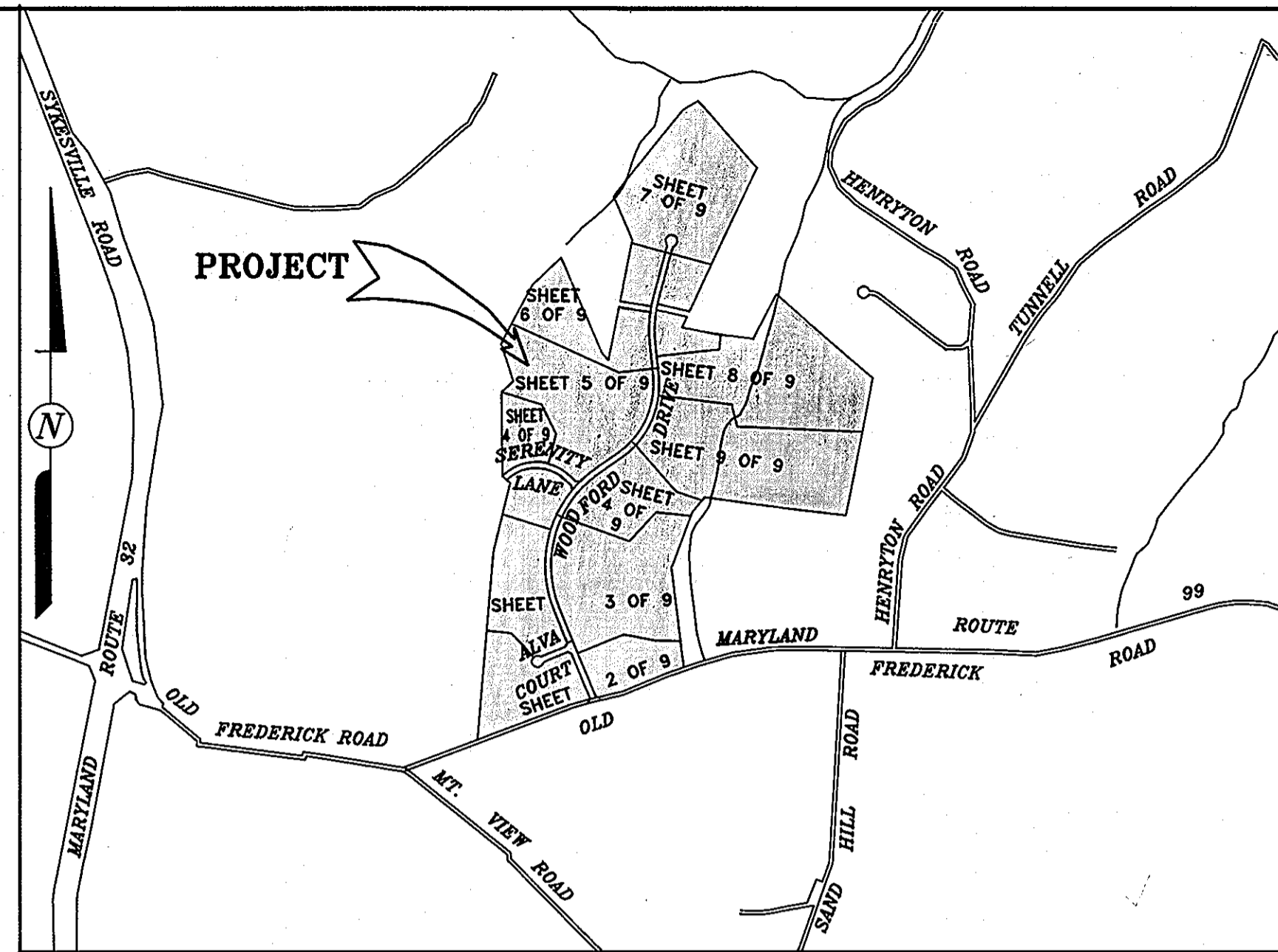


—COORDINATE TABLE—

POINT	NORTH	EAST	POINT	NORTH	EAST
1	545120.354	819274.824	777	545259.552	818954.680
16	544728.562	819090.739	779	545275.375	818967.552
18	544682.315	819069.010	799	541895.281	818050.289
20	544526.423	819560.087	780	545272.473	818906.383
69	542995.782	820409.755	783	545292.629	818803.157
101	544250.385	817445.350	787	541814.666	817853.032
169	545295.482	818629.445	789	541815.329	817832.630
195	546403.753	819027.312	790	541768.382	817871.349
199	546486.427	819170.376	792	541753.618	817857.853
234	544592.030	819026.589	795	541927.891	818063.971
245	544477.717	819625.940	798	541835.325	818101.806
251	544872.357	819831.025	800	541849.008	818069.206
508	543415.725	817801.579	832	541841.329	818153.367
536	544751.081	817733.116	838	541944.741	818967.433
551	540938.878	817144.008	841	542000.235	818542.146
565	544963.233	817983.219	842	541950.393	818787.127
573	544318.349	818381.600	851	542653.270	818960.352
574	544294.500	818434.228	861	542702.856	818478.862
575	545929.064	819654.799	863	542995.596	818019.759
577	545633.297	818474.728	871	542047.850	817277.685
579	543137.503	819186.579	875	542009.914	817592.406
580	543007.159	819058.001	876	541807.327	817777.062
581	543083.100	817494.769	889	543029.475	817479.521
582	545090.924	818039.919	890	542887.963	817923.306
600	541725.073	818979.519	905	545223.867	818893.359
601	541526.176	818588.425	920	544242.215	818783.513
602	542519.685	817334.560	921	544210.899	818497.571
603	542556.873	818933.753	922	544597.371	817644.774
632	544191.825	820587.717	950	543316.763	818038.239
651	544726.364	818518.453	952	543353.653	818071.989
652	544689.767	818760.789	953	543409.144	817795.509
653	544775.489	818528.033	954	543458.813	817783.190
654	544739.255	818768.049	957	543257.385	818103.141
667	544217.363	818786.234	958	543294.276	818136.891
670	544190.644	818542.265	959	543295.199	818172.891
700	543017.251	817974.692	960	543221.445	818105.415
701	544222.806	818835.937	962	543445.463	817904.484
706	541946.808	818110.255	963	543691.774	817970.483
709	540976.861	817148.586	964	543938.943	817849.931
719	541742.042	818933.453	967	544038.246	817535.890
721	541608.685	818659.530	988	545210.773	818941.615
728	541762.537	818977.458	991	544790.207	818829.377
737	542224.727	817996.660	996	544741.243	818819.165
738	542205.810	817950.377	999	544404.775	819351.441
740	541424.128	818242.868	1000	544346.830	818822.354
741	541456.728	818256.551	1024	543632.922	818606.697
743	541475.692	818302.815	1033	542819.933	818617.230
744	541482.148	818335.357	1038	543598.889	818643.327
745	543387.078	818337.955	1039	543210.678	818981.606
746	543408.284	818309.635	1041	544017.979	818858.285
765	543491.287	818518.680	1048	544393.099	819244.828
766	543532.493	818490.359	1077	543830.716	820533.976
767	544191.031	818839.417	1086	543035.154	818817.926
768	544185.588	818789.714	1901	543925.589	819590.745
772	544818.327	818836.459	1902	543765.090	819619.499
773	544831.268	818788.165			
774	544464.923	818809.421			
775	544459.479	818759.718			



—VICINITY MAP—
SCALE: 1" = 1200'

—CURVE DATA—

No.-No.	RADIUS	ARC	DELTA	TANGENT	CHORD BEARING & DISTANCE
652-654	1011.16'	50.01'	02°50'02"	25.01'	N08°14'39" E, 50.01'
654-773	1011.16'	94.22'	05°20'20"	47.14'	N12°19'50" E, 94.19'
700-960	1000.00'	243.05'	13°55'33"	122.13'	N32°37'37" E, 242.45'
719-728	1412.76'	48.55'	01°58'08"	24.28'	N65°01'33" E, 48.54'
738-700	1000.00'	835.93'	47°53'44"	444.14'	N01°42'59" E, 811.81'
738-890	1000.00'	696.69'	39°55'04"	363.16'	N01°18'21" W, 682.69'
738-960	1000.00'	1078.98'	61°49'16"	598.74'	N08°40'45" E, 1027.40'
744-721	6238.09'	355.80'	03°16'05"	177.95'	N65°40'31" E, 355.76'
745-737	950.00'	1288.84'	77°43'55"	765.62'	S16°38'04" W, 1192.24'
745-863	950.00'	494.70'	29°50'10"	253.10'	S40°34'55" W, 489.13'
766-768	700.00'	754.42'	61°45'00"	418.53'	N24°37'30" E, 718.43'
766-1024	700.00'	154.00'	12°36'18"	77.31'	N48°11'51" E, 153.69'
767-785	750.00'	808.31'	61°45'00"	448.42'	S24°37'30" W, 769.75'
767-1038	750.00'	643.31'	49°08'42"	342.94'	S18°19'21" W, 623.77'
767-1041	750.00'	173.44'	13°15'00"	87.00'	S00°22'30" W, 173.06'
772-774	961.16'	356.48'	21°15'00"	180.31'	S04°22'30" W, 354.44'
775-652	1011.16'	230.79'	13°04'39"	115.90'	N00°17'39" E, 230.29'
775-654	1011.16'	280.80'	15°54'40"	141.31'	N01°42'20" E, 279.80'
775-773	1011.16'	375.02'	21°15'00"	189.69'	N04°22'30" E, 372.88'
779-777	25.00'	21.03'	48°11'23"	11.18'	S39°05'42" W, 20.41'
780-783	25.00'	21.03'	48°11'23"	11.18'	N09°05'42" W, 20.41'
783-779	50.00'	241.18'	27°22'42"	---	---
788-876	50.00'	58.61'	68°18'26"	33.92'	S81°48'17" W, 56.14'
789-787	25.00'	21.03'	48°11'23"	11.18'	S88°08'11" E, 20.41'
790-792	25.00'	21.03'	48°11'23"	11.18'	S43°40'25" W, 20.41'
792-789	50.00'	241.19'	27°22'42"	---	---
863-737	950.00'	794.14'	47°53'44"	421.93'	S01°42'59" W, 771.22'
876-792	50.00'	181.58'	20R04°21"	---	---
890-700	1000.00'	139.24'	07°58'40"	69.73'	N21°40'31" E, 139.13'
890-960	1000.00'	382.29'	21°54'13"	193.51'	N28°38'17" E, 379.97'
950-953	352.47'	265.98'	45°14'11"	139.68'	N69°09'48" W, 259.72'
954-952	402.47'	315.36'	44°53'37"	166.27'	S68°59'32" E, 307.35'
959-746	1000.00'	177.68'	10°10'49"	89.07'	N50°24'35" E, 177.45'
1024-768	700.00'	600.42'	49°08'42"	320.08'	N18°19'21" E, 582.18'
1038-765	750.00'	165.00'	12°36'18"	82.83'	S49°11'51" W, 164.67'
1041-1038	750.00'	469.86'	35°53'42"	242.93'	S24°56'51" W, 462.22'

- GENERAL NOTES:
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER HAS THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED EASEMENT SHALL NOT BE NECESSARY.
 - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - SUBJECT PROPERTY IS ZONED "R".
 - THERE ARE EXISTING STRUCTURES ON LOT Nos. 14, 34, 35 & 36 TO BE REMOVED.
 - THERE IS AN EXISTING DWELLING ON LOT No. 35 TO REMAIN.
 - PROPERTY IS SUBJECT TO WP88-159 TO ALLOW FOR CONSTRUCTION OF A CUL-DE-SAC GREATER THAN 1200 L.F.
 - FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
 - THE COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND STATE GRID SYSTEM AND DERIVED FROM THE FOLLOWING HOWARD COUNTY CONTROL STATIONS:
STA. 3637002 N 540927.825
E 817102.691
STA. 3637001 N 541868.316
E 821311.065
 - © DENOTES IRON PIN CAPPED "F.C.C. 10692" SET.
 - DENOTES CONCRETE MONUMENT SET.
 - THE WETLAND (STREAM) BUFFER INDICATED ON THIS PLAT DOES NOT AFFECT THE INITIAL CONSTRUCTION OF A RESIDENTIAL UNIT ON A LOT. IT DOES PROHIBIT SUBSEQUENT CLEARING, GRADING OR CONSTRUCTION IN THE BUFFER AREA. MAINTENANCE OF RESIDENCES, LANDSCAPING AND UTILITIES IS PERMITTED.
 - 550.00 DENOTES APPROXIMATE ELEVATION OF 100 YEAR FLOOD LEVEL.

