

U.S. Equivalent Coordinate Table		Metric Coordinate Table		U.S. Equivalent Coordinate Table		Metric Coordinate Table	
Point	North (Feet)	East (Feet)	Point	North (Meters)	East (Meters)	Point	North (Meters)
100	120000.0000	120000.0000	100	36576.0000	36576.0000	100	36576.0000
101	120000.0000	120000.0000	101	36576.0000	36576.0000	101	36576.0000
102	120000.0000	120000.0000	102	36576.0000	36576.0000	102	36576.0000
103	120000.0000	120000.0000	103	36576.0000	36576.0000	103	36576.0000
104	120000.0000	120000.0000	104	36576.0000	36576.0000	104	36576.0000
105	120000.0000	120000.0000	105	36576.0000	36576.0000	105	36576.0000
106	120000.0000	120000.0000	106	36576.0000	36576.0000	106	36576.0000
107	120000.0000	120000.0000	107	36576.0000	36576.0000	107	36576.0000
108	120000.0000	120000.0000	108	36576.0000	36576.0000	108	36576.0000
109	120000.0000	120000.0000	109	36576.0000	36576.0000	109	36576.0000
110	120000.0000	120000.0000	110	36576.0000	36576.0000	110	36576.0000
111	120000.0000	120000.0000	111	36576.0000	36576.0000	111	36576.0000
112	120000.0000	120000.0000	112	36576.0000	36576.0000	112	36576.0000
113	120000.0000	120000.0000	113	36576.0000	36576.0000	113	36576.0000
114	120000.0000	120000.0000	114	36576.0000	36576.0000	114	36576.0000
115	120000.0000	120000.0000	115	36576.0000	36576.0000	115	36576.0000
116	120000.0000	120000.0000	116	36576.0000	36576.0000	116	36576.0000
117	120000.0000	120000.0000	117	36576.0000	36576.0000	117	36576.0000
118	120000.0000	120000.0000	118	36576.0000	36576.0000	118	36576.0000
119	120000.0000	120000.0000	119	36576.0000	36576.0000	119	36576.0000
120	120000.0000	120000.0000	120	36576.0000	36576.0000	120	36576.0000

Lot No.	Gross Area	Paved Area	Minimum Lot Size
1	7,899 Sq. Ft.	464 Sq. Ft.	7,425 Sq. Ft.
2	8,392 Sq. Ft.	726 Sq. Ft.	7,656 Sq. Ft.
3	8,909 Sq. Ft.	989 Sq. Ft.	7,920 Sq. Ft.
4	8,907 Sq. Ft.	987 Sq. Ft.	7,920 Sq. Ft.
5	8,378 Sq. Ft.	722 Sq. Ft.	7,656 Sq. Ft.
6	7,814 Sq. Ft.	455 Sq. Ft.	7,359 Sq. Ft.
7	7,894 Sq. Ft.	462 Sq. Ft.	7,392 Sq. Ft.
8	8,380 Sq. Ft.	724 Sq. Ft.	7,656 Sq. Ft.
9	8,907 Sq. Ft.	987 Sq. Ft.	7,920 Sq. Ft.
10	8,907 Sq. Ft.	987 Sq. Ft.	7,920 Sq. Ft.
11	8,378 Sq. Ft.	722 Sq. Ft.	7,656 Sq. Ft.
12	7,849 Sq. Ft.	457 Sq. Ft.	7,392 Sq. Ft.

Area	Tabulation
TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	50
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	2
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	2
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	54
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	3,081 Ac.*
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	3,084 Ac.*
TOTAL AREA OF BULK PARCELS TO BE RECORDED	37,792 Ac.*
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	51,757 Ac.*
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.*
TOTAL AREA TO BE RECORDED	51,757 Ac.*

Area Tabulation This Submission

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED 50
 TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED 2
 TOTAL NUMBER OF BULK PARCELS TO BE RECORDED 2
 TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED 54
 TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED 3,081 Ac.*
 TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED 3,084 Ac.*
 TOTAL AREA OF BULK PARCELS TO BE RECORDED 37,792 Ac.*
 TOTAL AREA OF LOTS/PARCELS TO BE RECORDED 51,757 Ac.*
 TOTAL AREA OF ROADWAY TO BE RECORDED 0.000 Ac.*
 TOTAL AREA TO BE RECORDED 51,757 Ac.*

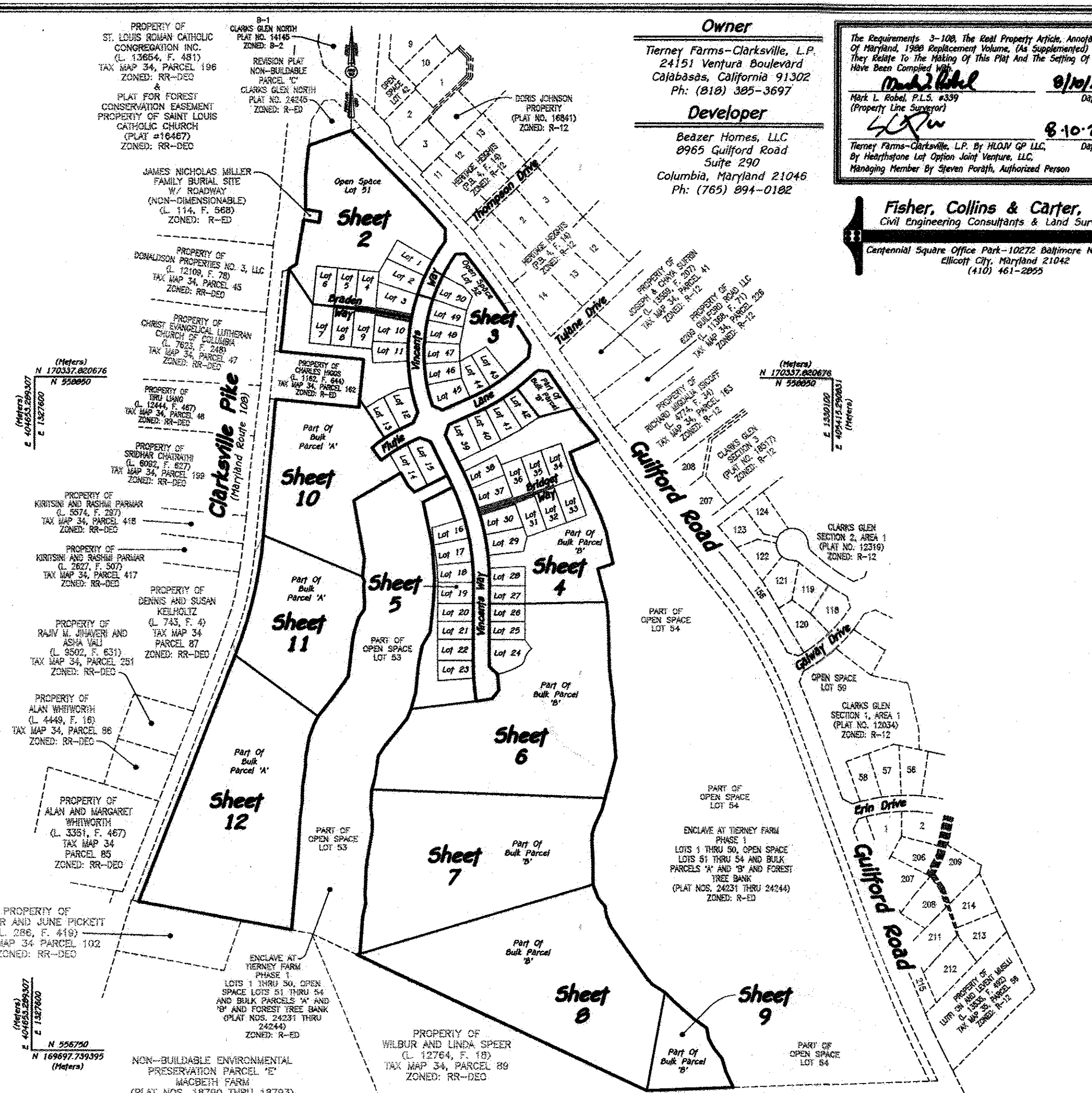
APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

Madison for Maura Rossman 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Chad E. Clark 9-26-17
 Chief, Development Engineering Division Date

Kent Stalwood 10-27-17
 Director Date



Reservation of Public Utility Easements

*Developer Reserves unto itself, its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearthstone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopts This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August, 2017.

Cheryl A. Studley
 Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearthstone Lot Option Joint Venture, LLC, Managing Member By Steven Porath, Authorized Person

Graphic Scale

0' 100' 200' 400' 800'

Scale: 1" = 400'

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

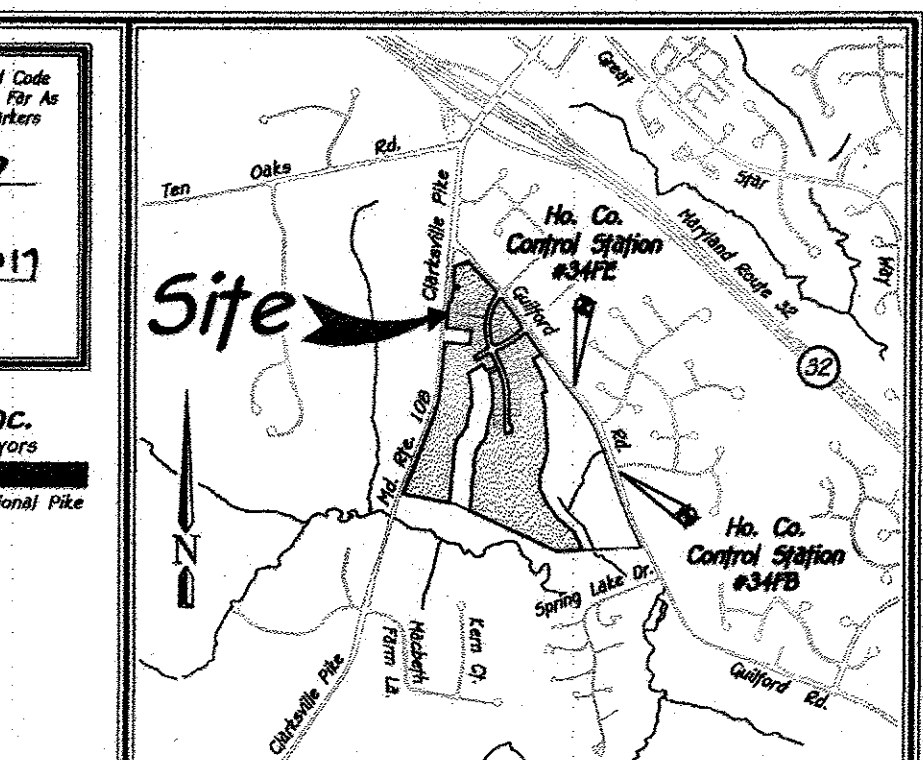
General Notes Continued Sheet 14

RECORDED AS PLAT No. 24400 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
 Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: As Shown Sheet 1 Of 14



Vicinity Map
 Scale: 1" = 2,000'

General Notes:

