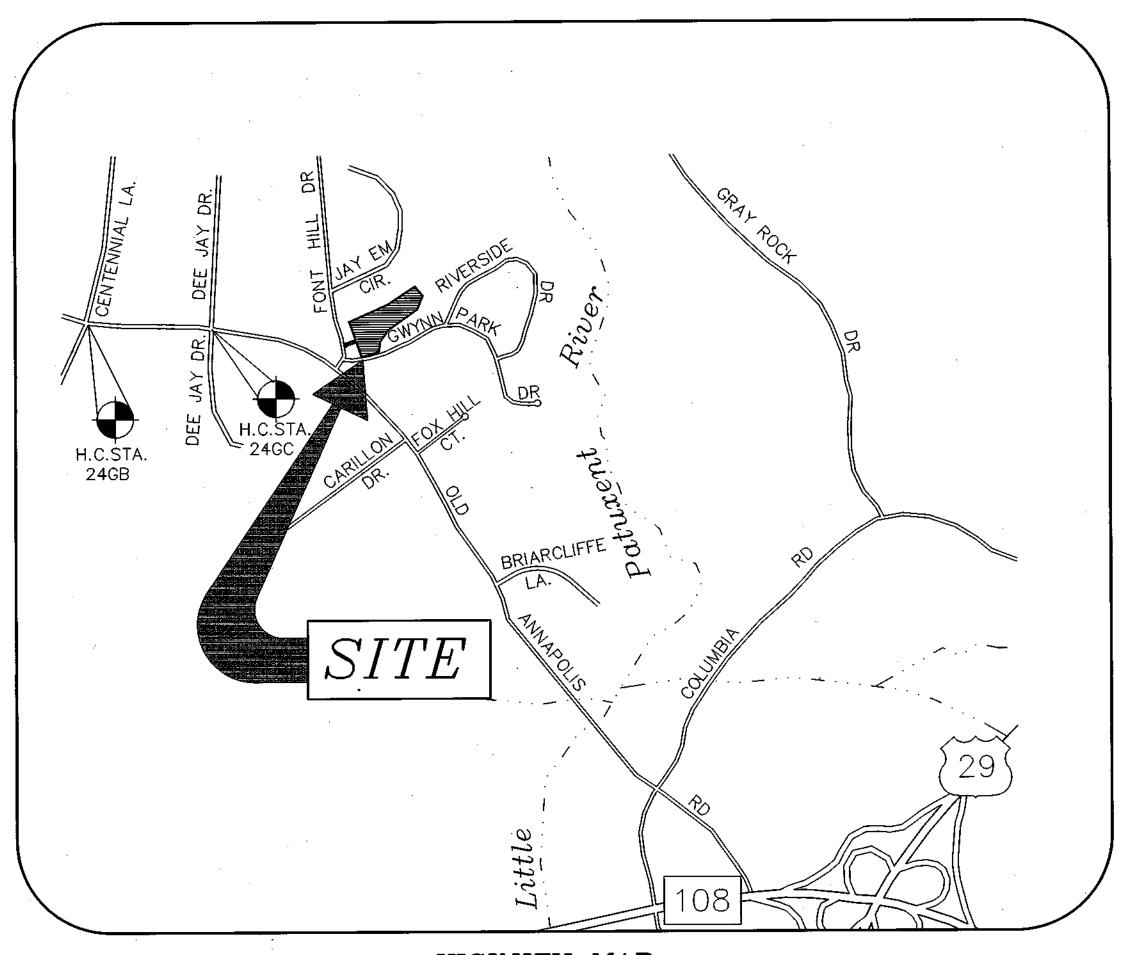
ROAD CONSTRUCTION PLANS RED FOX ESTATE LOTS 3 THRU 12

SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=500"

OWNER/DEVELOPER

RAFAT, INC.
C/O MILDENBERG, BOENDER AND ASSOC., INC.
5072 DORSEY HALL DR. SUITE 202
ELLICOTT CITY, MD 21042
(410) 997-0296

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:

MISS UTILITY

C&P TELEPHONE COMPANY

HOWARD COUNTY BUREAU OF UTILITIES

AT&T CABLE LOCATION DIVISION

BALTIMORE GAS & ELECTRIC

STATE HIGHWAY ADMINISTRATION

HOWARD COUNTY DEPT. OF PUBLIC WORKS/

CONSTRUCTION INSPECTION DIVISION

-800-257-7777 (410) 725-9976 (410) 313-4900 (410) 393-3533 (410) 685-0123 (410) 531-5533 (410) 313-1880

- 3. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT
- LOCATION: TAX MAP 24 PARCEL 539 LOT 2
 ZONING: R-20
 ELECTION DISTRICT: 2ND
 DPZ No. S-97-11, WP-97-93 ,F-97-97
 WP-99-124 DENIED JULY 27, 1999, P-98-23.
 DEED REFERENCE: L. 4723 F. 267

AREA TABULATION:

(ALL DATA INCLUDE LOT 1 OF RED FOX ESTATE F-97-97).

6.936 AC ± 14,000 S.F. MINIMUM LOT AREA: AREA OF PROPOSED BUILDABLE LOTS: 4.604 AC. ± AREA OF PROPOSED NON-BUILDABLE BULK PARCEL A: 0.042 AC. ± REQUIRED OPEN SPACE (30% OF GROSS AREA) 2.08 AC. ± PROVIDED OPEN SPACE: 2.29 AC. ± 0.02 AC. ± NON-CREDITED OPEN SPACE (PAVED): CREDITED OPEN SPACE : 2.270 AC. ± NUMBER OF PROPOSED BUILDABLE LOTS: NUMBER OF PROPOSED OPEN SPACE LOTS: TOTAL NUMBER OF NON-BUILDABLE PARCELS: TOTAL NUMBER OF PROPOSED LOTS OR PARCELS:

- 6. TOPOGRAPHIC INFORMATION ARE BASED ON FIELD RUN TOPOGRAPHIC SURVEY PERFORMED ON OR ABOUT OCTOBER 1996 BY
- MILDENBERG, BOENDER AND ASSOCIATES, INC.

 7. BOUNDARY INFORMATION IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT OCTOBER 1996 BY MILDENBERG, BOENDER AND ASSOCIATES, INC.
- COORDINATE BASE ON NAD'83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS No: 24GB AND 24GC.

FA. No. 24GB N 579,069.4682 ! E 1,350,441.8687 46 EL. 493.002

24GC N 578,868.8541G E. 1,352,120.6963 705

- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER ARE PUBLIC. CONTRACT NO. 24—3831—D, PROPERTY IS LOCATED WITHIN LITTLE PATUXENT DRAINAGE AREA.
- STORMWATER MANAGEMENT WIL BE PRIVATELY OWNED AND MAINTANED. IT WILL BE PROVIDED BY A DETENTION FACILITY AND STORMCEPTOR.
- EXISTING UTILITIES WERE LOCATED BASED ON HOWARD COUNTY'S AS-BUILT DRAWINGS.

12. THERE IS NO FLOODPLAINS ON THIS SITE.

13. WETLANDS STUDY AND FOREST STAND DELINEATION BY WILDMAN ENVIRONMENTAL SERVICES, INC. DATED SEPTEMBER 30,1996.

14. NO CEMETERIES OR HISTORIC STRUCTURES EXIST ON SITE.

15. COMPACTION IN FILL AREAS TO BE 95% AS DETERMINED PER AASHTO T-180.

16. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE. PROVIDE 100-WATT HPS VAPOR "TRADITIONAIRE" POST TOP FIXTURE MOUNTED ON A 14' BLACK FIBERGLASS POLE ON

STREET NAME	STATION	OFFSET	NOTES
RED FOX COURT	0+23	23' RT	
RED FOX COURT	2+55	44' RT	STREET LIGHT REQUIRES PRIVATE AREA LIGHTING AGREEMENT WITH BGE AND IS THE RESPONSIBILITY OF HOA

- 17. THE HOUSE ON LOT 9 MUST BE LOCATED ON THE WEST SIDE OF THE STREAM,
- A STREAM CROSSING FOR A RESIDENTIAL DRIVEWAY IS NOT AUTHORIZED.