FLAG/PIPE STEM LOT & MINIMUM LOT AREA TABULATION

LOT No.	TOTAL LOT AREA	PIPE STEM AREA	FLOOD PLAIN AREA	STEEP SLOPE AREA	RESULTING MINIMUM LOT AREA
3	3.266 AC±	0.162 AC±	-----	-----	3.104 AC±
4	3.119 AC±	0.102 AC±	-----	-----	3.017 AC±
7	3.242 AC±	0.186 AC±	-----	-----	3.056 AC±
12	5.668 AC±	0.317 AC±	-----	1.270 AC±	4.081 AC±
13	4.992 AC±	0.165 AC±	-----	0.300 AC±	4.527 AC±
17	6.354 AC±	0.495 AC±	-----	1.490 AC±	4.369 AC±
22	4.392 AC±	0.371 AC±	-----	-----	4.021 AC±
23	4.137 AC±	0.217 AC±	-----	0.230 AC±	3.690 AC±
24	3.103 AC±	-----	-----	0.140 AC±	2.963 AC±
25	3.033 AC±	-----	-----	0.460 AC±	2.573 AC±
28	10.297 AC±	0.266 AC±	1.991 AC±	3.930 AC±	4.110 AC±
29	11.384 AC±	0.356 AC±	0.291 AC±	3.030 AC±	7.707 AC±
30	6.358 AC±	-----	1.809 AC±	0.310 AC±	4.239 AC±
31	10.143 AC±	0.333 AC±	0.149 AC±	0.420 AC±	9.241 AC±
32	9.165 AC±	0.394 AC±	0.017 AC±	-----	8.754 AC±
33	4.783 AC±	-----	0.064 AC±	0.650 AC±	4.069 AC±
39	6.016 AC±	0.233 AC±	-----	-----	5.783 AC±
40	3.662 AC±	0.185 AC±	-----	-----	3.477 AC±
42	3.657 AC±	0.178 AC±	-----	-----	3.479 AC±
43	3.185 AC±	0.172 AC±	-----	-----	3.013 AC±

AREA TABULATION FOR ALL SHEETS

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	44
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	44
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	192.286 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	192.286 AC±
TOTAL AREA OF FLOOD PLAIN TO BE RECORDED.....	4.320 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	7.699 AC±
TOTAL AREA OF SUBDIVISION TO BE RECORDED.....	199.985 AC±

OWNER AND DEVELOPER

MILLERBUILT CORPORATION SUSAN D. BAKER
10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
SUITE 600 MARRIOTTVILLE, MARYLAND 21104
COLUMBIA, MARYLAND 21044

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
8388 COURT AVE. - ELLICOTT CITY, MD 21043
(301) 461-2866

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
Joseph J. Zedler 6-20-90
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
William J. Miller 8.9.90
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
James G. Fleury 7/20/90
DIRECTOR DATE

OWNER'S CERTIFICATE
WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF MAY, 1990.
By: *William J. Miller, Jr.* President
MILLERBUILT CORPORATION
WILLIAM J. MILLER, JR. (PRESIDENT)
By: *John G. Fleury* Vice President
MILLERBUILT CORPORATION
JOHN G. FLEURY (VICE PRESIDENT)
By: *Susan D. Baker*
SUSAN D. BAKER

WITNESSES:
Daugle G. O'Leary
Daugle G. O'Leary
Kelly M. Stappert

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.
Terrell A. Fisher
TERRELL A. FISHER, L.S. #10692
MAY 16 1990
DATE

RECORDED AS PLAT No. 9483 ON 8-15-90
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
SPRING VALLEY CHASE
LOTS 1 - 44
(A RESUBDIVISION OF LOT 1 OF ALBEE FARM, PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)
ZONING: 'R'
TAX MAP 10
PARCELS 119 & 294
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MARCH 20, 1990
SHEET 1 OF 9
S88-78 P88-86 F90-24
F9024

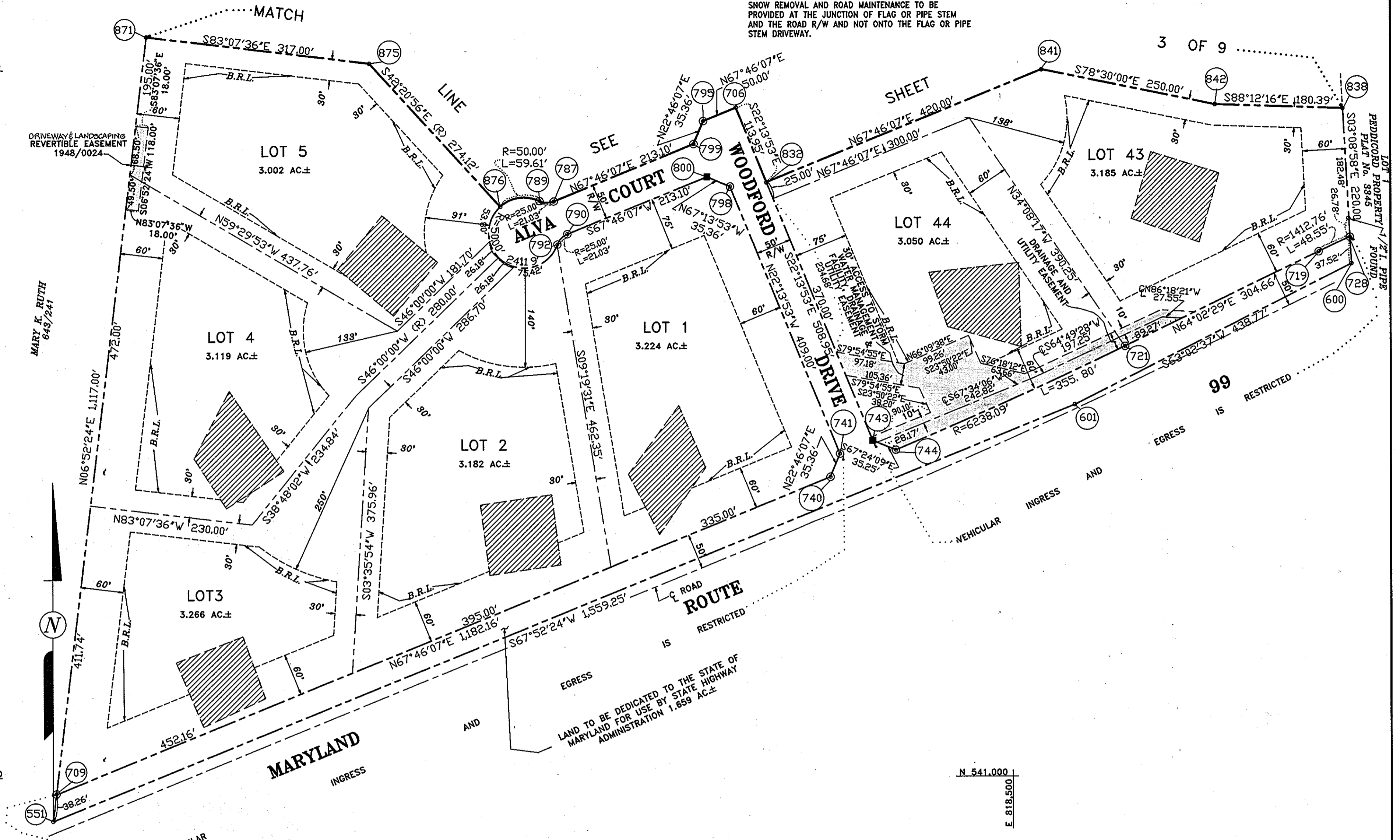
NOTE:
FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION,
SNOW REMOVAL AND ROAD MAINTENANCE TO BE
PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM
AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE
STEM DRIVEWAY.

3 OF 9

N 542,000
E 817,000

N 541,000
E 817,000

N 541,000
E 818,500



AREA TABULATION FOR SHEET 2 OF 9

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	7
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	7
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	22.028 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	22.028 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	2.764 AC±
TOTAL AREA TO BE RECORDED.....	24.792 AC±

OWNER AND DEVELOPER
MILLERBUILT CORPORATION SUSAN D. BAKER
10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
SUITE 600 MARRIOTTSTVILLE, MARYLAND 21104
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FISHER, COLLINS & CARTER, INC.
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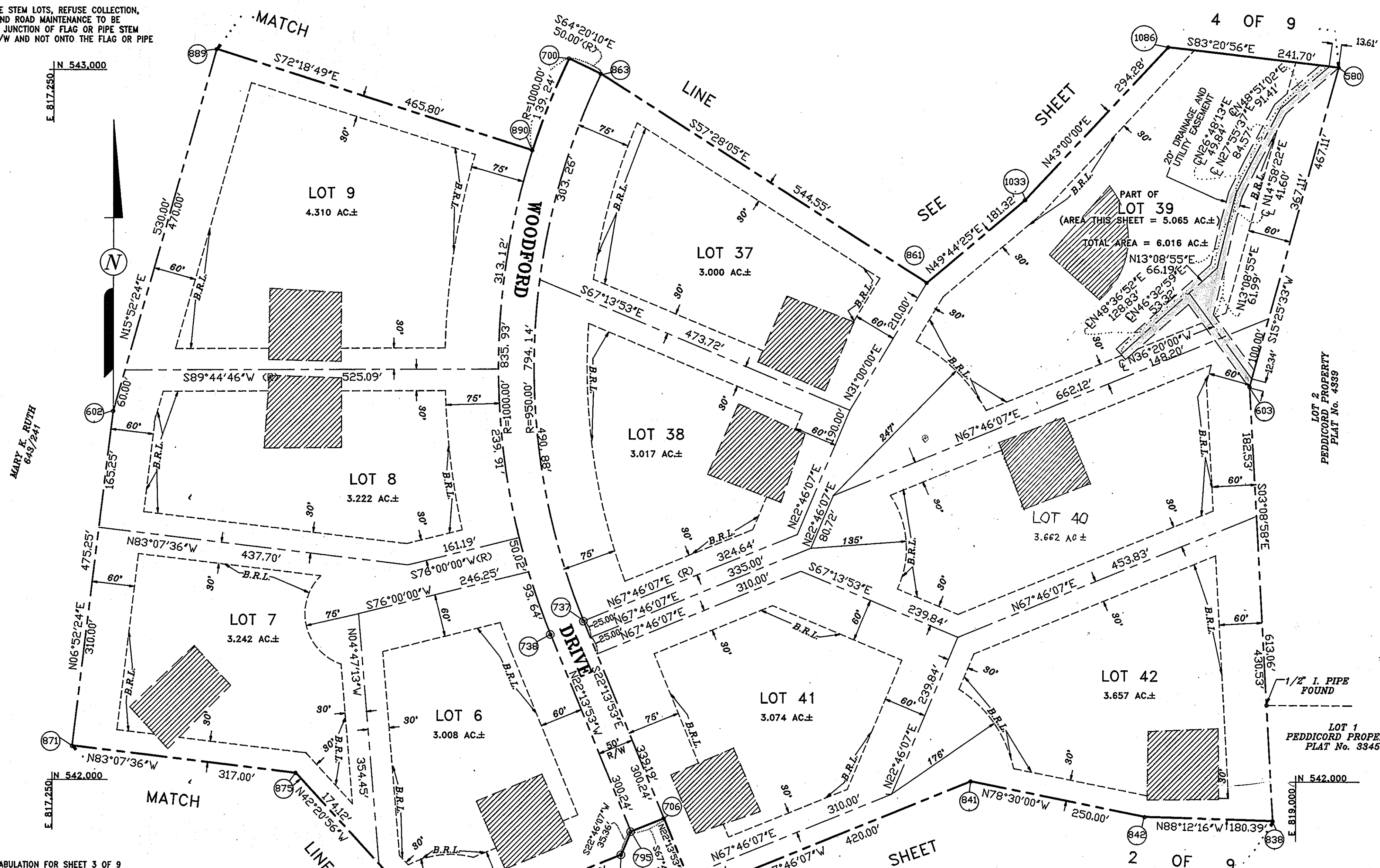
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
Joseph W. Boyden 6-21-90
HOWARD COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Ulphain 8.9.90
DIRECTOR DATE
APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
James M. [Signature] 7/20/90
DIRECTOR DATE

OWNER'S CERTIFICATE
WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS, OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF May, 1990.
By: *William J. Miller, Jr.* President
MILLERBUILT CORPORATION
WILLIAM J. MILLER, JR. (PRESIDENT)
By: *John G. Fleury* Vice President
MILLERBUILT CORPORATION
JOHN G. FLEURY (VICE PRESIDENT)
By: *Susan D. Baker*
SUSAN D. BAKER

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.
Terrell A. Fisher
TERRELL A. FISHER, L.S. #10692
DATE: May 16, 1990

RECORDED AS PLAT No. ~~9484~~ ON 6-15-90
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
SPRING VALLEY CHASE
LOTS 1 - 44
(A RESUBDIVISION OF LOT 1 OF ALBEE FARM,
PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)
ZONING 'R'
TAX MAP 10
PARCELS 119 & 294
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1"=100' MARCH 20, 1990
SHEET 2 OF 9
S88-78 P88-86 F90-24
F9024

NOTE:
FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION,
SNOW REMOVAL AND ROAD MAINTENANCE TO BE
PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM
AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE
STEM DRIVEWAY.



