

**GENERAL NOTES**

- All construction shall be in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications, if applicable.
- The contractor shall notify the Department of Public Works Construction Inspection Division at (410) 313-1880 at least 5 (five) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Project Background:  
Location: Tax Map 50 - Block 3 - Parcel 426  
Zoning: R-SC  
Total Tract Area: 2.79 Ac.±  
Number of Existing Lots: 15\*  
\*Plat was recorded in approximately 1898 as Plat No. 61/470.
- Traffic control devices, markings and signing shall be in accordance with the most current edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- Topography taken from field run survey performed by TSA Group, Inc. in 3/96. Contour interval is 2 feet.
- Howard County monuments 1741003 and 1741002-R (nad 27) were used for horizontal and vertical datum.
- Water and Sewer for this subdivision is public and will be granted under the provisions of section 18.122.B of the Howard County Code. The water and sewer contract number is 24-3936-D and its drainage area is the Patuxent watershed.
- Stormwater Management quantity and quality control is provided by the existing stormwater management facilities constructed under F-92-76 and F-98-05.
- Wetland delineation compiled by Eco-Science Professionals, Inc. dated 10/11/2000. With the exception of lot 21 there are no wetlands or 100-year floodplain within the lot areas.
- Forest Conservation is not required for this project since the lots were created by deed prior to the adoption of the Forest Conservation Act and no additional lots are being created.
- A Traffic Study is not required for this property.
- Existing utilities were located by record drawings and field locations. Contractor shall verify location of utilities prior to construction.
- Unless noted as "private" all easements are public.
- There are no existing buildings on the site.
- There are no previous Department of Planning and Zoning reference numbers.
- Street lights will be required in this development in accordance with the Design Manual. Street light placement and the type of fixture and pole selected shall be in accordance with the latest Howard County Design Manual, Volume III (1993) and as modified by "Guidelines Street Lights in Residential Developments (June, 1993)." The June 1993 policy includes guidelines for lateral and longitudinal placement. A minimum spacing of 20' shall be maintained between street lights and any tree. Street lights for this subdivision shall be "Colonial" HPS post top fixtures on black fiberglass poles located as shown on this plan.
- Street trees for Maryland Avenue as shown on these plans shall be provided by the developer in accordance with section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required street trees shall be made part of the Developer's Agreement in the amount of \$5,400.00.
- All handicap ramps shall be in accordance with Howard County Standard Detail R-4.03 and all current ADA requirements.
- A Use-In-Common Driveway Maintenance Agreement for lots 8 - 10 block 'K' will be recorded by the developer in the Land Records Office of Howard County.
- All plan dimensions are to face of curb unless otherwise noted.
- No disturbance is permitted within the wetland or wetland buffer shown on these plans.
- All road fills shall be compacted to 95% as determined by AASHTO T-180.
- For lots 8, 9, and 10, refuse collection, snow removal and road maintenance are to be provided at the junction of the use-in-common driveway and the Maryland Avenue Tee-turnaround.
- Driveways shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
  - width - 12' (14' serving more than one residence).
  - surface - 6" of compact crusher run base with tar and chip coating.
  - geometry - maximum 15% grade, maximum 10% grade change and minimum 45' turning radius.
  - structures (culverts/bridges) - capable of supporting 25 gross tons (H25 loading)
  - drainage elements - capable of safely passing 100 year floodplain with no more than 1 foot depth over driveway.
  - structure clearances - minimum 12 feet.
  - maintenance - sufficient to insure all weather use.