 18. THIS PROJECT IS SUBJECT TO WP-97-93, APPROVED APRIL 4, 1997
 WHICH WAIVED THE REQUIREMENT OF 40' FRONTAGE OF OPEN SPACE
- LOTS ON PUBLIC ROAD. THIS PETITION IS SUBJECT TO THE FOLLOWING CONDITIONS:

 A) COMPLIANCE WITH THE FOLLOWING COMMENT FROM THE DEPARTMENT OF RECREATION AND PARKS:
- IT IS NOT THE DEPARTMENT'S POLICY TO ENTER INTO A USE—IN—COMMON MAINTENANCE AGREEMENT, THEREFORE THE DEPARTMENT REQUIRES THAT AN INGRESS AND EGRESS EASEMENT BE PLACED ON THE USE IN COMMON STRIP FOR THE DEPARTMENT TO GAIN ACCESS TO OPEN SPACE LOT 12.
- B) COMPLIANCE WITH THE COMMENTS PREVIOUSLY ISSUED FOR S-97-11 AND F-97-97.
- C) SUBMISSION OF THE ORIGINAL PLAT FOR F-97-97 AFTER SIGNATURE AND APPROVAL
- D) PROVIDE A NOTE ON F-97-97 STATING THAT THE OPEN SPACE OBLIGATION ASSOCIATED WITH THE CREATION OF LOT 35 WILL BE FULFILLED WITH THE RESUBDIVISION OF THE RESIDUE (LOT 36) PER S-97-11.
- THE TRAFFIC STUDY BY MILDENBERG, BOENDER AND ASSOC. ON JAN 11,1997 , AND WAS APPROVED ON APRIL 17, 1997.
- 20. FOREST CONSERVATION OBLIGATIONS ARE MET BY RETENTION OF 1.72 ACRES OF FOREST ON—SITE, WITH A RETENTION SURETY OF \$7492.30 (1.72ACRES X 43,560 X \$0.10 PER s.f.)
- 21. LANDSCAPE SURETY IN THE AMOUNT OF \$ 11,550.00(35SHADE TREES X \$300 PLUS 7 EVERGREEN TREES X \$ 150) IS PART OF THE DEVELOPER'S AGREEMENT.
- 22. THIS PROJECT IS SUBJECT TO WAIVER PETITION WP-99-124 REQUESTED ON JUNE 1,1999, REQUESTING TO ALLOW GRADING FOR THE CONSTRUCTION OF A DRIVEWAY ACROSS A STREAM WAS DENIED ON JULY 27,2000. THE DENIAL WAS APPEALED IN CASE No. 432D.
- 23. EXISTING WELL AND SEPTIC FIELD ARE TO BE PROPERLY ABANDONED WITHIN 90 DAYS OF RECORDATION OF (THE RECORD PLAT) IN ACCORDANCE WITH HOWARD COUNTY HEALTH DEPARTMENT REQUIREMENTS.
- 24. NON-BUILDABLE BULK PARCEL A TO BE CONVEYED TO ADJACENT LOT 1 FOR NO COMPENSATION.

DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEPARATION CONSTRUCTION, SOIL EROSION AND SEPARATION DISTRICT.

THESE PLANT OR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE EQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PUBLIC WORKS

CHIEF BUREAU OF HIGHWAYS

DATE

ADDROVED: DEPARTMENT OF PLANNING AND ZONING

AS-BUILT CERTIFICATION

ONSITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING

ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE COMMONLY ACCEPTED ENGINEERING STANDARDS CERTIFY DOES NOT MEAN OR MAY A GUARANTEE BY THE ENGINEER NOR DOES AND ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE

ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A

DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

CONSTRUCTION, THE ONSITE INSPECTIONS AND MATERIAL TESTS

R. TAGB HIKMAT , PRESIDENT PRINTED NAME OF DEVELOPER RASAT INL

BY THE DEVELOPER:

GNATURE OF DEVELOPER

LHEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND

F-00-104

MAP 24

RED FOX ESTA

RED FOX ESTA

SECOND ELECTION DISTRICT

COVER

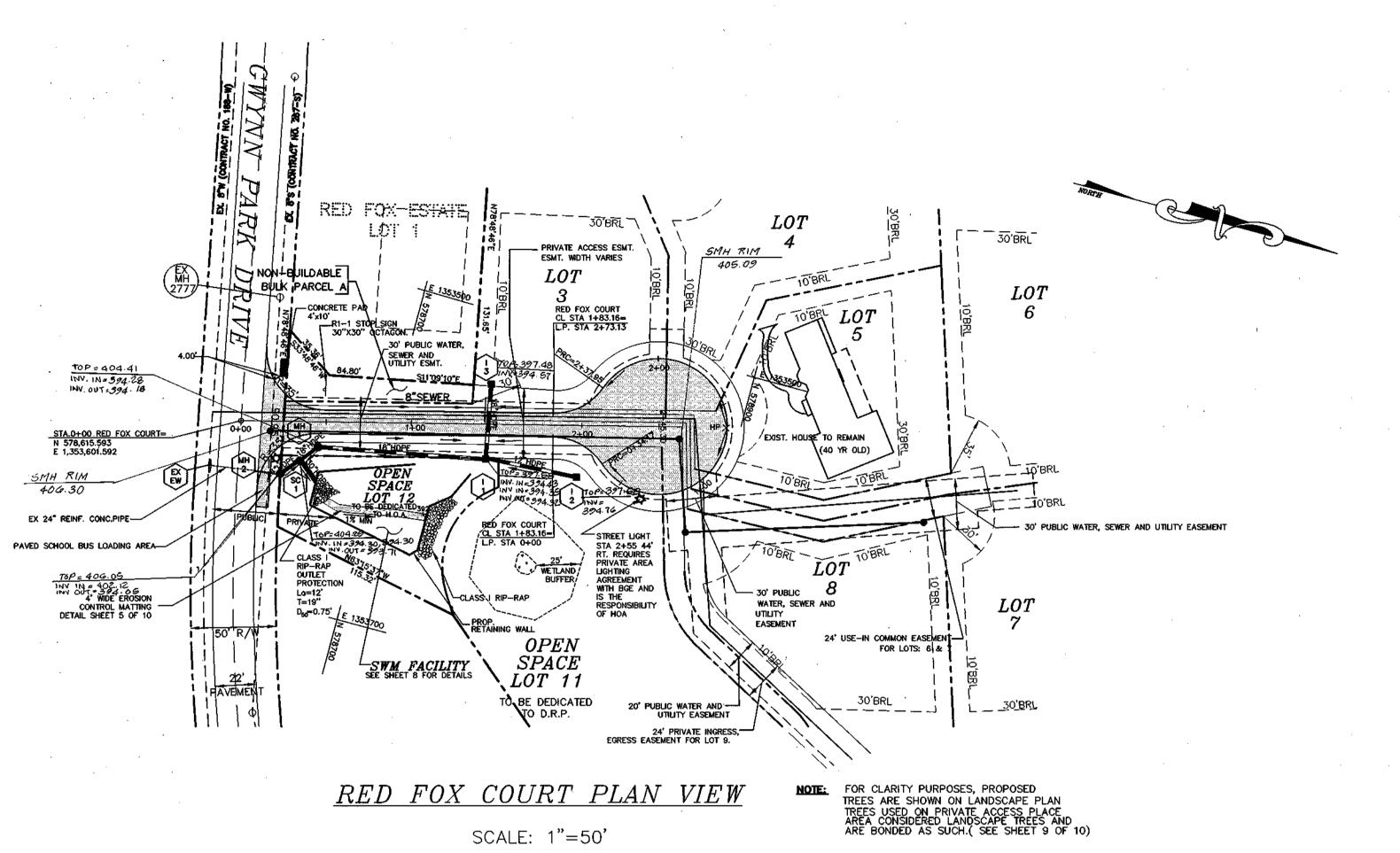
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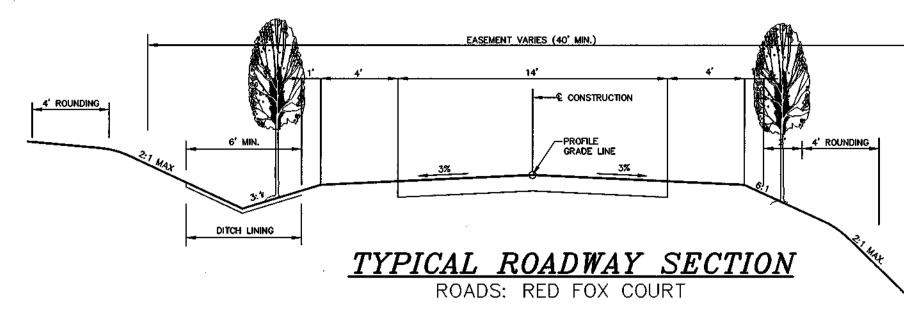
PARCEL 539
- LOTS 3-12
A, A RESUBDIVISION
HOWARD COUNTY, MA

W

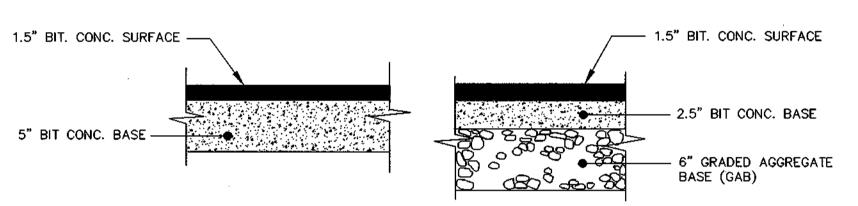
SOENDER & ASSOC.,
Engineers Planners Surveyors
by Hall Drive, Suite 202, Ellicott City, Maryle