- Subject Property Zoned R-ED Per The 10/06/13 Comprehensive Zoning Plan
- Coordinates Based On NAD '83, Maryland Coordinate System As Projected By Howard County Geographic Control Stations #34E And #34F. Station No. 34E North 557,459.9130 East 1,330,191.3224 Elev. +406.148 Station No. 34F North 558,339.6005 East 1,329,709.0245 Elev. +431.118
- This Plat Is Based On Field Sur Monumented Boundary Survey Performed On Or About February, 2014 By Fisher, Collins & Carter, Inc.
- B.L.L. Denotes Building Restriction Line.
- Denotes Iron Pin Set With Cap "F.C.C. 106".
- Denotes Iron Pipe Or Iron Bar Found.
- Denotes Angular Change In Bearing Of Boundary Or Rights-Of-Way.
- Denotes Concrete Monument Set With Cap "F.C.C. 106".
- Denotes Concrete Monument Or Stone Found.
- For Flag Or Pipe Stem Logs, Refuse Collection, Snow Removal And Road Maintenance Are Provided To The Junction Of Flag Or Pipe Stem And Road Right-Of-Way Line Only And Not Onto The Flag Or Pipe Stem Lot Driveway.
- Driveways Shall Be Provided Prior To Residential Occupancy To Ensure Safe Access For Fire And Emergency Vehicles Per The Following (Minimum) Requirements:
 - Width - 12 Feet (16 Feet Serving More Than One Residence);
 - Surface - Six (6") Inches Of Compacted Crusher Run Base With Tar And Chip Coating (1 - 1/2" Minimum);
 - Geometry - Maximum 15% Grade, Maximum 10% Grade Change And 45-Foot Turning Radius;
 - Structures (Culverts/Bridges) - Capable Of Supporting 25 Gross Tons (H25-Loading);
 - Drainage Elements - Capable Of Safely Passing 100 Year Flood With No More Than 1 Foot Depth Over Surface;
 - Structure Clearances - Minimum 12 Feet;
 - Maintenance - Sufficient To Ensure All Weather Use.
- All Lot Areas Are Measured To The Center Line.
- Distances Shown Are Based On Surface Measurement And Not Reduced To NAD '83 Grid Measurement.
- A Noise Study Is Not Required Because The Project Does Not Fall Within The Guidelines Of Design Manual, Volume III, Roads And Bridges, Section 5.2, F.2.
- No Certificates Exist On This Site Based On A Visual Site Visit And Based On A Examination Of The Howard County Cemetery Inventory Map.
- Previous Department Of Planning And Zoning File Numbers: ECP-15-005, PB Case No. 409, SP-15-006, WP-15-069, WP-16-152 And F-11-110.
- This Property Is Located Within The Metropolitan District, Public Water And Public Sewer Will Be Utilized For This Project.
- This Plat Is In Compliance With The Amended Fifth Edition Of The Subdivision And Land Development Regulations Per Council Bill 45-2003 And The 10/06/13 Comprehensive Zoning Plan. Development Or Construction On These Lots Must Comply With Setback And Buffer Regulations In Effect At The Time Of Submission Of The Site Development Plan, Water Petition Application, Or Building/Grading Permit.
- The Project Is In Conformance With The Latest Howard County Standards Unless Waivers Have Been Approved.
- The Traffic Study Dated September, 2014 For This Project Was Prepared By The Traffic Group And Approved On March 24, 2015.
- A Pre-Submission Community Meeting Was Held For This Project On June 26, 2014 In Accordance With Section 16.127 Of The Howard County Subdivision And Land Development Regulations.
- Articles Of Incorporation For The Enclave At Tierney Farm Homeowners Association, Inc. Has Been Filed With The Maryland State Department Of Assessments And Taxation On December 7, 2016, Receipt No. D17650490.
- Site Is Not Adjacent To A Scenic Road.

Purpose Statement

The Purpose Of This Plat Is To: (1) Remove And Revise Existing Easements On Open Space Lots 51 And 52 And Bulk Parcel 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244; (2) To Create 10' Private Landscape Easements On Lots 1, 2, 3, 14, 15, 41, 42, 43, 44, 49 And 50; (3) To Create Private Entrance Feature Easements On Open Space Lots 51 And 52 And Bulk Parcel 'B'; (4) To Revise The Recreational Open Space (Crested) Area On Open Space Lot 51; And (5) To Revise The Subdivision Name Of "Enclave At Tierney Farms", Recorded As Plat Nos. 24231 Thru 24244, To "Enclave At River Hill".

The Requirements 3-108, The Real Property Article, Annotated Code of Maryland, 1988 Supplement Volume (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 0/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)
 Date

9/10/2017
 Date

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC
 Date
 By Hearststone Lot Option Joint Venture, LLC
 Managing Member By Steven Porath, Authorized Person

This Subdivision Is Subject To Section 18.122B Of The Howard County Code. Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Developer Agreement 34-1808-D Was Filed And Accepted.

Reservation Of Public Utility Easements

"Developer Reserves To Itself, Its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County. Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
D1	S55°12'32"E	11.62'	D19	N22°43'46"W	220.69'
D2	N86°11'23"E	12.07'	D20	N55°43'44"W	8.22'
D3	S36°22'24"E	29.63'	D21	N70°30'42"W	63.53'
D4	N53°08'44"E	24.01'	D22	N29°07'10"W	21.46'
D5	S53°24'05"W	22.00'	D23	S29°07'10"E	28.05'
D6	R=2683.00'	L=56.23'	D24	S70°30'42"E	21.68'
D7	S53°22'50"W	14.13'	D25	N20°24'14"W	28.79'
D8	S28°43'46"E	193.45'	D26	N99°12'32"W	21.27'
D9	N54°08'16"E	57.50'	D27	S24°24'30"E	11.51'
D10	S54°08'16"W	24.00'	D28	N49°29'14"E	7.57'
D11	S34°43'06"E	30.29'	D29	S77°23'30"E	17.79'
D12	S36°53'07"W	12.44'	D30	S34°43'06"E	70.23'
D13	S48°29'14"W	29.30'	D31	S44°34'50"W	36.10'
D14	S32°30'10"E	15.19'	D32	S54°56'07"E	44.58'
D15	N32°30'10"W	49.65'	D33	N55°16'54"E	42.10'
D16	N07°00'28"W	41.10'	D34	N94°31'57"W	53.36'
D17	N02°59'33"E	20.00'	D35	N35°06'23"W	60.22'
D18	S07°00'28"E	27.98'			

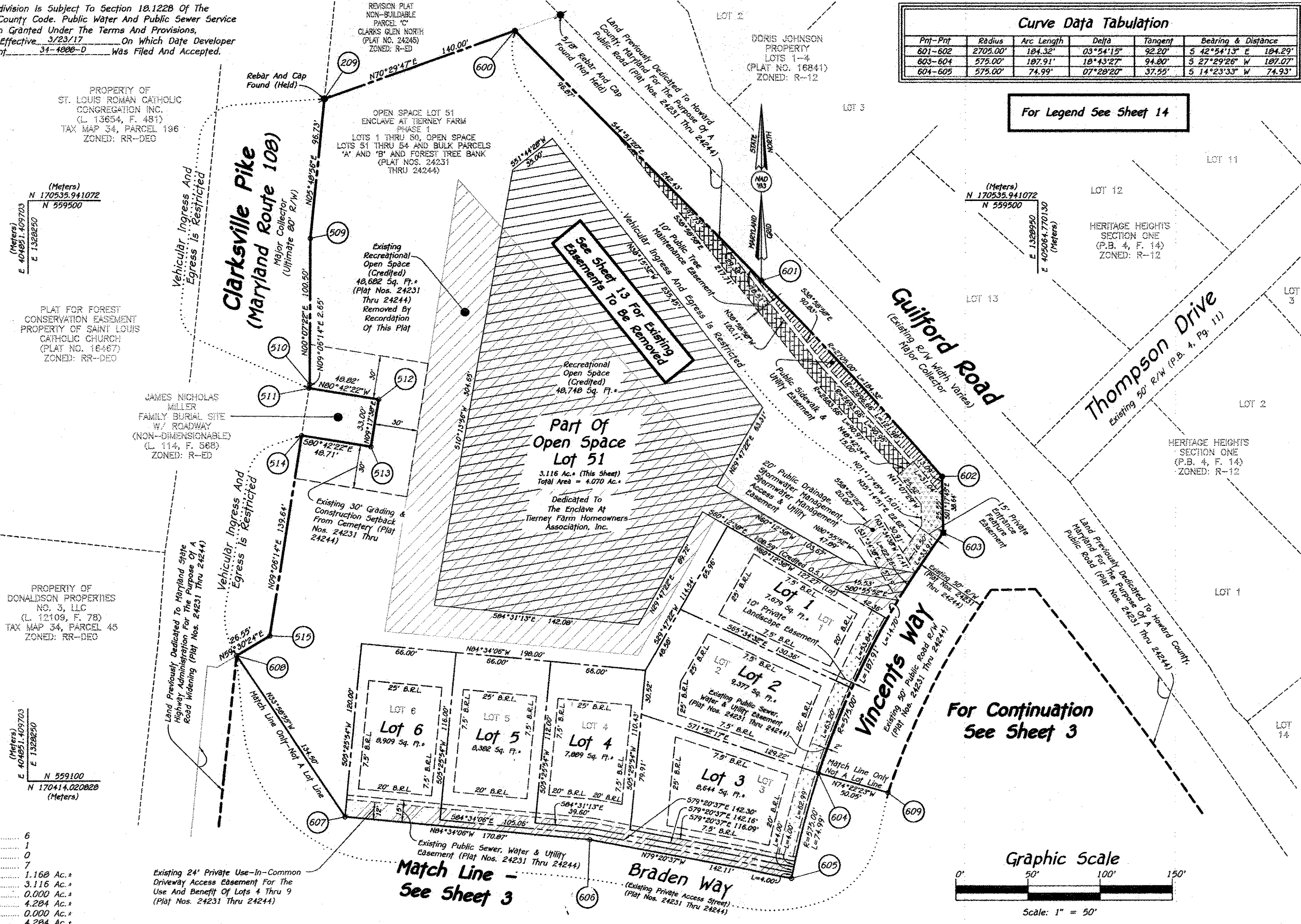
Owner
 Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer
 Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2895

Area Tabulation Sheet 2

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	6
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	1
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	7
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	1.168 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	3.116 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	4.284 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	4.284 Ac.±

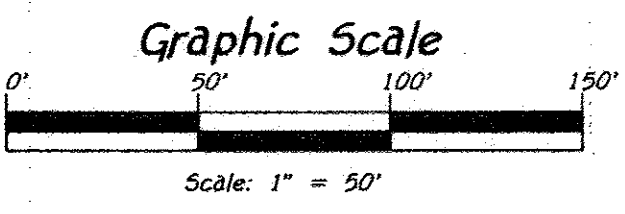


Curve Data Tabulation

Pnt-Pnt	Radius	Arc Length	Delta	Tangent	Bearing & Distance
601-602	2705.00'	184.32'	03°54'15"	92.20'	S 42°54'13" E 184.29'
603-604	575.00'	107.91'	10°43'27"	94.80'	S 27°29'26" W 107.07'
604-605	575.00'	74.99'	07°28'20"	37.55'	S 14°23'33" W 74.93'

For Legend See Sheet 14

For Continuation See Sheet 3



APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

William for Maureen Roseman 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Chad Clark 9-26-17
 Chief, Development Engineering Division Date

Kevin L. ... 10-27-17
 Director Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearststone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August, 2017.

Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearststone Lot Option Joint Venture, LLC, Managing Member By Steven Porath, Authorized Person

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17305 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17305 At Folio 306; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 9/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24461 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
 Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 10 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 2 Of 14

This Subdivision is Subject to Section 18.122B of The Howard County Code. Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions Thereof, Effective 3/29/17. On Which Date Developer Agreement 34-6880-0 Was Filed And Accepted.