AREA TABULATION FOR SHEET 3 OF 9

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	10
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	10
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	35.257 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	35.257 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	1.280 AC±
TOTAL AREA TO BE RECORDED.....	36.537 AC±

OWNER AND DEVELOPER
MILLERBUILT CORPORATION SUSAN D. BAKER
10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
SUITE 600 MARRIOTTVILLE, MARYLAND 21104
COLUMBIA, MARYLAND 21044

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS &
LAND SURVEYORS
8888 COURT AVE. - ELICOTT CITY, MD 21043
(801) 461-2855

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
Joseph Broderick 6-20-90
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
W. J. Miller 8.9.90
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
James J. ... 7/20/90
DIRECTOR DATE

OWNER'S CERTIFICATE
WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF MAY, 1990.

By: *William J. Miller, Jr.* President
MILLERBUILT CORPORATION
WILLIAM J. MILLER, JR. (PRESIDENT)

By: *John G. Fleury* Vice President
MILLERBUILT CORPORATION
JOHN G. FLEURY (VICE PRESIDENT)

By: *Susan D. Baker*
SUSAN D. BAKER

Witness: *Douglas L. O'Leary*
WITNESS

Witness: *Douglas L. O'Leary*
WITNESS

Witness: *Kelly M. ...*
WITNESS

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

Terrill A. Fisher
TERRILL A. FISHER, L.S. #10692
MAY 16, 1990
DATE

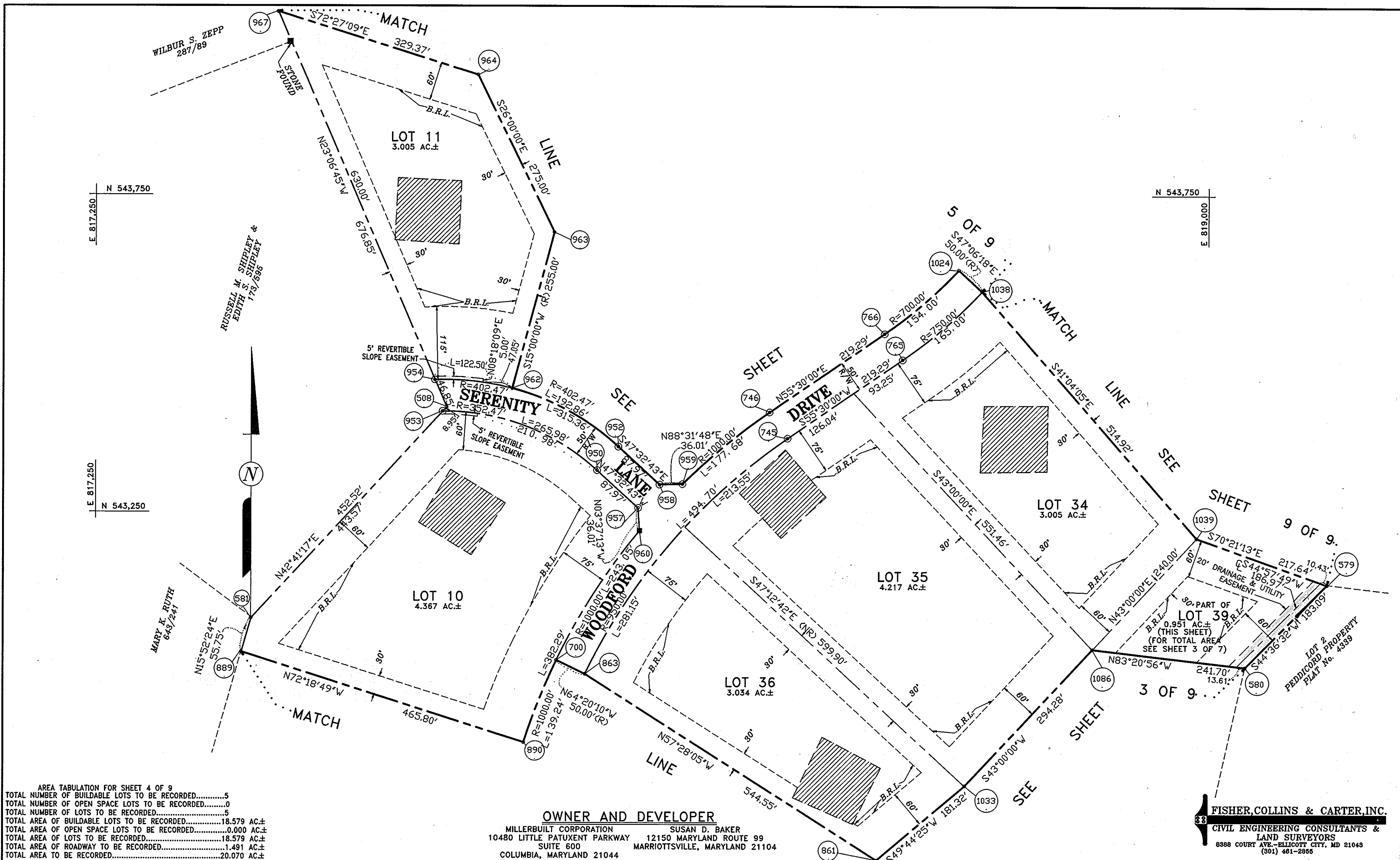
RECORDED AS PLAT No. 9485 ON 8-15-90
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

SPRING VALLEY CHASE
LOTS 1 - 44
(A RESUBDIVISION OF LOT 1 OF ALBEE FARM,
PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)

ZONING 'R'
TAX MAP 10
PARCELS 119 & 294
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE: 1"=100' DATE: MARCH 20, 1990
SHEET 3 OF 9
S88-79 P88-86 F90-24

F9024



AREA TABULATION FOR SHEET 4 OF 9

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	5
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	5
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	18.579 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	18.579 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	1.491 AC±
TOTAL AREA TO BE RECORDED.....	20.070 AC±

OWNER AND DEVELOPER
 MILLERBUILT CORPORATION SUSAN D. BAKER
 10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
 SUITE 600 MARRIOTTVILLE, MARYLAND 21104
 COLUMBIA, MARYLAND 21044

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS &
 LAND SURVEYORS
 8388 COURT AVE. - ELLICOTT CITY, MD 21045
 (301) 461-2866

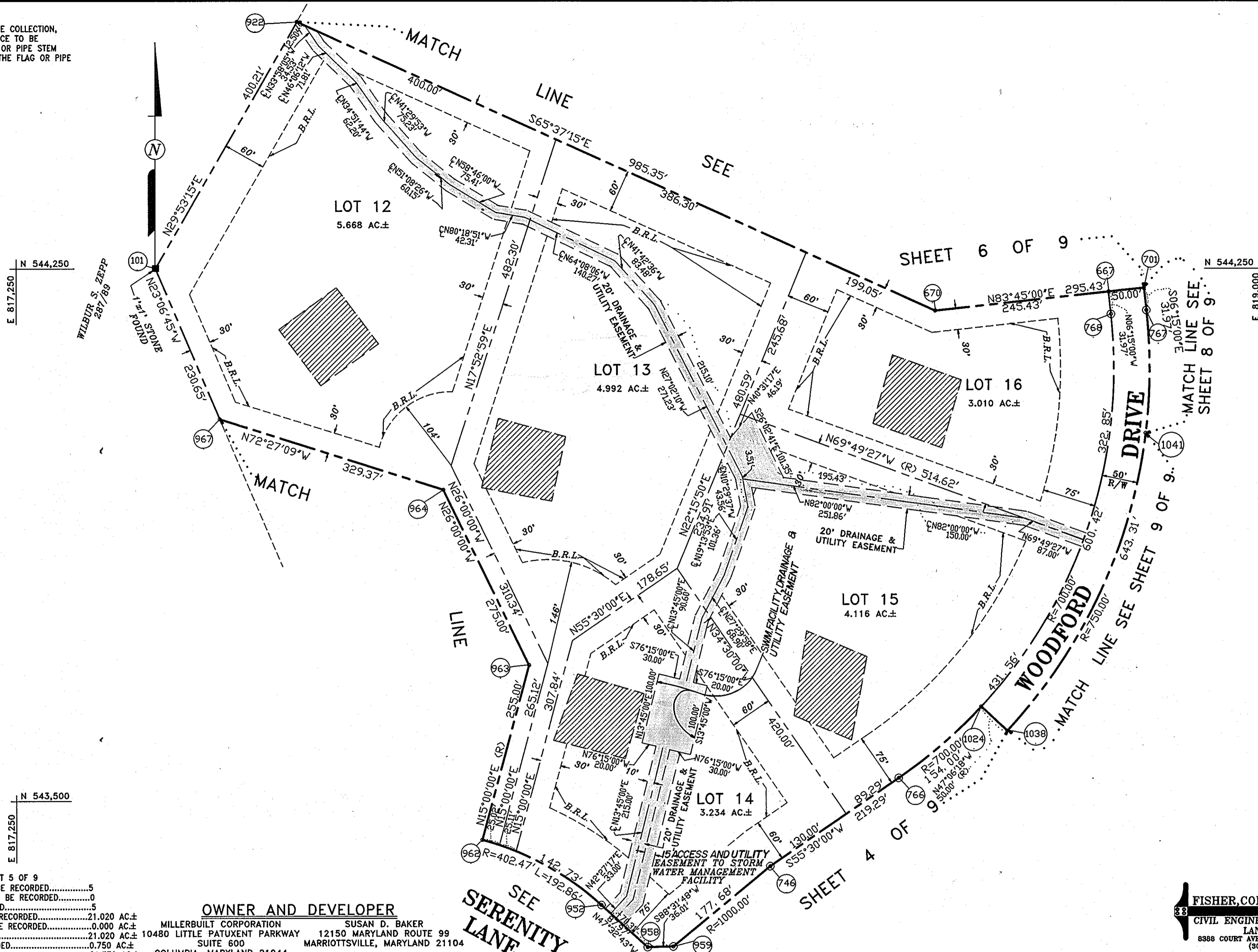
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
Joseph M. Braden 6-20-90
 HOWARD COUNTY HEALTH OFFICER DATE
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Ulrich 8-9-90
 DIRECTOR DATE
 APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
James M. ... 7/20/90
 DIRECTOR DATE

OWNER'S CERTIFICATE
 WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE; AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF MAY 1990.
 By: *William J. Miller, Jr.* President
 MILLERBUILT CORPORATION
 WILLIAM J. MILLER, JR. (PRESIDENT)
 By: *John G. Fleury*, Vice President
 MILLERBUILT CORPORATION
 JOHN G. FLEURY (VICE PRESIDENT)
 By: *Susan D. Baker*
 SUSAN D. BAKER

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.
 STATE OF MARYLAND
 TERRELL A. FISHER
 PROFESSIONAL SURVEYOR
 NO. 10692
 REGISTERED
 DATE: May 14, 1990

RECORDED AS PLAT No. 9486 ON 8-15-90
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
SPRING VALLEY CHASE
 LOTS 1 - 44
 (A RESUBDIVISION OF LOT 1 ALBEE FARM, PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)
ZONING 'R'
 TAX MAP 10
 PARCELS 119 & 294
 THIRD ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=100' DATE: MARCH 20, 1990
 SHEET 4 OF 9
 S88-78 P88-86 F90-24

NOTE:
FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION,
SNOW REMOVAL AND ROAD MAINTENANCE TO BE
PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM
AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE
STEM DRIVEWAY.



AREA TABULATION FOR SHEET 5 OF 9

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	5
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	5
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	21.020 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	21.020 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	0.750 AC±
TOTAL AREA TO BE RECORDED.....	21.770 AC±

OWNER AND DEVELOPER

MILLERBUILT CORPORATION
10480 LITTLE PATUXENT PARKWAY
SUITE 600
COLUMBIA, MARYLAND 21044

SUSAN D. BAKER
12150 MARYLAND ROUTE 99
MARRIOTTSTVILLE, MARYLAND 21104

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS &
LAND SURVEYORS
8388 COURT AVE. - ELLICOTT CITY, MD 21043
(301) 461-2865

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.

