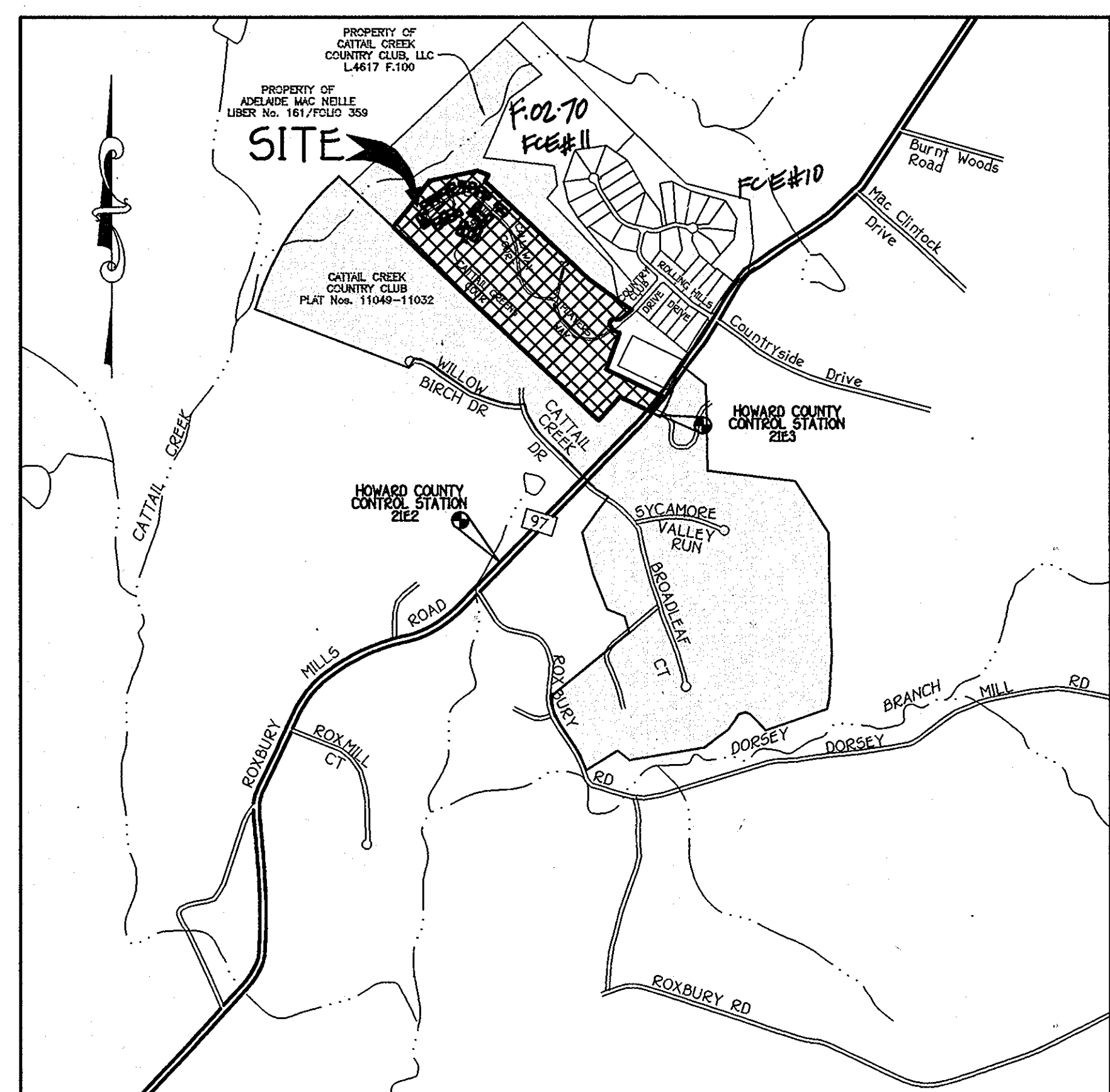


SHEET INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN AND PROFILE - PLAYERS WAY
3	SITE DEVELOPMENT PLAN AND PROFILE - CALLAWAY COURT & CATTAIL GREENS COURT
4	SITE DEVELOPMENT PLAN AND PROFILE - CALLAWAY COURT
5	GRADING AND SEDIMENT CONTROL PLAN
6	GRADING AND SEDIMENT CONTROL PLAN
7	GRADING AND SEDIMENT CONTROL PLAN
8	WATER AND SEWER LAYOUT
9	WATER AND SEWER LAYOUT
10	WATER AND SEWER PROFILES
11	WATER AND SEWER PROFILES
12	STORM DRAIN PROFILES
13	STORM DRAIN PROFILES
14	STORM DRAIN PROFILES
15	DRAINAGE AREA MAP
16	LANDSCAPE PLAN
17	SEDIMENT CONTROL NOTES AND DETAILS
18	SEDIMENT CONTROL NOTES AND DETAILS
19	OFF-SITE FOREST CONSERVATION PLAN
20	FOREST CONSERVATION NOTES AND DETAILS
21/50	COVER SHEET, INDEX OF DRAWINGS, LEGEND, NOTES
22/51	DISPOSAL FIELD SITE PLAN
23/52	DISPOSAL FIELD SITE PLAN, FIELDS C & D
24/53	DISPOSAL FIELD SITE PLAN, FIELDS A & B
25/54	DISPOSAL FIELD / FORCE MAIN PROFILES
26/55	DISPOSAL FIELD / FORCE MAIN PROFILES
27/56	PUMP STATION PLAN / SECTION AND DETAILS DETAILS
28/57	HYDRAULIC PROFILE
29/58	WTP PLAN - SECTION AND DETAILS
30/59	HYDRO-PNEUMATIC TANK AND DETAILS
31/60	HYDRAULIC PROFILE
32/61	ELECTRICAL ABBREVIATION AND SYMBOLS
33/62	WTP ELECTRICAL PLAN AND SCHEDULES
34/63	WTP ELECTRICAL SCHEMATIC
35/64	GENERATOR DETAILS AND SCHEMATICS
36/65	WW PUMP STATION - ELECTRICAL PLAN
37/66	WW PUMP STATION - ELECTRICAL PLAN

ADDRESS CHART (90° 01-115)		
UNIT NO.	ADDRESS	
1	15274	CALLAWAY COURT
2	15276	CALLAWAY COURT
3	15278	CALLAWAY COURT
4	15280	CALLAWAY COURT
5	15282	CALLAWAY COURT
6	15284	CALLAWAY COURT
7	15286	CALLAWAY COURT
8	15290	CALLAWAY COURT
9	15292	CALLAWAY COURT
10	15294	CALLAWAY COURT
11	15296	CALLAWAY COURT
12	15298	CALLAWAY COURT
13	15299	CALLAWAY COURT
14	15297	CALLAWAY COURT
15	15295	CALLAWAY COURT
16	15293	CALLAWAY COURT
17	15291	CALLAWAY COURT
18	3700	CATTAIL GREENS COURT
19	3702	CATTAIL GREENS COURT
20	3704	CATTAIL GREENS COURT
21	3706	CATTAIL GREENS COURT
22	3707	CATTAIL GREENS COURT
23	3705	CATTAIL GREENS COURT
24	3703	CATTAIL GREENS COURT
25	3701	CATTAIL GREENS COURT

NOTE: ALL ROADS WITHIN THIS SUBDIVISION ARE PRIVATE.



VICINITY MAP
SCALE: 1"=1200'

ADDRESS CHART (90° 99-148)	
UNIT NO.	ADDRESS
1	15111 PLAYERS WAY
2	15113 PLAYERS WAY
3	15115 PLAYERS WAY
4	15117 PLAYERS WAY
5	15119 PLAYERS WAY
6	15121 PLAYERS WAY
7	15123 PLAYERS WAY
8	15125 PLAYERS WAY
9	15127 PLAYERS WAY
10	15129 PLAYERS WAY
11	15131 PLAYERS WAY
12	15133 PLAYERS WAY
13	15135 PLAYERS WAY
14	15137 PLAYERS WAY
15	15139 PLAYERS WAY
16	15141 PLAYERS WAY
17	15143 PLAYERS WAY
18	15145 PLAYERS WAY
19	15147 PLAYERS WAY
20	15149 PLAYERS WAY
21	15151 PLAYERS WAY
22	15153 PLAYERS WAY
23	15155 PLAYERS WAY
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41	15191 PLAYERS WAY
42	15193 PLAYERS WAY
43	15195 PLAYERS WAY
44	15197 PLAYERS WAY
45	15199 PLAYERS WAY
46	15201 PLAYERS WAY
47	15203 PLAYERS WAY
48	15205 PLAYERS WAY
49	15207 PLAYERS WAY
50	15209 PLAYERS WAY
51	15211 PLAYERS WAY
52	15213 PLAYERS WAY
53	15215 PLAYERS WAY
54	15217 PLAYERS WAY
55	15219 PLAYERS WAY
56	15221 PLAYERS WAY
57	15223 PLAYERS WAY
58	15225 PLAYERS WAY
59	15227 PLAYERS WAY
60	15229 PLAYERS WAY
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136	15381 PLAYERS WAY
137	15383 PLAYERS WAY
138	15385 PLAYERS WAY
139	15387 PLAYERS WAY
140	15389 PLAYERS WAY
141	15391 PLAYERS WAY
142	15393 PLAYERS WAY
143	15395 PLAYERS WAY
144	15397 PLAYERS WAY
145	15399 PLAYERS WAY
146	15401 PLAYERS WAY
147	15403 PLAYERS WAY
148	15405 PLAYERS WAY

GENERAL NOTES

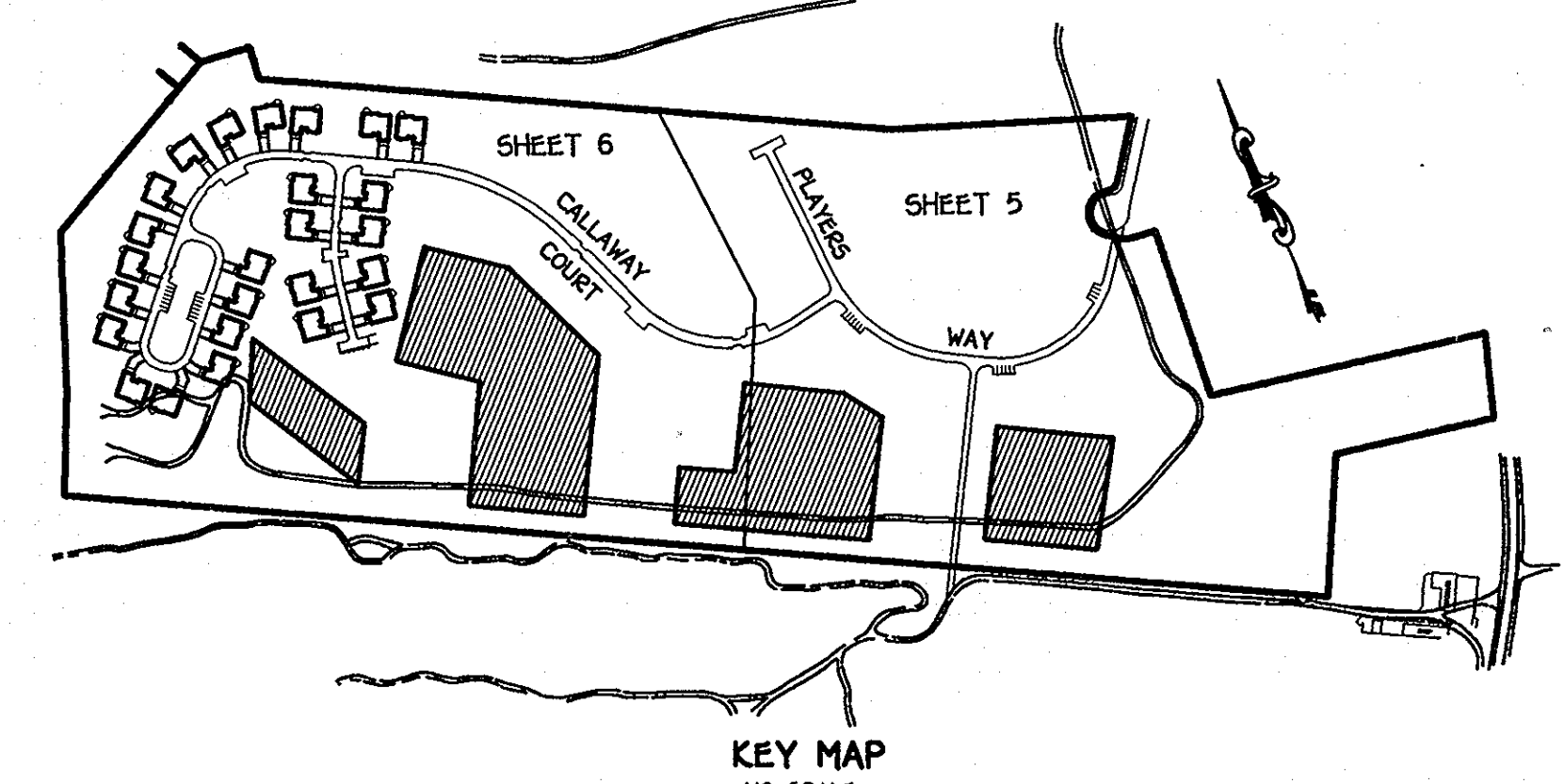
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 5 WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 2 FOOT CONTOUR TOPOGRAPHY AND EXISTING CONDITIONS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED BY AERIAL MAPPING CO., INC., FLOWN IN 1998.
- THE COORDINATES SHOWN HEREON ARE BASED UPON HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT Nos. 21E2 AND 21E3 WERE USED FOR THIS PROJECT.
- WATER SERVICE IS PRIVATE VIA A "CENTRAL USE SYSTEM".
- SEWER SERVICE IS PRIVATE VIA A "MULTI-USE SEWAGE DISPOSAL SYSTEM".
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. (APPROVED UNDER 598-09).
- BACKGROUND INFORMATION:
 - A. SUBDIVISION NAME: VILLAS AT CATTAIL CREEK
 - B. TAX MAP NO.: 21
 - C. PARCEL NO.: 229
 - D. ZONING: RC-DEO
 - E. ELECTION DISTRICT: FOURTH
 - F. TOTAL TRACT AREA: 19.5 AC. +
 - G. NO. OF BUILDABLE UNITS: 229
 - H. NO. OF PRESERVATION PARCELS: N/A
 - I. PRELIMINARY PLAN APPROVAL DATE: N/A
 - J. PREVIOUS FILE NO.: BA 00-10E, A SPECIAL EXCEPTION FOR HOUSING FOR ELDERLY AND/OR HANDICAPPED PERSONS (SECTION 131N.30)
- THE SPECIAL EXCEPTION FOR HOUSING FOR ELDERLY AND/OR HANDICAPPED PERSONS (BA 00-10E) WAS APPROVED ON MAY 24, 2001 AND SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE SPECIAL EXCEPTION SHALL APPLY ONLY TO THE PROPOSED HOUSING FOR THE ELDERLY AND/OR HANDICAPPED AND ASSOCIATED PARKING AND OTHER SITE IMPROVEMENTS, AS DESCRIBED IN THE PETITION AND AS DEPICTED ON THE SPECIAL EXCEPTION PLAN FOR THE VILLAS AT CATTAIL CREEK AS REVISED, DATED SEPTEMBER 18, 2000, AND AS AMENDED BY THIS DECISION AND ORDER, AND NOT TO ANY OTHER ACTIVITIES, USES OR STRUCTURES ON THE SUBJECT PROPERTY.
 - THE SPECIAL EXCEPTION USE SHALL BE BUFFERED WITH THE REQUIRED TYPE OF LANDSCAPE EDGE OR APPROVED EQUIVALENT AS REQUIRED BY THE LANDSCAPE MANUAL AND AS APPROVED AS PART OF A SITE DEVELOPMENT PLAN.
 - THE PETITIONER SHALL COMPLETE ALL REQUIRED TRAFFIC IMPROVEMENTS AS MAY BE REQUIRED BY THE SITE DEVELOPMENT PLAN APPROVED FOR THE DEVELOPMENT.
 - ALL RESIDENTS SHALL MEET THE DEFINITION OF THE ELDERLY AND/OR HANDICAPPED AS SPECIFIED IN SECTION 103A.67 OF THE ZONING REGULATIONS.
 - THE NUMBER OF DWELLING UNITS ON THE SUBJECT PROPERTY SHALL NOT EXCEED 25.
 - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
- REFUSE COLLECTION PROVIDED HOWARD COUNTY, HOWARD COUNTY OR ITS COLLECTION CONTRACTORS HAVE PERMISSION TO ENTER THE PRIVATE ROADWAYS FOR THE PURPOSE OF RECYCLING AND TRASH COLLECTIONS, AND WILL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE OR FAILURE OF THE PAVEMENT OR ROADWAYS IN THE AREA.
 - a. SNOW REMOVAL AND ROAD MAINTENANCE TO BE PRIVATE.
 - b. NO CEMETERIES EXIST ON THE PROPERTY.
- ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T-180.
- THE WETLAND AND FOREST STAND DELINEATION WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. AND APPROVED UNDER 598-09.
- NOISE STUDY WAS PREPARED BY WILDMAN ENVIRONMENTAL SERVICES AND APPROVED UNDER P99-02.
- THE FOREST CONSERVATION EASEMENT(S) HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON AN APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN. HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. THE FOREST CONSERVATION REQUIREMENTS FOR THIS SITE WILL BE MET BY PROVIDING 3.9 AC. OF OFF-SITE AFFORESTATION PLANTING ON THE ADJACENT CATTAIL RIDGE SUBDIVISION (KNOWN AS F0077) 3.7 AC. TO BE LOCATED ON PRESERVATION PARCEL 'C' AND 0.2 AC. ON PRESERVATION PARCEL 'A'. THE SURETY AMOUNT WILL BE \$84,942.00 FOR THIS PROJECT. (FCE 10E11)
- STORM WATER MANAGEMENT FOR THIS PROPERTY IS PROVIDED UNDER F99145 CATTAIL RIDGE, LOCATED ON THE ADJACENT PROPERTY TO THE NORTHEAST.
- FINAL CONSTRUCTION PLANS FOR SEWAGE DISPOSAL AND WATER TREATMENT SYSTEMS, IDENTIFIED AS PAGES 8-11 AND PAGES 19-27 IN THE SITE DEVELOPMENT PLAN ARE HEREBY APPROVED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND HOWARD COUNTY BUREAU OF ENVIRONMENTAL HEALTH THROUGH THE STATE CONSTRUCTION PERMIT PROCESS. THE CONSTRUCTION OF THESE SYSTEMS SHALL CONFORM TO PLANS, AND ANY DETAILS AND SEQUENCE OF CONSTRUCTION OUTLINED IN THE CONSTRUCTION PERMIT AND LOCAL SEPTIC SYSTEM PERMIT.
- THE PROJECT IS IN CONFORMANCE WITH THE HOWARD COUNTY MASTER WATER AND SEWER PLAN AS DETERMINED BY HOWARD COUNTY GOVERNMENT AND THE MARYLAND DEPARTMENT OF THE ENVIRONMENT. THE PROJECT LISTED IN THE COUNTY MASTER WATER AND SEWER PLAN DURING THE JULY 1999 CYCLE.
- A FINAL DETERMINATION ON THE GROUND WATER DISCHARGE PERMIT HAS BEEN MADE AND PUBLISHED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT. THE DECISION WAS TO APPROVE THE PERMIT.
- THE GROUND WATER APPROPRIATION PERMIT H0976021 WAS ISSUED AND EFFECTIVE ON SEPTEMBER 1, 1998. THE PERMIT WAS ISSUED FOR A CENTRAL WATER SUPPLY FOR 116 UNITS, CATTAIL CREEK CONDOMINIUM COMPLEX.
- THE FINANCIAL PLAN AGREEMENT FOR THE OPERATION AND MAINTENANCE OF THE WATER AND SEWER UTILITIES BY THE CONDOMINIUM WILL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- THE FACILITIES WILL BE OPERATED AND MAINTAINED BY A CERTIFIED WATER AND WASTE WATER TREATMENT OPERATOR.
- EXISTING UTILITIES SHOWN ARE BASED ON CONTRACT DRAWING F-99-145.
- THE EXISTING 100 YEAR FLOODPLAIN DELINEATION SHOWN IS BASED ON THE HOWARD COUNTY FLOODPLAIN STUDY FOR CATTAIL CREEK APPROVED UNDER P 99-02 (CATTAIL RIDGE) DATED FEBRUARY 8, 1999.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL ROADWAYS WITHIN THIS SUBDIVISION ARE PRIVATE.
- NO DEVELOPER'S AGREEMENT FOR ROADS, STORM DRAINS OR S.W.M. IS NEEDED FOR THIS PROJECT. ONLY AN INSTALLATION AND MAINTENANCE AGREEMENT AND DEED OF FOREST CONSERVATION EASEMENT ARE NEEDED FOR THE OFF-SITE 3.9 ACRE FOREST CONSERVATION PROGRAM OBLIGATION ON F 0077 CATTAIL RIDGE. LANDSCAPE SURETY IS WITH THE GRADING PERMIT IN THE AMOUNT OF \$26,700.
- A BUILDING PERMIT FOR THE PROPOSED COVER BUILDING SHALL BE APPLIED FOR WITHIN ONE YEAR OF DEO APPROVAL OF THIS REV-LINE REVISION.

