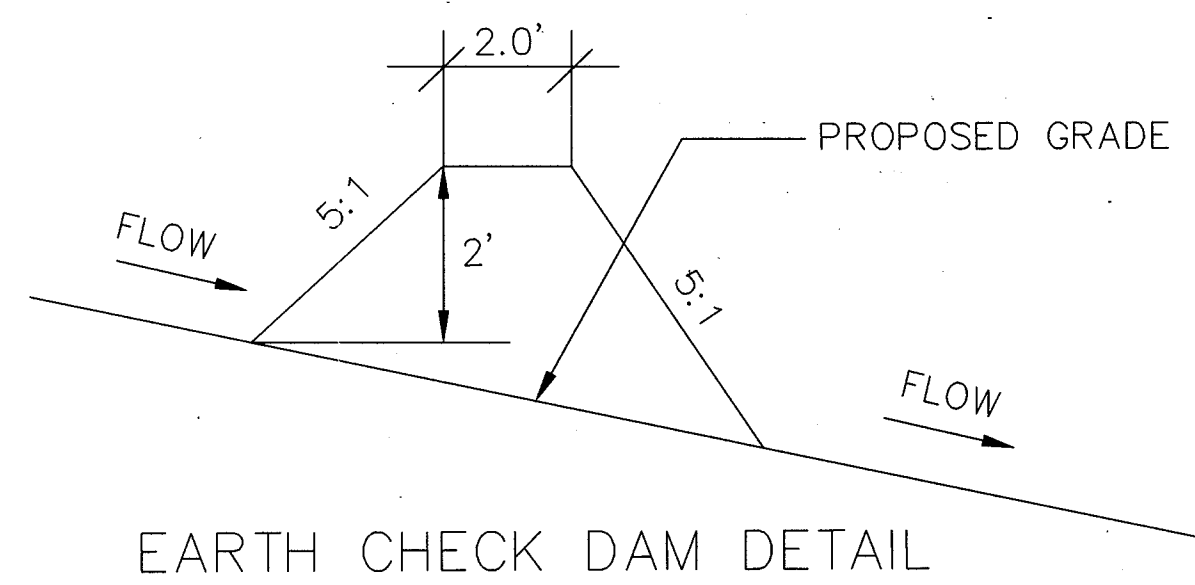


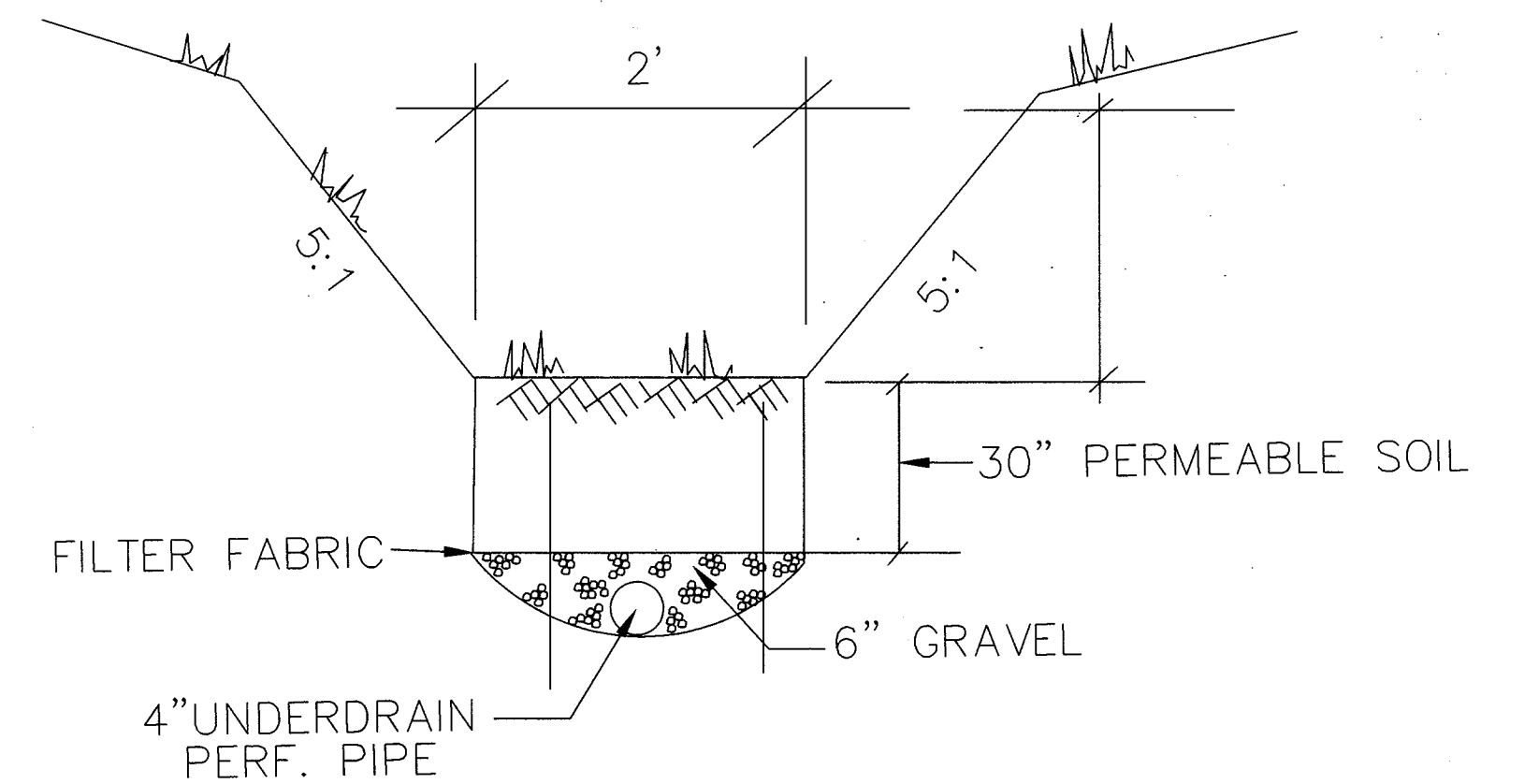
PROFILE

HORIZONTAL: 1"=30'
VERTICAL: 1"=3"