1 OF 10

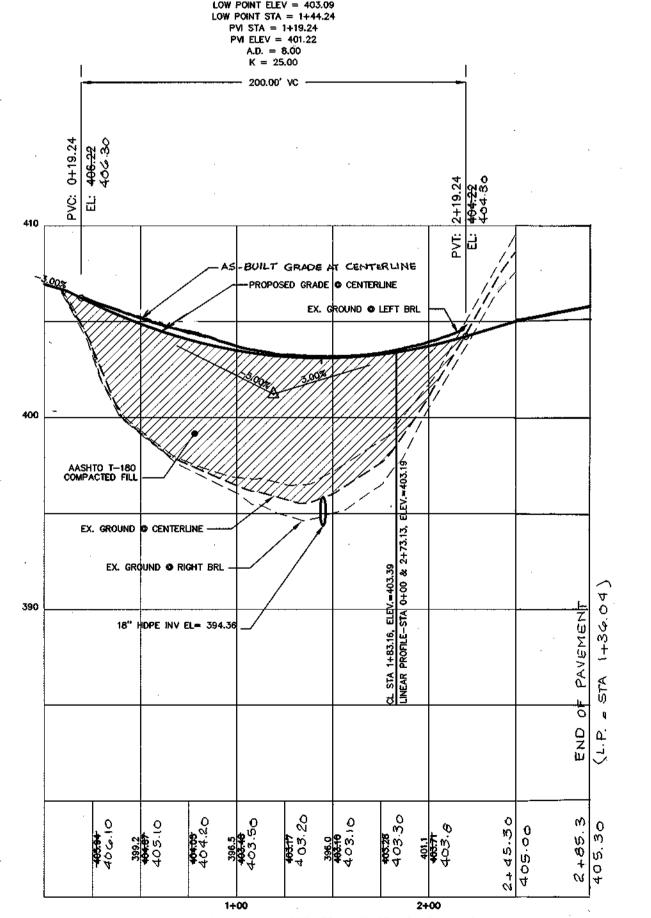


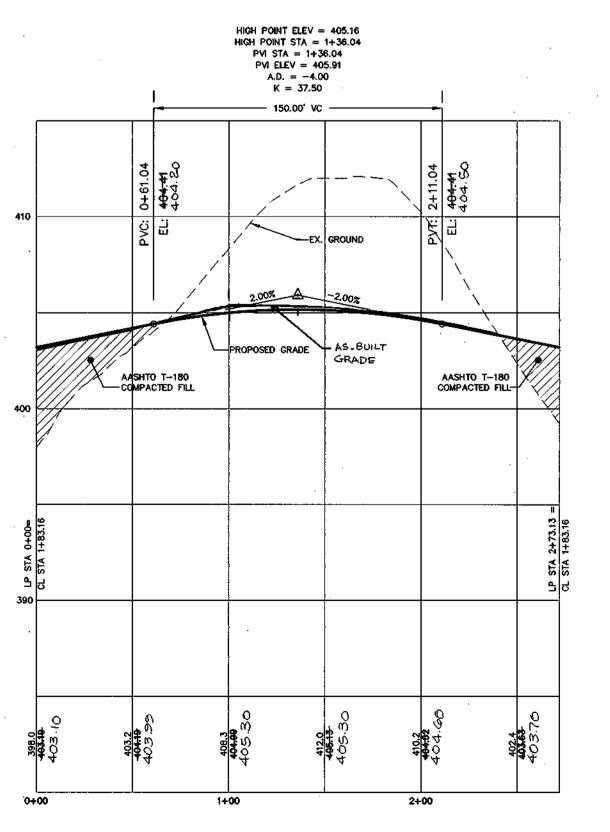


N.T.S. CLASSIFICATION: PRIVATE ACCESS PLACE DESIGN SPEED LIMIT: 15 MPH



ALTERNATE "B" ALTERNATE "A" PAVING SECTION P-2 N.T.S.





RED FOX COURT LINEAR PROFILE <u>SCALE:</u> HOR. 1"=50' VER. 1"=5'

RED FOX COURT PROFILE

<u>SCALE:</u> HOR. 1"=50'

CLASSIFICATION: PRIVATE ACCESS PLACE

OWNER

RAFAT INC.

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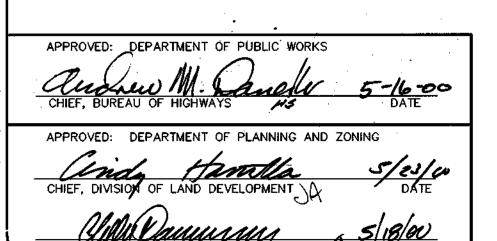
2 of 10

MILDENBERG, BOENDER & ASSOC.

539 3-12 UBDIVISION

TAX MAP 2
RED FOX EST.
SECOND ELECTION DISTRICT





VER. 1"=5'

F-00-104

GWYNN PARK DR. LEFT TURN TO RED FOX CT. <u>SCALE:</u> HOR. 1"=20' VER. 1"=2'

GWYNN PARK DR. RIGHT TURN TO RED FOX CT.

OWNER RAFAT INC. C/O MILDENBERG, BOENDER AND ASSOC., INC. 5072 DORSEY HALL DR. SUITE 202 ELLICOTT CITY, MD 21042 (410) 997-0296

F-00-104

TAX MAP 24, PARCEL 539

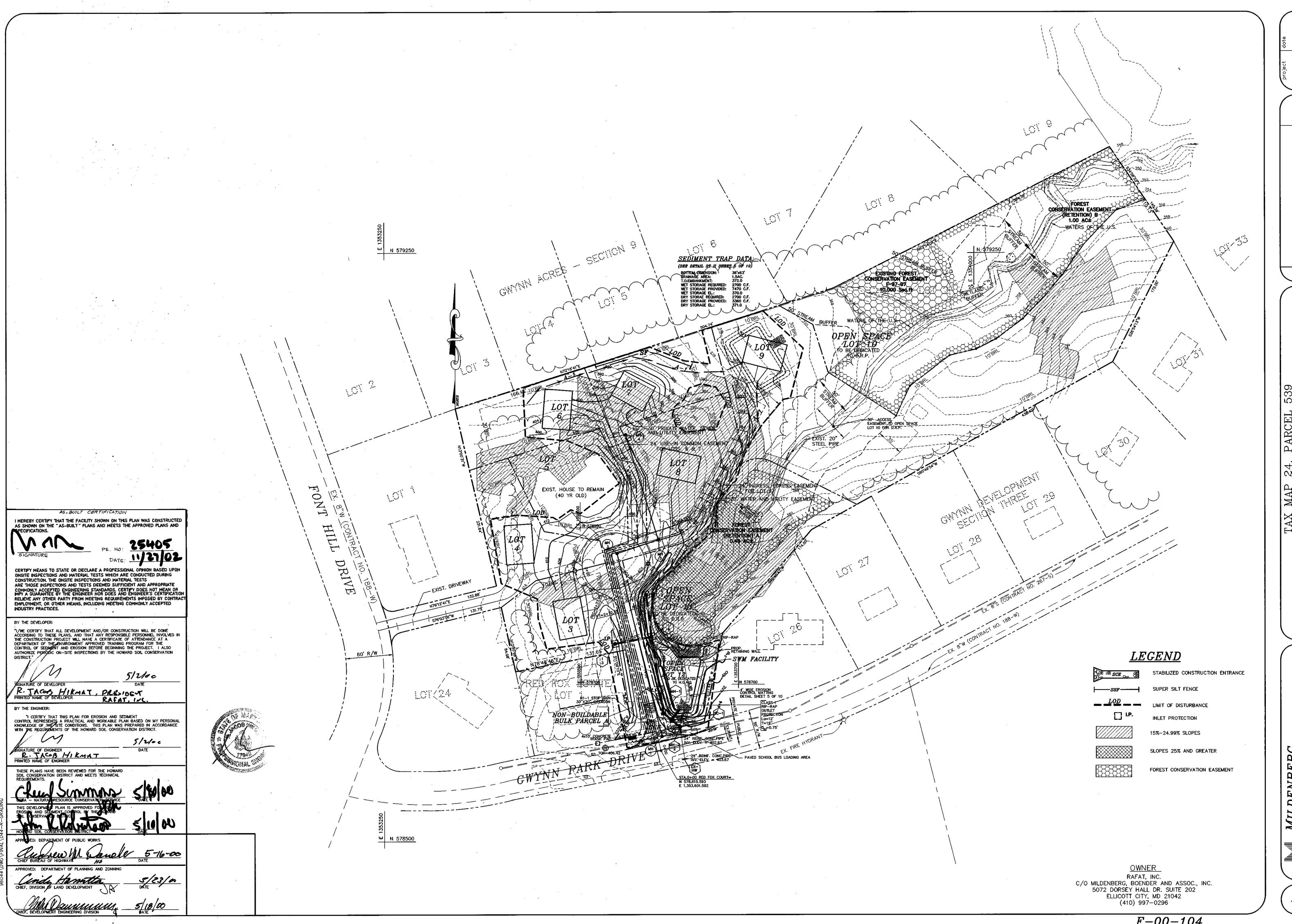
RED FOX ESTATE - LOTS 3-12
BUILDABLE BULK PARCEL A, A RESUBDIVISION OF LOT

ND ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

NON-SECO

(3 of 10)



F-00-104

EDIMENT TAX MA

RED FOX

NON-BUILDABLE BULK F

SECOND ELECTION DISTRICT GRADING

SSOC.

