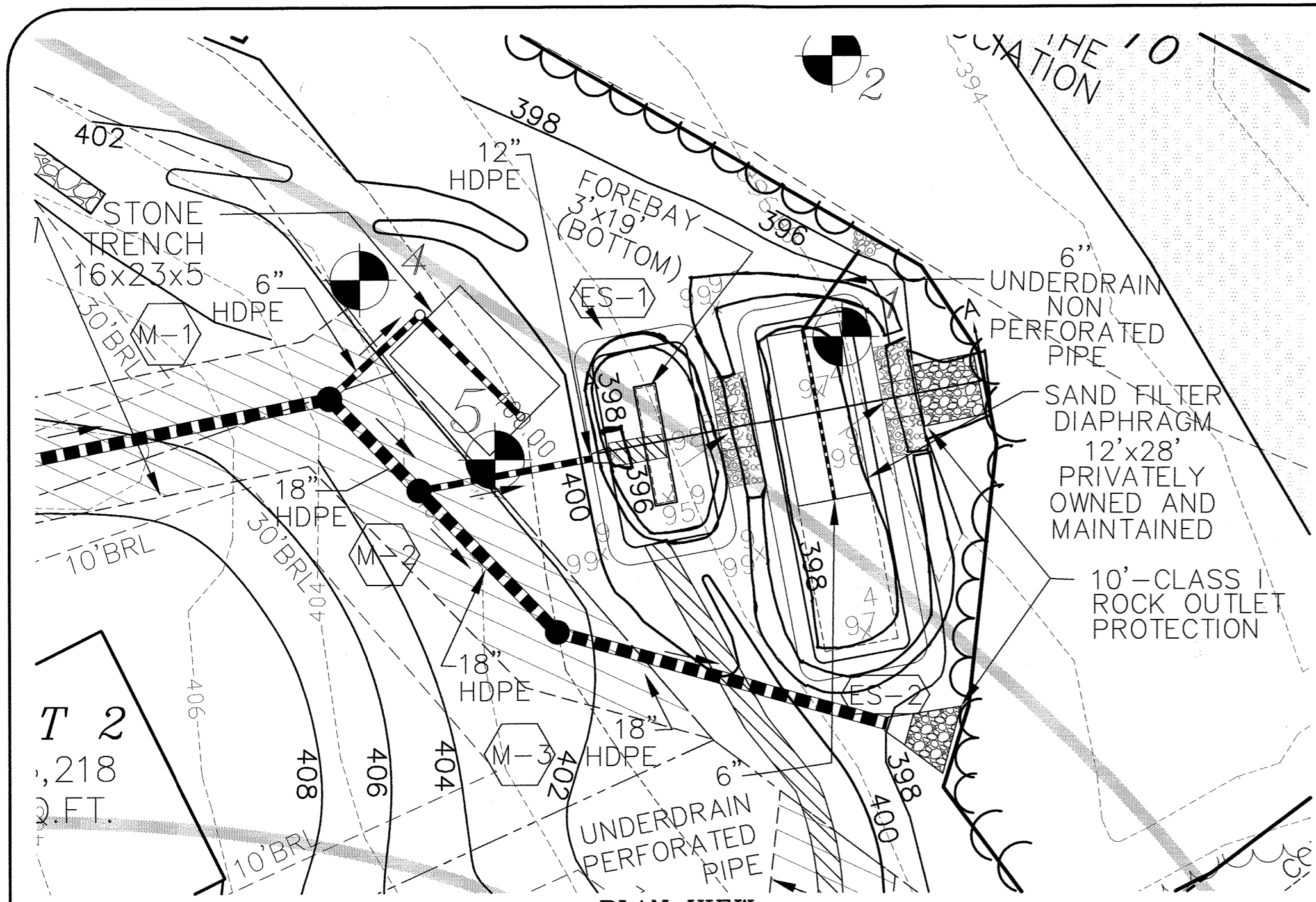
AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
P.E. NAME: [Signature] P.E. # 16193 DATE: 8-5-21

OWNER/DEVELOPER
FOX CHAPEL COURT, LLC.
2965 BROOKWOOD RD
ELLCOTT CITY, MD 21042-2501
410-465-2512

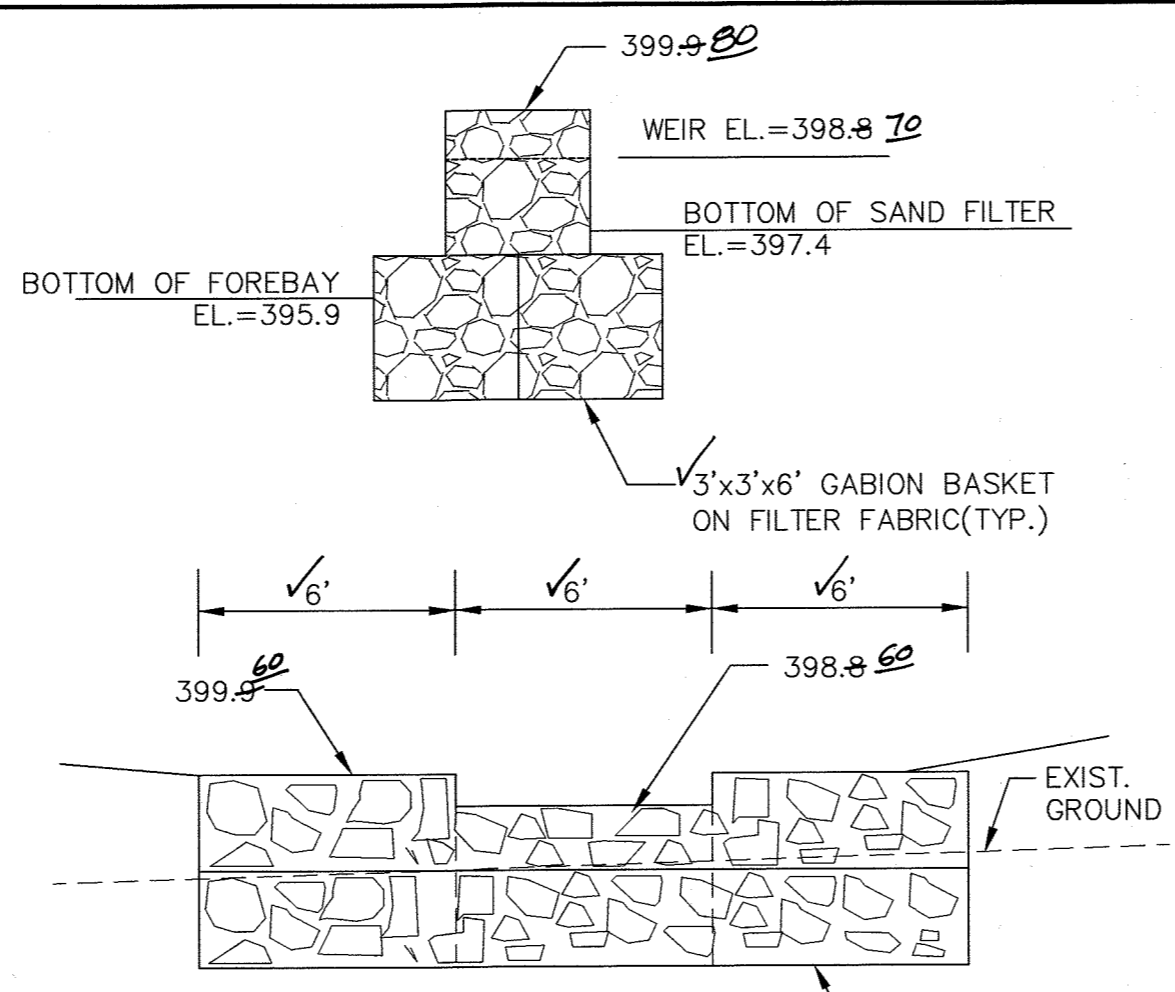
date	MAY 2008
project	02-005
illustration	JJO
scale	1" = 50'
approval	RJH

