

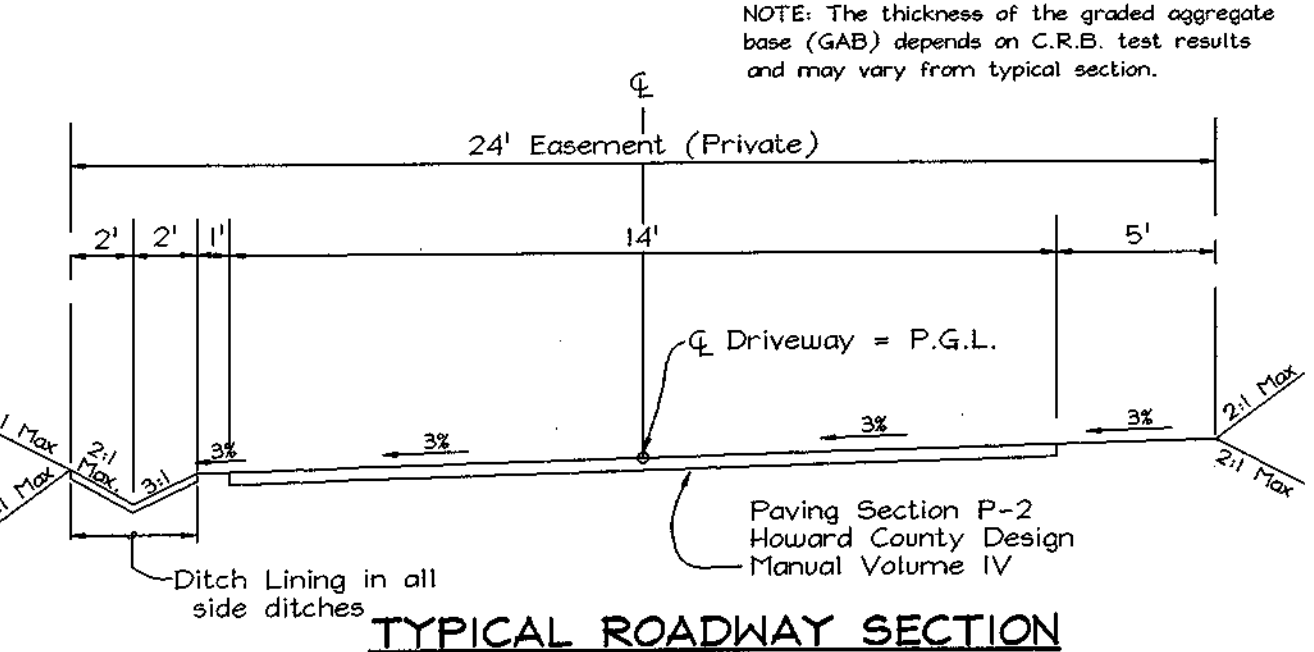
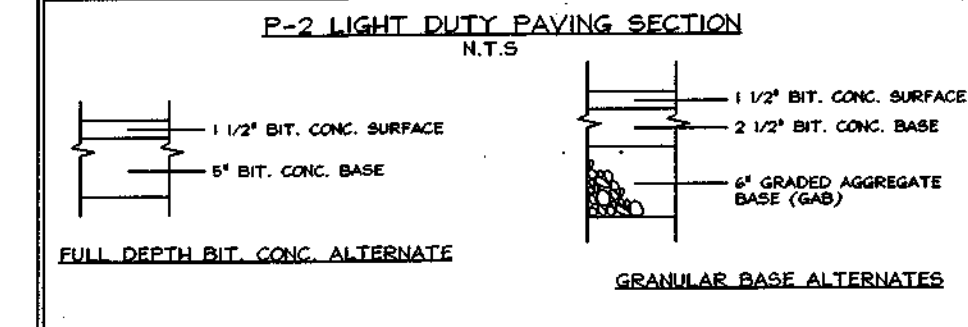
KEY	QUAN.	BOTANICAL/COMMON NAME	SIZE	CAT
○	8	Quercus Phellos / Willow Oak	2 1/2" - 3" Cal.	B & B

- NOTES:
- All Street Trees to be Quercus Phellos (Willow Oak) or equivalent as approved by the Howard County Landscape Manual Appendix 'C'.
 - See sheet two (2) for perimeter landscape schedule.
 - See sheet two (2) for typical tree planting and staking detail.
 - ARBOR View Way is a Private Access Place.

Street Name	Stations	Offset	Fixture Type	Pole Type
ARBOR View Way	± Sta. 0+40	11'R	100-Watt HPS Vapor Pendant Mount; Post Top: Colonial	14" Bronze Fiberglass Ornamental

ROAD CLASSIFICATION		
ROAD NAME	CLASSIFICATION	R/W
ARBOR View Way	Private Access Place	24'

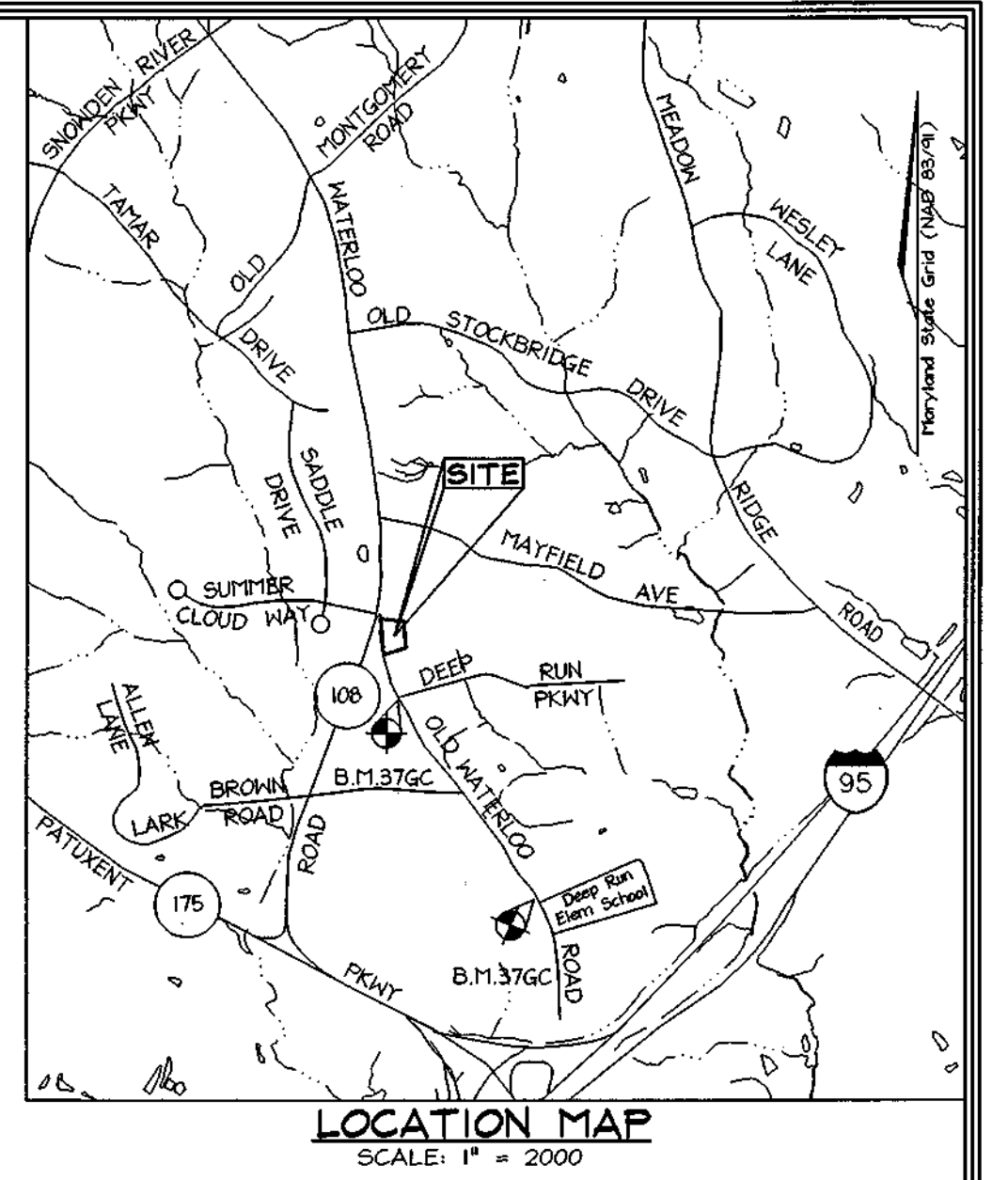
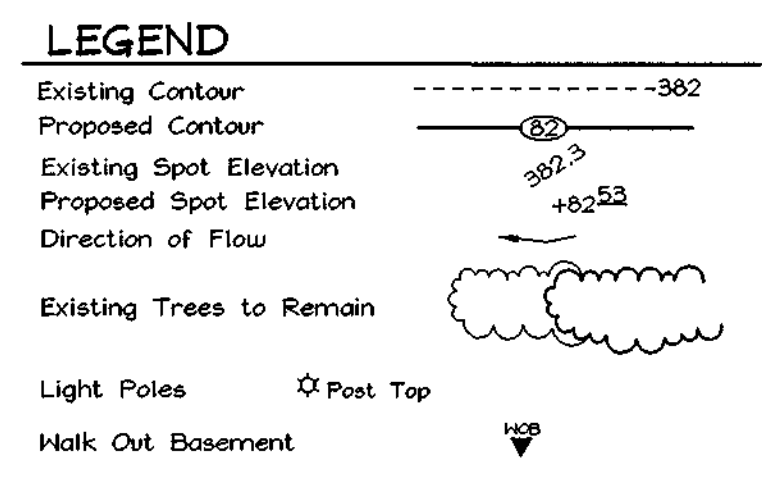
- BENCHMARKS**
- The coordinates shown herein are based on the following Howard County Geodetic Controls which are based on the Maryland State Plane Coordinate system.
- | | | | | |
|---------|------|----------------|-----------------|-------------------------|
| Control | 37GC | N 169,240.7797 | E 417,865.2828 | Elev. 101.1425 (meters) |
| | | N 555,250.791 | E 1,370,946.348 | Elev. 331.832 (feet) |
| Control | 37GD | N 168,627.0373 | E 418,294.2157 | Elev. 88.6734 (meters) |
| | | N 553,237.204 | E 1,372,353.605 | Elev. 290.923 (feet) |



Classification: Private Access Place
 MODIFIED HOWARD COUNTY STANDARD FIGURE 2.09b
 DESIGN SPEED 25 MPH
 NOT TO SCALE