STATE OF MARYLAND
Professional Engineer
I, James M. Carter, hereby certify that these documents were prepared by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 207189, expiration date 2/22/02.

TRAFFIC CONTROL SIGNS				
STREET NAME	CL. STA.	OFFSET	POSTED SIGN	SIGN CODE
PLAYERS WAY	3+12	12R	ROAD NARROW	W5-1
PLAYERS WAY	4+14	12L	ROAD NARROW	W5-1
PLAYERS WAY	9+02	10R	ROAD NARROW	W5-1
PLAYERS WAY	9+96	10L	ROAD NARROW	W5-1
CALLAWAY COURT	0+26	16L	STOP	R1-1
CALLAWAY COURT	1+40	12R	ROAD NARROW	W5-1
CALLAWAY COURT	3+12	12L	ROAD NARROW	W5-1
CALLAWAY COURT	6+25	12R	ROAD NARROW	W5-1
CALLAWAY COURT	7+22	12L	ROAD NARROW	W5-1
CALLAWAY COURT	12+85	10R	ROAD NARROW	W5-1
CALLAWAY COURT	12+86	10L	ROAD NARROW	W5-1
CALLAWAY COURT	15+30	10R	ROAD NARROW	W5-1
CALLAWAY COURT	15+30	10L	ROAD NARROW	W5-1
CALLAWAY COURT	17+35	10R	ROAD NARROW	W5-1
CALLAWAY COURT	18+90	10L	ROAD NARROW	W5-1
CALLAWAY COURT	24+06	14R	STOP	R1-1
CATTAIL GREENS COURT	0+26	14L	STOP	R1-1
CATTAIL GREENS COURT	0+94	10R	ROAD NARROW	W5-1
CATTAIL GREENS COURT	1+93	10L	ROAD NARROW	W5-1

THE VILLAS AT CATTAIL CREEK

BOARD OF APPEALS CASE No. BA 00-10E
ZONING: RC-DEO
TAX MAP No: 21 GRID No. 2 PARCEL No: 229
FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND



ADDRESS CHART (90° 99-148)	
UNIT NO.	ADDRESS
49	15209 CALLAWAY COURT
50	15205 CALLAWAY COURT
51	15207 CALLAWAY COURT
52	15209 CALLAWAY COURT
53	15200 CALLAWAY COURT
54	15202 CALLAWAY COURT
55	15204 CALLAWAY COURT
56	15206 CALLAWAY COURT
57	15208 CALLAWAY COURT
58	15210 CALLAWAY COURT
59	15212 CALLAWAY COURT
60	15214 CALLAWAY COURT
61	15216 CALLAWAY COURT
62	15218 CALLAWAY COURT
63	15220 CALLAWAY COURT
64	15222 CALLAWAY COURT
65	15224 CALLAWAY COURT
66	15226 CALLAWAY COURT
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69	15232 CALLAWAY COURT
70	15234 CALLAWAY COURT
71	15236 CALLAWAY COURT
72	15238 CALLAWAY COURT
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81	15256 CALLAWAY COURT
82	15258 CALLAWAY COURT
83	15260 CALLAWAY COURT
84	15262 CALLAWAY COURT
85	15264 CALLAWAY COURT
86	15266 CALLAWAY COURT
87	15268 CALLAWAY COURT
88	15270 CALLAWAY COURT
89	15272 CALLAWAY COURT
90	15274 CALLAWAY COURT

NO.	REVISIONS	DATE
1	AS APPEARED SHEET 508 FOR THE 1998 REVISIONS TO THE 1998 SPECIFICATIONS	1/31/00

NOTE:
SEE GENERAL NOTE NO. 11 FOR REFUSE COLLECTION RESPONSIBILITIES.

NOTE:
SEE GENERAL NOTE NO. 18 THRU NO. 23 FOR REVIEW AND PERMITTING RESPONSIBILITIES OF THE PRIVATE WATER AND SEWER SYSTEM FOR THIS DEVELOPMENT.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2055

Approved for private well and private septic by Howard County Health Department.
James M. Carter 1-7-02
Health Officer Date

ENGINEER'S CERTIFICATE
I certify that the erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
James M. Carter 12-04-01
Signature of Engineer (Print name below signature) Date

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
James M. Carter 10-02-01
Signature of Developer (Print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements.
James M. Carter 12/14/01
Signature of Reviewer Date

U.S.A. - Natural Resources Conservation Service
This development plan is for soil erosion and sediment control by the Howard Soil Conservation District.
James M. Carter 12/14/01
Signature of Reviewer Date

OWNER / DEVELOPER
THE VILLAS AT CATTAIL CREEK, L.L.C.
8000 MAIN STREET
ELICOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
James M. Carter 11/15/01
Chief, Division of Land Development Date

James M. Carter 12/12/01
Chief, Development Engineering Division Date

James M. Carter 12/12/01
Director, Department of Planning and Zoning Date

PROJECT	SECTION/AREA	LOT NO.
THE VILLAS AT CATTAIL CREEK		1 - 25

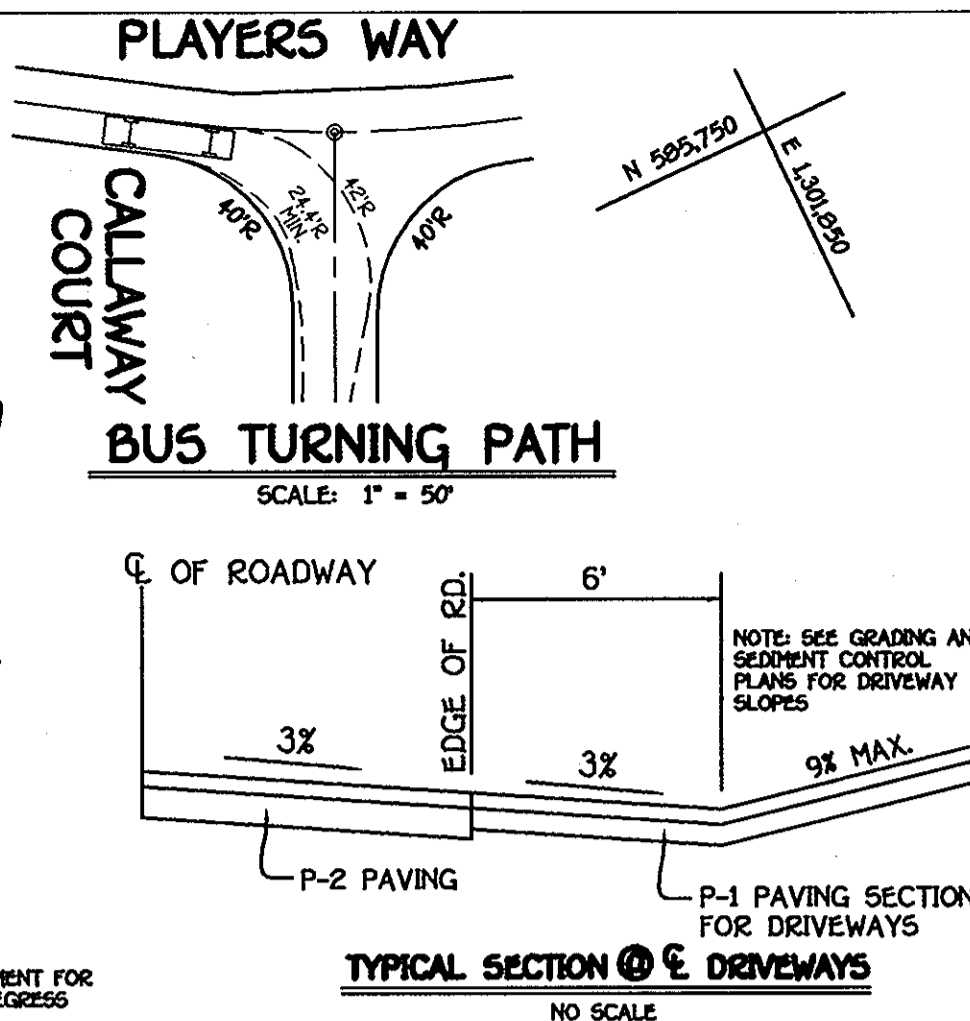
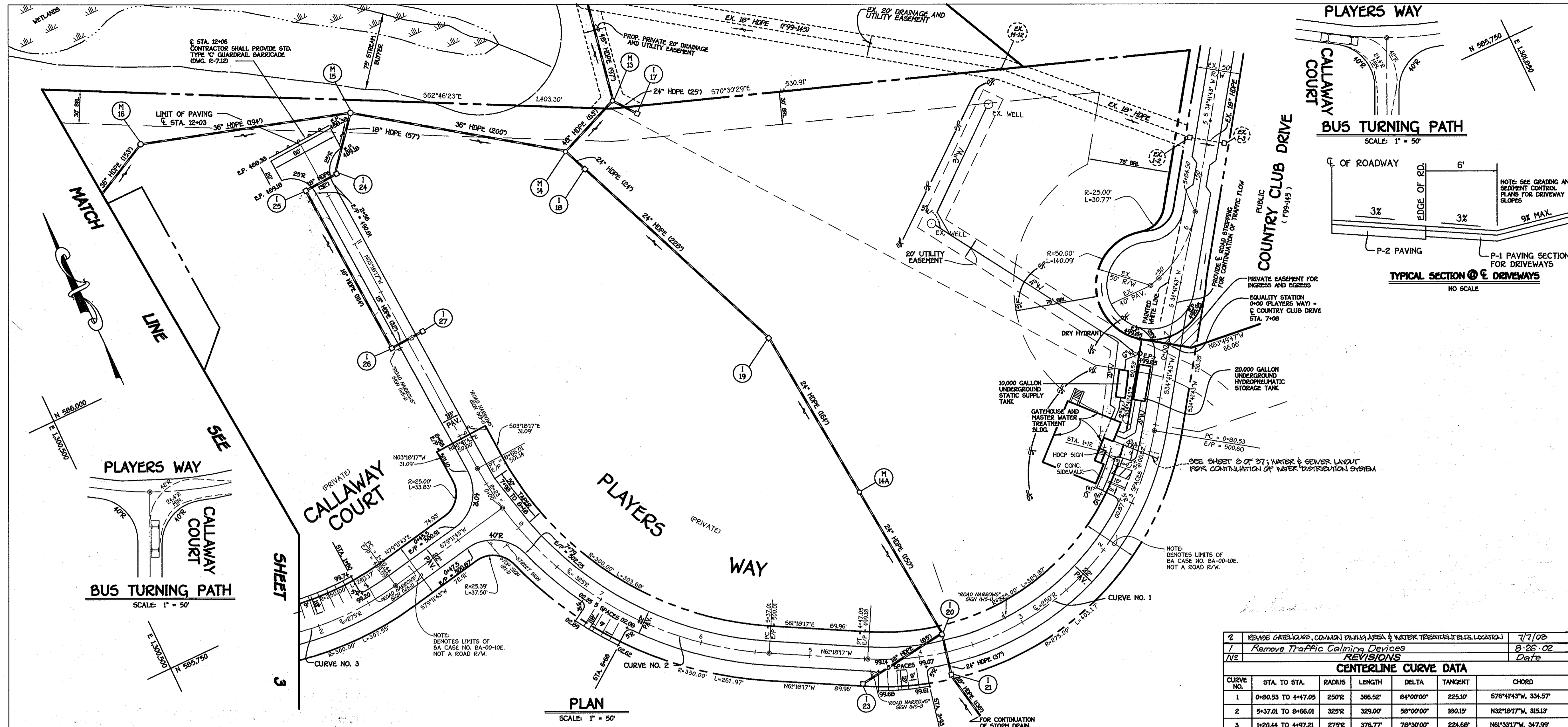
DEED	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
L. 4228, F. 442	3	RC-DEO	21	4th	

WATER CODE	SEWER CODE

COVER SHEET

SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK

ZONING: RC



CENTERLINE CURVE DATA					
CURVE NO.	STA. TO STA.	RADIUS	LENGTH	DELTA	CHORD
1	0+00.53 TO 4+47.05	250R	366.52'	84°00'00"	225.10'
2	5+37.01 TO 8+66.01	325R	329.00'	58°00'00"	190.15'
3	1+20.44 TO 4+97.21	275R	376.77'	78°30'00"	224.68'

REGISTERED PROFESSIONAL ENGINEER'S CERTIFICATE
 I certify that the grading and sediment control represents a practical and workable plan based on the site conditions and that it was prepared in accordance with the standards of the Howard Soil Conservation District.
 Signature: [Signature] Date: 10-02-01

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature: [Signature] Date: 10-02-01

Approved for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service Date: [Signature]
 This development plan is approved for soil erosion and sediment control by SOIL CONSERVATION DISTRICT.
 Howard SCD Date: [Signature]

OWNER / DEVELOPER
 THE VILLAS AT CATTAIL CREEK, L.L.C.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Cindy Hamada, Chief, Division of Land Development, Date: 1/19/02
 [Signature], Chief, Development Engineering Division, Date: 12/12/01
 [Signature], Director, Department of Planning and Zoning, Date: 1/25/02

PROJECT: THE VILLAS AT CATTAIL CREEK SECTION/AREA: UNITS: 1 - 25
 DEED: L 422B F. 442 BLOCK NO. 3 ZONE RC-DEO TAX/ZONE 21 ELEC. DIST. 4th CENSUS TR. ---
 WATER CODE --- SEWER CODE ---

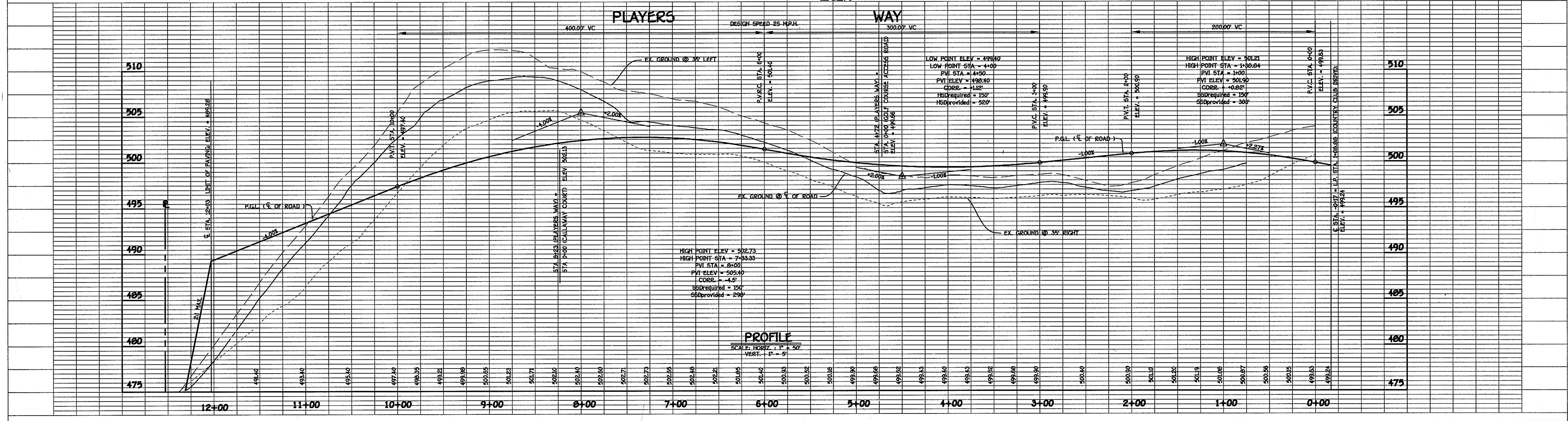
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
 ZONING: RC-DEO
 TAX MAP No: 21 PARCEL: 229
 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