SERIO ESTATES
LOTS 1-8 & OPEN SPACE LOTS 9 & 10
TAX MAP 18 PARCELS 59 BLOCK 19
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
STORM DRAIN AND CULVERT PROFILES

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax: (410) 997-0296 Fax

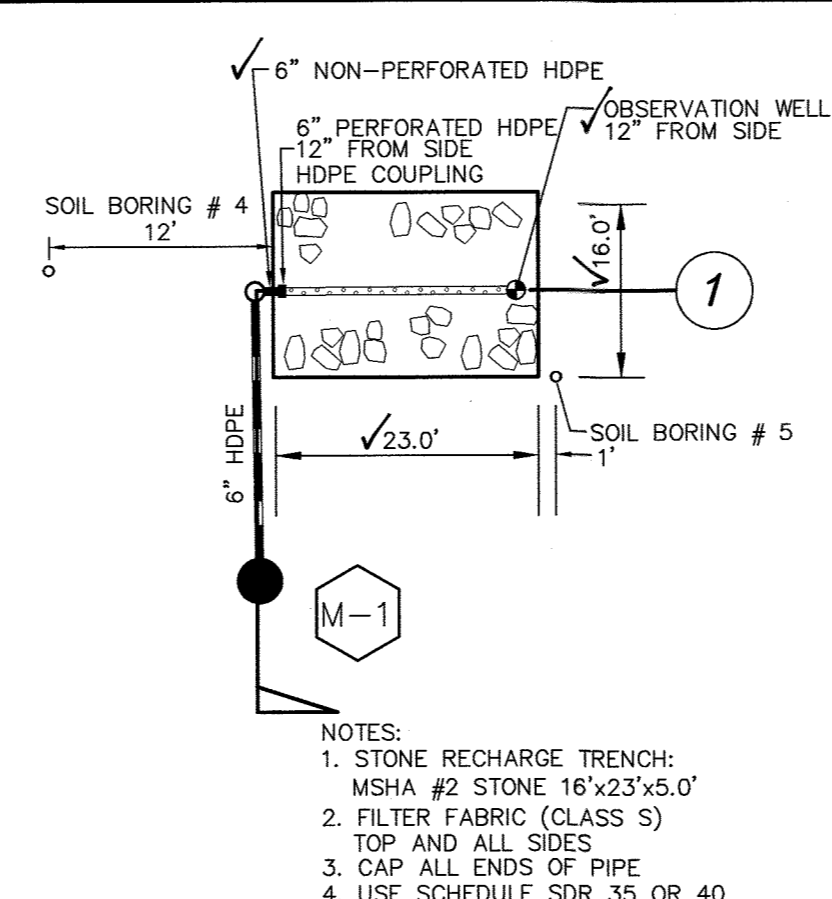


PLAN VIEW
SCALE: 1" = 20'



GENERAL NOTES:
1. GABIONS ARE TO BE EMBEDDED INTO EARTH FILL BY TWO (2) FEET
2. FOREBAY WEIR SHALL CONSIST OF 3'x3' GABION BASKETS PLACED ON FILTER FABRIC AS SHOWN.

GABION WALL DETAIL
NTS

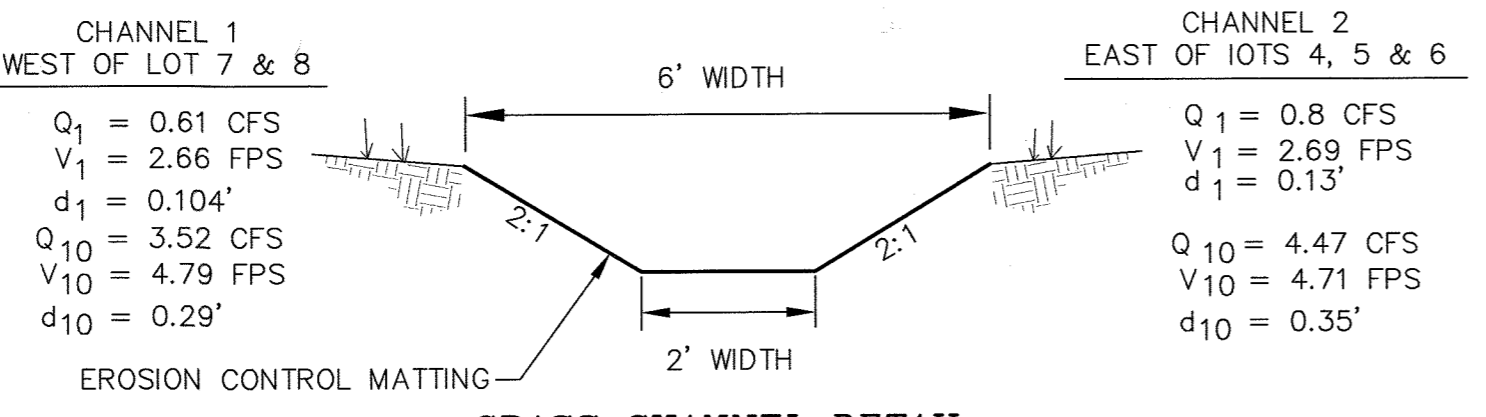


OPERATION AND MAINTENANCE RECHARGE TRENCH

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

NOTES:
1. STONE RECHARGE TRENCH: MSHA #2 STONE 16"x23"x5.0"
2. FILTER FABRIC (CLASS 5) TOP AND ALL SIDES
3. CAP ALL ENDS OF PIPE
4. USE SCHEDULE SDR 35 OR 40

SECTION 1
SCALE: HOR. 1" = 50' VER. 1" = 5'

