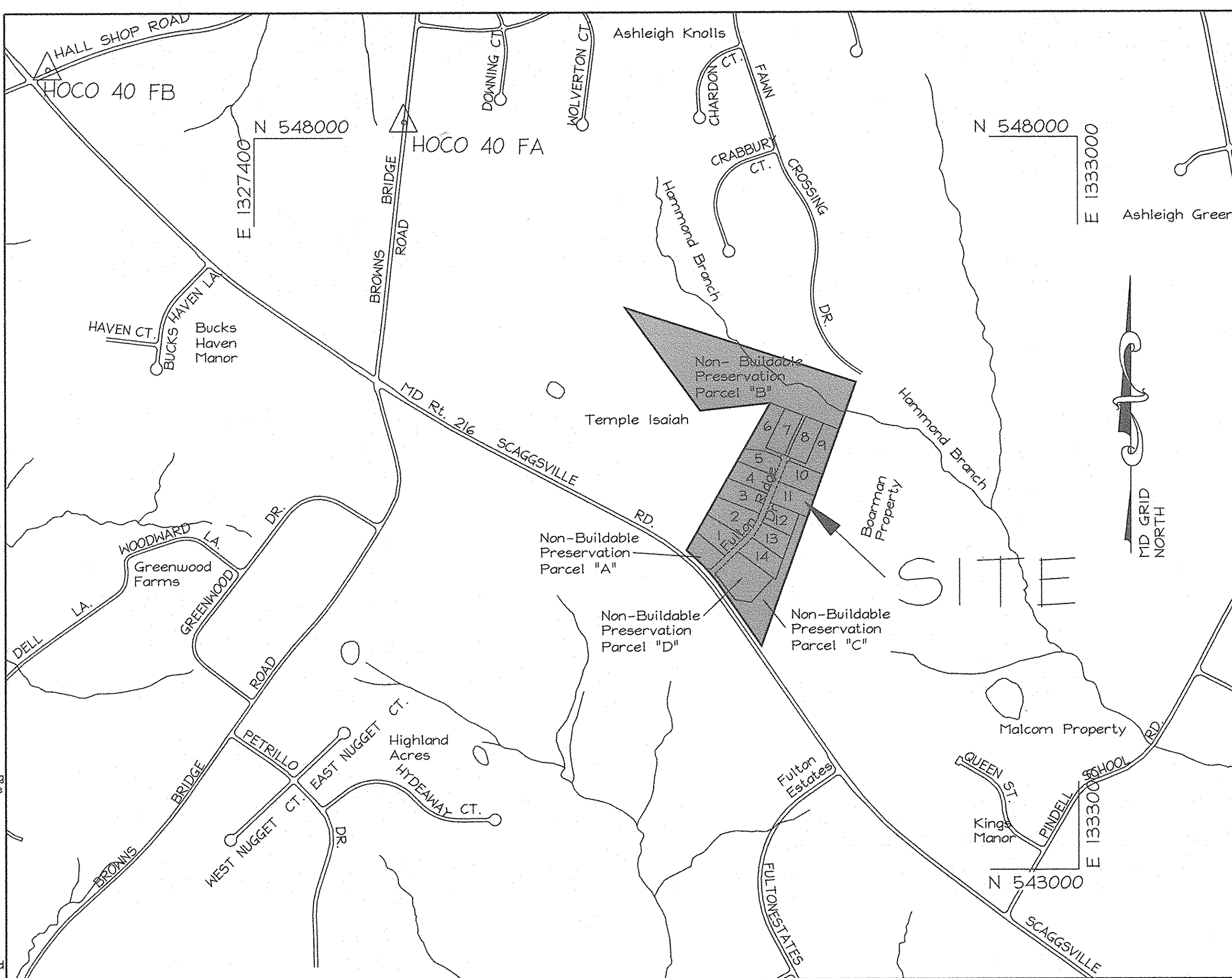


GENERAL NOTES

- Project Background:
 Subdivision Name: Fulton Ridge
 Tax map: 4
 Parcel: 2
 Zoning: RR-DEO
 Election District: 5th
 Total Tract Area: 30,809 Acres
 Number of Proposed Lots: 14 and 4 Non-Buildable Preservation Parcels
 Preliminary Plan Approval Date: August 2, 2005
 DPZ Reference Numbers: SP-05-001, MP-01-07, F-01-54, F-03-86, F-81-128 and BA-99-72E
- The boundary shown hereon is based on a field run boundary survey performed by LDE, Inc. dated September 2003.
- These Coordinates are based on NAD 83, Maryland State Plane Coordinate System, as projected from Howard County control stations 40FA & 40FB.
- Plat Reference: Lot 3, Plat No. 14537
- Subject property is zoned RR-DEO per 2/2/2004 Comprehensive Zoning Plan.
- BRL denotes Building Restriction Line.
- No Clearing, grading, or construction is permitted within the wetlands, stream(s) or their buffers and forest conservation areas.
- The existing dwelling and structures located on this property will be razed.
- This area designates a private sewage easement of at least 10,000 sf as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. These easements shall become null and void upon connection to a public sewerage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewerage easement. Recordation of a modified easement shall not be necessary.
- This area designates a private sewage easement of at least 40,000 square feet for shared drain fields associated with a shared sewage disposal facility as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. These easements shall become null and void upon connection to a public sewerage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewerage easement. Recordation of a modified easement shall not be necessary.
- The lots shown comply with the minimum lot area and ownership width as required by the Maryland State Department of the Environment.
- Flag or pipeline lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipeline lot and the road right-of-way line only and not onto the flag or pipeline lot driveway.
- Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 a) Width - 12' (14' feet serving more than one residence).
 b) Surface - 6 inches of compacted crusher run base with tar and chip coating. (1/2" Min.)
 c) Geometry - Maximum 15% grade, with the durable and sustained grade of 8%. Maximum 10% grade change and minimum of 45 foot turning radius.
 d) Structures (culverts/bridges) Capable of supporting 25 gross tons (H25 loading).
 e) Drainage Elements - Capable of safely passing 100 year flood with no more than 1 foot depth over driveway surface.
 f) Structure Clearances - minimum 12 feet.
 g) Maintenance sufficient to insure all weather use. Where one (1) driveway serves more than one (1) lot, a house number sign must be placed at each lot entrance and a range of street address house numbers sign where the common driveway intersects with the main road.
- The Maintenance Agreements for all shared driveways will be recorded concurrently with the plats among the Land Records of Howard County Maryland.
- The wetland study for this site was prepared by LDE, Inc. in January, 2004. (SP-01-001) The wetland study was approved by Howard County in September, 2004. No wetland impacts are proposed under these development plans.
- The Non-Critical Floodplain study for this project was prepared by LDE, Inc. in July, 2004. The Non-Critical Floodplain study was approved by Howard County in December 2004. (SP-05-001).
- All proposed wells shall be drilled prior to final plat signature approval.
- The existing wells located on the property shall be filled and abandoned by a licensed well driller. The existing septic systems shall be abandoned in accordance with approved Health Department procedures. The Well and Septic abandonment procedures shall be completed prior to final plat signature approval.
- Landscaping for Lots 1-14 is required in accordance with Section 16.124 of the Howard County Code and the Landscape Manual. Surety of \$30,460 is included in the Developer's Agreement.
- A Tree Maintenance Easement, ten feet in width, running along the edge of the public road right-of-way as shown on the plat of subdivision is reserved upon all lots fronting on said public road right-of-way. This easement allows the Homeowners Association (H.O.A.), the right to access the property, when necessary, for the specific purpose of installation, repair, and maintenance of the H.O.A. owned trees located within the boundaries of private lots. No building or structure of any kind shall be located on or over the said easement area. The Tree Maintenance Easements shall be public.
- The Forest Conservation easements have been established to fulfill the requirements of Section 16.1200 of the Howard County Code and Forest Conservation Act. No clearing, grading, or construction is permitted within the Forest Conservation Easement however, forest management practices as defined in the Deed of Forest Conservation easement are allowed.
- This subdivision complies with the forest conservation requirements with an obligation of 7.1 acres that is provided by 10.2 acres of retention (2.8 acres as 100 year Floodplain Non-Credit Area and 7.4 acres as Credit Area) on Non-Buildable Preservation Parcel B. Financial Surety for the required Forest Conservation Retention has been posted as part of the Department of Public Works Developer Agreement in the amount of \$61,855.00 (7.1 Ac. X 0.20/\$5.F.)
- Stormwater Management for this project is provided by stormwater management credits using grass channels, rooftop disconnection credit sheet flow to buffer credits, and natural conservation credits and approved under SP-05-001.
- The 65 dBA noise contour line shown on this plan is advisory as required by the Howard County Design Manual, Chapter 5, revised February, 1992 and cannot be considered to exactly locate the 65 dBA noise exposure. The 65 dBA noise line was established by Howard County to alert developers, builders and future residents that areas beyond this threshold may exceed generally accepted noise levels established by the U.S. Department of Housing & Urban Development.
- The Non-Buildable Preservation Parcel Easement holders will be Howard County, Maryland and the Fulton Ridge HOA for Parcels A, B & C. The easement holder for Non-Buildable Preservation Parcel D will be Howard County, Maryland. Protective Covenants will be recorded concurrently with the plat for Fulton Ridge. The purpose of each preservation parcel is the following:
 A) Non-Buildable Preservation Parcel "A": Environmental Landscape Buffer.
 B) Non-Buildable Preservation Parcel "B": Forest Conservation Easement, Floodplain Easement and protection of environmental features.
 C) Non-Buildable Preservation Parcel "C": Environmental Landscape Buffer.
 D) Non-Buildable Preservation Parcel "D": Public Shared Septic system for lots 4,5,12,13.
- APFO Traffic Study for this project was prepared by Mars Traffic Group, dated Jan. 2004 and approved Sept. 2004. under SP-05-001.
- Sight Distance Study for this project was prepared by LDE, Inc. and approved under SP-05-001.
- Noise Study for this project was prepared by LDE, Inc. and approved under SP-05-001.
- Public Shared Septic System for lots 4,5,12, & 13 was designed by McCrone. See contract #500-4293-D for details pertaining to this design.
- All lots within this subdivision shall utilize private well and private sewage disposal systems except Lots 4,5,12, & 13. Lots 4,5,12 & 13 will utilize a public shared septic system on Non-Buildable Preservation Parcel "D".
- See Percolation Certification Plan approved by the Howard County Health Department on Jan. 26, 2004 for percolation test locations.
- On August 17, 2000, the Planning Director approved MP-01-07 which waives Section 16.119(f)(3) of the Howard County Subdivision and Land Development Regulations to allow a single access to a restricted road for Cecil Cole Lots 3 & 4 via single use-in-common driveway.
- Geotech report for this project was prepared by Hillis-Carnes and approved under SP-05-001.
- For installation Specifications and Details of HDPE pipes see sheet 6 of 14 of this plan.
- All construction shall be in accordance with the latest Standards and Specifications of Howard County Design Manual Vol. IV and current MSHA Standards & Specifications.
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing utilities, etc. shall be corrected at the contractor's expense in accordance with the Howard County Standards and Specifications.
- The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
- There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work being done.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at 410-313-1880 at least five (5) working days prior to the start of work.
- Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptable.
- All utility poles within the limit of construction shall be braced prior to the start of work. Contractor shall contact Utility Companies prior to bracing, adjustment or relocation. Contractor shall be responsible for coordination of all relocations, adjustments, etc.
- Adjustments to the sequence of construction shall be approved by the Howard County Construction/Inspection Division and Permits; prior to such adjustments.
- All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T-180. The dimensioned distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All lighting shall conform to Section 134 of the Zoning Regulations for Howard County.
- There are no existing contiguous slopes 25% or greater which are greater than 20,000 square feet within the boundaries of the site.
- There are no burial grounds on the property being developed.
- All existing well and septic areas located with 100 feet of the property are shown, where applicable.
- Street light placement and the type of fixture and poles shall be in accordance with the Howard County Design Manual, Volume III (1993) and as modified by "Guidelines for Street Lights in Residential Developments" (June 1993).

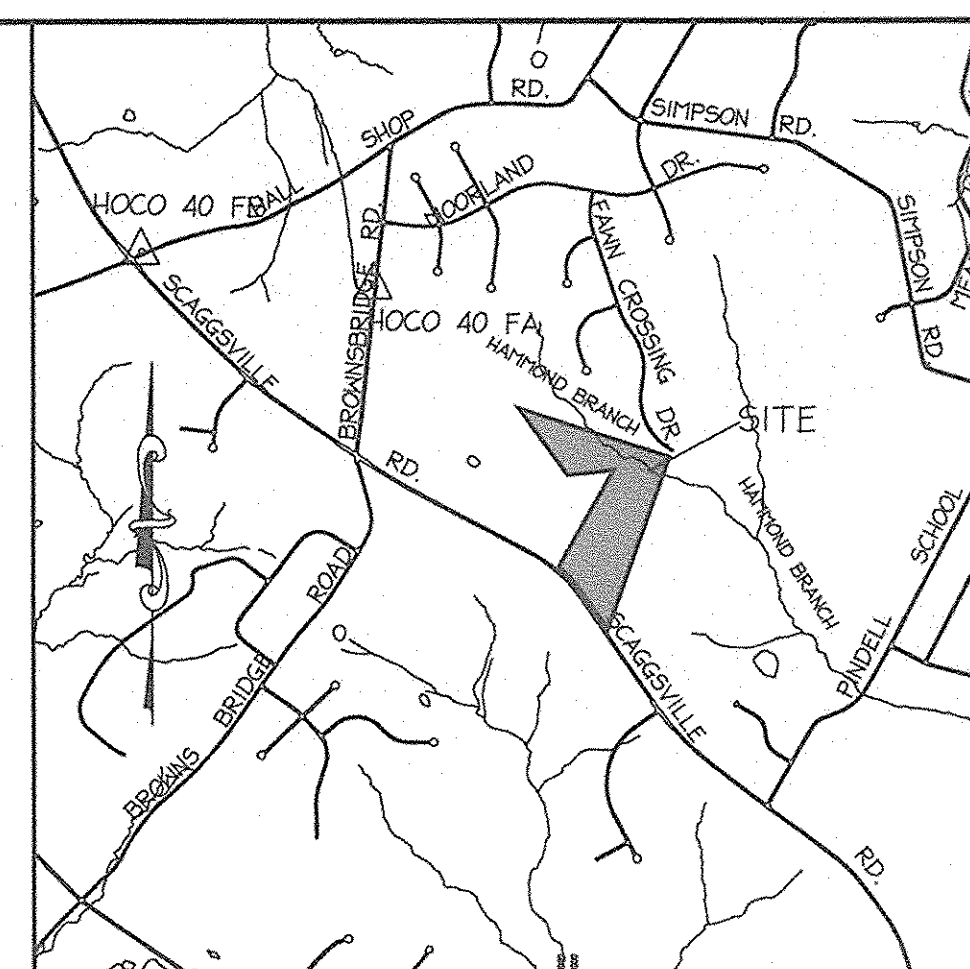


LOCATION MAP
Scale 1"=600'

**ROAD & STORM DRAIN
CONSTRUCTION PLANS**
FULTON RIDGE
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

BENCHMARKS:

- Howard County Control Station 40 FA. Elevation=497.762'
 NAD 83 Coordinates: N 548106.878, E 1328421.402
 Standard stamped disc set on a 3' deep concrete column located on the west side of Brown Bridge Road, 2.4' off edge of paving, 69.1 feet from BGE pole # 371729 and 60 feet from corner of existing woodline. BGE pole and woodline located on the east side of Browns Bridge Road.
- Howard County Control Station 40FB, Elevation = 505.114'
 NAD 83 Coordinates: N 548470.347, E 1326000.820
 Standard stamped disc set on a 3' deep concrete column located on the west side of Hall Shop Road, 10.5 feet off the edge of pavement, 100 feet north of the MD Route 216 centerline.



SHEET INDEX	
Sheet Number	Description
1	Cover Sheet
2	Plan & Profile - Maryland Route 216 (Scaggsville Road) I+47 thru I+67
3	MD 216 Widening, Road Plan Details & Maintenance of Traffic
4	Plan & Profile - Fulton Ridge Drive 0+00 thru I+17.82
5	Fulton Ridge Drive Road Details
6	Storm Drain Profiles
7	Drainage Area Map
8	Drainage Area Map
9	Grading and Soil Erosion & Sediment Control Plan
10	Grading and Soil Erosion & Sediment Control Plan
11	Grading and Soil Erosion & Sediment Control Plan - Details
12	Grading and Soil Erosion & Sediment Control Plan - Details
13	Conceptual Grading Plan for Stormwater Management
14	Landscape & Street Tree Planting & Forest Conservation Plan
15	Landscape & Street Tree Planting & Forest Conservation Plan
16	Landscape & Street Tree Planting & Forest Conservation - Details & Notes

LAND TABULATION
 Total platted area of Cecil Cole Property, Lot 3 (Plat # 14537): 30.147 Ac
 b.) Total public R/W (MD Route 216) to be returned to lot 3 under new resubdivision plat: 0.895 Ac
 c.) Total area of lot 3 under new resubdivision plat: 31.045 Ac

DENSITY TABULATION
 a.) Total gross property area: 31.045 Acres
 b.) Area of onsite floodplain: 2.802 Acres
 c.) Net property area: 28.243 Acres
 d.) Maximum property yield: 28.243 Ac / 2 = 14.12 (14 lots)
 e.) Onsite by right density: 31.045 Ac / 4.25 = 7.30 (7 lots by right onsite)
 f.) Minimum sending parcel size: 7 lots x 3.00 = 21.00 Acres

DENSITY SUMMARY:
 A total of fourteen (14) lots are allowed on the property under the density exchange option. The developer will use all seven (7) of the lots allowed by right on the property. The developer will transfer an additional seven (7) density exchange units. Using the Density Exchange Option described in Section 106 of the Zoning Regulations, 6 development rights will be transferred from the Harrison Property (Tax Map 1, Grids 23-24, Parcels 9 & 25), as shown on F-06-198, and 1 development right will be transferred from the Shapiro Property, third exchange. Both sending parcels will be recorded concurrently with the plat for Fulton Ridge.

GENERAL NOTES CONTINUED

- The topography shown hereon is taken from Howard County Aerial Survey and spot checked for accuracy by field-run topography by LDE, Inc. September, 2003.
- All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (1 1/2" diameter) inserted into a 2-1/2" galvanized steel, perforated, square tube sleeve (12 gauge)-3' long. A galvanized steel pole cap shall be mounted on top of each post.
- No work shall be permitted within the Maryland Route 216 right-of-way until an access permit has been issued by the MSHA.
- Earthwork quantities shown on this plan are for road and stormdrain construction only. All earthwork quantities shown on sheet II are estimated and do not take into account depth of topsoil, rock, unsuitable materials, etc. The earthwork quantities shall not be used for bid purposes. The contractor shall perform an independent earthwork analysis to determine a bid price.
- All primary and alternative well sites shall be located a minimum of 10' from right-of-way/property lines, 15' from edge of paving and/or use-in-common driveway easements, 25' from any abandoned sewage disposal easement, 30' from any permanent structure/foundation, 50' from any pressure sewer line, 100' from any septic tank, distribution box or sewage disposal easement.

REVISIONS

No.	Date	Description

LDE Inc.

Engineers, Surveyors, Planners
 9230 Ramsey Road, Suite 106 Columbia, Maryland - 21045
 (410)715-1070 - (301)596-3424 - FAX (410)715-9340

DESIGNED	JMB	SCALE	1" = 50'
COVER SHEET			
DRAWN	GDW	FULTON RIDGE	DRAWING
		Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D	1 OF 16
CHECKED	BDB	A resubdivision of Lot 3 the Cecil Cole Property Tax Map 41 Grid 13 Parcel 2	JOB NO.
		5th Election District - Howard County, Maryland	02-017.2
DATE	8/2006	Previous Submittals: F-01-54, F-03-86, MP-01-07, F-81-128, BA-99-72E, SP-05-001	FILE NO.
		Owners: Christopher R. Cole, Gail Victoria Gray, 796 Rocky Road, Johnson, VT 05656-9151	F 06-111
		Developer: Fulton Ridge, LLC, 6334 Ten Oaks Road, Suite 100, Clarksville, MD 21029, 443-595-0001	

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 9-15-06
 CHIEF, BUREAU OF HIGHWAYS

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 [Signature] 9-15-06
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 9/25/06
 CHIEF, DIVISION OF LAND DEVELOPMENT

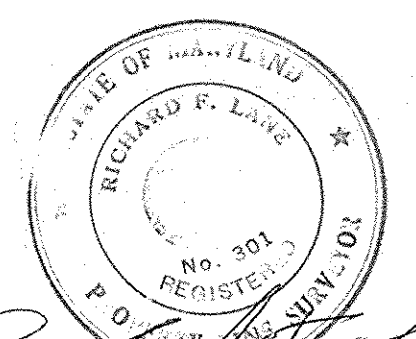
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 [Signature] 9/2/06
 DATE

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 [Signature] Bruce D. Burton 8/29/06
 Signature of Engineer Date

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environmental Approved Training Program on the Control of Sediment and Erosion before beginning the project. I also authorize periodic onsite inspections by the Howard County Soil District.
 [Signature] 8/29/06
 Signature of Developer Date



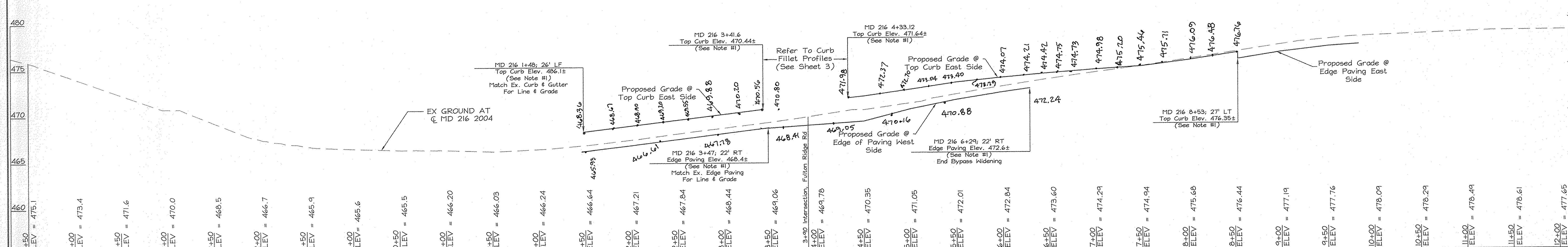
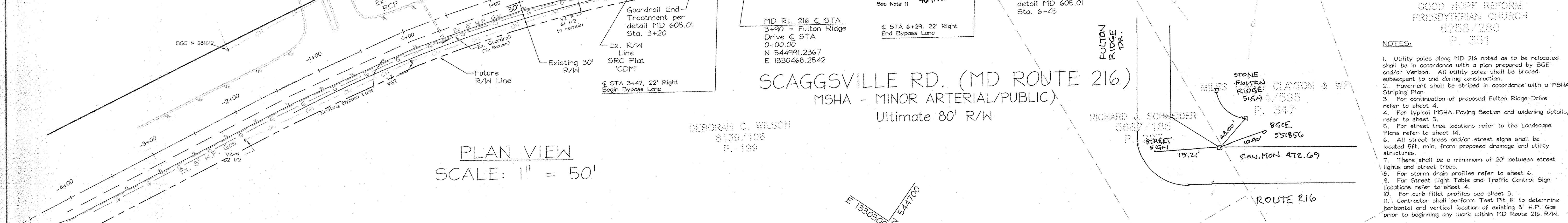
SHANABERGER & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MARYLAND 21043