John G. Fleury 6-20-90
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Clayton 8-9-90
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

Ramesh 7/20/90
DIRECTOR DATE

OWNER'S CERTIFICATE

WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 8 DAY OF May, 1990.

By: *William J. Miller, Jr.*, President
MILLERBUILT CORPORATION
WILLIAM J. MILLER, JR. (PRESIDENT)

By: *John G. Fleury*, Vice President
MILLERBUILT CORPORATION
JOHN G. FLEURY (VICE PRESIDENT)

By: *Susan D. Baker*
SUSAN D. BAKER

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

Terrell A. Fisher
TERRELL A. FISHER, L.S. #10692

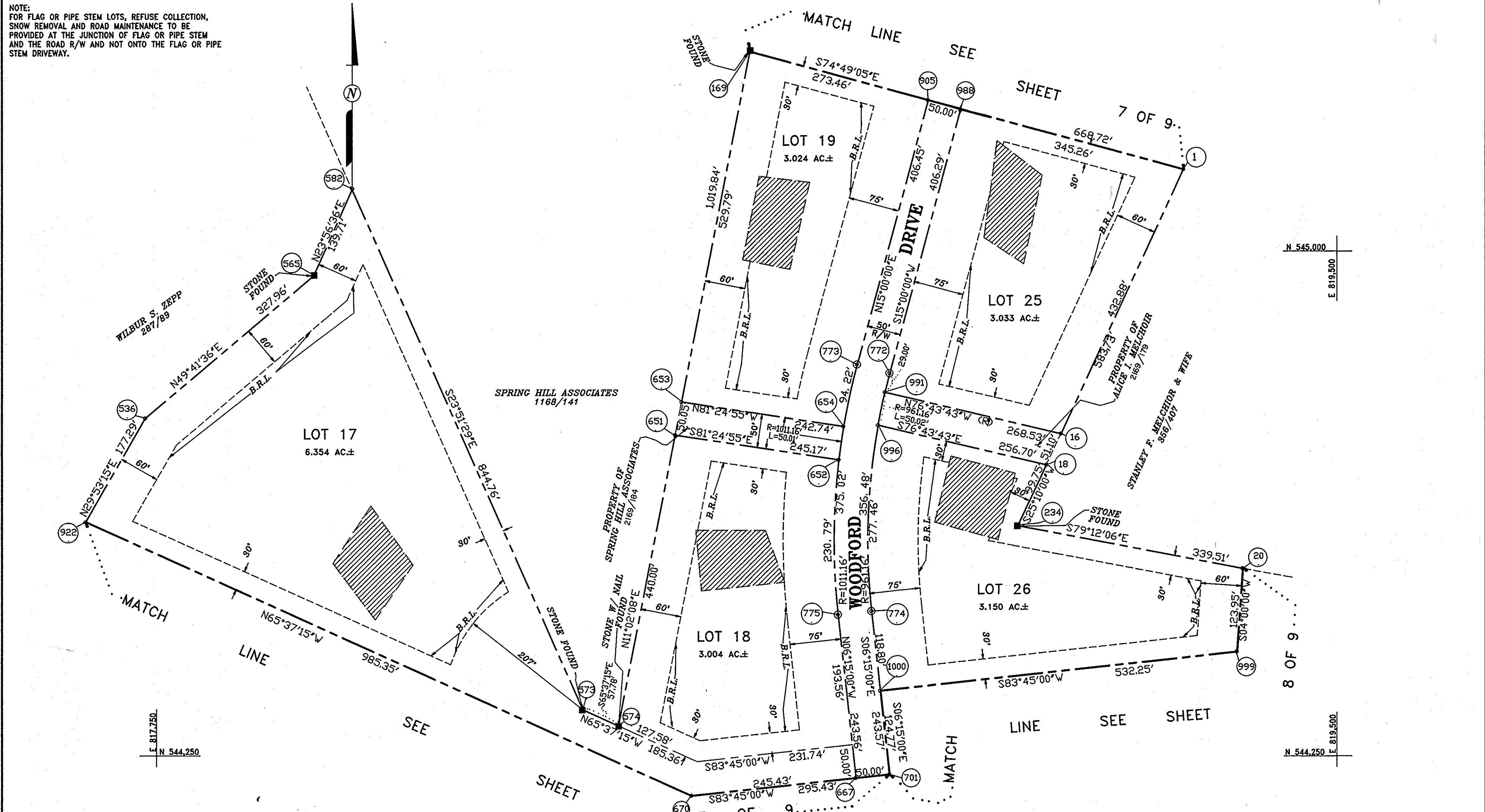
May 16, 1990
DATE

RECORDED AS PLAT No. **9487** ON **8-15-90**
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

SPRING VALLEY CHASE
LOTS 1 - 44
(A RESUBDIVISION OF LOT 1 OF ALBEE FARM,
PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)
ZONING 'R'
TAX MAP 10
PARCELS 119 & 294
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE: 1"=100' DATE: MARCH 20, 1990
SHEET 5 OF 9
S88-78 P88-86 F90-24

NOTE:
FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION,
SNOW REMOVAL AND ROAD MAINTENANCE TO BE
PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM
AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE
STEM DRIVEWAY.



AREA TABULATION FOR SHEET 6 OF 9

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	5
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	5
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	18.565 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	18.565 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	1.166 AC±
TOTAL AREA TO BE RECORDED.....	19.731 AC±

OWNER AND DEVELOPER
MILLERBUILT CORPORATION SUSAN D. BAKER
10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
SUITE 600 MARRIOTTSTVILLE, MARYLAND 21104
COLUMBIA, MARYLAND 21044

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS &
LAND SURVEYORS
8388 COURT AVE. - ELLICOTT CITY, MD 21043
(301) 461-2865

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
James B. ... 6-28-90
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
... 6.9.90
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
James ... 6/20/90
DIRECTOR DATE

OWNER'S CERTIFICATE
WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS, OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF MAY, 1990.

By: *William J. Miller, Jr.* President
MILLERBUILT CORPORATION
WILLIAM J. MILLER, JR. (PRESIDENT)

By: *John G. Fleury*, Vice President
MILLERBUILT CORPORATION
JOHN G. FLEURY (VICE PRESIDENT)

By: *Susan D. Baker*
SUSAN D. BAKER

Witness: *...*
WITNESS

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

Terrell A. Fisher
TERRELL A. FISHER, L.S. #10692
MAY 16, 1990
DATE

RECORDED AS PLAT No. **9488** ON **8-15-90**
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

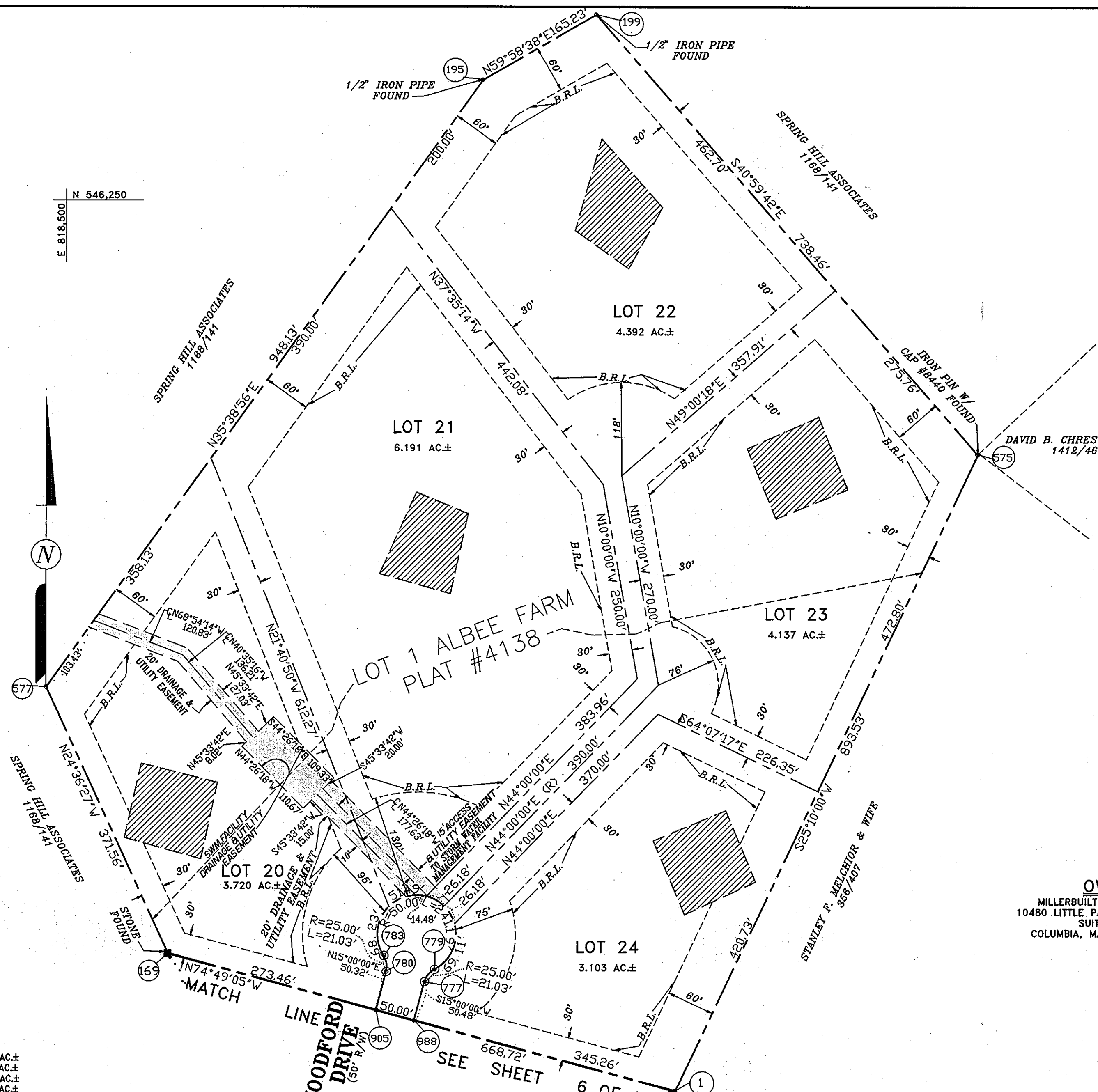
SPRING VALLEY CHASE
LOTS 1 - 44
(A RESUBDIVISION OF LOT 1 OF ALBEE FARM,
PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)

ZONING 'R'
TAX MAP 10
PARCELS 119 & 294
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE: 1"=100' DATE: MARCH 20, 1990
SHEET 6 OF 9
S88-78 P88-86 F90-24

F 90 24

NOTE:
FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION,
SNOW REMOVAL AND ROAD MAINTENANCE TO BE
PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM
AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE
STEM DRIVEWAY.