The Requirements 3-108, The Real Property Article, Annotated Code Of Maryland, 1988 Replacement Volume, (As Supplemented) As Far As They Relate To The Laying Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 9/10/17
 Mark L. Robel, P.L.S. 4339
 (Property Line Surveyor)
 Date

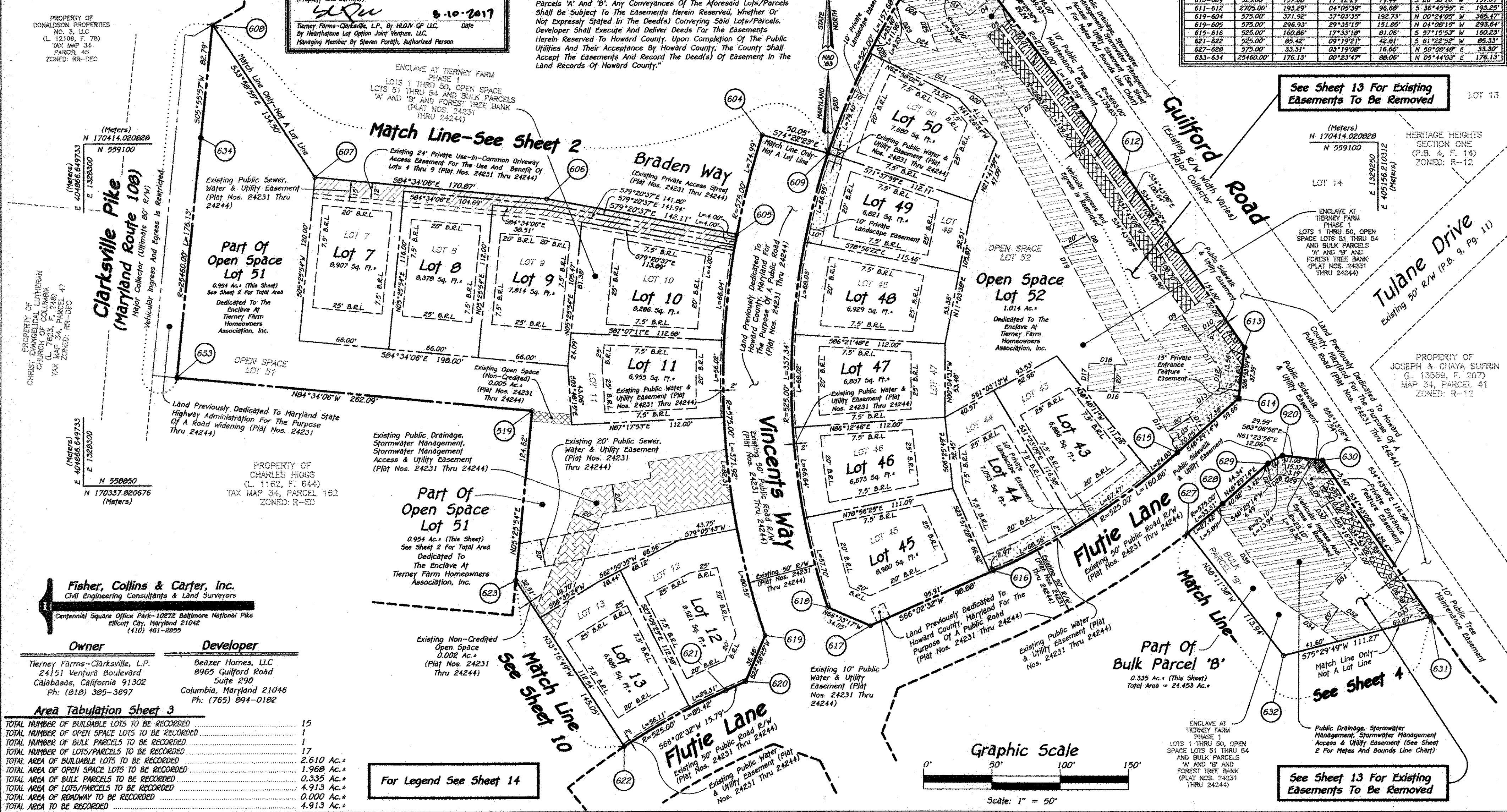
SLP 9.10.2017
 Tierney Farms-Clarksville, L.P., by HLOJV GP LLC
 By: Hearthstone Lot Option Joint Venture, LLC
 Managing Member By Steven Porath, Authorized Person
 Date

Reservation Of Public Utility Easements

"Developer Reserves Unto Itself, Its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County Upon Completion Of The Public Utilities And Their Acceptance By Howard County. The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

Curve Data Tabulation

PI-PT	Radius	Arc Length	Delta	Tangent	Bearing & Distance
605-604	575.00'	74.99'	07°28'20"	37.52'	N 12°33'33" E 74.93'
609-610	525.00'	337.34'	36°48'52"	174.72'	S 00°02'27" E 331.25'
610-610	525.00'	495.02'	54°01'24"	267.54'	S 03°33'49" E 476.00'
610-609	525.00'	157.68'	17°12'29"	79.44'	S 26°50'18" E 193.09'
611-612	2705.00'	193.29'	04°05'39"	96.68'	S 36°49'59" E 193.25'
619-604	575.00'	371.92'	37°03'35"	192.73'	N 00°24'05" W 365.47'
619-605	575.00'	296.93'	29°35'19"	151.05'	N 04°08'19" W 293.64'
615-616	525.00'	160.86'	17°33'18"	81.06'	S 27°15'53" W 160.25'
621-622	525.00'	85.42'	09°19'21"	42.81'	S 61°22'32" W 85.33'
627-629	575.00'	33.31'	03°19'08"	16.66'	N 50°08'48" E 33.30'
633-634	25400.00'	176.13'	00°23'47"	88.06'	N 25°44'03" E 176.13'



See Sheet 13 For Existing Easements To Be Removed

See Sheet 13 For Existing Easements To Be Removed

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2955

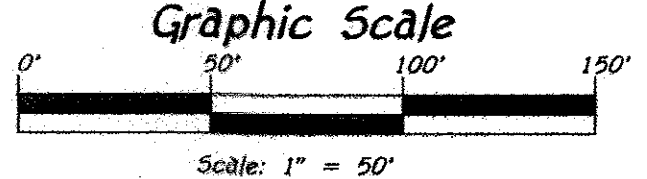
Owner
 Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer
 Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

Area Tabulation Sheet 3

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	15
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	1
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	1
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	17
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	2.610 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	1.968 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	0.335 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	4.913 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	4.913 Ac.±

For Legend See Sheet 14



APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

Madeline for Maria Rossman 9/13/2017
 Howard County Health Officer

APPROVED: Howard County Department Of Planning And Zoning.

Cheryl A. Studley 9.26.17
 Chief, Development Engineering Division

Kate Schuchman 10.27.17
 Director

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearthstone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Herby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Herby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August, 2017.

Cheryl A. Studley
 Witness
CHERYL A. STUDLEY
 Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearthstone Lot Option Joint Venture, LLC, Managing Member By Steven Porath, Authorized Person

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 9/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24402 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
 Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 3 Of 14

This Subdivision is Subject To Section 10.122B Of The Howard County Code. Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Developer Agreement 34-1800-D Was Filed And Accepted.

Property Line Line Chart Tabulation

Line	Bearing	Length
PL1	N 73°04'15" E	114.22'
PL2	N 73°04'15" E	112.90'
PL3	N 70°02'48" E	67.47'
PL4	N 73°04'15" E	112.98'
PL5	N 70°02'48" E	133.50'
PL6	N 73°04'15" E	113.07'
PL7	N 70°02'48" E	199.69'
PL8	N 73°04'15" E	113.19'
PL9	N 70°02'48" E	133.39'
PL10	N 73°04'15" E	113.32'
PL11	N 70°02'48" E	67.50'
PL12	N 73°04'15" E	113.49'

Public Drainage, Stormwater Management, Access & Utility Easement Line Table

LINE	BEARING	LENGTH
D1	R=5795.00°	L=43.61'
D2	S40°30'00"E	5.00'
D3	S47°28'20"W	23.53'
D4	S42°31'40"E	52.42'
D5	S47°28'20"W	20.00'
D6	N42°31'40"W	69.35'
D7	N50°14'39"W	20.80'
D8	N54°31'57"W	44.40'
D9	N75°29'49"E	69.67'

The Requirements 3-10B, The Real Property Article, Annotated Code of Maryland, 1986 Replacement Volume, (As Supplemented As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor) Date

Steven Parath 8-10-2017
 Steven Parath, P.L.S. #339
 (Property Line Surveyor) Date

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC,
 By Hearthstone Lot Option Joint Venture, LLC
 Managing Member By Steven Parath, Authorized Person

Reservation Of Public Utility Easements

"Developer Reserves unto itself, its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County; The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

Curve Data Tabulation

Proj-Prt	Radius	Arc Length	Delta	Tangent	Bearing & Distance
626-627	575.00'	142.87'	14°14'10"	71.80'	N 98°29'27" E 142.50'
631-630	5795.00'	43.61'	00°12'52"	21.81'	S 34°52'02" E 43.61'
663-643	775.00'	362.28'	28°46'54"	184.50'	N 15°23'27" W 328.97'
651-930	5790.00'	25.78'	00°15'18"	12.84'	S 35°50'03" E 25.78'

See Sheet 13 For Existing Easements To Be Removed

Match Line- See Sheet 3

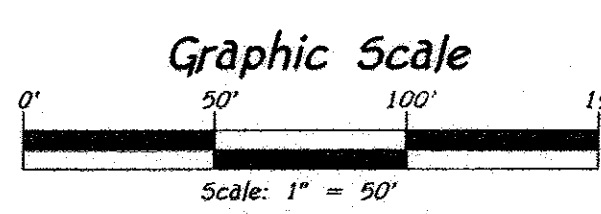
Match Line- See Sheet 6

Area Tabulation Sheet 4

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	16
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	16
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	2.895 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	2.410 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	5.313 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	5.313 Ac.±

Developer
 Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

Owner
 Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Cajabassas, California 91302
 Ph: (818) 325-3697



For Legend See Sheet 14

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

B. Nijhar for *Maura Roseman* 9/10/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Chad Clark 9-26-17
 Chief, Development Engineering Division Date

Kurt Schumacher 10-27-17
 Director Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearthstone Lot Option Joint Venture LLC, Managing Member By Steven Parath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August, 2017.

Steven Parath
 Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearthstone Lot Option
 Joint Venture, LLC, Managing Member By
 Steven Parath, Authorized Person

Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17305 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17305 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24403 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

**Revision Plat
 Enclave At River Hill
 Phase 1**

Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 1B Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 4 Of 14



The Requirements 3-108, The Real Property Article, Annotated Code Of Maryland, 1988 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)

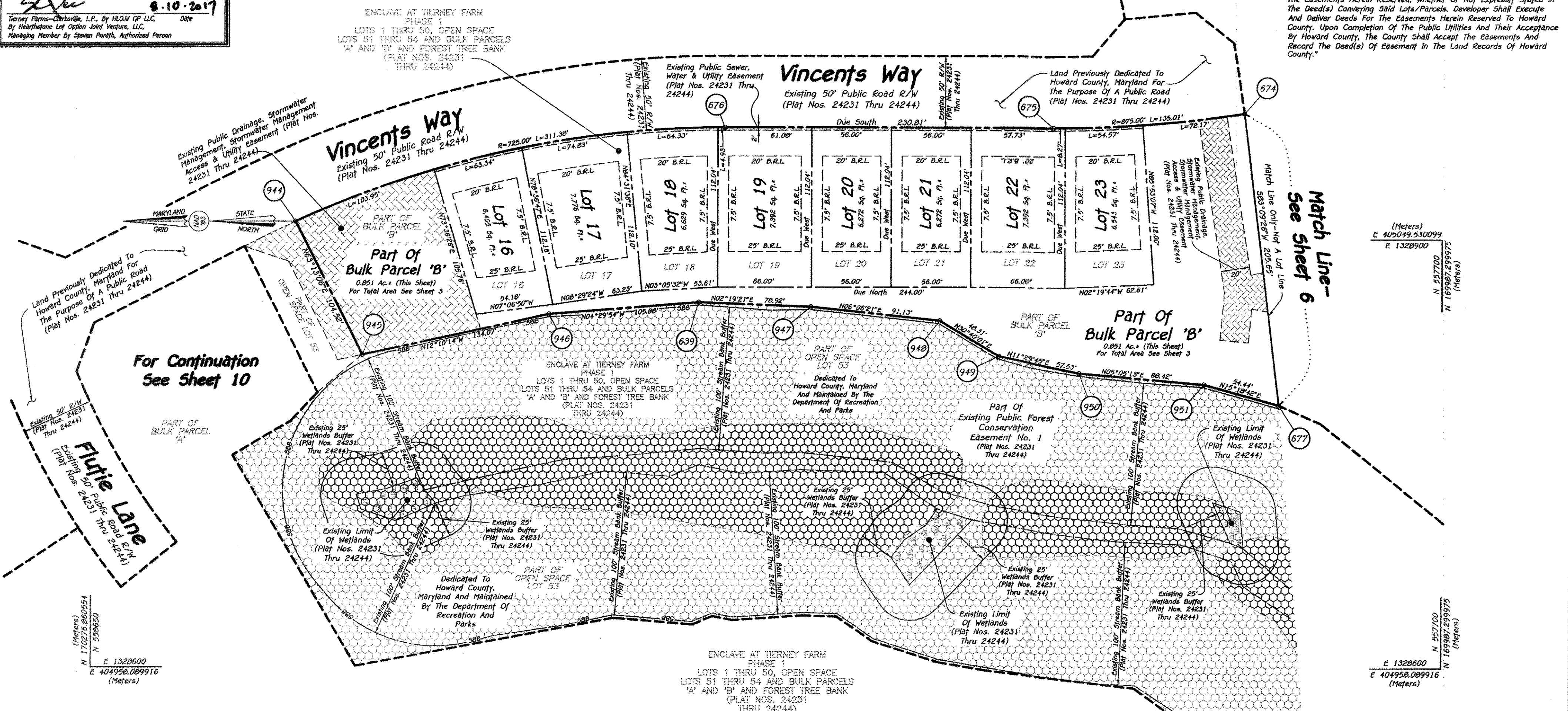
8.10.2017
 Tierney Farms-Clarksville, L.P., By HLOJV GP LLC Date
 By Heartstone Lot Option Joint Venture, LLC
 Managing Member By Steven Porath, Authorized Person

This Subdivision Is Subject To Section 18.122B Of The Howard County Code, Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Deed/Agreement 34-4898-D Was Filed And Accepted.