[Signature] 4/15/08
 ROAD & STORM DRAIN AS-BUILT

MD 216 - SUPERELEVATION TABLE						
STATION	VERIFY CL ELEVATION	Cross Slope @ 27' +/-	Cross Slope @ 22'	Edge of Paving	Edge of Right Side	Edge of Left Side
1+40	466.82	3.00%	467.4	466.1		
1+50	466.64	3.00%	467.4	466.12		
2+00	467.21	3.00%	468.02	466.89		
2+50	467.84	3.00%	468.69	467.52		
3+00	468.44	3.00%	469.25	468.12		
3+47.8	468.96	3.00%	469.77	470.44		
3+48	469.04	3.00%	469.95	470.52	-3.00%	468.4
3+50	469.06	3.00%	469.97	470.54	-3.00%	468.4
4+00	469.78	3.00%	470.59	471.26	-3.00%	469.1
4+33.12	470.16	3.00%	470.97	471.64	-3.00%	469.5
4+50	470.25	3.00%	471.16	471.83	-3.00%	469.7
5+00	471.05	3.00%	471.96	472.63	-3.00%	470.4
5+17.40	471.34	3.00%	472.19	472.98	-3.00%	470.7
5+25	471.53	2.82%	472.29	472.96	-3.00%	470.8
5+50	472.01	2.22%	472.61	473.28	-3.00%	471.4
5+59.07	472.16	2.00%	472.70	473.27	-3.00%	471.5
5+75	472.19	1.82%	472.86	473.33	-3.00%	471.8
6+00	472.84	1.02%	473.11	473.78	-3.00%	472.2
6+29	473.22	0.42%	473.33	474.00	-3.00%	472.5
6+29.2	473.28	0.22%	473.37	474.04	-3.00%	472.6
6+42.40	473.48	0.20%	473.49	474.19		
6+50	473.60	-0.18%	473.55	474.22		
6+75	473.95	-0.79%	473.75	474.40		
7+00	474.29	-1.29%	473.92	474.59		
7+25	474.62	-1.91%	474.19	474.76		
7+50	474.94	-2.59%	474.24	474.81		
7+67.40	475.20	-3.00%	474.39	475.06		
8+00	475.69	-3.00%	474.87	475.54		
8+50	476.44	-3.00%	475.33	476.31		
8+25	476.49	-3.00%	475.68	476.36		
9+00	477.19	-3.00%	476.38			
8+50	477.76	-3.00%	476.95			
9+50	477.99	-3.00%	477.17			

Match Existing Curb & Gutter for Line & Grade
 Match Existing Edge of Paving for Line & Grade
 NOTE TO CONTRACTOR:
 Centerline of road elevations shown above were interpolated from 2004 data.
 Contractor shall verify centerline MD 216 elevations prior to curb stakeout.
 If any discrepancies are found, contractor shall adjust table values accordingly.

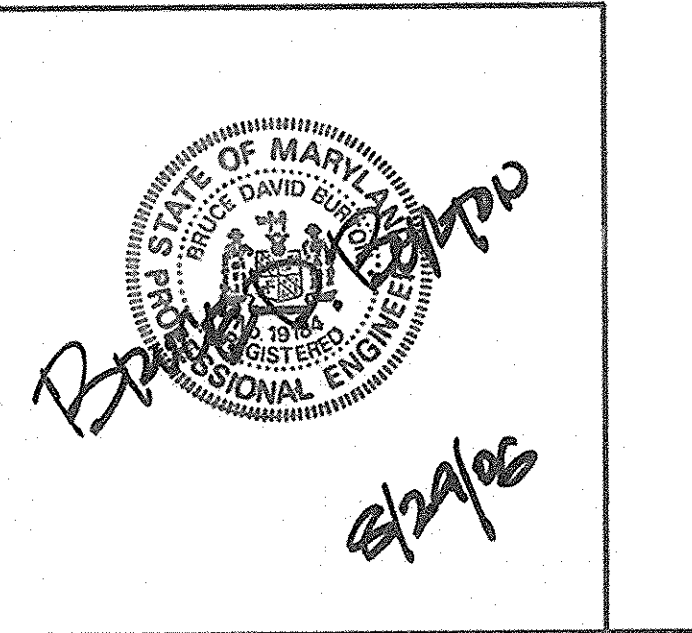


No.	Date	Description

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 9/15/06
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 9/25/06
 CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: [Signature] 9/25/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



Paving Legend

- *Pavement Improvement
1" Overlay w/ Rut Mix Seal
- SHA Full Depth Pavement Section
- P-2 Paving Section (Howard County)
- Existing Paving

SHANABERGEN & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MARYLAND 21043

ROAD & STORM DRAIN AS-BUILT

8/2006

4/15/08

REVISIONS

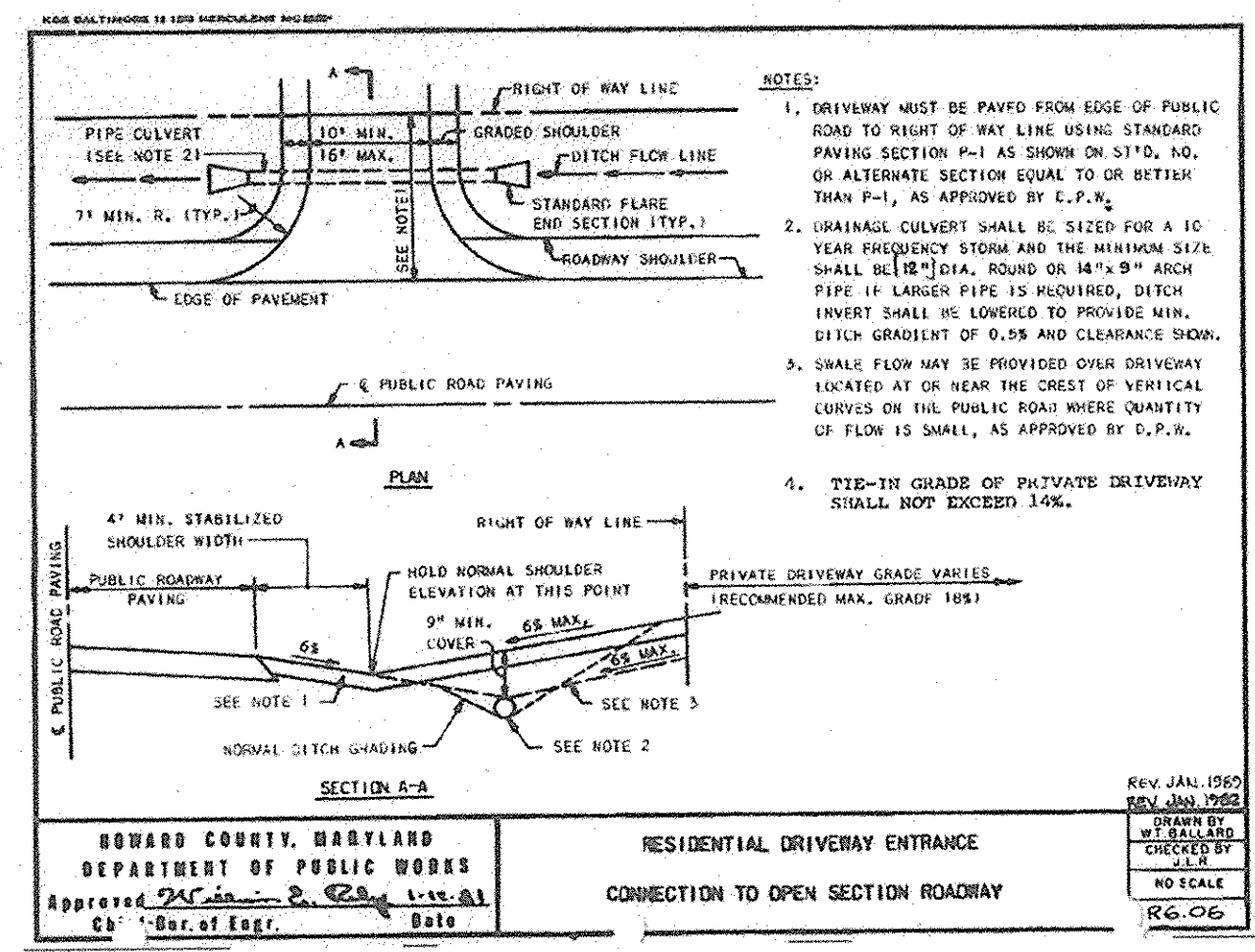
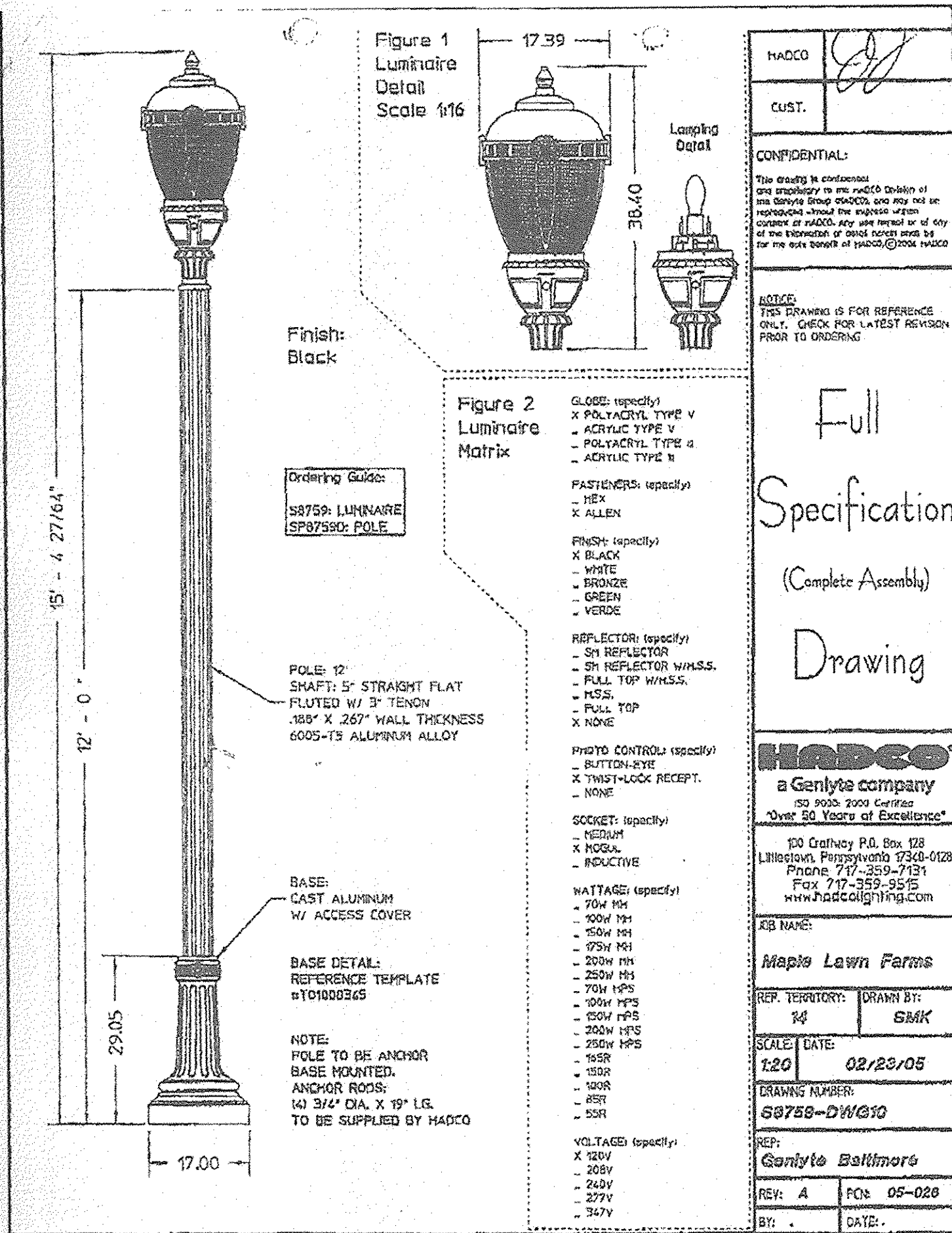
No.	Date	Description

LDE Inc.
 Engineers, Surveyors, Planners
 9250 Runsey Road, Suite 106 Columbia, Maryland - 21045
 (410)715-1070 - (301)596-3424 - FAX(410)715-9540

DESIGNED: JMB
 DRAWN: GDW
 CHECKED: BDB
 DATE: 8/2006

PLAN & PROFILE - MARYLAND ROUTE 216 (SCAGGSVILLE ROAD) 1+47 THRU 9+83
FULTON RIDGE
 Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D
 A resubdivision of Lot 3 The Cecil Cole Property Tax Map 41 Grid 13 Parcel 2
 5th Election District - Howard County, Maryland
 Previous Submittals: F-01-84, F-03-86, WP-01-07, F-91-128, BA-99-72, SP-05-001

Scale: 1" = 50'
 Drawing: 2 OF 16
 Job No.: 02-017.2
 File No.: F 06-111



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-2	RESIDENTIAL ZONES LOCAL, CUL-DE-SAC STS, ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 2 1/2" BIT. CONC. BASE 6" GRADED AGGREGATE BASE (GAB)

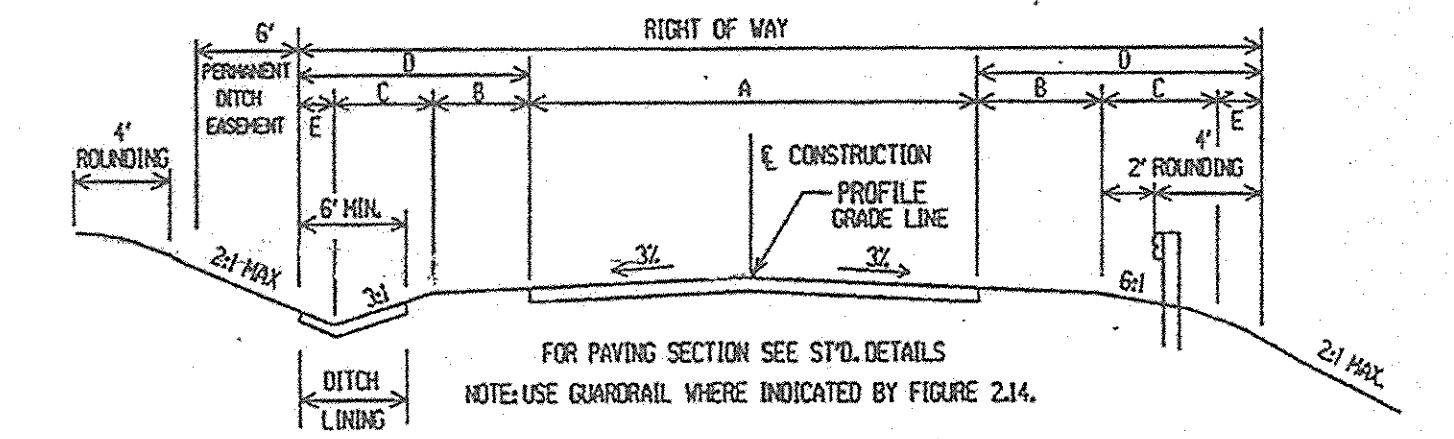
*TRAVELWAYS ARE DEFINED AS THE ROADWAYS LEADING TO THE PARKING BAYS.
*HEAVY TRUCKS ARE DEFINED AS THOSE WITH 6 WHEEL OR MORE INCLUDING GARBAGE TRUCKS.

REV. OCT. 1990
REV. JAN. 1994
REV. JAN. 1992

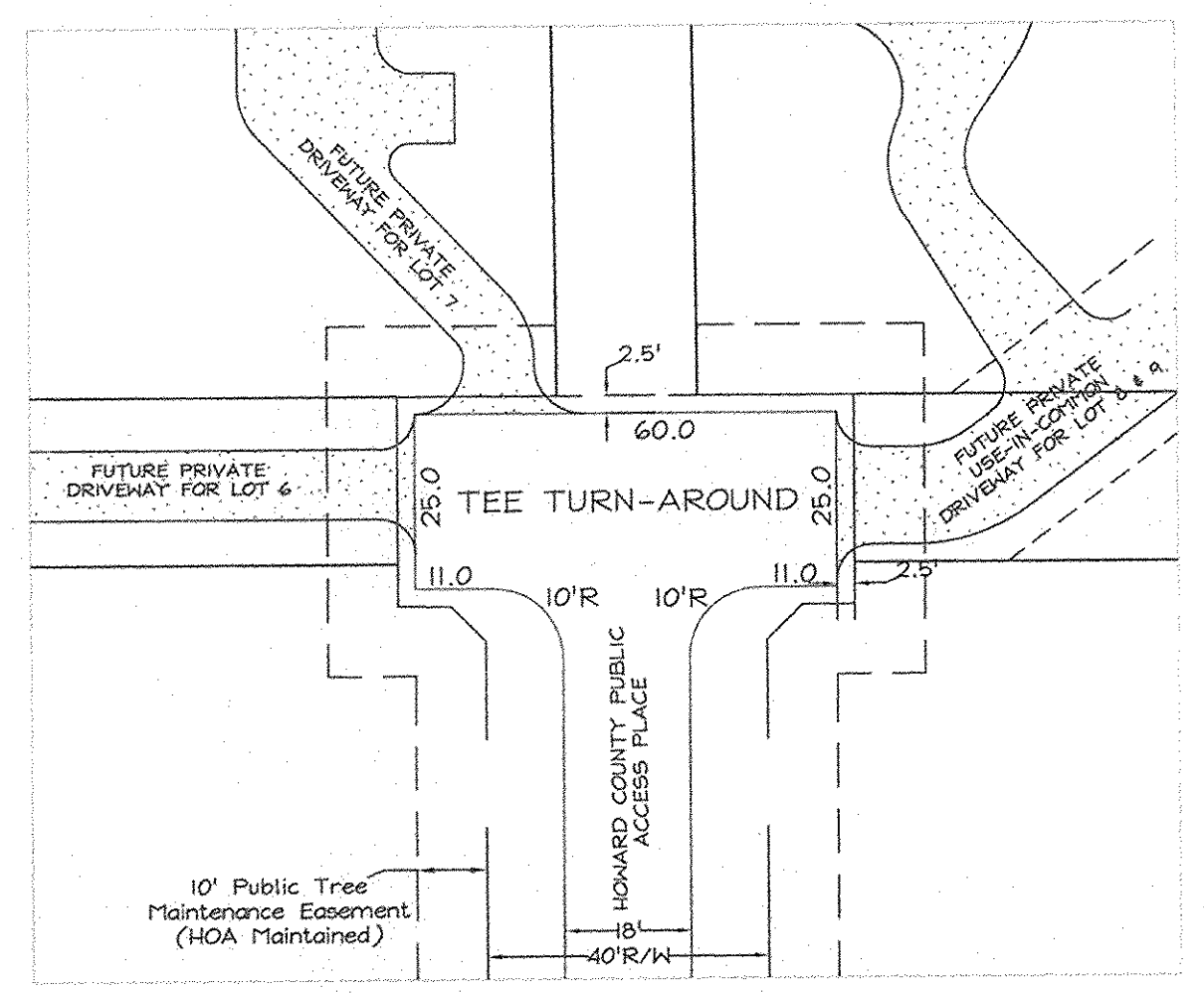
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: *[Signature]* Chief-Bur. of Engr. Date: *[Date]*

PAVING SECTIONS
P-1 THROUGH P-4

DRAWN BY: W.T. BALLARD
CHECKED BY: J.L.R.
NO SCALE
R-2.01



CLASSIFICATION	A	B	C	D	E	R/W
ACCESS PLACE PRIVATE-100 ADT	14'	4'	1'	5'	0'	24'
ACCESS STREET PUBLIC-200 ADT	22'	4'	4'	11'	3'	48'
ACCESS STREET 500 ADT	24'	4'	4'	13'	5'	58'
MINOR COLLECTOR 1000 ADT	24'	4'	4'	13'	5'	58'



APPROVED: DEPARTMENT OF PUBLIC WORKS
W. J. Walsh, Jr. 9-15-06
CHIEF, BUREAU OF HIGHWAYS MS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 7/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT JA DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 8/29/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION 4 DATE

STATE OF MARYLAND
BRUCE DAVIDSON
COMMISSIONER
PROFESSIONAL ENGINEER

8/29/06

REVISIONS		
No.	Date	Description

LDE Inc.
Engineers, Surveyors, Planners
9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045
(410)715-1070 - (301)596-3424 - FAX(410)715-9540

DESIGNED: JMB
DRAWN: GDW
CHECKED: BDB
DATE: 8/2006

FULTON RIDGE DRIVE ROAD DETAILS
FULTON RIDGE
Lots 1-14, Non-Buildable Preservation
Parcels A, B, C & D
A resubdivision of Lot 3 The Cecil Cole Property
Tax Map 41 Grid 13 Parcel 2
5th Election District - Howard County, Maryland
Previous Submittals: F-01-84, F-03-86, WF-01-07, F-01-08, BA-99-72E, SP-05-001