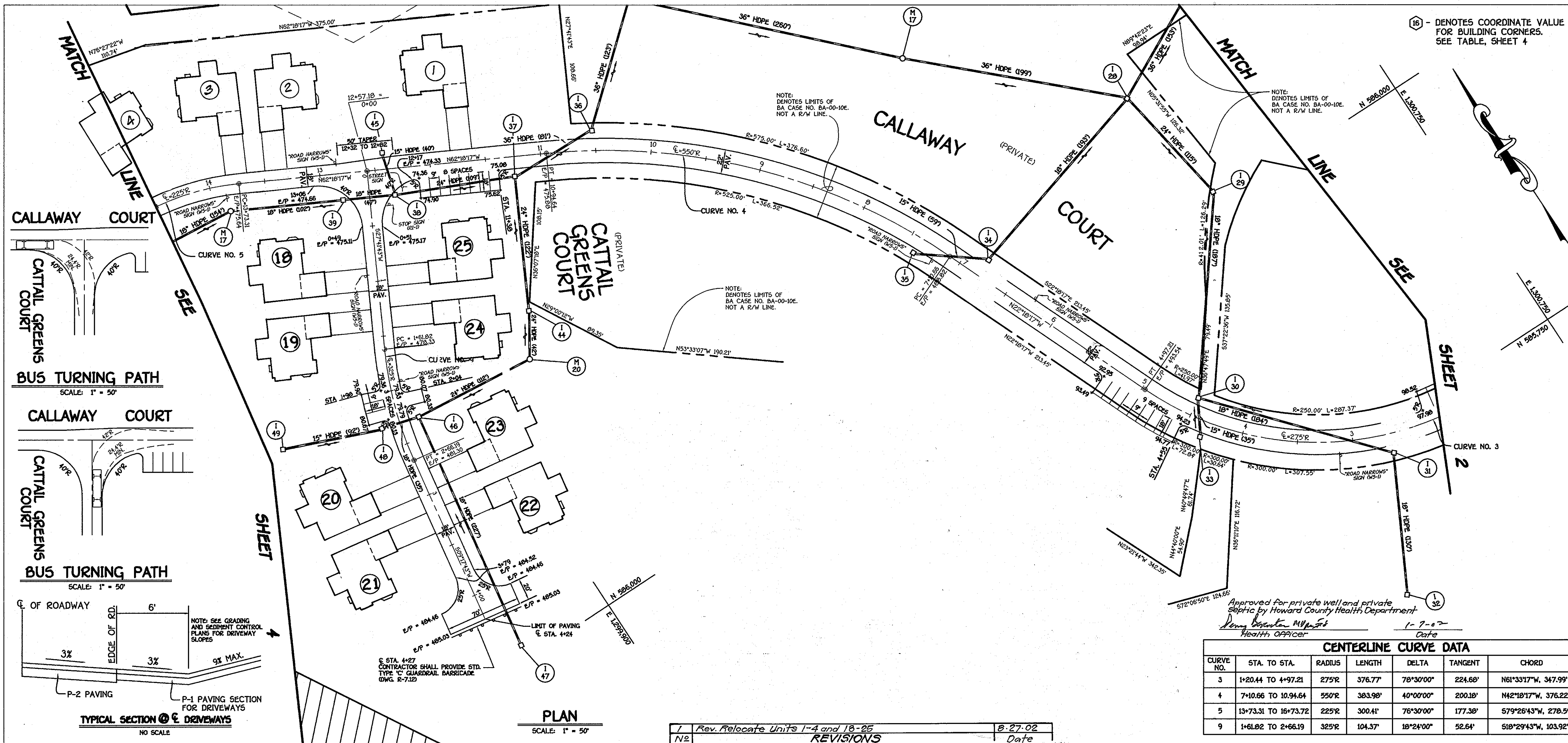
Approved for private well and private septic by Howard County Health Department.
 [Signature], Health Officer, Date: 1-7-07

PLAYERS WAY **CALLAWAY COURT**
 PLAN AND PROFILE

SCALE: AS SHOWN DATE: SEPTEMBER, 2001 DWG. NO. 2 OF 37
 DES. AMV. DRN. J.C.L. CHK. AMV.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS, CONSULTANTS & LAND SURVEYORS
 10000 SOUTHWEST OFFICE PARK - 10722 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21032
 REG. NO. 12959





16 - DENOTES COORDINATE VALUE FOR BUILDING CORNERS. SEE TABLE, SHEET 4

ENGINEER'S CERTIFICATE

I certify that the plan and sediment control represents a practical and workable plan based on a study of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *[Signature]* Name below signature: *[Name]* Date: 10-02-01

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer (Print name below signature): *[Signature]* Date: 11/29/01

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A. - Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD: *[Signature]* Date: *[Date]*

OWNER / DEVELOPER

THE VILLAS AT CATTAIL CREEK, L.L.C.
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *[Signature]* Date: 11/18/01

Chief, Development Engineering Division: *[Signature]* Date: 12/12/01

Director, Department of Planning and Zoning: *[Signature]* Date: 11/25/02

PROJECT	SECTION/AREA	UNITS			
THE VILLAS AT CATTAIL CREEK		1 - 25			
DEED	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
L. 422B F. 442	3	RC-DEO	21	4th	
WATER CODE	SEWER CODE				

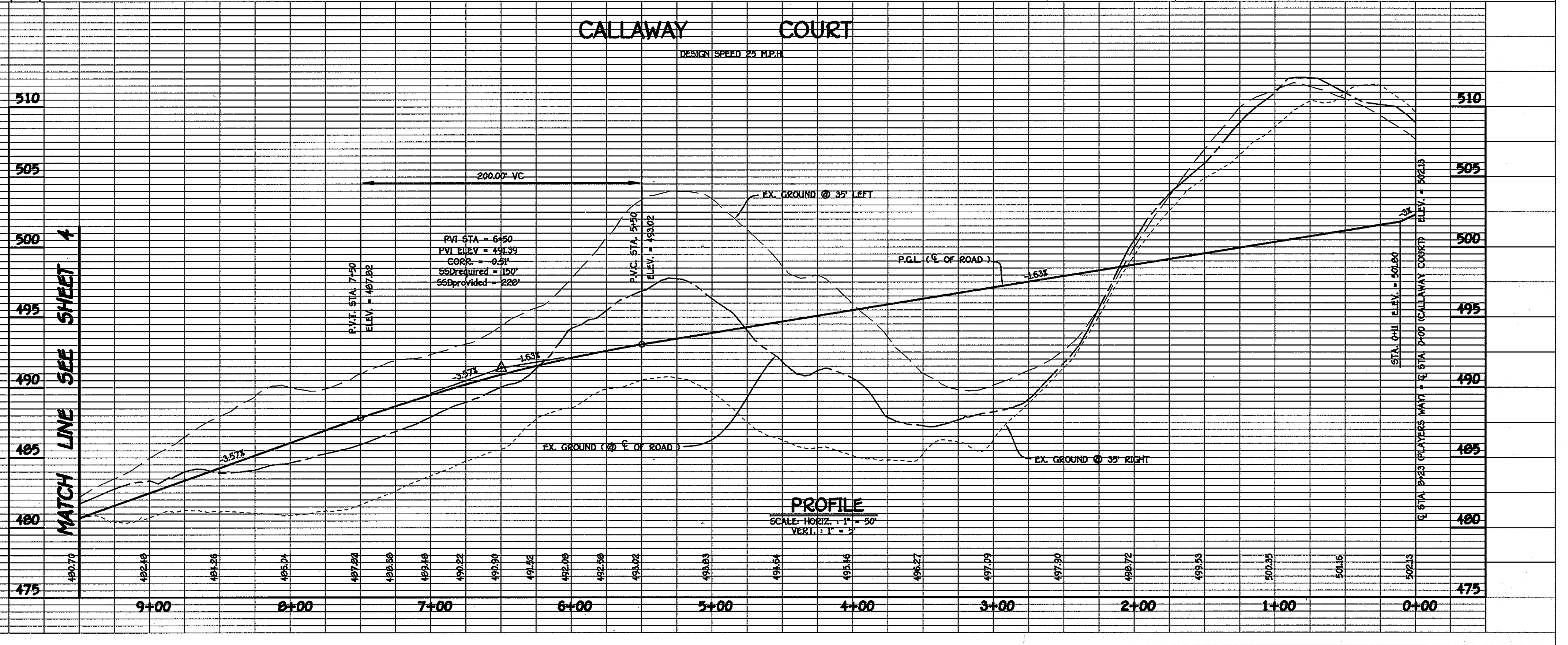
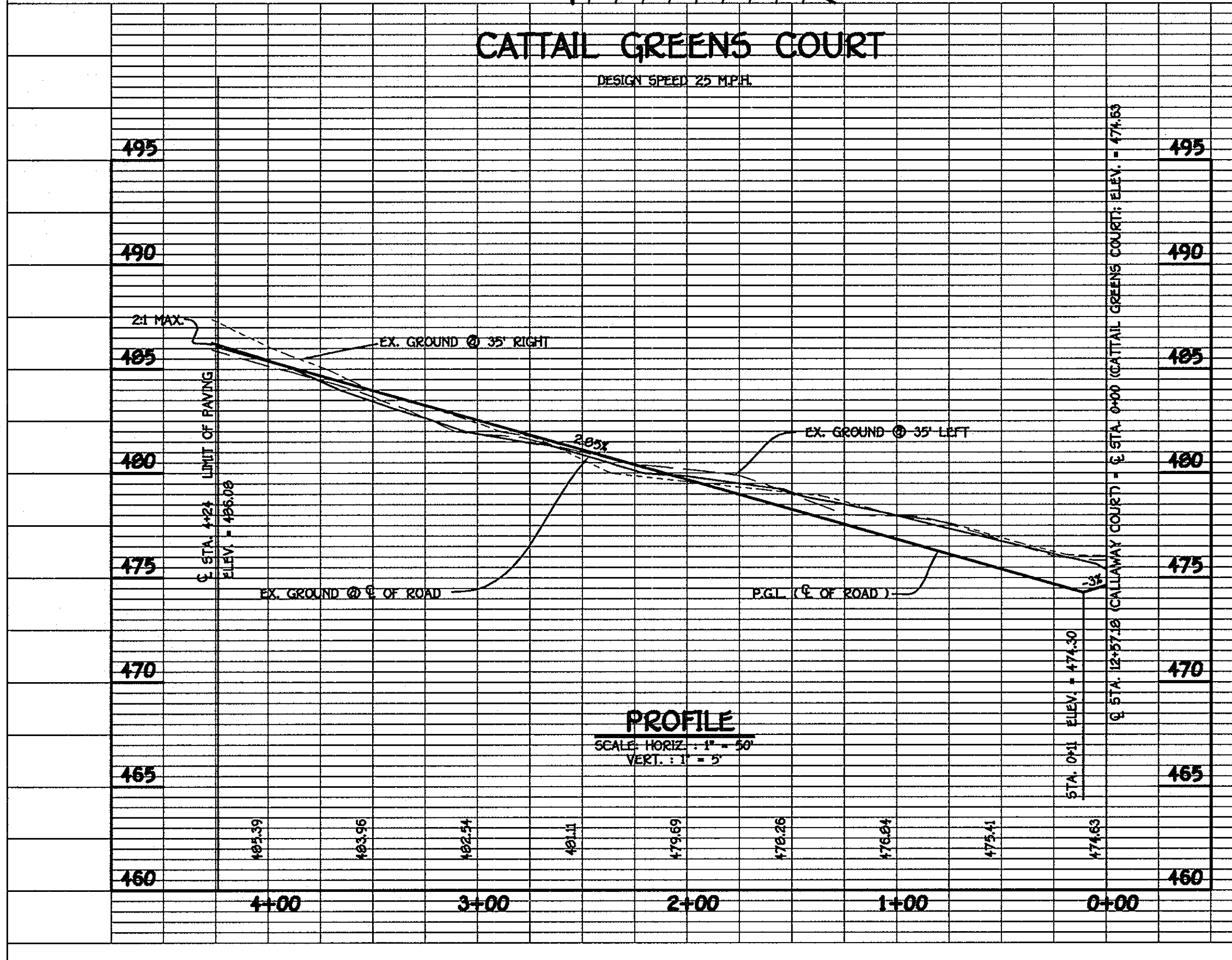
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
ZONING: RC-DEO
TAX MAP No: 21 PARCEL: 229
FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

CALLAWAY COURT PLAN AND PROFILE
CATTAIL GREENS COURT PLAN AND PROFILE

CENTERLINE CURVE DATA

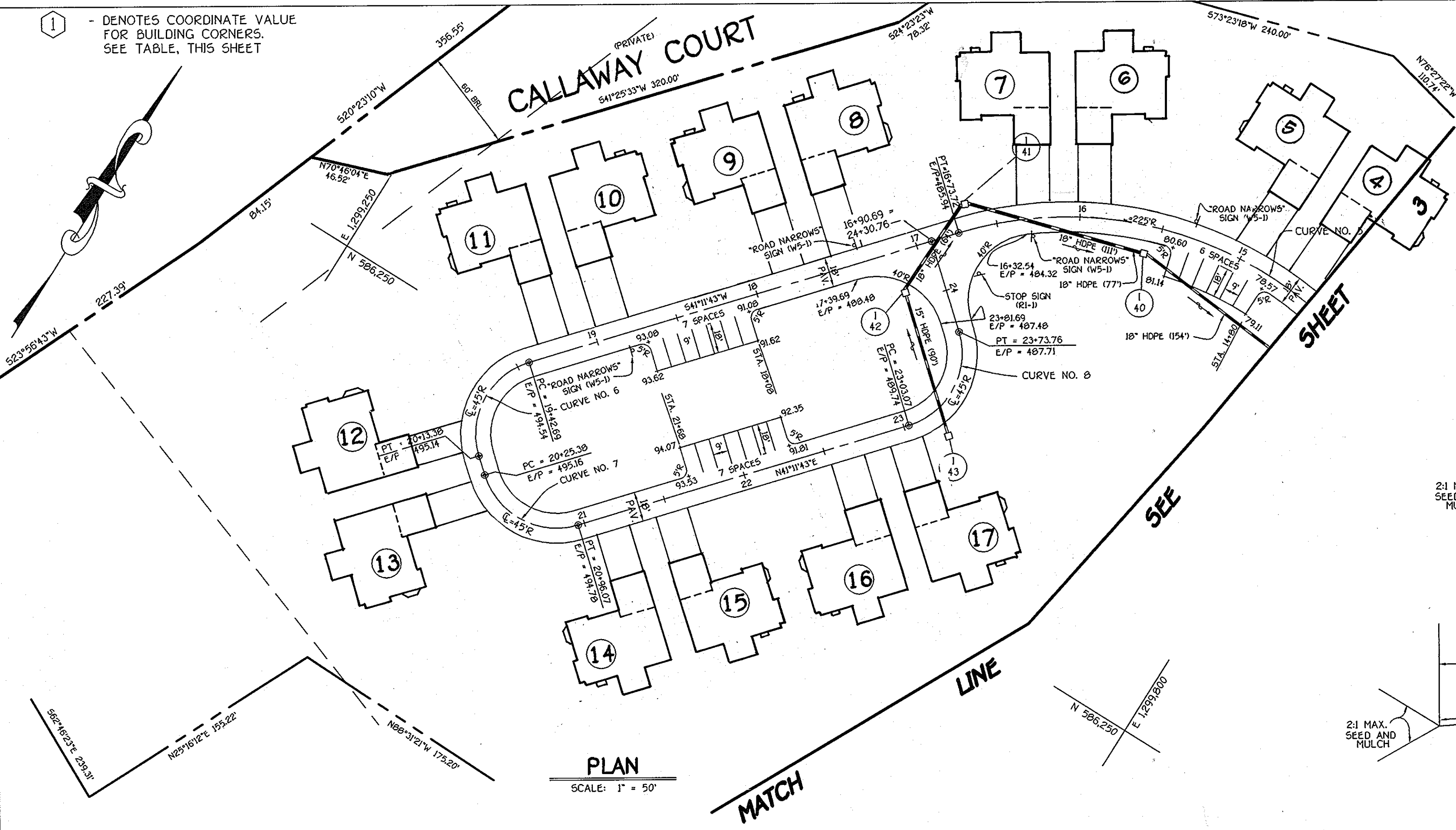
CURVE NO.	STA. TO STA.	RADIUS	LENGTH	DELTA	TANGENT	CHORD
3	1+20.44 TO 4+97.21	275' R	376.77'	79°30'00"	224.68'	N61°33'17"W, 347.99'
4	7+10.66 TO 10.94.64	550' R	383.98'	40°00'00"	200.18'	N42°10'17"W, 376.22'
5	13+73.31 TO 16+73.72	225' R	300.41'	76°30'00"	177.38'	S79°26'43"W, 278.59'
9	1+61.82 TO 2+66.19	325' R	104.37'	18°24'00"	92.64'	S19°29'43"W, 103.92'