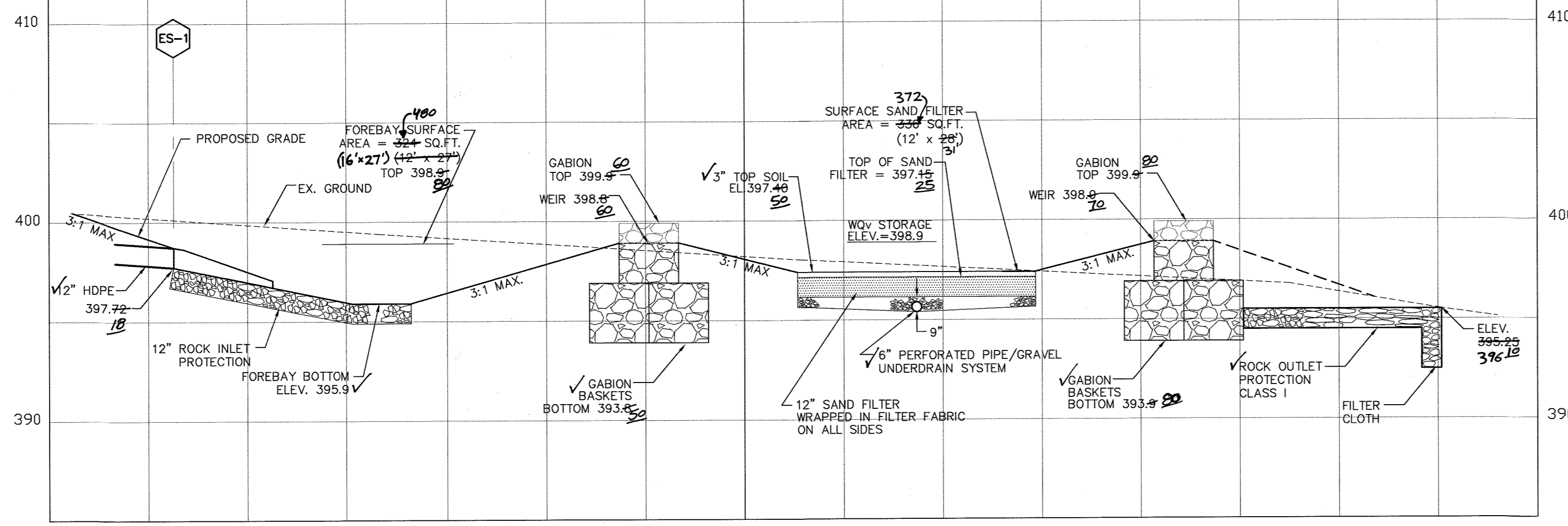
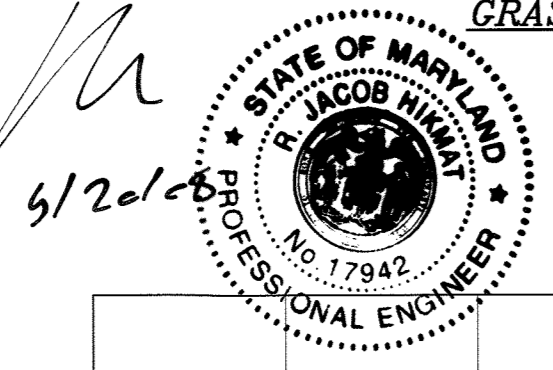


GRASS CHANNEL DETAIL
NTS

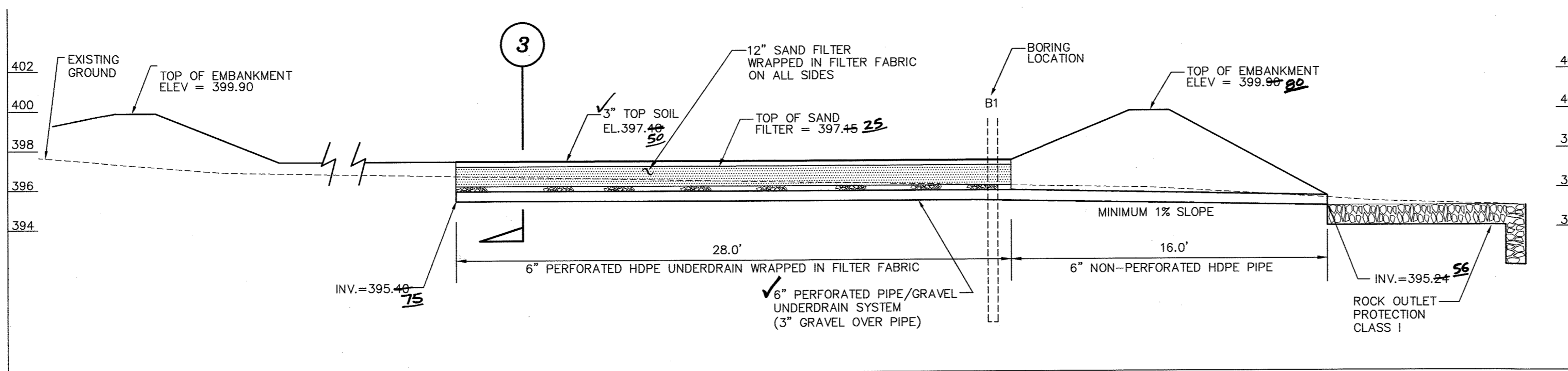
OWNER/DEVELOPER
FOX CHAPEL COURT, LLC.
2965 BROOKWOOD RD
ELLICOTT CITY, MD 21042-2501
410-465-2512

SURFACE SAND FILTER DATA

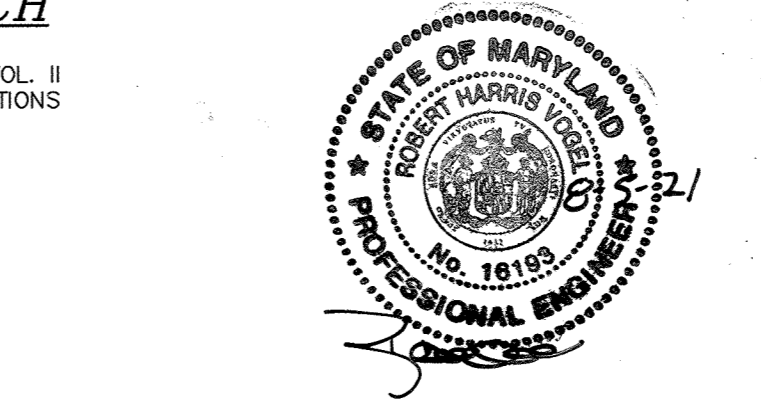
ZONING	= R-20
SITE AREA	= 4.49 AC.
TYPE	= SURFACE SAND FILTER F-1
NATURAL AREA CONSERVATION	= 1.19 AC.
DRAINAGE AREA	= 3.55 AC.
WOV REQUIRED	= 3,314 CU.FT.
WOV PROVIDED	= 3,437 CU. FT. (IN SURFACE SAND FILTER)
REV REQUIRED	= 733 CU.FT.
REV PROVIDED	= 736 CU.FT.
CPV REQUIRED	= N/A (1 YR RUNOFF IS LESS THAN 2.0 CFS)
OWNERSHIP	= PRIVATE
MAINTENANCE	= PRIVATE



SURFACE SAND FILTER SECTION A-A
SCALE: 1" = 5'