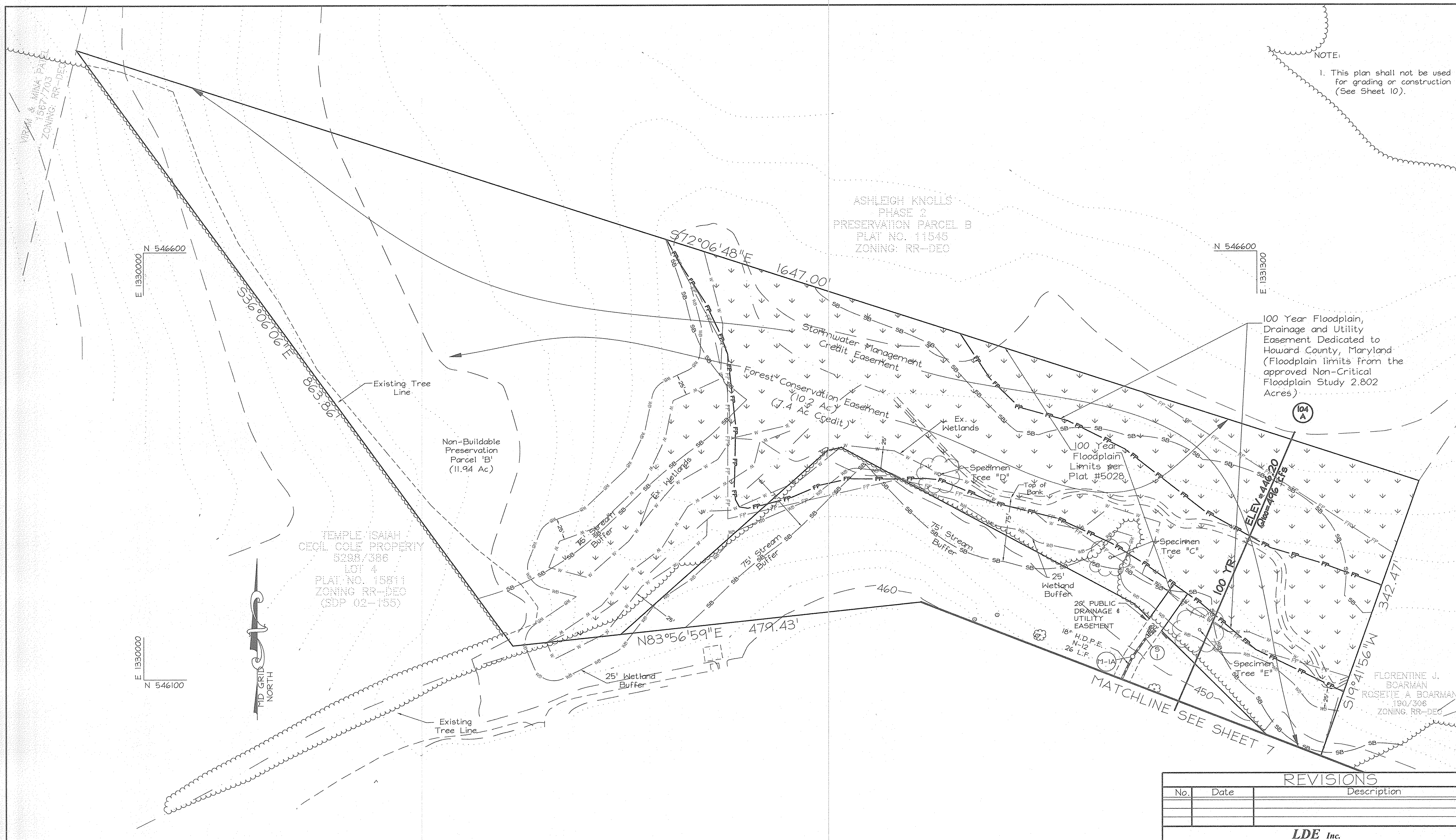
SCALE: 1"=50'
DRAWING: 5 OF 16
JOB NO.: 02-017.2
FILE NO.: F 06-111

Owners: Christopher R. Cole
Gail Victoria Gray
796 Rocky Road
Johnson, VT 05656-9151

Developer: Fulton Ridge, LLC
6239 Ten Oaks Road
Suite 100
Clarksville, Md. 21029
443-535-0001

F:\02-017-2\06\02-017-2 (5) ROAD DET. (ing. ROAD DETAILS) 09/29/2006 2:00:42 PM

NOTE:
1. This plan shall not be used for grading or construction (See Sheet 10).



TEMPLE ISAAH
CECIL COLE PROPERTY
5288/386
LOT 4
PLAT NO. 15811
ZONING RR-DEO
(SDP 02-155)

ASHLEIGH KNOLLS
PHASE 2
PRESERVATION PARCEL B
PLAT NO. 11545
ZONING: RR-DEO

100 Year Floodplain,
Drainage and Utility
Easement Dedicated to
Howard County, Maryland
(Floodplain limits from the
approved Non-Critical
Floodplain Study 2.802
Acres)

FLORENTINE J.
BOARDMAN
ROSENE A BOARDMAN
190/306
ZONING: RR-DEO

MATCHLINE SEE SHEET 7

REVISIONS

No.	Date	Description

LDE Inc.

Engineers, Surveyors, Planners
9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045
(410)715-1070 - (410)596-3424 - FAX(410)715-9540

DESIGNED JMB	<p>DRAINAGE AREA MAP FULTON RIDGE Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D</p> <p>A resubdivision of Lot 3 The Cecil Cole Property Tax Map 41 Grid 13 Parcel 2 5th Election District - Howard County, Maryland Previous Submittals: F-01-54, F-03-86, WP-01-07, F-81-128, SA-99-72E, SP-05-001</p> <p>Owners: Christopher R. Cole Gail Victoria Gray 796 Rocky Road Johnson, VT 05656-9151</p> <p>Developer: Fulton Ridge, LLC 6394 Ten Oaks Road Suite 100 Clarksville, Md. 21029 443-535-0001</p>	SCALE 1" = 50'
DRAWN GDW		DRAWING 8 OF 16
CHECKED BDB		JOB NO. 02-017.2
DATE 8/2006		FILE NO. F 06-111

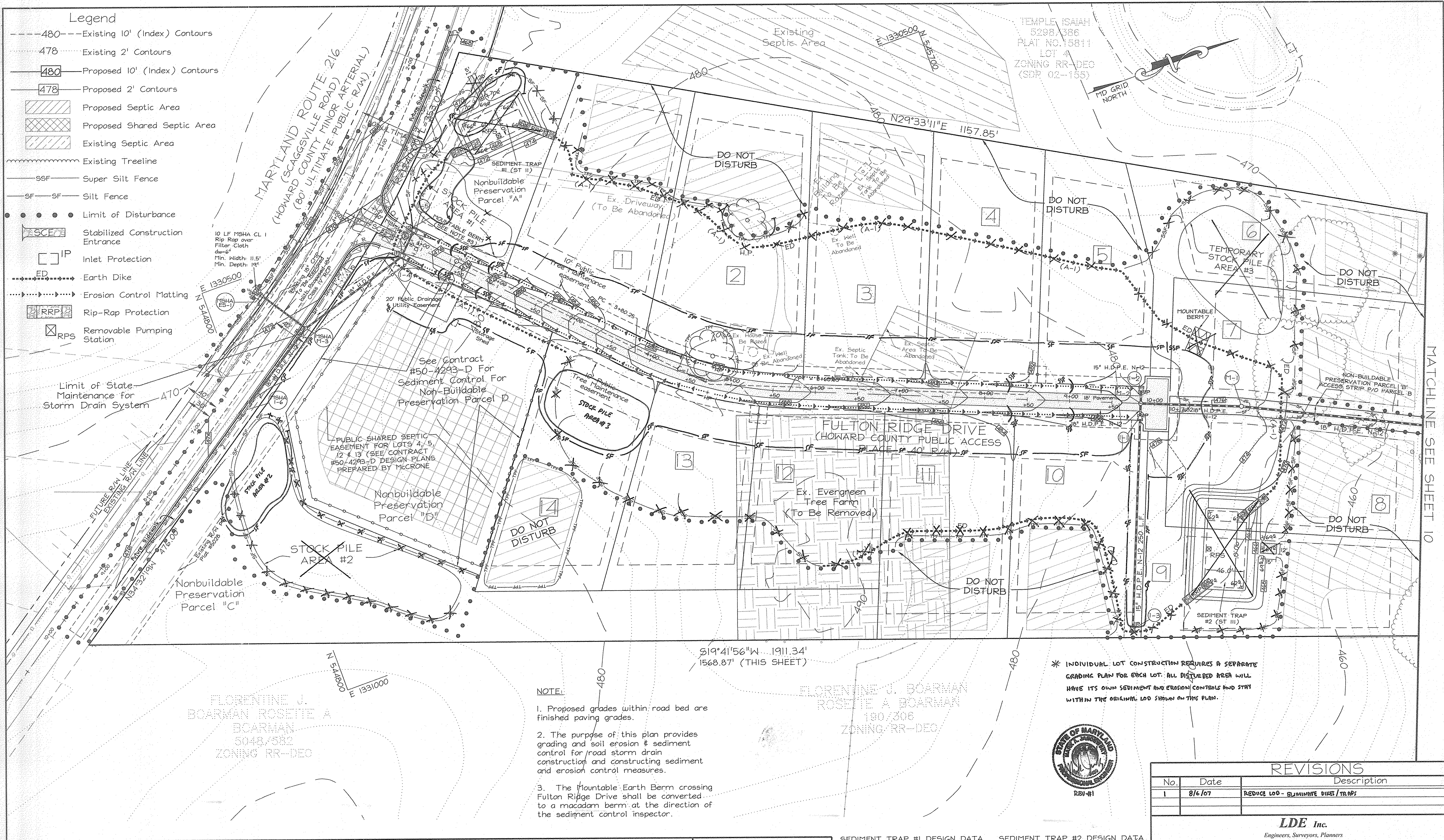
APPROVED: DEPARTMENT OF PUBLIC WORKS
W. F. Webb 9-15-06
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
C. Hamilton 9/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 9/21/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



P:\02-CIT\06-05-CIT-2 (3) D:\m\g\06\05\CIT-2 (3) D:\m\g\06\05\CIT-2 (3) D:\m\g\06\05\CIT-2 (3) D:\m\g\06\05\CIT-2 (3)