GENERAL NOTES Continued

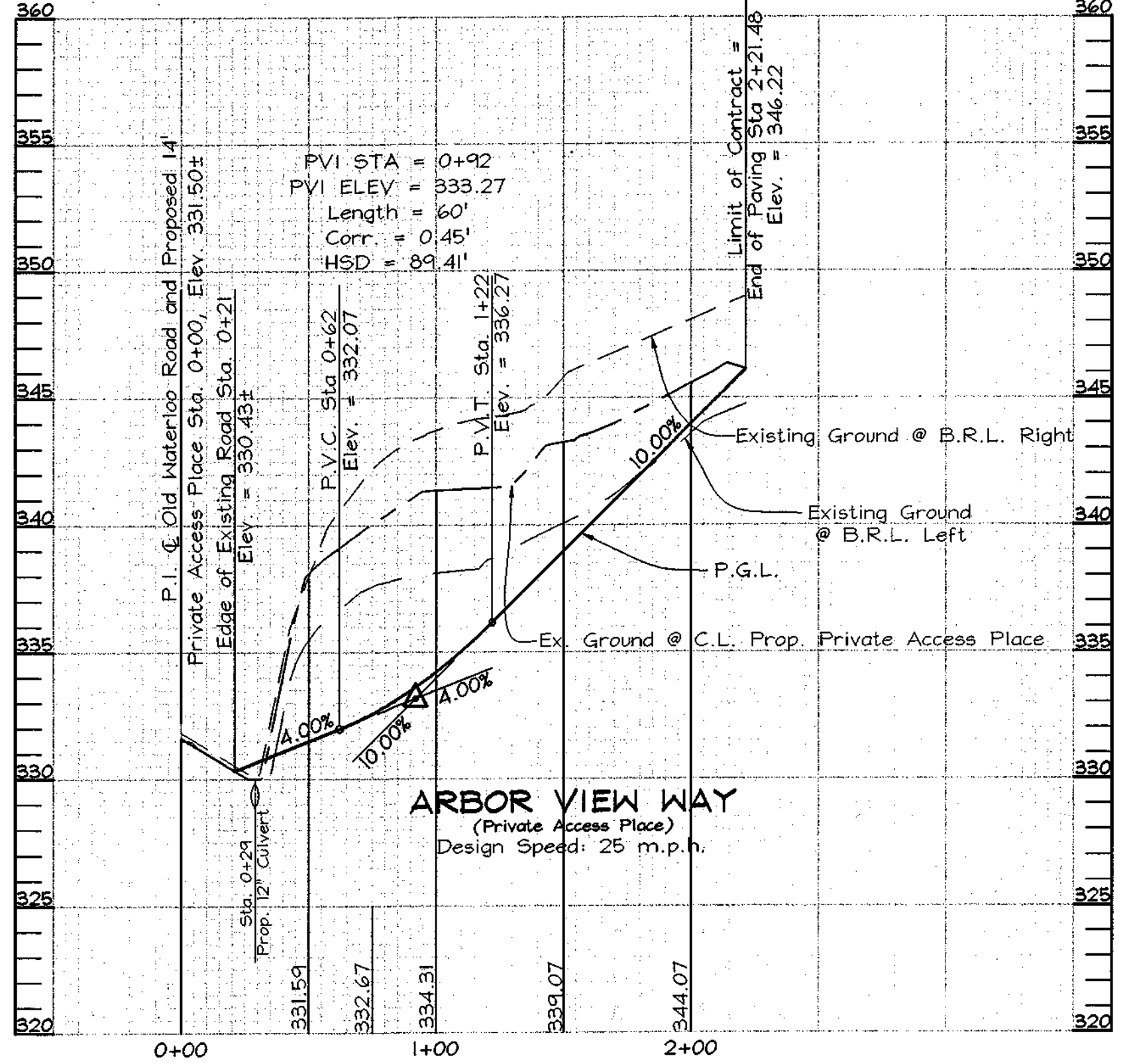
- Driveway(s) shall be provided prior to issuance of a use and occupancy permit to ensure safe access for fire and emergency vehicles per the following requirements:
 - Width - 12 feet (14 feet serving more than one residence);
 - Surface - six (6") inches of compacted crusher run base with tar and chip coating (1 1/2" Minimum);
 - Geometry - Maximum 15% grade, Maximum 10% grade change and 45-foot turning radius;
 - Structures (culverts/bridges) - capable of supporting 25 gross tons (H25-loading);
 - Drainage elements - capable of safely passing 100 year flood with no more than 1 foot depth over surface;
 - Structure clearances - minimum 12 Feet;
 - Maintenances - sufficient to ensure all weather use
- Existing duelling to be Razed.
- Forest conservation obligations for this site are met by retention of 0.357Ac. of forest within open space Lot 8 and a Fee-in-lieu of reforestation of 0.120 Ac. in the amount of \$2,613.60.



SHEET INDEX	
DESCRIPTION	SHEET No.
Road Plan and Profile	1 of 5
Grading, Landscape, Sediment and Erosion Control Plan, Notes and Details	2 of 5
Storm Water Management Plan and Profile	3 of 5
Storm Drain Plan, Profiles and Drainage Area Map	4 of 5
Forest Conservation Plan	5 of 5

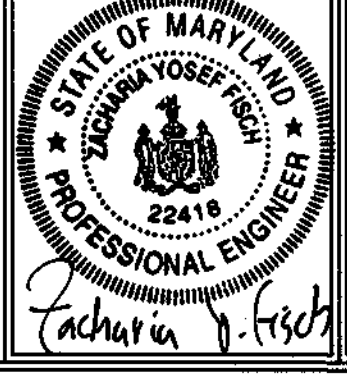
GENERAL NOTES

- This plan is subject to compliance with the Fourth Edition of the Howard County subdivision regulations.
- Subject property zoned "R-SC" per 10/18/93 Comprehensive Zoning Plan.
- Public water and sewer to be utilized.
- Soils map no. 25.
- Gross area of site: 1.924 ac. ±
- Area of proposed public R/W: 0 ac.
- Number of proposed buildable lots: 7
Area of proposed buildable lots: 1.445 ac. ±
- Open space requirements:
 - Minimum open space required (20%): 1.924 ac. x 20% = 0.385 ac. ±
 - Open space provided: 0.459 ac. ±
- Density calculations:
 - Number of units allowed: 1.924 ac. x 4 = 7 units
 - Number of units proposed: 7 units
- Preliminary equivalent Sketch plan approved under SP 01-07.
- Topography is based on a field run survey prepared by C.B. Miller and Associates in November 2000.
- A.P.F.O. traffic study prepared by Street Traffic Studies L.T.D. and approved under Sketch/Preliminary SP 01-07 on 6/29/01.
- There are no wetlands on site as certified by Exploration Research Inc., also there are no flood plains, historic structures or cemeteries on-site.
- The project is within the metropolitan district.
- Forest Stand Delineation and Forest Conservation was prepared by Exploration Research, Inc. and approved under SP 01-07 on 6-29-01.
- SWMT Water Quality (WQ) is provided within a "Dry Swale" system which will be privately owned with maintenance by H.O.A. Individual rooftops of lots 3, 6 & 7 are treated for water quality with rooftop disconnects, in combination with dry wells on lots 6 and 7.
- The geotechnical report for this project was prepared by Herbst, Benson and Associates dated Dec. 12, 2000 and approved under Preliminary equivalent Sketch SP 01-07.
- Financial Surety for the required landscaping shall be posted as part of the Developer's Agreement in the amount of \$8,550.00 for 25 shade trees (17 Perimeter landscaping and 8 Street trees) and 7 evergreen trees.
- The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1800 at least five (5) working days prior to the start of work.
- The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signs shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- The lots shown hereon comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
- For flag or pipestem lots, refuse collection, snow removal and road are provided to the junction of the flag or pipestem and road right-of-way line and not to the pipestem lot driveway.
- All driveway culverts will be 12" circular or equivalent area. Contractor shall determine type of material (HDP, CMP or Conc.).
- Project is subject to a waiver from section 2.3.3.B.2 in Design Manual Volume III to allow a 10% grade within 200' prior to T-turnaround and from table 2.02 and Figure 2.02 to reduce the length of the vertical curve to 60'. Both waivers were approved in a comments/approval letter dated 3-29-01.



ROAD PROFILE
 SCALE: HORIZONTAL: 1"=50'
 VERTICAL: 1"=5'

OWNER/DEVELOPER
 CORNERSTONE HOLDINGS LLC
 9691 NORFOLK AVENUE
 LAUREL, MD 20723



FSH Associates
 Engineers Planners Surveyors
 8318 Forrest Street, Elkton City, MD 21043
 Tel: 410-750-2251 Fax: 410-750-7350
 E-mail: FSHAssociates@cs.com

DESIGN BY: MLT
 DRAWN BY: MLT
 CHECKED BY: ZYF
 SCALE: As Shown
 DATE: Oct. 23, 2002
 H.O. No.: 3021
 SHEET No.: 1 OF 5

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Cindy Hamrick 11/2/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 [Signature] 12/3/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

SEQUENCE OF CONSTRUCTION

- 1. Obtain grading permit.
2. Install sediment control as shown on plan in accordance with details and install line protection fence (see detail) along all wooded areas...

PERMANENT SEEDING NOTES

- APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE...
1) Preferred-Apply 2 tons per acre dolomitic limestone...

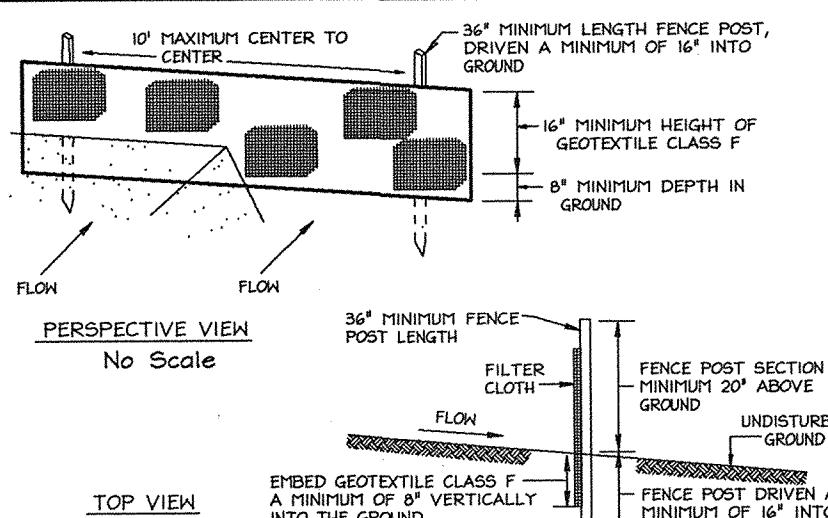
TEMPORARY SEEDING NOTES

- SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding...
1) Preferred-Apply 2 tons per acre dolomitic limestone...

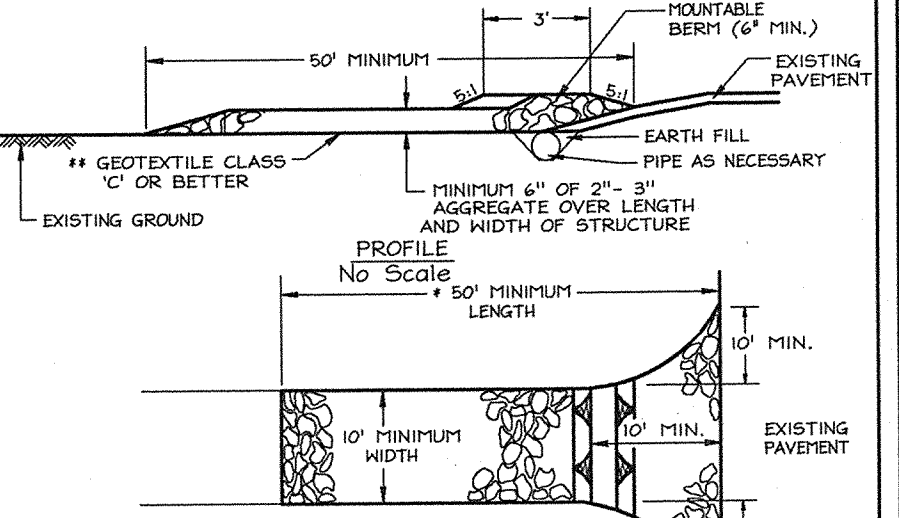
SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permit...
2. All vegetation and structural practices are to be installed according to the provisions of this plan...