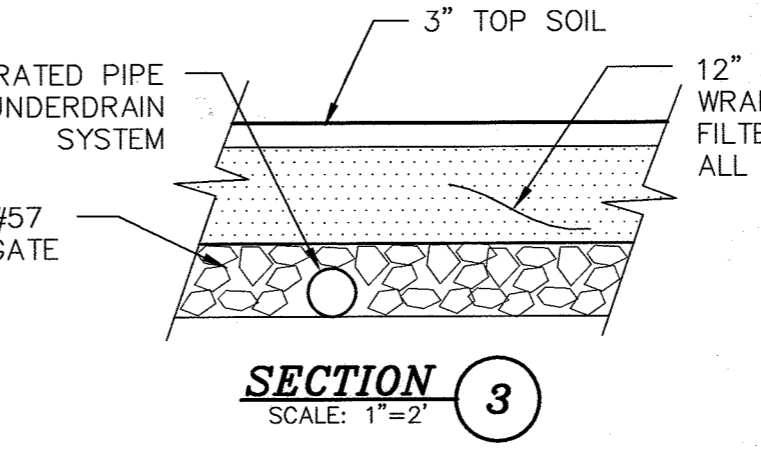
SURFACE SAND FILTER PROFILE
SCALE: HORZ: 1" = 10' VERT: 1" = 5'



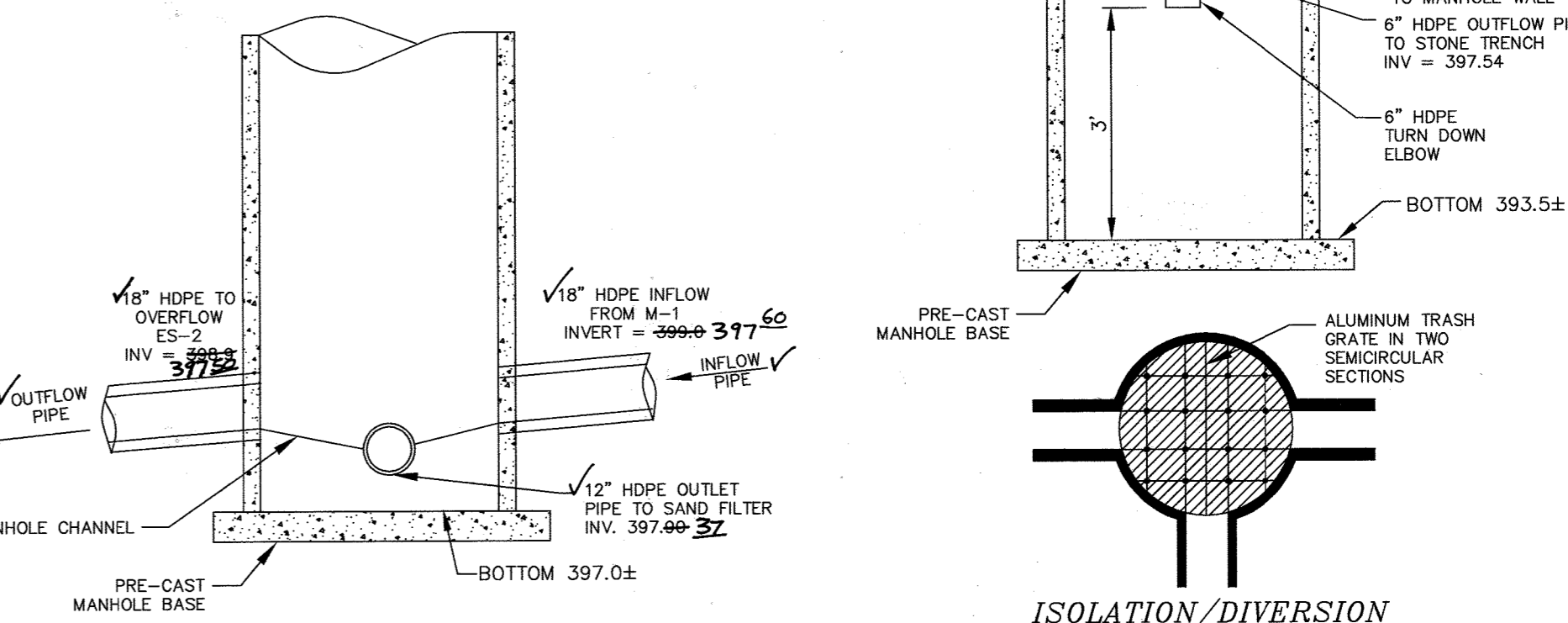
AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

RJ NAME: 16193 P.E.# DATE: 8-5-21



SECTION 3
SCALE: 1" = 2'



ISOLATION/DIVERSION PRE-TREATMENT MH #1
NTS

INFILTRATION TRENCH CONSTRUCTION & MAINTENANCE DETAILS

B.2.A Infiltration Trench General Notes and Specifications

An infiltration trench may not receive run-off until the entire contributing drainage area to the infiltration trench has received final stabilization.

- Heavy equipment and traffic shall be restricted from traveling over the proposed location of the infiltration trench to minimize compaction of the soil.
- Excavate the infiltration trench to the design dimensions. Excavated materials shall be placed away from the trench sides to enhance trench wall stability. Large tree roots must be trimmed flush with the trench sides in order to prevent fabric puncturing or tearing of the filter fabric during subsequent installation procedures. The side walls of the trench shall be roughened where sheared and sealed by heavy equipment.
- A Class "C" geotextile or better (see Section 24.0, Material Specifications, 1994 Standards and Specifications for Soil Erosion and Sediment Control, MDE, 1994) shall interface between the trench side walls and between the stone reservoir and gravel filter layers. A partial list of non-woven filter fabrics that meet the Class "C" criteria follows. Any alternative filter fabric must be approved by the plan approval authority.

Amoco 4552	Carriage FX-80S
GEOLON N70	Mira 180-N
WEBTEC N07	

The width of the geotextile must include sufficient material to conform to trench perimeter irregularities and for a 6-inch minimum top overlap. The filter fabric shall be tucked under the sand layer on the bottom of the infiltration trench for a distance of 6 to 12 inches. Stones or other anchoring objects should be placed on the fabric at the edge of the trench to keep the trench open during windy periods. When overlaps are required between rolls, the uphill roll should lap a minimum of 2 feet over the downhill roll in order to provide a shingled effect.