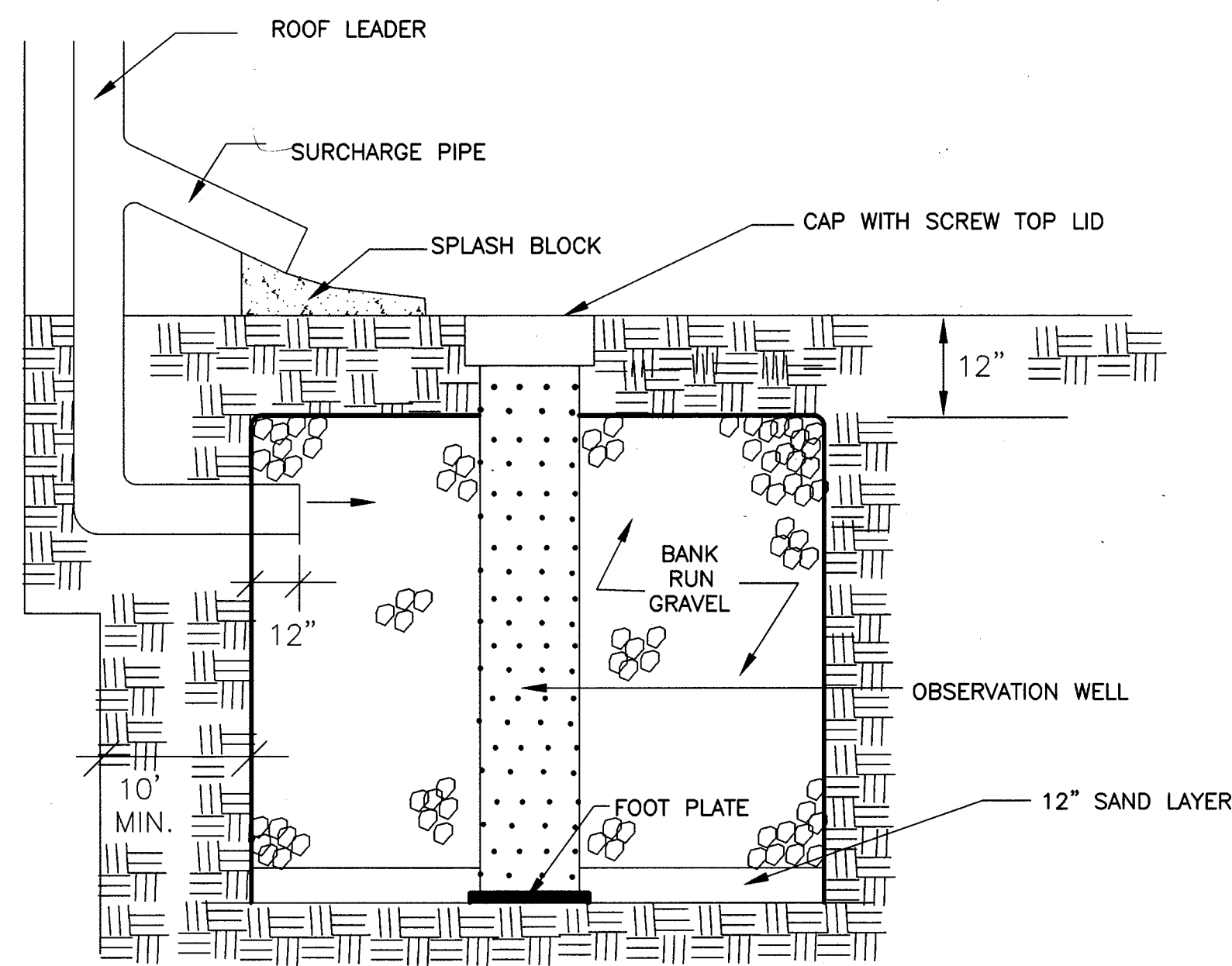
EARTH CHECK DAM DETAIL

N.T.S.



DRY SWALE DETAIL-LOT 91