DETAIL 22 - SILT FENCE



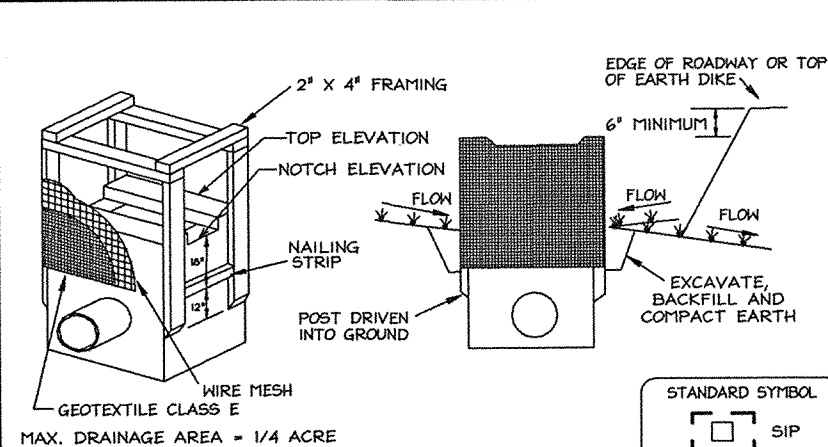
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



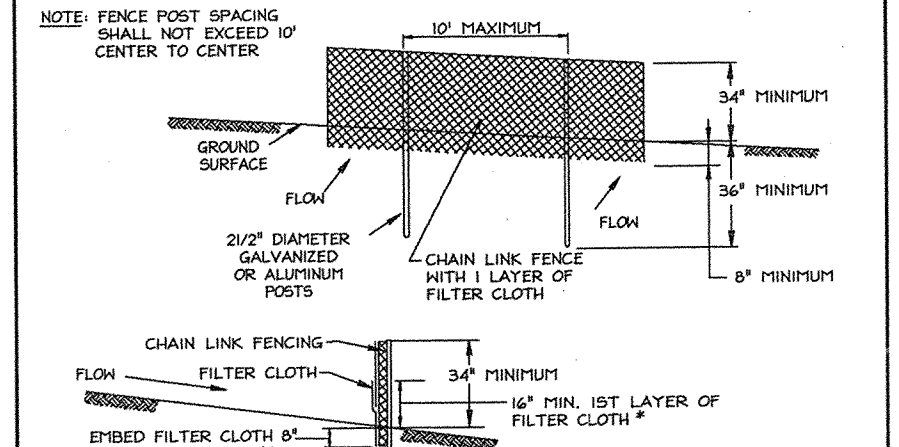
1. Length - minimum of 50' (+30' for a single residence lot).
2. Height - 10' minimum, should be staked at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stones...

1. Length - minimum of 50' (+30' for a single residence lot).
2. Height - 10' minimum, should be staked at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stones...

DETAIL 23A - STANDARD INLET PROTECTION



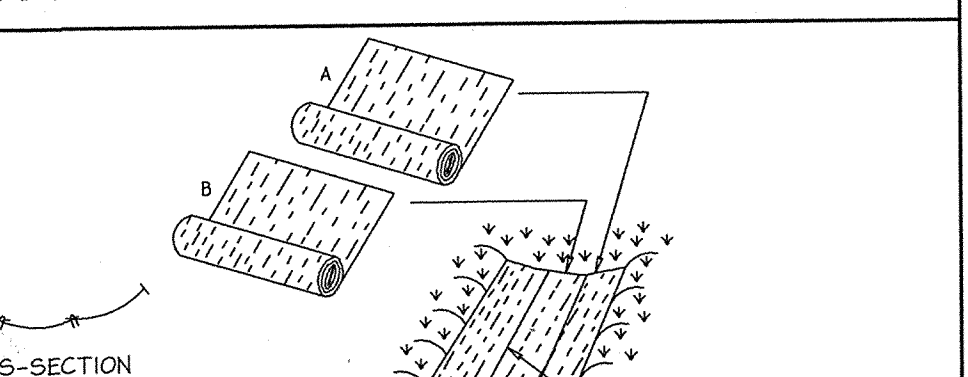
DETAIL 33 - SUPER SILT FENCE



1. Excavate completely around the inlet to a depth of 18" below the notch elevation.
2. Drive the 2" x 4" construction grade lumber posts 1" into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet...

1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Designation Line Fence. The specification for a 4" fence shall be used, substituting 42" fabric and 4" length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.

DETAIL 30 - EROSION CONTROL MATTING



1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
2. Staple the 4" overlap in the channel center using an 18" spacing between staples.

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Topsoil is that layer of soil which is the most fertile and productive. It is the layer of soil which is the most fertile and productive. It is the layer of soil which is the most fertile and productive.

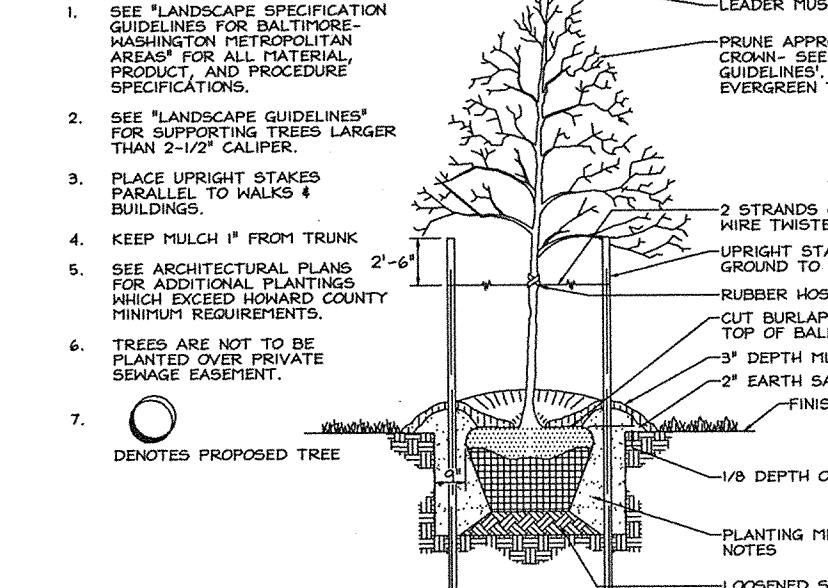
PERIMETER LANDSCAPE SCHEDULE

Table with columns: KEY, QUAN., BOTANICAL/COMMON NAME, SIZE, CAT. Includes items like Pinus strobus, Eastern white pine.

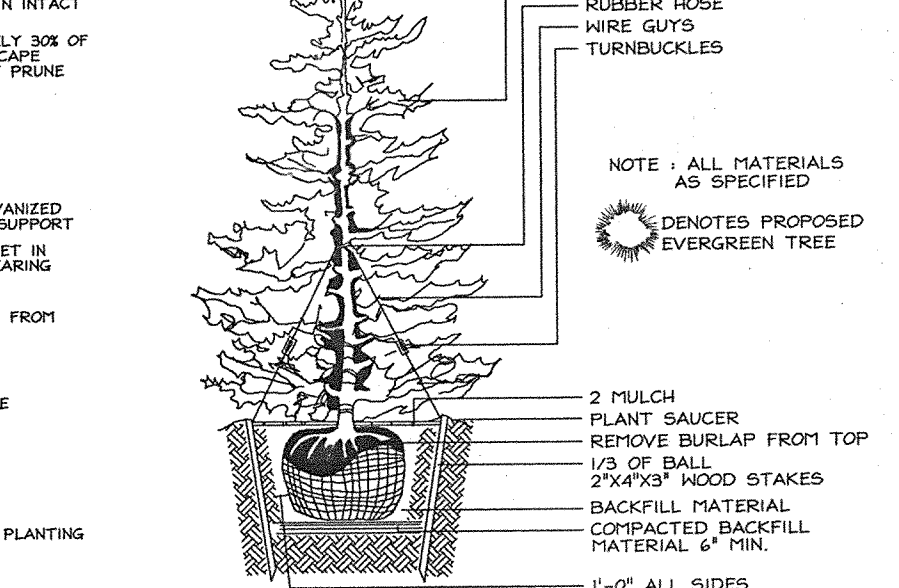
PERIMETER LANDSCAPE EDGE

Table with columns: CATEGORY, ADJACENT TO ROADWAYS, ADJACENT TO PERIMETER PROPERTIES. Includes items like Perimeter/Frontage Designation, Linear Feet of Roadway.