Proj-Point	Radius	Arc Length	Delta	Tangent	Bearing & Distance
944-676	725.00'	311.36'	24°36'27"	150.13'	S 12°10'14" E 308.99'
676-674	875.00'	135.01'	08°20'27"	67.64'	S 04°25'13" E 134.08'

Reservation Of Public Utility Easements

"Developer Reserves unto itself, its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County. Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

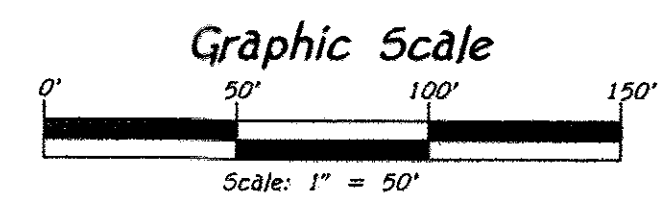


Area Tabulation Sheet 5

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	0
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	0
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	1.256 Ac.*
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.*
TOTAL AREA OF BULK PARCELS TO BE RECORDED	0.051 Ac.*
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	2.107 Ac.*
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.*
TOTAL AREA TO BE RECORDED	2.107 Ac.*

Developer	Owner
Beazer Homes, LLC 8965 Guilford Road Suite 290 Columbia, Maryland 21046 Ph: (765) 894-0182	Tierney Farms-Clarksville, L.P. 24151 Ventura Boulevard Calabasas, California 91302 Ph: (818) 385-3697

For Legend See Sheet 14



Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

B. Williams for Marissa Roseman 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Chief, Development Engineering Division 9.26.17 Date
Director 10.27.17 Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Heartstone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August, 2017.

Chief, Planning & Zoning
 Witness
CHERYL A. STUDLEY

Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Heartstone Lot Option
 Joint Venture, LLC, Managing Member By
 Steven Porath, Authorized Person

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17 Date
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24404 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
Lots 1 Thru 50, Open Space Lots 51
And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 5 Of 14

The Requirements 3-108, The Real Property Article, Annotated Code of Maryland, 1988 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 9/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)

[Signature] 8.10.2017
 Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, Date
 By Hearstone Lot Option Joint Venture, LLC
 Managing Member By Steven Porath, Authorized Person

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors

Centennial Square Office Park-10272, Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2895

Reservation Of Public Utility Easements

"Developer Reserves unto itself, its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

Owner

Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer

Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

For Legend See Sheet 14

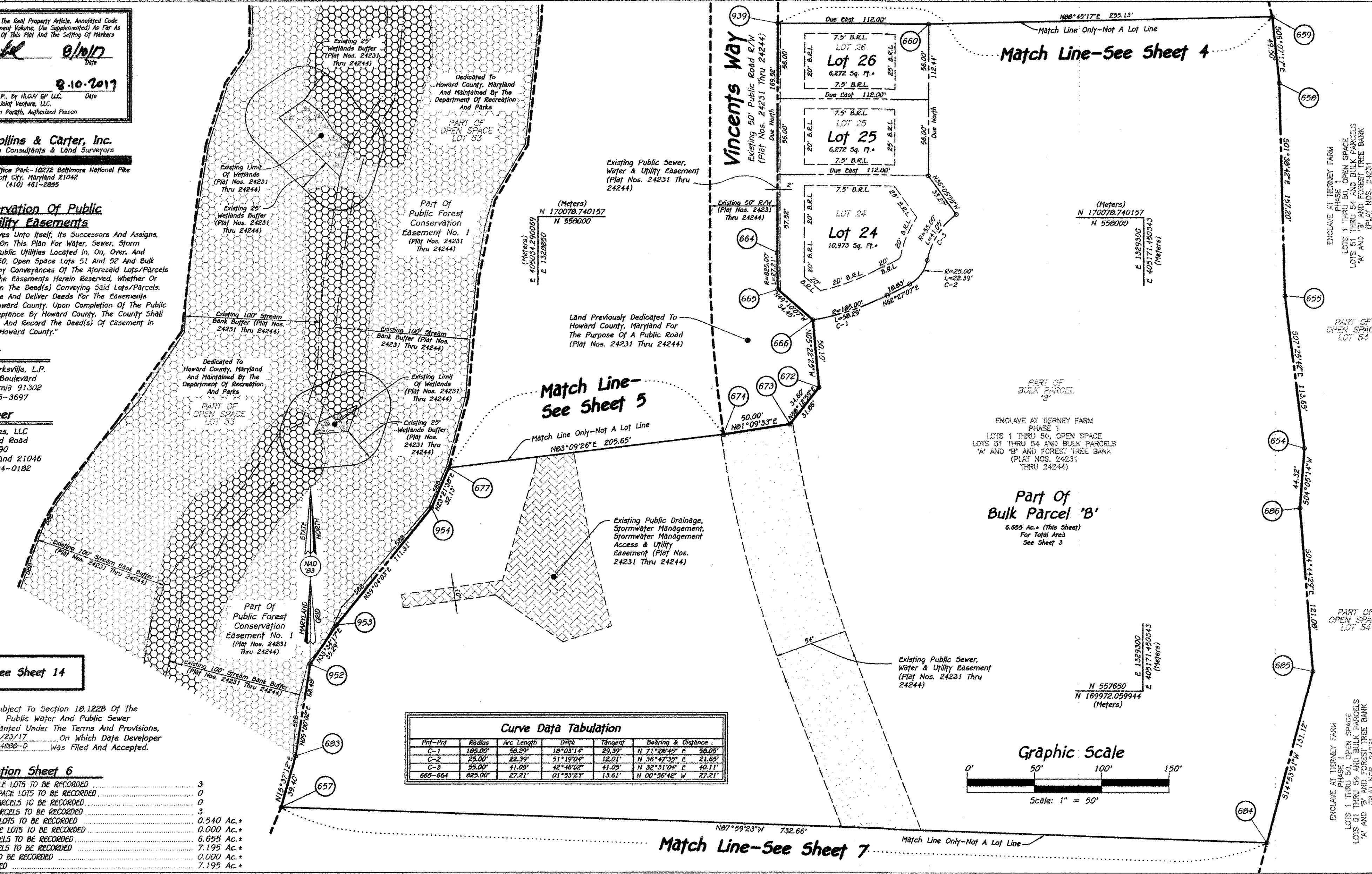
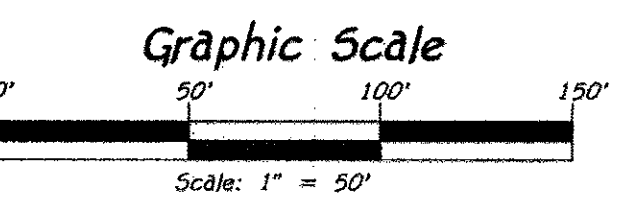
This Subdivision Is Subject To Section 18.122B Of The Howard County Code. Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Developer Agreement 34-4000-0 Was Filed And Accepted.

Area Tabulation Sheet 6

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	3
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	3
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.540 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	6.655 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	7.195 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	7.195 Ac.±

Curve Data Tabulation

Plat-Plat	Radius	Arc Length	Delta	Tangent	Bearing & Distance
C-1	185.00'	58.29'	18°03'14"	29.39'	N 71°28'45" E 50.05'
C-2	25.00'	22.39'	51°19'04"	12.01'	N 36°47'39" E 21.85'
C-3	55.00'	41.05'	42°46'02"	41.05'	N 32°31'04" E 40.11'
665-664	825.00'	27.21'	01°53'25"	13.61'	N 00°56'42" W 27.21'



APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

[Signature] for *Maura Roseman* 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

[Signature] 9.26.17
 Chief, Development Engineering Division Date

[Signature] 10.2.17
 Director Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearstone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Herby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Herby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day of August 2017.

[Signature]
 Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearstone Lot Option Joint Venture, LLC, Managing Member By Steven Porath, Authorized Person

[Signature]
 Witness
CHERYL A. STUDLEY

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

[Signature] 9/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. **24405** ON **11/3/17**
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
Lots 1 Thru 50, Open Space Lots 51
And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 6 Of 14

The Requirements 3-100, The Real Property Article, Annotated Code Of Maryland, 1989 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. #339 Date
 (Property Line Surveyor)
St. J. Par 8-10-2017
 Tierney Farms-Clarksville, L.P., By HLOJV GP LLC Date
 By Hearthstone Lot Option Joint Venture, LLC.
 Managing Member By Steven Parath, Authorized Person

Reservation Of Public Utility Easements

"Developer Reserves unto itself, its Successors and Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

This Subdivision Is Subject To Section 18.122B Of The Howard County Code. Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Developer Agreement 34-4880-D Was Filed And Accepted.

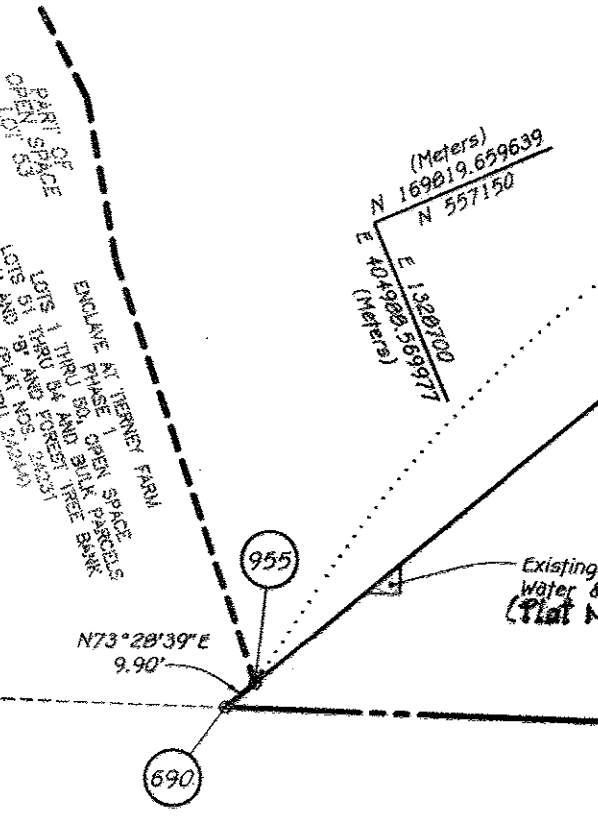
Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

Owner

Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer

Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182



Match Line - See Sheet 7
 Match Line Only-Not A Lot Line
 N73°28'39"E 761.95'

Existing Public Sewer, Water & Utility Easement (Plat Nos. 24231 Thru 24244)

PART OF BULK PARCEL 'B'
 ENCLAVE AT TIERNEY FARM PHASE 1
 LOTS 1 THRU 50, OPEN SPACE LOTS 51 THRU 54 AND BULK PARCELS 'A' AND 'B' AND FOREST TREE BANK (PLAT NOS. 24231 THRU 24244)

Part Of Bulk Parcel 'B'
 6.720 Ac. (This Sheet)
 For Total Area See Sheet 3

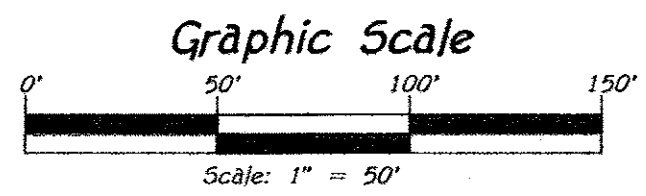
PART OF OPEN SPACE LOT 54
 ENCLAVE AT TIERNEY FARM PHASE 1
 LOTS 1 THRU 50, OPEN SPACE LOTS 51 THRU 54 AND BULK PARCELS 'A' AND 'B' AND FOREST TREE BANK (PLAT NOS. 24231 THRU 24244)

Existing Public Sewer, Water & Utility Easement (Plat Nos. 24231 Thru 24244)

Match Line - See Sheet 9
 Match Line Only-Not A Lot Line
 S10°18'57"W 311.25'

Area Tabulation Sheet B

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	0
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	0
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.000 Ac.+
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.+
TOTAL AREA OF BULK PARCELS TO BE RECORDED	6.720 Ac.+
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	6.720 Ac.+
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.+
TOTAL AREA TO BE RECORDED	6.720 Ac.+



PROPERTY OF WILBUR AND LINDA SPEER (L 12764, F. 18)
 TAX MAP 34, PARCEL 89
 ZONED: RR-DEO

For Legend See Sheet 14

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

B. Nixon for *Mama Rossman* 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Chris E. ... 9-26-17
 Chief, Development Engineering Division JP Date

K. ... 10-27-17
 Director Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearthstone Lot Option Joint Venture LLC, Managing Member By Steven Parath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/OR Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/OR Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August 2017.