- If a 6 inch sand filter layer is placed on the bottom of the infiltration trench, the sand for the infiltration trench shall be washed and meet AASHTO-M-43, Size No. 9 or No. 10. Any alternative sand gradation must be approved by the plan approval authority.
- The stone aggregate should be placed in a maximum loose lift thickness of 12 inches. The gravel (rounded "bank run" gravel is preferred) for the infiltration trench shall be washed and meet one of the following AASHTO-M-43, Size No. 2 or No. 3.
- Following the stone aggregate placement, the filter fabric shall be folded over the stone aggregate to form a 6-inch minimum longitudinal lap. The desired fill soil or stone aggregate shall be placed over the lap at sufficient intervals to maintain the lap during subsequent backfilling.
- Care shall be exercised to prevent natural or fill soils from intermixing with the stone aggregate. All contaminated stone aggregate shall be removed and replaced with uncontaminated stone aggregate.
- VOIDS may occur between the fabric and the excavation sides shall be avoided. Removing boulders or other obstacles from the trench walls is one source of such voids. Therefore, natural soils should be placed in these voids at the most convenient time during construction to ensure fabric conformity to the excavation sides.
- Vertically excavated walls may be difficult to maintain in areas where soil moisture is high or where soft cohesive or cohesionless soils are dominant. These conditions may require laying back of the side slopes to maintain stability.
- PVC distribution pipes shall be Schedule 40 and meet ASTM-D-1785. All fittings shall meet ASTM-D-2729. Perforations shall be 3/8 inch in diameter. A perforated pipe shall be provided only within the infiltration trench and shall terminate 1 foot short of the infiltration trench wall. The end of the PVC pipe shall be capped. Note: PVC pipe with a wall thickness classification of SDR-35 meeting ASTM-D-3034 is an acceptable substitute for the Schedule 40 pipe.
- The observation well is to consist of 6-inch diameter perforated PVC Schedule 40 pipe (M 278 OR F758, Type PS 28) with a cap set 6 inches above ground level and is to be located [redacted] of the infiltration trench. The pipe shall have a plastic collar with ribs to prevent rotation when removing the cap. The screw top lid shall be a cleanout with a locking mechanism or special bolt to discourage vandalism. The depth to the invert shall be marked on the lid. The pipe shall be placed vertically within the gravel portion of the infiltration trench and a cap provided at the bottom of the pipe. The bottom of the cap shall rest on the infiltration trench bottom.
- Corrugated metal distribution pipes shall conform to AASHTO-M-36, and shall be installed in accordance with AASHTO-M-274. Aluminum pipe in contact with concrete shall be coated with an inert compound capable of preventing the deleterious effect of the aluminum on the concrete. Perforated distribution pipes shall conform to AASHTO-M-36, Class 2 and shall be provided only within the infiltration trench and shall terminate 1 foot short of the infiltration trench wall. An aluminum metal plate shall be welded to the end of the pipe.
- If a distribution structure with a wet well is used, a 4-inch drain pipe shall be provided at opposite ends of the infiltration trench distribution structure. Two (2) cubic feet of porous backfill meeting AASHTO-M-43, Size No. 57 shall be provided at each drain.
- If a distribution structure is used, the manhole cover shall be bolted to the frame.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

Signature: _____ P.E. NO.: _____ DATE: _____

CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION. THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE TO VERIFY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OR IMPLY A GUARANTEE BY THE ENGINEER NOR DOES ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED INDUSTRY PRACTICES.

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Fox Chapel Court, LLC
Signature: Vincent S. Serio
Date: 5-20-08
Vincent S. Serio Managing Member

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Engineer: R. JACOB HIKMAT
Printed Name of Engineer: R. JACOB HIKMAT

APPROVED: DEPARTMENT OF PUBLIC WORKS
X X X X X DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Candy Kimm DATE: 6/27/08
Chief, Division of Land Development

APPROVED: DEPARTMENT OF ENGINEERING DIVISION
M. J. [Signature] DATE: 6/18/08
Chief, Development Engineering Division

date	MAY 2008	approval	RJH
project	02-005	scale	1" = 50'
illustration	JJO	description	

no.		revisions	

SERIO ESTATES
LOTS 1-8 & OPEN SPACE LOTS 9 & 10
TAX MAP 18 PARCELS 59 BLOCK 19
HOWARD COUNTY, MARYLAND
2nd ELECTION DISTRICT

STORMWATER MANAGEMENT PLAN, PROFILES AND DETAILS

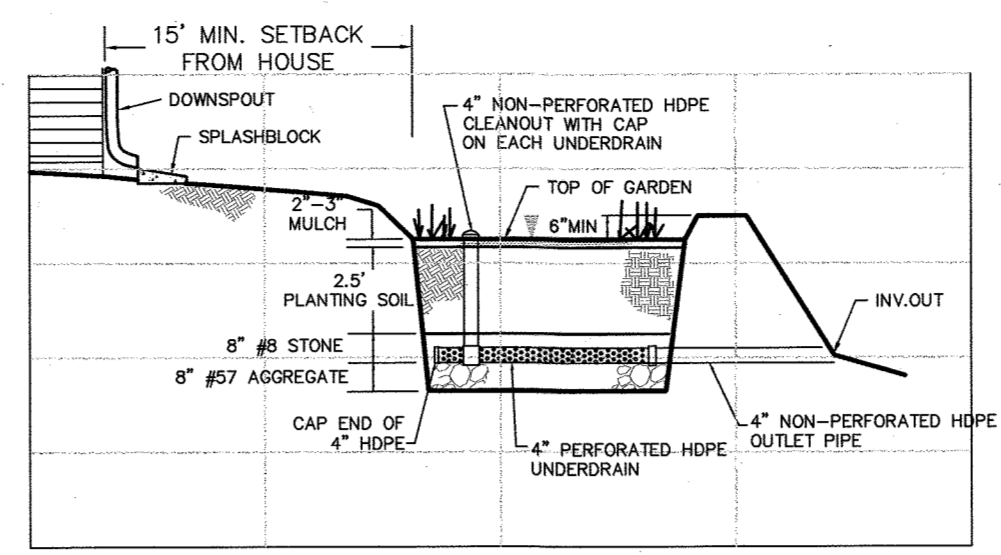
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax (410) 997-0296

F-08-066 LANDSCAPING PLANT LIST			
QTY	KEY	NAME	SIZE
18	☉	ACER RUBRUM OCTOBER RED MAPLE	2 1/2" - 3" CALIPER FULL CROWN DBH
21	☉	JUNIPERUS CHINENSIS CHINESE JUNIPER	6'-8" HT.

SPECIMEN TREES	
KEY	SPECIES
ST1	34" PIN OAK
ST2	30" ELM

NOTE: REFER TO F-08-066
 REQUIRED PLANTINGS FOR THE T&E PROPERTY (F-08-066) SHALL BE PROVIDED/PLANTED ON THIS PROJECT AS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING IN FINAL DESIGN APRIL 24, 2018.
 REFER TO F-08-066 FOR SCHEDULE 'A' COMPUTATIONS.
 FINANCIAL SURETY FOR THE ABOVE PLANTINGS WAS PROVIDED UNDER F-08-066.

NOTE: FINAL DESIGN, SECTIONS AND DETAILS FOR THE RAIN GARDENS SHALL BE PART OF THE SITE DEVELOPMENT PLAN FOR EACH LOT.