# ROAD CONSTRUCTION PLANS

# NORTH LAUREL PARK

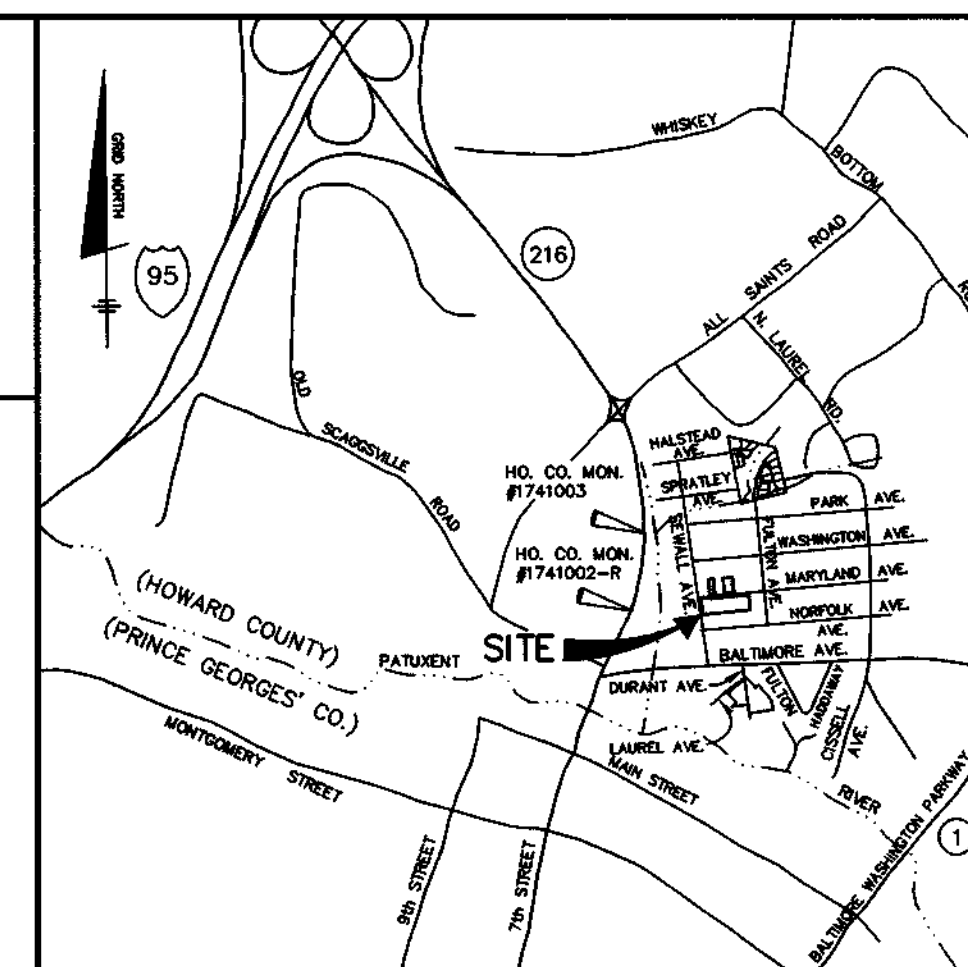
## BLOCK 'J' LOTS 17-21 AND BLOCK 'K' LOTS 4-10, 17 AND 29-32