St. J. Par
 Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearthstone Lot Option Joint Venture, LLC, Managing Member By Steven Parath, Authorized Person

Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P., By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P., By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24407 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
 Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

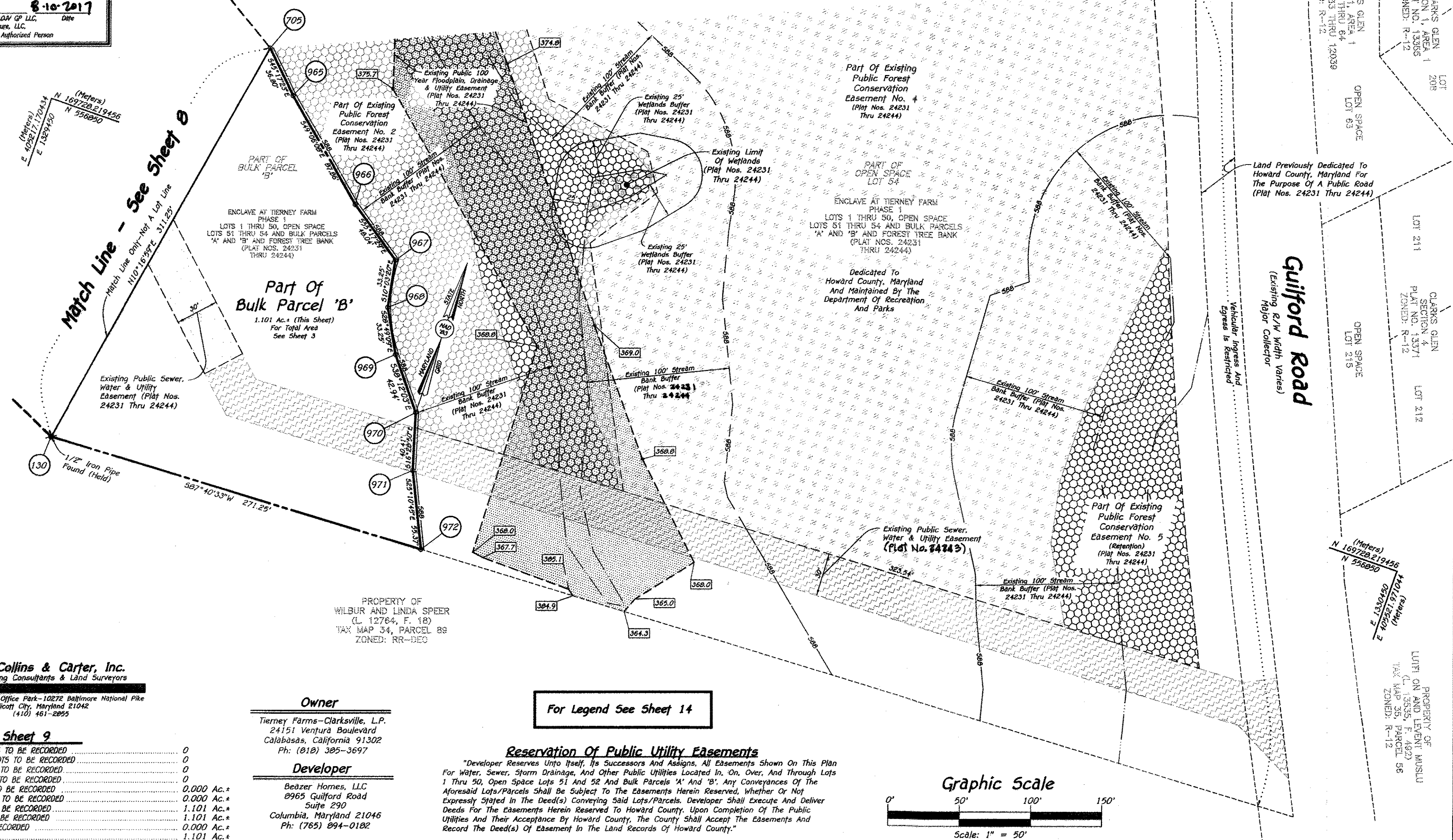
Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 8 Of 14

The Requirements 3-108, The Real Property Article, Annotated Code Of Maryland, 1989 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. 339
 (Property Line Surveyor)

SEPM 8-10-2017
 Terney Farms-Clarksville, L.P., By HLOJV GP LLC, Date
 By Hearststone Lot Option Joint Venture, LLC.
 Managing Member By Steven Porath, Authorized Person

This Subdivision Is Subject To Section 18.122B Of The Howard County Code. Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Developer Agreement 34-4888-D Was Filed And Accepted.



(Meters)
 N 169728.219456
 N 756890
 E 402621.170434
 E 1329420

CLARKS GLEN SECTION 4, AREA 1
 LOT 207
 ZONED: R-12
 PLAT NO. 12033 THRU 12038
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 208
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 211
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 212
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 213
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 214
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 215
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 216
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 217
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 218
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 219
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

CLARKS GLEN SECTION 4, AREA 1
 LOT 220
 ZONED: R-12
 PLAT NO. 13371
 ZONED: R-12

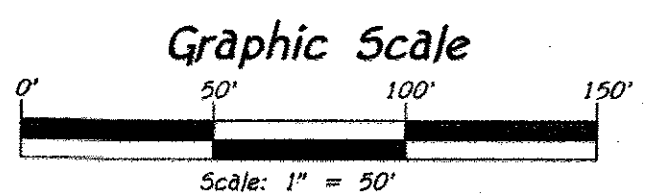
Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

Owner
 Terney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer
 Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

For Legend See Sheet 14

Reservation Of Public Utility Easements
 "Developer Reserves Unto Itself, Its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County. Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."



Area Tabulation Sheet 9

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	0
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	0
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	1.101 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	1.101 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	1.101 Ac.±

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

William for Maria Roman 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Chief, Development Engineering Division 9-26-17
 Chief, Development Engineering Division Date

Director 10-27-17
 Director Date

Owner's Certificate
 Terney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearststone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopts This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns: (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August 2017.

SEPM
 Terney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearststone Lot Option Joint Venture, LLC, Managing Member By Steven Porath, Authorized Person

Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Surveyor's Certificate
 I Hereby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Terney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Terney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 368; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Terney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24408 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
 Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Terney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 9 Of 14

The Requirements 3-106, The Real Property Article, Annotated Code Of Maryland, 1999 Replacement Volume, (As Supplemented) As Far As They Relate To The Filing Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)
 Date

SLP 8-10-2017
 Tierney Farms-Clarksville, L.P., By HLOJ GP LLC
 By Hearststone Lot Option Joint Venture, LLC.
 Managing Member By Steven Porath, Authorized Person

Owner

Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer

Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

(Meters)
 N 170292.100584
 N 558700
 E 404836.189672
 E 1328200

PROPERTY OF SRIDHAR CHAITRAIHI
 (L. 8082, F. 627)
 TAX MAP 34, PARCEL 199
 ZONED: RR-DEO

PROPERTY OF KIRTSINI AND RASHMI PARMAR
 (L. 5574, F. 287)
 TAX MAP 34, PARCEL 418
 ZONED: RR-DEO

PROPERTY OF CHARLES HIGGS
 (L. 1162, F. 644)
 TAX MAP 34, PARCEL 162
 ZONED: R-ED

Existing 30' Private Easement For Ingress And Egress For The Use And Benefit Of Tax Parcel 162, Tax Map 34 (Plat Nos. 24231 Thru 24244)

Existing Public Drainage, Stormwater Management, Stormwater Management Access & Utility Easement (Plat Nos. 24231 Thru 24244)

Existing 14' Reversible Easement For Temporary Tee-Turnaround (Plat Nos. 24231 Thru 24244)

Land Dedicated To Howard County, Maryland For The Purpose Of A Public Road (0.167 Ac.±)

Existing 14' Reversible Easement For Temporary Tee-Turnaround (Plat Nos. 24231 Thru 24244)

Existing Public Drainage, Stormwater Management, Stormwater Management Access & Utility Easement (Plat Nos. 24231 Thru 24244)

Curve Data Tabulation

PIV-PIV	Radius	Arc Length	Delta	Tangent	Bearing & Distance
622-649	223.00'	31.19'	09°39'11"	25.61'	S 53°55'36" W 51.17'
648-647	175.00'	123.60'	14°24'32"	82.15'	N 28°39'16" E 123.25'
636-635	29400.00'	151.05'	00°20'24"	78.32'	N 09°01'45" E 151.05'

Reservation Of Public Utility Easements

"Developer Reserves Unto Itself, Its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County. The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

(Meters)
 N 170292.100584
 N 558700
 E 1328200
 E 404836.189672

(Meters)
 N 520350
 N 170185.420371
 (Meters)
 E 1328200
 E 404836.189672

Clarksville Pike
 (Maryland Route 108)
 Major Collector (Ultimate 60' R/W)
 Vehicular, Ingress, And Egress Is Restricted

Part Of Bulk Parcel 'A'
 3.541 Ac.± (This Sheet)
 Total Area = 13.339 Ac.±

ENCLAVE AT TIERNEY FARM PHASE 1
 LOTS 1 THRU 50, OPEN SPACE LOTS 51 THRU 54 AND BULK PARCELS 'A' AND 'B' AND FOREST TREE BANK (PLAT NOS. 24231 THRU 24244)

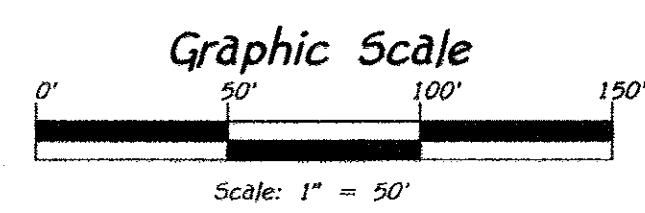
For Continuation See Sheet 5

For Legend See Sheet 14

This Subdivision Is Subject To Section 18.122B Of The Howard County Code. Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Developer Agreement 34-4888-D Was Filed And Accepted.

Area Tabulation Sheet 10

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	2
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	1
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	3
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.412 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	3.541 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	3.953 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	3.953 Ac.±



APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

William for Maria Roszman 9/13/2017
 Howard County Health Officer

APPROVED: Howard County Department Of Planning And Zoning.

Ch/Edmund 9-26-17
 Chief, Development Engineering Division

Kot Shadlow 10-27-17
 Director

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJ GP LLC, By Hearststone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns: (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August 2017.