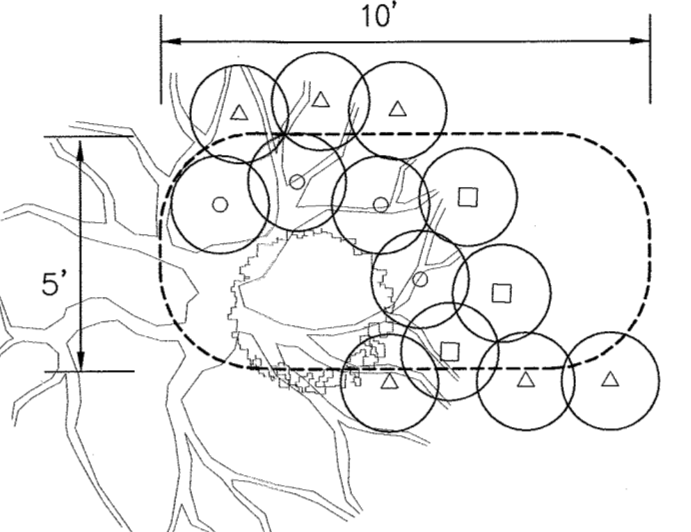


TYPICAL RAIN GARDEN PROFILE
NTS

PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
1	☉	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2-1/2" - 3" CAL.
1	☉	ILEX GLABRA	INK BERRY	2' - 3' HT.
6	☉	LOBELIA SIPHILITICA	GREAT BLUE LOBELIA	1 GAL. CONTAINER
4	☉	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL. CONTAINER
3	☉	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER

TOTAL: 13 PERENNIALS, 1 SHRUB, 1 TREE (PER EACH RAIN GARDEN)



TYP. RAIN GARDEN DETAIL
SCALE: 1" = 10'

AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THIS UNDERGROUND SWM FACILITY.
 DATE: 6/19/21
 P.E. NAME: [Signature]
 P.E.#: 16193
 DATE: 8-5-21



LEGEND

- ☉ DENOTES WETLANDS
- ☉ PUBLIC 100 YEAR FLOODPLAIN AND UTILITY EASEMENT
- ☉ EXISTING SPECIMEN TREES
- ☉ FOREST CONSERVATION EASEMENT (RETENTION)
- ☉ FOREST CONSERVATION SIGNAGE
- ☉ TREE PROTECTIVE FENCING
- ☉ SHADE TREE
- ☉ EVERGREEN TREE
- ☉ PROPOSED TREELINE
- ☉ EXISTING TREELINE
- ☉ EX. PUBLIC SEWER AND UTILITY EASEMENT
- ☉ NON-CREDITED OPEN SPACE
- ☉ EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT
- ☉ PUBLIC WATER, SEWER, DRAINAGE AND UTILITY EASEMENT
- ☉ PRIVATE ACCESS PLACE EASEMENT
- ☉ PRIVATE USE-IN-COMMON DRIVEWAY EASEMENT
- ☉ PRIVATE ACCESS EASEMENT FOR 10' NOISE WALL
- ☉ PRIVATE 10' NOISE WALL MAINTENANCE EASEMENT
- ☉ EROSION CONTROL MATTING
- ☉ EXTERIOR LIGHT FIXTURE

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES					TOTAL
	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	B (PERIMETER 4)	A (PERIMETER 5)	
LINEAR FEET OF PERIMETER	630 LF	291 LF	167 LF	313 LF	776 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 500 LF OF EX. TREES TO REMAIN	YES, 175 LF OF EX. TREES TO REMAIN	N/A	YES, 114 LF OF EX. TREES TO REMAIN	YES, 400 LF OF EX. TREES TO REMAIN	
CREDIT FOR 6" WOOD FENCE (YES, NO, LINEAR FEET)	NO	YES, 104 LF OF FENCE (50% CREDIT)	YES, 120 LF OF FENCE (50% CREDIT)	YES, 178 LF OF FENCE (50% CREDIT)	NO	
NUMBER OF PLANTS REQUIRED	2 SHADE TREES 0 EVERGREEN TREES	1 SHADE TREES 0 EVERGREEN TREES	2 SHADE TREES 0 EVERGREEN TREES	2 SHADE TREES 3 EVERGREEN TREES	7 SHADE TREES 0 EVERGREEN TREES	14 SHADE TREES 3 EVERGREEN TREES
NUMBER OF PLANTS PROVIDED	2 SHADE TREES 0 EVERGREEN TREES	1 SHADE TREES 0 EVERGREEN TREES	2 SHADE TREES 0 EVERGREEN TREES	2 SHADE TREES 3 EVERGREEN TREES	7 SHADE TREES 0 EVERGREEN TREES	14 SHADE TREES 3 EVERGREEN TREES

SCHEDULE D: STORMWATER MANAGEMENT AREA LANDSCAPING

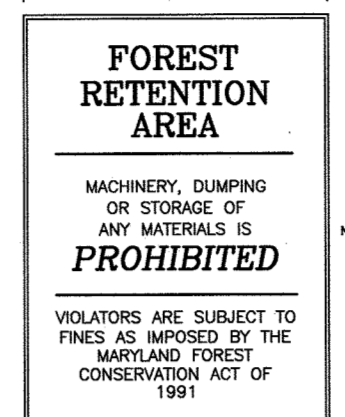
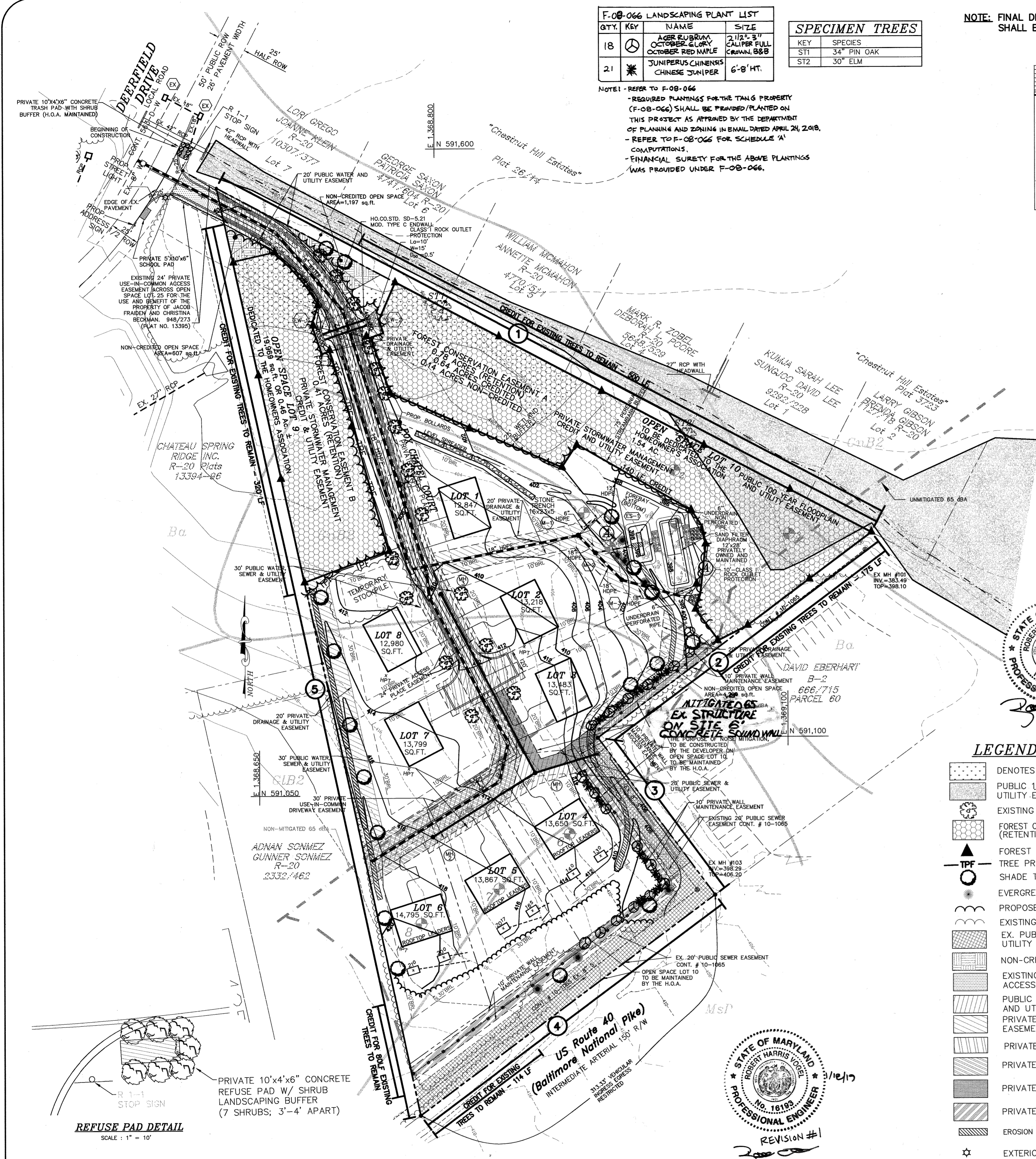
LINEAR FEET OF PERIMETER	PERIMETER A - 288 LF (TYPE B) SWM-SURFACE SAND FILTER	TOTAL
CREDIT FOR EXISTING VEGETATION (NO, YES AND LINEAR FEET)	YES - 140 LF OF EXISTING VEGETATION	
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO	
NUMBER OF TREES REQUIRED	3 SHADE TREES 4 EVERGREEN TREES	3 SHADE TREES 4 EVERGREEN TREES
NUMBER OF TREES PROVIDED	3 SHADE TREES 4 EVERGREEN TREES	3 SHADE TREES 4 EVERGREEN TREES