N.T.S.

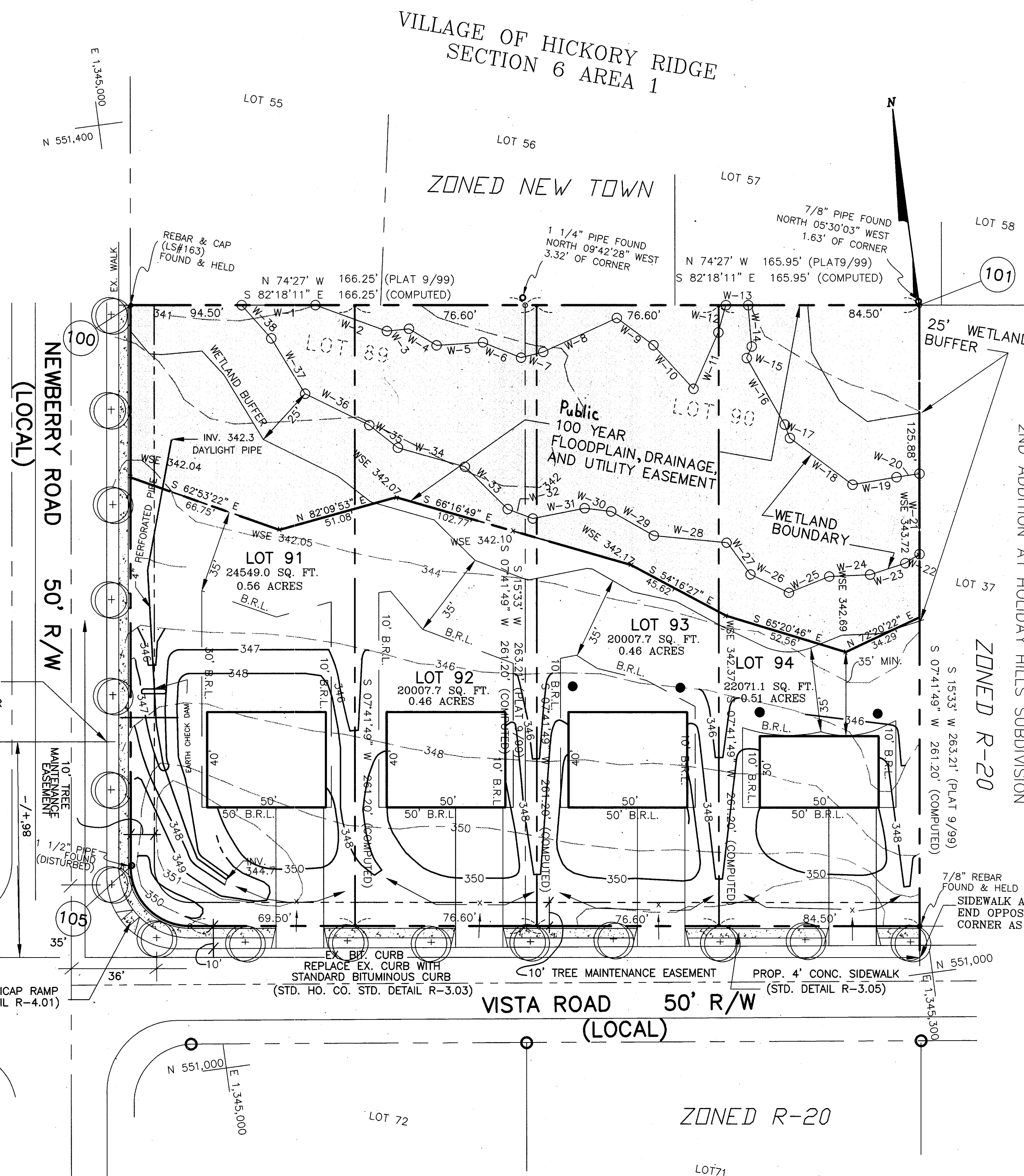


DRY WELL DETAIL*

N.T.S.