- Legend**
- 480--- Existing 10' (Index) Contours
 -478..... Existing 2' Contours
 - 480--- Proposed 10' (Index) Contours
 - 478--- Proposed 2' Contours
 - [Hatched Box] Proposed Septic Area
 - [Cross-hatched Box] Proposed Shared Septic Area
 - [Dotted Box] Existing Septic Area
 - ~~~~~ Existing Treeline
 - SSF--- Super Silt Fence
 - SF--- Silt Fence
 - Limit of Disturbance
 - [SCE] Stabilized Construction Entrance
 - [IP] Inlet Protection
 - ED--- Earth Dike
 - ECM--- Erosion Control Matting
 - [RRP] Rip-Rap Protection
 - [RPS] Removable Pumping Station

Limit of State Maintenance for Storm Drain System

10 LF MSHA CL I Rip Rap over Filter Cloth 48" x 6" Min. Width: 11.5' Min. Depth: 14"

See Contract #50-4293-D For Sediment Control For Non-Buildable Preservation Parcel D

PUBLIC SHARED SEPTIC EASEMENT FOR LOTS 4, 5, 12 & 13 (SEE CONTRACT #50-4293-D DESIGN PLANS PREPARED BY MCRONE)

STOCK PILE AREA #2

FLORENTINE J. BOARMAN ROSETTE A BOARMAN 5049-7582 ZONING RR-DEO

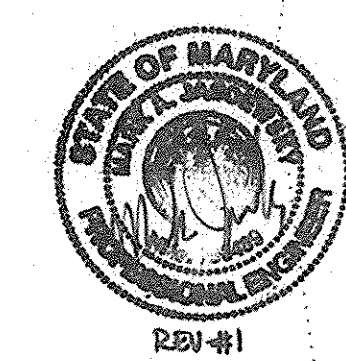
S19°41'56"W 1911.34' 1568.87' (THIS SHEET)

NOTE:

1. Proposed grades within road bed are finished paving grades.
2. The purpose of this plan provides grading and soil erosion & sediment control for road storm drain construction and constructing sediment and erosion control measures.
3. The Mountable Earth Berm crossing Fulton Ridge Drive shall be converted to a macadam berm at the direction of the sediment control inspector.

FLORENTINE J. BOARMAN ROSETTE A BOARMAN 190/306 ZONING RR-DEO

* INDIVIDUAL LOT CONSTRUCTION REQUIRES A SEPARATE GRADING PLAN FOR EACH LOT. ALL DISTURBED AREA WILL HAVE ITS OWN SEDIMENT AND EROSION CONTROL AND STAY WITHIN THE ORIGINAL LOD SHOWN ON THIS PLAN.



REVISIONS		
No.	Date	Description
1	8/16/07	REDUCE LOD - ALUMINATE DICES/TRAPS

LDE Inc.
Engineers, Surveyors, Planners
9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045
(410)715-1070 - (301)596-3424 - FAX(410)715-9540

APPROVED: DEPARTMENT OF PUBLIC WORKS
William J. Malachuk 9-15-06
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John C. Plutson 9/21/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

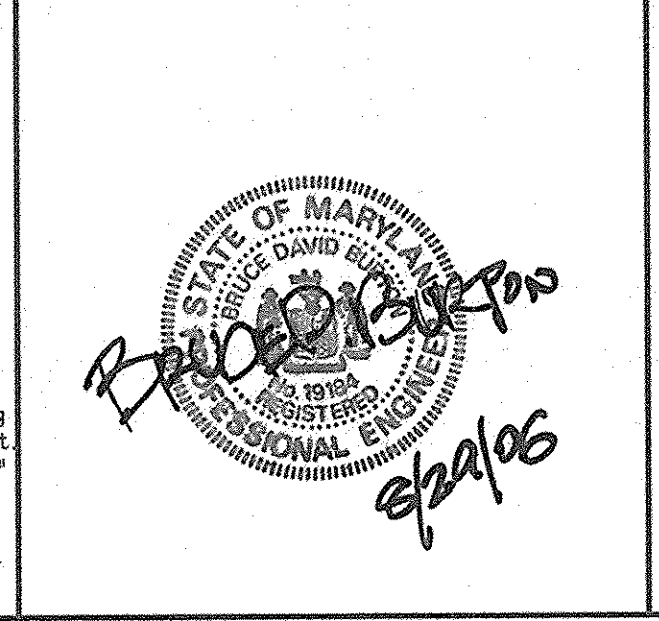
CHIEF, DEVELOPMENT ENGINEERING DIVISION 9/21/06 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Meyers 9/17/06
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John C. Plutson 9/17/06
HOWARD SCD DATE

ENGINEER'S CERTIFICATE
"I hereby certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Bruce D. Burton 8/29/06
Signature of Engineer Date
Bruce D. Burton

DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan of development for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. (also authorize periodic onsite inspections by the Howard County Soil District.)"
John C. Plutson 8/29/06
Signature Date



SEDIMENT TRAP #1 DESIGN DATA

1. DRAINAGE AREA TO TRAP=2.0 AC±
2. STORAGE REQUIRED=7,200 Cu Ft.
3. STORAGE PROVIDED=9154 Cu Ft.
4. STORAGE ELEVATION WET=467.4 DRY=468.5
5. STORAGE DEPTH WET=1.4 DRY=2.5
6. TRAP BOTTOM ELEV.=466.0
7. CLEANOUT ELEV.=466.7
8. WEIR CREST ELEV.=467.0
9. WEIR WIDTH = 5'
10. WEIR DEPTH = 1'
11. APRON LENGTH = 28' MIN
12. TOP ELEV.=470.0
13. TRAP SIZE (BOTTOM) 34"x60"
14. TRAP TYPE ST-II

SEDIMENT TRAP #2 DESIGN DATA

1. DRAINAGE AREA TO TRAP=4.8 AC±
2. STORAGE REQUIRED=28,080 Cu Ft.
3. STORAGE PROVIDED=28,866 Cu Ft.
4. STORAGE ELEVATION WET=467.0 DRY=N/A
5. STORAGE DEPTH WET=4.5 DRY=N/A
6. TRAP BOTTOM ELEV.=462.5
7. CLEANOUT ELEV.=463.5
8. WEIR CREST ELEV.=467.0
9. WEIR WIDTH = 12'
10. WEIR DEPTH = 1.5'
11. APRON LENGTH = 15' MIN
12. TOP ELEV.=468.5
13. TRAP SIZE (BOTTOM) 46"x90"
14. TRAP TYPE ST-III

DESIGNED: JMB
DRAWN: GDW
CHECKED: BDB
DATE: 8/2006

SCALE: 1" = 50'
DRAWING: 9 OF 16
JOB NO.: 02-017.2
FILE NO.: F 06-111

FULTON RIDGE
Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D

A resubdivision of Lot 3 The Cecil Cole Property Tax Map 41 Grid 13 Parcel 2 5th Election District - Howard County, Maryland
Previous Submittals: F-01-54, F-03-86, WP-01-07, F-81-128, BA-99-72E, SF-02-201

Quers: Christopher R. Cole
Gail Victoria Gray
746 Rocky Road
Clarksville, Md. 21029
443-535-0001

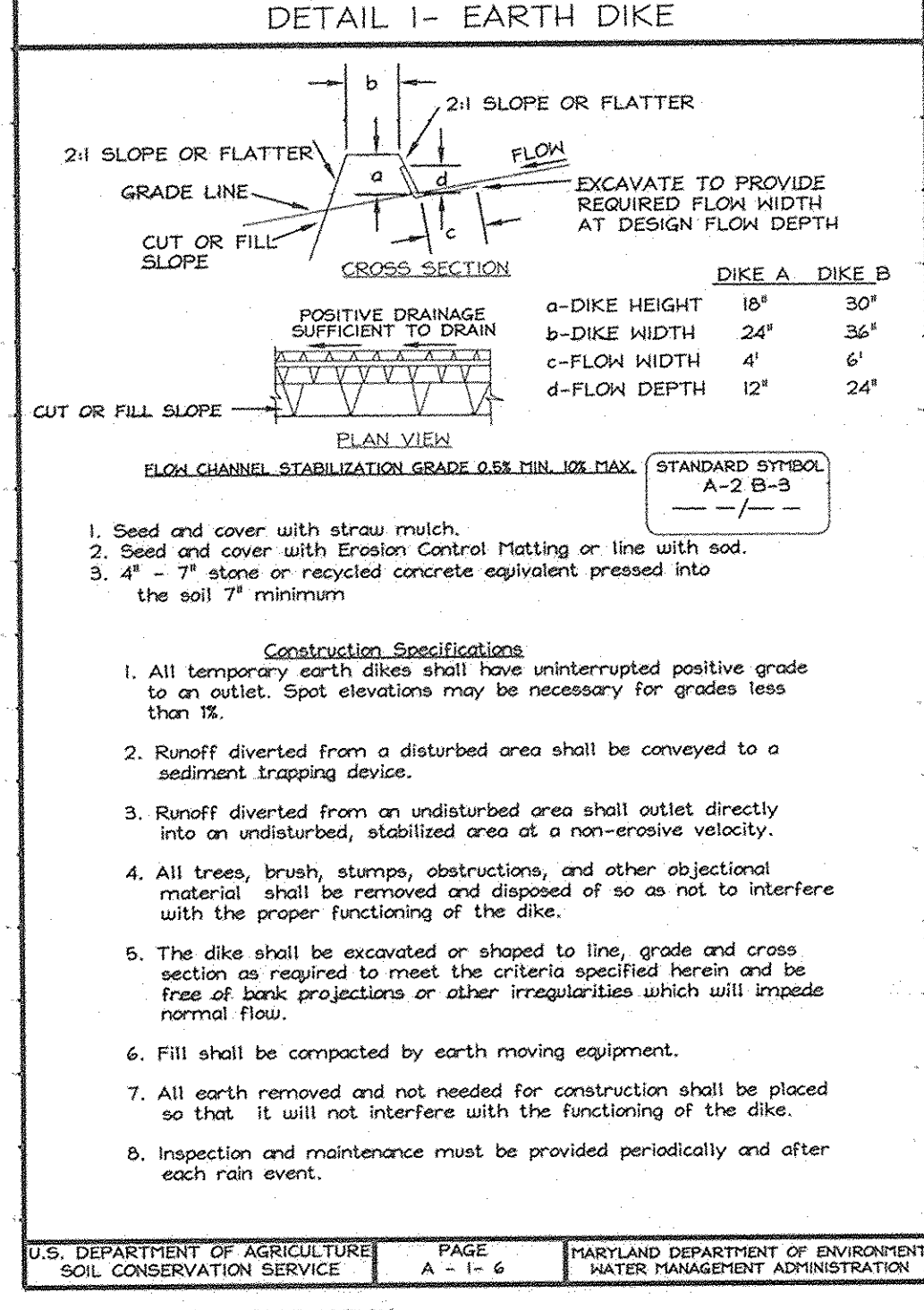
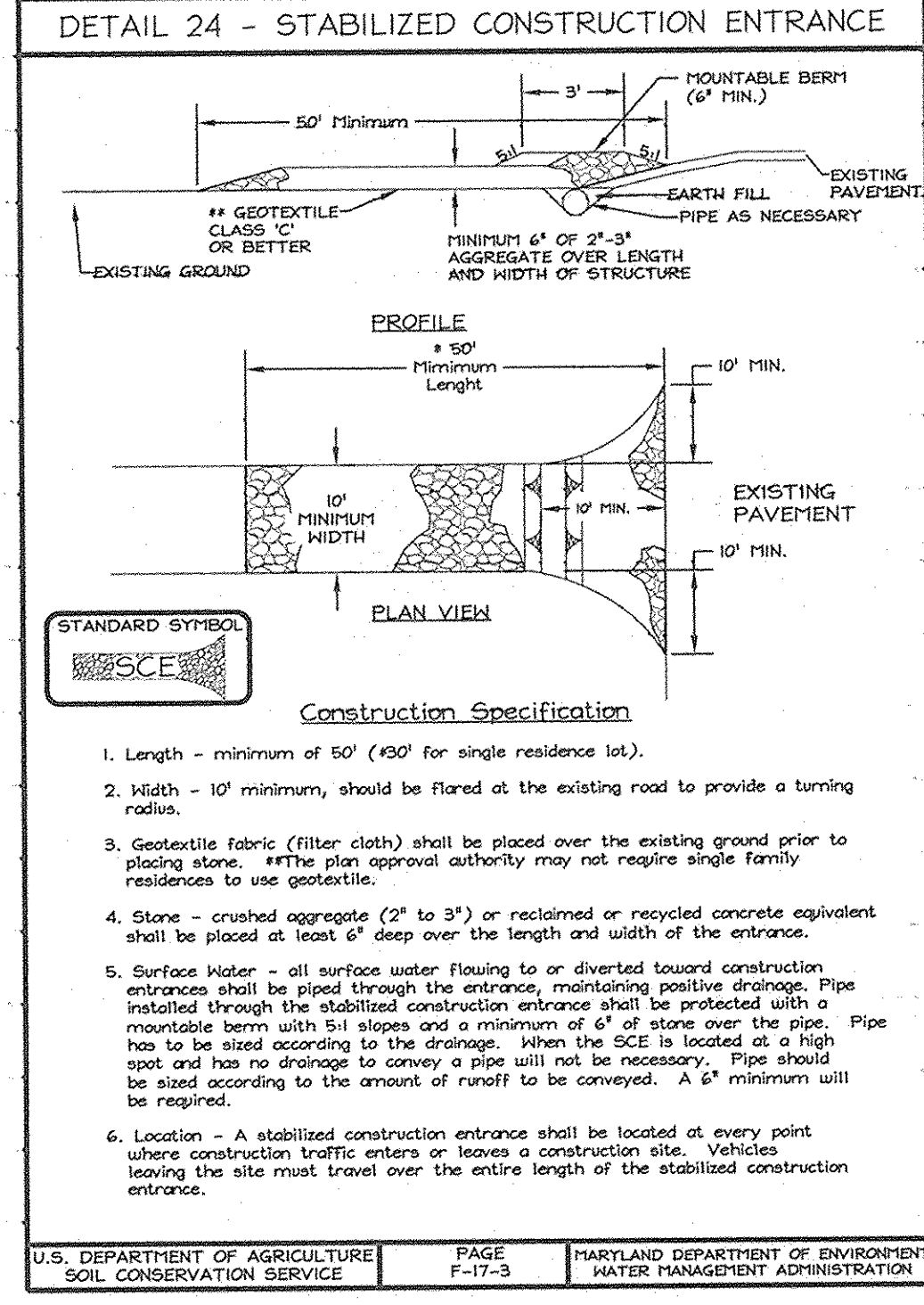
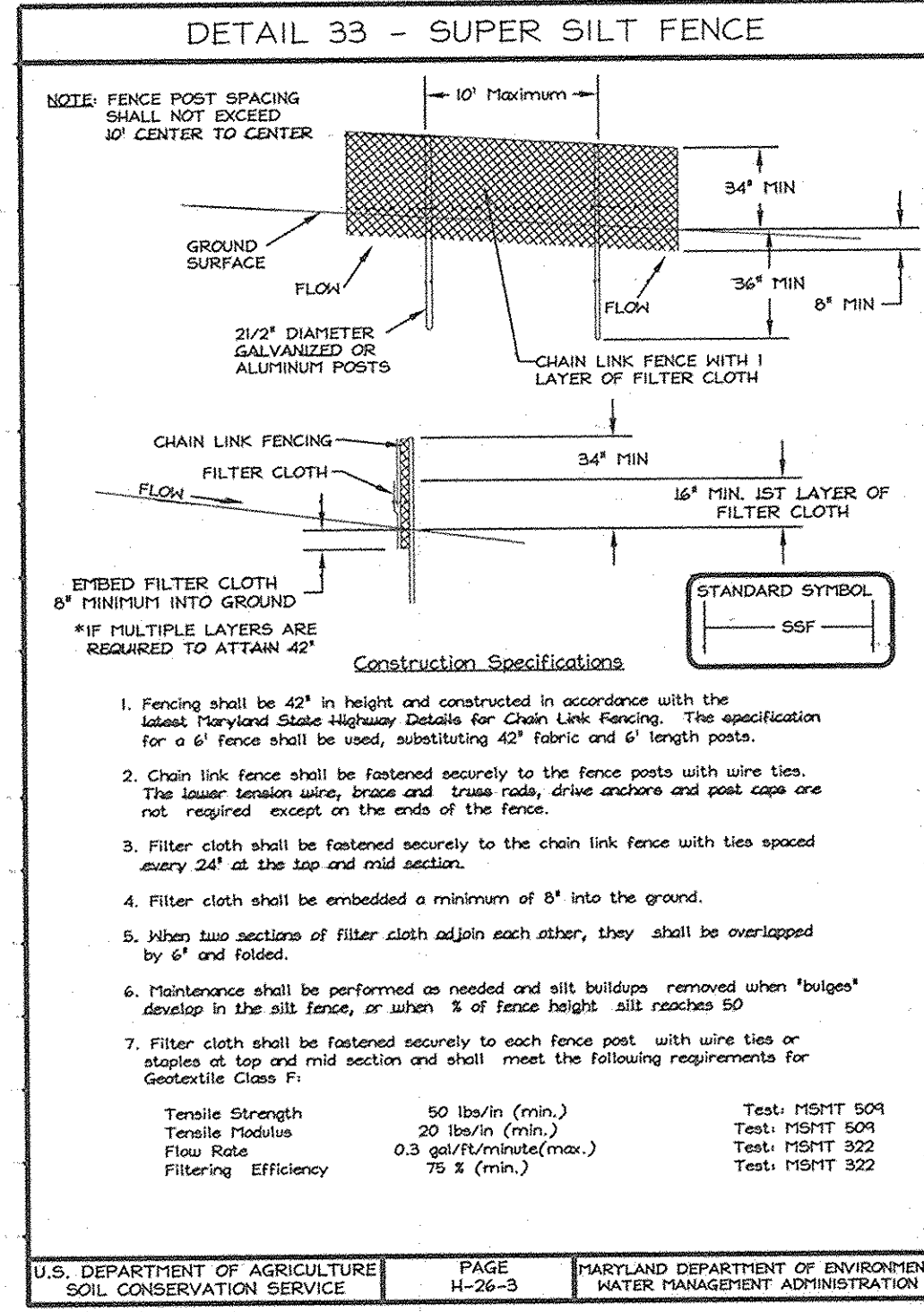
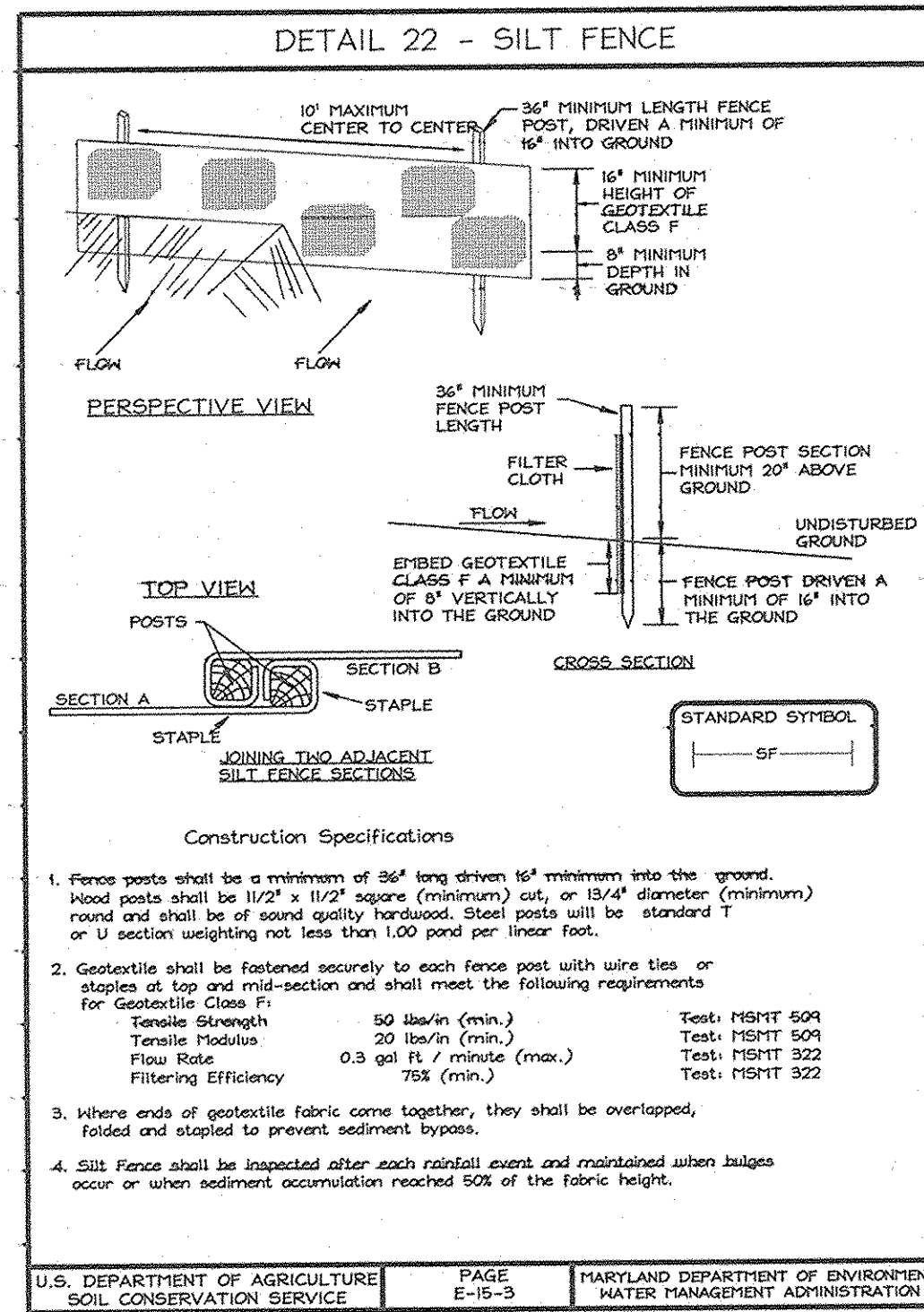
Developer: Fulton Ridge, LLC
6339 Ten Oaks Road
Suite 100
Clarksville, Md. 21029
443-535-0001

F:\02-017-2\02-017-2 (9) EROSION AND SOIL CONSERVATION CONTROL PLAN.P128\02016 1054A3 AM

HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction, (313-1855).
 - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", and revisions thereto.
 - Following initial soil disturbance or disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shall be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section G) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - * Site Analysis:

Total Area of Site	30.8	Acres
*Area Disturbed	4.6	Acres
*Area to be roofed or paved	0.7	Acres
*Area to be vegetatively stabilized	3.9	Acres
*Total Cut	186.4	Cu. Yds.
*Total Fill	182.7	Cu. Yds.
Offsite waste/borrow area location	37 Cu. Yds.	(to be spread onsite)
 - Any sediment control practice which is disturbed by grading activity or placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.
- * Quantities are provided for roads and storm drains only and are for informational purposes only. Contractor to make his own analysis prior to placing a bid on grading work. The quantities for construction on Preservation Parcel D are NOT provided on this plan, please see Contract #50-4293-D for the Site Analysis of Preservation Parcel D.



21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

- Organic content of topsoil shall be not less than 1.5 percent by weight.
- Topsoil having soluble salt content greater than 500 paring salts per million shall not be used.
- No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compact to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton / 1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

SEQUENCE OF CONSTRUCTION

- Obtain grading permit. 1 Day
 - Notify the Howard County Department of Public Works Construction Inspection Division at 410-313-1880 at least 48 hours prior to beginning construction. 1 Day
 - Install stabilized construction entrance, tree protection fence and signage. Clear and grub as necessary to install remaining sediment control devices, including silt fence, earth dikes, and sediment traps. 1 Week
 - Demolition/ removal of existing farm house and block garage building. Removal and abandonment of existing well and septic facilities in accordance with approved Health Department procedures. 1 Week
 - Install all sediment controls are installed and obtain permission from the Sediment Control Inspector prior to establishing rough grade for Fulton Ridge Drive. Grade for Fulton Ridge Drive and establish roadside ditches. Stockpile topsoil stripped from roadbed in designated areas only. 1 Week