AREA TABULATION FOR SHEET 7 OF 9

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	5
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	5
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	21.543 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	21.543 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	0.248 AC±
TOTAL AREA TO BE RECORDED.....	21.791 AC±

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
Joseph M. Berlin 6-20-90
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
[Signature] 8-9-90
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
[Signature] 7/20/90
DIRECTOR DATE

OWNER'S CERTIFICATE
WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF MAY 1990.
By: *William J. Miller, Jr.* President
MILLERBUILT CORPORATION
WILLIAM J. MILLER, JR. (PRESIDENT)
By: *John G. Fleury* Vice President
MILLERBUILT CORPORATION
JOHN G. FLEURY (VICE PRESIDENT)
By: *Susan D. Baker*
MILLERBUILT CORPORATION
SUSAN D. BAKER

WITNESS
Daigle L. O'Neal
WITNESS
Daigle L. O'Neal
WITNESS
Kelly M. Fitzgerald

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.
Terrell A. Fisher
TERRELL A. FISHER, L.S. #10692
MAY 16, 1990 DATE

RECORDED AS PLAT No. 94-81 ON 8-15-90
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
SPRING VALLEY CHASE
LOTS 1 - 44
(A RESUBDIVISION OF LOT 1 OF ALBEE FARM, PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)
ZONING 'R'
TAX MAP 10
PARCELS 119 & 294
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1"=100' DATE: MARCH 20, 1990
SHEET 7 OF 9
S88-78 P88-86 F90-24

OWNER AND DEVELOPER
MILLERBUILT CORPORATION SUSAN D. BAKER
10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
SUITE 600 MARRIOTTSTVILLE, MARYLAND 21104
COLUMBIA, MARYLAND 21044

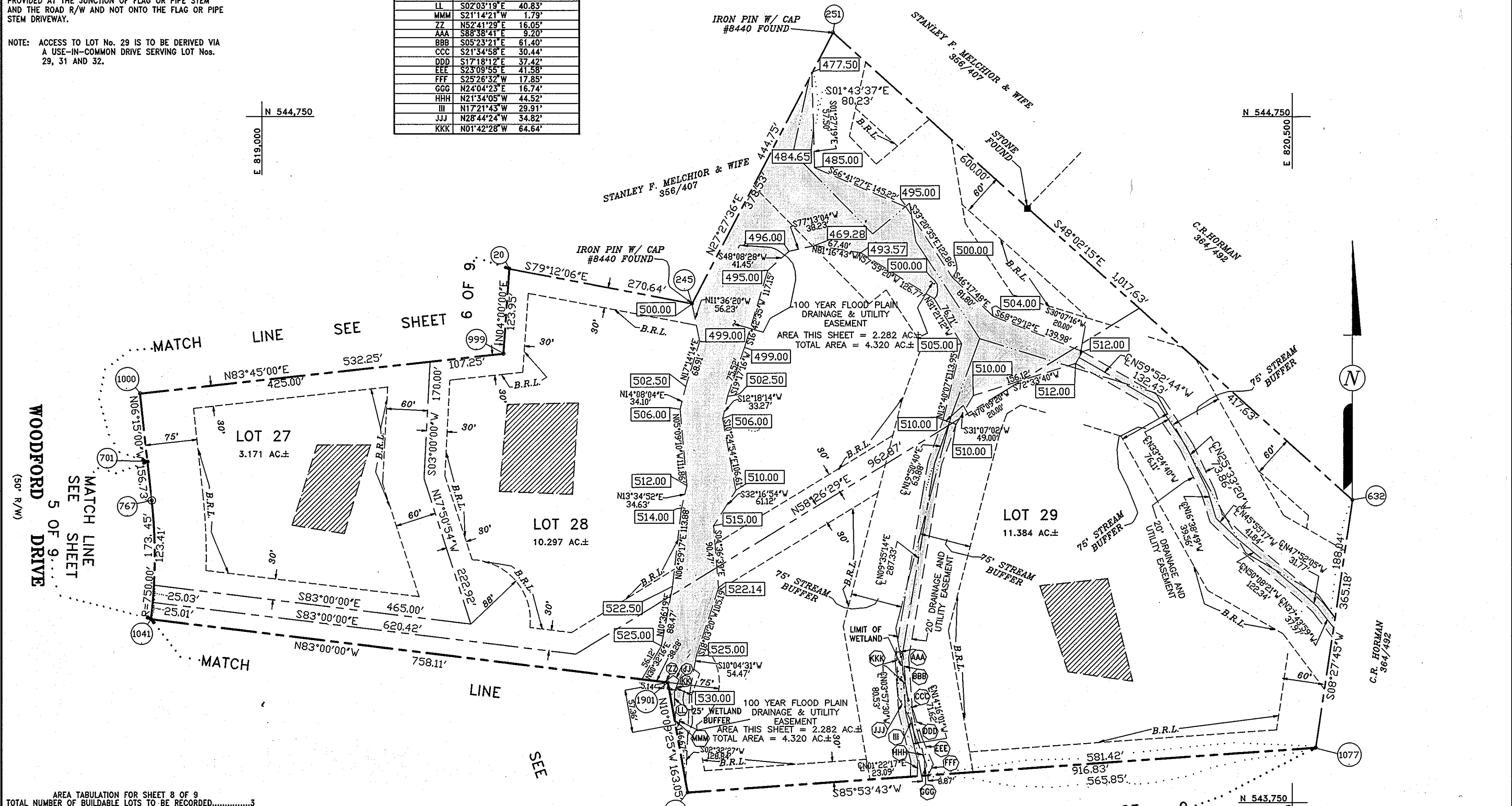
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
8386 COURT AVE. - ELLICOTT CITY, MD 21043
(301) 461-2855



NOTE: FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.

NOTE: ACCESS TO LOT No. 29 IS TO BE DERIVED VIA A USE-IN-COMMON DRIVE SERVING LOT Nos. 29, 31 AND 32.

LINE	BEARING & DISTANCE
JJ	S53°50'13"E 10.71'
KK	S21°14'23"W 19.33'
LL	S02°03'19"E 40.83'
MMM	S21°14'21"W 1.79'
ZZ	N52°41'29"E 16.05'
AAA	S88°38'41"E 9.20'
BBB	S05°23'21"E 61.40'
CCC	S21°34'58"E 30.44'
DDD	S17°18'12"E 37.42'
EEE	S23°09'55"E 41.58'
FFF	S25°28'32"W 17.85'
GGG	N24°04'23"E 16.74'
HHH	N21°34'05"W 44.52'
III	N17°21'43"W 29.91'
JJJ	N28°44'24"W 34.82'
KKK	N01°42'28"W 64.64'



AREA TABULATION FOR SHEET 8 OF 9	.....
TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	.....3
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	.....0
TOTAL NUMBER OF LOTS TO BE RECORDED	.....3
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	.....24.852 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	.....0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED	.....24.852 AC±
TOTAL AREA OF FLOOD PLAIN TO BE RECORDED	.....2.282 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED	.....0.000 AC±
TOTAL AREA TO BE RECORDED	.....24.852 AC±

OWNER AND DEVELOPER SHEET
 MILLERBUILT CORPORATION SUSAN D. BAKER
 10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
 SUITE 600 MARRIOTTVILLE, MARYLAND 21104
 COLUMBIA, MARYLAND 21044

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 8388 COURT AVE. - ELLICOTT CITY, MD 21043
 (301) 461-2856

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
James M. Boyle 6-20-90
 HOWARD COUNTY HEALTH OFFICER DATE
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
[Signature] 8-9-90
 DIRECTOR DATE
 APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
James M. Boyle 7/2/90
 DIRECTOR DATE

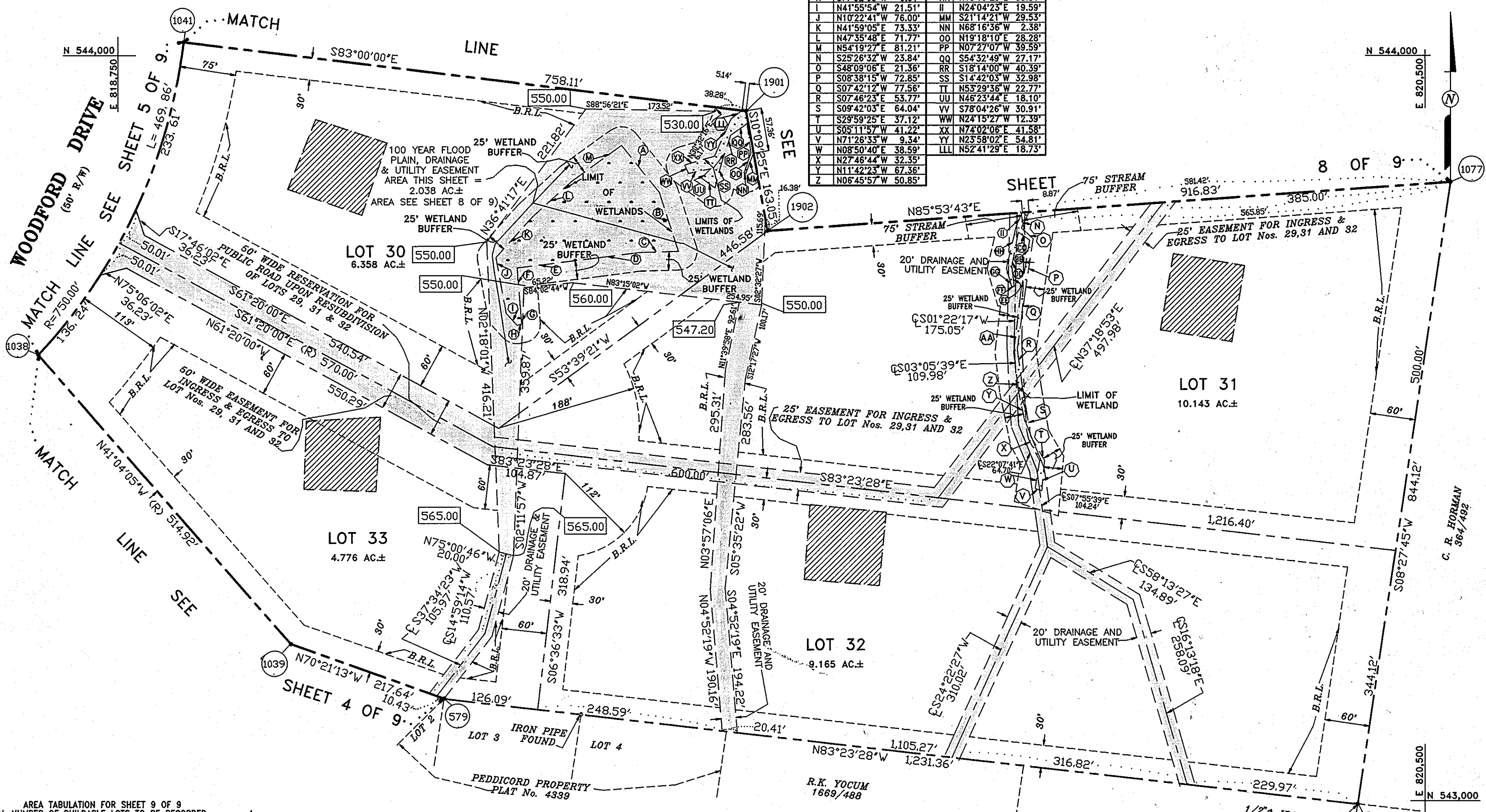
OWNER'S CERTIFICATE
 WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAN BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF MAY, 1990.
 By: *William J. Miller, Jr.*, President
 MILLERBUILT CORPORATION
 WILLIAM J. MILLER, JR. (PRESIDENT)
 By: *John G. Fleury*, Vice President
 MILLERBUILT CORPORATION
 JOHN G. FLEURY (VICE PRESIDENT)
 By: *Susan D. Baker*
 SUSAN D. BAKER

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.
Terrell A. Fisher
 TERRELL A. FISHER, L.S. #106921 LAND SURVEYOR
 DATE: May 16, 1990

RECORDED AS PLAT No. **9420** ON **8-15-90**
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
SPRING VALLEY CHASE
LOTS 1 - 44
 (A RESUBDIVISION OF LOT 1 OF ALBEE FARM, PLAT No. 4138 AND A SUBDIVISION OF PARCEL 119)
ZONING 'R'
 TAX MAP 10
 PARCELS 119 & 294
 THIRD ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=100' DATE: MARCH 20, 1990
 SHEET 8 OF 9
 S88-78 P88-86 F90-24

NOTE:
FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION,
SNOW REMOVAL AND ROAD MAINTENANCE TO BE
PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM
AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE
STEM DRIVEWAY.