Tierney Farms-Clarksville, L.P.
 By: HLOJ GP LLC, By Hearststone Lot Option Joint Venture, LLC, Managing Member By Steven Porath, Authorized Person

Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hodinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hodinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 306; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 9/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018



RECORDED AS PLAT No. 24409 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1

Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 10 Of 14

The Requirements 3-100, The Real Property Article, Annotated Code Of Maryland, 1988 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Consulted With
Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)
8-10-2017
 Tierney Farms-Clarksville, L.P., By HLOJY GP LLC, Date
 By Hearststone Lot Option Joint Venture, LLC,
 Managing Member By Steven Porath, Authorized Person

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

Owner
 Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer
 Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

PROPERTY OF
 KIRITSINI AND
 RASHMI PARMAR
 (L. 2627, F. 507)
 TAX MAP 34
 PARCEL 418
 ZONED: RR-DEC

PROPERTY OF
 KIRITSINI AND
 RASHMI PARMAR
 (L. 2627, F. 507)
 TAX MAP 34
 PARCEL 417
 ZONED: RR-DEC

PROPERTY OF
 DENNIS AND SUSAN KELLHOLTZ
 TAX MAP 34, PARCEL 87
 ZONED: RR-DEC

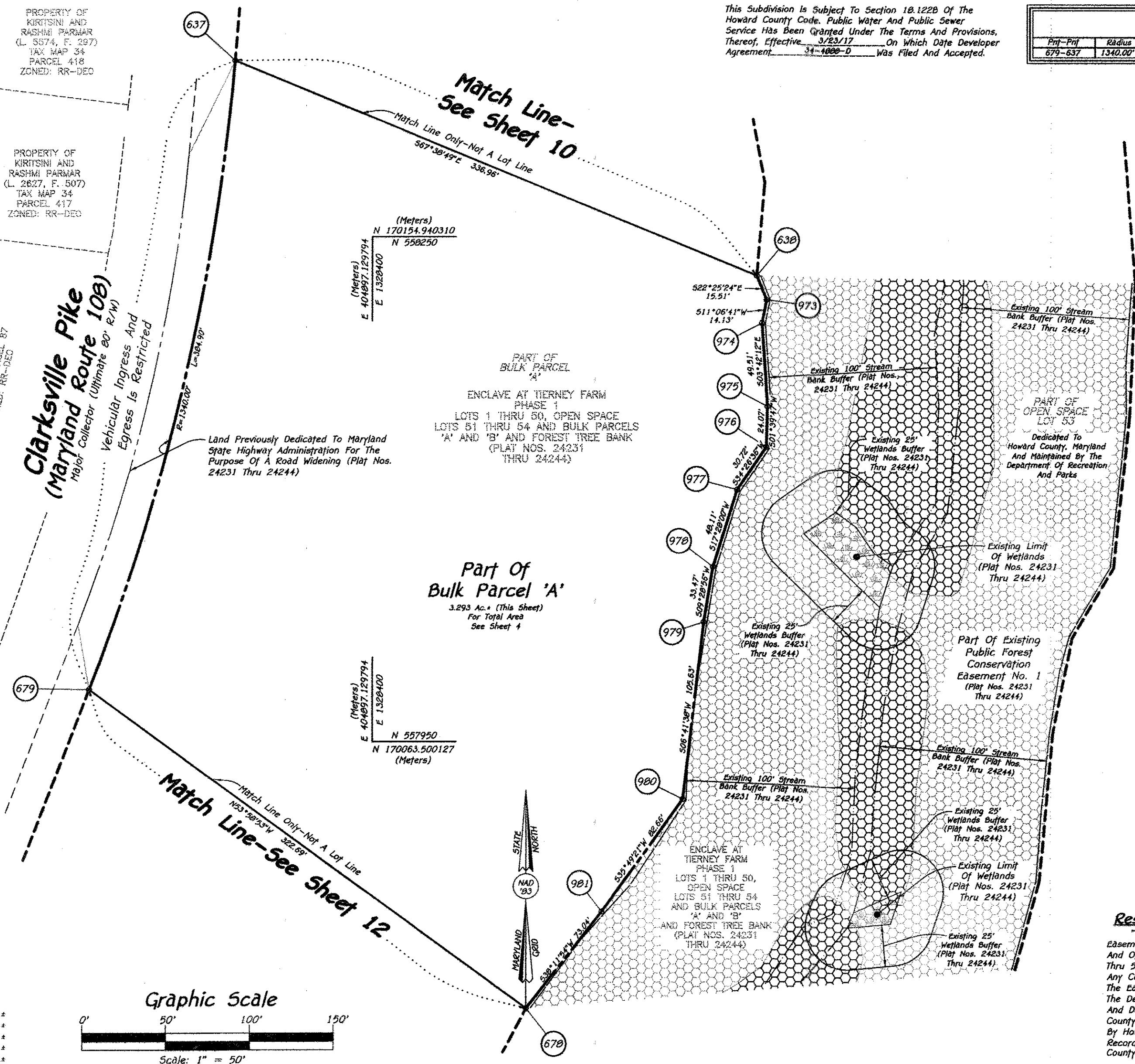
**Clarksville Pike
 (Maryland Route 100)**
 Major Collector (Ultimate 80' R/W)
 Vehicular Ingress And
 Egress Is Restricted

Land Previously Dedicated To Maryland
 State Highway Administration For The
 Purpose Of A Road Widening (Plat Nos.
 24231 Thru 24244)

**Part Of
 Bulk Parcel 'A'**
 3.293 Ac. (This Sheet)
 For Total Area
 See Sheet 4

This Subdivision Is Subject To Section 18.122B Of The
 Howard County Code, Public Water And Public Sewer
 Service Has Been Granted Under The Terms And Provisions,
 Thereof, Effective 3/23/17, On Which Date Developer
 Agreement SA-1888-D Was Filed And Accepted.

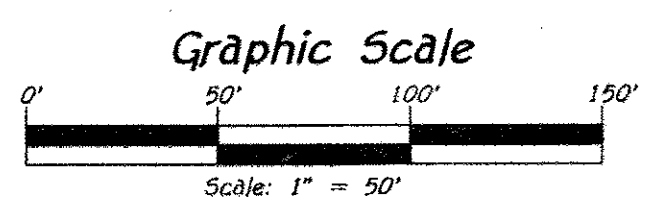
Point-Point	Radius	Arc Length	Delta	Tangent	Bearing & Distance
679-637	1340.00'	384.90'	16°27'28"	193.79'	N 13°05'15" E 383.59'



For Legend See Sheet 14

Area Tabulation Sheet 11

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	0
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	0
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	3.293 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	3.293 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	3.293 Ac.±



Reservation Of Public Utility Easements
 "Developer Reserves Into Itself, Its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

William for Maureen Roseman 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Chad Edmister 9-26-17
 Chief, Development Engineering Division Date

Kevin S. ... 10-27-17
 Director Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJY GP LLC, By Hearststone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns: (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August 2017.

Cheryl A. Studley
 Witness
 Tierney Farms-Clarksville, L.P.
 By: HLOJY GP LLC, By Hearststone Lot Option
 Joint Venture, LLC, Managing Member By
 Steven Porath, Authorized Person

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24410 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

**Revision Plat
 Enclave At River Hill
 Phase 1**

**Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'**

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 11 Of 14



The Requirements 3-100, The Real Property Article, Annotated Code Of Maryland, 1980 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)
 Date

Stacy 8-10-2017
 Tierney Farms-Clarksville, L.P., By HLOJV GP LLC,
 By Hearthstone Lot Option Joint Venture, LLC,
 Managing Member By Steven Porath, Authorized Person
 Date

**Clarksville Pike
 (Maryland Route 100)**
 Major Collector (Ultimate 80' R/W)

Reservation Of Public Utility Easements
 "Developer Reserves unto itself, its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

This Subdivision Is Subject To Section 18.122B Of The Howard County Code, Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17 On Which Date Developer Agreement 34-688-D Was Filed And Accepted.

PROPERTY OF
 ARTHUR AND JUNE PICKETT
 (L. 286, F. 418)
 TAX MAP 34 PARCEL 102
 ZONED: RR-DEO

Owner
 Tierney Farms-Clarksville, L.P.
 24151 Ventura Boulevard
 Calabasas, California 91302
 Ph: (818) 385-3697

Developer
 Beazer Homes, LLC
 8965 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Ph: (765) 894-0182

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

Area Tabulation Sheet 12

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	0
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	0
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.±
TOTAL AREA OF BULK PARCELS TO BE RECORDED	6.505 Ac.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	6.505 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.±
TOTAL AREA TO BE RECORDED	6.505 Ac.±

NON-BUILDABLE ENVIRONMENTAL PRESERVATION PARCEL 'E' MACBETH FARM (PLAT NOS. 18790 THRU 18783 ZONED: RR-DEO)

Existing Public Sewer, Water & Utility Easement (Plat No. 24234)

Part Of Existing Public Forest Conservation Easement No. 1 (Plat Nos. 24231 Thru 24244)

Part Of Bulk Parcel 'A'
 6.505 Ac.± (This Sheet)
 For Total Area See Sheet 4

PART OF BULK PARCEL 'A'
 ENCLAVE AT TIERNEY FARM PHASE 1
 LOTS 1 THRU 50, OPEN SPACE LOTS 51 THRU 54 AND BULK PARCELS 'A' AND 'B' AND FOREST TREE BANK (PLAT NOS. 24231 THRU 24244)

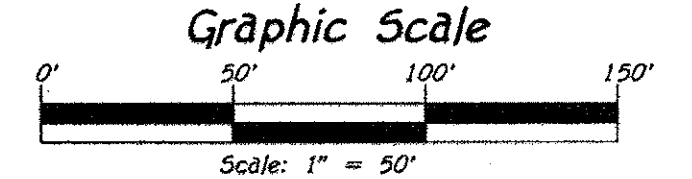
(Meters)
 E 404836.169672
 E 1328200
 N 10002.40005
 N 551710

Match Line Only-Not A Lot Line
 593°28'53"E 322.69'
 Match Line-See Sheet 11

STATE NORTH
 MARYLAND GRID

(Meters)
 N 10002.40005
 N 551710
 E 1328600
 E 404958.089916 (Meters)

For Legend See Sheet 14



Curve Data Tabulation

Proj-Point	Radius	Arc Length	Delta	Tangent	Bearing & Distance
681-680	5062.00'	90.76'	01°01'40"	45.38'	N 80°48'09" E 90.76'

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

Brandon for Maria Roseman 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Cheryl A. Studley 9-26-17
 Chief, Development Engineering Division Date

Mark L. Robel 10-27-17
 Director Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearthstone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August 2017.

Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearthstone Lot Option Joint Venture, LLC, Managing Member By Steven Porath, Authorized Person

Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17395 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17395 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24411 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

**Revision Plat
 Enclave At River Hill
 Phase 1
 Lots 1 Thru 50, Open Space Lots 51
 And 52 And Bulk Parcels 'A' And 'B'**

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: 1"=50' Sheet 12 Of 14



The Requirements 3-106, The Real Property Article, Annotated Code of Maryland, 1988 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

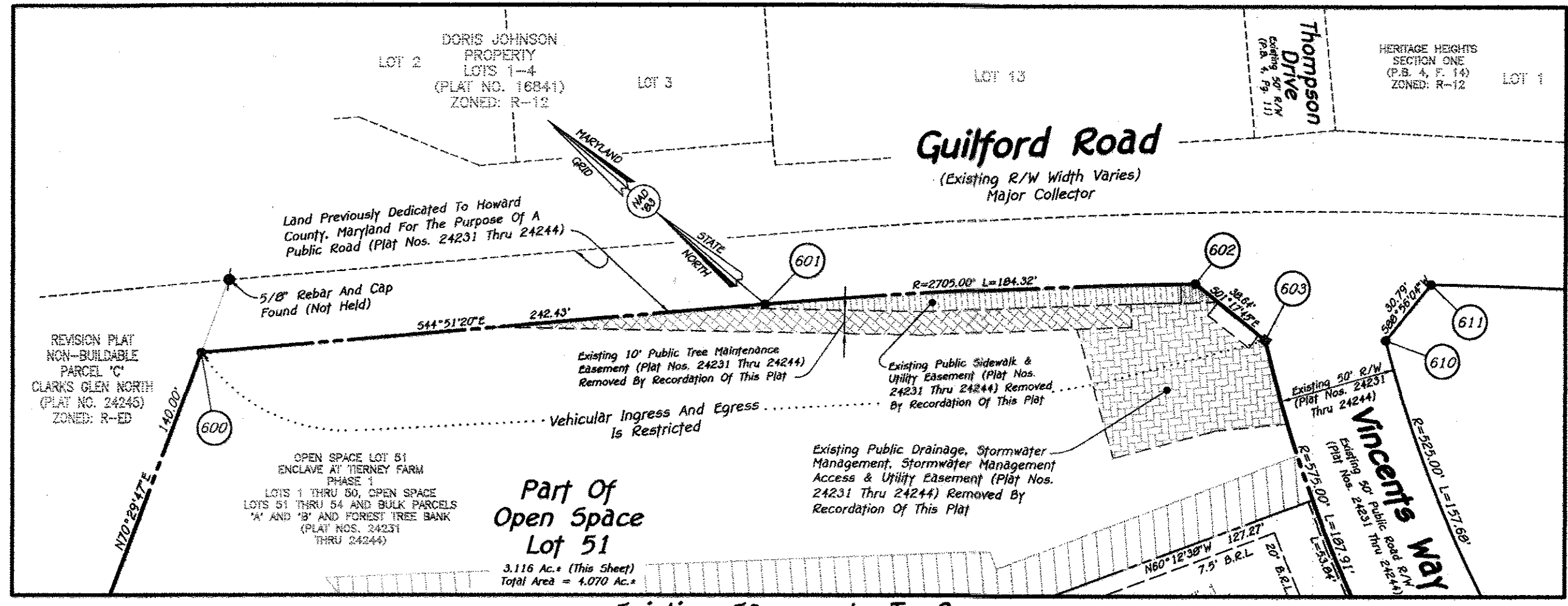
Mark L. Robel 8/10/17
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)

ES 8.10.2017
 Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, Date
 By Heartstone Lot Option Joint Venture, LLC,
 Managing Member By Steven Porath, Authorized Person

Reservation Of Public Utility Easements

"Developer Reserves Unto Itself, Its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'. Any Conveyances Of The Aforesaid Lots/Parcels Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots/Parcels. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, Upon Completion Of The Public Utilities And Their Acceptance By Howard County, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County."