TREE PLANTING AND STAKING



TYPICAL EVERGREEN TREE PLANTING DETAIL



OWNER/DEVELOPER CORNERSTONE HOLDINGS LLC

CORNERSTONE HOLDINGS LLC
9691 NORFOLK AVENUE
LAUREL, MD 20723

GRADING, LANDSCAPE AND SEDIMENT CONTROL PLAN, NOTES AND DETAILS

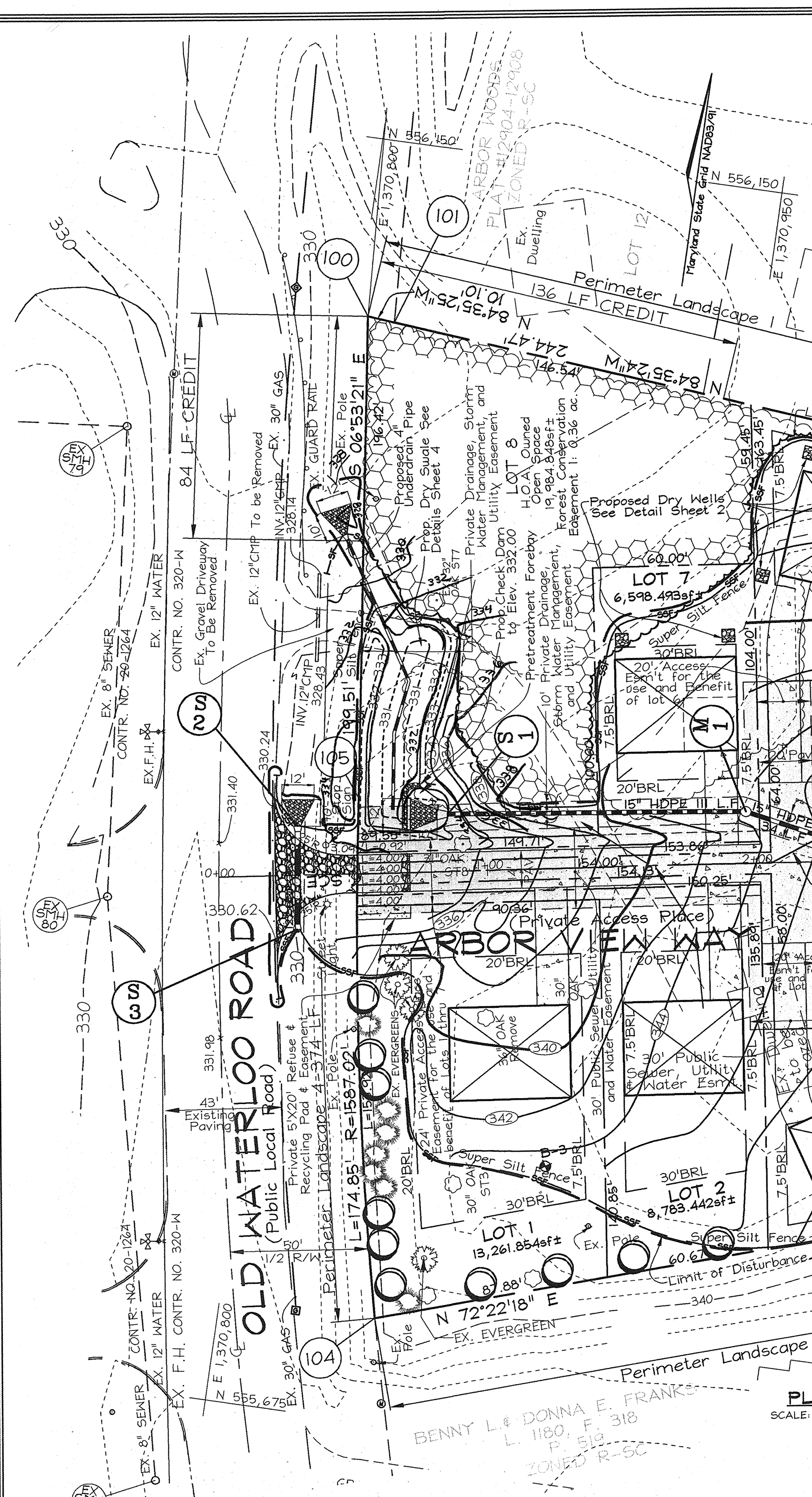
ARBOR OVERLOOK

LOTS 1 THRU 7 & OPEN SPACE LOT 8
TAX MAP 37 GRID 20 PARCEL 148
1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FSH Associates

Engineers Planners Surveyors
8318 Forrest Street Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: FSHAssociates@cs.com

DESIGN BY: MLT
DRAWN BY: MLT
CHECKED BY: ZYF
SCALE: See Plan
DATE: Oct. 23, 2002
SHEET NO. 2 OF 5



DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.12.4 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL...

DEVELOPER'S CERTIFICATE

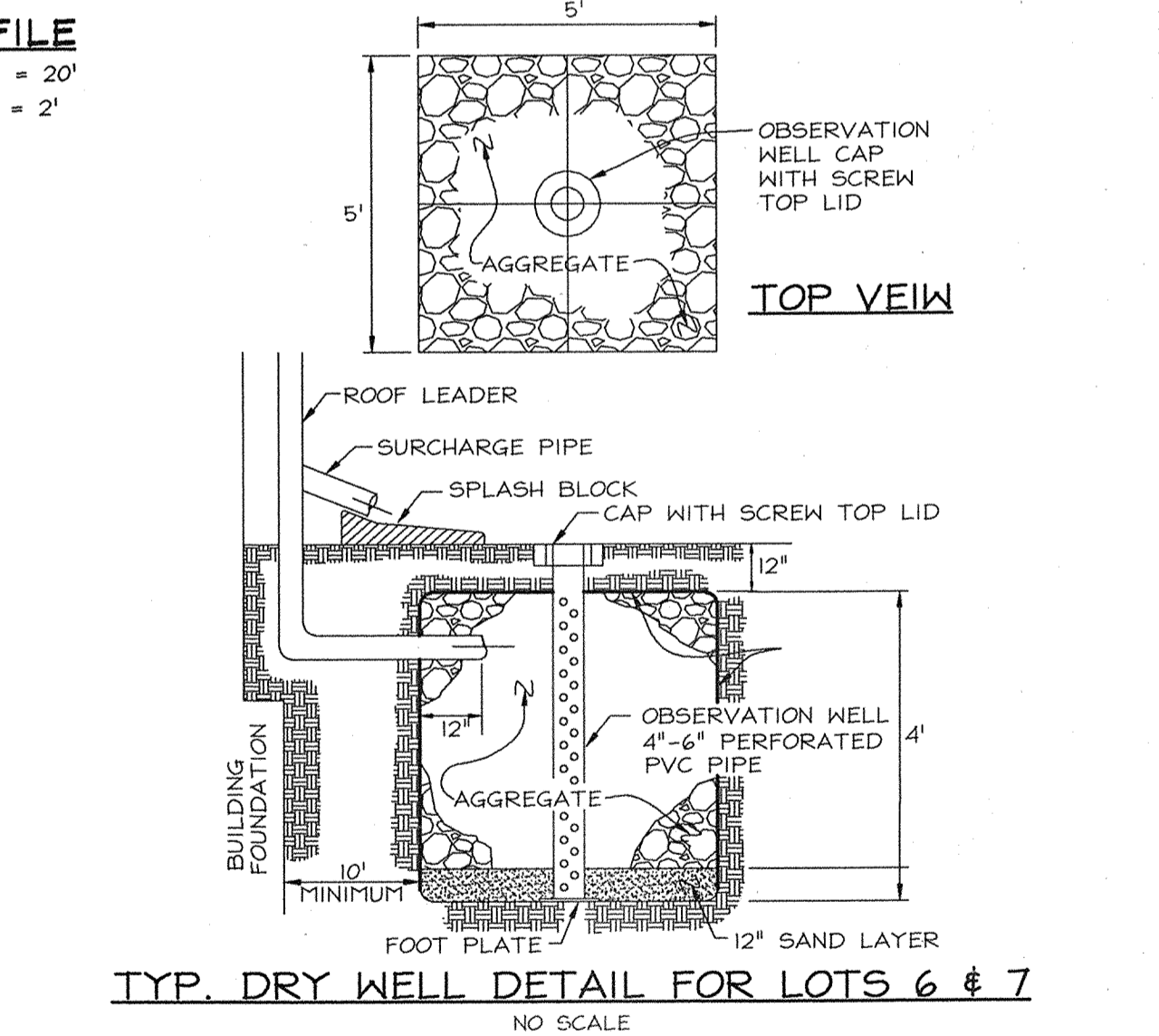
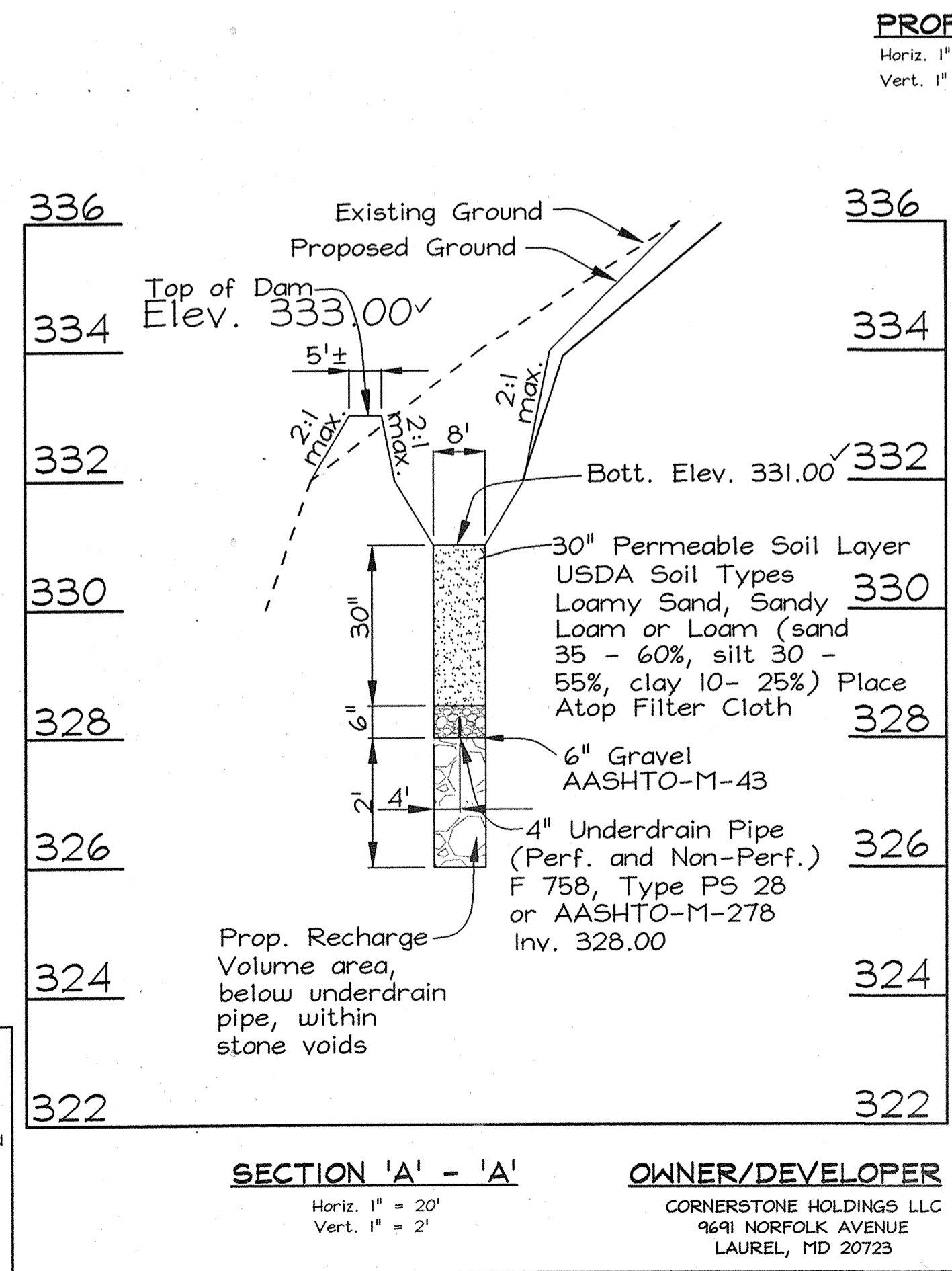
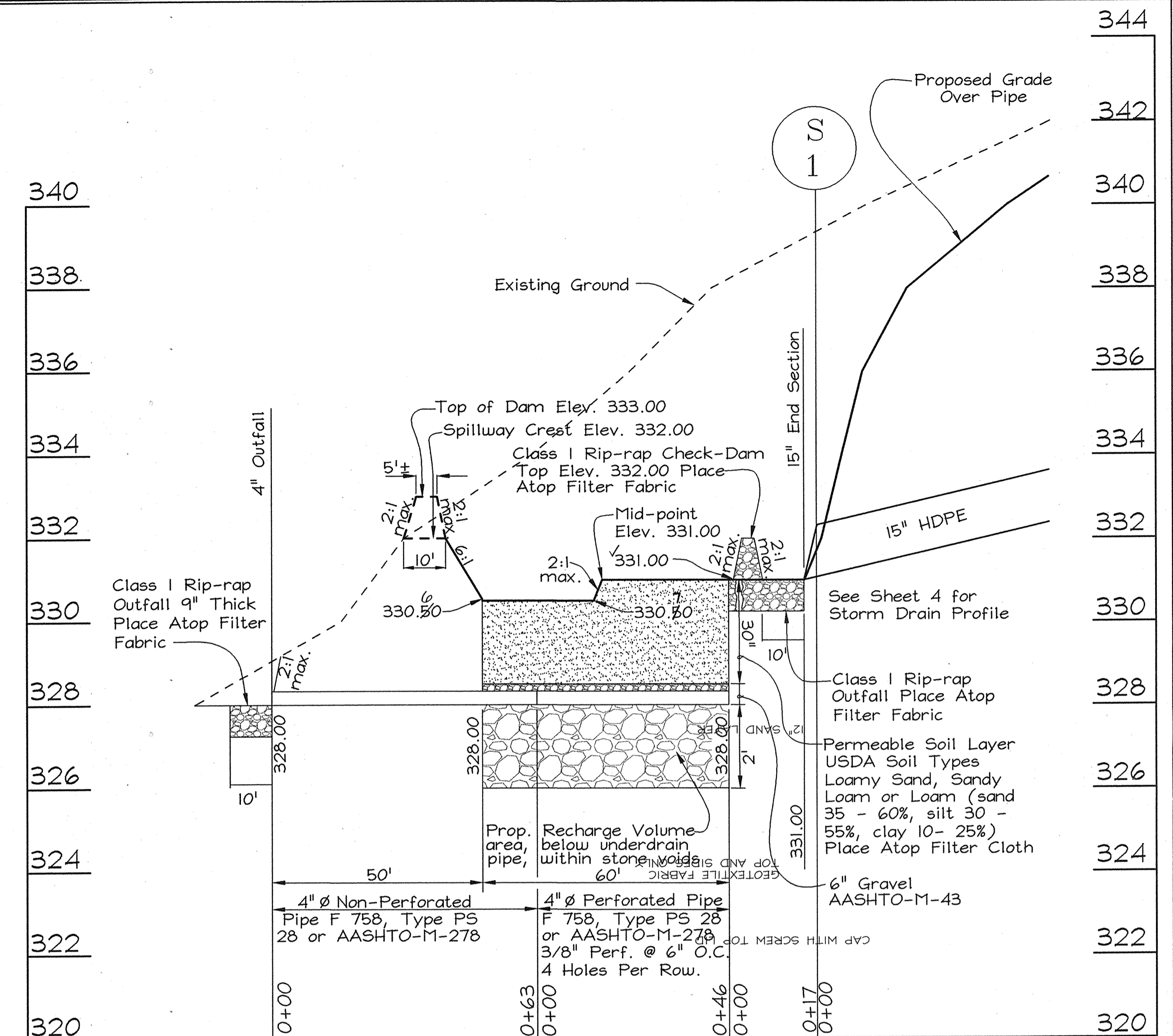
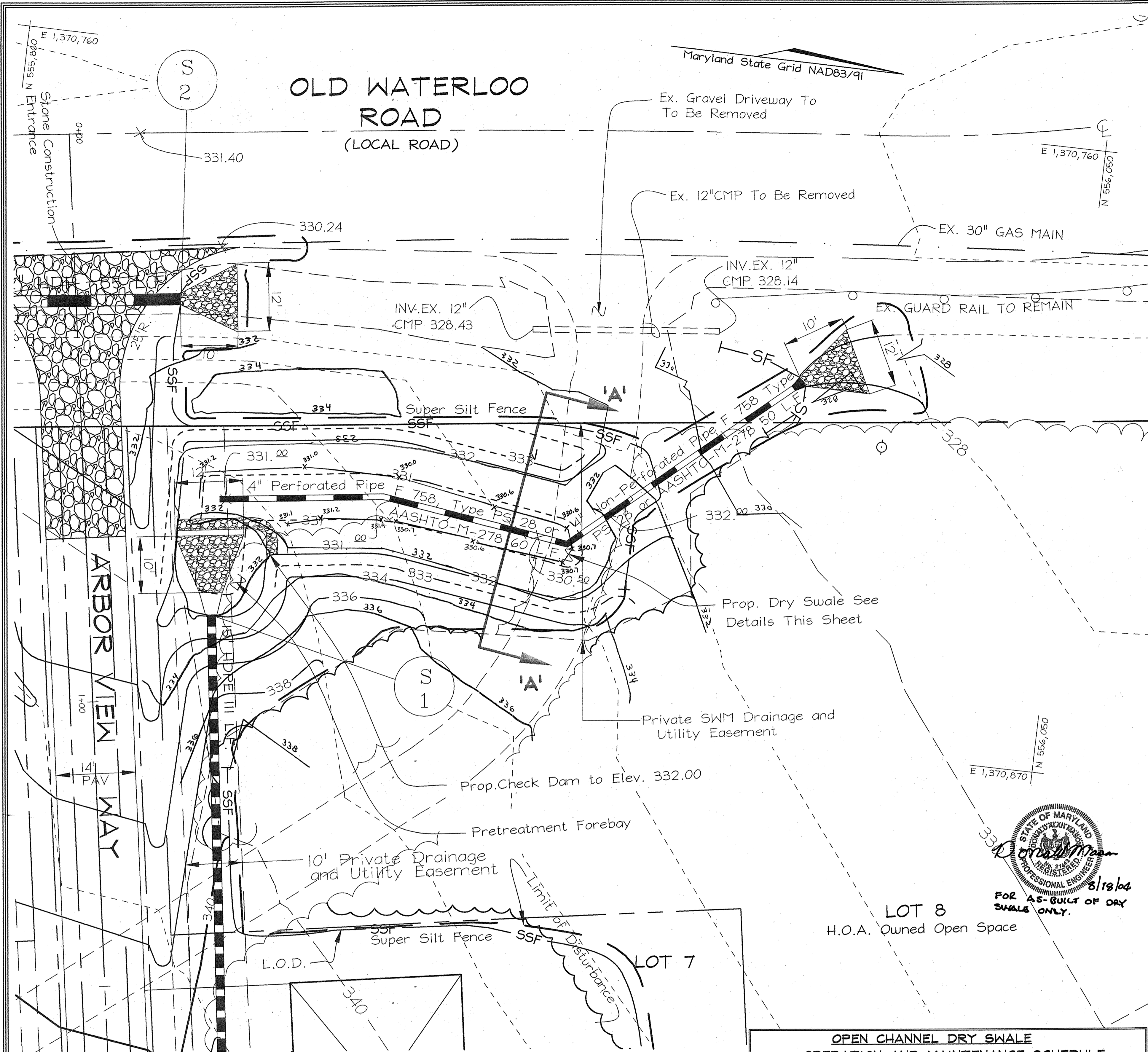
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM...