*2 DRY WELLS EACH FOR LOTS 93 AND 94

• APPROXIMATE LOCATION SHOWN



NOTES:

- STREET TREES TO BE PROVIDED 40 FEET APART (16 TREES AS SHOWN) PER HOWARD COUNTY LANDSCAPE MANUAL.
- SWM ADDRESSED IN A DRY SWALE AS SHOWN ON LOT 91.

APPROVED: DEPARTMENT OF PUBLIC WORKS

Richard M. Daniels
CHIEF-BUREAU OF HIGHWAYS

2/20/02
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Mark Cummings
CHIEF-DEVELOPMENT ENGINEERING DIVISION MK

2/21/02
DATE

Candice Stewart
CHIEF-DIVISION OF LAND DEVELOPMENT

2/21/02
DATE

SUPPLEMENTAL PLAN
STORMWATER MANAGEMENT
AND ROAD IMPROVEMENTS

HOLIDAY HILLS
LOTS 91 THRU 94
A RESUBDIVISION OF LOTS 89 AND 90
HOLIDAY HILLS
SECTION 6

CENTURY ENGINEERING, INC.

CONSULTING ENGINEERS, PLANNERS
32 WEST ROAD
TOWSON, MARYLAND 21204

(410) 823-8070 FAX (410) 823-2184

SHEET 1 OF 1 Zoning R-20
5th ELECTION DISTRICT TAX MAP 41, GRID 5, PARCEL 304
SCALE: AS SHOWN 1"=30' HOWARD COUNTY, MARYLAND
JANUARY, 2002

Des By	KD	Scale	1"=30'	Proj No	21008.00
Drn By		Date	1/22/02		DRAWING NO
Chk By		Approved			1 OF 2

FOI-166

VILLAGE OF HICKORY RIDGE
SECTION 6 AREA 1

LEGEND

---	EXISTING CONTOURS
---	SOIL TYPE DIVISION LINE
---	LIMIT OF WETLANDS
○	SPECIMEN TREE
---	BUFFER LINE
---	100' FLOODPLAIN LINE
FS1	FS1

FOREST STAND / VEGETATION COVER

KEY	COMMUNITY TYPE	ACREAGE KEY	DOMINANT VEGETATION	GENERAL CONDITION	PRIORITY ACREAGE
FS1	WETLAND FOREST	.37 ACRES	RED MAPLE (90) SYCAMORE (7) BLACK WILLOW (3)	GOOD	ALL
FS2	UPLAND HARDWOODS	1.63 ACRES	TULIP POPLAR (40) SYCAMORE (20) BILLOCUST (17) RED MAPLE (15)	GOOD	FLOODPLAIN 0.7 ACRES

SPECIMEN TREES

TREE KEY	SPECIES & SIZE	CONDITION
A	45" TULIP POPLAR LIRODENDROM 45"	GOOD
B	37" TULIP POPLAR LIRODENDROM 37"	GOOD

SITE SOIL DATA

SOIL KEY	SOIL TYPE
Ba	BAILE SILT LOAM, WETLAND SOIL TYPE
ChC2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES MODERATELY ERODED, UPLAND SOIL TYPE
GIC2	GLENELG LOAM, 8 TO 15 PERCENT SLOPES MODERATELY ERODED, UPLAND SOIL TYPE

NOTES:

- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
- SURROUNDING LAND USE IS MEDIUM DENSITY RESIDENTIAL.

HOWARD COUNTY PLANT LIST AND COST ESTIMATE

See Legend Below

Quan.	Symbol	Botanical Name	Common Name	Remarks	Price per	Total
		Trees				
22*	RM	Acer rubrum	Common Red Maple	2-1/2-3" cal., 15-17' hgt.	B&B \$300.00	\$ 6,900.00
6	WP	Pinus strobus	White Pine	6-7' hgt.	B&B \$150.00	\$ 900.00
					Grand Total	\$ 7,800.00

NOTES

* INCLUDES 10 STREET TREES AS SHOWN ON SHEET 10P2, 5 TREES - LOT 91 AND 2 TREES LOT 92.

GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- Street light placement and the type of fixture and pole shall be in accordance with the Howard County Design Manual, Volume III (1993) and as modified by "Guidelines for Street Lights in Residential Developments (June 1993)." A minimum spacing of 20' shall be maintained between any light and any tree.
- The existing topography is taken from a field survey with 2 foot contour intervals prepared by Century Engineering Inc. dated January, 2001 and William T. Bridgeland, March 2001.
- The coordinates shown hereon are based upon the Howard Geodetic Control which is based upon the Maryland Plane Coordinate System. Howard County Monument Nos. 41CC and 41C2 were used for this project.
- Water is public. Contract Number 34-1810-D
- Sewer is public. Contract Number 30-3123
- Stormwater Management to be provided via a grass channel on Lot 91 in accordance with the "2000 Maryland Stormwater Design Manual Volumes I & II" and Howard County Regulations by the builder, and will be privately maintained.
- Existing utilities based on County Contract drawings.
- The Flood Plain study for this project was prepared by Century Engineering dated February, 2001 and was approved on July 18, 2001.
- The Wetlands delineation for this project was prepared by William T. Bridgeland, dated February, 2001 and was approved on July 18, 2001.
- No traffic study is required for this project.
- Forest Conservation Obligations in accordance with Section 16.1202 of the Howard County Code and Forest Conservation Manual for this site have been met by the payment of a fee-in-lieu of \$16,988.40 to the Conservation Fund for 0.78 Acres of Afforestation Obligation.
- No clearing, Grading or Construction shall be permitted in the Wetlands, Flood Plain Area or their buffers.

SURETY NOTE

Financial surety for the required street trees has been posted as part of the DPW Developer's Agreement in the amount of \$9,800.00. Financial Surety for Required Landscaping is also posted as part of the DPW Developer's Agreement (Lot 91-2 shade trees and Lot 91, 5 shade trees and 6 evergreens) in the amount of \$3,000.00.

Developers/Builders Certificate

I/We certify that a landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, Accompanied by an executed performance guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

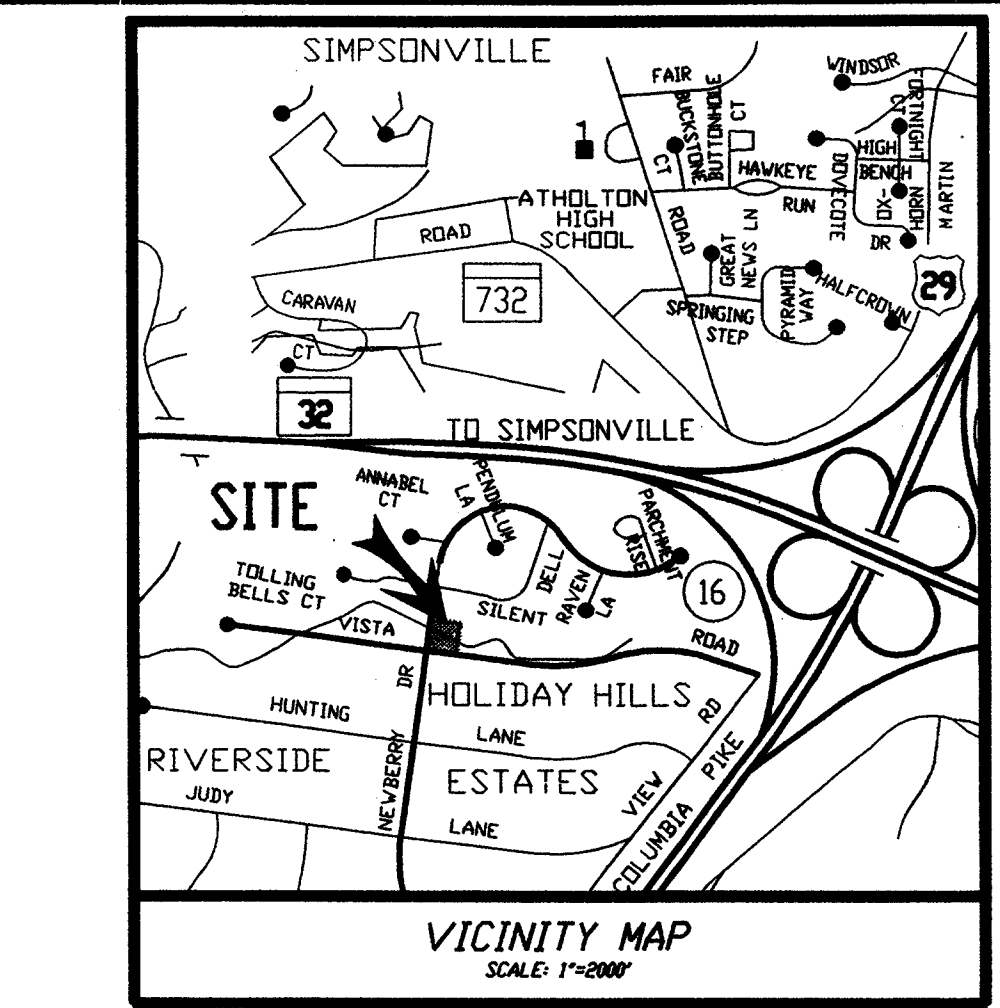
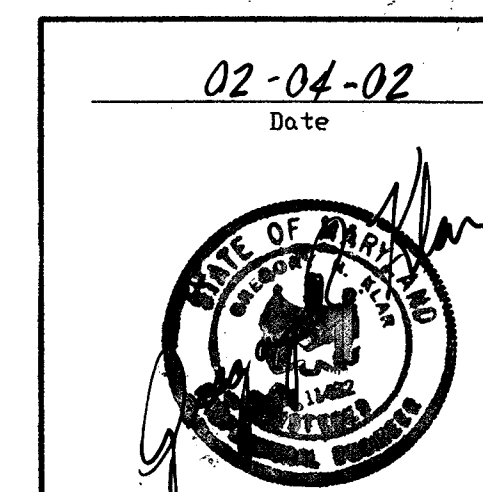
NAME: Century Engineering, Inc. DATE: 2/5/2002
This plan has been prepared in accordance with the provisions of Section 16.124 Of the Howard County Code and the Landscape Manual.