This Subdivision Is Subject To Section 10.122B Of The Howard County Code, Public Water And Public Sewer Service Has Been Granted Under The Terms And Provisions, Thereof, Effective 3/23/17, On Which Date Developer Agreement 34-1008-D Was Filed And Accepted.



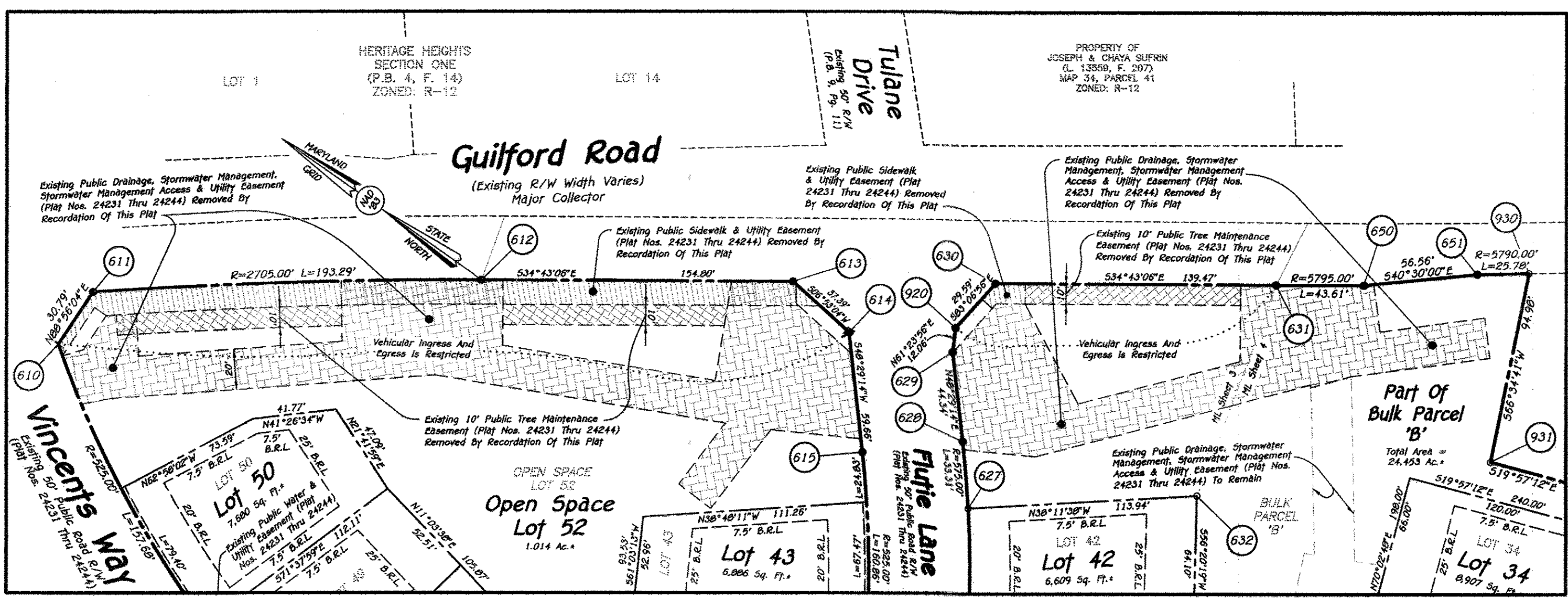
Existing Easements To Be Removed Detail (Sheet 2 Of 14)
 Scale: 1" = 50'

Legend-This Sheet Only

- Existing 10' Public Tree Maintenance Easement (Plat Nos. 24231 Thru 24244) Removed By Recordation Of This Plat
- Existing Public Sidewalk & Utility Easement Plat Nos. 24231 Thru 24244) Removed By Recordation Of This Plat
- Existing Public Drainage, Stormwater Management, Stormwater Management Access & Utility Easement (Plat Nos. 24231 Thru 24244) Removed By Recordation Of This Plat

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 Centennial Square Office Park-10272 Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

Owner	Developer
Tierney Farms-Clarksville, L.P. 24151 Ventura Boulevard Calabasas, California 91302 Ph: (818) 385-3697	Beazer Homes, LLC 8965 Guilford Road Suite 290 Columbia, Maryland 21046 Ph: (765) 894-0182



Existing Easements To Be Removed Detail (Sheets 3 And 4 Of 14)
 Scale: 1" = 50'

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

Mauro Rossman 9/13/2017
 Howard County Health Officer Date

APPROVED: Howard County Department Of Planning And Zoning.

Cheryl A. Studley 9-26-17
 Chief, Development Engineering Division Date

Kent S. Leach 10-27-17
 Director Date

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Heartstone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10th Day Of August 2017.

ES
 Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Heartstone Lot Option
 Joint Venture, LLC, Managing Member By
 Steven Porath, Authorized Person

Cheryl A. Studley
 Witness
 CHERYL A. STUDLEY

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinoff, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinoff To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 308; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

Mark L. Robel 8/10/17
 Mark L. Robel, Property Line Surveyor No. 339 Date
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24412 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat Enclave At River Hill Phase 1

Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 88
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: As Shown Sheet 13 Of 14

The Requirements 3-10B, The Real Property Article, Annotated Code of Maryland, 1988 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With.

Mark L. Robel 8/10/17
 Date
 Mark L. Robel, P.L.S. #339
 (Property Line Surveyor)
[Signature]
 Date
 Tierney Farms-Clarksville, L.P., By HLOJV GP LLC,
 By Hearthstone Lot Option Joint Venture, LLC,
 Managing Member By Steven Porath, Authorized Person

Phase	No. Of Lots	APFO Year	Remarks	Final Plan Submission
1	50*	2018	*Includes 2 Allocations For Existing Parcels	By November 6, 2015
2	70	2019	-----	Between July 1, 2016 - December 31, 2016
3	30	2020	-----	Between July 1, 2017 - October 31, 2017

- Legend**
- Existing BQE Easement (L. 13087, F. 447)
 - Existing 40' Public Drainage & Utility Easement (L. 3658, F. 497)
 - Existing 30' Public Sewer, Water & Utility Easement (PLAT NOS. 24231 & 24244)
 - Existing Public Sewer, Water & Utility Easement (Plat Nos. 24231 Thru 24244)
 - Existing 10' Public Tree Maintenance Easement (Plat Nos. 24231 Thru 24244)
 - Existing Public Forest Conservation Easement (Reforestation) (Plat Nos. 24231 Thru 24244)
 - Existing Public Forest Conservation Easement (Retention) (Plat Nos. 24231 Thru 24244)
 - Existing Public Forest Conservation Easement (Forest Tree Bank) (Plat Nos. 24231 Thru 24244)
 - Existing Public 100 Year Floodplain, Drainage & Utility Easement (Plat Nos. 24231 Thru 24244)
 - Existing Private Use-In-Common Driveway Access Easement For The Use And Benefit Of Lots 4 Thru 9 And Lots 31 Thru 36 (Plat Nos. 24231 Thru 24244)
 - Existing Public Sidewalk & Utility Easement (Plat Nos. 24231 Thru 24244)
 - 588- Denotes Existing Top Of Stream Bank Buffer (Plat Nos. 24231 Thru 24244)
 - Denotes Existing Wetland Area (Plat Nos. 24231 Thru 24244)
 - 403.4 Denotes Existing 100 Year Floodplain Elevation (Plat Nos. 24231 Thru 24244)
 - Existing Public Drainage, Stormwater Management, Stormwater Management Access & Utility Easement (Plat Nos. 24231 Thru 24244)
 - Existing 14' Reversible Easement For Temporary Tee-Turnaround (Plat Nos. 24231 Thru 24244)
 - Existing 30' Private Easement For Ingress And Egress For The Use And Benefit Of Tax Parcel 162, Tax Map 34 (Plat Nos. 24231 Thru 24244)
 - 10' Private Landscape Easement
 - Public Drainage, Stormwater Management, Stormwater Management Access & Utility Easement
 - 15' Private Entrance Feature Easement
 - Public Sidewalk & Utility Easement
 - 10' Public Tree Maintenance Easement

Open Space Lot No.	Credited Area	Non-Credited Area	Total Open Space Area
51	4.063 Ac.*	0.007 Ac.*	4.070 Ac.*
52	1.014 Ac.*	0.000 Ac.*	1.014 Ac.*
Totals	5.077 Ac.*	0.007 Ac.*	5.084 Ac.*

NOTE: SEE F-15-110 FOR LOTS 53 AND 54 OPEN SPACE DATA.

General Notes Continued This Sheet:

43. Density Tabulation:
 a. Gross Area Of Site = 88.90 Acres
 b. Net Area Of Site = 85.45 Acres
 1). Floodplain Area = 3.05 Acres
 2). Steep Slopes Greater Than 25% = 0.00 Acres
 c. Maximum Units Allowed = 171 Units
 (85.25 Acres x 2 Units/Net Acre) = 171.50 Units/Net Acre
 d. Total Density Units Proposed = 150 Units
 1). APFO Phase 1 = 80 Lots
 2). APFO Phase 2 = 70 Lots
 3). APFO Phase 3 = 30 Lots
44. Open Space Tabulation:
 a. Open Space Required:
 1). Total Project Open Space Required = 44.45 Acres
 (88.90 Acres x 50%)
 2). Total Open Space Required For Phase 1 = 14.82 Acres
 (44.45 Acres x 30 Lots/150 Lots)
 3). Percentage Of Open Space Required (Phase 1) = 33%
 (50 Lots (Phase 1)/150 Lots (Phases 1, 2, 3))
 b. Open Space Provided (Phase 1) = 36.776 Acres
 (Lot 51 + Lot 52 + Lot 53 + Lot 54)
 (4.070 Ac. + 1.014 Ac. + 7.499 Ac. + 24.223 Ac.)
 1). Percentage Of Open Space Provided (Phase 1) = 82%
 (36.776 Ac./44.45 Ac.)
45. Recreational Open Space Tabulation:
 a. Total Project Recreational Open Space Required (Phase 1, 2, 3) = 45,000 Sq. Ft.
 1). Single Family Detached (150 Units x 300 Sq. Ft./Unit)
 b. Recreational Open Space Provided (Open Space Lot 51) = 48,748 Sq. Ft.
 This Plan Is Subject To A Request For Alternative Compliance Petition WP-16-152 To Section 16.116(a) Of The Subdivision And Land Development Which Prohibits Grading, Removal Of Vegetative Cover And Trees, Paving And New Structures Within Streams, Wetlands, And Their Buffers. The Planning Director Approved The Request For Alternative Compliance Petition To Section 16.116(a) On September 15, 2016.
46. Approval Is Subject To The Following Conditions:
 1. In Compliance With The Development Engineering Division Comments Dated August 26, 2016:
 a. Applicant Shall Convey The Runoff In A Non-Erosive Manner.
 b. Applicant Shall Provide Benches Where The Slope Height Exceeds 20'. Check With Soil Conservation District For Further Guidance.
 c. Grading Shall Not Impact The Floodplain And Environmental Features.
 2. In Compliance With The Howard Soil Conservation District Comments Dated June 28, 2016:
 a. The Use Of The Access Bridges Should Be The Longest Possible To Support The Needed Construction Vehicles To Minimize Disturbance To The Environmental Features.
 b. The Final Road Construction Drawings For F-15-110 Must Be Redlined To Mimic The Alternative Compliance Petition Exhibit. The Redline Must Be Approved, And Changes Made To The Originals, Prior To Applying For A Grading Permit.
 c. All Revisions To F-15-110 Must Be In Compliance With The Approved Maryland Department Of Environment Permit (Tracking No. 15-NT-3284/201561575).
 3. Disturbance To The Environmental Features Is Only For The Use Of The Temporary Access Bridges. No Permanent Disturbance Or Grading Shall Occur Within The Environmental Features. Once The Temporary Access Bridges Are Abandoned The Area Must Be Stabilized And Replanted As Forest Conservation Easement In Accordance With The Forest Conservation Plan.
 4. The Alternative Compliance File Number, Requested Sections, Decision Date And Conditions Of Approval Shall Be Indicated On The Final Road Construction Plans And Subdivision Plat As A General Note.
 This Plan Is Also Subject To A Request For Alternative Compliance Petition To Section 16.123(a)(2) Of The Subdivision And Land Development Which Requires Grading To Be Performed Under A Valid Permit In Accordance With The Approved Final Subdivision Plan. The Planning Director Denied The Request For Alternative Compliance Of Section 16.123(a)(2) Of The Subdivision And Land Development On September 15, 2016.
- Denial Was Based On The Following Reasons:
 1. The Final Road Construction Plans, F-15-110, Have Been Signed By The Department Of Planning And Zoning, Therefore, A Mass Grading Plan Will Not Be Accepted. A Grading Permit Must Be Issued For All Grading In Accordance With The Final Road Construction Drawings. A Redline To The Final Road Construction Plans Will Be Required.
 2. A Small Portion Of The Approved Forest Conservation Retention Easement Will Be Impacted By The Installation Of The Temporary Access Bridge. The Applicant Must Redline The Final Forest Conservation Plans To Revise The Retention Easement To A Reforestation Easement.