4 OF 10

<u>PERMANENT SEEDING NOTES</u>

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING , DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED. SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES: 1) PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.)

HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING. APPLY 400 LRS. PER ACRE 30-0-0 URFAFORM FERTILIZER (9 LBS./1000 SO.FT.). 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE

AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING.

SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1.4 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LOBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. OPTION (3) -SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONE/ACRE WELL ANCHORED STRAW. mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft) of unrotted small grain straw IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING. MAINTENANCE — INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE, INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, FOR NOT PREVIOUSLY LOOSENED

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU NOVEMBER 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

<u>STANDARD SEDIMENT CONTROL NOTES</u>

1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF NAY

2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO

) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, 8) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE

5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.51), SOD (SEC. 54), Temporary Seeding (Sec. 50) and mulching (Sec.52). Temporary Stabilization with MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7) SITE ANALYSIS: ACRES 6.94 TOTAL AREA OF SITE:_ . ACRES 2.09 AREA DISTURBED: ____ ACRES 0.46 AREA TO BE ROOFED OR PAVED: _____ _ ACRES 1.63 AREA TO BE VEGITATIVELY STABILIZED: ____ __ CU. YDS.51.00 _ CU. YDS. 51,000 <u>(not requ</u>ired TOTAL WASTE/BORROW AREA LOCATION: ___

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITY MEASUREMENTS.

ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY

SEDIMENT CONTROL INSPECTOR. 10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER. STANDARD AND SPECIFICATIONS FOR TOPSOIL

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

BY THE DEVELOPER: "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE according to these plans, and that any responsible personnel involved IA THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT, I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLANTOF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT." SIGNATURE OF DEVELOPER R. TAGES HILMAT , PRESIDE ~ T PRINTED NAME OF DEVELOPER RAFAT INC RAFAT, INC. "I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION." 1794S ATURE OF ENGINEER PRINTED NAME OF ENGINEER THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS. RESOURCE CONSERVATIONS

CONDITIONS WHERE PRACTICE APPLIES

 THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE'S WHERE: G. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE

b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATION. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CON-TRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN

ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON-

SON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING

III. 'FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE <u>Stabilization</u> — section i — vegetative stabilization methods and materials.

ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

o. PH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PERSCRIBED TO RAISE THE pH TO 6.5 OR HIGHER.

b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT. c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED. d. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR

CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 vegetative STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLLICATION WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE

MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION iii. Topsoil shall be uniformly distributed in a 4" to 8" layer and lightly compacted to a minimum THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

iv. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER ALTERNATIVE FOR PERMANENT SEEDING -- INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL

FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW: COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

q. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.

b. COMPOSTED SLUDGE SHALL CONTAIN AT LEASE 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOURUS, AND 0.2 PERCENT POTASSIUM AND HAVE A Ph OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE. c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

iv. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILLIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE. REFERENCES: QUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB, #1, COOPERATIVE

POND SPECIFICATIONS (MD-378 WHERE APLICABLE)

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankmer Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 25—foot radius around the inlet structure shall be cleared. All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for

EARTH FILL Material — The fill material shall be taken from approved designated borrow areas. It

shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must ave construction super-vised by a geotechnical engineer. Materials used in the outer ment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement – Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment. embankment.

Compaction — The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if With the equipment used. The lift interest and contain staticties to be used that water can be squeezed out. When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within ±2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined aut Off Trench - The cutoff trench shall be excavated into impervious material along o Cut Off Trench — The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. Embankment Core — The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum

equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the

STRUCTURE BACKFILL

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate loser than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe. Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 psi; 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2,000 ohm—cm. Material shall be placed such that a minimum of 6" (measured and, on the sides of the pipe. It anly needs to extend up to the spring line for rigid conduits. Average stump of the fill shall be 7" to assure flowability of the material. Adequate measures shall be taken (sand bags, etc.) to prevent floating the pipe. When using flowable fill, all metal pipe shall be biturninous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill (flowable fill) zone shall be of the type and quality conforming to that specified for the core of the embankment or other embankment materials.

have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges. Materials — (Aluminum Coated Steel Pipe) — This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Materials — (Aluminum Pipe) — This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M— 96 or -- 211 with watertight coupling bands or flanges. Aluminum Pipe, when used with riser are metal. Anti—seep collars shall be connected to the pipe in such a manner a to be completely watertight. Dimple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections.

The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth. The following type connections are acceptable for pipes less than 24 inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed cell neoprene gasket prepunched to the flange bolt circle, sandwiched between adjacent flanges; a 12inch wide standard top type band with 12—inch wide by 3/8—inch thick closed cell circulal neoprene gasket; and a 12—inch wide hugger type band with o—ring gaskets having a minimum diameter of 1/2 inch greater than the corrugation depth. Pipes 24 inches in diameter and larger shall be connected by a 24 inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12 inches on the end of each pipe. Flanged joints with 3/8 inch closed cell gaskets the full width of the flange is also acceptable. Helically corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene bead.

4. Bedding — The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support. idequate support 5. Backfilling shall conform to "Structure

stc.) shall be as shown on the drawings.

Reinforced Concrete Pipe — All of the following criteria shall apply for reinforced concrete pipe: Materials — Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-361. . Bedding — Reinforced concrete pipe conduits shall be laid in a concrete bedding / cradle for their entire length. This bedding / cradle shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 50% of its outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is no needed for structural reasons, flowable fill may be used as described in the "Structure" Backfill" section of this standard. Gravel bedding is not permit

3. Laying pipe — Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are fillEd. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser, f. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings. Plastic Pipe — The following criteria shall apply for plastic pipe:

1. Materials — PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch pipe shall meet the requirements of AASHTO M252 Type S, and 12" through 24" inch shall meet the requirements of AASHTO M294 Type S. 2. Joints and connections to antiseep collars shall be completely waterlight.

3. Bedding —The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide

4. Backfilling shall conform to "Structure Backfill" 5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings. Drainage Diaphragms — When a drainage diaphragm is used, a registered professional engineer will supervise the design and construction inspection.

adequate support

Concrete shall meet the requirements of Maryland Department of Transportation,
State Highway Administration Standard Specifications for Construction and Materials,
Section 414, Mix No. 3. Rock Riprap Rock riprap shall meet the requirements of
Maryland Department of Transportation, State Highway Administration Standard
Specifications for Construction and Materials, Section 311. Geotextile shall be placed under all rip—rop and shall meet the requirements of Maryland Department
of Transportation, State Highway Administration Standard Specifications for of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09,

CARE OF WATER DURING CONSTRUCTION

All work on permanent structures shall be carried out in areas free from water. The Con-tractor shall All work on permanent structures state be corried out in areas free from water. The conconstruct and maintain all temporary dikes, levees, conferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be possed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the lo—cations being refilled shall be maintained be—low the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be

STABILIZATION

All borrow areas shall be graded to provide proper drainage and left in a sightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MD-342) or as shown on the accompanying drawings.

EROSION AND SEDIMENT CONTROL

Construction operations will be carried out in such a manner that erosion will be ontrolled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and ediment control measures.

SEQUENCE OF CONSTRUCTION

OBTAIN GRADING PERMIT

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, WITH MOUNTABLE BERM, AT LOCATION SHOWN. (1 DAY)

CONSTRUCT SUPER SILT FENCES AND TREE PROTECTION FENCES. (1 DAY) CONSTRUCT SEDIMENT TRAP AND EARTH DIKES (5 DAYS)

5. CLEAR SITE PER LIMITS INDICATED. (5 DAYS) 6. BRING SITE TO GRADE INDICATED ON THE PLANS. CONSTRUCT

STORM DRAIN SYSTEM & UTILITIES. (10 DAYS) PROVIDE INLET PROTECTION DEVICES

AREAS ON THE PROJECT SITE.

CONSTRUCT PAVEMENT AS INDICATED.