## 6th ELECTION DISTRICT

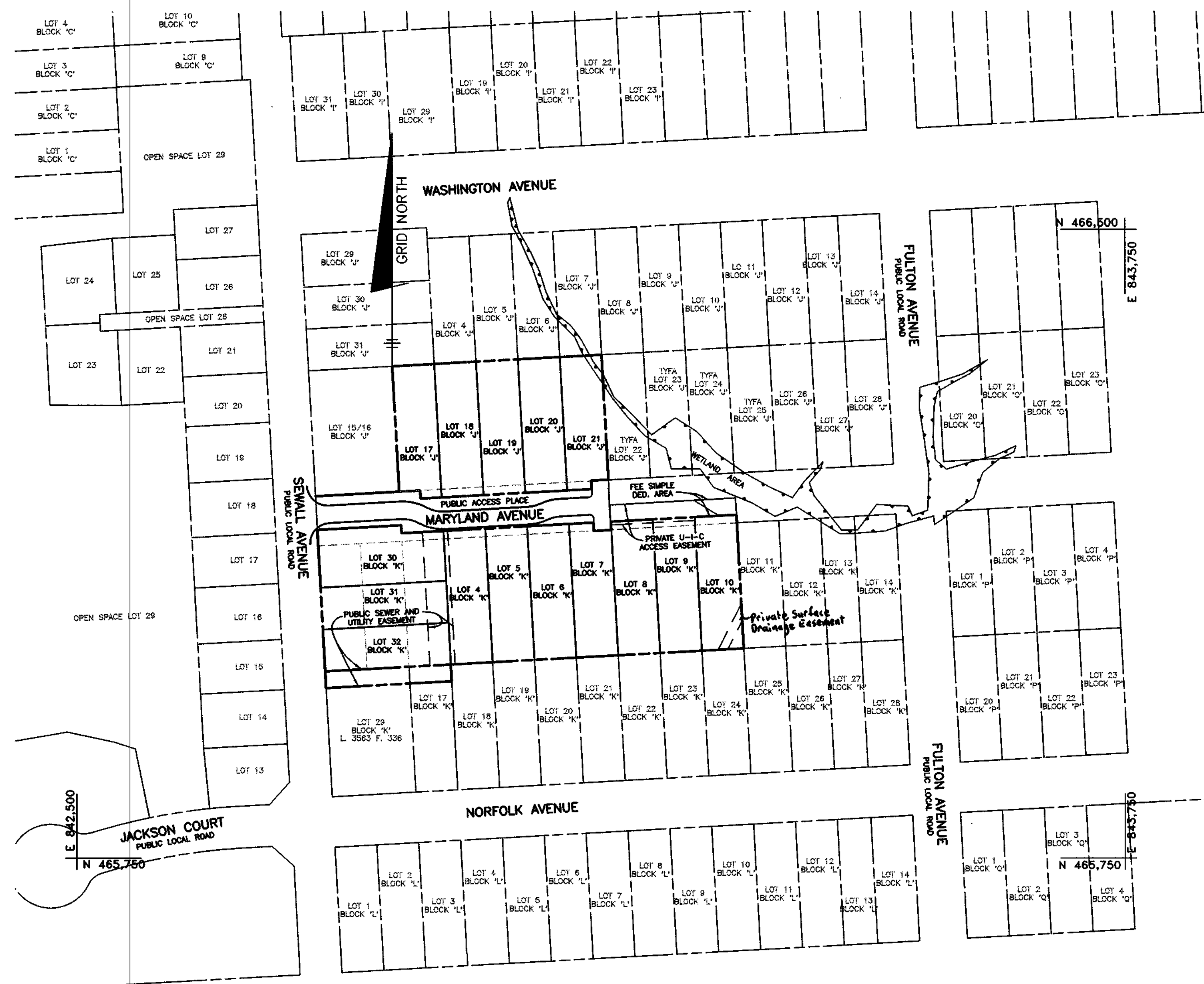
## HOWARD COUNTY, MARYLAND

**BENCH MARK NAD 27**  
 HO. CO. #1741003 NAD 27  
 CONCRETE MONUMENT ON WEST SIDE OF ROUTE 216 AND 0.2' BELOW SURFACE  
 ELEV. 198.395

HO. CO. #1741002-R NAD 27  
 CONCRETE MONUMENT ON TOP OF BANK EAST OF EAST EDGE OF ROAD 216  
 FLUSH WITH SURFACE  
 ELEV. 197.368



**VICINITY MAP**  
 SCALE: 1" = 2000'



**PLAN**  
 SCALE: 1" = 100'

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Howard Shick* 7/9/01  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hamilton* 7/9/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: ENGINEERING DIVISION  
*[Signature]* 7/6/01  
 CHIEF, ENGINEERING DIVISION

SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	ROAD PLAN, PROFILE AND LANDSCAPE PLAN
3	DRAINAGE AREA MAP
4	GRADING, SEDIMENT AND EROSION CONTROL PLAN
5	SEDIMENT CONTROL NOTES AND DETAILS