OWNER/DEVELOPER

FOX CHAPEL COURT, LLC.
 2965 BROOKWOOD RD
 ELLICOTT CITY, MD 21042-2501
 410-465-2512

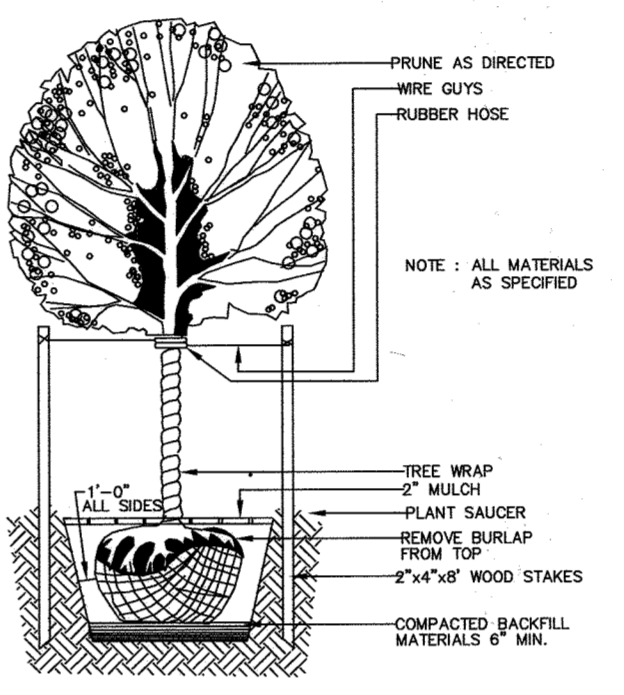
MD DNR QUALIFIED PROFESSIONAL
 MASHU TRINGA
 6/10/18

NO AS-BUILT INFORMATION ON THIS SHEET
 AS-BUILT DEC. 2020



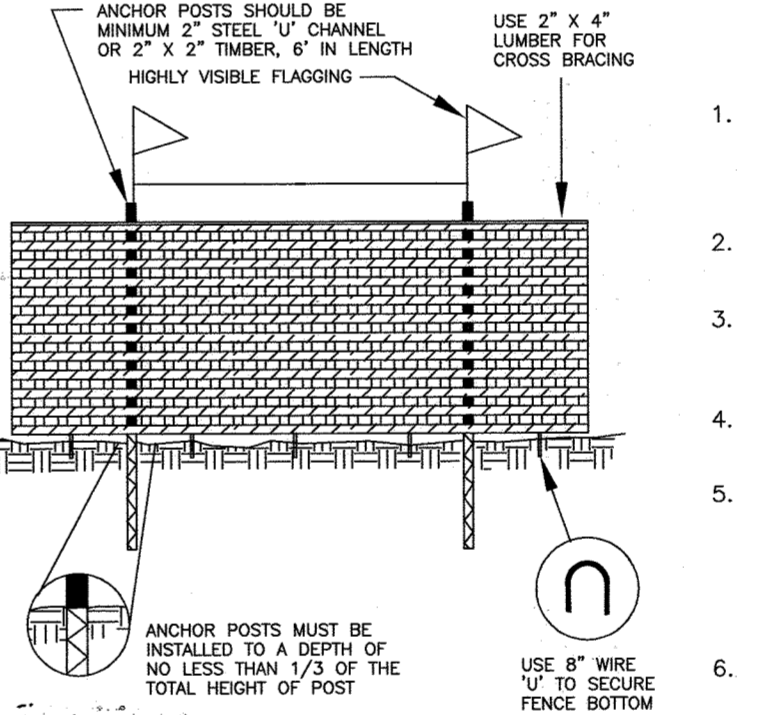
FOREST RETENTION AREA
MACHINERY, DUMPING OR STORAGE OF ANY MATERIALS IS PROHIBITED

SIGNAGE DETAILS



TYPICAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

PROTECTIVE FENCE DETAIL



PROTECTIVE FENCE DETAIL
BLAZE ORANGE PLASTIC MESH

STREET TREE CALCULATIONS

PRIVATE ACCESS PLACE - 627 / 40 = 16
 TOTAL TREES REQUIRED = 16 TREES
 TOTAL TREES PROVIDED = 16 TREES

FOREST CONSERVATION EASEMENTS

FCE	ACRES	EASEMENT TYPE
FCE A	0.78 AC	RETENTION
FCE B	0.41 AC	RETENTION
1.05 AC. TOTAL RETENTION (CREDITED)		
0.14 AC. RETENTION (NON-CREDITED)		
1.19 AC. TOTAL RETENTION		

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
16	☉	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
17	☉	PYRUS CALLERYANA 'REDSPER'	REDSPER PEAR	2 1/2" - 3" CAL.
7	☉	PINUS STROBUS	EASTERN WHITE PINE	6" - 8" HT.
7	☉	CORNUS STOLONIFERA	RED-OSIER DOGWOOD	2' - 3' HT.
TOTAL				
24 TREES (17 SHADE TREES & 7 EVERGREEN TREES)				
7 SHRUBS (TRASH PAD LANDSCAPING)				
16 STREET TREES				