ENGINEERS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITES AND CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signatures and dates for Jim Myers, John Robertson, Cindy Hamata, and Brian D. Boy.

Signatures and dates for Zacharia Y. Fisch.



**OPEN CHANNEL DRY SWALE
OPERATION AND MAINTENANCE SCHEDULE**

- The open channel system shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the facility is functioning properly.
- The open channel shall be mowed a minimum of as needed during the growing season to maintain a maximum grass height of less than 6 inches.
- Debris and litter shall be removed during regular mowing operations and as needed.
- Visible signs of erosion in the open channel system shall be repaired as soon as it is noticed.
- Remove silt in the open channel system when it exceeds 25% of the original H₂O.

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER: *B. D. Boy* DATE: 10/25/02

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: *Zacharia Y. Fisch* DATE: 10/25/02

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Morse 11/19/02
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

John K. Roberts 11/19/02
THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. DATE

APPROVED: *Cindy Hamstra* 1/2/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED: *John D. Boy* 1/2/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: *[Signature]*
CHIEF, BUREAU OF HIGHWAYS DATE

**STORM WATER MANAGEMENT
PLAN AND PROFILES
ARBOR OVERLOOK**

LOTS 1 THRU 7 AND OPEN SPACE LOT 8

TAX MAP 37 GRID 20
1st ELECTION DISTRICT

PARCEL 148
HOWARD COUNTY, MARYLAND

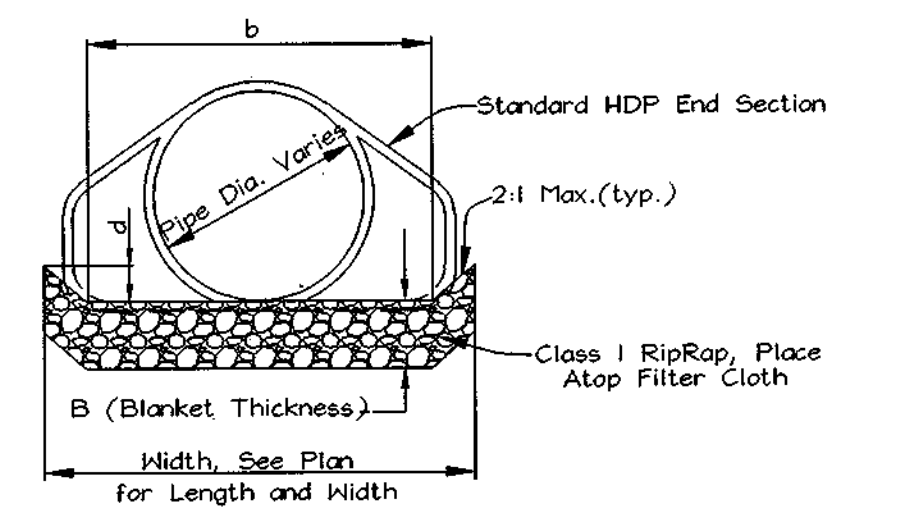
FSH Associates
Engineers Planners Surveyors
8318 Forrest Street, Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: FSHAssociates@cs.com

DESIGN BY: *MLT*
DRAWN BY: *MLT*
CHECKED BY: *ZYF*
SCALE: *As Shown*
DATE: *Oct. 23, 2002*
W.O. No.: *3021*
SHEET No. *3* OF *5*

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	SOIL GROUP
EVC	Essexboro Loamy Sand, 5 to 15 percent slopes	A
SFB2	BASSAPRAS Gravelly Sandy Loam, 1 to 5 percent slopes, moderately eroded	B
SFC2	BASSAPRAS Gravelly Sandy Loam, 5 to 10 percent slopes, moderately eroded	B