Rev. Relocate Units 1-4 and 16-25
REVISIONS
8-27-02
Date

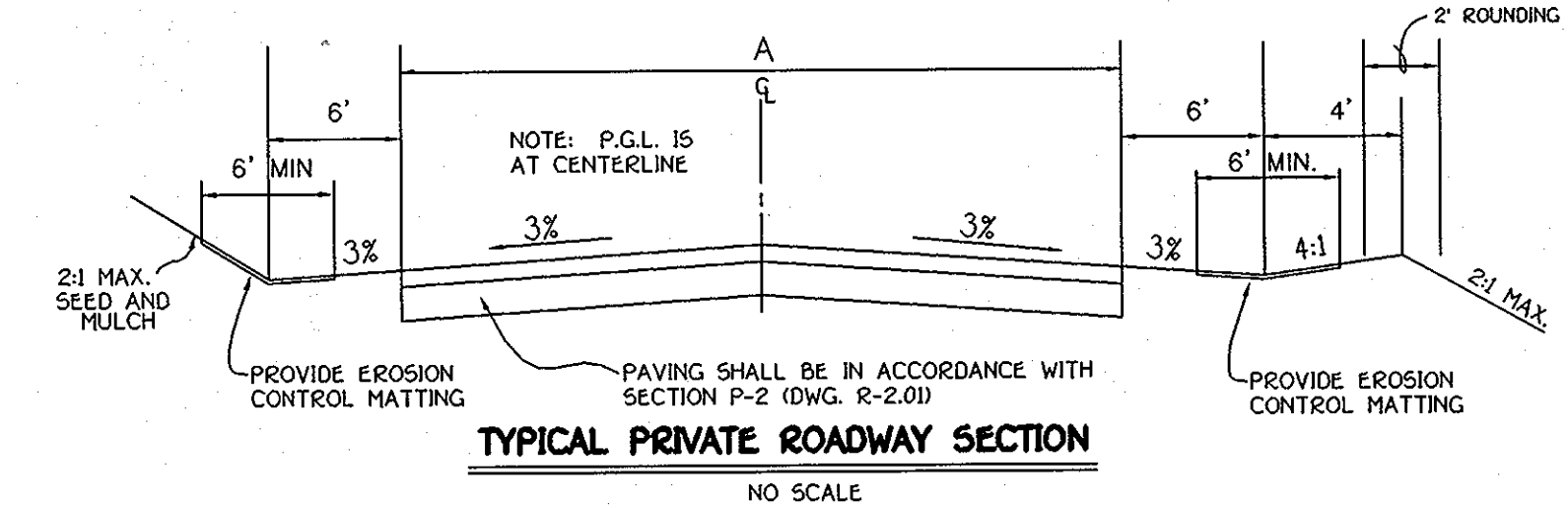


BUILDING CORNER LOCATIONS		
CORNER NUMBER	NORTH	EAST
1	506495.02	1300139.22
2	506497.27	1300085.54
3	506495.25	1300070.26
4	506523.49	1300016.58
5	506565.15	1299932.65
6	506990.39	1299878.97
7	506616.62	1299856.90
8	506626.25	1299798.03
9	506359.80	1300001.86
10	506306.10	1299976.10
11	506299.99	1299969.53
12	506237.60	1299940.75
13	506216.79	1299931.90
14	506156.91	1299922.19
15	506140.60	1299919.46
16	506090.73	1299909.75
17	506104.74	1299704.91
18	506165.59	1299714.80
19	506191.06	1299710.16
20	506250.91	1299728.05
21	506335.44	1299757.25
22	506338.76	1299786.20
23	506405.55	1299794.30
24	506456.86	1299823.24
25	506634.86	1299753.11
26	506631.06	1299662.57
27	506662.34	1299648.00
28	506607.75	1299587.39
29	506577.85	1299538.78
30	506535.84	1299495.02
31	506512.03	1299470.74
32	506465.84	1299431.42
33	506451.96	1299420.31
34	506406.16	1299380.53
35	506333.17	1299369.14
36	506317.52	1299329.19
37	506333.47	1299317.33
38	506287.67	1299277.55
39	506158.23	1299274.48
40	506117.84	1299319.73
41	506106.20	1299332.17
42	506065.81	1299377.42
43	506084.58	1299507.47
44	506130.37	1299547.24
45	506152.99	1299555.81
46	506198.60	1299595.75
47	506203.65	1299613.47
48	506249.30	1299653.42
49	506263.70	1299666.03
50	506309.50	1299705.81

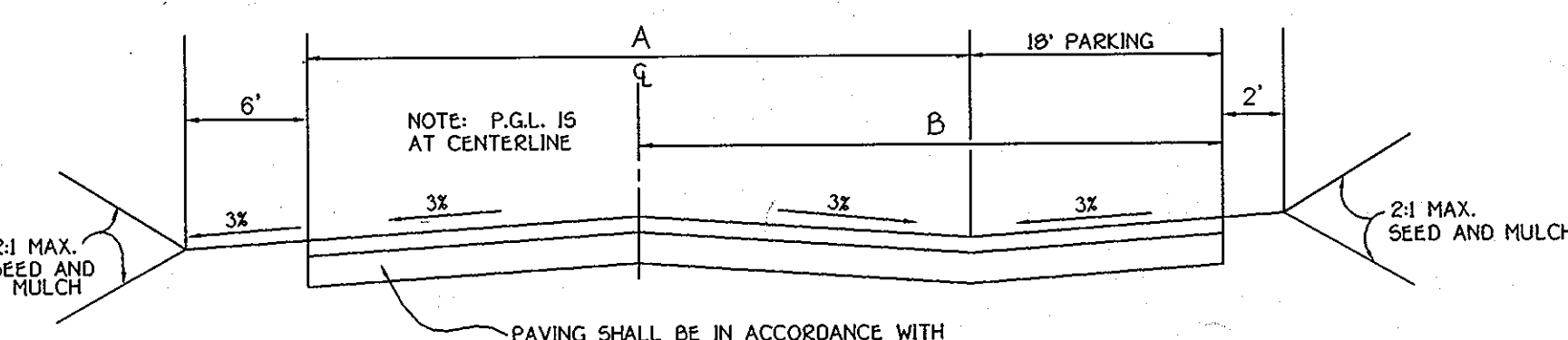
① - DENOTES COORDINATE VALUE FOR BUILDING CORNERS. SEE TABLE, THIS SHEET.



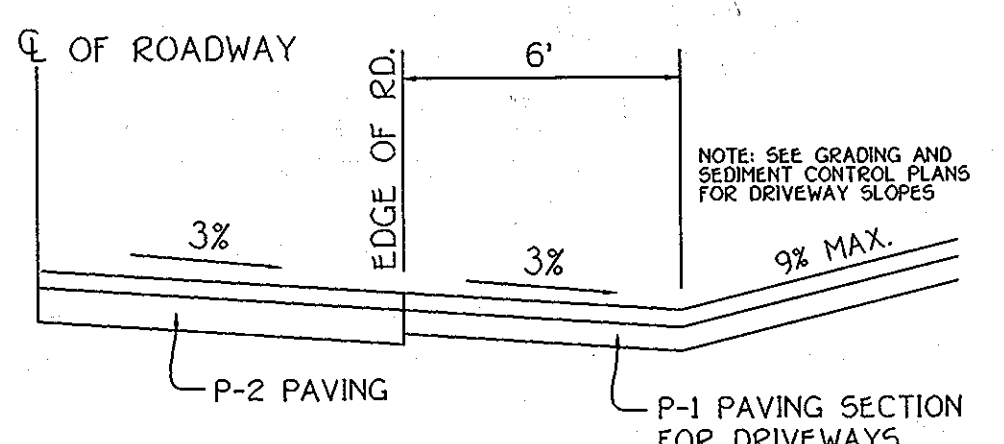
PLAN
SCALE: 1" = 50'



TYPICAL PRIVATE ROADWAY SECTION
NO SCALE



TYPICAL PRIVATE ROADWAY SECTION WITH OFF STREET PARKING
NO SCALE



TYPICAL SECTION @ DRIVEWAYS
NO SCALE

PRIVATE ROADWAY INFORMATION CHART						
ROAD NAME	DESIGN SPEED	ZONING	STATION LIMITS	PAVING SECTION	A	B
PLAYERS WAY	25 MPH	RC-DEO	0+17 TO 8+23	P-2	22'	29'
PLAYERS WAY	25 MPH	RC-DEO	8+23 TO 12+03	P-2	18'	27'
CALLAWAY COURT	25 MPH	RC-DEO	0+00 TO 12+57.18	P-2	22'	29'
CALLAWAY COURT	25 MPH	RC-DEO	12+57.18 TO 24+30.76	P-2	18'	27'
CATTAIL GREENS COURT	25 MPH	RC-DEO	0+00 TO 4+24	P-2	18'	27'

CENTERLINE CURVE DATA						
CURVE NO.	STA. TO STA.	RADIUS	LENGTH	DELTA	TANGENT	CHORD
5	13+73.31 TO 16+73.72	225'R	300.41'	76°30'00"	177.38'	579°26'43"W, 278.59'
6	19+42.69 TO 20+13.38	45'R	70.69'	90°00'00"	45.00'	503°48'17"E, 63.64'
7	20+25.38 TO 20+96.07	45'R	70.69'	90°00'00"	45.00'	586°11'43"W, 63.64'
8	23+03.07 TO 23+73.76	45'R	70.69'	90°00'00"	45.00'	N03°48'17"W, 63.64'

No.	REVISIONS	Date
1	Revise House Locations 4-17, Remove Traffic Calming Devices	8-28-02

ENGINEER'S CERTIFICATE
I certify that this plan for... control represents a practical and workable plan based on my personal... conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic onsite inspection by the Howard Soil Conservation District.

Signature of Engineer: *[Signature]* Date: 7-29-01
Signature of Developer: *[Signature]* Date: 11/29/01

U.S.D.A.-Natural Resources Conservation Service
Approved for private well and private septic by Howard County Health Department.
Signature: *[Signature]* Date: 1-7-02
Health Officer

OWNER / DEVELOPER
THE VILLAS AT CATTAIL CREEK, L.L.C.
8000 MAIN STREET
ELICOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: *[Signature]* Date: 11/10/02
Chief, Division of Land Development
Signature: *[Signature]* Date: 12/12/01
Chief, Development Engineering Division
Signature: *[Signature]* Date: 11/23/02
Director, Department of Planning and Zoning

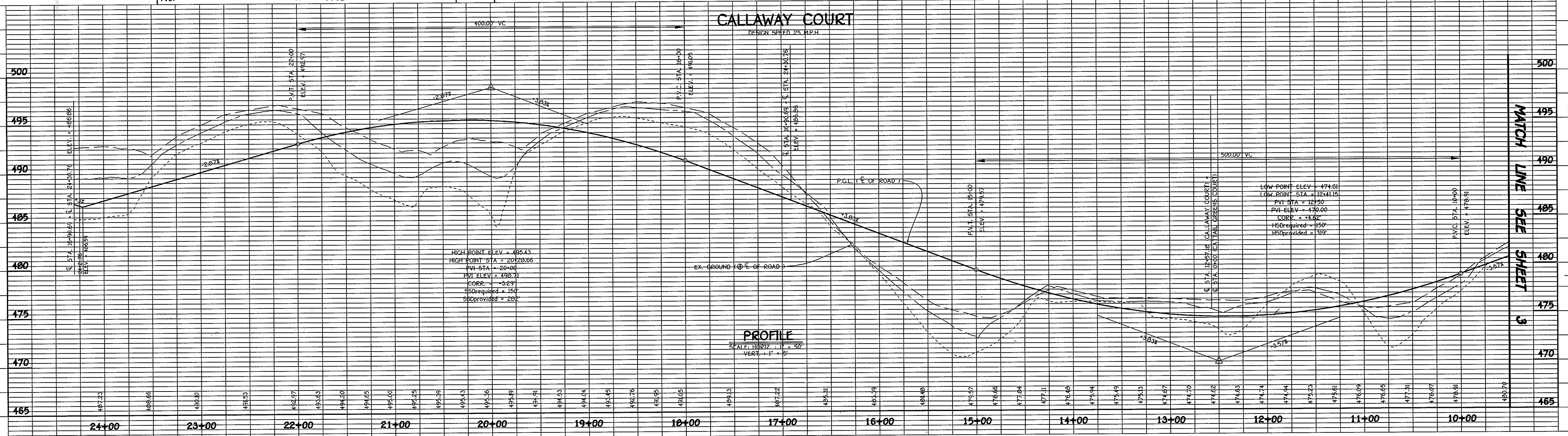
PROJECT: THE VILLAS AT CATTAIL CREEK SECTION/AREA: 1 - 25 UNITS
DEED: BLOCK NO. 3 ZONE RC-DEO TAX/ZONE 21 ELEC. DIST. 4th CENSUS TR. -----
L. 422B F. 442 WATER CODE ----- SEWER CODE -----

SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
ZONING: RC-DEO
TAX MAP No: 21 PARCEL: 229
FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

CALLAWAY COURT
PLAN AND PROFILE

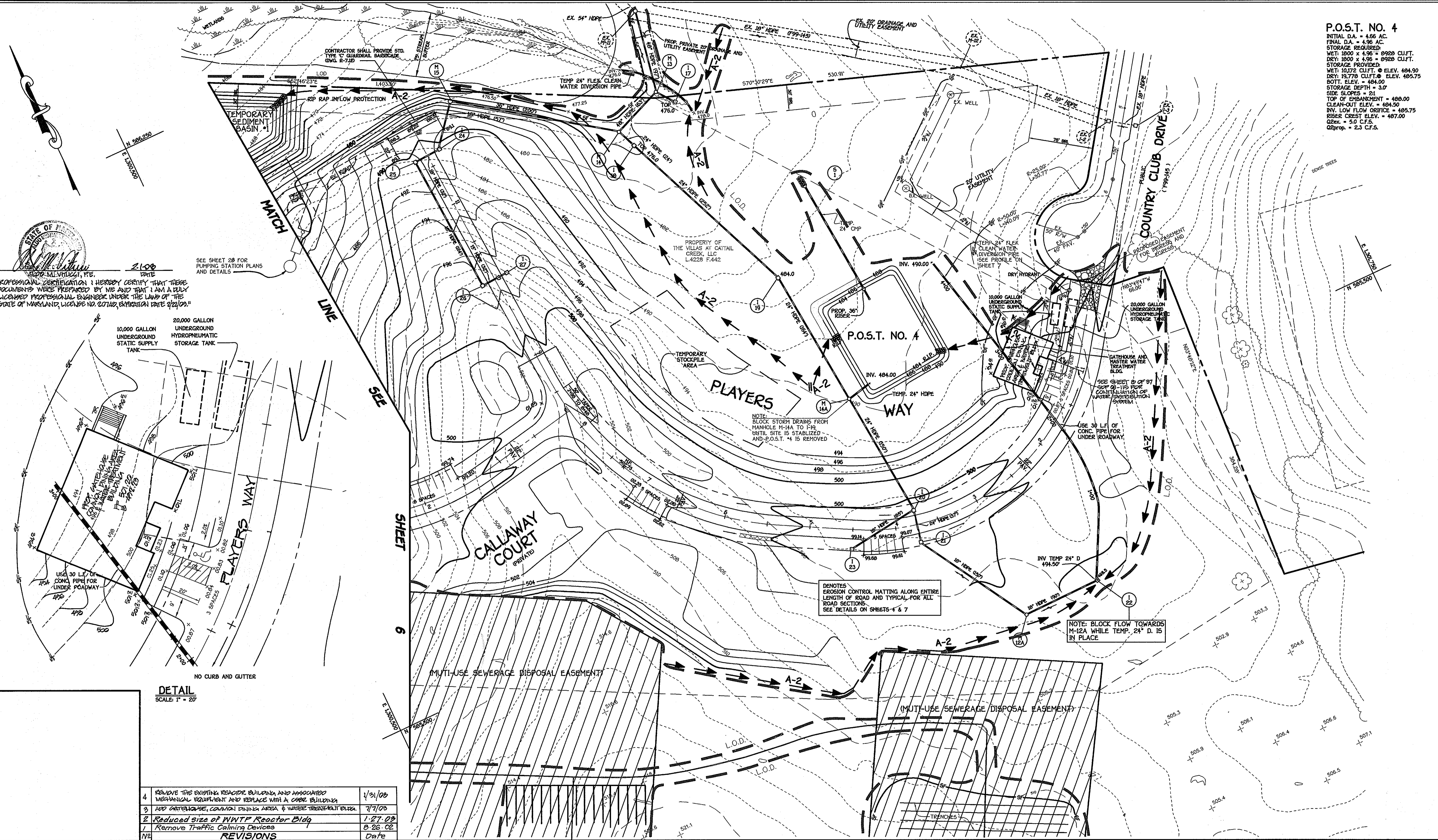
SCALE: AS SHOWN DATE: SEPTEMBER, 2001 DWG. NO. 4 OF 37
DES. A.M.V. DRN. J.C.L. CHK. A.M.V.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL PEE
ELICOTT CITY, MARYLAND 21043
(410) 461-3895



PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

P.O.S.T. NO. 4
 INITIAL D.A. = 4.96 AC.
 FINAL D.A. = 4.96 AC.
 STORAGE REQUIRED:
 WET: 1200 x 4.96 = 5928 CUFT.
 DRY: 1800 x 4.96 = 8928 CUFT.
 STORAGE PROVIDED:
 WET: 10,172 CUFT. @ ELEV. 484.50
 DRY: 15,778 CUFT. @ ELEV. 485.75
 BOTT. ELEV. = 484.00
 STORAGE DEPTH = 3.0'
 SIDE SLOPES = 2:1
 TOP OF EMBANKMENT = 488.00
 CLEAN-OUT ELEV. = 484.50
 INV. LOW FLOW ORIFICE = 485.75
 RISER CREST ELEV. = 487.00
 Q2ex = 5.0 C.F.S.
 Q2prop = 2.3 C.F.S.



STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 License No. 20748, Expiration Date 12/31/09

DATE: 11-29-01

SEE SHEET 20 FOR PUMPING STATION PLANS AND DETAILS

10,000 GALLON UNDERGROUND STATIC SUPPLY TANK

20,000 GALLON UNDERGROUND HYDRO-PNEUMATIC STORAGE TANK

DETAIL SCALE: 1" = 20'

NO.	REVISIONS	DATE
4	REMOVE THE EXISTING REACTOR BUILDING AND ASSOCIATED MECHANICAL EQUIPMENT AND REPLACE WITH A COVER BUILDING	1/21/08
3	ADD GATEHOUSE, COMMON DINING AREA & WATER TREATMENT BLDG.	7/7/08
2	Reduced size of WWTP Reactor Bldg	1-27-08
1	Remove Traffic Calming Devices	8-26-08

ENGINEER'S CERTIFICATE
 I certify that the soil erosion and sediment control represents a practical and workable plan based on the personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) *John M. Carter* Date: 11-29-01

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer (Print name below signature) *John M. Carter* Date: 11/29/01

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S. Fish & Wildlife Service
 Conservation Service
 Date: 12/1/01

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Date: 12/1/01

OWNER / DEVELOPER
 THE VILLAS AT CATTAIL CREEK, L.L.C.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Date: 11/18/01

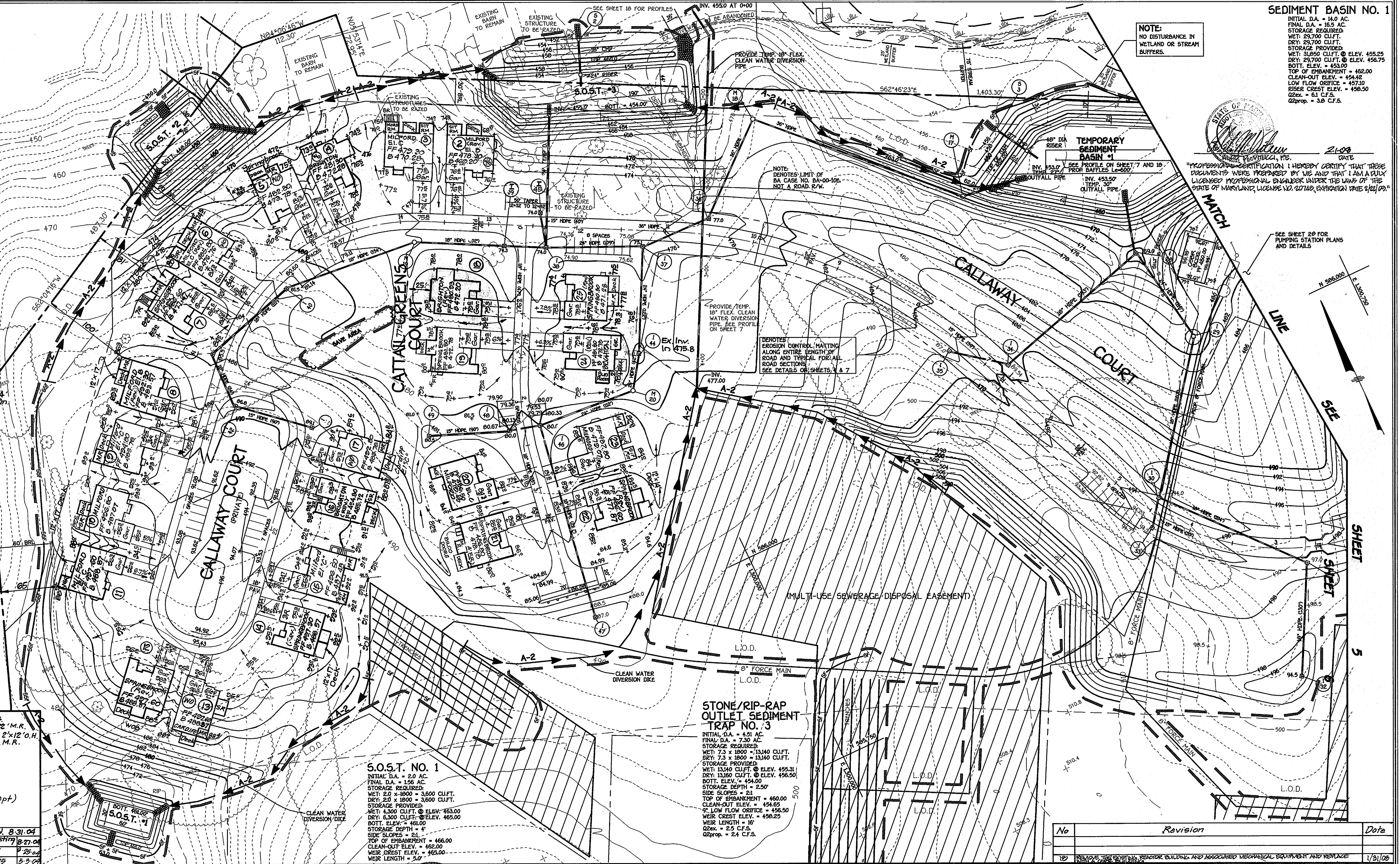
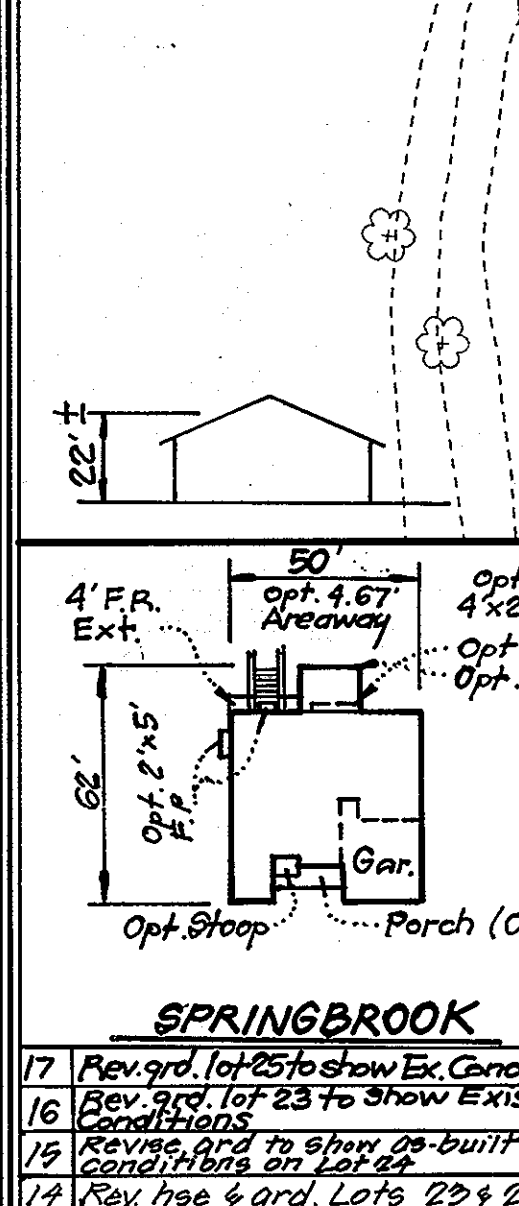
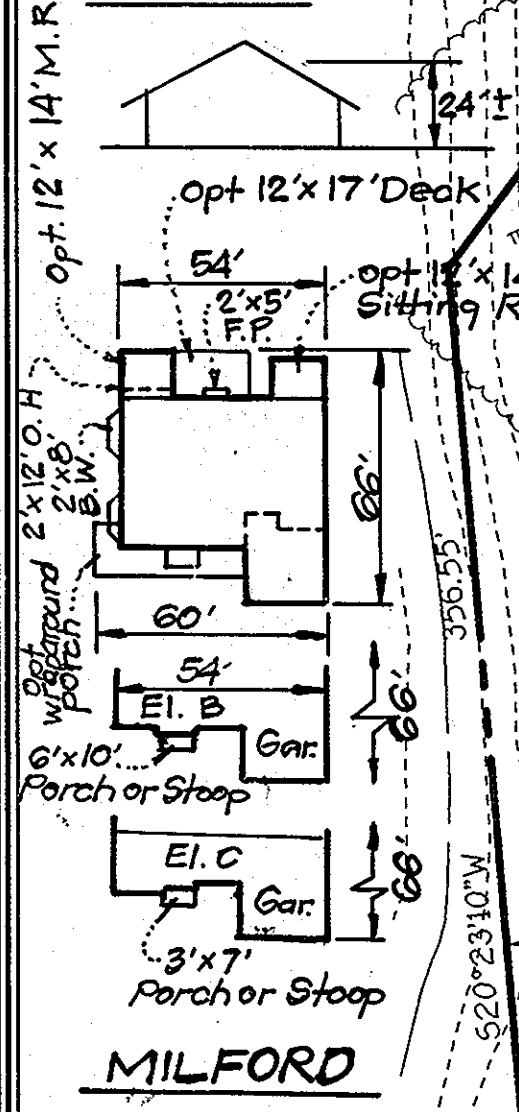
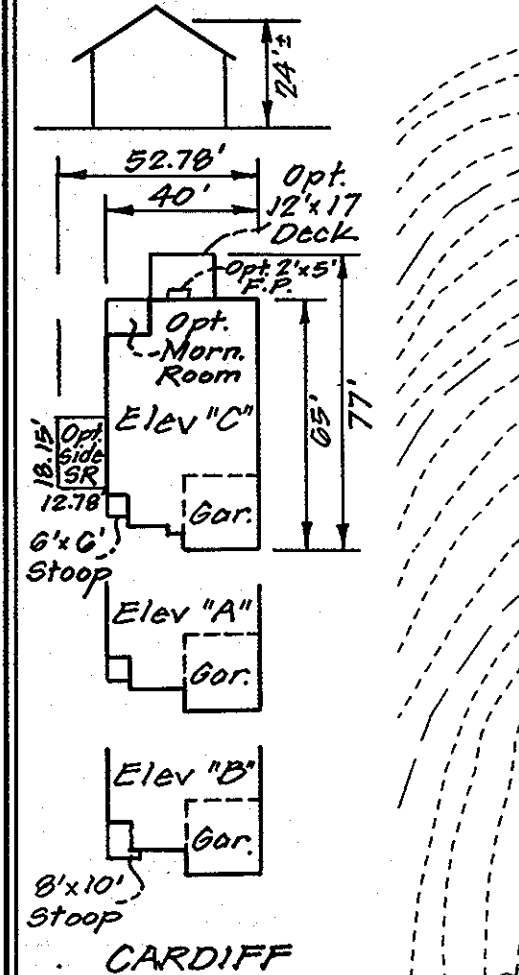
Chief, Development Engineering Division
 Director, Department of Planning and Zoning
 Date: 12/12/01

DEED	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
L. 4228, F. 442	3	RC-DEO	21	4th	---

GRADING AND SEDIMENT CONTROL
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
 ZONING: RC-DEO
 TAX MAP No: 21 PARCEL: 3
 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: OCTOBER, 2001
 SHEET 5 OF 37

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL Fwy.
 ELLICOTT CITY, MARYLAND 21114
 410.461.2555

5.05.T. NO. 2
 INITIAL D.A. = 388 AC.
 FINAL D.A. = 160 AC.
 STORAGE REQUIRED:
 WET: 388 x 1800 = 6,984 CUFT.
 DRY: 388 x 1800 = 6,984 CUFT.
 STORAGE PROVIDED:
 WET: 7,000 CUFT. @ ELEV. 450.00
 DRY: 9,000 CUFT. @ ELEV. 452.00
 BOTT. ELEV. = 448.00
 STORAGE DEPTH = 4'
 SIDE SLOPES = 2:1
 TOP OF EMBANKMENT = 453.00
 CLEAN-OUT ELEV. = 449.00
 WEIR CREST ELEV. = 452.00
 WEIR LENGTH = 10.0'



SEDIMENT BASIN NO. 1
 INITIAL D.A. = 14.0 AC.
 FINAL D.A. = 16.5 AC.
 STORAGE REQUIRED:
 WET: 3,880 CUFT. @ ELEV. 455.25
 DRY: 29,700 CUFT. @ ELEV. 456.75
 STORAGE PROVIDED:
 WET: 3,880 CUFT. @ ELEV. 455.25
 DRY: 29,700 CUFT. @ ELEV. 456.75
 CLEAN-OUT ELEV. = 452.00
 TOP OF EMBANKMENT = 454.42
 LOW FLOW ORIFICE = 457.30
 RIDGE CREST ELEV. = 458.50
 ORIF. = 6.1 C.F.S.
 ORIF. = 3.8 C.F.S.

NOTE:
 NO DISTURBANCE IN
 WETLAND OR STREAM
 BUFFERS.

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 JOHN M. ALLEN, P.E.
 2109
 DATE
 "PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20740, EXPIRATION DATE 04/01/09."

SEE SHEET 28 FOR
 PUMPING STATION PLANS
 AND DETAILS

NOTE:
 DENOTES LIMIT OF
 DA CASE NO. DA-00-102
 NOT A ROAD E/W.

PROVIDE TEMP. 18" FLEX.
 CLEAN WATER DIVERSION
 PIPE. SEE PROFILE
 ON SHEET 7.

STONE/RIP-RAP
 OUTLET SEDIMENT
 TRAP NO. 3
 INITIAL D.A. = 4.51 AC.
 FINAL D.A. = 7.30 AC.
 STORAGE REQUIRED:
 WET: 13,140 CUFT. @ ELEV. 454.62
 DRY: 13,160 CUFT. @ ELEV. 456.50
 STORAGE PROVIDED:
 WET: 13,140 CUFT. @ ELEV. 454.62
 DRY: 13,160 CUFT. @ ELEV. 456.50
 BOTT. ELEV. = 454.00
 STORAGE DEPTH = 2.50'
 SIDE SLOPES = 2:1
 TOP OF EMBANKMENT = 460.00
 CLEAN-OUT ELEV. = 454.62
 2" LOW FLOW ORIFICE = 456.50
 WEIR CREST ELEV. = 458.25
 WEIR LENGTH = 16'
 ORIF. = 2.5 C.F.S.
 ORIF. = 2.4 C.F.S.

Approved for private well and private septic by Howard County Health Department.
 Dennis B. Smith, M.D., M.P.H., Health Officer, 1-7-03

No	Revision	Date
17	Rev. grad. lot 25 to show Ex. Cond.	8-31-04
16	Rev. grad. lot 23 to show EXISTING	8-27-04
15	Revise and to show on built	8-25-04
14	Rev. hse. & grad. Lots 22 & 25	5-9-04
13	Rev. hse. & grad. Lots 2 & 3	4-14-04
12	Rev. hse. & grad. Lots 4 & 5	2-12-04
11	Rev. hse. & grad. Lot 21	2/10/04
10	Rev. hse. & grad. Lot 20	1/10/04
9	Rev. hse. & grad. Lots 19 & 21	11-8-04
8	Revise house & grading on Lot 16	12-5-03
7	Revise house & grading on Lot 6	11-18-03
6	Revise house & grade Lots 5, 9, 15 & 17	10-21-03
5	Added Cardiff hse types; revise hse & grade Lots 10 & 13	9-5-03
4	Add Springbrook and MILFORD hse. types; Revise hse. and grade Lots 3, 8, 11, 12, 14 and 22	3-25-03
3	Rev. hse. type Unit 18 from Balconest to Brighton	1-27-03
2	Reduced size of WWTP Reactor Bldg	8-27-02
1	Rev. hse. and grade All Units	8-27-02
NS	REVISIONS	

5.05.T. NO. 1
 INITIAL D.A. = 2.0 AC.
 FINAL D.A. = 1.56 AC.
 STORAGE REQUIRED:
 WET: 2.0 x 1800 = 3,600 CUFT.
 DRY: 2.0 x 1800 = 3,600 CUFT.
 STORAGE PROVIDED:
 WET: 4,300 CUFT. @ ELEV. 463.00
 DRY: 6,300 CUFT. @ ELEV. 465.00
 BOTT. ELEV. = 461.00
 STORAGE DEPTH = 4'
 SIDE SLOPES = 2:1
 TOP OF EMBANKMENT = 466.00
 CLEAN-OUT ELEV. = 462.00
 WEIR CREST ELEV. = 465.00
 WEIR LENGTH = 5.0'

ENGINEER'S CERTIFICATE
 I certify that the site plan and sediment control represents a practical and workable plan based on the actual knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Professional Engineer: [Signature] Date: 11-29-01

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (Print name below signature): [Signature] Date: 11/29/01

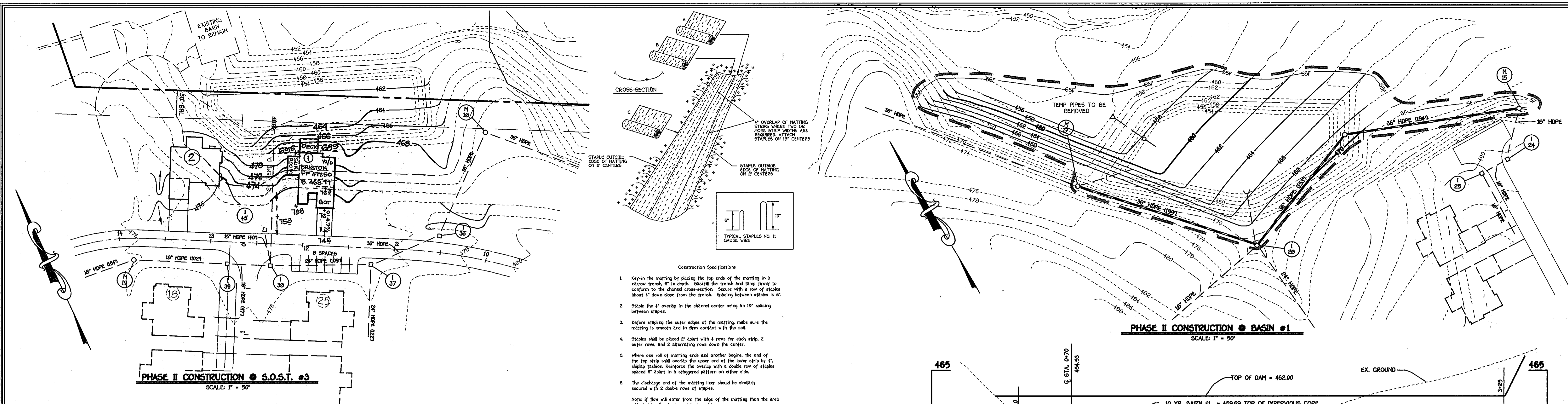
Approved for HOWARD SCD and meets Technical Requirements.
 U.S.D.A. Natural Resources Conservation Service
 Signature: [Signature] Date: 12/4/01
 Signature: [Signature] Date: 12/1/01

OWNER / DEVELOPER
 THE VILLAS AT CATTAIL CREEK, L.L.C.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: [Signature] Date: 11/10/02
 Chief, Development Engineering Division: [Signature] Date: 12/12/01
 Director, Department of Planning and Zoning: [Signature] Date: 12/5/02

PROJECT	SECTION/AREA	LOT NO.
THE VILLAS AT CATTAIL CREEK		1 - 25
DEED	BLOCK NO.	ZONE
L. 4228, F. 442	3	RC-DEO
TAX/ZONE	ELEC. DIST.	CENSUS TR.
21	4th	
WATER CODE	SEWER CODE	

GRADING AND SEDIMENT CONTROL
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
 ZONING: RC-DEO
 TAX MAP No: 21 PARCEL: 3
 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: SEPTEMBER, 2001
 SHEET 6 OF 37



- Construction Specifications**
- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
 - Staple the 4" overlap in the channel center using an 18" spacing between staples.
 - Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
 - Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
 - Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shingle fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
 - The discharge end of the matting liner should be similarly secured with 2 double rows of staples.
- Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.