WETLAND TABULATION CHART	
LINE BEARING & DISTANCE	LINE BEARING & DISTANCE
A S88°42'36"E 80.77'	AA N08°44'57"E 81.77'
B S18°02'47"E 83.10'	BB N09°40'23"E 70.17'
C S88°23'21"W 52.81'	CC N55°02'14"W 18.55'
D S82°36'59"W 55.58'	DD S10°54'47"W 46.70'
E S82°52'26"W 108.88'	EE S07°13'18"E 27.16'
F S04°36'24"E 55.25'	FF S87°24'46"W 3.54'
G S04°44'49"E 20.51'	GG N16°10'04"W 25.62'
H S77°52'03"W 6.51'	HH N13°19'25"E 58.51'
I N41°55'54"W 21.51'	II N24°04'23"E 19.59'
J N10°22'41"W 76.00'	MM S21°14'21"W 29.53'
K N41°59'05"E 73.33'	NN N68°16'36"W 2.38'
L N47°35'48"E 71.77'	OO N19°18'10"E 28.28'
M N54°19'27"E 81.21'	PP N07°27'07"W 39.59'
N S25°26'32"W 23.84'	QQ S54°32'49"W 27.17'
O S48°09'06"E 21.36'	RR S18°14'00"W 40.39'
P S08°38'15"W 72.85'	SS S14°42'03"W 32.98'
Q S07°42'12"W 77.56'	TT N53°29'36"W 22.77'
R S07°46'23"E 53.77'	UU N46°23'44"E 18.10'
S S09°42'03"E 64.04'	VV S78°04'26"W 30.91'
T S29°59'25"E 37.12'	WW N24°15'27"W 12.39'
U S05°11'57"W 41.72'	XX N74°02'06"E 41.58'
V N71°28'33"W 9.34'	YY N23°58'02"E 54.81'
W N08°50'40"E 38.59'	ZZ N52°41'29"E 18.73'
X N27°46'44"W 32.35'	
Y N11°42'23"W 67.36'	
Z N06°45'57"W 50.83'	



AREA TABULATION FOR SHEET 9 OF 9	
TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	4
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	0
TOTAL NUMBER OF LOTS TO BE RECORDED.....	4
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED.....	30.442 AC±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED.....	0.000 AC±
TOTAL AREA OF LOTS TO BE RECORDED.....	30.442 AC±
TOTAL AREA OF FLOOD PLAIN TO BE RECORDED.....	2.038 AC±
TOTAL AREA OF ROADWAY TO BE RECORDED.....	0.000 AC±
TOTAL AREA TO BE RECORDED.....	30.442 AC±

OWNER AND DEVELOPER
MILLERBUILT CORPORATION SUSAN D. BAKER
10480 LITTLE PATUXENT PARKWAY 12150 MARYLAND ROUTE 99
SUITE 600 MARRIOTTSTVILLE, MARYLAND 21104
COLUMBIA, MARYLAND 21044

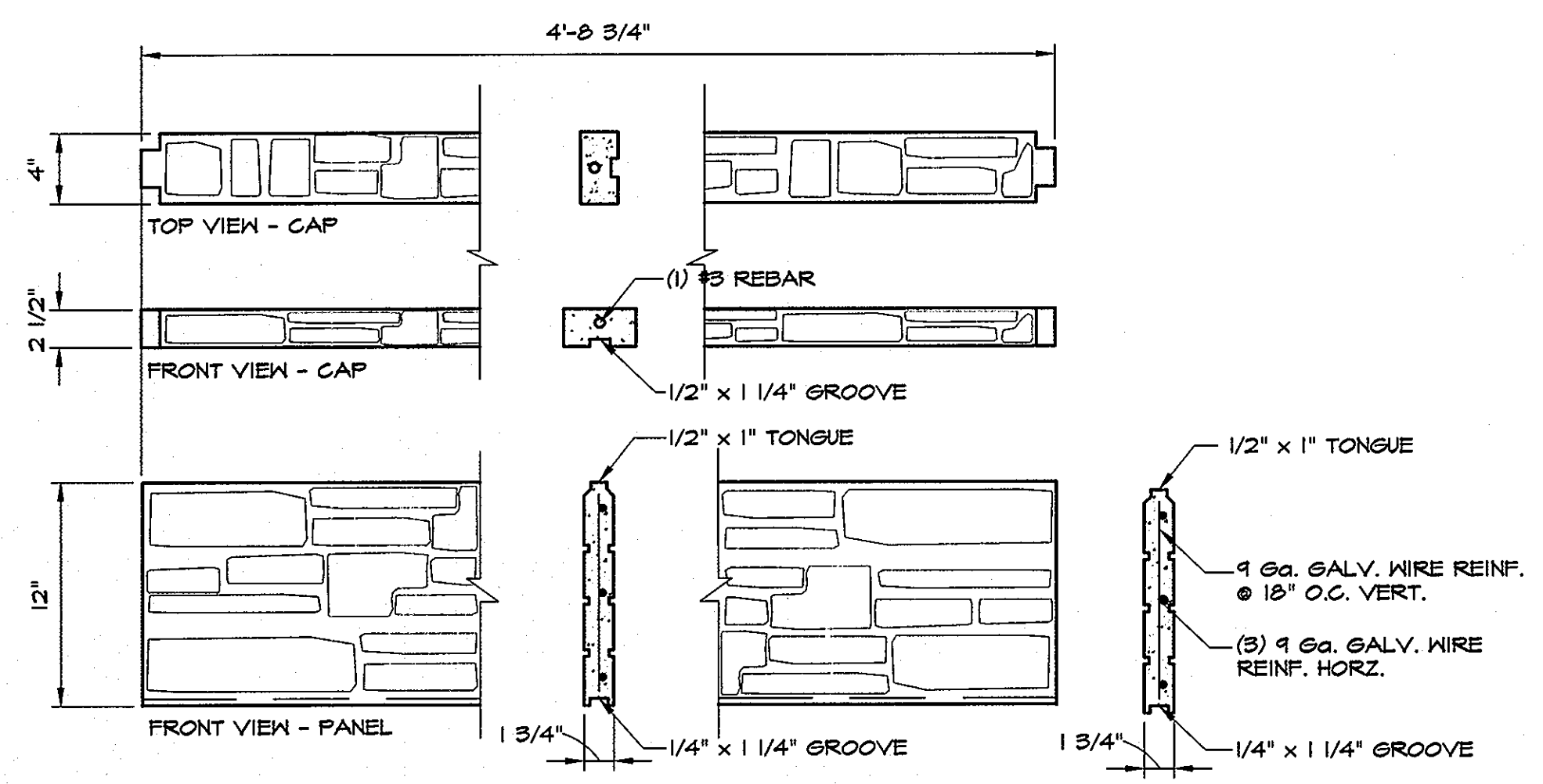
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS &
LAND SURVEYORS
8888 COURT AVE. - ELLICOTT CITY, MD 21048
(301) 461-2866

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT.
Joseph M. Bogdan 6-20-90
HOWARD COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris 8-9-90
DIRECTOR DATE
APPROVED: FOR STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
James *Andres*
DIRECTOR DATE

OWNER'S CERTIFICATE
WE, MILLERBUILT CORPORATION, A BODY CORPORATE OF THE STATE OF MARYLAND, BY WILLIAM J. MILLER, JR., PRESIDENT AND SECRETARY, AND BY JOHN G. FLEURY, VICE PRESIDENT, AND SUSAN D. BAKER, OWNERS, OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR OTHER SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS OUR HANDS THIS 3 DAY OF MAY, 1990.
By: *William J. Miller, Jr.*, President *Douglas L. Olden*, Witness
MILLERBUILT CORPORATION WILLIAM J. MILLER, JR. (PRESIDENT)
By: *John G. Fleury*, Vice President *Douglas L. Olden*, Witness
MILLERBUILT CORPORATION JOHN G. FLEURY (VICE PRESIDENT)
By: *Susan D. Baker* *Kelly M. Fitzpatrick*, Witness
SUSAN D. BAKER

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF (1) A PART OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO MILLERBUILT CORPORATION BY DEED DATED JANUARY 23, 1988 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 1948, FOLIO 0026, AND (2) ALL OF THE LANDS CONVEYED BY DOROTHY A. BAKER TO SUSAN D. BAKER BY DEED DATED JANUARY 25, 1979 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER No. 925, FOLIO 299 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.
Terrell A. Fisher *May 16, 1990*
TERRELL A. FISHER, L.S. #10692 DATE

RECORDED AS PLAT No. **9491** ON **8-15-90**
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
SPRING VALLEY CHASE
LOTS 1 - 44
(A RESUBDIVISION OF LOT 1 OF ALBEE FARM,
PLAT No. 4136 AND A SUBDIVISION OF PARCEL 119)
ZONING 'R'
TAX MAP 10
PARCELS 119 & 294
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1"=100' DATE: MARCH 20, 1990
SHEET 9 OF 9
S88-78 P88-86 F90-24

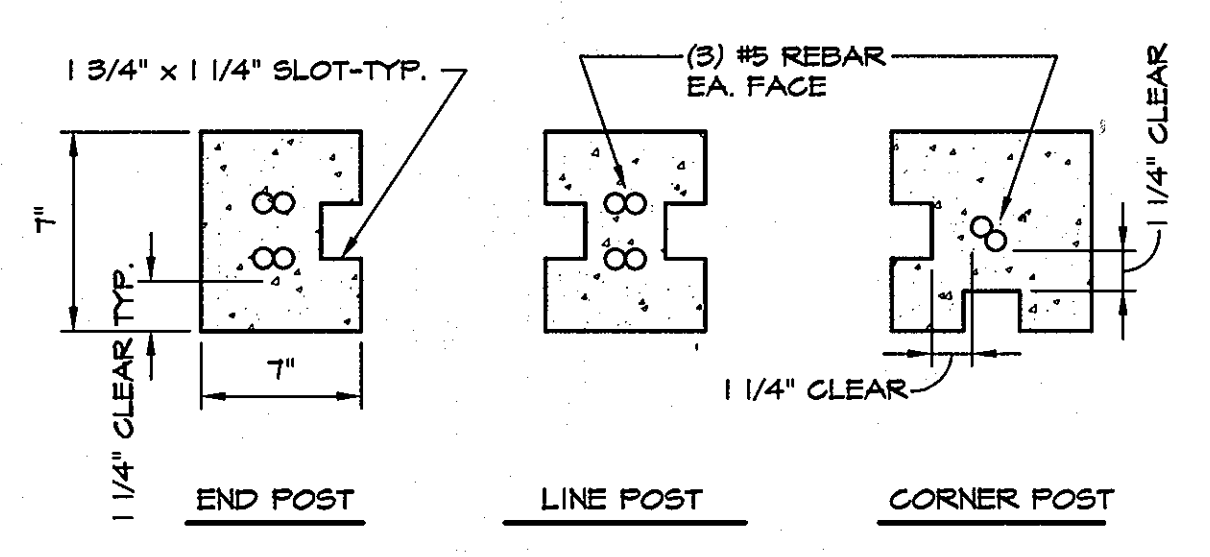


DETAILS - PANEL & CAP
SCALE 1/2" = 1'-0"

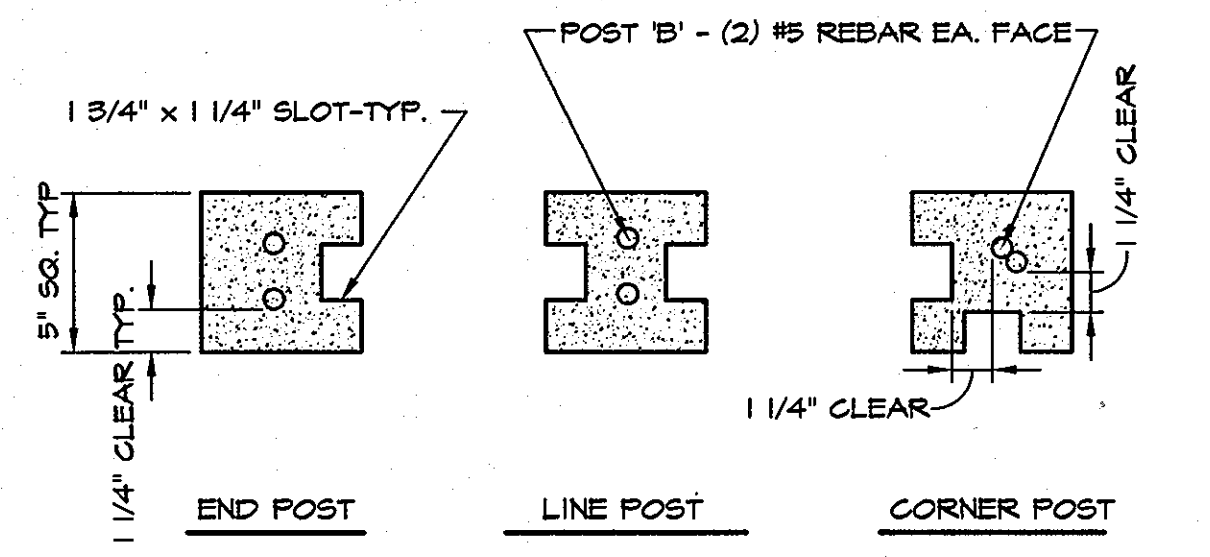
NOTE: RABBIT PANEL JOINT MAY BE SUBSTITUTED IN PLACE OF JOINT SHOWN.

PIER SCHEDULE					
PIER	PIER DIA.	PIER DEPTH	POST	VERTICAL REINF. QUANTITY/SIZE	HORIZONTAL TIES SIZE/SPACINGS
1	16"	8'-6"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
2	16"	8'-6"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
3	16"	8'-6"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
4	16"	7'-0"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
5	16"	7'-0"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
6	16"	6'-3"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
7	16"	6'-3"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
8	16"	6'-3"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
9	16"	6'-0"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
10 AND BEYOND	16"	6'-0"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.