STABILIZE ALL REMAINING DISTURBED AREAS. WHEN ALL CONTRIBUTING AREAS TO SEDIMENT TRAP HAVE BEEN STABILIZED, BRING TRAP SITE TO FINISHED GRADE AND STABILIZE REMAINING DISTURBED AREA. (5 DAYS) WHEN ALL CONTRIBUTING DRAINAGE AREAS TO SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS. (10 DAYS)

CONTRACTOR SHALL REMOVE SEDIMENT AND FLUSH STORM DRAIN SYSTEM AT THE END OF CONSTRUCTION PERIOD. (5 DAYS)

UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE THE TEMPORARY STANDPIPES, RECONSTRUCT THE PERFORATED PVC PIPES, AND INSTALL THE PERMANENT LOW FLOW ORIFICE PLATES AS SHOWN ON THE DETAILS, STABILIZE STORMWATER MANAGEMENT POND AREAS. (5 DAYS)

14. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMAN-ENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN

A) 7 CALENDAR DAYS FOR ALL PERIMETER SLOPES AND SLOPES GREATER THAN 3:1.

B) 14 CALENDAR DAYS FOR ALL OTHER DISTURBED GRADED

AND STATEMENT OF THE PROPERTY OF THE PROPER

AS-BUILT CERTIFICATION HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ONSITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION, THE ONSITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OF MPLY A GUARANTEE BY THE ENGINEER NOR DOES AND ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQIREMENTS IMPOSED BY CONTRACT,

EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED

PIPE CONDUITS Corrugated Metal Pipe — All of the following criteria shall apply for corrugated metal 196 or -- 211 with watertight coupling bands or flanges. Aluminum Pipe, when used with flowable fill or when soil and/or water conditions warrant for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A.

Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The ph of the surrounding soils shall be between 4 and 9.

2. Coupling bands, anti-seep collars, end sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thick-ness.

3. Connections — All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as

DETAIL 23A - STANDARD INLET PROTECTION EUTEXTILE CLASS E [D] 210 MAX. DRAINAGE AREA = 1/4 ACR

DETAIL 9 - STONE OUTLET SEDIMENT TRAP - ST II

TOP OF EMBANKHEN

UEIR CREST

-GEUTEXTILE CLASS C

Area under embasionent shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.

2. The fill material for the embandment shall be free of roots and

pacted by traversing with equipment while it is being

other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The enbankment shall be

size with a 1' thick layer of 3/4' to 11/2' washed aggregate placed on the upstream face of the cutlet. Stone facing shall be as necessary to prevent clogging. Geotextile Closs C may be substituted for the stone facing by placing it on the inside face of the stone reflex.

5. Sediment shall be removed and trap restored to its origina

diversions when the sediment has accumulated to one half of the wet storage depth of the trap. Removed sediment shall be deposit in a suitable area and in such a manner that it will not erode.

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SUIL. CONSERVATION SERVICE C - 9 - 10 VATER MANAGEMENT ADMONISTRATION

SMALL RIP-RAP 4" TO 7"

SECTION A-A

3. All cut and fill slopes shall be 21 or flatter.

1' HIN WEIR LENGTH A' MAY NEIGHT

SECTION B-B

EXISTING REPORTED EXISTING

1. Excavate completely around the inlet to a depth of 18° below the 2. Brive the 2" x 4" construction grade lumber posts 1" into the ground at each corner of the inlet. Place notified strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Betail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise. 3. Stretch the $1/2^{\prime}$ x $1/2^{\prime}$ wire mesh tightly around the frame and fasten securely. The ends must neet and overlap at a

4. Stretch the Geotextile Class E tightly over the wire mesh with the geotistile extending from the top of the frame to 18' below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must neet at a post, be overlapped and folded, then fastened down. 5. Backfill around the inlet in compacted 6' layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides. 6. If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6' higher than the top of the frame.

The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

4'x4'x4' DRY WELL

TYP. DETAIL

DRY WELL ARE TO BE PROVIDED AT EACH DOWNSPOUT DRAINING AWAY FROM THE ROAD.

<u>OWNER</u>

RAFAT INC.

C/O MILDENBERG, BOENDER AND ASSOC., INC.

5072 DORSEY HALL DR. SUITE 202

ELLICOTT CITY, MD 21042

(410) 997-0296

-PERFORATED PIPE

Flow Rate 0.3 gal/ft*/minute (max.)
Filtering Efficiency 75% (min.) DETAIL 23A - STANDARD INLET PROTECTION

3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24° at the top and mid section.

5. When two sections of filter cloth adjoin each other, they shall be averlapped

Maintenance shall be performed as needed and silt buildups removed when 'bulges develop in the silt fence, or when silt reaches 50% of fence height

50 lbs/in (nin.) 20 lbs/in (nin.)

4. Filter cloth shall be embedded a minimum of 8' into the ground.

DETAIL 27 - ROCK OUTLET PROTECTION III

U.S. DEPARTMENT OF AGRICUATURE PAGE HARVIAND DEPARTMENT OF ENVIRONMENT
SITE CONSERVATION SERVICE F - 18 - 11 VATER HANAGEMENT ADMINISTRATION

EUTEXTILE CLASS E 1. Excavate completely around the inlet to a depth of 18° below the

Tensile Strength Tensile Modulus Flow Rate

2. Drive the 2' x 4' construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2' x 4' frame using the overlap joint shown on Betail 23A. The top of the frame (we're) must be 6' below adjacent roadways where clouding and cataly assembly arrays. 3. Stretch the $1/2^{\prime} \times 1/2^{\prime}$ wire nesh tightly around the frane and fasten securely. The ends must meet and overlap at a 4. Stretch the Geotextile Class E tightly over the wire mesh with the geotixtile extending from the top of the frame to 18' below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must neet at a post, be overlapped and folded, then fastened down.

5. Backfill around the inlet in connected 6' levers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides. 6. If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6' higher than the top of the frame. 7. The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF DIVIRINMENT SUIL CONSERVATION SERVICE ϵ - 16 - 5 VATER MANAGEMENT ADMINISTRATION EROSION CONTROL MATTING Construction Specifications 1. Key—in the matting by placing the top ends of the matting in a narrow treach. 6' in depth. Backfill the trench and tamp firstly to conform to the channel cross-section. Secure with a new of staples about 4' down slope from the trench. Spacing between staples is 6'. 2. Staple the 4' overlap in the channel center using an 18' spacing 3. Before stapling the outer edges of the natting, nake sure the natting is smooth and in firm contact with the soil. 4. Staples shalt be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center. the top strip shall overlap the upper end of the loser strip by 4°, shiptap fashion. Reinforce the overlap with a double row of staples

III ZIP

Note: If flow will enter from the edge of the natting them the area

spaced 6' apart in a staggered pattern on either side.

effected by the flow must be keyed-in.

CONSTRUCTION SPECIFICATIONS I. The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbe material. 2. The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter. 3. Gentextite shall be protected from punching, cutting, or tearing. Any damage other damage other than an occasional small hole shall be repaired by placing another piece of gentextile over the damaged part or by completely replacing the gentextile. All over-taps whether for repairs or for joining two places of gentextile shall be a minimum of one foot. 4. Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for nip-rap or gabion outlets shall be delivered and placed in a moner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works. EXISTING STABILIZED AREA 5. The stone shall be placed so that it blends in with the existing ground. the stone is placed too high then the flow will be forced out of the channel and scour adjacent to the stone will occur. ELEVATION

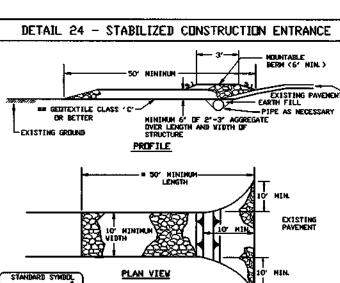
ROCK DUTLET PROTECTION III

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SUBL. CONSERVATION SERVECE F - 18 - MA VATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE SUPER SILT FENCE Besign Criteria (muximum) L 8 NINIHUH 10-1 - 5-1 51-91 100 feet 31-31 100 feet ENBED FILTER CLOTH 8'----21+ 1. Fencing shall be 42' in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42' fabric and 6' length

1,000 feet Chain link fence shall be fastened securely to the fence posts with wire ties.The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.

7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall neet the following requirements for Geotextile Class Fi Test MSMT 32



. Length – minimum of 50° (#30° for single residence (ot). 2. Width - 10' minimum, should be flored at the existing road to provide a turning 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile. Stone - crushed aggregate (2' to 3') or reclained or recycled concrete equivalent shall be placed at least 6' deep over the length and width of the embrace.