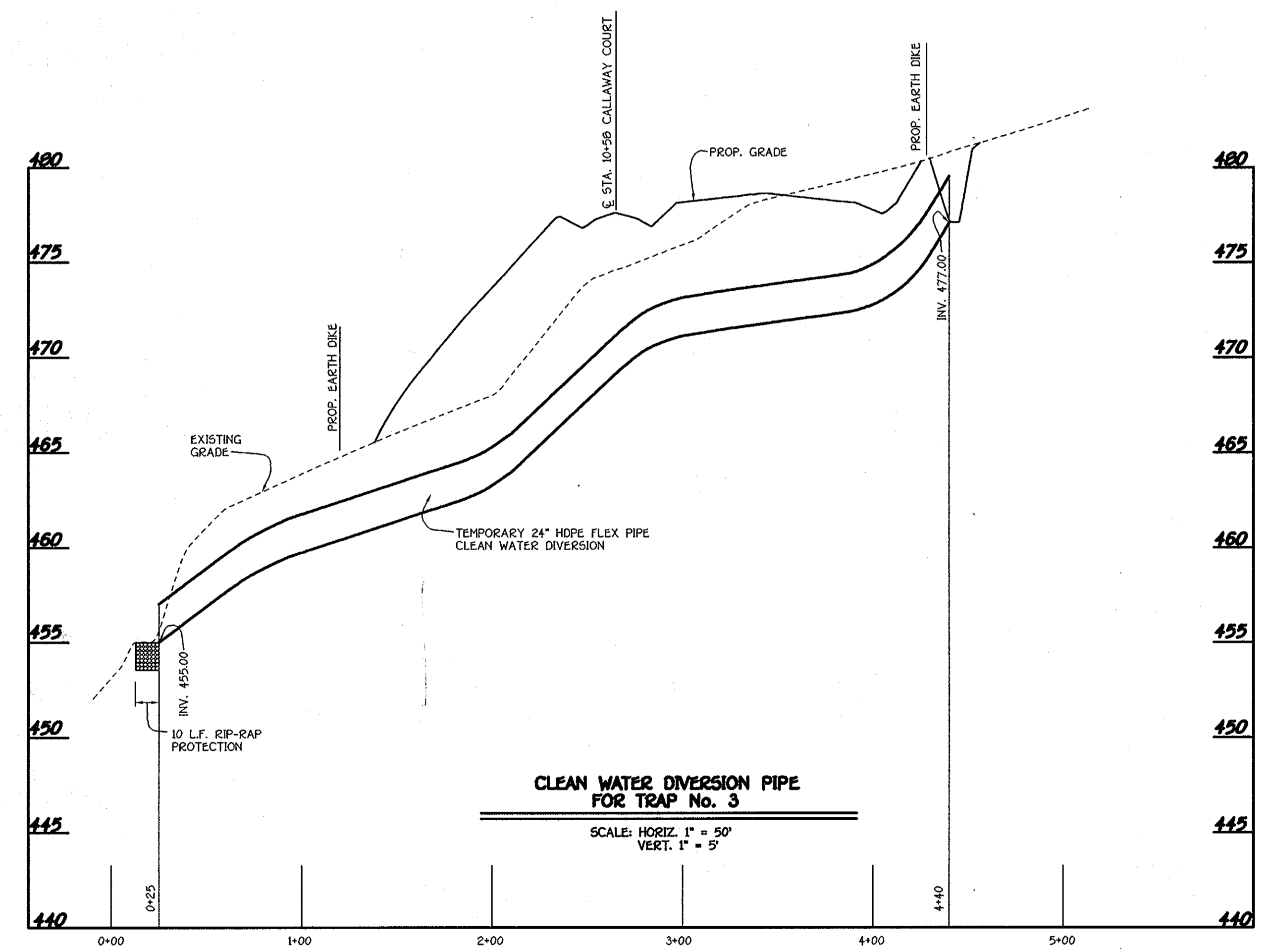
PHASE II CONSTRUCTION @ S.O.S.T. #3
SCALE: 1" = 50'

PHASE II CONSTRUCTION @ BASIN #1
SCALE: 1" = 50'

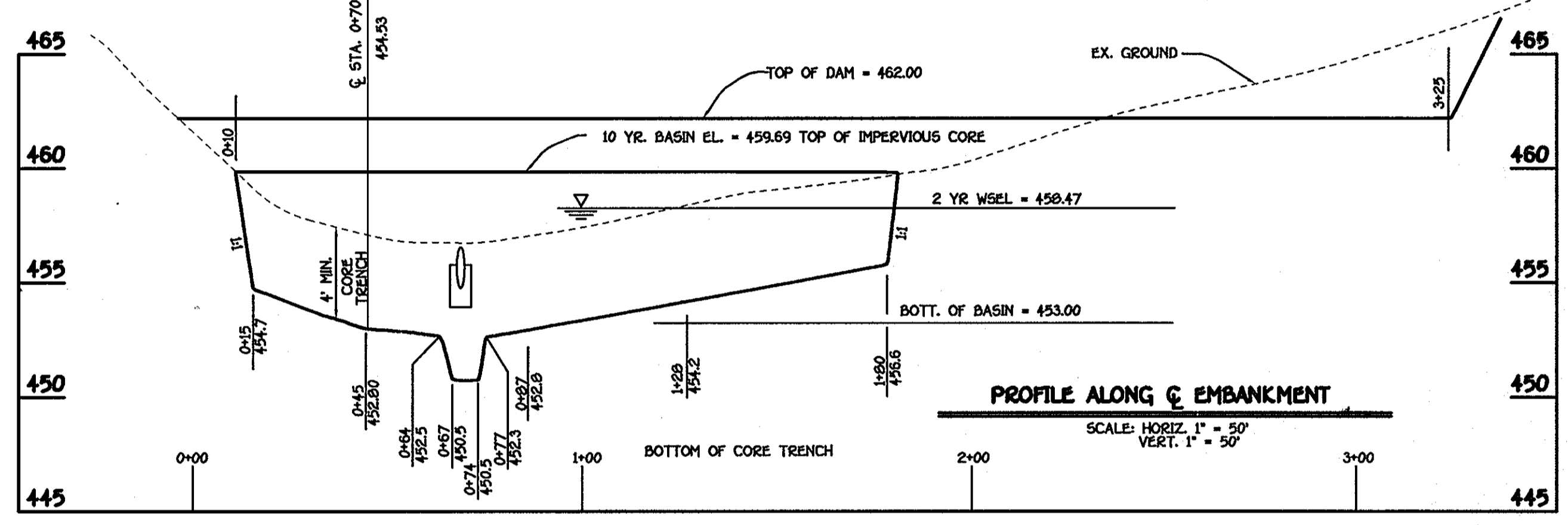
SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMITS. (2 weeks)
- NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777, NOTIFY HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION DIVISION AT 410-313-1870 AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- INSTALL TEMPORARY FLEX PIPES ALONG WITH THE CLEAN WATER DIVERSION DIKES ASSOCIATED WITH TRAPS 3 AND 4. ALSO INSTALL STORM DRAIN RUNS THAT CONVEY CLEAN WATER. THIS WOULD INCLUDE STRUCTURES M-13, M-14, I-17, I-18 AND I-19. (2 weeks)
- INSTALL SEDIMENT CONTROL MEASURES, STABILIZED CONSTRUCTION ENTRANCE, EARTH DIKES, SILT FENCE, SEDIMENT TRAPS AND BASIN. NOTE THAT SILT FENCE LOCATED WITHIN THE SEPTIC FIELDS TO BE INSTALLED UNDER PHASE 2 OF THE SITE WORK. (3 weeks)
- GRADE SITE TO SUBGRADE AND STABILIZE USING TEMPORARY SEEDING NOTES. INSTALL STORM DRAINS, WATER MAINS, SEWER MAINS AND FORCE MAIN WITHIN THE LIMITS OF DISTURBANCE ASSOCIATED WITH PHASE 1 OF SITE WORK. (6 weeks)
- THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.
- INSTALL ROADWAY BASE COURSE AND STABILIZE ROADWAY DITCHES IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 weeks)
- STABILIZE ALL DISTURBED AREAS AND OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED TO PHASE 2 OF THE SITE WORK.
- INSTALL SILT FENCE WITHIN THE SEPTIC FIELD AREAS TO CONSTRUCT THE FORCE MAIN AND DISTRIBUTION TRENCHES. (4 weeks)
- UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES NOT NEEDED. THIS SHOULD INCLUDE THE REMOVAL OF THE TRAPS AND BASIN #1. (2 weeks)
- CONNECT THE REMAINING STORM DRAIN SYSTEM AND FLUSH TO REMOVE TRAPPED SEDIMENT. (2 weeks)
- ALL AREAS DISTURBED DUE TO THE REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE GRADED OUT AND STABILIZED WITH PERMANENT SEEDING. (1 week)

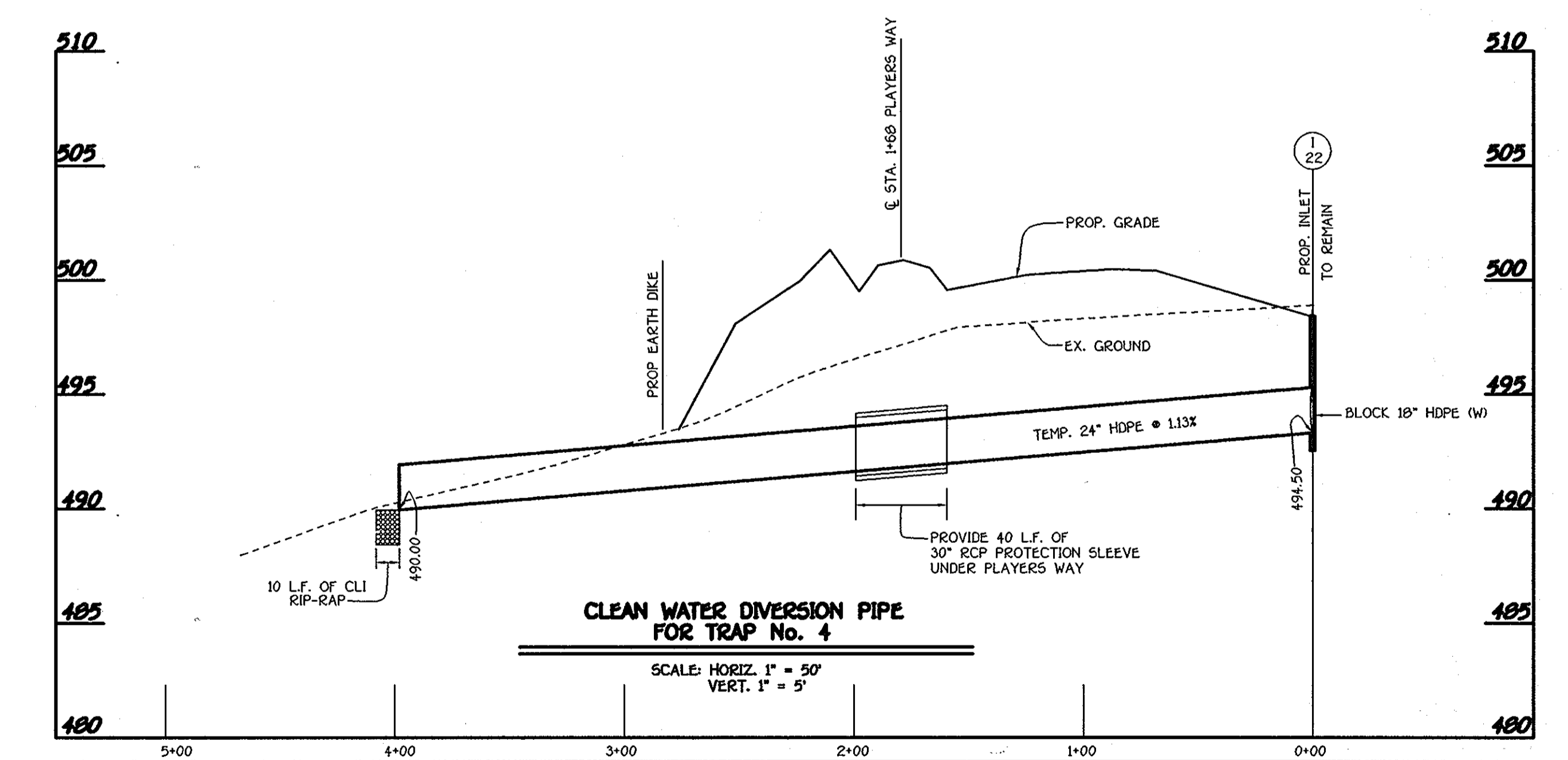
EROSION CONTROL MATTING



CLEAN WATER DIVERSION PIPE FOR TRAP No. 3
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



PROFILE ALONG EMBANKMENT
SCALE: HORIZ. 1" = 50'
VERT. 1" = 50'



CLEAN WATER DIVERSION PIPE FOR TRAP No. 4
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL TRAIL
ELLCOTT CITY, MARYLAND 21042
(410) 461-2955

Approved For private well and private septic by Howard County Health Department:
Penny Thornton Mill for S.O.S.T. 1-7-02 Date
Health Officer

NO.	REVISIONS	Date
1	Rev. grad. to show Existing Conditions Lot 1	7.6.04
3	Add sunroom to hoes on Lot 1	4-14-04
2	Rev. hse type 4 grad. Lot 1	2-19-04
	Revise house locations	8.27.02

ENGINEER'S CERTIFICATE
I certify that this plan and erosion and sediment control represents a practical and workable plan based on the best knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer: *[Signature]* Date: 10-02-01

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer: *[Signature]* Date: 11/29/01

Reviewed for HOWARD SCD and meets Technical Requirements.
Signature: *[Signature]* Date: 12/11/01
U.S.D. Natural Resources Conservation Service
The development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: *[Signature]* Date: 12/11/01
Howard SCD

OWNER / DEVELOPER
THE VILLAS AT CATTAIL CREEK, L.L.C.
8000 MAIN STREET
ELLCOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: *[Signature]* Date: 11/18/02
Chief, Division of Land Development
Signature: *[Signature]* Date: 12/12/01
Chief, Development Engineering Division
Signature: *[Signature]* Date: 11/25/02
Director, Department of Planning and Zoning

PROJECT	SECTION/AREA	LOT NO.
THE VILLAS AT CATTAIL CREEK	-	1-25

DEED	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
L. 4228, F.442	3	RC-DEO	21	4TH	-

WATER CODE	SEWER CODE
-	-

GRADING AND SEDIMENT CONTROL
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK

ZONING: RC-DEO
TAX MAP NO: 21 PARCEL: 229
FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=50' DATE: SEPTEMBER, 2001
SHEET 7 OF 37

NO.	REVISIONS	DATE
1	REMOVE THE EXISTING REARER BUILDING AND ASSOCIATED MECHANICAL EQUIPMENT AND REPLACE WITH A COOK BUILDING	1/31/00

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 JOHN M. MYER
 No. 2109
 EXPIRES 9/22/02
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2109, EXPIRATION DATE 9/22/02.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 NATIONAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2995

Approved: Department of Planning and Zoning
Cindy Hamilton 1/18/02
 Chief, Division of Land Development
John M. Myer 1/14/02
 Chief, Development Engineering Division
Frank Smith 1/25/02
 Director, Department of Planning and Zoning

1 Rev. hse. & grd. All Units 8-27-02
 1/2 REVISIONS Date

ENGINEER'S CERTIFICATE
 I certify that the proposed water and sediment control represents a practical and workable plan based on the physical conditions of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
John M. Myer 10-02-01
 Signature of Engineer (Print name below signature) Date

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
John M. Myer 11/29/01
 Signature of Developer (Print name below signature) Date

Reviewed for HOWARD HCD and meets Technical Requirements.
John M. Myer 12/11/01
 U.S.D.A. Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John M. Myer 12/11/01
 Howard Soil Conservation District

OWNER / DEVELOPER
 THE VILLAS AT CATTAIL CREEK, L.L.C.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

APPROVED FOR PRIVATE WELL AND PRIVATE SEPTIC BY HOWARD COUNTY HEALTH DEPARTMENT.
Pauline Brantley 1-7-02
 HEALTH OFFICER DATE