The owner, tenant, and/or their agents shall be responsible for the maintenance Of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good conditions, and when necessary, repaired or replaced.

APPROVED, DEPARTMENT OF PUBLIC WORKS
Andrew M. Quaker 2/20/02
CHIEF - BUREAU OF HIGHWAYS DATE

APPROVED, DEPARTMENT OF PLANNING AND ZONING
David M. ... 2/21/02
CHIEF - DEVELOPMENT ENGINEERING DIVISION DATE

Cindy ... 2/21/02
CHIEF - DIVISION OF LAND DEVELOPMENT DATE



FOREST CONSERVATION WORKSHEET

NET TRACT AREA:

A. TOTAL TRACT AREA	1.99 AC.
B. AREA WITHIN 100 YEAR FLOODPLAIN	0.70 AC.
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION	0.00 AC.
D. NET TRACT AREA	1.29 AC.

LAND USE CATEGORY (FROM TABLE 3.2.1, PAGE 40, MANUAL)

INPUT THE NUMBER "1" UNDER THE APPROPRIATE LAND USE ZONING, AND LIMIT TO ONLY ONE ENTRY.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	1	0	0

EXISTING FOREST COVER:

G. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN)	=	1.30AC
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD	=	1.11 AC
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD	=	1.04 AC

BREAK EVEN POINT: 0.00

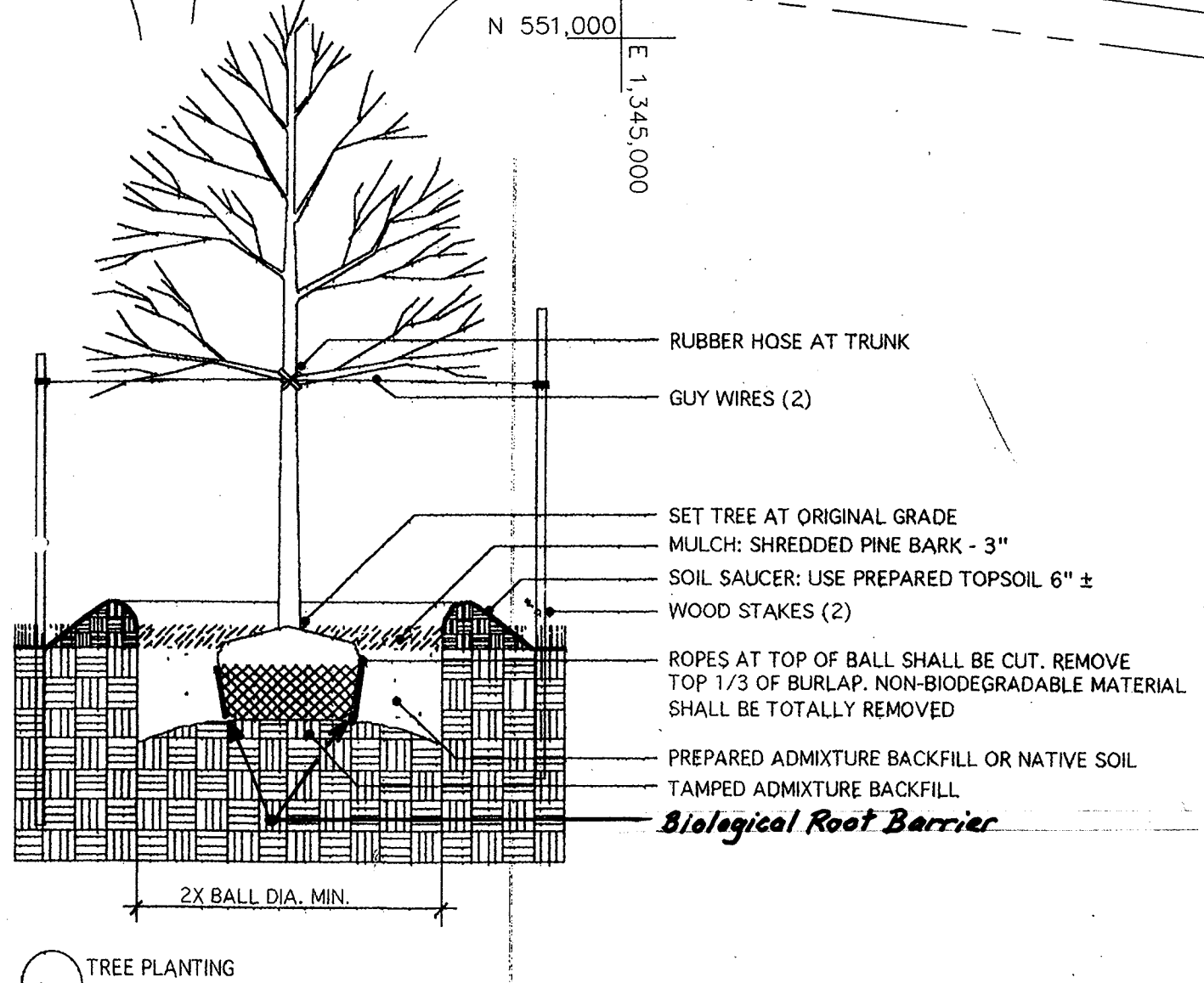
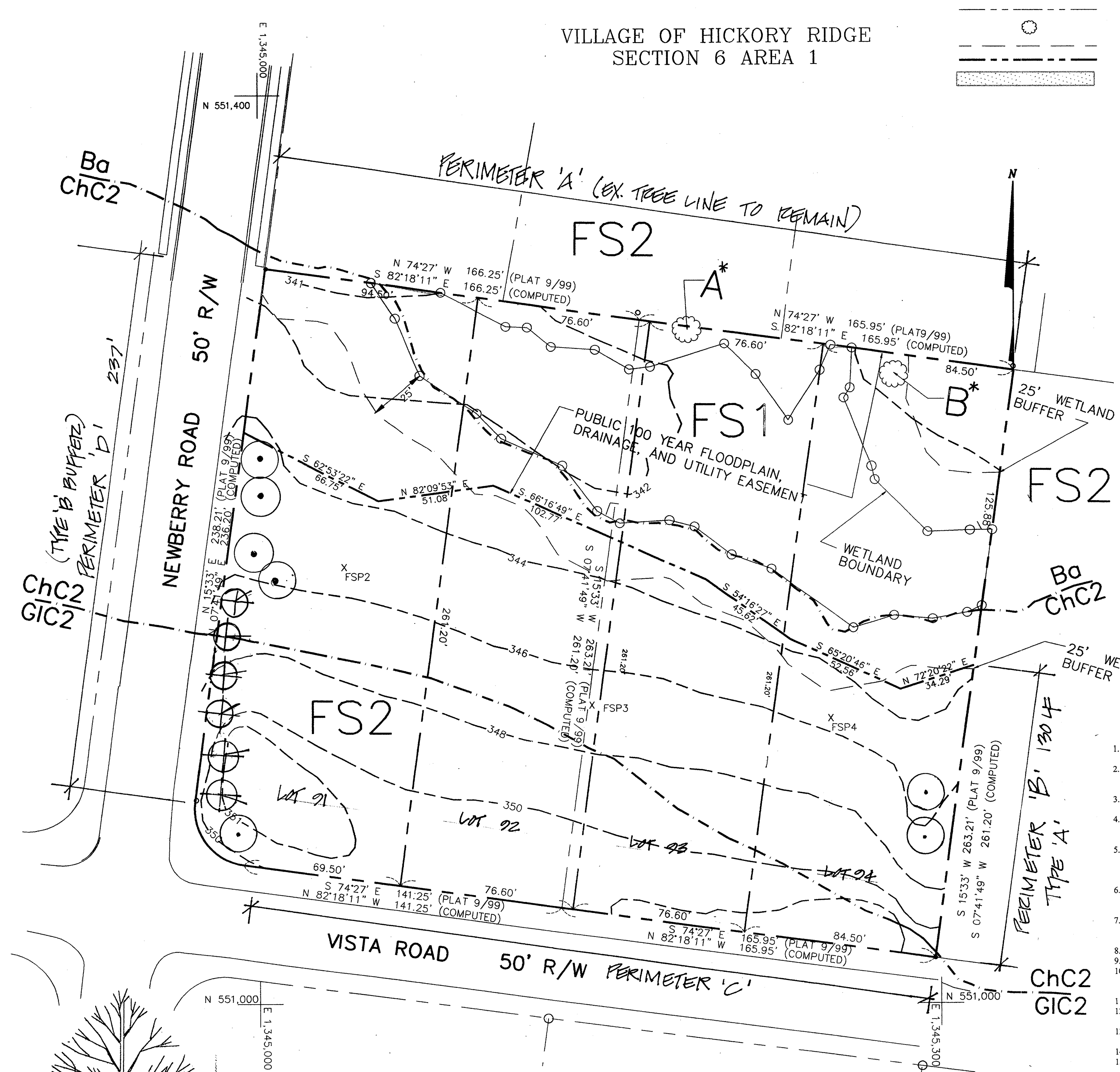
J. FOREST RETENTION ABOVE THRESHOLD WITH NO MITIGATION	=	0.47 AC
K. CLEARING PERMITTED WITHOUT MITIGATION	=	0.83 AC