5. Surface Water — all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, naintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a nountable bern with 5:1 slopes and a nininum of 6' of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the anount of runoff to be conveyed. A 6' nininum will be required. 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site aust travel over the entire length of the stabilized construction entrance

DETAIL 30 - EROSION CONTROL MATTING TYPICAL STAPLES NO. 1: GAUGE VIRE

5 of 10

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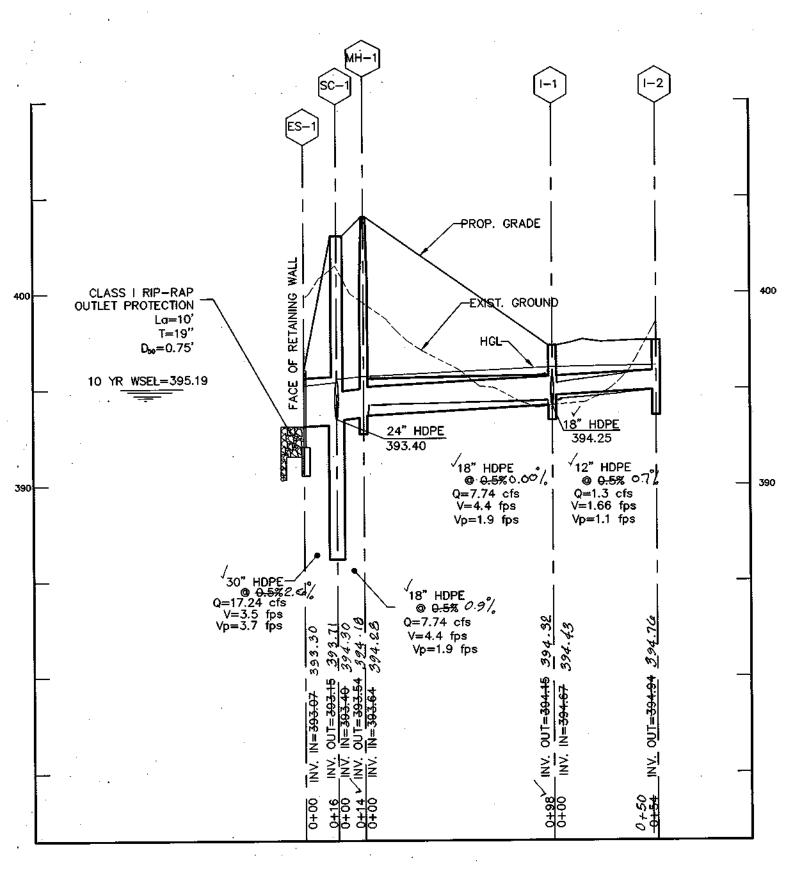
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39 -12 Jadi

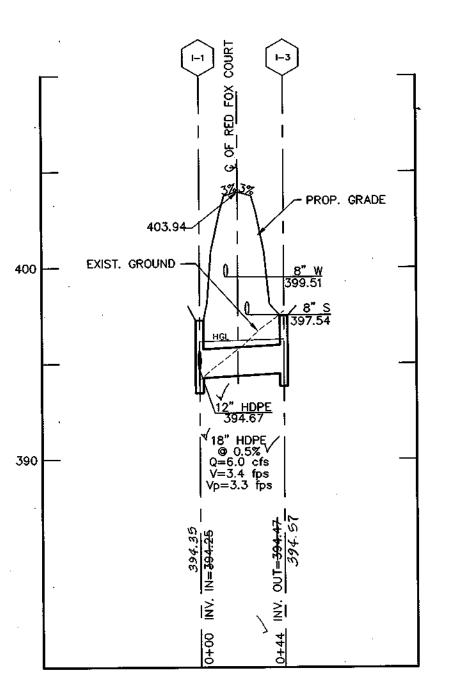
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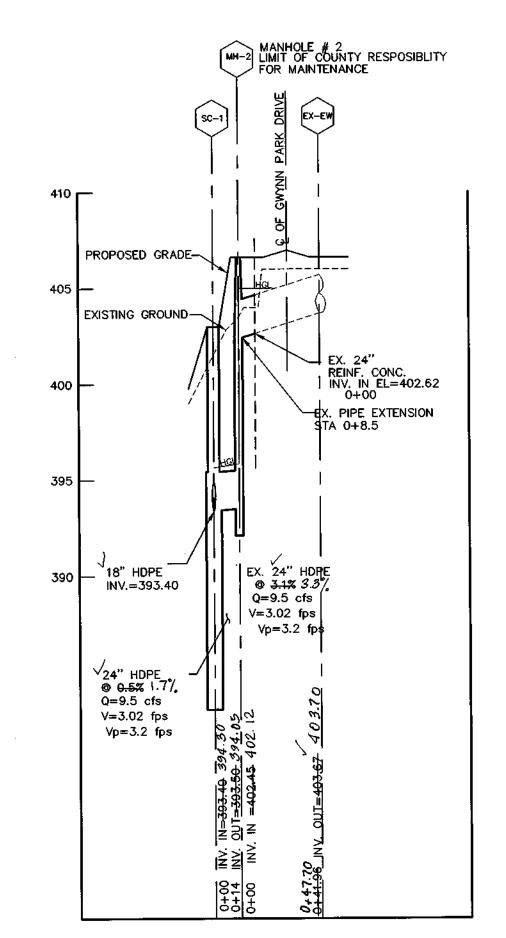


STORM DRAIN PROFILE WALL TO I-2 HOR: 1"=50' VER: 1"=5"



STORM DRAIN PROFILE <u>I-1 TO I-3</u>

> HOR: 1"=50' VER: 1"=5"



STORM DRAIN PROFILE SC-1 TO I-EX

> HOR: 1"=50' VER: 1"=5'

DIDE CCHEDIIE

	PIPE SCREDULE							
Γ	PIPE SIZE	LENGTH						
Γ	12"HDPE	54 L.F.						
Γ	18"HDPE	156 L.F.						
	24"HDPE	23 L.F.						
	30"HDPE	16 L.F.						

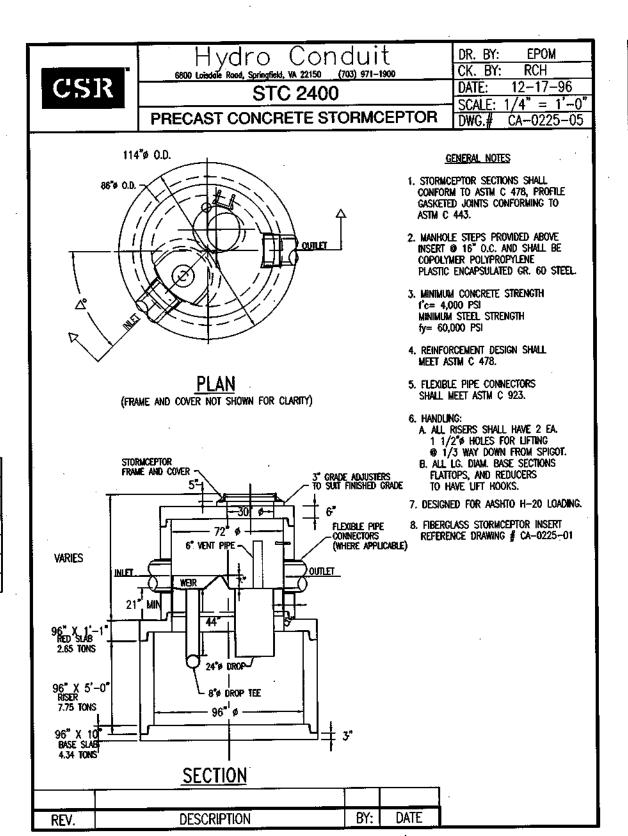
394.30 394.43 STRUCTURE || SCHEDULE

					
T LOCATION	TOP OF STRUCTURE	NVERT IN	INVERT OUT	COMMENTS	
RED FOX COURT STA. 0+28 RT. 35.53	404.42 404.29	393.40 , 393.40	398.71 392.15	SC-2400 SERIES	
	397.25 <i>39</i> 7.53	394.67,394.25	<i>394.3</i> 2 3 94.15	TYPE "K" INLET STANDARD SD 4.12	
· · · · · · · · · · · · · · · · · · ·			<i>394.76-</i> 394.94	TYPE "K" INLET STANDARD SD 4.12	
			394.57 394.47	TYPE "K" INLET STANDARD SD 4.12	
		393.64394.28	394.18 393.54	BRICK MANHOLE STANDARD G 5.01	
KEB 10% COUNTY ON THE TENT		-402.45 402.12	394.65 393.50	BRICK MANHOLE STANDARD G 5.01	
	RED FOX COURT STA. 0+28 RT. 35.53 RED FOX COURT STA. 1+43 RT. 20.06' RED FOX COURT STA. 1+97 RT. 33.52' RED FOX COURT STA. 1+43 LT. 23.24' RED FOX COURT STA. 0+14 RT. 45.69'	RED FOX COURT STA. 0+28 RT. 35.53 404.42 404.29 RED FOX COURT STA. 1+43 RT. 20.06' 397.25 391.53 RED FOX COURT STA. 1+97 RT. 33.52' 397.50 391.58 RED FOX COURT STA. 1+43 LT. 23.24' 397.50 391.48	RED FOX COURT STA. 0+28 RT. 35.53 404.42 404.29 893.40, 393.40 RED FOX COURT STA. 1+43 RT. 20.06' 397.25 397.53 394.67,394.25 RED FOX COURT STA. 1+97 RT. 33.52' 397.50 397.58 RED FOX COURT STA. 1+43 LT. 23.24' 397.50 397.48 RED FOX COURT STA. 0+14 RT. 45.69' 404.00-404.41 393.64394.28	RED FOX COURT STA. 0+28 RT. 35.53 RED FOX COURT STA. 1+43 RT. 20.06' RED FOX COURT STA. 1+97 RT. 33.52' RED FOX COURT STA. 1+97 RT. 33.52' RED FOX COURT STA. 1+43 LT. 23.24' RED FOX COURT STA. 0+14 RT. 45.69' RED FOX COURT STA. 0+14 RT. 45.69'	