NO.	DATE	REVISION

**BENCHMARK**  
 ENGINEERS • LAND SURVEYORS • PLANNERS

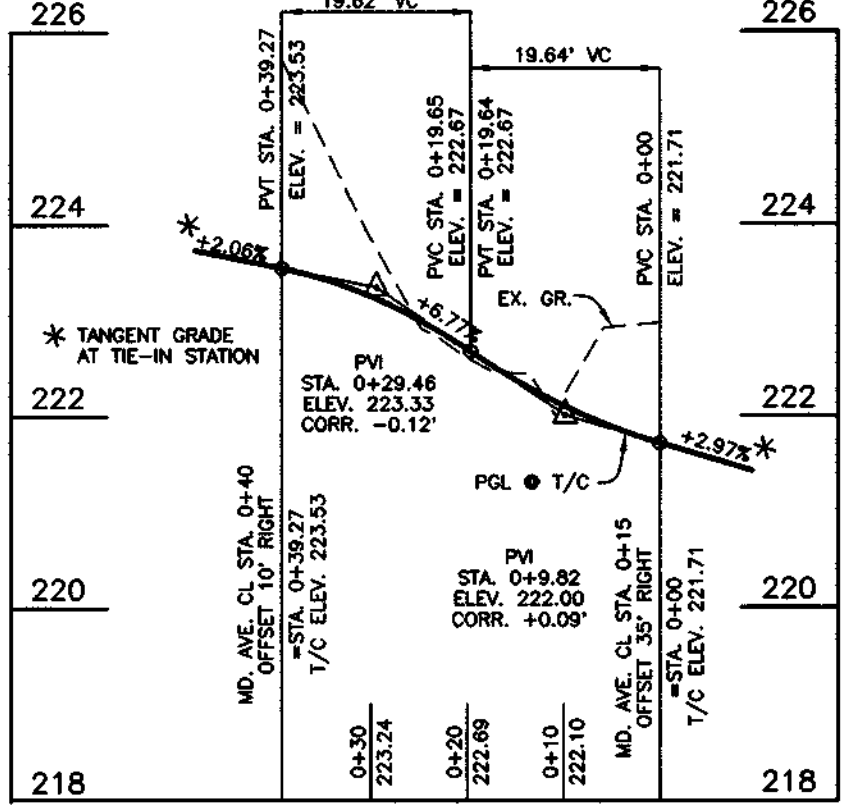