 - Stabilize all disturbed areas not to be paved in accordance with the temporary seeding notes. 1 Day
 - Install storm drain systems 1-3 to S-1 and 1-5 to M-3. Install rip-rap apron at S-1. 1 Week
 - Install additional sediment control devices along Route 216 as necessary to construct lane improvements. Notify the MSHA Inspector prior to beginning any work within the Route 216 R/W. 1 Day
 - Once utility companies complete the relocation of existing poles, grade for Route 216 improvement lanes. 3 Days
 - Fine grade for both Fulton Ridge Drive and Route 216 improvement lanes. 3 Days
 - Install MSHA Type 'A' curb and gutter along the north side of proposed acceleration and deceleration lanes and around entrance fillets on Fulton Ridge Drive. 4 Days
 - Install remaining utilities within Fulton Ridge Drive R/W including pressure sewer, electric, telephone, cable and gas (if available). 5 Days
 - Install storm drain system 1-6 to M-3. Replace existing 18" culvert under Route 216 using new 18" class IV concrete pipe. Install rip-rap apron at ES-1 outfall. 2 Days
 - Stabilize all disturbed areas not to be paved in accordance with the temporary seeding notes. 1 Day
 - Install gravel road base for both Fulton Ridge Drive and MSHA improvement lanes. 3 Days
 - Install bituminous base and surface for both County and State roads. 4 Days
 - Fine grade any remaining areas and stabilize all remaining disturbed areas in accordance with the permanent seeding notes. 3 Days
 - With permission from the sediment control inspector, remove all sediment control devices including silt fence, earth dikes and traps. Stockpile areas to be graded out prior to removal of sediment control devices. 3 Days
 - Install gravel parking pad, utility shed and fencing for public shared septic system. 2 Weeks
 - Install street lights and landscaping.
- * See Contract #50-4293-D for construction Drawings

HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES

- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:
- PREFERRED** -- Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000sq. ft.)
 - ACCEPTABLE** -- Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.
- SEEDING** -- For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue and 2 lbs. per acre (.05 lbs/1000sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.
- MULCHING** -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.
- MAINTENANCE** -- Inspect all seeding areas and make needed repairs, replacements and reseeds.

HOWARD SOIL CONSERVATION DISTRICT
TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- SEEDBED PREPARATION:** -- Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:** -- Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.).
- SEEDING** -- For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-12 bushels per acre of annual rye (3.2 lbs/1000sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs/1000sq. ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- MULCHING** -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrattled weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring. Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

APPROVED: DEPARTMENT OF PUBLIC WORKS
William F. ... 9/15/06
CHIEF, BUREAU OF HIGHWAYS MS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
... 9/28/06
CHIEF, DIVISION OF LAND DEVELOPMENT JX

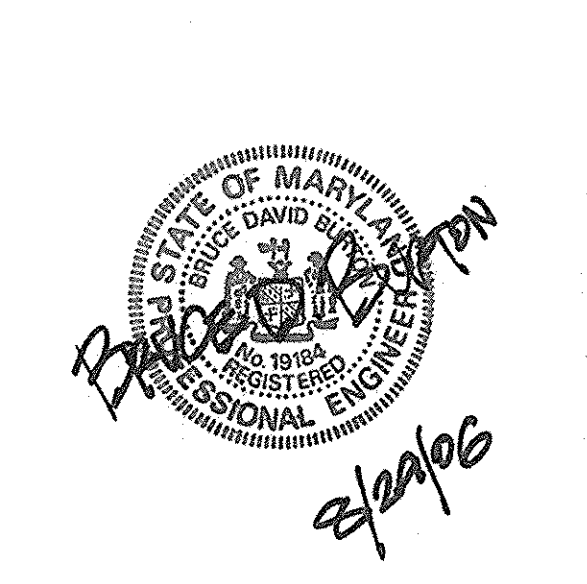
... 9/16/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION J

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Meyer 9/17/06
USDA NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John R. ... 9/17/06
HOWARD SCD

ENGINEER'S CERTIFICATE
I hereby certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
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Signature of Engineer
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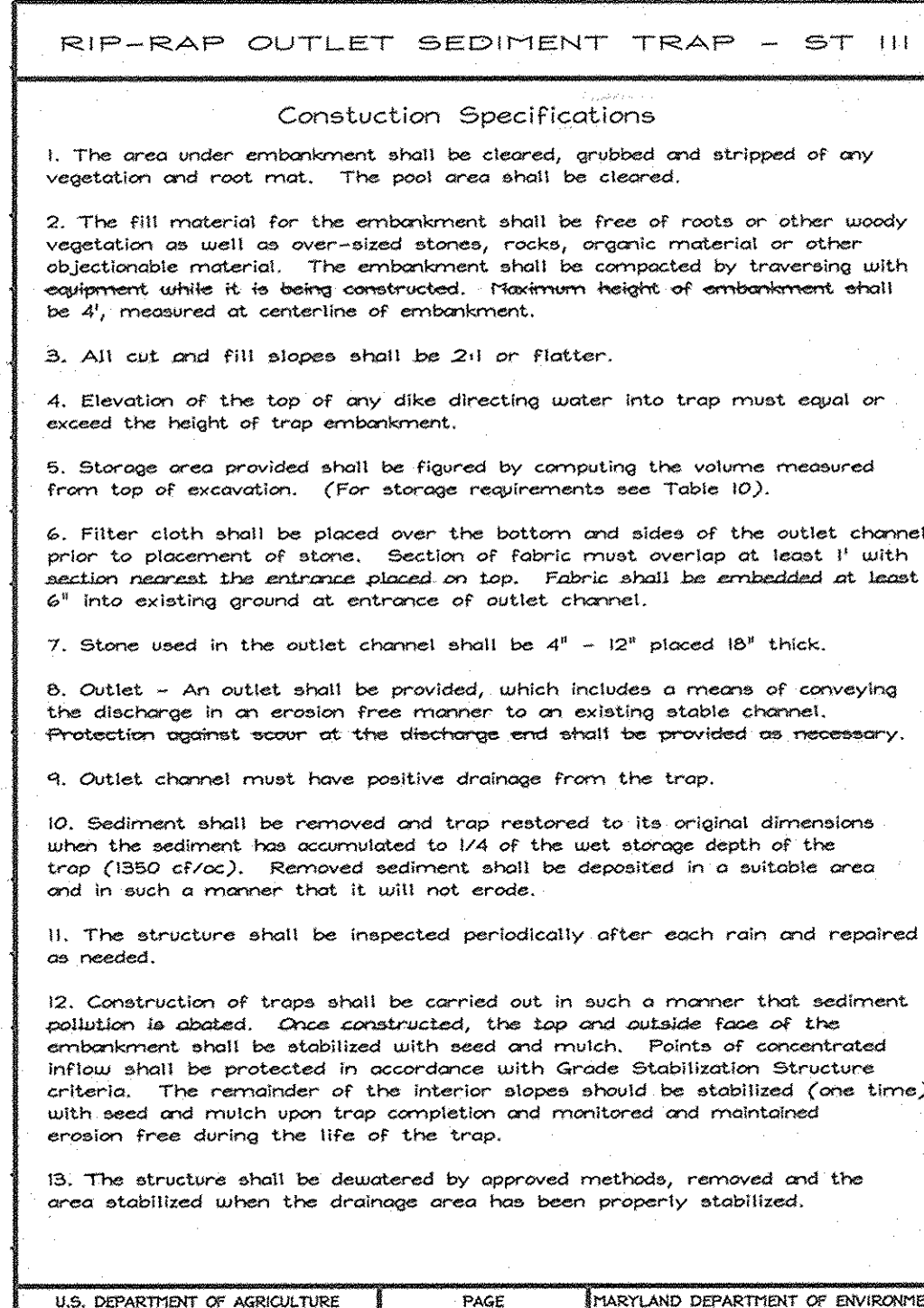
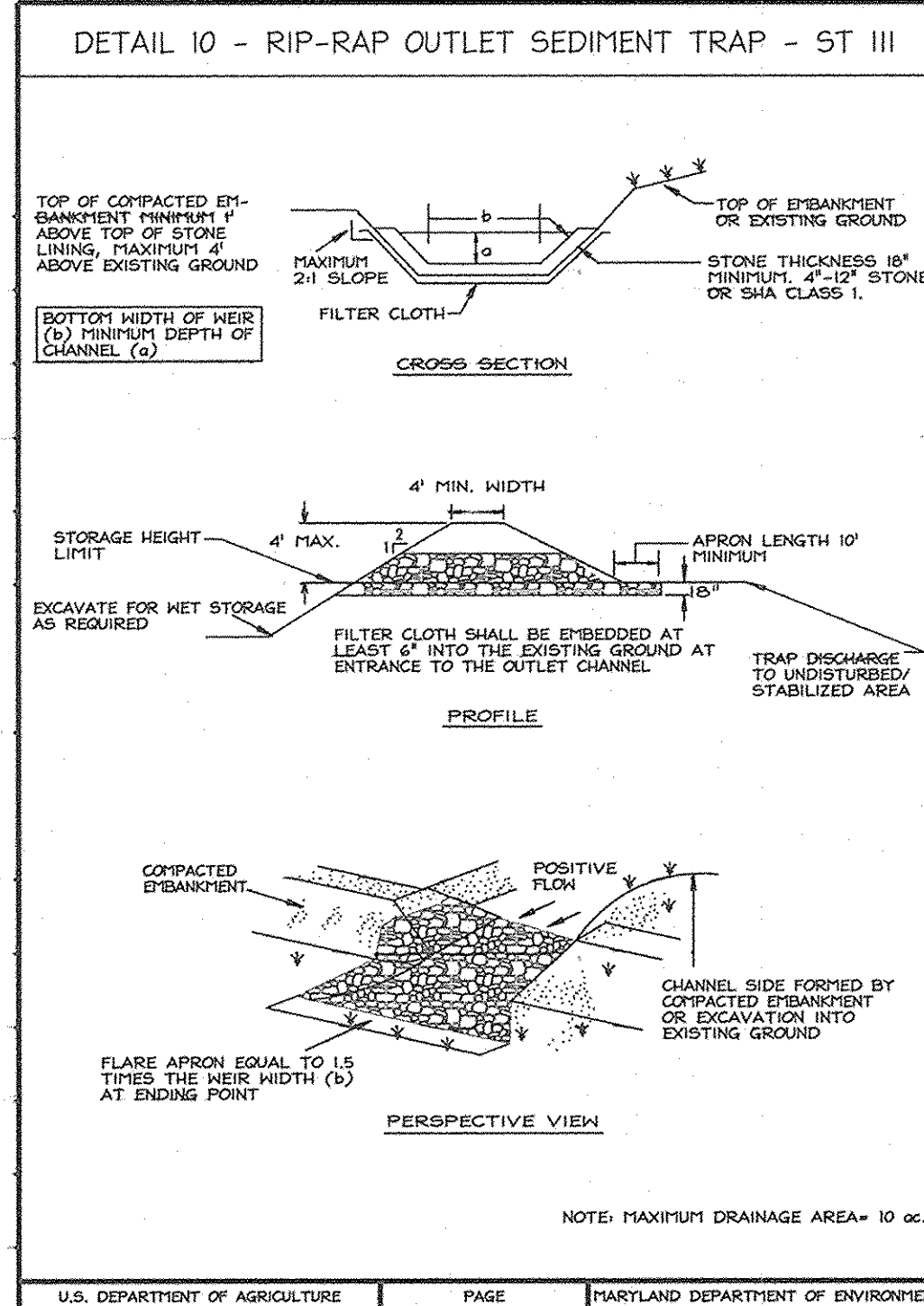
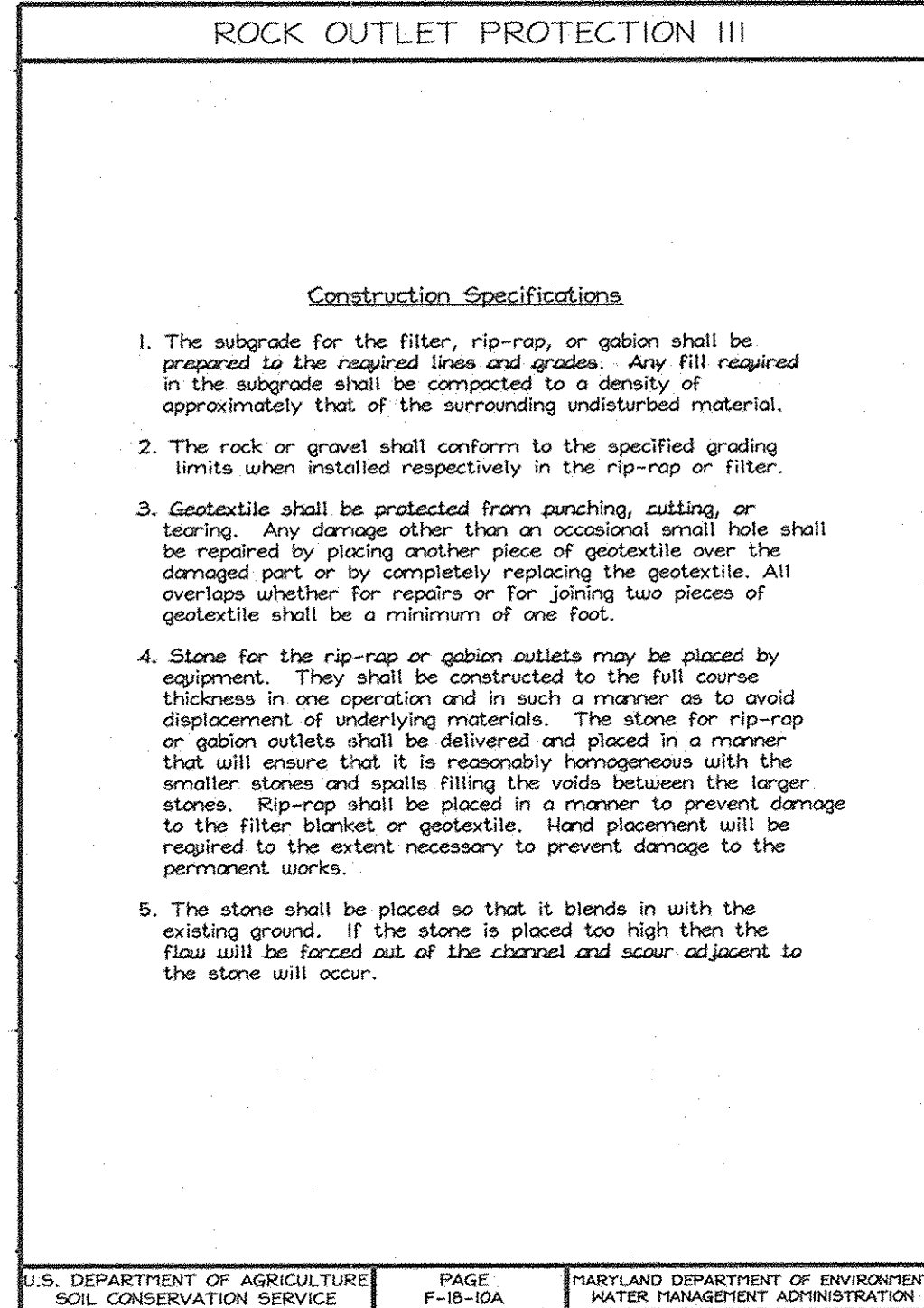
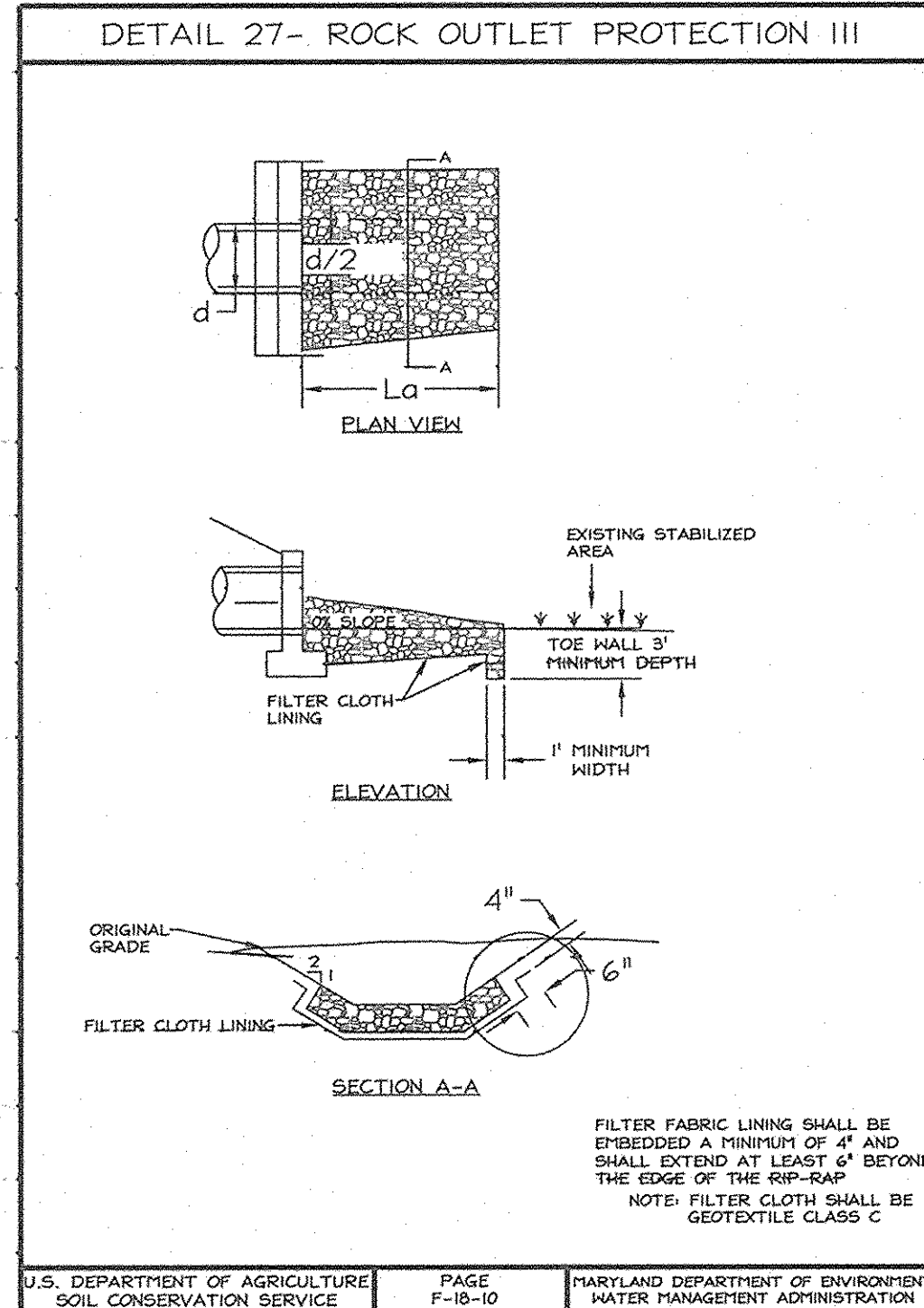
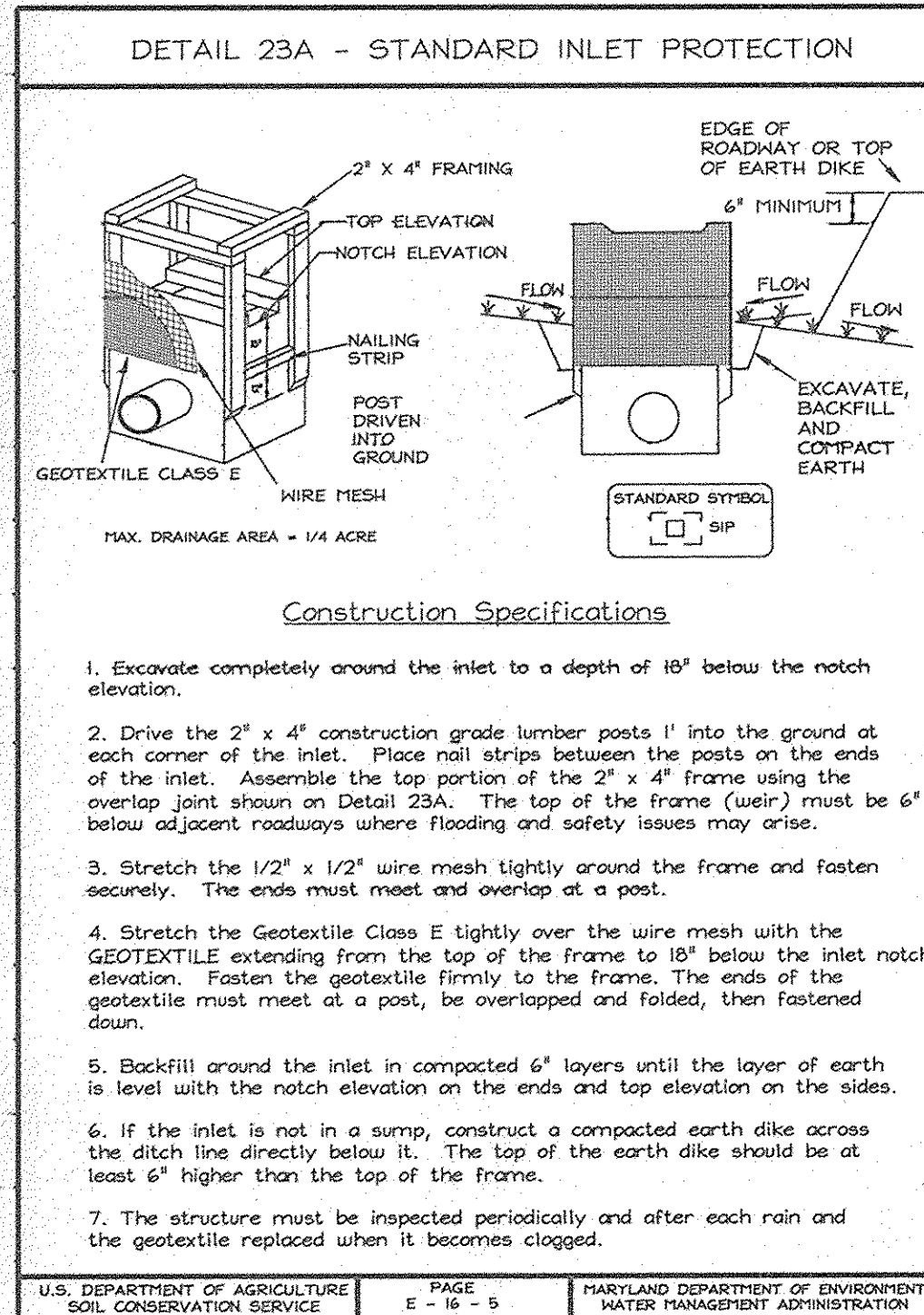
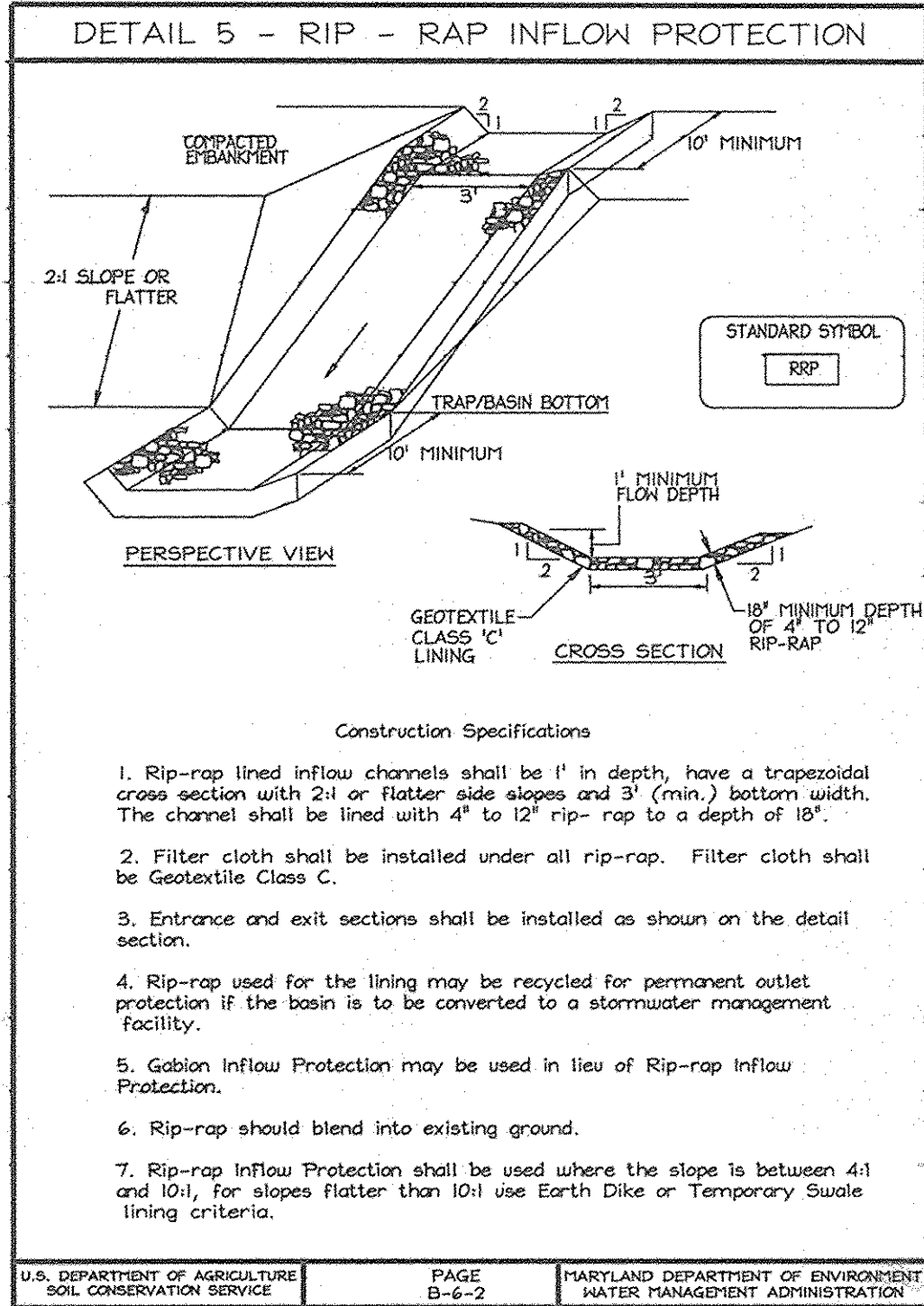
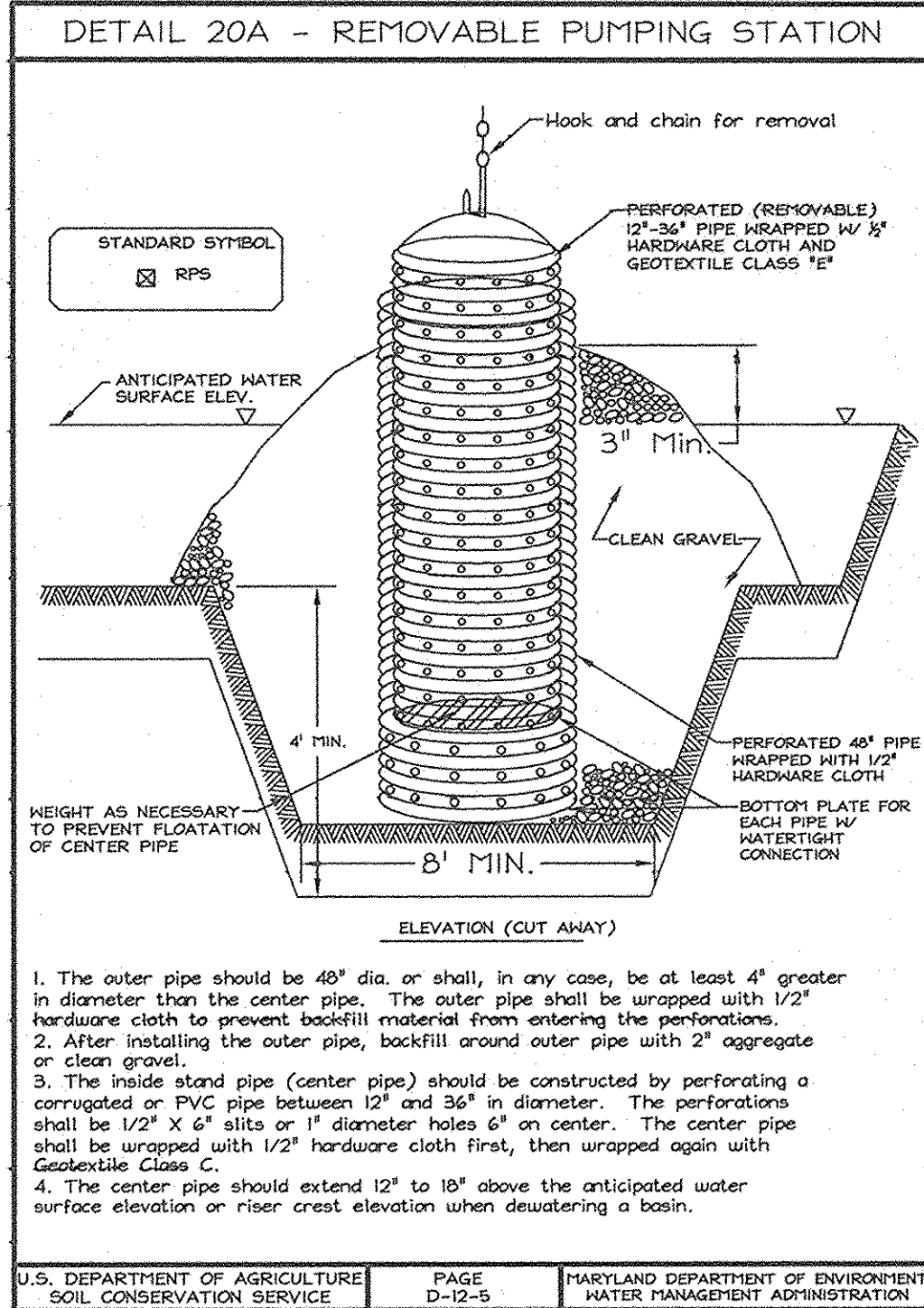
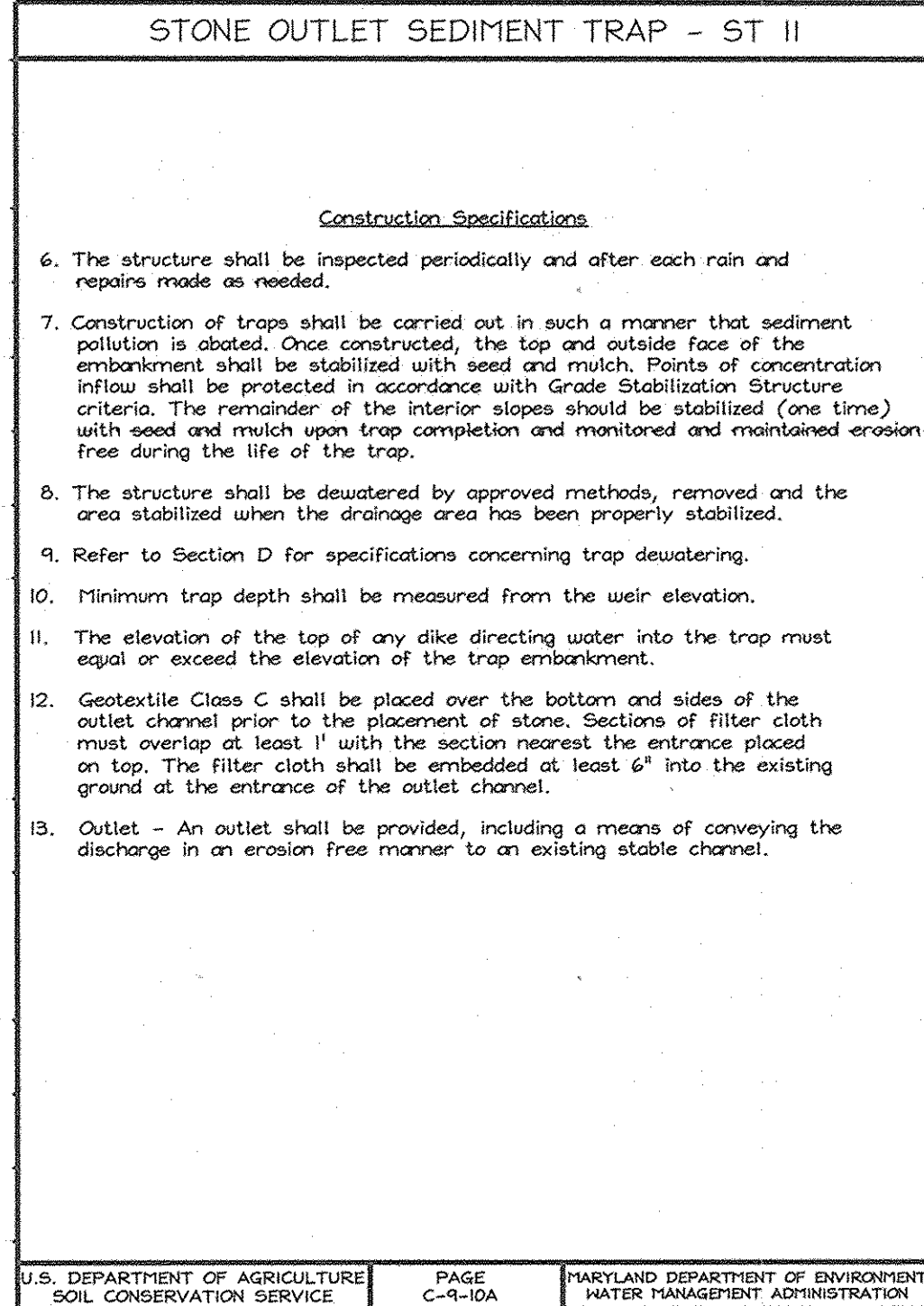
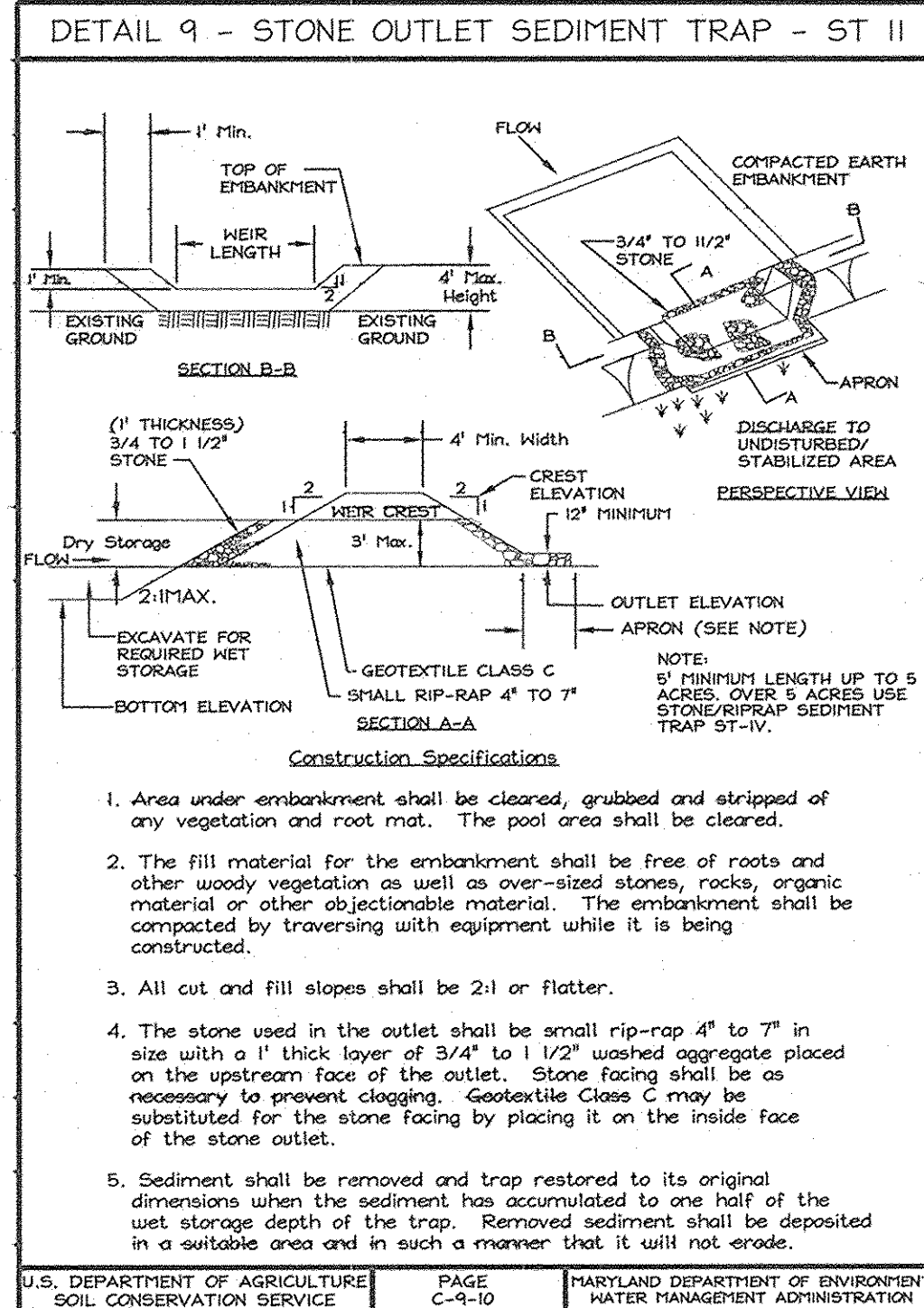
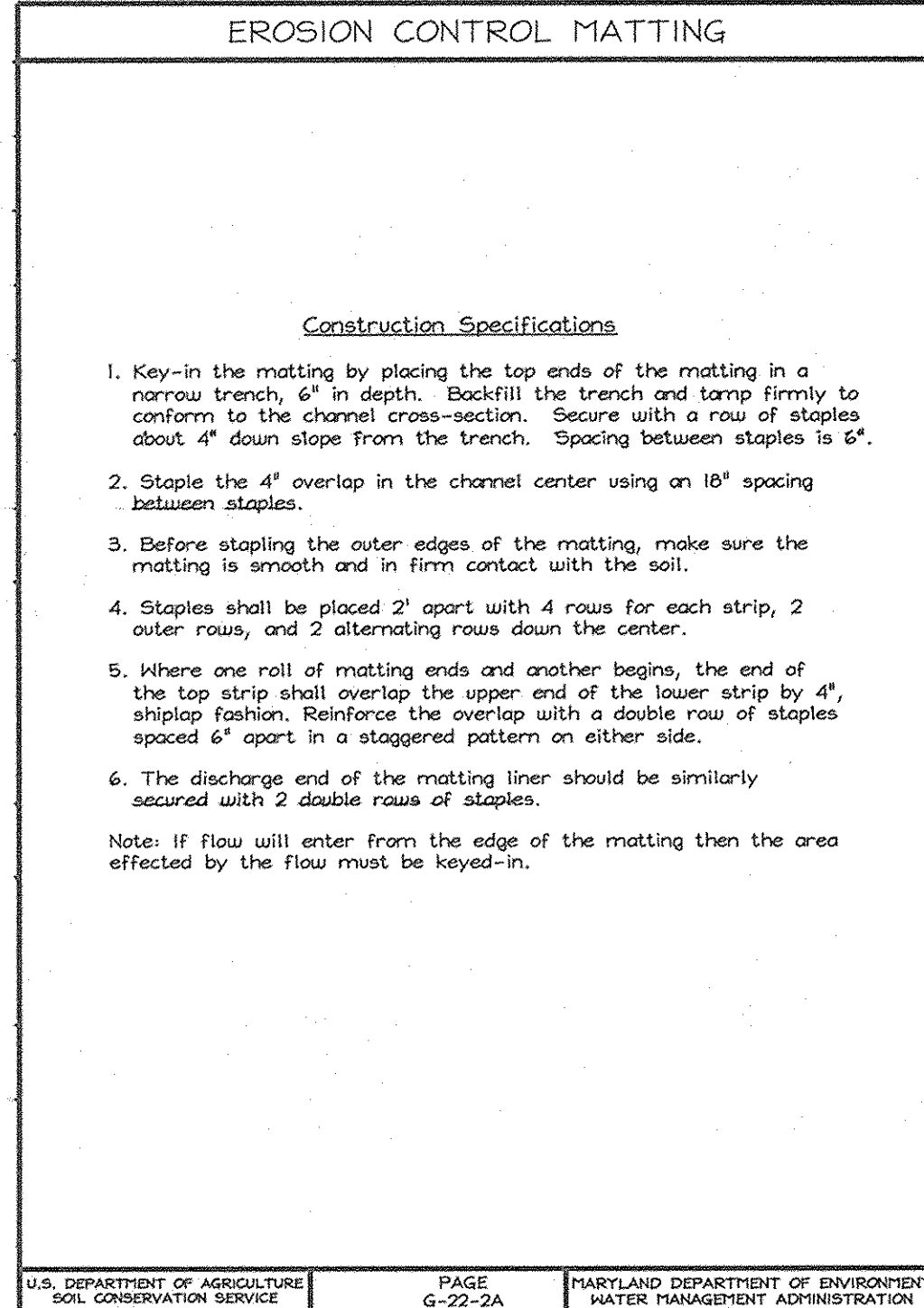
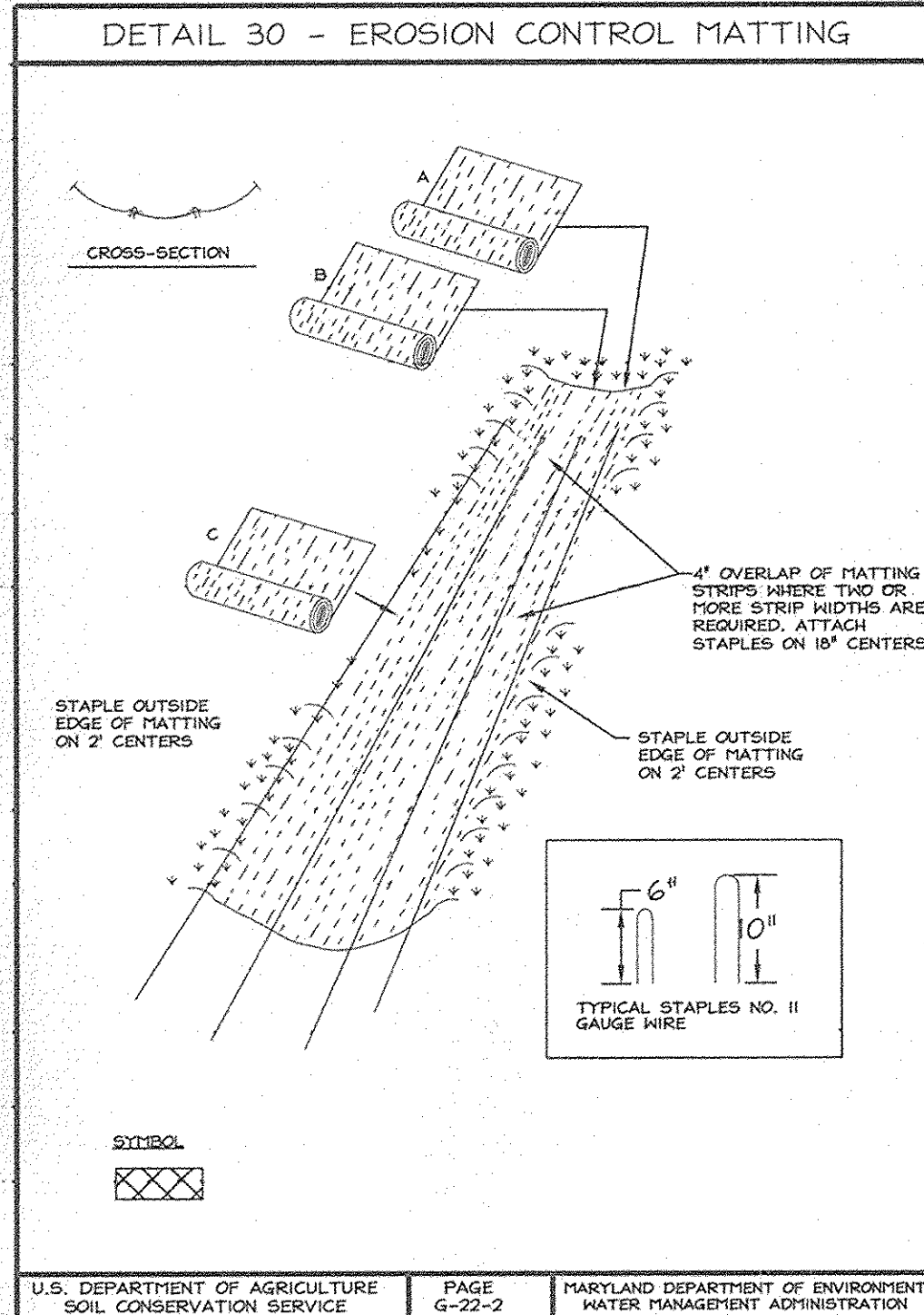
DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan of development for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environmental Approved Training Program in Control of Erosion and Sediment before beginning the project. I also authorize periodic onsite inspections by the Howard County Soil District.
Bruce D. Burton 8/28/06
Signature of Developer
Date



REVISIONS		
No.	Date	Description

LDE Inc.
Engineers, Surveyors, Planners
9250 Ramsey Road, Suite 106 Columbia, Maryland - 21043
(410)715-1070 - (301)596-2424 - FAX(410)715-9540

DESIGNED	JMB	GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - DETAILS	SCALE	1" = 50'
DRAWN	GDW	Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D	DRAWING	11 OF 16
CHECKED	BDB	A resubdivision of Lot 3 The Cecil Cole Property Tax Map 41 Grid 13 Parcel 2 5th Election District - Howard County, Maryland Previous Submittals: F-01-84, F-03-86, WP-01-07, F-01-128, BA-99-72E, SP-02-001	JOB NO.	02-017.2
DATE	8/2006	Owners: Christopher R. Cole Gail Victoria Gray 736 Rocky Road Johnson, VT 05656-9151	Developer: Fulton Ridge, LLC 6399 Ten Oaks Road Clarksville, MD 21029 443-535-0001	FILE NO. F 06-111



REVISIONS		
No.	Date	Description

APPROVED: DEPARTMENT OF PUBLIC WORKS
William R. ...
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 7-15-06

APPROVED: DEPARTMENT OF PLANNING AND ZONING
...
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 9/25/06

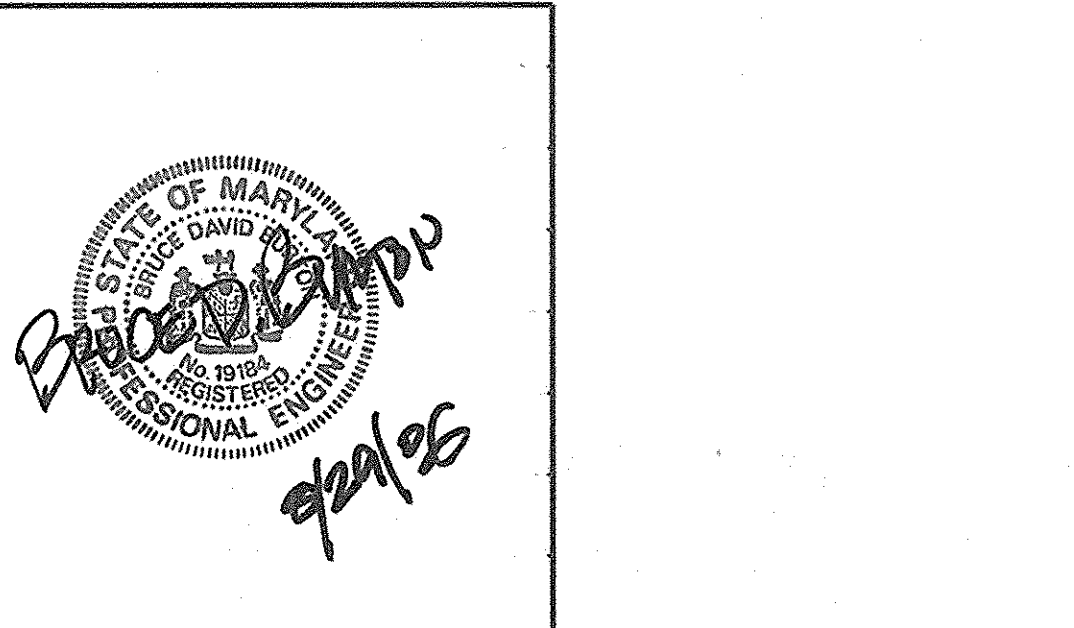
CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/26/06

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Meyer
 USDA NATURAL RESOURCES CONSERVATION SERVICE
 DATE: 9/11/06

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John R. ...
 HOWARD SCD
 DATE: 9/11/06

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Bruce D. Burton
 Signature of Engineer
 DATE: 8/24/06

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environmental Approved Training Program for the prevention of sediment and erosion before beginning the project. I also authorize periodic onsite inspections by the Howard County Soil District.
Bruce D. Burton
 Signature of Developer
 DATE: 8/24/06



LDE Inc.
 Engineers, Surveyors, Planners
 9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045
 (410)715-1070 - (301)396-3424 - FAX(410)715-9540

DESIGNED: JMB
 DRAWN: GDW
 CHECKED: BDB
 DATE: 8/20/06

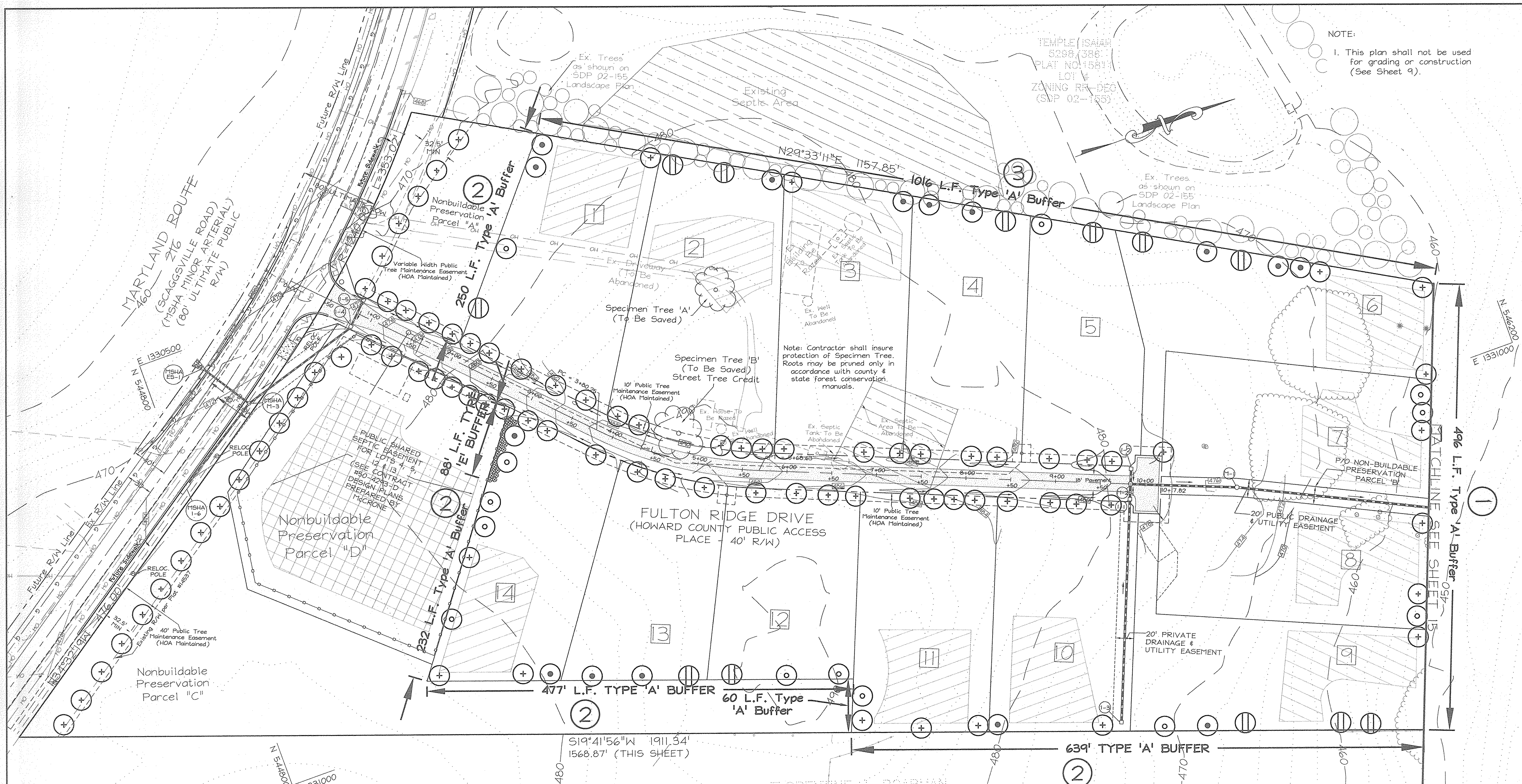
SCALE: 1" = 50'
 DRAWING: 12 OF 16
 JOB NO.: 02-017.2
 FILE NO.: F 06-111

GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - DETAILS
FULTON RIDGE
 Lots 1-14, Non-Buildable Preservation
 Parcels A, B, C & D
 A resubdivision of Lot 3 The Cecil Cole Property
 Tax Map 41 Grid 13 Parcel 2