NOTE: PIER SCHEDULE AND POST SIZE ARE TYP. FOR EACH WALL END



SECTIONS PLUS POST - POST 'A'
SCALE 2" = 1'-0"



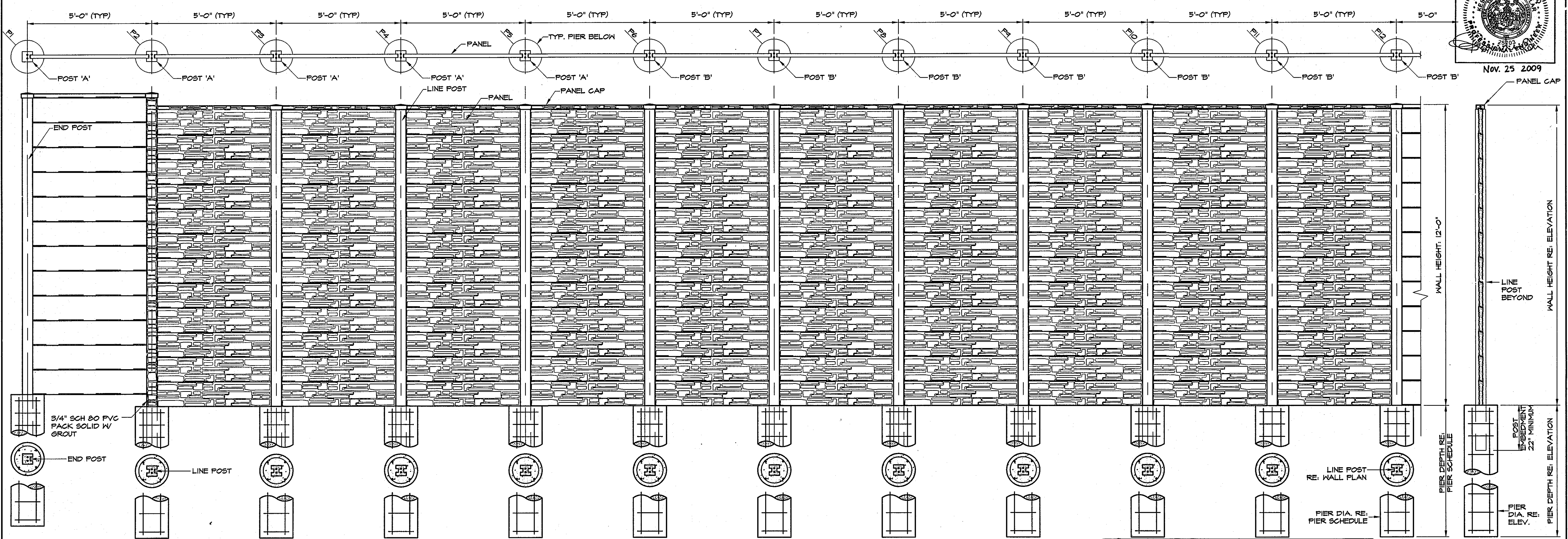
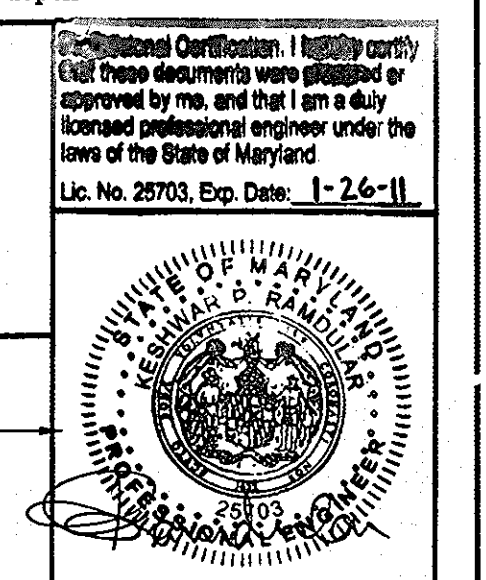
SECTIONS 5" x 5" POST - POST 'B'
SCALE 2" = 1'-0"

SPECIFICATIONS AND NOTES:

- General
- This project has been designed in accordance with the International Building Code, 2008 Edition.
 - Wind Loads:
Basic Wind Speed: 90 mph 3 sec. gust
Exposure Category: 'B'
Category: 1
Importance Factor: 0.87
 - Product to be manufactured by a NPCA Certified Plant.
Manufacturer: Superior Concrete Products
Contact: Calvin Clarke
1203 Raider Drive
Dallas, Texas 76040
Phone No.: (817) 277-9255
Fax No.: (817) 261-0194
 - Screening Wall is to be constructed entirely on the project property.
 - Should drainage be required, the bottom panel shall be raised 2"-4" above grade by means of a concrete filled "Schedule 80 PVC Pipe" placed in the groove of the respective posts.
 - "Light Earth Tone" Integral color: TBD.
- Concrete
- Concrete Materials:
 - Concrete shall be normal weight concrete having sand and gravel or crushed stone aggregates, mixed with ASTM-C150, Type I or Type III Portland Cement to meet the minimum compressive strengths as follows:
 - panels & posts: 5000 psi @ 28 days
 - footings & piers: 2500 psi at 28 days
 - sidewalks & non-structural: 2500 psi at 28 days
 - Water used for concrete shall be clean water and free from injurious amounts of oils, acids, alkalies, organic or other deleterious substances.
 - All concrete permanently exposed to the weather shall contain an air-entraining admixture resulting in 3 to 6% entrained air or as recommended by the manufacturer.
 - Concrete Workmanship:
 - Fresh poured concrete shall be tamped into place by steel rammer, slicing tools or mechanical vibrator, until concrete is thoroughly compact and without void.

- Make excavations for footings to undisturbed soil or to the depth noted on the drawings. Leave the bottom bearing surface clean and smooth. If footing excavations are made deeper than intended, only concrete shall be used for fill. Remove all loose material from excavations prior to concrete pour.
- Reinforcements
- Reinforcing Materials:
 - Deformed type bars shall conform to ASTM-A 615, Grade 60, placed as shown on the drawings.
 - Steel Reinforcing wire shall meet U.S. Steel wire gage, ASTM-A 82, fy = 70,000 psi min. Galvanized.
 - All ties and stirrups shall conform to the requirements of ASTM-A 615, grade 40.
 - Reinforcing Workmanship:
 - Reinforcement steel shall be fabricated in accordance with the CRSI Standard Details. Reinforcing bars shall be cold-bent only. Use of heat to bend reinforcement steel shall be cause for rejection.
 - Reinforcement steel, bars and wire fabric shall be thoroughly cleaned before placing and again before the concrete is placed, shall be accurately positioned and secured in place. Provide standard bar chairs for all beam steel. No brick or porous materials may be used to support the steel off the ground.
 - Install all reinforcement with the following clearances between reinforcing steel and face of concrete:
 - Footing, pier, or beam bottom: 3"
 - Earth-formed pier or beam sides: 2"
 - Formed footing, pier or beam sides, exposed: 1"
 - Precast exposed to weather: panels 3/4", posts 1 1/4"
 - Splices within continuous unscheduled reinforcing steel shall have a minimum lap of 30 bar diameters.
- Soils
- Footing size is based on the following minimum soil properties:
 - Soil Compaction: 90% Std. Proctor
 - Bearing Capacity: 1,500 psf
 - Frictional Resistance: 250 psf
 - Lateral Bearing: 100 psf/ft of depth

Engineer:
Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110-5126
651-481-9120
cell: 612-867-8147



NOTE: THE WALL SHALL BE STEPPED ACCORDING TO CHANGES IN GRADE

Owner:
Howard Co. Dept. of Rec. and Parks
7120 Oakland Mills Rd.
Columbia, MD 21046
Voice: 410-313-4689

Owner:
Meadow Ridge Landings HOA
c/o D.H. Bader Management Services
14435 Cherry Lane Ct, Suite 210
Lanham, MD 20707
301-953-1955

ELEVATION - SCREENING WALL
SCALE 1/2" = 1'-0"

APPROVED: DEPARTMENT OF PUBLIC WORKS
[Signature]
CHIEF, BUREAU OF HIGHWAYS

6-11-10
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
Chief, Division of Land Development
[Signature]
Chief, Development Engineering Division

Date: 11/14/10
Date: 1/13/10

Nottingham Village, Section 3
Tax Map 37 TM Blk. 16 TM Parcel 615
First Elect. District Howard Co., Md

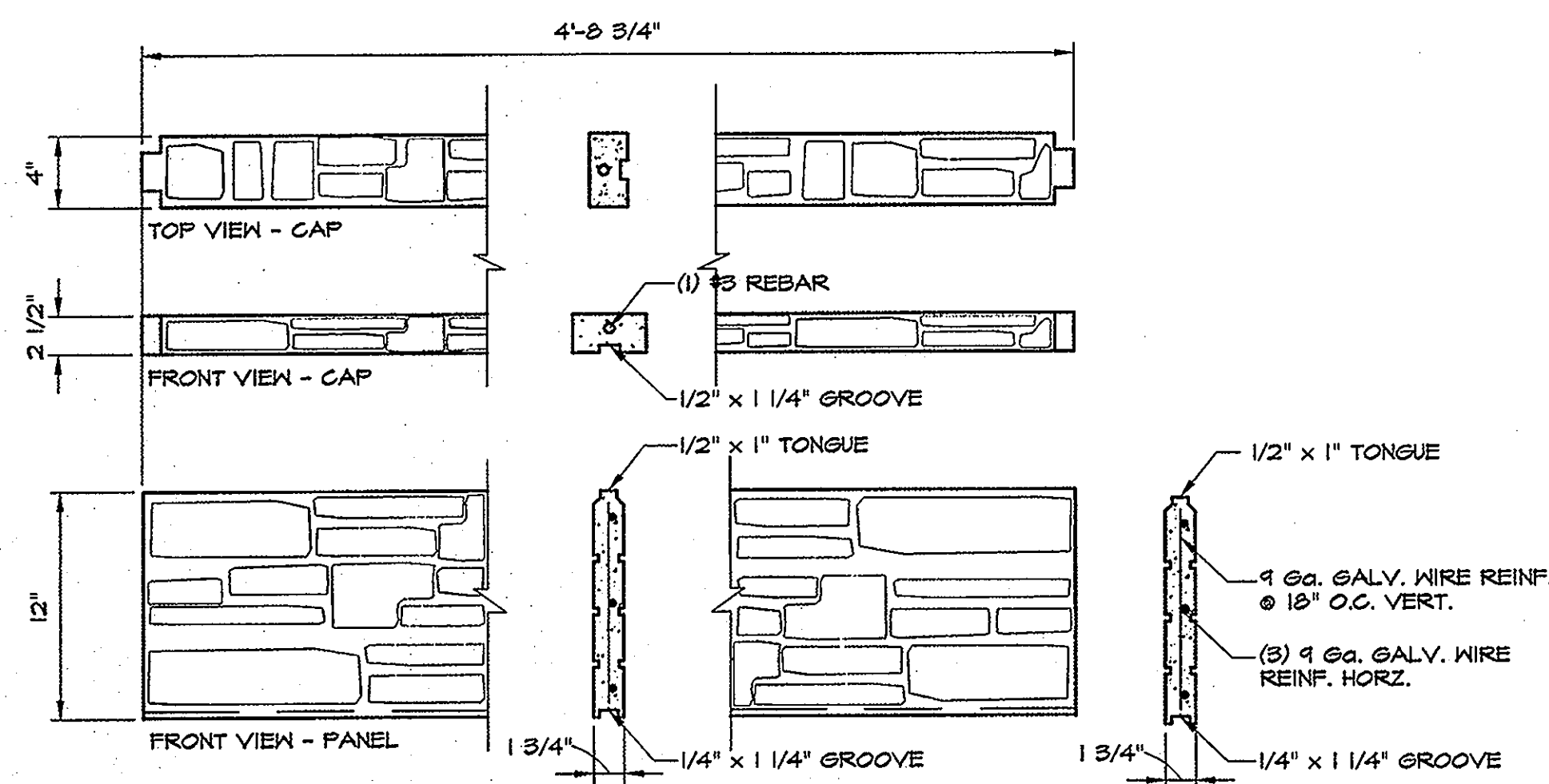
REVISIONS

PRECAST SCREENING WALL
MEADOWRIDGE LANDING HOA
6530 - 6624 HUNTSIRE DRIVE
ELKSHIRE, MD

SUPERIOR-LEDGESTONE
Manufactured By
SUPERIOR CONCRETE PRODUCTS
1203 RAIDER DRIVE EULESS, TX 76040
1 (800) 942-9255 (817) 277-9255