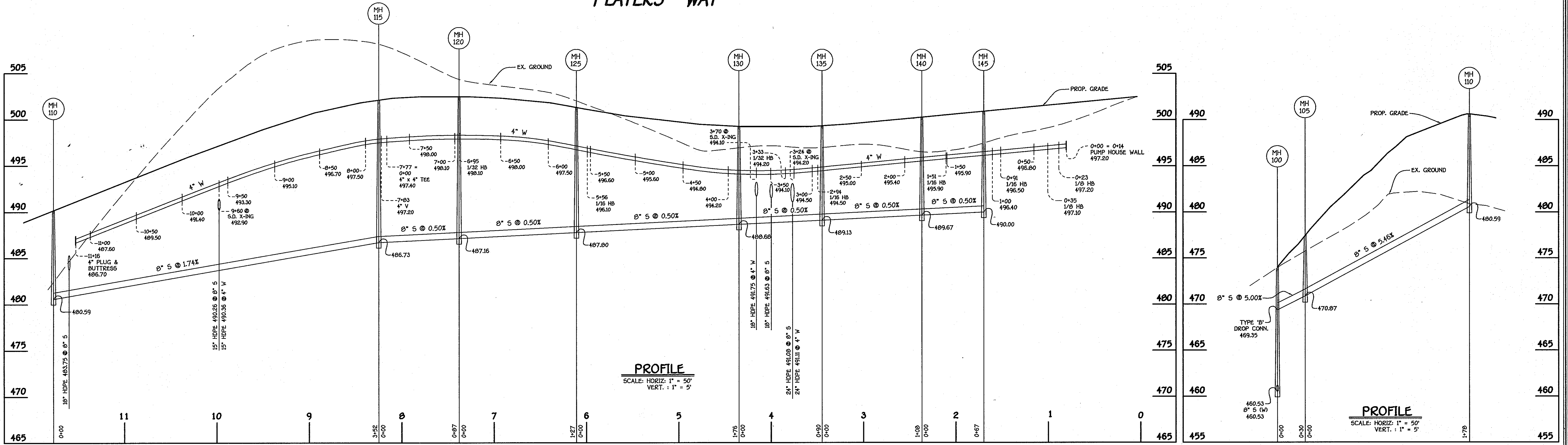
PROJECT	SECTION/AREA	LOT NO.
THE VILLAS AT CATTAIL CREEK	---	1 - 25

DEED	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
L. 4228, F. 442	3	RC-DEO	21	4th	---

WATER CODE	SEWER CODE
---	---

WATER & SEWER LAYOUT
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
 ZONING: RC-DEO
 TAX MAP No: 21 PARCEL: 229
 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: SEPTEMBER, 2001
 SHEET 9 OF 37

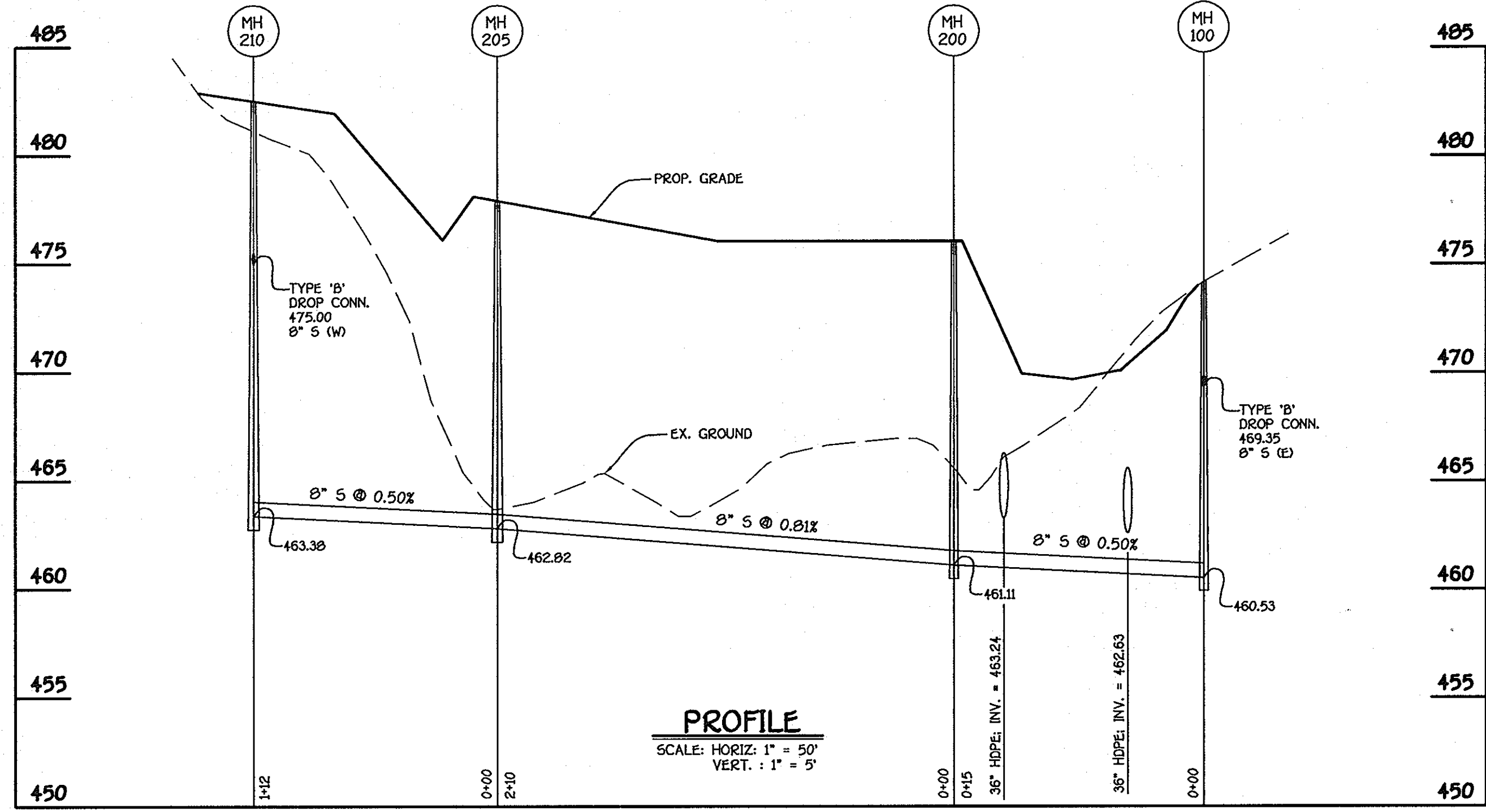
PLAYERS WAY



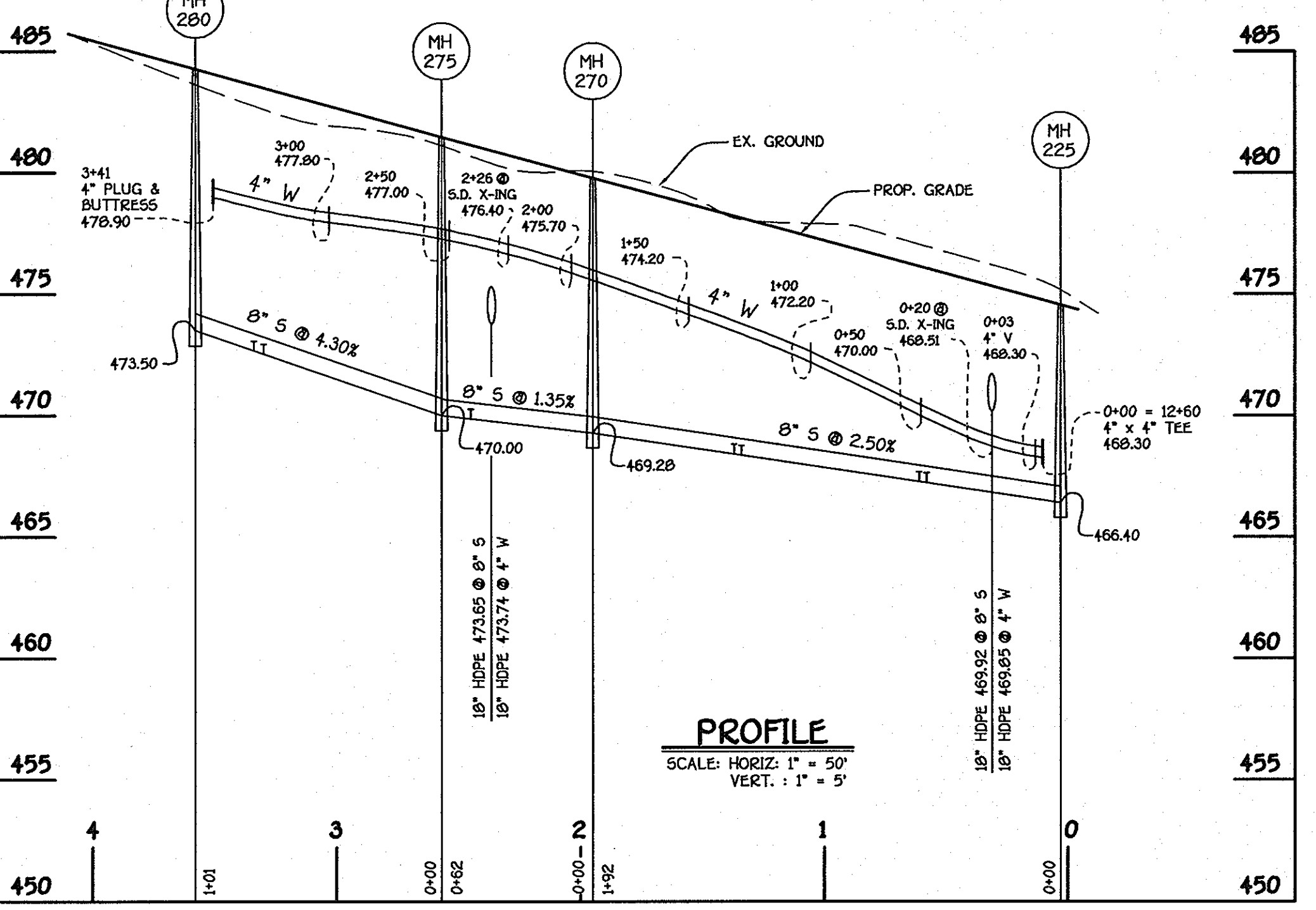
PROFILE
SCALE: HORIZ: 1" = 50'
VERT: 1" = 5'

PROFILE
SCALE: HORIZ: 1" = 50'
VERT: 1" = 5'

CATTAIL GREENS COURT



PROFILE
SCALE: HORIZ: 1" = 50'
VERT: 1" = 5'



PROFILE
SCALE: HORIZ: 1" = 50'
VERT: 1" = 5'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
23 NATIONAL SQUARE, OFFICE PARK - 18772 BELLTOWN NATIONAL FEE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2995

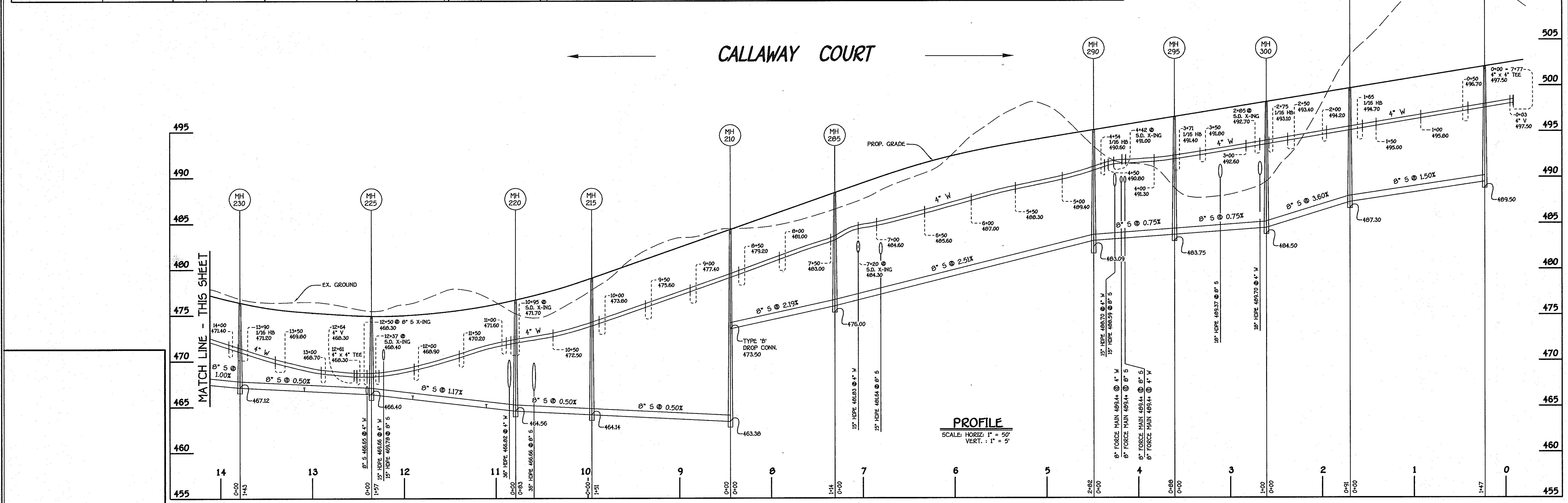
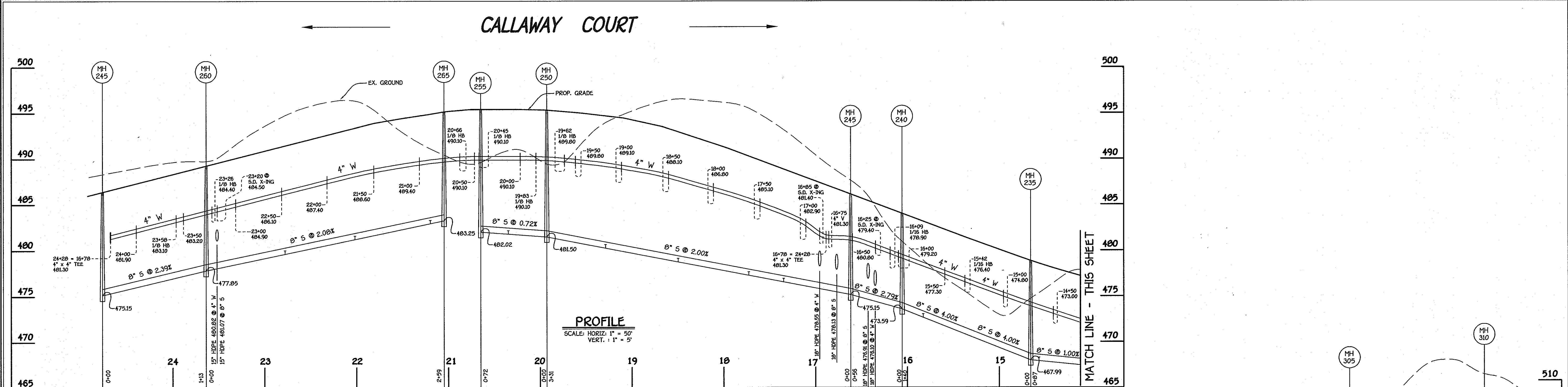
Approved: Department of Planning and Zoning
Cindy Hamilton
Chief, Division of Land Development
John J. ...
Chief, Development Engineering Division
...
Director, Department of Planning and Zoning
Date: 11/8/02
Date: 1/14/02
Date: 1/28/02
JX

ENGINEER'S CERTIFICATE
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: *...*
Date: 3-9-01
DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer: *...*
Date: 3/9/01

Reviewed for HOWARD SCD and meets Technical Requirements.
Jim Meyer
U.S.D. Natural Resource Conservation Service
Date: 12/11/01
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John ...
HOWARD SCD
Date: 12/11/01
OWNER / DEVELOPER
THE VILLAS AT CATTAIL CREEK, L.L.C.
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21045

APPROVED FOR PRIVATE WELL AND PRIVATE SEPTIC BY HOWARD COUNTY HEALTH DEPARTMENT.
...
HEALTH OFFICER
Date: 1-7-02
PROJECT: THE VILLAS AT CATTAIL CREEK
SECTION/AREA: ---
LOT NO.: 1 - 25
DEED: L. 4228, F. 442
BLOCK NO.: 3
ZONE: RC-DEO
TAX/ZONE: 21
ELEC. DIST.: 4th
CENSUS TR.: ---
WATER CODE: ---
SEWER CODE: ---

WATER & SEWER PROFILES
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
ZONING: RC-DEO
TAX MAP No: 21 PARCEL: 229
FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: SEPTEMBER, 2001
SHEET 10 OF 37



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 NATIONAL SQUARE OFFICE PARK - 10775 BALTIC PIKE NATIONAL PIZ
 ELLICOTT CITY, MARYLAND 21114
 (410) 461-2955

Approved: Department of Planning and Zoning
Cynthia Hammett 1/18/02
 Chief, Division of Land Development
John A. Smith 1/14/02
 Chief, Development Engineering Division
John A. Smith 1/28/02
 Director, Department of Planning and Zoning
 JA