 5th Election District - Howard County, Maryland
 Previous Submittals: F-01-54, F-03-86, WP-01-07, F-01-128, BA-99-122, SP-05-001

Owners: Christopher R. Cole
 Gall Victoria Gray
 796 Rocky Road
 Johnson, VT 05656-9151

Developer: Fulton Ridge, LLC
 6339 Ten Oaks Road
 Suite 100
 Clarksville, Md. 21029
 443-535-0001

NOTE:
1. This plan shall not be used for grading or construction (See Sheet 9).



FLORENTINE J. BOARMAN ROSETTE A. BOARMAN
5048/682
ZONING RR-DEC

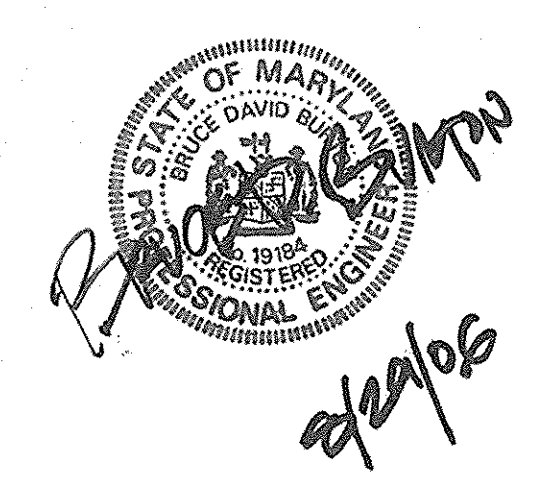
FLORENTINE J. BOARMAN ROSETTE A. BOARMAN
190/306
ZONING RR-DEC

APPROVED: DEPARTMENT OF PUBLIC WORKS

William J. Walsh
CHIEF, BUREAU OF HIGHWAYS
DATE: 9-15-06

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Robert J. ...
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 9/25/06
...
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 9/21/06

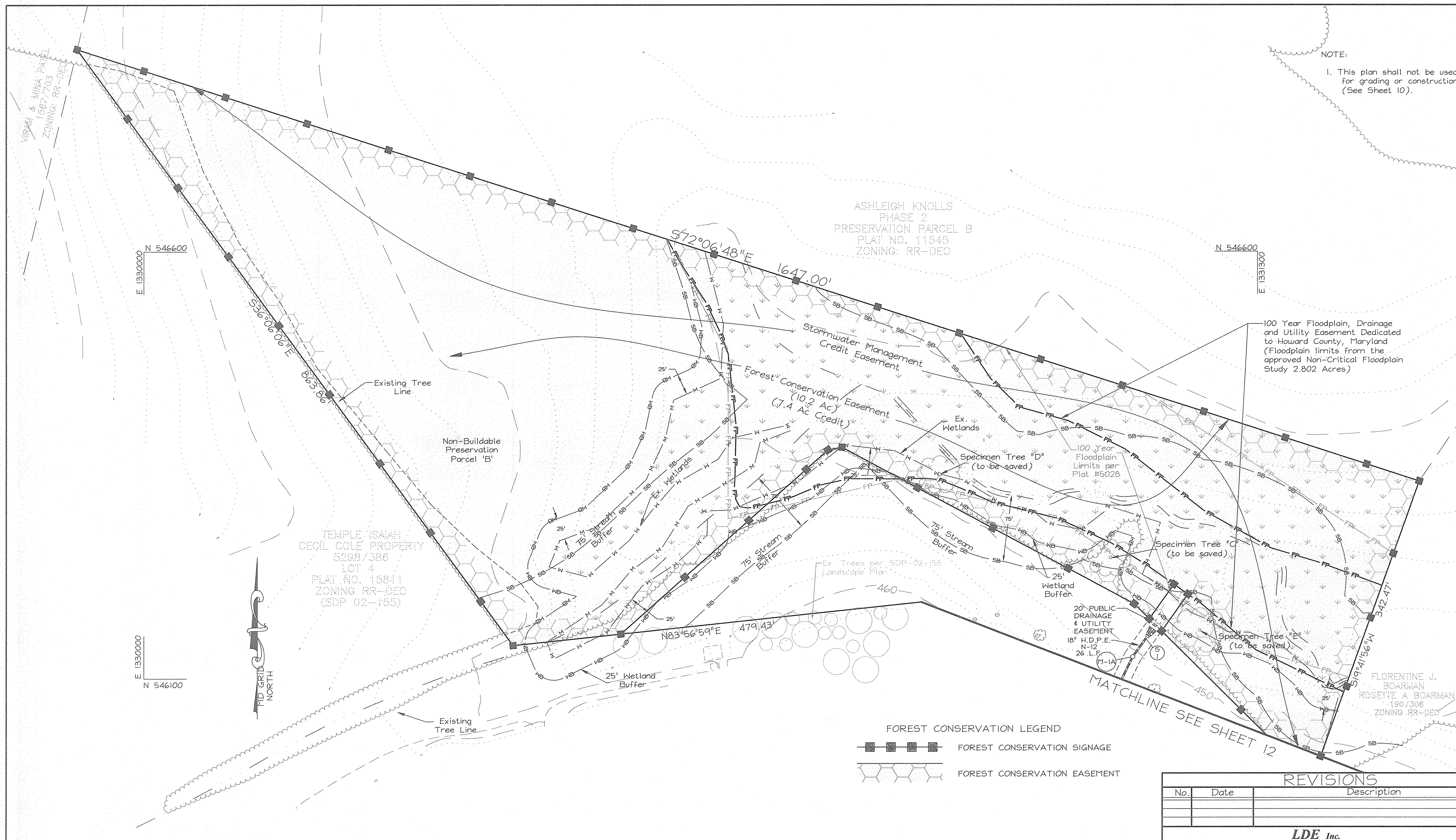


DEVELOPER'S / BUILDER'S CERTIFICATION
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.024 of the Howard County Code and the Howard County Landscape Manual. I further certify that upon completion a Letter of Landscape Installation, accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

SIGNATURE OF DEVELOPER / BUILDER _____ DATE _____

REVISIONS		
No.	Date	Description
<p>LDE inc. Engineers, Surveyors, Planners 9230 Ramsey Road, Suite 106 Columbia, Maryland - 21045 (410)715-1070 - (301)596-3434 - FAX (410)715-9540</p>		
DESIGNED	JMB	LANDSCAPE & STREET TREE PLANTING & FOREST CONSERVATION PLAN FULTON RIDGE
DRAWN	GDW	Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D
CHECKED	BDB	A resubdivision of Lot 3 The Cecil Cole Property Tax Map 41 Grid 13 Parcel 2 5th Election District - Howard County, Maryland Previous Submittals: F-01-54, F-08-86, WP-01-07, F-81-128, BA-99-72E, SP-05-201
DATE	8/20/06	Owners: Christopher R. Cole Gail Victoria Gray 796 Rocky Road Johnson, VT 05656-9151 Developer: Fulton Ridge, LLC 6339 Ten Oaks Road Suite 100 Clarksville, Md. 21029 443-535-0001
SCALE		1" = 50'
DRAWING		14 OF 16
JOB NO.		02-017.2
FILE NO.		F 06-111

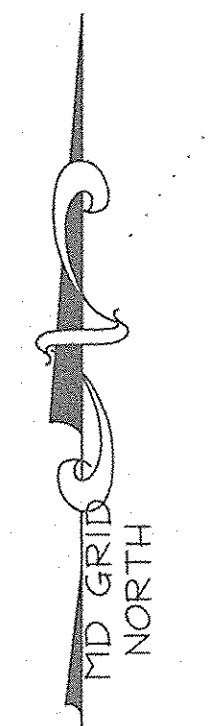
NOTE:
1. This plan shall not be used for grading or construction (See Sheet 10).



N 546600
E 1330000

N 546600
E 1331300

N 546100
E 1330000



TEMPLE ISAIAH
CECIL COLE PROPERTY
5288/386
LOT 4
PLAT NO. 15811
ZONING RR-DEO
(SDP 02-155)

ASHLEIGH KNOLLS
PHASE 2
PRESERVATION PARCEL B
PLAT NO. 11545
ZONING: RR-DEO

100 Year Floodplain, Drainage
and Utility Easement Dedicated
to Howard County, Maryland
(Floodplain limits from the
approved Non-Critical Floodplain
Study 2.802 Acres)

FOREST CONSERVATION LEGEND
 FOREST CONSERVATION SIGNAGE
 FOREST CONSERVATION EASEMENT

MATCHLINE SEE SHEET 12

FLORENTINE J.
BOARMAN
ROSETTE A BOARMAN
190/306
ZONING RR-DEO

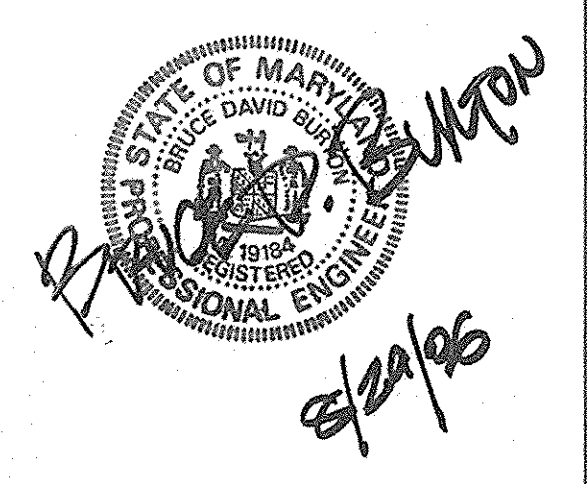
APPROVED: DEPARTMENT OF PUBLIC WORKS

William T. ... 9-15-06
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Colanina ... 9/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William ... 9/21/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



DEVELOPER'S / BUILDER'S CERTIFICATION
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I further certify that upon completion a Letter of Landscape Installation, accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

SIGNATURE OF DEVELOPER / BUILDER _____ DATE _____

REVISIONS		
No.	Date	Description

LDE Inc. Engineers, Surveyors, Planners 9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045 (410)715-1070 - (301)596-3424 - FAX(410)715-9540		
DESIGNED JMB	LANDSCAPE & STREET TREE PLANTING & FOREST CONSERVATION PLAN FULTON RIDGE Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D A resubdivision of Lot 3 The Cecil Cole Property Tax Map 41 Grid 13 Parcel 2 5th Election District - Howard County, Maryland Previous Submittals: F-01-54, F-03-66, WP-01-07, F-01-126, BA-99-72E, SP-06-501	SCALE 1" = 50'
DRAWN GDW		DRAWING 15 OF 16
CHECKED BDB		JOB NO. 02-017.2
DATE 8/2006		FILE NO. F 06-111
Owners: Christopher R. Cole Gail Victoria Gray 77% Rocky Road Johnson, VT 05656-9151		Developer: Fulton Ridge, LLC 6334 Ten Oaks Road Suite 102 Clarksville, Md. 21029 443-535-0001

F:\02-017-2\02-017-2 (16) LANDSCAPE & STREET TREE PLANTING PLAN.dwg 9/29/2006 1:25:56 PM

TREE PLANTING NOTES

- Notify "Miss Utility" 72 hours prior to installation of all plant material.
- Plant installation must conform to the minimum standards cited in the latest edition of Landscape Specification Guidelines, published by the Landscape Contractors Association.
- Plants to be located in the field by the owner or owner's representative. Notify owner 72 hours in advance of planting.
- A Certification of Landscape Installation is required as per the Howard County Landscape Ordinance.
- The number, size, location of plants shall not be changed without the approval of the Landscape Architect. Substitutions must be included in the recommended plant list in the Howard County Landscape Ordinance.
- Trees may not be planted within 5 feet of drain inlets, 5 feet of an open space access strip and 10 feet of a driveway.
- Balled and burlapped plant material shall not be accepted if ball is cracked or broken before or during planting. Protect all plants from drying by either sun or wind.
- Tree pits shall be backfilled with 50% topsoil, 25% peat 25% sand with one pound of 10-10-10 fertilizer per pit.
- Top soil shall be sandy loam soil free from noxious weeds or grasses, roots, clay clumps, stones, sticks, etc. Peat moss shall be commercial with pi 4.5 to 5.5, free of woody material or harmful minerals.
- All plants shall be watered at planting with weekly watering thereafter for the first 80 days. Watering shall continue bi-monthly or as necessary to maintain plants in a healthy condition during the guarantee period.
- Maintain the site in an orderly manner. Streets and sidewalks shall be swept clean. All rejected or dead materials shall be immediately removed from the site.
- Plant material to be alive and healthy at the time of the guarantee period (one year), as specified in the Howard County Landscape Ordinance.
- Maintenance shall begin immediately after planting and continue to the end of guarantee period.
- Maintenance consist of pruning, watering, weeding, re-mulching, resetting plants to proper grades as needed and repairing guys and stakes as needed.

FOREST CONSERVATION WORKSHEET

NET TRACT AREA:
 A. Total tract area: 30.802 Ac.
 B. Area within 100 year floodplain: 2.802 Ac.
 C. Area to remain in agricultural production: 0.0 Ac.
 D. Net tract area: 28 Ac.

LAND USE CATEGORY
 Input the number "1" under the appropriate land use zoning, and limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CJA
0	1	0	0	0	0

E. Afforestation threshold: 20% x D = 5.6 Ac.
F. Conservation threshold: 25% x D = 7.0 Ac.

EXISTING FOREST COVER:
 G. Existing forest cover (excluding floodplain): 7.4 Ac.
 H. Area of forest above afforestation threshold: 1.50 Ac.