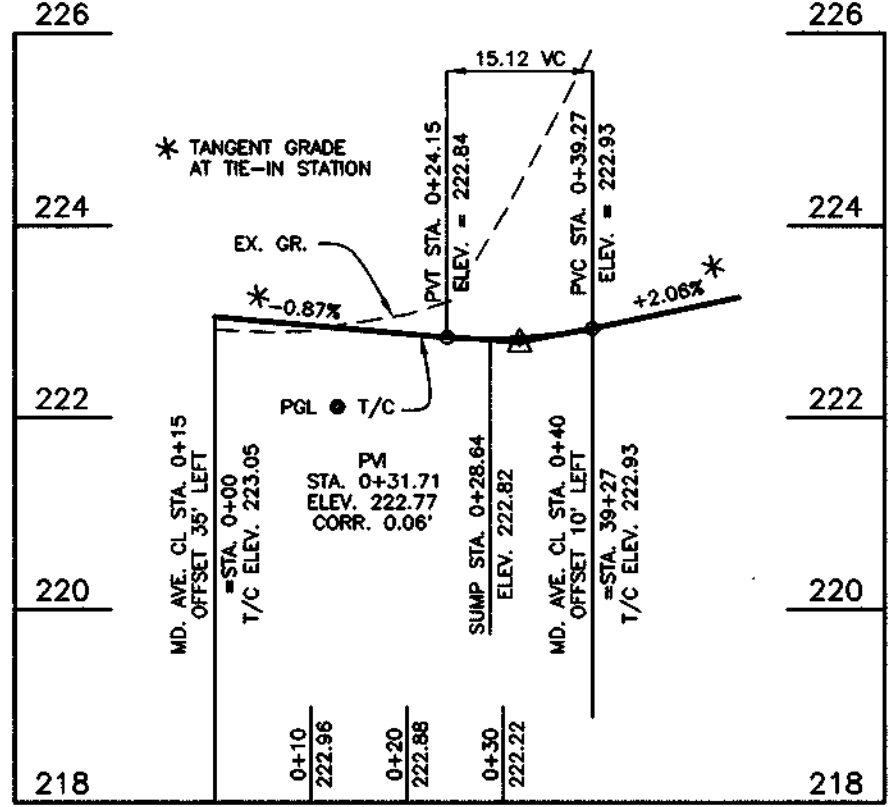
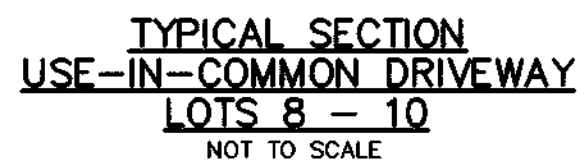
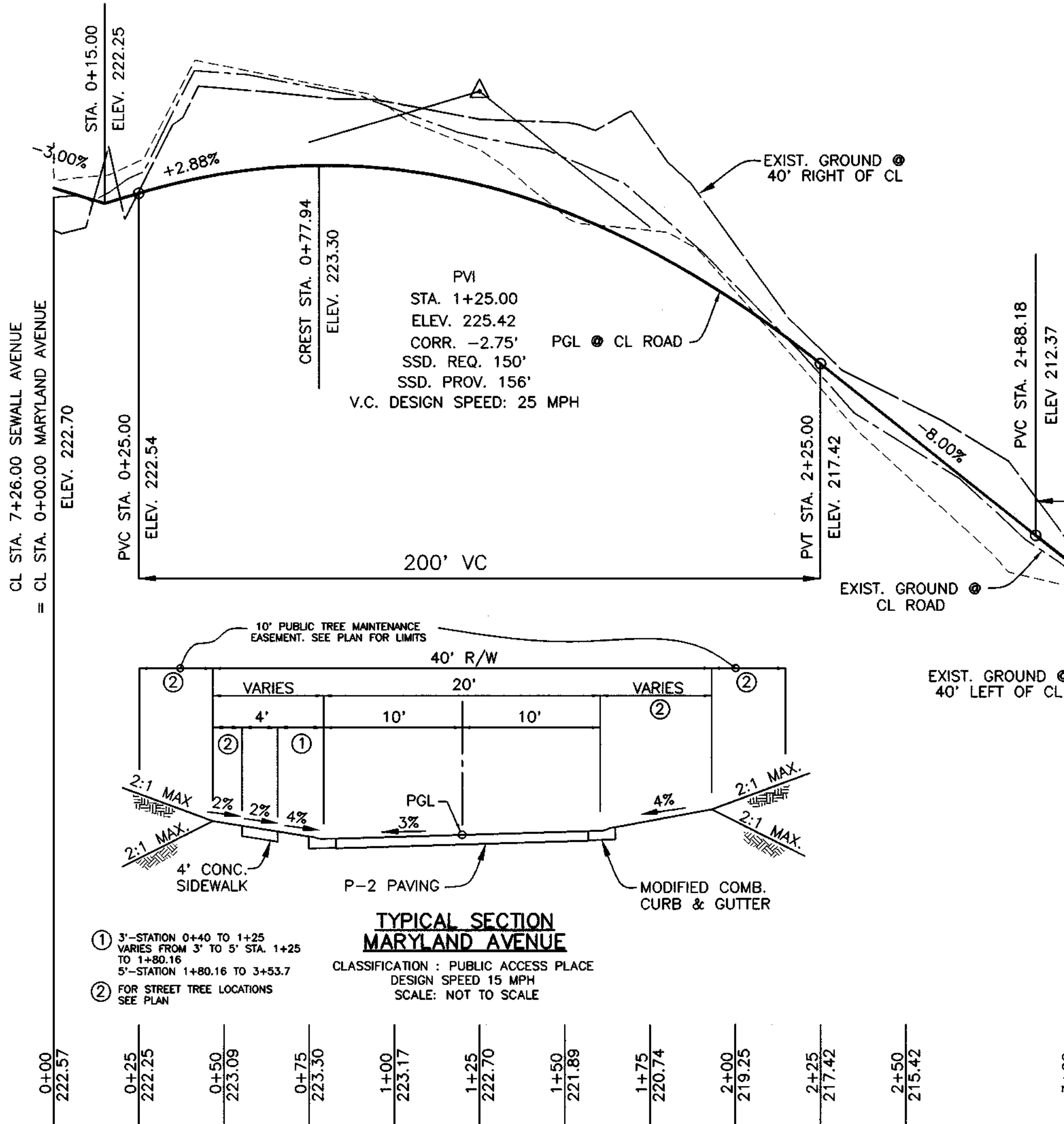
**ENGINEERING, INC.**