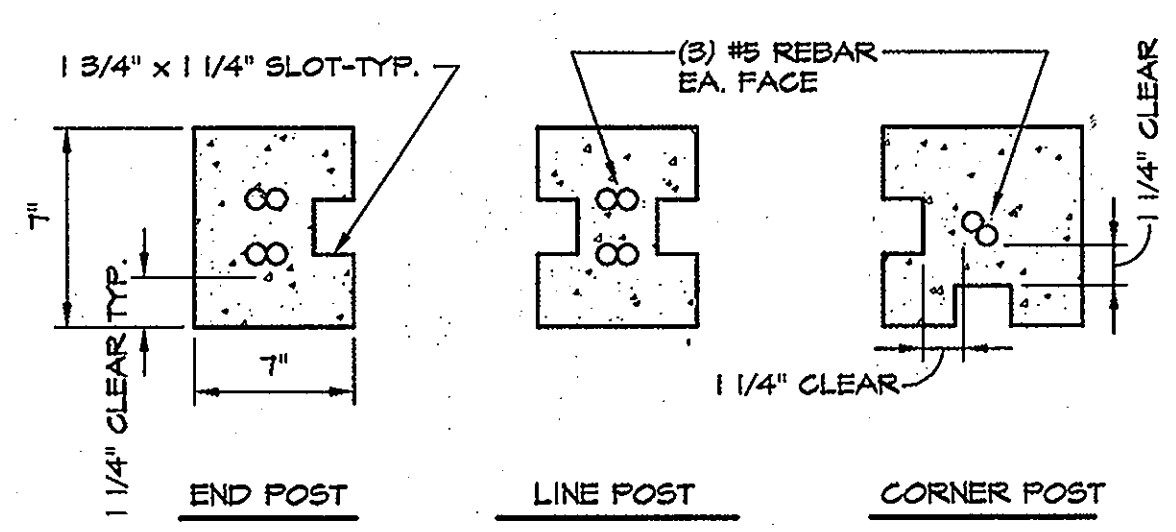
DATE: 6-11-09
DRAWN: D.L.H.
MEADOWRIDGE LANDING HOA

SHEET 9A
OF 9A SHEET(S)

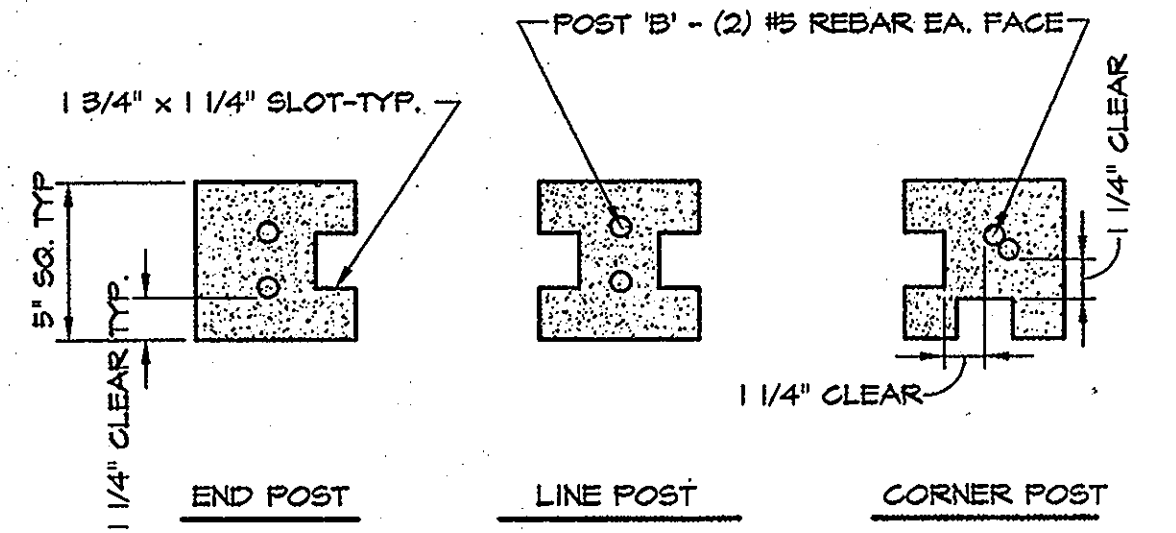


DETAILS - PANEL & CAP
SCALE 1/2" = 1'-0"

NOTE: RABBET PANEL JOINT MAY BE SUBSTITUTED IN PLACE OF JOINT SHOWN.



SECTIONS PLUS POST - POST 'A'
SCALE 2" = 1'-0"



SECTIONS 5" x 5" POST - POST 'B'
SCALE 2" = 1'-0"

PIER SCHEDULE					
PIER	PIER DIA.	PIER DEPTH	POST	VERTICAL REINF. QUANTITY/SIZE	HORIZONTAL TIES SIZE/SPACING
1	16"	8'-6"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
2	16"	8'-6"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
3	16"	8'-6"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
4	16"	7'-0"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
5	16"	7'-0"	A	(4) #4 REBAR	#3 TIES @ 12" O.C.
6	16"	6'-3"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
7	16"	6'-3"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
8	16"	6'-3"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
9	16"	6'-0"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.
10 AND BEYOND	16"	6'-0"	B	(4) #4 REBAR	#3 TIES @ 12" O.C.

NOTE: PIER SCHEDULE AND POST SIZE ARE TYP. FOR EACH WALL END

SPECIFICATIONS AND NOTES:

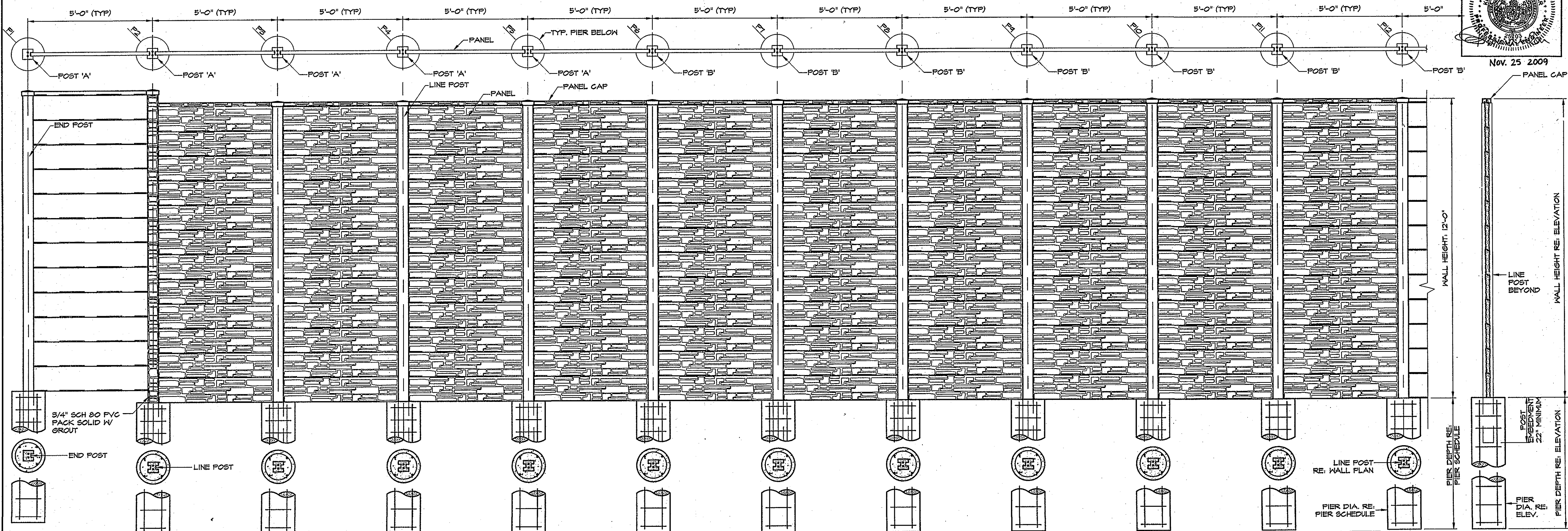
- General
- This project has been designed in accordance with the International Building Code, 2006 Edition.
 - Wind Loads:
Basic Wind Speed: 90 mph 3 sec. gust
Exposure Category: B
Importance Factor: 0.87
 - Product to be manufactured by a NPCA Certified Plant.
Manufacturer: Superior Concrete Products
Contact: Calvin Clarke
1203 Raider Drive
Eules, Texas 76040
Phone No.: (817) 277-9255
Fax No.: (817) 281-0194
 - Screening Wall is to be constructed entirely on the project property.
 - Should drainage be required, the bottom panel shall be raised 2"-4" above grade by means of a concrete filled "Schedule 80 PVC Pipe" placed in the groove of the respective posts.
 - "Light Earth Tone" Integral color: TBD.
- Concrete
- Concrete Materials:
 - Concrete shall be normal weight concrete having sand and gravel or crushed stone aggregates, mixed with ASTM-C150, Type I or Type III Portland Cement to meet the minimum compressive strengths as follows:
 - panels & posts: 5000 psi @ 28 days
 - footings & piers: 2500 psi at 28 days
 - sidewalks & non-structural: 2500 psi at 28 days
 - Water used for concrete shall be clean water and free from injurious amounts of oils, acids, alkalis, organic or other deleterious substances.
 - All concrete permanently exposed to the weather shall contain an air-entraining admixture resulting in 3 to 6% entrained air or as recommended by the manufacturer.
 - Concrete Workmanship:
 - Fresh poured concrete shall be tamped into place by steel rammer, slicing tools or mechanical vibrator, until concrete is thoroughly compact and without void.

- Make excavations for footings to undisturbed soil or to the depth noted on the drawings. Leave the bottom bearing surface clean and smooth. If footing excavations are made deeper than intended, only concrete shall be used for fill. Remove all loose material from excavations prior to concrete pour.
- Reinforcements
- Reinforcing Materials:
 - Deformed type bars shall conform to ASTM-A 615, Grade 60, placed as shown on the drawings.
 - Steel Reinforcing wire shall meet U.S. Steel wire gage, ASTM-A 62, fy = 70,000 psi min. Galvanized.
 - All ties and stirrups shall conform to the requirements of ASTM-A 615, grade 40.
 - Reinforcing Workmanship:
 - Reinforcement steel shall be fabricated in accordance with the CRSI Standard Details. Reinforcing bars shall be cold-bent only. Use of heat to bend reinforcement steel shall be cause for rejection.
 - Reinforcement steel, bars and wire fabric shall be thoroughly cleaned before placing and again before the concrete is placed, shall be accurately positioned and secured in place. Provide standard bar chairs for all beam steel. No brick or porous materials may be used to support the steel off the ground.
 - Install all reinforcement with the following clearances between reinforcing steel and face of concrete:
 - Footing, pier, or beam bottom: 3"
 - Earth-formed pier or beam sides: 2"
 - Formed footing, pier or beam sides, exposed: 1"
 - Precast exposed to weather: panels 3/4"; posts 1 1/4"
 - Splices within continuous unscheduled reinforcing steel shall have a minimum lap of 30 bar diameters.
- Soils
- Footing size is based on the following minimum soil properties:
 - Soil Compaction: 90% Std. Proctor
 - Bearing Capacity: 1,500 psf
 - Frictional Resistance: 250 psf
 - Lateral Bearing: 100 psf/ft of depth

Engineer:
Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110-5146
651-481-9120
cell: 612-867-8147

Professional Engineer
Larson Engineering, Inc.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Lic. No. 28703, Exp. Date: 1-26-11

Nov. 25 2009



ELEVATION - SCREENING WALL
SCALE 1/2" = 1'-0"

NOTE: THE WALL SHALL BE STEPPED ACCORDING TO CHANGES IN GRADE

Owner:
Howard Co. Dept. of Rec. and Parks
7120 Oakland Mills Rd.
Columbia, MD 21046
Voice: 410-313-4689

Owner:
Meadow Ridge Landing HOA
c/o D.H. Bader Management Services
14435 Cherry Lane Ct., Suite 210
Lanham, MD 20627
301-953-1955

APPROVED: DEPARTMENT OF PUBLIC WORKS
6-11-10

APPROVED: DEPARTMENT OF PLANNING AND ZONING
1/14/10
1/13/10

Nottingham Village, Section 3
Tax Map 37 TM Bk. 16 TM Parcel 615
First Elect. District Howard Co., Md

REVISIONS

PRECAST SCREENING WALL
MEADOWRIDGE LANDING HOA
6530-6624 HUNTSIRE DRIVE
ELKSHIRE, MD

SUPERIOR-LEDGESTONE
Manufactured By
SUPERIOR CONCRETE PRODUCTS
1203 RAIDER DRIVE EULESS, TX 76040
1 (800) 942-9255 (817) 277-9255

DATE: 6-11-09
DRAWN: D.L.H.
MEADOWRIDGE LANDING HOA

SHEET 9A
OF 9A SHEET(S)