 I. Area of forest above conservation threshold: 0.0 Ac.

BREAK EVEN POINT:
 J. Forest retention above threshold with no mitigation: 0.0 Ac.
 K. Clearing permitted without mitigation: 0.0 Ac.

Break even formula: 0.20 x area of forest above conservation threshold + the conservation threshold

PROPOSED FOREST CLEARING:
 L. Total area of forest to be cleared (cannot exceed existing): 0.0 Ac.
 M. Total area of forest to be retained: 7.4 Ac.

PLANTING REQUIREMENTS:
 N. Reforestation for clearing above conservation threshold: 0.0 Ac.
 P. Reforestation for clearing below conservation threshold: 0.0 Ac.
 Q. Credit for retention above conservation threshold: 0.0 Ac.
 R. Total reforestation required: 0.0 Ac.
 S. Total afforestation required: 0.0 Ac.
 T. Total reforestation and afforestation required: 0.0 Ac.

The owner / developer will retain 7.4 acres of forest onsite to meet the forest conservation obligation requirement of 7.1 Acres.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	N/A	P1-A P2-A P3-A P2-E
Linear Feet of Roadway Frontage/Perimeter	N/A	496 1,658 1,016 88
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	No No No No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	No No No No
Number of Plants Required	N/A	160 = 9 160 = 28 160 = 17 160 = 2
Number of Plants Provided	N/A	56
Number of Plants Substituted (Describe plant substitution credits below if needed)	N/A	22

PERIMETER SUMMARY

No.	Buffer Type	Linear Feet / Buffer Type	Required Plants	Provided Plants	Comments
1	A	496	9	9	
2	A	1,658	28	29	
2	E	88	24	24	
3	A	1,016	17	17	
Tot.		3,258	78	78	

LANDSCAPE EDGE

No.	Key	Qty	Plant Names	Size	Remarks
1	13	13	Acer rubrum 'October Glory'	2"-2 1/2" cal. B 4 B	
2	15	15	Acer rubrum 'Red Sunset'	2"-2 1/2" cal. B 4 B	
3	12	12	Liquidambar styraciflua	2"-2 1/2" cal. B 4 B	
4	16	16	Quercus rubra	2"-2 1/2" cal. B 4 B	
5	22	22	Ilex glabra inkberry	30"-36"	

STREET TREE LIST MD ROUTE 216

No.	Key	Qty	Plant Names	Size	Remarks
1	21	21	Quercus rubra	2"-2 1/2" cal. B 4 B	
1	49	49	Quercus rubra	2"-2 1/2" cal. B 4 B	

STREET TREE LIST FULTON RIDGE DR

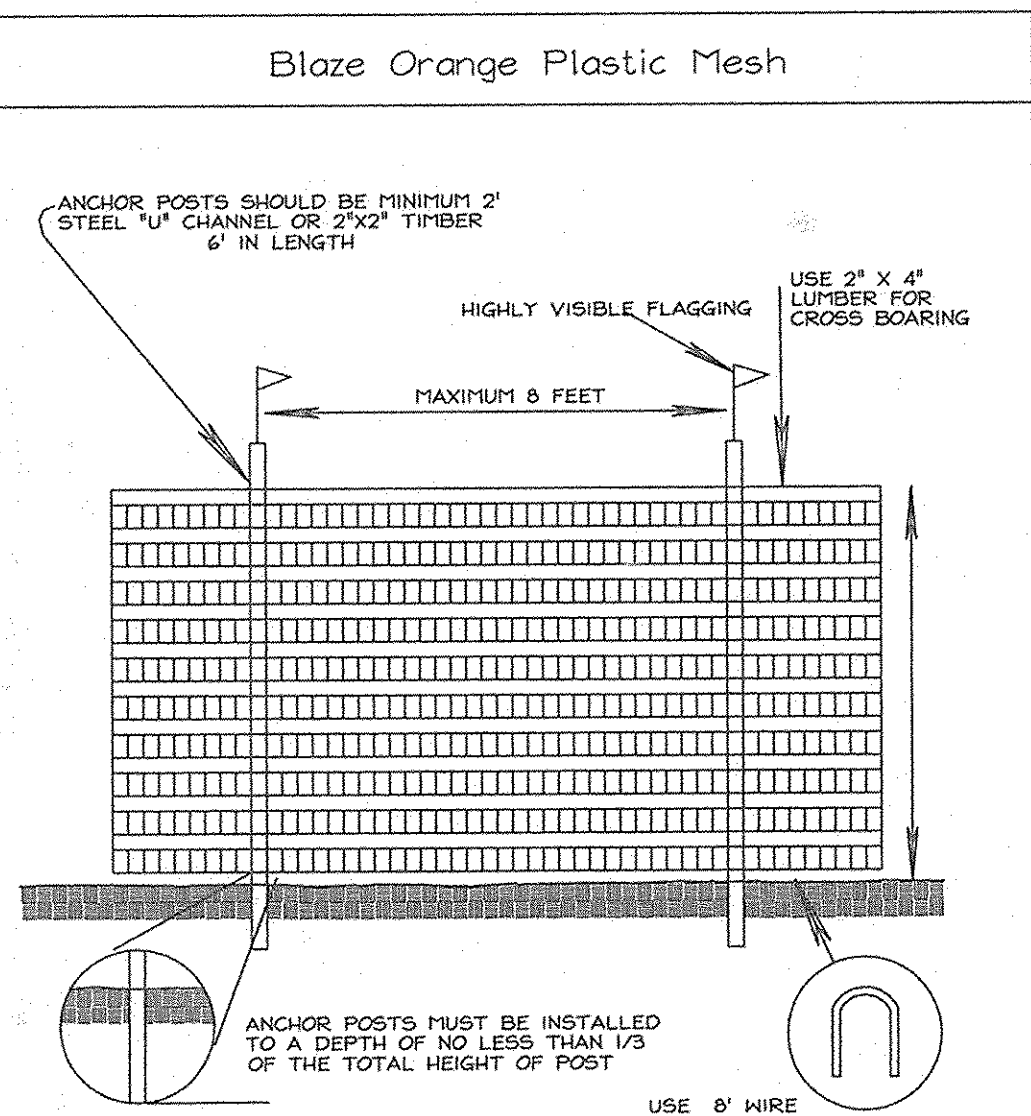
No.	Key	Qty	Plant Names	Size	Remarks
1	49	49	Quercus rubra	2"-2 1/2" cal. B 4 B	

STREET TREE CALCULATIONS FULTON RIDGE DR

Limit of Paving 0+00 to 10+16
 1016' Road
 1016/40 = 25x2
 = 50 Trees Required
 1 Credit (Existing Specimen Tree)
 = 49 Trees Required

STREET TREE CALCULATIONS MD ROUTE 216

820' Road Frontage
 820/40 = 21 Trees Required



- NOTES**
- Forest protection device only.
 - Retention Area will be set as part of the review process.
 - Boundaries of Retention Area should be staked and flagged prior to installing device.
 - Root damage should be avoided.
 - Protective signage may also be used.
 - Device should be maintained throughout construction.

APPENDIX G SOIL AND FOREST PROTECTION TECHNIQUES FOR FOREST RETENTION AREAS

SOIL PROTECTION ZONE
 The soil protection zone is that area which must be protected from construction activity and other stresses (e.g. flooding) to protect a forest retention stand from construction damage. Protecting trees from construction damage means protecting sufficient roots to provide the trees with adequate water and nutrient uptake for the existing root area and to maintain the physical stability of the tree. Trees in forest stands become interdependent on each other for physical support during high winds. Removal of adjacent trees and destruction of roots can cause windthrow long after the completion of construction.

The extent of a tree's root system can be quite large. The ratio of root expansion to crown spread can be 2:1 for large open grown specimen trees and can be significantly larger (up to 5:1) for trees growing in the interior of forest stands. The increase of root expansion in forest stands stems from adjacent trees restricting the crown spread of a tree while its roots can constantly grow through the soil medium.

The minimum requirement for root protection varies from species to species and from soil type to soil type. This soil protection zone changes with the proximity of other trees, the amount of past human influences (agriculture or construction) in the vicinity of the tree and changes in soil type or ground water. For open grown trees, protecting the soil within the drip line of the tree is adequate to save the tree in most cases. For trees that have been part of forest communities, however, the soil protection zone must reflect a more complex relationship between crown spread and root growth.

Calculating the Soil Protection Zone
 A workable set of criteria for determining the limit of the soil protection zone is needed. In general, the soil protection zone is easier to define as a relationship to tree height. The following guidelines will protect most of the trees, most of the time, from construction damage.

- Specimen trees:** The limit of the soil protection zone shall be the area within the drip line of the tree.
- Clusters of trees:** i.e., groups of trees which are open grown, but growing close enough so that the individual crowns have grown together. For trees on the exterior of the group, the limit of the soil protection zone shall be the limit of the drip line. For interior trees, the soil protection zone shall be a distance from the trunk of 40 percent of the height of the tree or the limit of the drip line, whichever is greater.
- Forest stands:** trees with a continuous canopy and an undisturbed ground plane. The limit of the soil protection zone for an individual tree shall be a distance from the trunk of 40 percent of the height of the tree or the limit of the drip line, whichever is greater.

Modifications to the Soil Protection Zone
 When disturbance of the soil protection zone is unavoidable, tree survival remains probable provided:

- Disturbance does not exceed 20 percent of the original soil protection zone area, and
- A protected area of equal size and contiguous to the remaining soil protection zone is set back so that the final soil protection zone area is not decreased, and
- The new limit of the soil protection zone is no closer to the center of any tree to be protected than 20 percent of the tree's height.

All reductions to the original soil protection zone shall be deducted from the calculations of the size of the forest retention area.

Reduction to the Soil Protection Zone for Individual Trees
 The soil protection zone for a specific tree may be reduced if it can be demonstrated that a smaller area will have no less impact on the tree's health than the size of the soil protection zone which would have resulted using the standard calculation. Requests for such reductions should include the following information:

- The extent of the rooting system with root diameters 1" or greater; as determined by a field soil survey.
- The exact species of the tree and the qualified professional's estimation of this species' ability to withstand construction damage.