8480 BALTIMORE NATIONAL PIKE & SUITE 418  
 ELLICOTT CITY, MARYLAND 21043  
 PHONE: 410-465-6105 FAX: 410-465-6644

*Donald Moon*  
 4/30/01

OWNER/DEVELOPER: CORNERSTONE HOMES, INC. 9891 NORFOLK AVENUE LAUREL, MARYLAND 20723 410-792-2565	PROJECT: Maryland Avenue <b>NORTH LAUREL PARK</b> BLOCK 'J' LOTS 17-21 AND BLOCK 'K' LOTS 4-10, 17 AND 29-32
LOCATION: TAX MAP 50 - GRID 3 P/O PARCEL 426 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	TITLE: <b>TITLE SHEET</b>
DATE: DECEMBER, 2000 MAY, 2001	PROJECT NO. 1329
DESIGN: DBT DRAFT: DBT CHECK: GWF	SCALE: AS SHOWN SHEET 1 OF 5

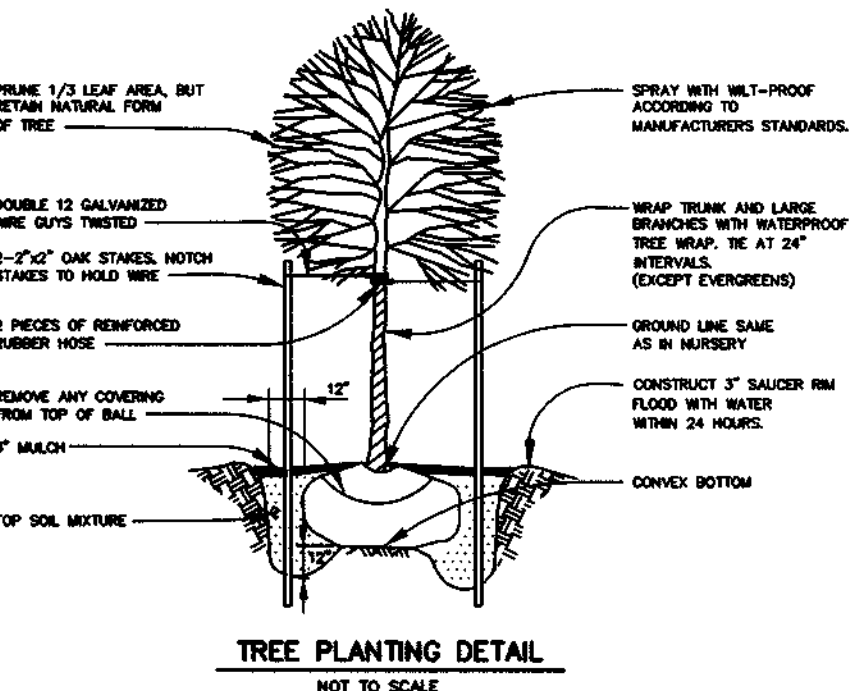
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CENTERLINE CURVE DATA						
ROAD NAME	CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD
MARYLAND AVENUE	A	50.0'	26.1'	30°00'00"	13.40'	S78°08'02"E 25.88'
	B	50.0'	26.1'	30°00'00"	13.40'	S78°08'02"E 25.88'
	C	50.0'	19.36'	22°10'49"	9.80'	N75°46'33"E 19.24'
	D	50.0'	19.36'	22°10'49"	9.80'	N75°46'33"E 19.24'

CENTERLINE CONTROL DATA			
ROAD	STATION	NORTH	EAST
MARYLAND AVENUE	0+00	466158.17	842761.13
	1+25.00	466165.01	842885.94
	1+51.18	466159.69	842911.27
	1+53.99	466158.42	842913.77
	1+80.16	466153.10	842939.10
	2+80.16	466158.56	843036.95
	2+99.52	466163.29	843057.60
	3+18.88	466168.02	843076.24
	3+78.70	466171.29	843135.97

STREET TREE PLANTING LIST			
SYMBOL	QUANTITY	NAME	REMARKS
(Symbol)	18	TYJA AMERICANA, 'REDEMOR' (Redmond Littleleaf Linden)	2 1/2" MIN. CAL. B&B FULL HEAD