General Notes Continued From Sheet 1:

24. The Private Use-In-Common Driveway Access Easements And Maintenance Agreements For Shared Driveways 4 Thru 9 And 31 Thru 36 Have Been Recorded Among The Land Records Of Howard County, Maryland In Liber 17644 At Folio 432 And Liber 17644 At Folio 441.
25. Declaration Of Covenants And Restrictions For The Enclave At Tierney Farm Homeowners Association, Inc. Have Been Recorded Among The Land Records Of Howard County, Maryland In Liber 17644 At Folio 379.
26. The Forest Conservation Easement Areas Within This Subdivision Have Been Established To Fulfill The Requirements Of Section 16.1200 Of The Howard County Code And The Forest Conservation Act. No Clearing, Grading Or Construction Is Permitted Within The Forest Conservation Easement Areas. However, Forest Management Practices As Defined In The Deed Of Forest Conservation Are Allowed. The Forest Conservation Act Requirements For The Enclave At Tierney Farm Subdivision Have Met Through The On-Site Retention Of 6.73 (4.58 Credited) Acres Of Forest, And On-Site Planting Of 10.48 Acres In Combined FCE No. 1 And FCE No. 2. The Additional 11.70 Acres Of On-Site Planting (FCE #3 & FCE #4) Will Be A Forest Bank. No Surety Is Required For On-Site Retention - A Separate Developers Agreement For The Enclave At Tierney Farm (F-15-110) Is Provided For The Total Area Of FCE #1 And FCE #2 Requiring A Surety In The Amount Of \$228,255.00 (Based On 10.48 Acres x 43,560 Sq. Ft./Acre x \$40.50/Sq. Ft.). A Separate Developers Agreement For The Tree Bank Has Been Provided For The Total Area Of FCE #3 And FCE #4 Requiring A Surety In The Amount Of \$254,825.00 (Based On 11.70 Acres x 43,560 Sq. Ft./Acre x \$40.50/Sq. Ft.). This Plat Is Exempt From Perimeter Landscaping In Accordance With Section 16.124 Of The Howard County Code And Landscape Manual Since It Is A Plat Of Revision That Does Not Create Any New Lots Or Parcels.
27. An Executed M.I.H.U. Agreement With The Howard County Housing Department Has Been Recorded Among The Land Records Of Howard County, Maryland In Liber 17644 At Folio 456.
28. The Stormwater Management Facilities Located On H.O.A. Open Space Lots 51 And 52 Is Owned And Maintained By The Enclave At Tierney Farm Homeowners Association, Inc. As Recorded On Plat Nos. 24231 Thru 24244.
29. The Existing 100 Year Floodplain Study And Computations Report, Dated November 20, 2014, And As Recorded On Plat Nos. 24231 Thru 24244.
30. In Accordance With Section 128.04.11(3) Of The Zoning Regulations, Room Extensions And Building Additions Being Developed Under The E-60 Regulations May Project 10 Feet Into A Rear Setback, Along Not More Than 60% Of The Rear Face Of A Dwelling, On A Lot Which Adjoins Open Space Along The Majority Of The Rear Lot Line.
31. Open Space Lots 51 And 52 Is Owned And Maintained By The Enclave At Tierney Farm Homeowners Association, Inc. Recorded On Plat Nos. 24231 Thru 24244.
32. Existing Utilities Are Based On Contr. #44-3483-D And 34-4888-D And Plats Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244.
33. This Plat Is Subject To WP-15-069 Which On December 8, 2014 The Planning Director Approved A Request To Waive Section 16.1205(a)(7) & (10) Of The Subdivision And Land Development Regulations, Which Requires The Retention Of State Champion Trees, 75% Of The Diameter Of State Champion Trees, And Trees 30" In Diameter Or Larger. Approval Is Subject To The Following Conditions:
 1). Approval Of Section 16.1205(a)(7)&(10) Is For The Removal Of Fourteen (14) Specimen Trees Identified As Specimen Trees 2355, 2356, 2357, 2358, 2362, 2363, 2364, 2366, 2367, 2368, 2390, 2391, 2392 And 2398 On The Waiver Petition Exhibit And Preliminary Equivalent Sketch Plan. No Other Specimen Trees May Be Removed. Removal Of The Fourteen Specimen Trees Will Require Mitigation Of 3"-4" Caliper Trees. The Mitigated Trees Shall Be Native Species And Be Shown As Part Of The Landscape Plan With The Final Plan, And Shall Be Bonded With The Landscape Plan.
34. Public Water And Sewer Shall Be Used Within This Development.
 35. All Wells And Septic System Components Must Be Properly Abandoned And Notification Of Such Submitted To The Health Department Prior To Health Signature Of The Record Plat.
 36. Approval Of A Site Development Plan Is Required For The Development Of All Residential Lots Within This Subdivision Prior To Issuance Of Any Grading Or Building Permits For New House Construction In Accordance With Section 16.155 Of The Subdivision And Land Development Regulations.
 37. The Natural Resource Inventory/Forest Stand Delineation Plan For Enclave At River Hill (Formerly Enclave At Tierney Farm) Was Prepared By Ecotone, Inc. On June 3, 2014 And Revised On November 24, 2014.
 38. The Wetland Delineation Report For Enclave At River Hill (Formerly Enclave At Tierney Farm) Was Prepared By Ecotone, Inc. On June 11, 2014.
 39. Plan Subject To Planning Board Case No. 409 Approved By The Howard County Planning Board On January 28, 2015.
 40. No Grading, Removal Of Vegetative Cover Or Trees, Paving And New Structures Shall Be Permitted Within The Limits Of Wetlands, Streams, Or Their Required Buffers, Floodplain And Forest Conservation Easement Areas.
 41. No Grading, Removal Of Vegetative Cover Or Trees, Paving And New Structures Shall Be Permitted Within The Limits Of The Wetlands, Streams, Their Buffers, Floodplain And Forest Conservation Easements. Disturbance To The Environmental Features For The Water And Sewer Connection Are Deemed Essential By The Department Of Planning And Zoning Per Section 16.116(c) Of The Subdivision And Land Development Regulations.

	Sheet 2	Sheet 3	Sheet 4	Sheet 5	Sheet 6	Sheet 7	Sheet 8	Sheet 9	Sheet 10	Sheet 11	Sheet 12	Total
TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	8	15	18	8	3	0	0	0	2	0	0	36
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	1	1	0	0	0	0	0	0	0	0	0	2
TOTAL NUMBER OF BULK PARCELS TO BE RECORDED	0	1	0	0	0	0	0	0	1	0	0	2
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	7	17	18	8	3	0	0	0	3	0	0	54
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	1,168 Ac.*	2,610 Ac.*	2,895 Ac.*	1,256 Ac.*	0,540 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,412 Ac.*	0,000 Ac.*	0,000 Ac.*	8,881 Ac.*
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	3,116 Ac.*	1,968 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	5,084 Ac.*
TOTAL AREA OF BULK PARCELS TO BE RECORDED	0,000 Ac.*	0,335 Ac.*	2,418 Ac.*	0,851 Ac.*	6,655 Ac.*	6,373 Ac.*	6,720 Ac.*	1,101 Ac.*	3,341 Ac.*	3,293 Ac.*	6,505 Ac.*	37,792 Ac.*
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	4,284 Ac.*	4,913 Ac.*	5,313 Ac.*	2,107 Ac.*	7,195 Ac.*	6,373 Ac.*	6,720 Ac.*	1,101 Ac.*	3,953 Ac.*	3,293 Ac.*	6,505 Ac.*	51,757 Ac.*
TOTAL AREA OF ROADWAY TO BE RECORDED	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*	0,000 Ac.*
TOTAL AREA TO BE RECORDED	4,284 Ac.*	4,913 Ac.*	5,313 Ac.*	2,107 Ac.*	7,195 Ac.*	6,373 Ac.*	6,720 Ac.*	1,101 Ac.*	3,953 Ac.*	3,293 Ac.*	6,505 Ac.*	51,757 Ac.*

APPROVED: For Public Water And Public Sewerage Systems
 Howard County Health Department.

[Signature] 9/13/2017
 Date
 Howard County Health Officer

APPROVED: Howard County Department Of Planning And Zoning.

[Signature] 9.26.17
 Date
 Chief, Development Engineering Division

[Signature] 10.27.17
 Date
 Director

Owner's Certificate

Tierney Farms-Clarksville, L.P., By HLOJV GP LLC, By Hearthstone Lot Option Joint Venture LLC, Managing Member By Steven Porath, Authorized Person, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns; (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 10 Day Of August 2017.

[Signature]
 Tierney Farms-Clarksville, L.P.
 By: HLOJV GP LLC, By Hearthstone Lot Option
 Joint Venture, LLC, Managing Member By
 Steven Porath, Authorized Person

[Signature]
 Witness
 CHERYL A. STUDLEY

Surveyor's Certificate

I Herby Certify That To The Best Of My Knowledge That The Final Plat Shown Hereon Is Correct; That It Was Prepared By Me Or Under My Responsible Charge And That I Am A Duly Licensed Property Line Surveyor Under The Laws Of The State Of Maryland; That It Is A Subdivision Of (1) Part Of The Lands Conveyed By Hoddinott, LLC To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Land Records Of Howard County, Maryland In Liber 17385 At Folio 354; And (2) Part Of The Lands Conveyed By Jeanne C. Hoddinott To Tierney Farms-Clarksville, L.P. By Deed Dated January 12, 2017 And Recorded Among The Aforesaid Land Records In Liber 17385 At Folio 388; And Being Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Aforesaid Land Records As Plat Nos. 24231 Thru 24244; And That All Monuments Are In Place Or Will Be In Place Prior To The Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended.

[Signature] 8/10/17
 Date
 Mark L. Robel, Property Line Surveyor No. 339
 Expiration Date: October 4, 2018

RECORDED AS PLAT No. 24913 ON 11/3/17
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

Revision Plat
Enclave At River Hill
Phase 1
Lots 1 Thru 50, Open Space Lots 51
And 52 And Bulk Parcels 'A' And 'B'

(Being A Revision To Lots 1 Thru 50, Open Space Lots 51 And 52 And Bulk Parcels 'A' And 'B', As Shown On Plats Entitled "Enclave At Tierney Farm, Phase 1, Lots 1 Thru 50, Open Space Lots 51 Thru 54 And Bulk Parcels 'A' And 'B' And Forest Tree Bank" Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 24231 Thru 24244)

Zoned: R-ED
 Tax Map No. 34 Grid No. 18 Parcel 08
 Fifth Election District - Howard County, Maryland
 Date: July 28, 2017 Scale: No Scale Sheet 14 Of 14