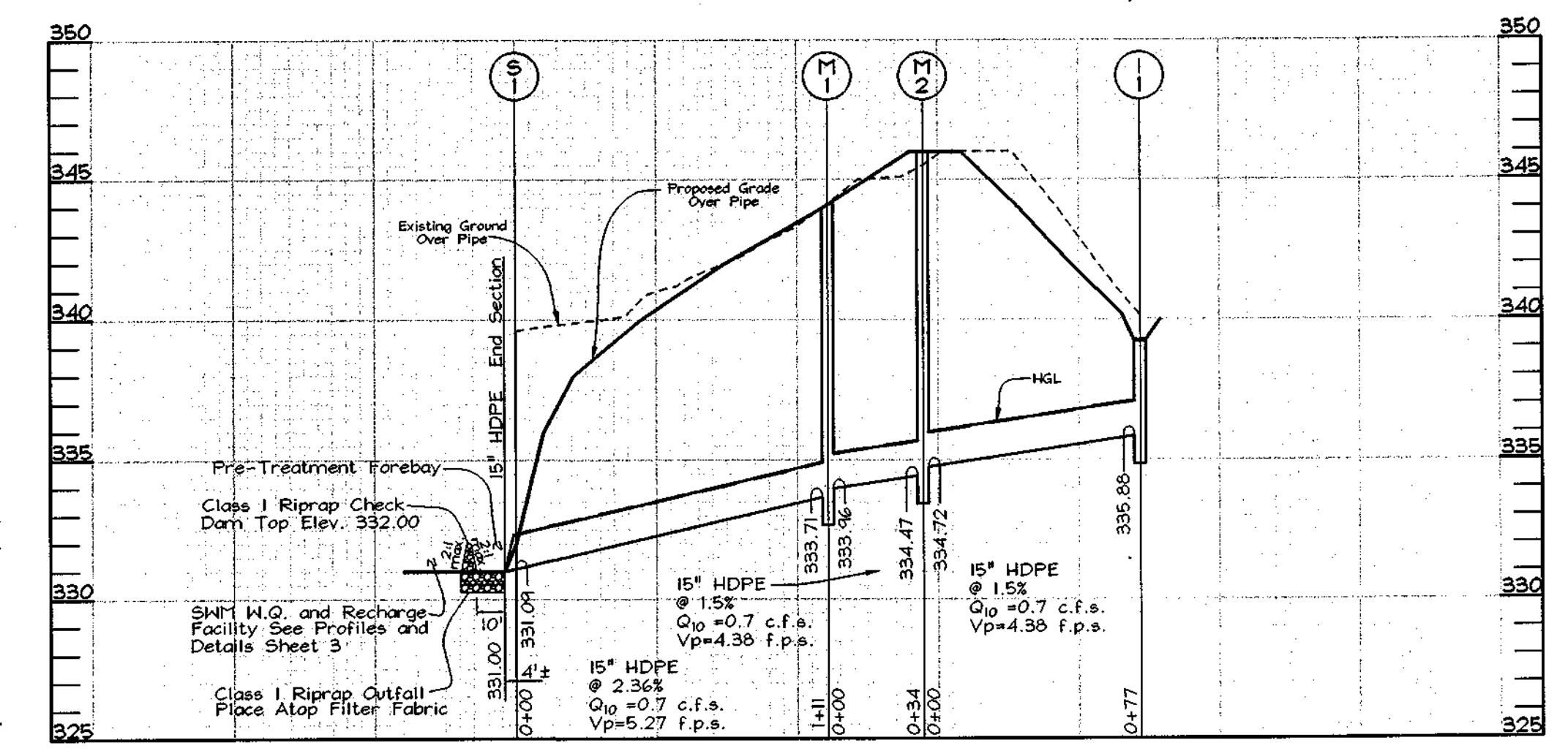
PIPE SCHEDULE		
SIZE	TYPE	LENGTH
12"	HDPE	35 LF±
15"	HDPE	222LF±

STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN.	INV. OUT.	REMARKS
M-1	Standard Precast Manhole (4')	N 555,919.5 E 1,370,968.8	344.10	333.96	333.71	G 5.12
M-2	Standard Precast Manhole (4')	N 555,913.3 E 1,371,002.0	346.00	334.72	334.47	G 5.12
I-1	Open End Grate	N 555,925.5 E 1,371,078.1	339.25	-	335.88	SD 4.36
S-1	15" HDPE End Section	N 555,903.9 E 1,370,859.0	332.34	331.09	331.00	Manor or equivalent
S-2	12" HDPE End Section	N 555,891.9 E 1,370,804.4	329.74	-	328.74	Manor or equivalent
S-3	12" HDPE End Section	N 555,853.8 E 1,370,809.5	329.95	328.95	-	Manor or equivalent

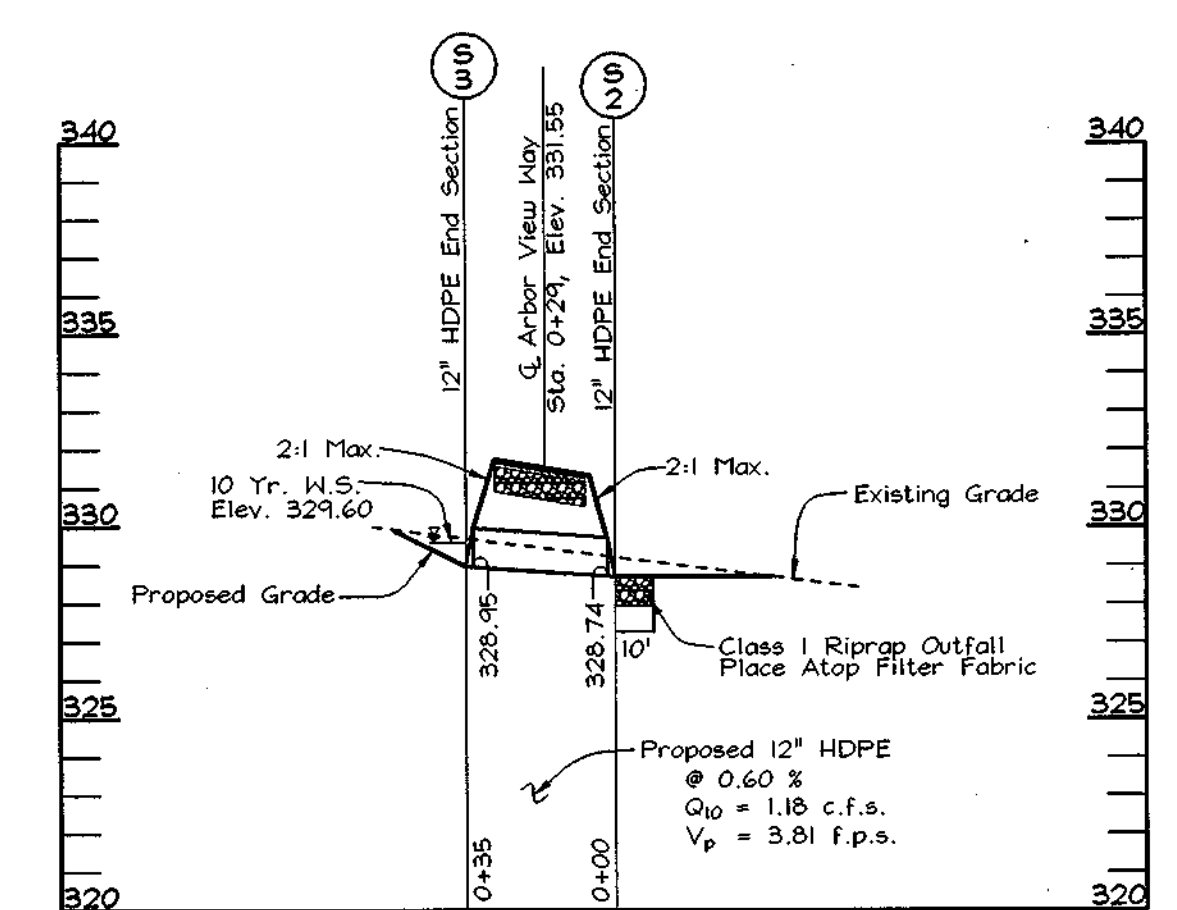


TYP. OUTFALL DETAIL
Not to Scale

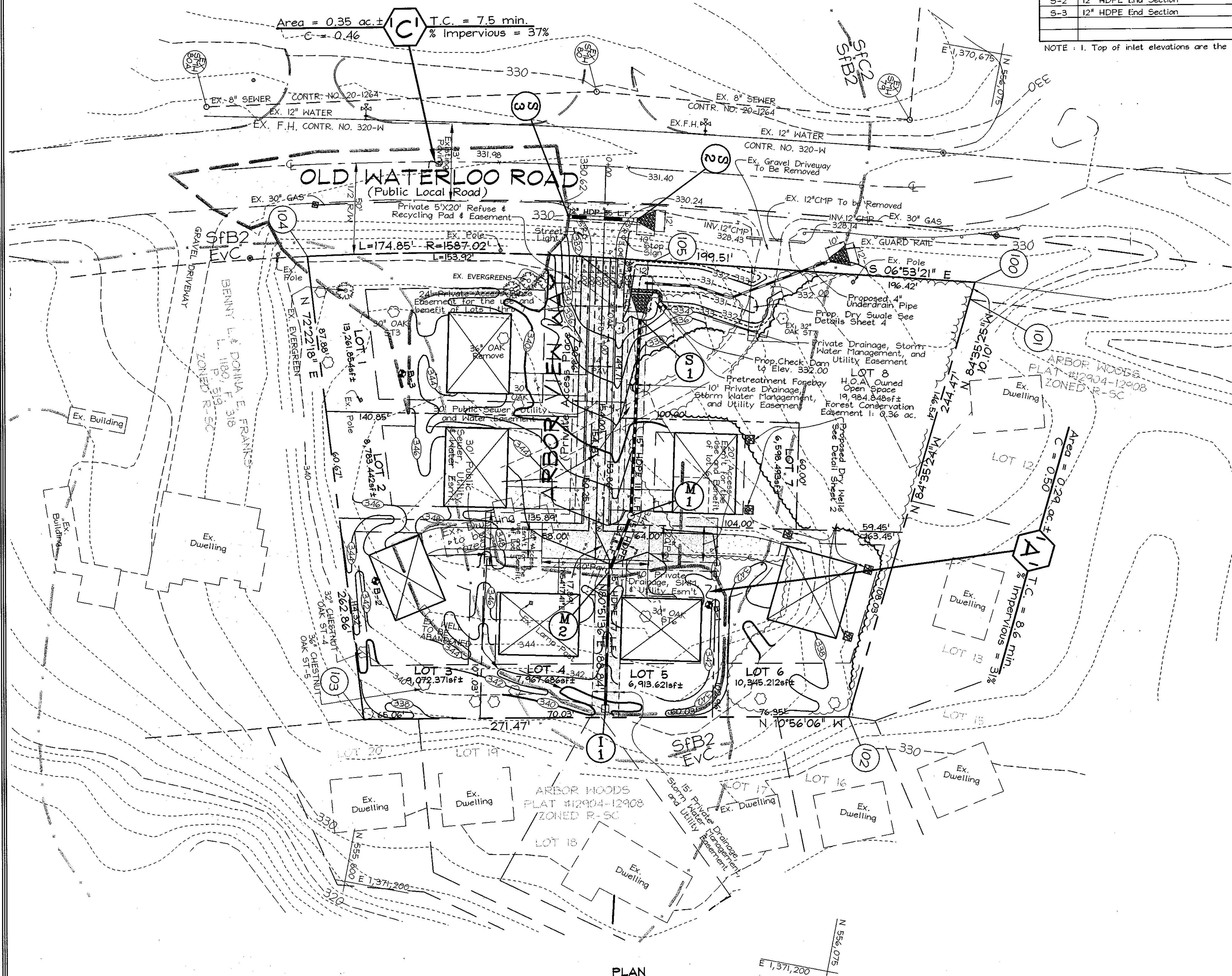
Structure	Q(c.f.s.)	S	n	b	d	d _{max}	d _{ap}	B (Blanket Thickness)
S-1	3.58 c.f.s.	0.5%	0.035	3.5'	0.50'	6"	4"	9"
S-2	1.18 c.f.s.	0.5%	0.035	3.0'	0.30'	6"	4"	9"