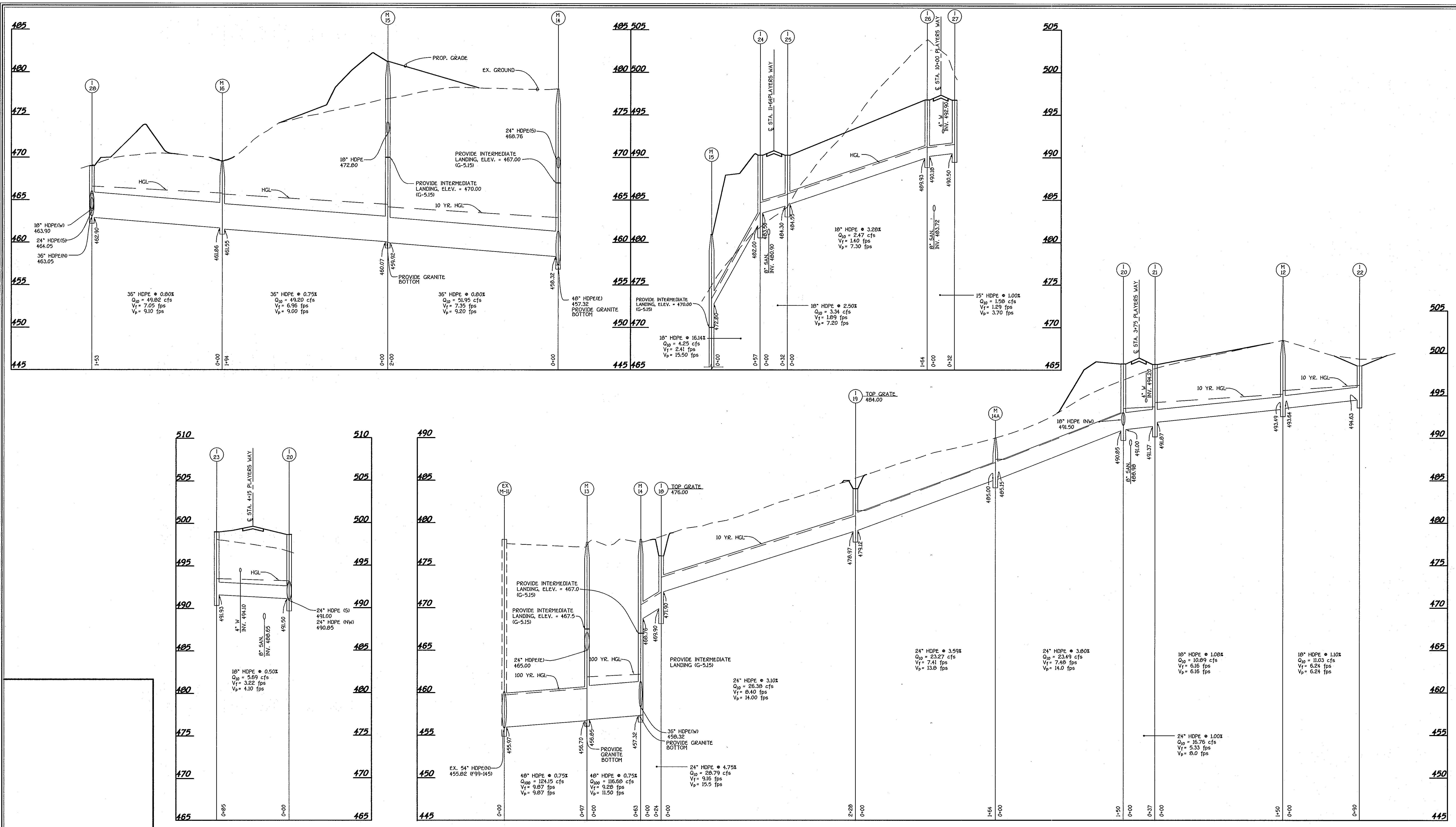
ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
John A. Smith 3-9-01
 Signature of Engineer (Print name below signature) Date
DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
John A. Smith 3/9/01
 Signature of Developer (Print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements.
John A. Smith 12/11/01
 U.S.D. Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John A. Smith 12/11/01
 HOWARD SCD Date
OWNER / DEVELOPER
 THE VILLAS AT CATTAIL CREEK, L.L.C.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21143

APPROVED FOR PRIVATE WELL AND PRIVATE SEPTIC BY HOWARD COUNTY HEALTH DEPARTMENT.
Randy B. Smith 1-7-02
 HEALTH OFFICER DATE

PROJECT	SECTION/AREA	LOT NO.
THE VILLAS AT CATTAIL CREEK	----	1 - 25
DEED	BLOCK NO.	ZONE
L. 4228, F. 442	3	RC-DEO
TAX/ZONE	ELEC. DIST.	CENSUS TR.
21	4th	----
WATER CODE	SEWER CODE	
----	----	

WATER & SEWER PROFILES
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
 ZONING: RC-DEO
 TAX MAP No: 21 PARCEL: 229
 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: SEPTEMBER, 2001
 SHEET 11 OF 37



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTURIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2895

Approved for private well and private septic by
 Howard County Health Department:
 Deputy Director: *[Signature]* Date: 11-2-01
 Health Officer

ENGINEER'S CERTIFICATE
 I certify that the design and sediment control represents a practical and workable plan based on the best knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of *[Signature]* (Print name below signature) Date: 7-20-01

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (Print name below signature) Date: 11/29/01

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D. Natural Resources Conservation Service
 Date: 12/11/01
 Date: 12/11/01

OWNER / DEVELOPER
 THE VILLAS AT CATTAIL CREEK, L.L.C.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21045

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *[Signature]* Date: 11/18/02
 Chief, Development Engineering Division: *[Signature]* Date: 12/12/01
 Director, Department of Planning and Zoning: *[Signature]* Date: 11/25/02

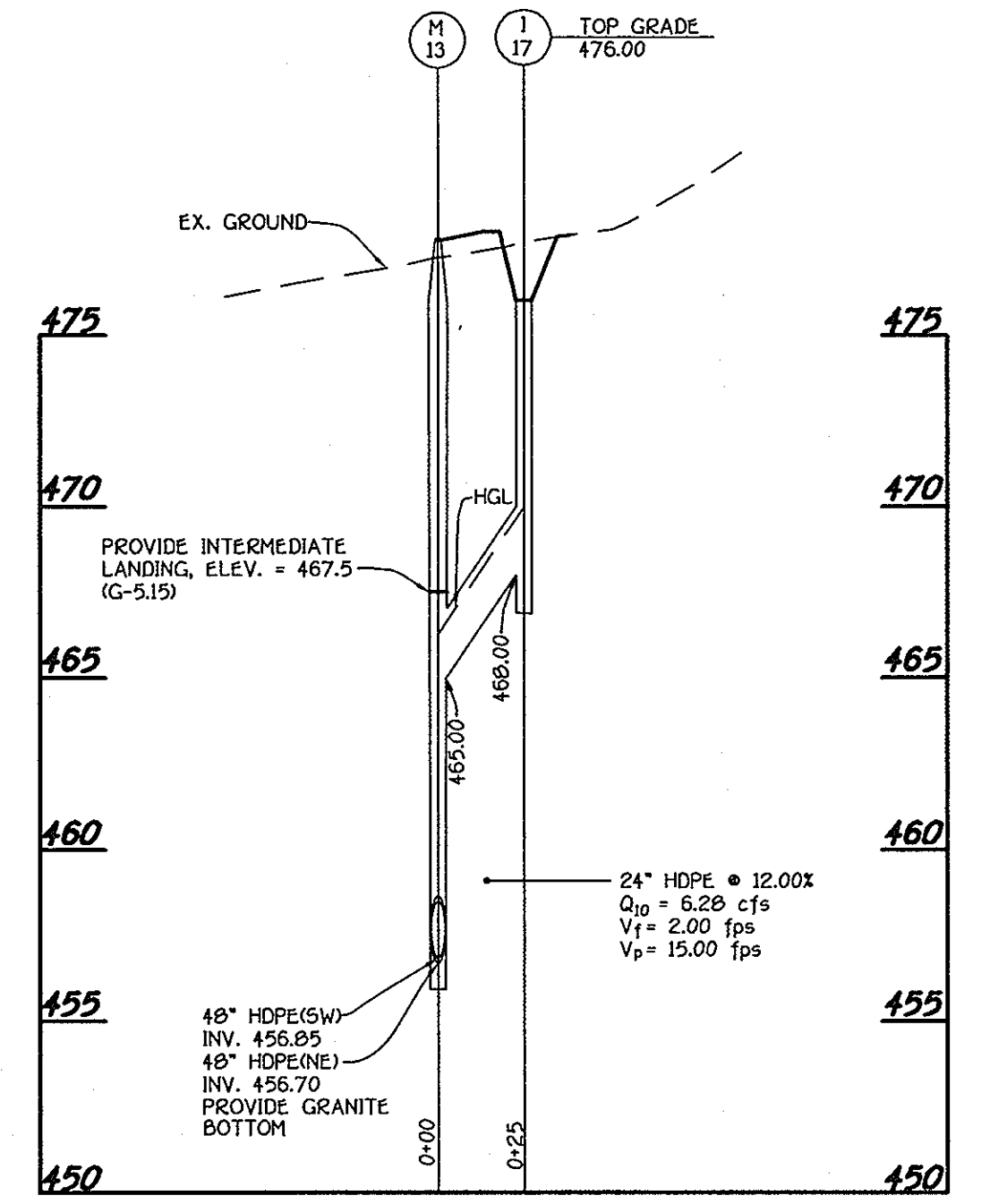
PROJECT: THE VILLAS AT CATTAIL CREEK SECTION/AREA: --- LOT NO.: 1 - 25
 DEED: L. 4220, F. 442 BLOCK NO.: 3 ZONE: RC-DEO TAX/ZONE: 21 ELEC. DIST.: 4th CENSUS TR.: ---
 WATER CODE: --- SEWER CODE: ---

STORM DRAIN PROFILES
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAIL CREEK
 ZONING: RC-DEO
 TAX MAP No: 21 PARCEL: 229
 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: HORIZ. : 1" = 50' DATE: SEPTEMBER, 2001
 VERT. : 1" = 5'
 SHEET 12 OF 37

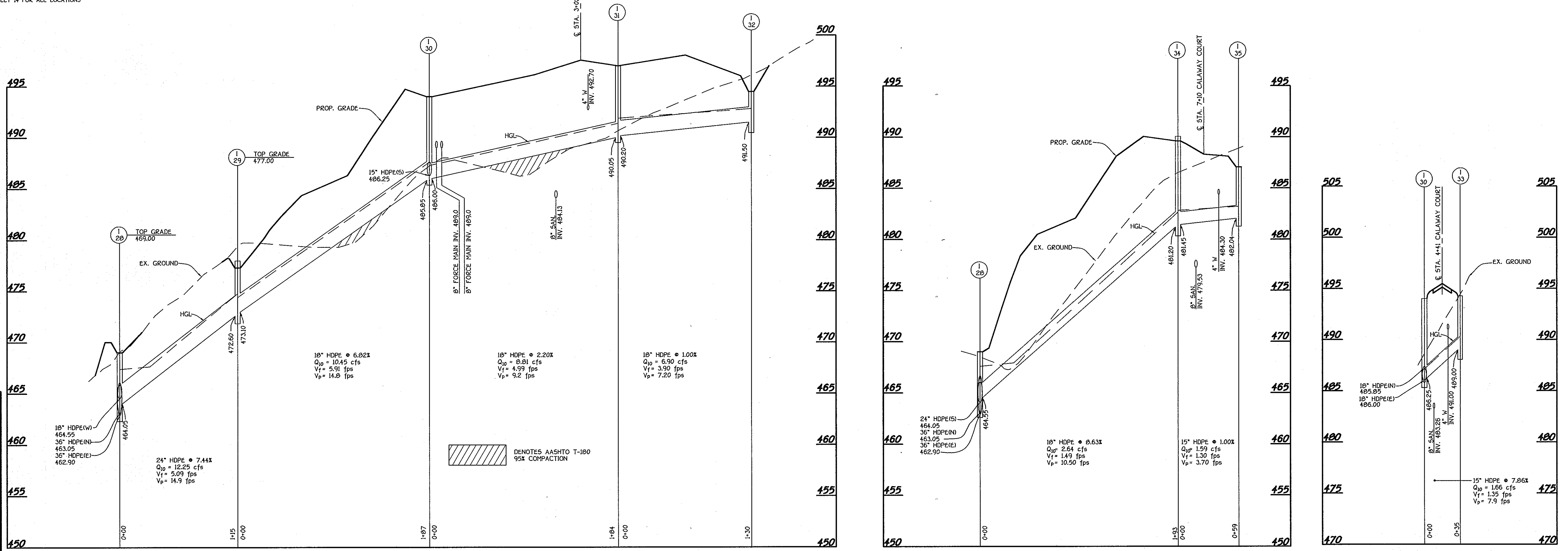
INLET SCHEDULE									
STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME	CL. ROAD STA.	OFFSET	TYPE	REMARKS	
I-17	476.00		468.00		N 296°28'35"		'S' INLET	S.D. 4.22	
I-18	476.00	471.90	469.90		E 130°04'04"		'S' INLET	S.D. 4.22	
I-19	484.00	479.12	478.97		N 295°28'35"		'S' INLET	S.D. 4.22	
I-20	498.75	491.50, 491.00	490.85	PLAYERS WAY	3+75	19R	*OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-21	498.90	491.87	491.37	PLAYERS WAY	3+75	19L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-22	498.50		494.63		N 593°22'48"		'S' INLET	S.D. 4.22	
I-23	499.00		491.93	PLAYERS WAY	4+50	17L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-24	490.40	477.94	477.79	PLAYERS WAY	11+64	16R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-25	490.40	484.55	484.30	PLAYERS WAY	11+64	16L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-26	496.90	490.18	489.93	PLAYERS WAY	10+00	16L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-27	496.40		490.50	PLAYERS WAY	10+00	16R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-28	469.00	463.05, 462.90, 463.65	462.90		N 596°22'58"		'S' INLET	S.D. 4.22	
I-29	477.00	473.10	472.85		E 130°04'04"		'S' INLET	S.D. 4.22	
I-30	494.00	486.00, 486.25	485.85	CALLAWAY COURT	4+50	17R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-31	497.00	490.20	490.05	CALLAWAY COURT	2+66	17L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-32	496.00		491.50		N 596°22'58"		'S' INLET	S.D. 4.22	
I-33	494.30		489.00	CALLAWAY COURT	4+35	15L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-34	489.54	481.45	481.20	CALLAWAY COURT	6+80	17R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-35	487.00		482.04	CALLAWAY COURT	7+40	15L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-36	477.00	466.32	466.27	CALLAWAY COURT	10+53	18R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-37	468.03	468.03	467.03	CALLAWAY COURT	11+25	18L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-38	469.35	469.60	468.85	CATTAL GREENS COURT	0+24	23L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-39	473.75	469.85	469.70	CATTAL GREENS COURT	0+24	23R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-40	481.50	474.70	474.55	CALLAWAY COURT	15+58	17L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-41	495.45	477.65	477.50	CALLAWAY COURT	16+65	16R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-42	486.82	479.40	479.25	CALLAWAY COURT	24+06	24L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-43	489.10		482.25	CALLAWAY COURT	23+19	17R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-44	476.00	471.33	471.08		N 596°22'58"		'S' INLET	S.D. 4.22	
I-45	474.10		470.00	CALLAWAY COURT	12+41.5	15R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-46	480.00	473.52, 473.27	473.02	CATTAL GREENS COURT	2+30	18L	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-47	487.00		478.95		N 596°22'58"		'S' INLET	S.D. 4.22	
I-48	480.00	474.12	473.87	CATTAL GREENS COURT	2+30	18R	OPEN END GRATE	S.D. 4.36 w/ S.D. 4.13	
I-49	480.50		475.25		E 130°04'04"		'S' INLET	S.D. 4.22	

MANHOLE SCHEDULE									
STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME	CL. ROAD STA.	OFFSET	PIPE DIA. IN / OUT	TYPE	REMARKS
M-12	501.5	493.64	493.49		N 595°27'23"		18", 18"	STD. 4" MANHOLE	G - 5.12
M-13	477.90	465.00, 456.85	456.70		E 130°04'04"		24", 48", 48"	4" BRICK MANHOLE	G - 5.03
M-14	477.80	468.76, 458.32	457.32		N 595°27'23"		24", 36", 48"	4" BRICK MANHOLE	G - 5.03
M-14A	490.0	485.15	485.00		N 595°27'23"		24", 24"	STD. 4" MANHOLE	G - 5.12
M-15	481.00	472.80, 460.07	459.92		N 596°22'58"		18", 36", 36"	STD. 4" MANHOLE	G - 5.13
M-16	469.50	461.69	461.53		N 596°22'58"		36", 36"	STD. 4" MANHOLE	G - 5.13
M-17	475.50	464.20	464.05		N 596°22'58"		36", 36"	STD. 4" MANHOLE	G - 5.13
M-18	473.00	465.65	465.50		N 596°22'58"		36", 36"	STD. 4" MANHOLE	G - 5.13
M-19	476.30	470.77	470.62	CALLAWAY COURT	13+84		24", 18", 18"	STD. 4" MANHOLE	G - 5.12
M-20	479.80	471.90	471.75		N 596°22'58"		24", 24"	STD. 4" MANHOLE	G - 5.12

PIPE SCHEDULE	
PIPE SIZE	LENGTH
15" HDPE	256 L.F.
18" HDPE	2101 L.F.
24" HDPE	1128 L.F.
36" HDPE	1210 L.F.
48" HDPE	160 L.F.



*SEE MODIFIED OPEN END GRATE DETAIL ON SHEET 14 FOR ALL LOCATIONS



Approved for private well and private septic by Howard County Health Department.
 Danny Brewster, M.D., Health Officer
 Date: 1-7-02

ENGINEER'S CERTIFICATE
 I certify that the design and sediment control represents a practical and workable plan based on my knowledge of the site conditions and that it was prepared in accordance with the standards of the Howard Soil Conservation District.
 Signature of [Name] Date: 7-20-01

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (Print name below signature) Date: 11/29/01

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D. Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature of [Name] Date: 12/11/01

OWNER / DEVELOPER
 THE VILLAS AT CATTAL CREEK, L.L.C.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21045

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Department of Planning and Zoning
 Chief, Development Engineering Division
 Director, Department of Planning and Zoning

PROJECT	SECTION/AREA	LOT NO.			
THE VILLAS AT CATTAL CREEK	----	1 - 25			
DEED	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
L. 4228, F. 442	3	RC-DEO	21	4th	----
WATER CODE	SEWER CODE				

STORM DRAIN PROFILES
SITE DEVELOPMENT PLAN
THE VILLAS AT CATTAL CREEK
 ZONING: RC-DEO
 TAX MAP No: 21 PARCEL: 229
 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'
 DATE: SEPTEMBER, 2001
 SHEET 13 OF 37

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 NATIONAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 (410) 461-2955