- The soil texture and the existing bulk density of the soil as measured in grams per cubic centimeter.
- An estimate of soil moisture conditions before and after construction.

Upon determination that the request does not pose any significant threat to the tree, reductions of the allowable soil protection zone may be made up to the following maximum amounts:

- 10" db or less: 50 percent
- 10" - 15" db: 40 percent
- 15" - 25" db: 30 percent
- 25" db or larger: 20 percent

Requirements for the Soil Protection Zone
 Unless specifically approved by the forest conservation plan, no construction activity shall be permitted within the soil protection zone. This includes:

- Grading or fill.
- Removal of existing ground plane vegetation or organic leaf layers.
- Roads or parking.
- Walks, paths or decks.
- Foundations, walls, or building footprints.
- Underground utilities.
- Temporary stormwater or sediment control structures.
- Storage or stock piling of construction supplies and equipment, including machinery, construction trailers, fill, topsoil, trash, etc.
- Disposal of construction waste, including concrete truck wash off, paints, solvents, contaminated runoff, oils, fuels, or any other substances which are harmful to plants or animals.

The following activities are permitted within the soil protection zone:

- Removal of tree limbs which are outside of the soil protection zone and interfere with construction.
- Removal of dead or dying trees within the soil protection zone.
- Forest thinning or tree removal which is consistent with recognized forestry practices.
- Removal of trees on the edges of tree groups or forest stands whose trunks are within the soil protection zone of other trees, but which do not have sufficient soil protection zones of their own to allow them to survive. Note that trees which have a remaining soil protection zone of less than 50 percent of the limit required by these specifications must be removed.
- Removal of vines or other herbaceous plants which threaten the ecological balance of the remaining plants in the soil protection zone.

- Below ground utilities that can be placed by the use of a tunneling machine.
- Fences which do not require continuous footings or which have posts no closer than 6'-0" o.c. and which can be manually installed.
 - They are constructed of materials that can be installed using equipment with a maximum weight of 1/2 ton.
 - They are no wider than 6'-0".
 - They are placed no closer than 6' from the base of the trunk of any tree over 12" D.B.H.
 - Are constructed without filling greater than 6".
- Removal of any existing walks, walls, roads, or other structures as required. These items should be removed without the use of heavy equipment.

Construction Adjacent to Soil Protection Zone
 Prior to the start of any construction (including clearing) adjacent to the soil protection zone, a fence must be erected along the boundary round all soil protection zones. This fence shall have 8'-12" x 11" orange signs which shall read "Forest Retention Area" in 1" high lettering posted every 50'. The fence shall be one of the following:

- 3 strands of barbed wire spaced 18" apart - 4' high.
- 4" high wood and wire "snow fencing".
- 4" high chain link fence.
- 4" high welded wire fence.

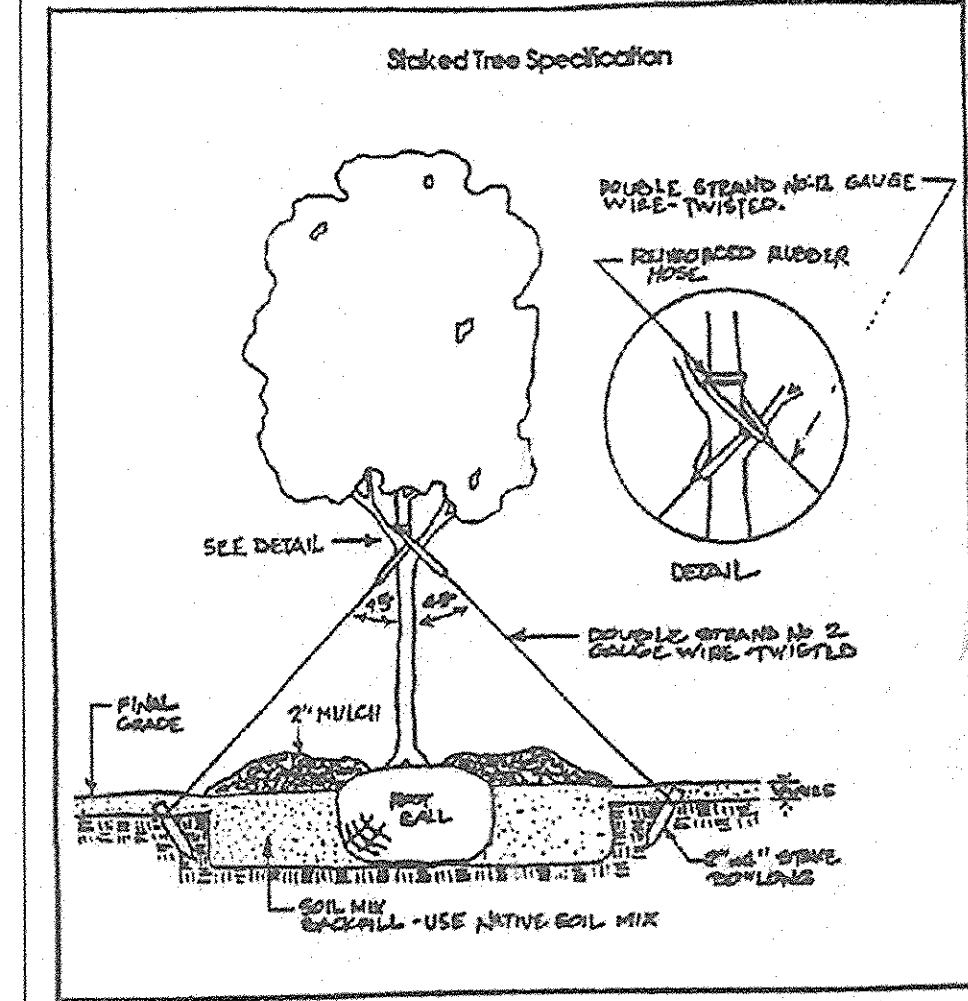
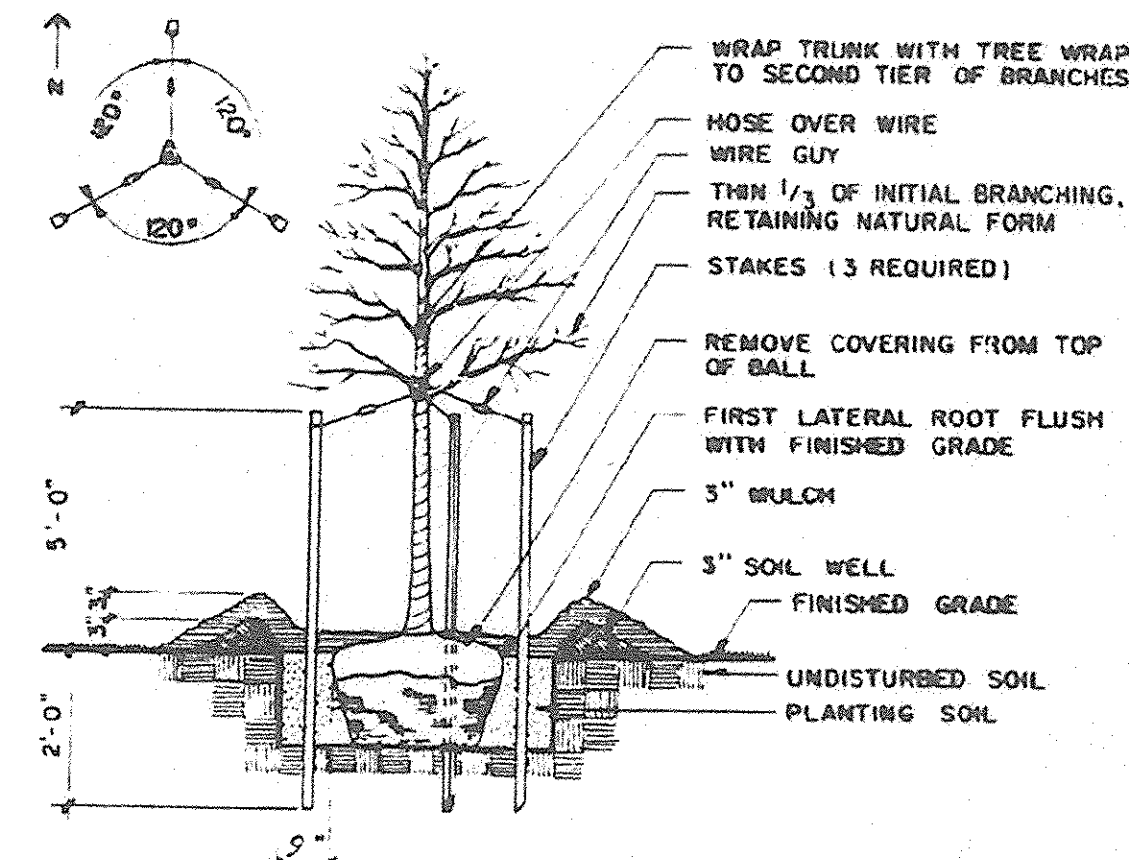
All fencing shall be attached to "U" Channel metal posts set 10' o.c. max. No fencing or wire shall be attached to any trees.

Prior to the start of any grading, all sediment control devices shall be in place to prevent any silt or sediment from entering the soil protection zone. A synthetic filter fabric silt fence of a type acceptable to the U.S.D.A. Soil Conservation Service shall be installed on the uphill side of all soil protection zones. This fence shall be cleaned and maintained on a regular basis through the construction period. All drainage ditches, inlets, or swales required to maintain existing surface and subsurface ground-water conditions within the soil protection zone must also be installed and operational prior to grading.

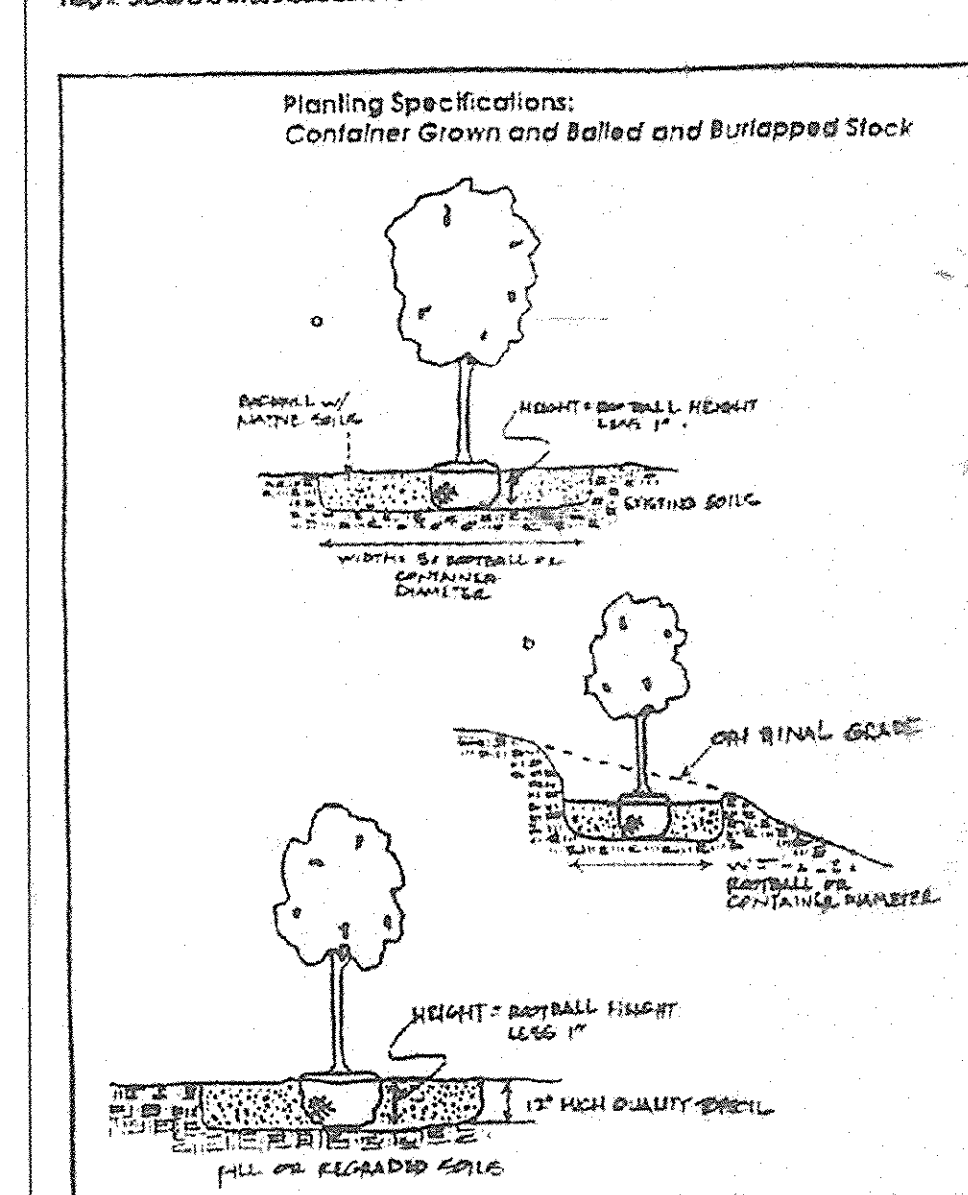
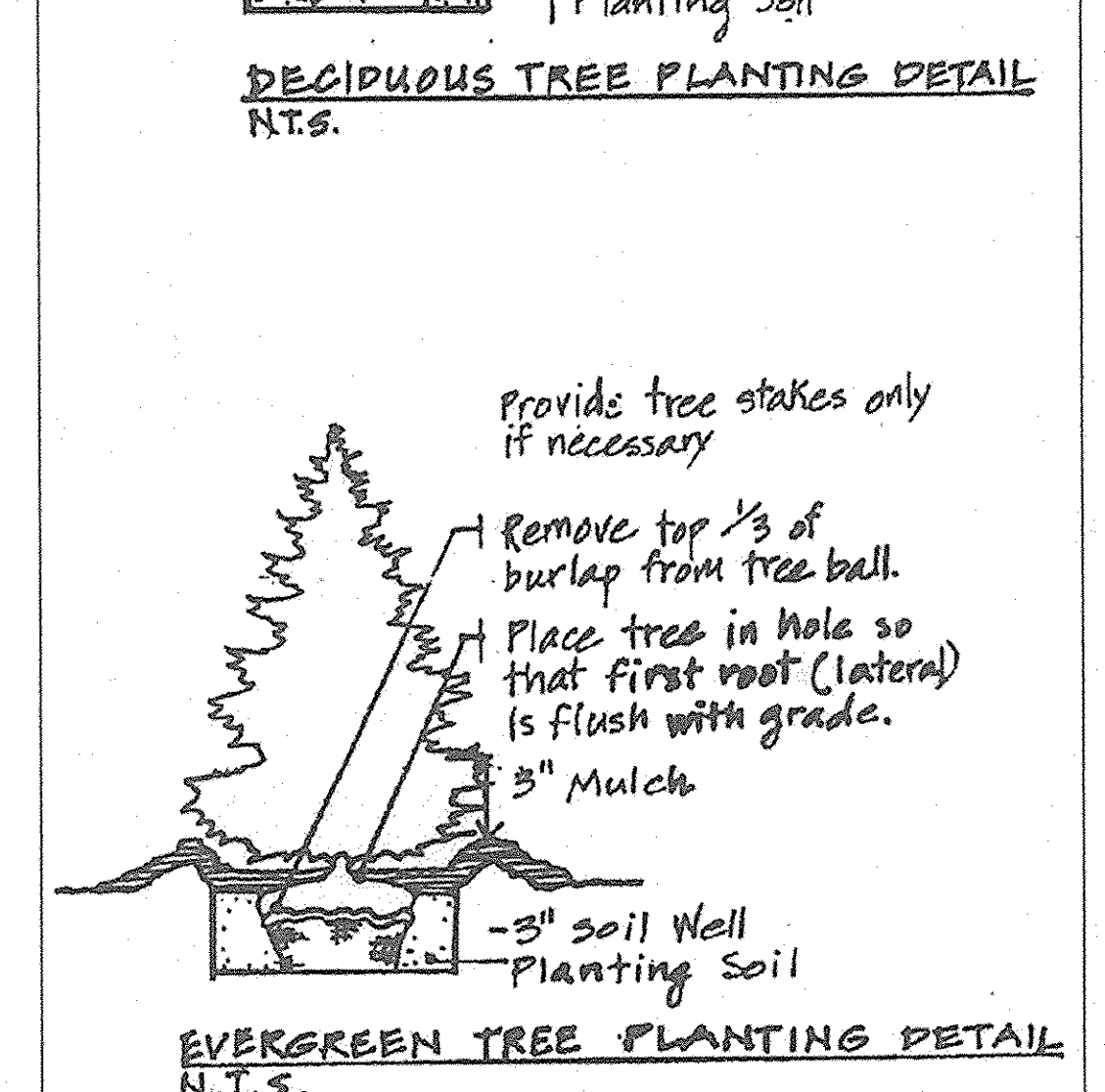
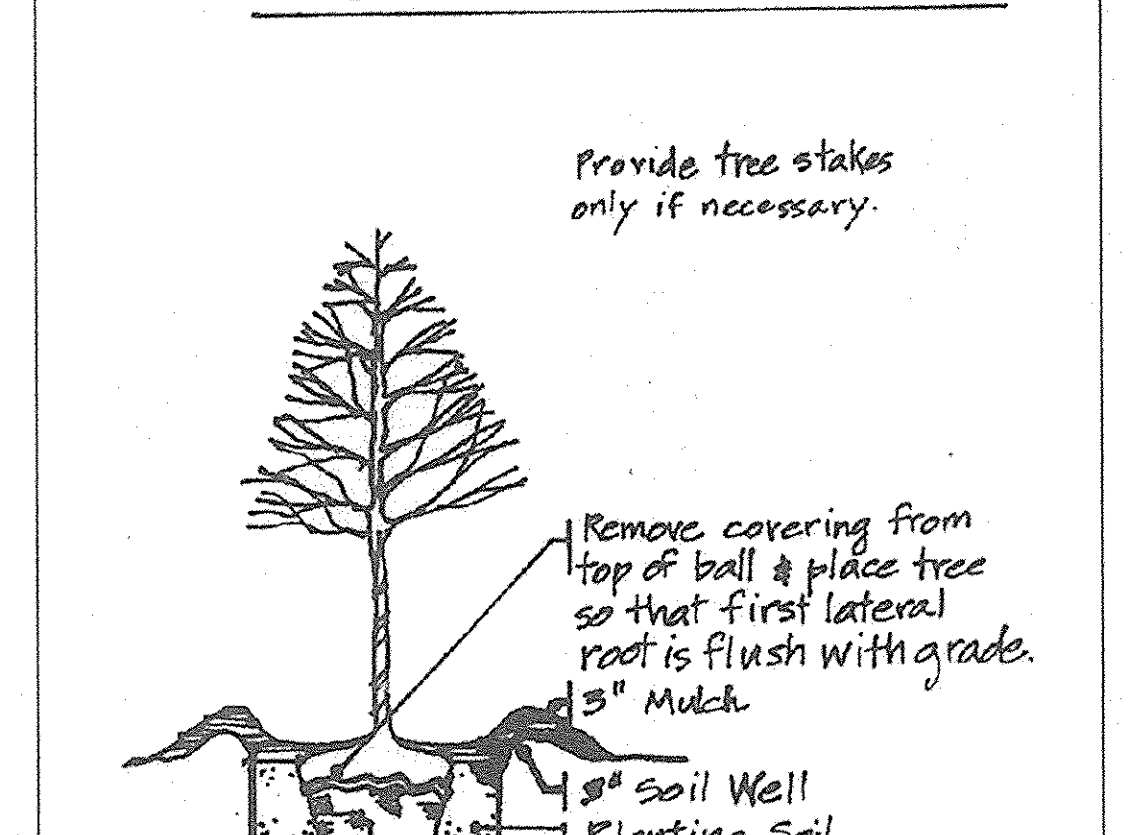
Management of the Soil Protection Zone
 Forest retention stands, smaller tree stands, and individual trees that the Forest Conservation Plan specifies must be protected and require careful management during and after construction.

Specimen trees and groups of trees are nearly always growing on soils previously influenced by human activity. If the soils under these trees are already compacted, they

Figure 6-1. Planting Detail - Deciduous Tree

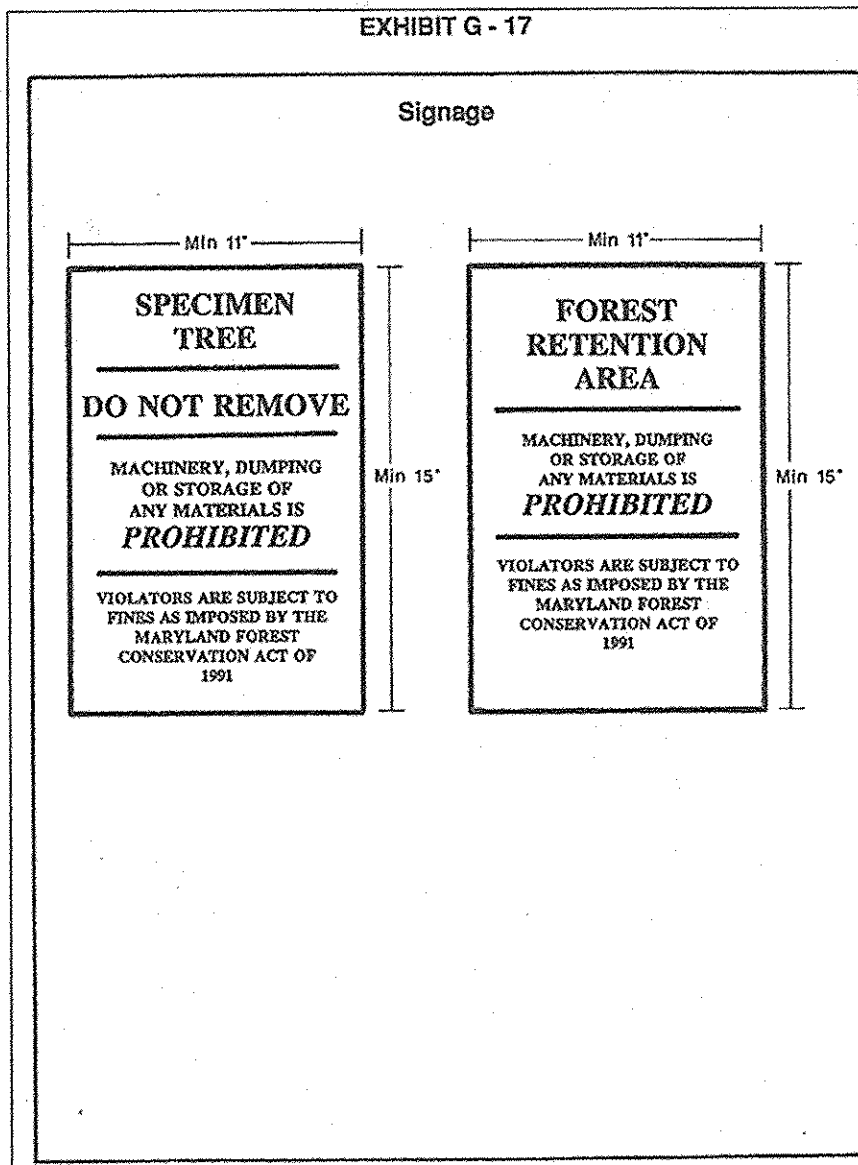


TREE PLANTING DETAILS



GENERAL NOTES

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Landscape Manual.
- The Owner/Developer is responsible for the planting of all plants material required to meet the standards established by the Howard County Landscape Manual.
- Financial Surety for the required landscaping has been posted as part of the Department of Public Works Developer's Agreement in the amount of \$38,460.00
- Financial Surety for the required Forest Conservation Retention has been posted as part of the Department of Public Works Developer's Agreement in the amount of \$61,855 (7.1 Ac x 0.20/sf)
- Specimen trees to be saved, contractor shall take extreme care and caution when grading near dripline and only after consultation with certified arborist. If specimen trees cannot be saved one additional street tree shall be required.



Designation	Size	Condition	Prop. Status
A	48"	Sour Gum	Fair Retained
B	34"	Double Trunk Silver Maple	Good Retained*
C	38"	Tulip Poplar	Good Retained
D	43"	Tulip Poplar	Poor Retained
E	37"	Tulip Poplar	Good Retained

* Retention To Be Evaluated For Root Planting By Certified Arborist.

DEVELOPER'S / BUILDER'S CERTIFICATION
 I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I further certify that upon completion a Letter of Landscape Installation, accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

SIGNATURE OF DEVELOPER / BUILDER _____ DATE _____

REVISIONS

No.	Date	Description

LDE Inc.
 Engineers, Surveyors, Planners
 9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045
 (410)715-1076 - (301)596-3424 - FAX(410)715-9540

DESIGNED JMB	LANDSCAPE & STREET TREE PLANTING & FOREST CONSERVATION PLAN NOTES & DETAILS FULTON RIDGE Lots 1-14, Non-Buildable Preservation Parcels A, B, C & D A resubdivision of Lot 3 The Cecil Cole Property Tax Map 41 Grid 13 Parcel 2 5th Election District - Howard County, Maryland Previous Submittals: F-01-54, F-03-86, NP-01-07, F-81-128, BA-89-72E, SP-25-201	SCALE 1" = 50'
DRAWN GDW		DRAWING JOB OF 16
CHECKED BDB		FILE NO. 02-017.2
DATE 8/2006		FILE NO. F 06-111
OWNER: Christopher R. Cole Gall Victoria Gray 796 Rocky Road Johnson, VT 05656-9151		DEVELOPER: Fulton Ridge, LLC 6394 Ten Oaks Road Suite 100 Clarksville, Md. 21023 443-535-0001