APPROVED: DEPARTMENT OF PUBLIC WORKS APPROVED: DEPARTMENT OF PLANNING AND ZONING CHIEF, DEVELOPMENT ENGINEERING DIVISION







Order Request Form

• TO BE INCLUDED, ON SHIM PLAN BY DESIGNER **Precast Concrete** CONTRACTOR INFORMATION OWNER INFORMATION Please draw orientation of inlet and outlet pipes on diagram along with the pipe inside diameter (in), and invert elevation (ft). Clearly mark inlet pipes with an "1" and oulet pipes with an "0". Please provide the inlet/outlet pipe angle in degrees. IMPERVIOUS DRAINAGE AREA FOR THIS UNIT _____ Top Elevation (ft) 393.40 393.15 Inlet Pipe Invert (ft) Outlet Pipe Invert (ft) 1200 6000 Outlet Pipe Inside Diameter (ID) Project Name RED FOX ESTATES- THE PROJECT - LOTS 3-12 Designer Company MILDENBERG, BOENDER & ASSOC., INC. J.B.MILDENBERG Phone 410-997-0296 Fax 410-997-0298 PLEASE FILL OUT COMPLETELY AND FAX TO:

ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900 FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG, PHONE (703)971-1900

OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE UNIT MUST BE CLEANED.

THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.

THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.

THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED

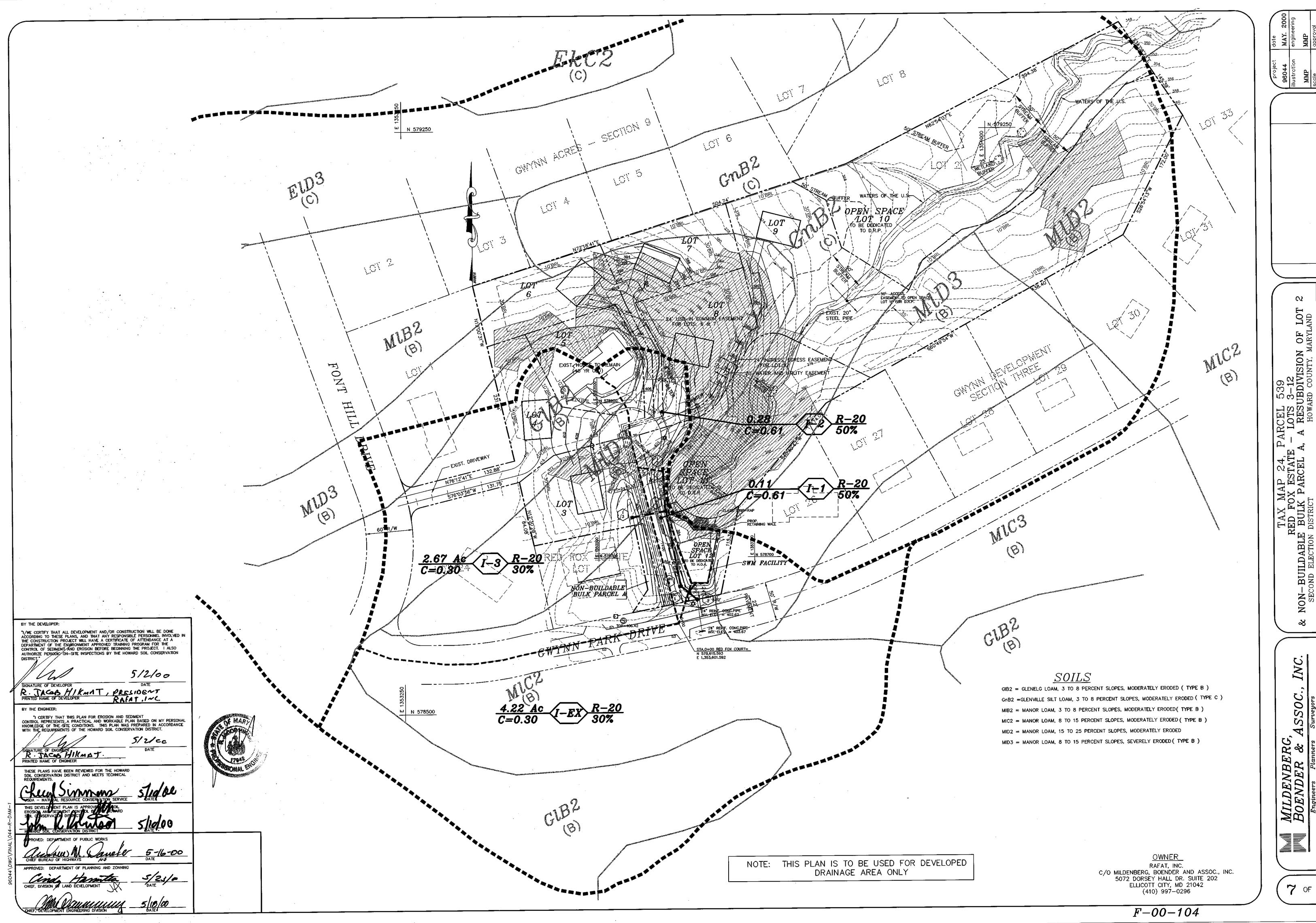
THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

<u>OWNER</u> RAFAT, INC. C/O MILDENBERG, BOENDER AND ASSOC., INC. 5072 DORSEY HALL DR. SUITE 202 ELLICOTT CITY, MD 21042 (410) 997-0296

TAX MAP 24, P.

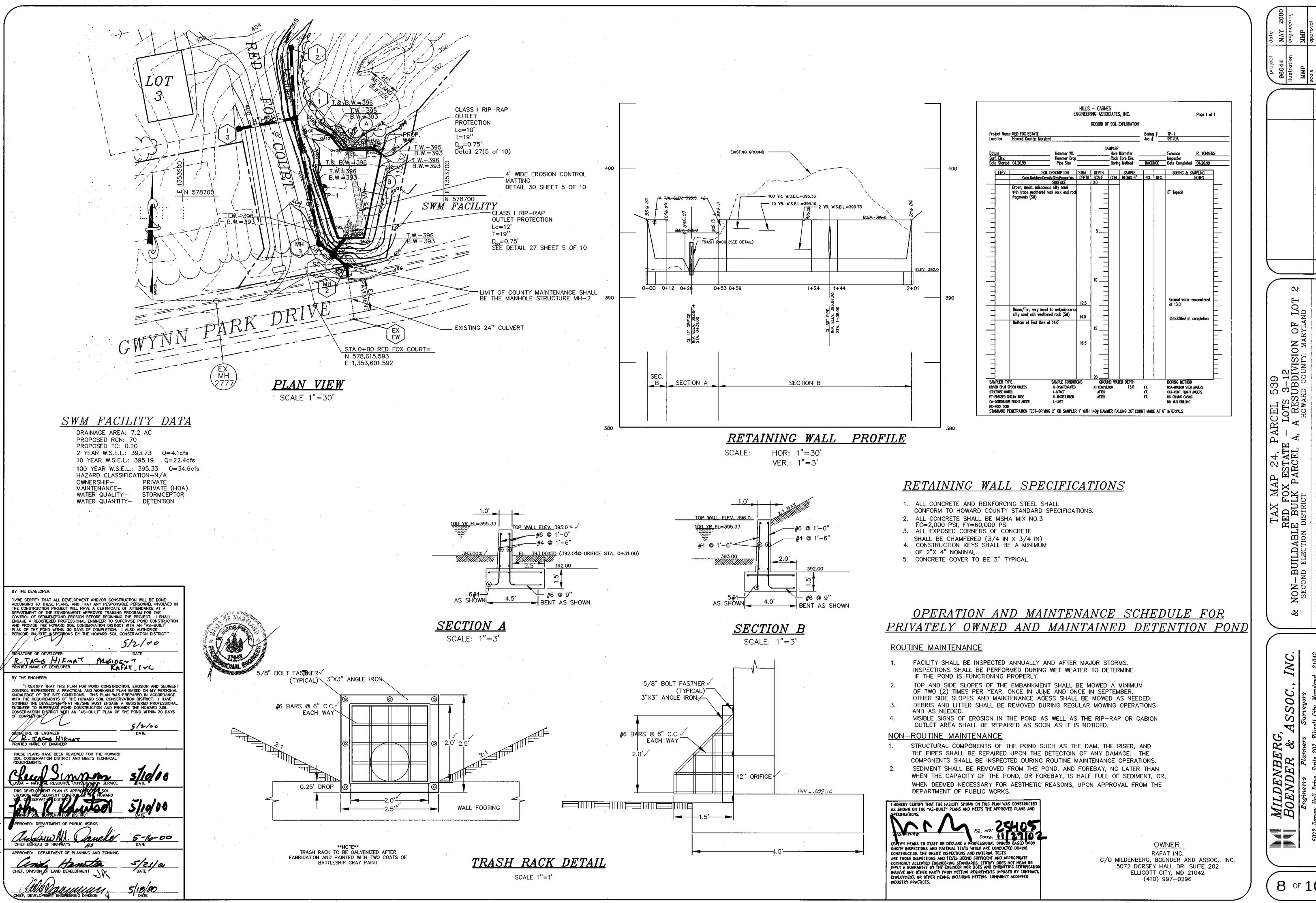
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NON-BUILDA SECOND ELECT