STORM DRAIN PROFILE
Scale: Horiz.: 1" = 50'
Vert.: 1" = 5'



CULVERT PROFILE
Scale: Horiz.: 1" = 50'
Vert.: 1" = 5'



PLAN
SCALE: 1" = 30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Cindy Hamata 12/13
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 _____ 12/12
 CHIEF, BUREAU OF HIGHWAYS DATE

STORM DRAIN PLAN, PROFILES AND DRAINAGE AREA MAP
ARBOR OVERLOOK
 LOTS 1 THRU 7 AND OPEN SPACE LOT 8

TAX MAP 37 GRID 20 PARCEL 148
 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

OWNER/DEVELOPER
 CORNERSTONE HOLDINGS LLC
 9691 NORFOLK AVENUE
 LAUREL, MD 20723

DESIGN BY: MLT
 DRAWN BY: MLT
 CHECKED BY: ZYF
 SCALE: 1" = 30'
 DATE: Oct. 23, 2002
 N.O. No.: 3021
 SHEET No. 4 OF 5

FSH Associates
 Engineers Planners Surveyors
 8318 Forrest Street Ellicott City, MD 21043
 Tel: 410-750-2251 Fax: 410-750-7350
 E-mail: FSHAssociates@es.com



NARRATIVE
This Forest Conservation Plan has been developed in accordance with the Howard County Forest Conservation Manual and the 1991 Forest Conservation Act.
The existing site consists of 1.90 acres. The site has 0.69 acres of existing forest within the net tract area. 0.33 acres of existing forest will be cleared. Retention areas have been prioritized to provide protection to the largest area of forest possible. 0.36 acres of woodland will be retained under easement in these areas. A fee-in-lieu is requested to fulfill the reforestation obligations of 0.12 ac (5227 sq ft).

THE FOREST CONSERVATION EASEMENTS WILL BE ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

Surety in the amount of \$3,136.32 (15,681.6 s.f. x \$0.20/s.f.) will be posted as part of the developers agreement.

FOREST CONSERVATION WORKSHEET

Acres (1/100 ac.)

Net Tract Area

A. Total Tract Area	1.90
B. Area Within 100 Year Floodplain	0
C. Other Deductions	0
D. Net Tract Area	1.90

Land Use Category: High Density Residential

E. Afforestation Minimum (15% x D)	0.29
F. Conservation Threshold (20% x D)	0.38

Existing Forest Cover

G. Existing Forest on Net Tract Area	0.69
H. Forest Area Above Conservation Threshold	0.33

Breakeven Point

I. Forest Retention Mitigation	0.44
J. Clearing Permitted without Mitigation	0.25

Proposed Forest Clearing

K. Forest Areas to be Cleared	0.33
L. Forest Areas to be Retained	0.36

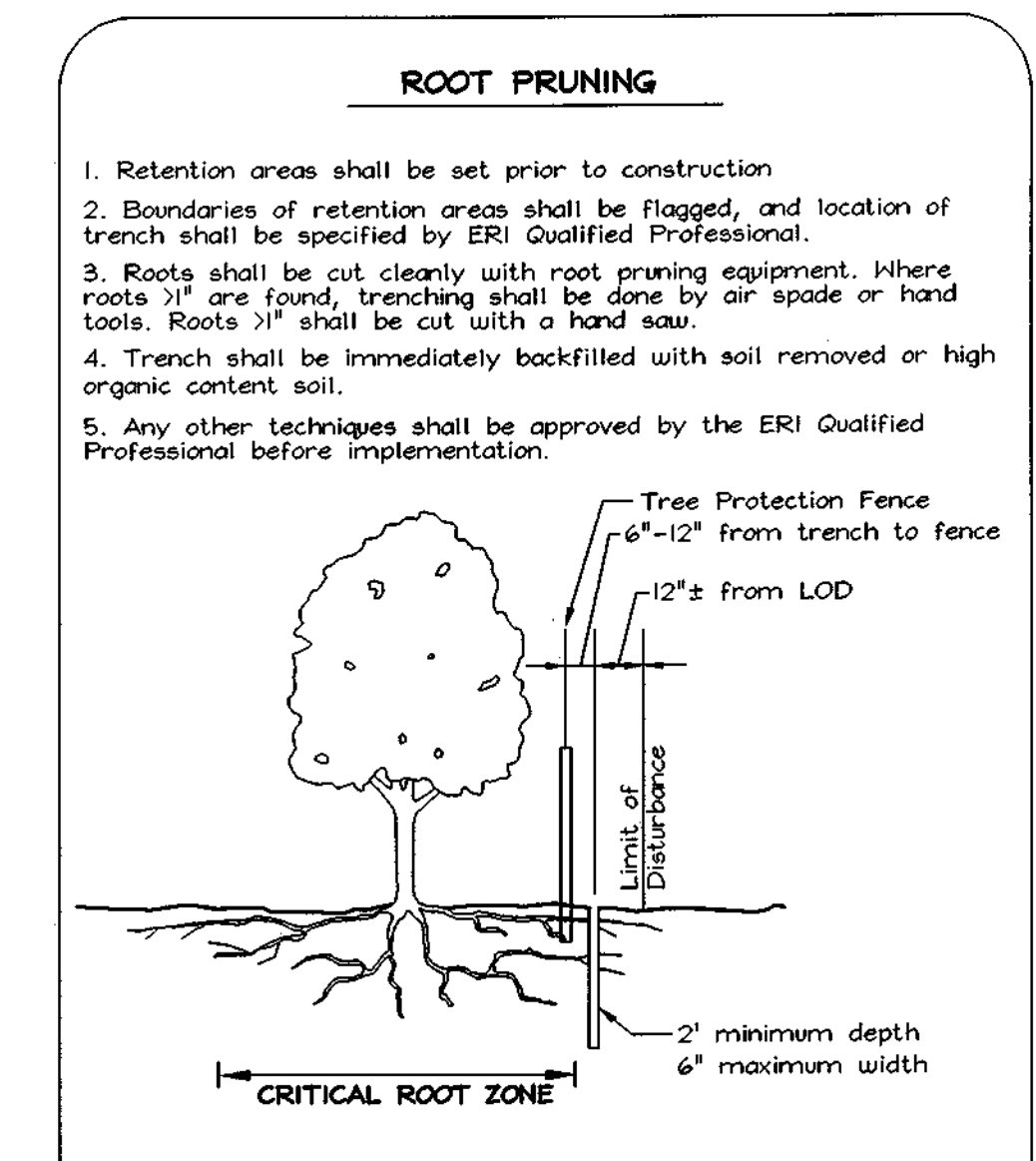
Planting Requirements

M. Reforestation for Clearing Above Threshold	0.08
N. Reforestation for Clearing Below the Threshold	0.04
O. Credit for Retention Above Conservation Threshold	0
P. Total Reforestation Required	0.12
Q. Total Afforestation Required	0
R. Total Reforestation and Afforestation Requirement	0.12