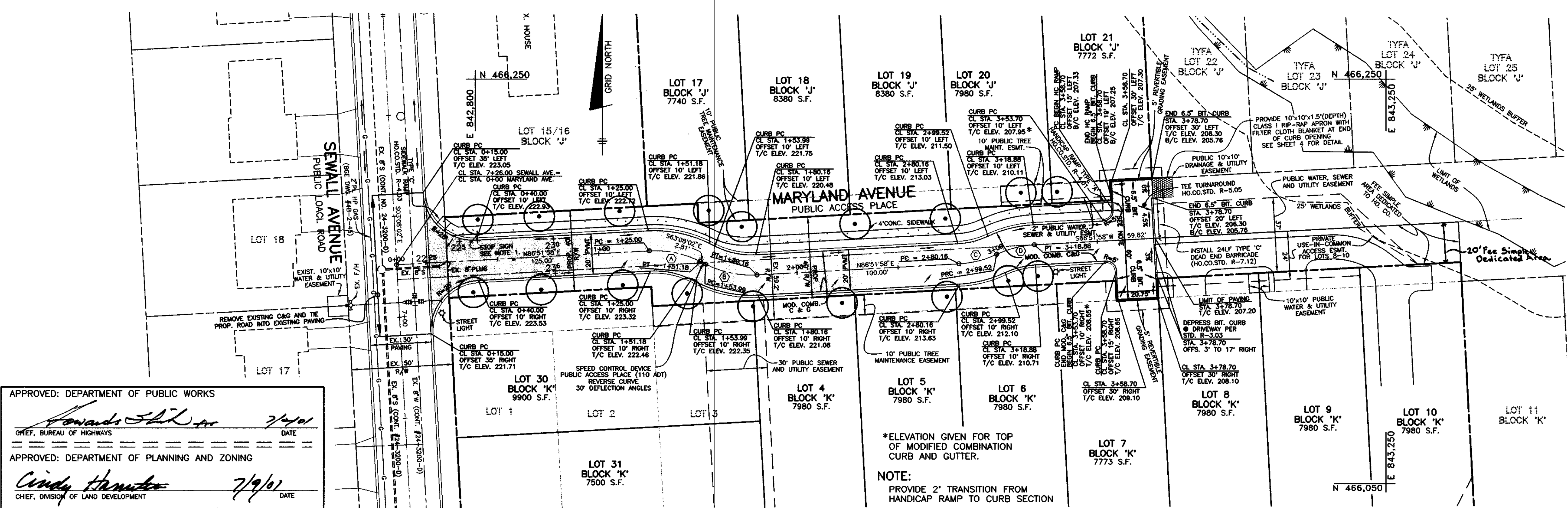


- PLANTING NOTES:**
- TREES SHOULD BE PLANTED A MINIMUM OF 4 FEET FROM CURB OR SIDEWALK AND 10 FEET FROM A DRIVEWAY.
  - A MINIMUM DISTANCE OF 20 FEET MUST BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHT.
  - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 18 STREET TREES SHALL BE PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$5,400.00.

**PROFILE**  
SCALE: 1" = 30'HORIZ., 1" = 3' VERT.

- NOTES:**
- STOP SIGN TO BE 30"x3" OCTAGON R1-1. STATION 0+40.00, OFFSET 11.5' LEFT.

STREET LIGHT SCHEDULE		
SYMBOL	LOCATION	DESCRIPTION
(Symbol)	CL STA. 0+21.00 OFFS. 25' RIGHT	100 WATT HPS VAPOR COLUMN POST TOP MOUNTED ON 1 1/2" BLACK FIBERGLASS POLE
(Symbol)	CL STA. 3+28.70 OFFS. 14' RIGHT	



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Forwards* 7/9/01  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy* 7/9/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE

NO. DATE REVISION

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 6480 BALTIMORE NATIONAL PIKE A SUITE 418  
 ELLICOTT CITY, MARYLAND 21143  
 PHONE: 410-465-6105 FAX: 410-465-6644

OWNER/DEVELOPER: CORNERSTONE HOMES, INC.  
 9691 NORFOLK AVENUE  
 LAUREL, MARYLAND 20723  
 410-792-2565

PROJECT: Maryland Avenue NORTH LAUREL PARK BLOCK 'J' LOTS 17-21 AND BLOCK 'K' LOTS 4-10, 17 AND 29-32

LOCATION: TAX MAP 50 - GRID 3 P/O PARCEL 426 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: ROAD PLAN, PROFILE AND LANDSCAPE PLAN

DATE: DECEMBER, 2000 PROJECT NO. 1329  
 MAY, 2001

DESIGN: DBT DRAFT: DBT CHECK: GWF SCALE: AS SHOWN SHEET 2 OF 5





APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 7/10/01  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/10/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE

*[Signature]* 7/10/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE

PLAN  
 SCALE: 1" = 30'