SOILS DESCRIPTIONS:
 SYMBOL DESCRIPTION
 Bg BAILE SILT LOAM (TYPE D)
 GIB2 GLENELG LOAM, 3 TO 8 % SLOPES, MODERATELY ERODED (TYPE B)
 GIB2 GLENELG SILT LOAM, 3 TO 8% SLOPES, MODERATELY (TYPE B)
 KdB2 KELLY SILT LOAM, 3 TO 8% SLOPES, MODERATELY ERODED (TYPE D)
 M4E MADE LAND
 MfC MONTALTO AND RELAY SOILS, 15 TO 45 (TYPE C)
 MfD MONTALTO AND RELAY VERY STONY SILT LOAMS, 3 TO 25% SLOPES (TYPE C)
 NdB2 NESHAMINY SILT LOAM, 3 TO 8 % SLOPES, MODERATELY ERODED (TYPE B)

GENERAL NOTES
 1. FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.200 OF HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OR CONSERVATION EASEMENT ARE ALLOWED.
 2. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION HAVE BEEN FULFILLED BY PROVIDING 1.05 ACRES OF RETENTION AND PAYMENT OF FEE-IN-LIEU FOR 0.59 ACRES OF REQUIRED REFORESTATION TO THE FOREST CONSERVATION FUND IN THE AMOUNT OF \$19,275.30. FINANCIAL SURETY FOR THE RETENTION OF 1.05 AC. OF FOREST (45,738 S.F.x0.2) IN THE AMOUNT OF \$9,147.60 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT.
 3. THIS SUBDIVISION IS IN COMPLIANCE WITH SECTION 16.124 OF HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 4. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (17 SHADE TREES, 7 EVERGREEN AND 7 SHRUBS) WILL BE POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$6,360.00.

FOREST CONSERVATION DATA

NET TRACT AREA:
 A. Total tract area.....= 4.49
 B. Area within 100 year floodplain.....= 0.14
 C. Area in agricultural preserve.....= 0.00
 D. Net tract area.....= 4.35

AND USE CATEGORY: (from table 3.2.1, page 40, Manual)
 Input the number "1" under the appropriate land use zoning, and limit to only one entry.
 ARA MDR IDA HDR MPD CIA
 0 0 0 1 0 0

E. Afforestation Threshold.....= 15% x D = 0.65
 F. Conservation Threshold.....= 20% x D = 0.87

EXISTING FOREST COVER:
 G. Existing forest cover (excluding floodplain).....= 4.13
 H. Area of forest above afforestation threshold.....= 0.08
 I. Area of forest above conservation threshold.....= 3.26
 BREAK EVEN POINT:
 J. Forest retention above threshold with no mitigation.....= 1.52
 K. Clearing permitted without mitigation.....= 2.61

PROPOSED FOREST CLEARING:
 L. Total area of forest to be cleared.....= 3.08
 M. Total area of forest to be retained.....= 1.05

PLANTING REQUIREMENTS:
 N. Reforestation for clearing above conservation threshold.....= 0.77
 P. Reforestation for clearing below conservation threshold.....= 0.00
 Q. Credit for retention above conservation threshold.....= -0.18
 R. Total reforestation required.....= 0.59
 S. Total afforestation required.....= -0.00
 T. Total reforestation and afforestation required.....= 0.59

FOREST RETENTION NOTES

- FOREST PROTECTION
- ALL FOREST RETENTION AREAS SHALL BE TEMPORARILY PROTECTED BY WELL ANCHORED BLAZE ORANGE PLASTIC FENCING AND SIGNAGE AS INDICATED ON THE PLANS. THE DEVICES SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY PRIOR TO ANY LAND CLEARING, GRUBBING, OR GRADING ACTIVITIES.
 - THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES.
 - ALL PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION INCLUDING SILT FENCE BEING USED AS PROTECTIVE FENCING. ALL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS CEASED IN THE IMMEDIATE VICINITY.
 - ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THESE PROTECTED AREAS. INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE ROOT SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS SHALL BE PROTECTED FROM SMOTHERING FROM EXCESSIVE WETTING FROM DE-WATERING OPERATIONS, OFF-SITE RUN OFF, SPILLAGE AND DRAINING OF MATERIALS THAT MAY BE HARMFUL TO TREES.
 - THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.
 - THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.
 - THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN THE FOREST CONSERVATION EASEMENTS. ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT OF GRADING WITHIN AND ADJACENT TO ALL PRESERVATION AREAS, AS NECESSARY.

PRE-CONSTRUCTION MEETING

- AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS MEETING WILL BE:
 - TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, EMPLOYEE PARKING AREAS AND EQUIPMENT STAGING AREAS;
 - INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES;
 - MAKE ALL NECESSARY ADJUSTMENTS;
 - ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS PENALTIES.

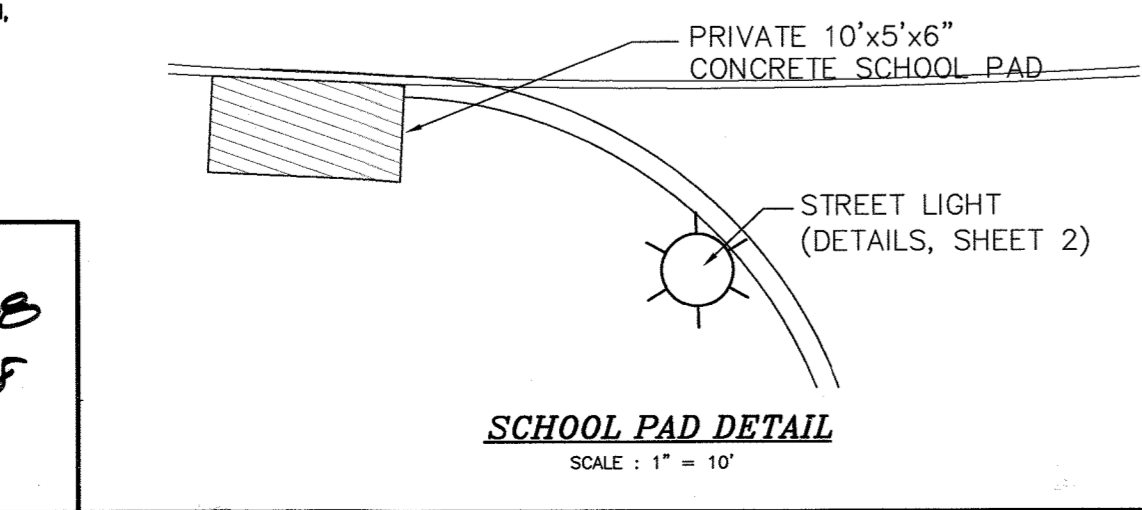
CONSTRUCTION MONITORING

- THE SITE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS. ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIATED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A PROFESSIONAL ARBORIST.
- THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.

DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF NOTICE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 For: Chapel Court, LLC
 By: Vincent & Senior 5-21-08

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DIVISION OF LAND DEVELOPMENT



SCHOOL PAD DETAIL
SCALE: 1" = 10'

project	date	description	approval
02-005	MAY 2008	engineering	JJO
	JUN 2008	illustration	JJO
	JUN 2008	scale	JJO
	JUN 2008	revision	JJO

no.	description	date
1	MODIFICATION TO THE ON-LINE LANDSCAPING	12-27-18

SERIO ESTATES
 LOTS 1-8 & OPEN SPACE LOTS 9 & 10
 TAX MAP 18 PARCELS 59 BLOCK 19
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOREST CONSERVATION AND LANDSCAPE PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296 Fax