FOREST CONSERVATION EASEMENT TABLE

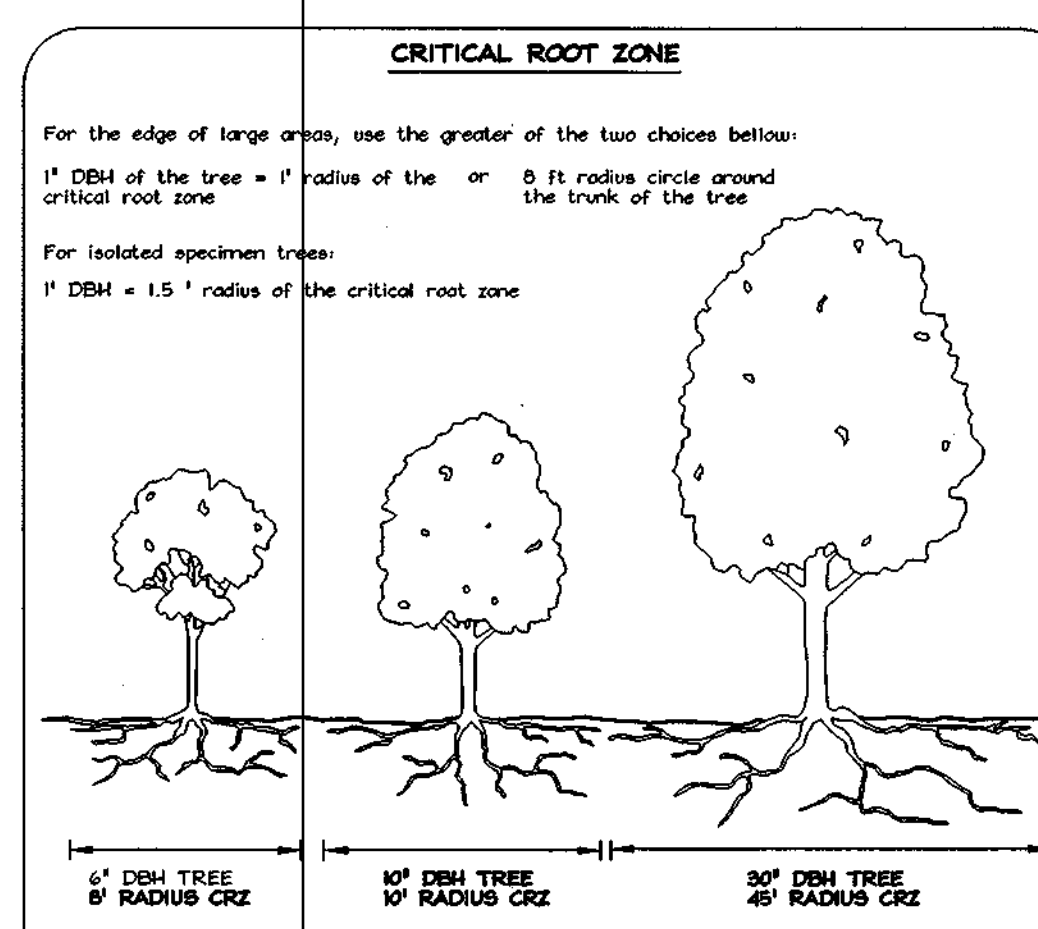
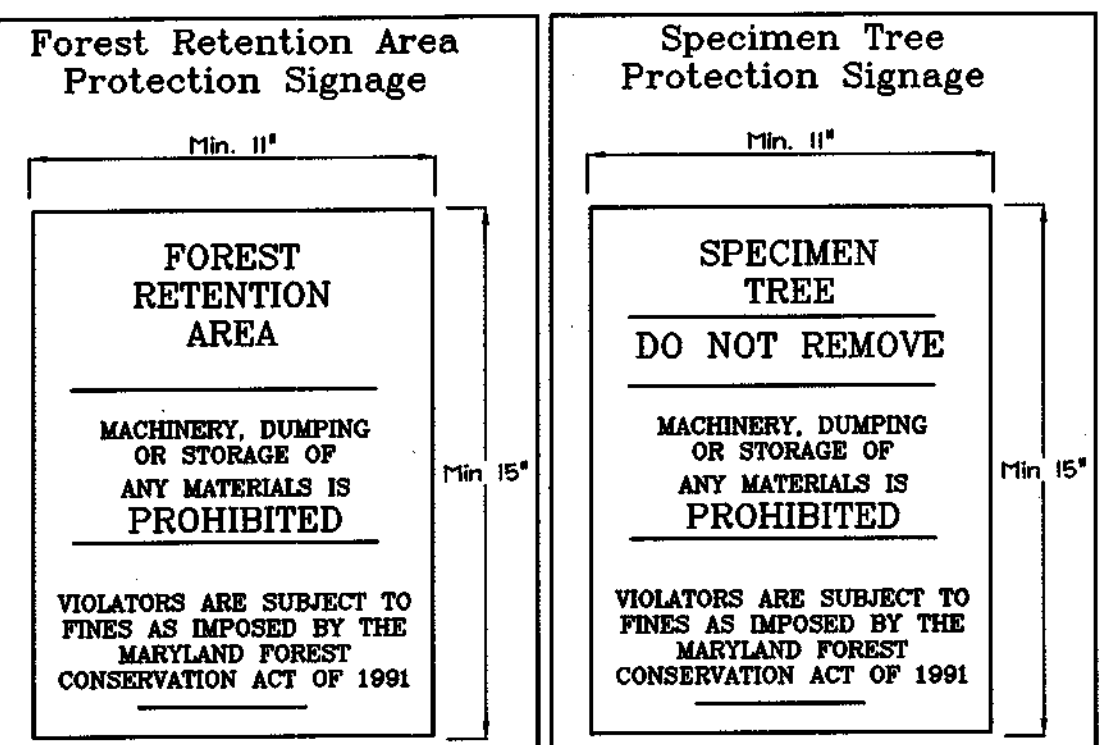
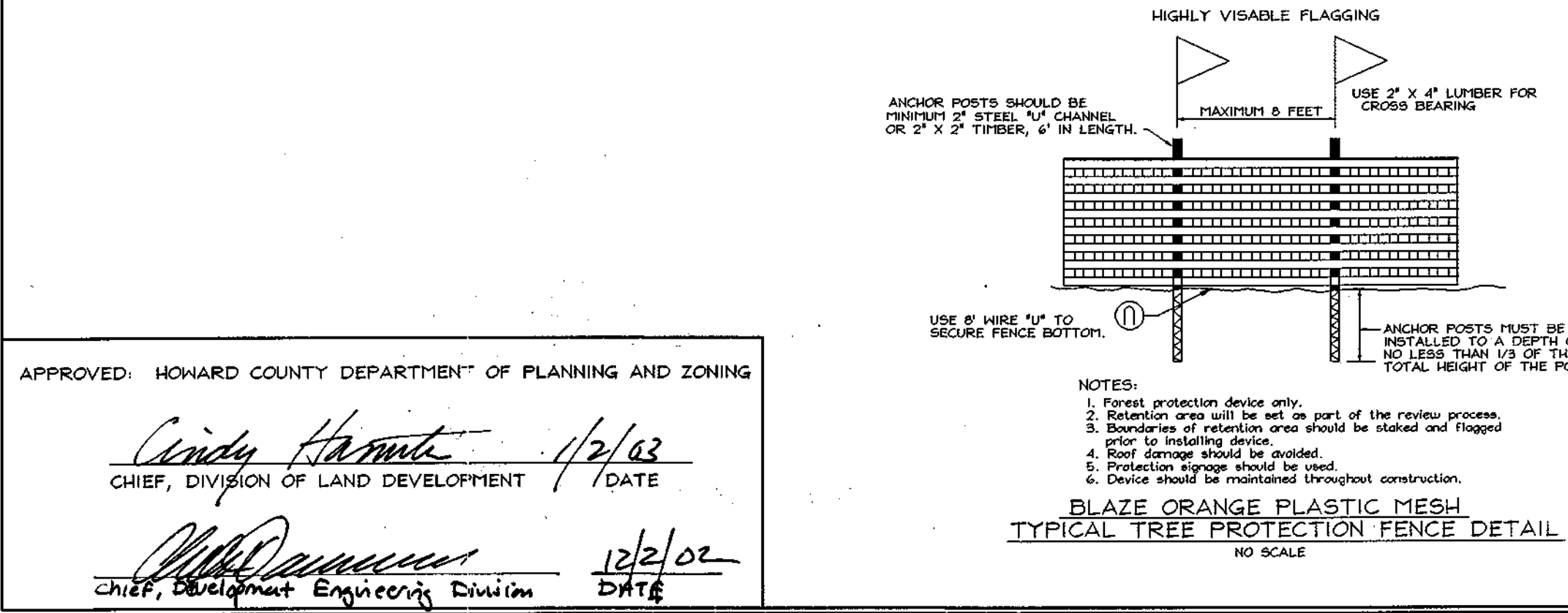
Easement #1	0.36 ac
All retention	0.36 ac

Surety in the amount of \$3,136.32 will be posted as part of the Developers Agreement.



- MANAGEMENT NOTES FOR FOREST RETENTION AREAS**
- All proposed activities shall adhere to the conditions, schedules and terms of an approved sediment control and erosion plan.
 - After the boundaries of the retention area have been staked and flagged and before any disturbance has taken place on-site, a preconstruction meeting at the construction site shall take place. The developer, contractor or project manager, and appropriate County Inspectors shall attend.
 - Prior to grading, the contractor shall arrange to meet with the forester to determine adequate protection measures for Specimen Trees located on buildable lots.
 - Tree protection for all retained areas:
 - All retention areas within 50 feet of proposed construction activities shall be protected by highly visible, well anchored temporary protection devices (silt fence or blaze orange plastic mesh).
 - All protection devices shall be in place prior to any grading or land clearing.
 - All protection devices shall be properly maintained and shall remain in place until construction has ceased.
 - Attachment of signs, fencing or other objects to trees is prohibited.
 - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
 - If the critical root zone (see detail) is affected by construction activities such as grade change, digging for foundations and roads or utility installation:
 - Prune roots with a clean cut using proper pruning equipment (see root pruning detail)
 - Water and fertilize as needed.
 - During construction phase, monitor and correct condition of retained trees for: soil compaction, root injury, flood conditions, drought conditions and other stress signs.
 - Post-Construction Phase
 - Inspect existing trees around the perimeter of disturbed limits for evidence of soil compaction, root injury, limb injury, or other stress signs and correct with proper management techniques such as root or limb pruning, soil aeration, fertilization, crown reduction or watering. Inspection and evaluation shall be performed by a licensed arborist.
 - Inspect for dead or dying trees or limbs which may pose safety hazard and remove.
 - No burial of discarded materials will occur onsite within the conservation areas.
 - No burning within 100 feet of wooded area.
 - All temporary forest protection structures will be removed after construction. Replace any temporary signage with permanent signage around easements.
 - Following completion of construction, prior to use, the County inspector shall inspect the entire area.

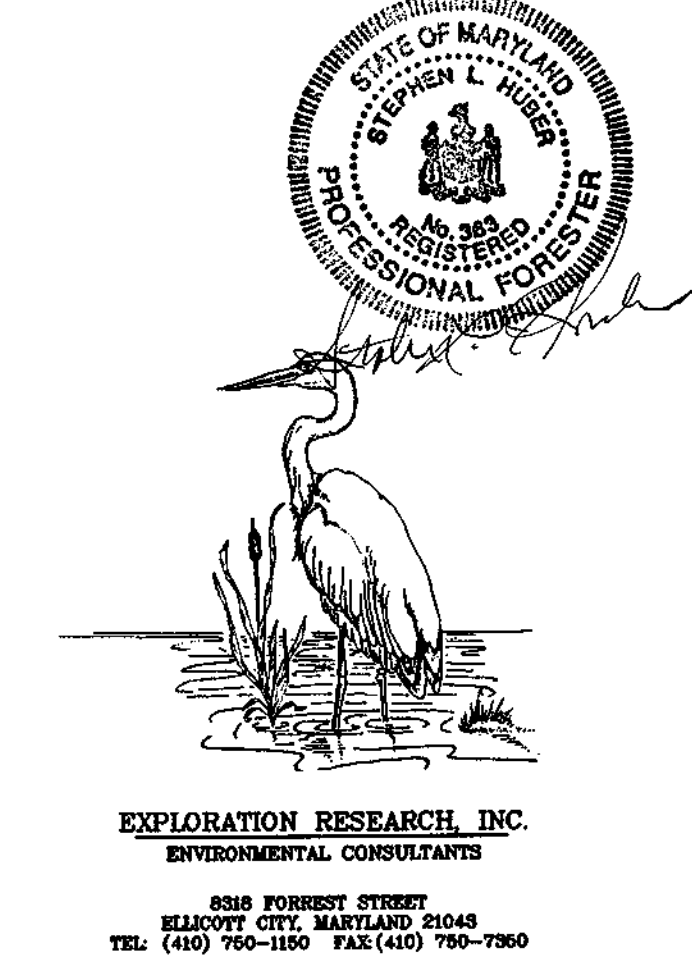
- Soil Protection Zone Notes**
- The Soil Protection Zone shall include all areas contained inside the Limit of Disturbance.
 - Where possible, the Soil Protection Zone shall extend to the drip line of specimen trees. For other groups of trees, the zone shall be the drip line or 40% of the height of the tree, whichever is greater.
 - No construction activity is permitted within the Soil Protection Zone.
 - If soil has been compacted or grading has taken place in the vicinity of the Soil Protection Zone, root pruning shall be implemented per Root Pruning detail, shown on this plan.
 - Root pruning shall occur prior to the beginning of construction.
 - Where the Soil Protection Zone must encroach inside the Critical Root Zone of a tree, soil disturbance shall be mitigated with vertical mulching, radial trenching, or another method approved by the ERI Forest Conservation Professional.
 - Prior to construction, the Limits of Disturbance shall be marked and the ERI Professional shall determine which trees will need preventative treatment or removal.
 - Tree maintenance and removal shall be undertaken by a qualified MD Tree Expert to ensure damage to surrounding trees is minimized.
 - Brush and limbs removed for construction shall be chipped and spread at the edge of the Soil Protection Zone to a depth of 6 inches. This shall occur outside the Soil Protection Zone where compaction could impact otherwise unprotected Critical Root Zone.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Cindy Hamant 1/2/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Michael Damico 12/2/02
Chief, Development Engineering Division DATE



OWNER/DEVELOPER
CORNERSTONE HOLDINGS LLC
4641 NORFOLK AVENUE
LAUREL, MD 20723

FOREST CONSERVATION PLAN
ARBOR OVERLOOK
LOTS 1 THRU 7 AND OPEN SPACE LOT 8

TAX MAP 37 GRID 20 PARCEL 148
3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FSH Associates
Engineers Planners Surveyors
8318 Forest Street Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7390
E-mail: FSHAssociates@cs.com

DESIGN BY: MTL
DRAWN BY: RAB
CHECKED BY: SLH
SCALE: 1"=30'
DATE: Oct 23, 2002
H.O. No.: 3021
SHEET No. 5 OF 5