MAP SYMBOL	SOIL GROUP	SOIL TYPE
BeB2	C	BELTSVILLE SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED
BeC2	C	BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED
LuB	C*	LUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES
ScB	C	SANDY AND CLAYEY LAND, GENTLY SLOPING
SfB2	B	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED
SfD2	B	SASSAFRAS GRAVELLY SANDY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED

\* INDICATES HYDRIC SOILS  
 TAKEN FROM SOIL SURVEY, HOWARD COUNTY, MARYLAND (ISSUED JULY 1968) MAP NO. 31

NO.		DATE		REVISION	
<b>BENCHMARK</b> ENGINEERS • LAND SURVEYORS • PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE & SUITE 418 ELLICOTT CITY, MARYLAND 211043 PHONE: 410-465-6105 FAX: 410-465-6644					
OWNER/DEVELOPER:			PROJECT:		
CORNERSTONE HOMES, INC. 9851 NORFOLK AVENUE LAUREL, MARYLAND 20723 410-792-2565			<b>NORTH LAUREL PARK</b> BLOCK 'J' LOTS 17-21 AND BLOCK 'K' LOTS 4-10, 17 AND 29-32		
LOCATION:			TITLE:		
TAX MAP 50 - GRID 3 P/O PARCEL 426 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND			<b>DRAINAGE AREA MAP</b>		
DATE:		PROJECT NO.		SHEET	
DECEMBER, 2000 MAY, 2001		1329		3 OF 5	
DESIGN: DBT		DRAFT: DBT		CHECK: GWF	
SCALE: AS SHOWN					





- SEQUENCE OF CONSTRUCTION**  
NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF CONSTRUCTION
- DAY 1 1. OBTAIN GRADING PERMIT.
  - DAY 2-7 2. CLEAR AND GRUB AS REQUIRED TO INSTALL SEDIMENT CONTROL DEVICES AND INSTALL THOSE DEVICES.
  - DAY 8-22 3. CONSTRUCT AND STABILIZE DRAINAGE SWALE IN REAR OF LOT 10. CONSTRUCT SANITARY SEWER LINE FROM MH108A TO MH2 AND STABILIZE DISTURBED AREA BETWEEN MH108A AND MH1.
  - DAY 23-36 4. WITH SEDIMENT CONTROLS IN PLACE AND WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR CLEAR AND GRUB SITE, ROUGH GRADE AND STABILIZE AS REQUIRED.
  - DAY 37-67 5. CONSTRUCT REMAINDER OF SANITARY SEWER LINE, CONSTRUCT WATER LINE AND ROADWAY SECTION.
  - DAY 68-65 6. FINE GRADE ANY REMAINING AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS.
  - DAY 66-70 7. WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT STABILIZATION.

**ENGINEER'S CERTIFICATE**  
"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Donald Mason* 4/30/01  
ENGINEER - DONALD A. MASON, P.E. # 21443 DATE

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*B. D. By* 6/4/01  
DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
*Jim Myers* 6/22/01  
LAWYER - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John M. Hinton* 6/12/01  
HOWARD SCD DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Howard S. Hill* 7/4/01  
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hamstra* 7/9/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7/1/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO.	DATE	REVISION

**BENCHMARK**  
ENGINEERS & LAND SURVEYORS & PLANNERS  
**ENGINEERING, INC.**  
8480 BALTIMORE NATIONAL PIKE & SUITE 418  
ELLCOTT CITY, MARYLAND 21043  
PHONE: 410-465-6105 FAX: 410-465-6844

*Donald Mason*  
4/30/01

OWNER/DEVELOPER: CORNERSTONE HOMES, INC. 9691 NORFOLK AVENUE LAUREL, MARYLAND 20723 410-792-2565	PROJECT: <b>NORTH LAUREL PARK</b> BLOCK 'J' LOTS 17-21 AND BLOCK 'K' LOTS 4-10, 17 AND 29-32
TITLE: <b>GRADING, SEDIMENT AND EROSION CONTROL PLAN</b>	LOCATION: TAX MAP 50 - GRID 3 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: DECEMBER, 2000 MAY, 2001	PROJECT NO. 1329
DESIGN: DBT DRAFT: DBT CHECK: GWF	SCALE: AS SHOWN SHEET 4 OF 5