PROPOSED FOREST CLEARING:

L. TOTAL AREA OF FOREST TO BE CLEARED	=	1.30 AC
M. TOTAL AREA OF FOREST TO BE RETAINED	=	0.00 AC

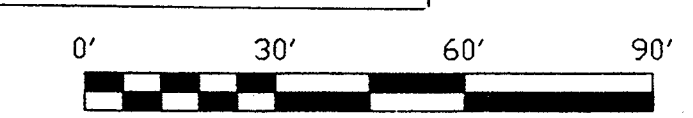
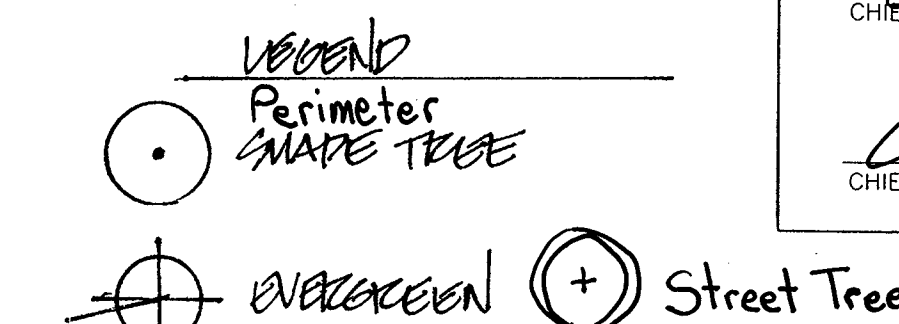
PLANTING REQUIREMENTS:

N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD	=	0.26 AC.
P. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD	=	0.52 AC
Q. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD	=	0.00 AC
R. TOTAL REFORESTATION REQUIRED	=	0.78 AC
S. TOTAL AFFORESTATION REQUIRED	=	0.00 AC.
T. TOTAL REFORESTATION AND AFFORESTATION REQUIRED	=	0.78 AC



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES	
	A - Per B	B - Per D
LANDSCAPE TYPE	130LF	237LF
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER		
CREDIT FOR EXISTING VEGETATION	0	0
CREDIT FOR WALL, FENCE OR BERM	0	0
NUMBER OF PLANTS REQUIRED:		
SHADE TREES	2	3
EVERGREEN TREES	0	6
SHRUBS	0	0
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	2	3
EVERGREEN TREES	0	6
OTHER TREES (2:1 SUBSTITUTION)		
SHRUBS (10:1 SUBSTITUTION)	0	0



FOREST STAND AND FOREST CONSERVATION PLAN AND LANDSCAPE PLAN
HOLIDAY HILLS
LOTS 91 THRU 94
A RESUBDIVISION OF LOTS 89 AND 90
HOLIDAY HILLS SECTION 6

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070 FAX (410) 823-2184

TAX MAP 41
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

Des By	Scale 1" = 30'	Proj No
Drn By	Date 4-13-01	DRAWING NO
Chk By	Approved	2 OF 2

F01-166