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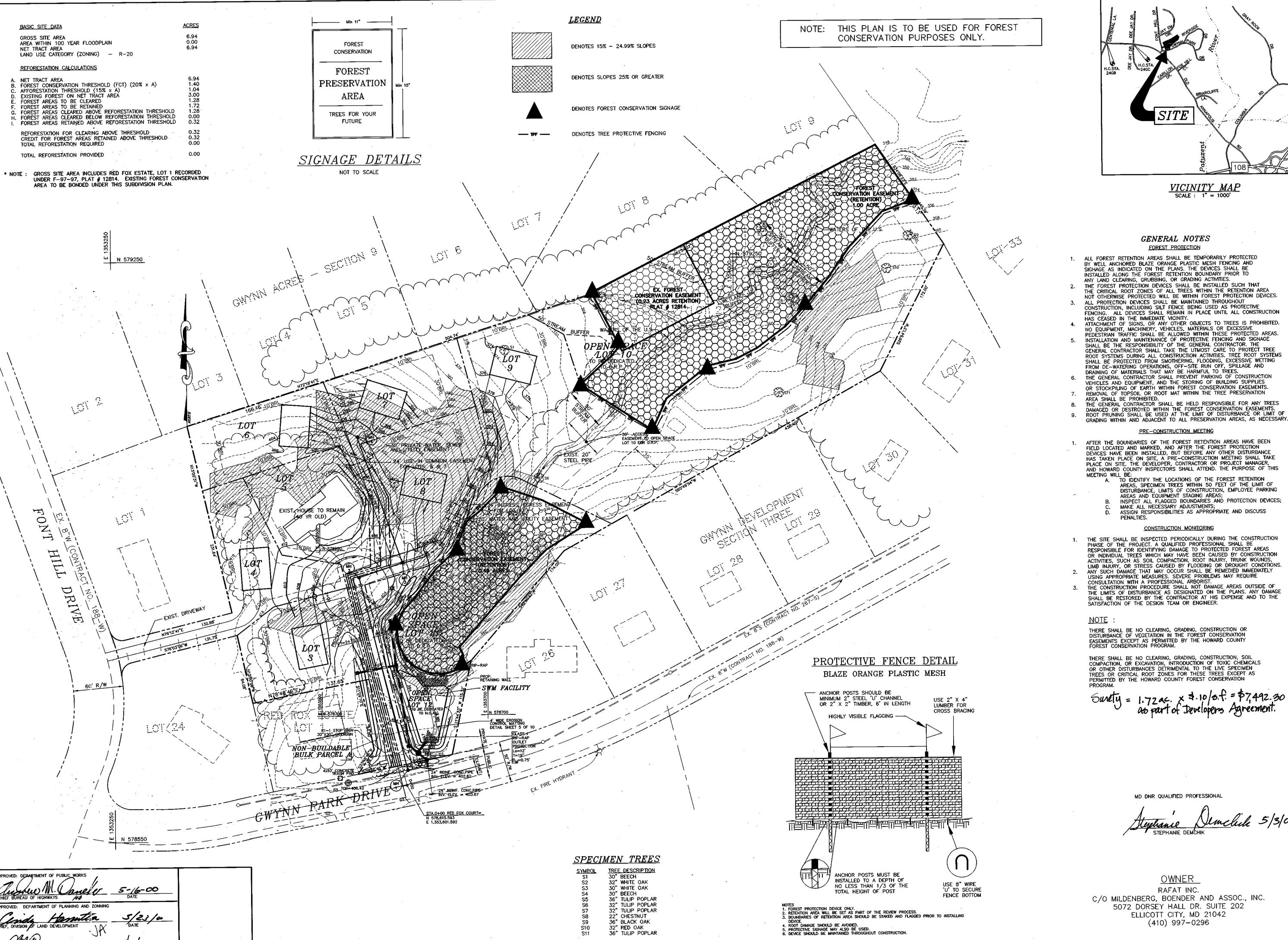
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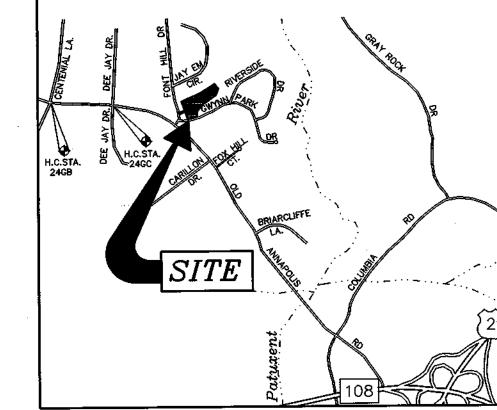
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LANDS

NON-BUILDA SECOND ELECT

SSOC.





VICINITY MAP
SCALE: 1" = 1000'

GENERAL NOTES FOREST PROTECTION

BY WELL ANCHORED BLAZE ORANGE PLASTIC MESH FENCING AND SIGHAGE AS INDICATED ON THE PLANS. THE DEVICES SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY PRIOR TO ANY LAND CLEARING, GRUBBING, OR GRADING ACTIVITIES. THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT HE CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES. ALL PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING SILT FENCE BEING USED AS PROTECTIVE FENCING. ALL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS CEASED IN THE IMMEDIATE VICINITY.

4. ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THESE PROTECTED AREAS.

PEDESTRIAN IRAFFIC SHALL BE ALLOWED WITHIN THESE PROTECTED AREAS.
INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE
SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE
GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE
ROOT SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS
SHALL BE PROTECTED FROM SMOTHERING, FLOODING, EXCESSIVE WETTING
FROM DE-WATERING OPERATIONS, OFF-SITE RUN OFF, SPILLAGE AND
DRAINING OF MATERIALS THAT MAY BE HARMEIL TO TREES DRAINING OF MATERIALS THAT MAY BE HARMFUL TO TREES.

THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.

REMOVAL OF TOPSOIL OR ROOT MAT WITHIN THE TREE PRESERVATION AREA SHALL BE PROHIBITED. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN THE FOREST CONSERVATION EASEMENTS. ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT OF

PRE-CONSTRUCTION MEETING

AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS

MEETING WILL BE:

A. TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION

AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, EMPLOYEE PARKING
AREAS AND EQUIPMENT STAGING AREAS;
INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES;
MAKE ALL NECESSARY ADJUSTMENTS;
ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS

CONSTRUCTION MONITORING

THE SITE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS. ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A PROFESSIONAL ARBORIST.

THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.

THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENTS EXCEPT AS PERMITTED BY THE HOWARD COUNTY FOREST CONSERVATION PROGRAM.

THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, SOIL COMPACTION, OR EXCAVATION, INTRODUCTION OF TOXIC CHEMICALS OR OTHER DISTURBANCES DETRIMENTAL TO THE LIVE SPECIMEN TREES OR CRITICAL ROOT ZONES FOR THESE TREES EXCEPT AS PERMITTED BY THE HOWARD COUNTY FOREST CONSERVATION

Surety = 1.72 ac. x \$.10/5.7: = \$7,492.30
as part of Developers Agreement.

MD DNR QUALIFIED PROFESSIONAL

<u>OWNER</u> RAFAT INC. C/O MILDENBERG, BOENDER AND ASSOC., INC. 5072 DORSEY HALL DR. SUITE 202 ELLICOTT CITY, MD 21042 (410) 997-0296

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L 539 S 3-12 ESUBDIVISION OF LOT NSERVATION TAX MAP 2
RED FOX EST

NON-BUILDABLE BULK PARC

SECOND ELECTION DISTRICT FOREST