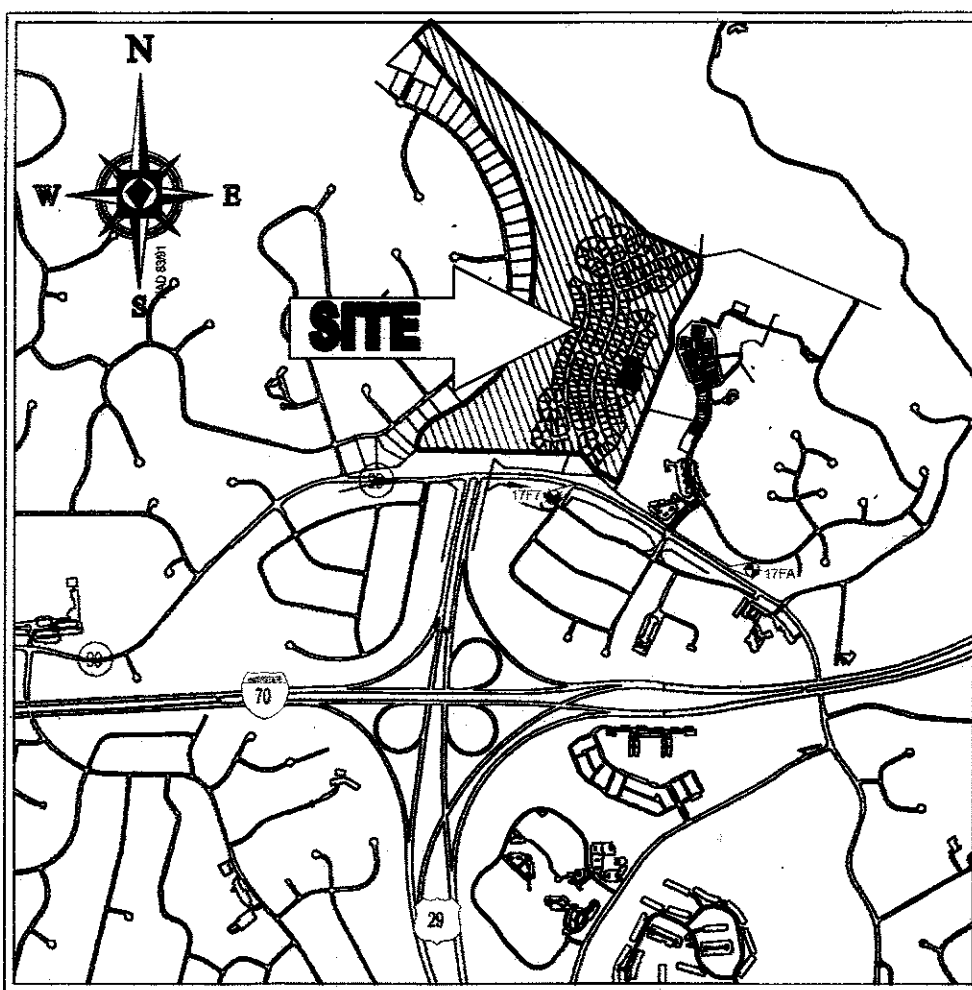


**EASEMENT LEGEND :**

- PUBLIC FOREST CONSERVATION EASEMENT LIBER 15149 FOLIO 497
- PUBLIC FOREST CONSERVATION EASEMENT LIBER 16355 FOLIO 273
- SHA FOREST CONSERVATION EASEMENT LIBER 15149 FOLIO 497
- PUBLIC WATER, SEWER & UTILITY EASEMENT LIBER 16355 FOLIO 268
- PUBLIC DRAINAGE & UTILITY EASEMENT LIBER 16355 FOLIO 268
- PRIVATE DRAINAGE & UTILITY EASEMENT LIBER 16354 FOLIO 001
- PRIVATE STORMWATER, DRAINAGE & UTILITY EASEMENT LIBER 16354 FOLIO 262
- PUBLIC STORMWATER, DRAINAGE & UTILITY EASEMENT LIBER 16354 FOLIO 254 LIBER 16355 FOLIO 268
- PUBLIC TREE MAINTENANCE EASEMENT LIBER 16355 FOLIO 268



**VICINITY MAP**

SCALE: 1" = 2,000'

**GENERAL NOTES (cont.):**

42. GRADING AND DISTURBANCE OF ENVIRONMENTAL FEATURES AS APPLICABLE FOR OUTFALL LOCATIONS AND/OR UTILITY CONSTRUCTION IS CONSIDERED ESSENTIAL DISTURBANCE. NO OTHER GRADING, DISTURBANCE OR VEGETATIVE REMOVAL IS PERMITTED IN WETLANDS, STREAMS, THEIR BUFFERS, FLOOD PLAIN OR PUBLIC FOREST CONSERVATION EASEMENT AREAS.
43. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION HAVE BEEN FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 12.8 ACRES, 1.8 ACRES FOR REFORESTATION FOR A TOTAL CONSERVATION EASEMENT AREA OF 14.6 ACRES. THE TOTAL SURETY AMOUNT FOR ONSITE REFORESTATION IS \$39,204.00 FOR A TOTAL SURETY AMOUNT OF \$39,204.00 (78,408 X .50) WHICH IS PART OF THE DEVELOPER'S AGREEMENT FOR THIS FINAL PLAN, F-14-124. THE REMAINING FOREST CONSERVATION REQUIREMENT OF 10.2 ACRES HAVE BEEN MET BY PAYMENT OF FEE-IN-LIEU TO THE FOREST CONSERVATION FUND IN THE AMOUNT OF \$333,234.00 (444,312 X .75). THE AREA OF SHA FOREST CONSERVATION EASEMENT IS NOT UTILIZED IN FULFILLMENT OF FOREST CONSERVATION OBLIGATION FOR THIS SUBDIVISION.
44. THIS PROJECT IS SUBJECT TO PLANNING BOARD CASE NO. 403, WHICH WAS APPROVED ON FEBRUARY 28, 2014.
45. MDE PERMITS HAVE BEEN APPLIED AS TRACKING NUMBER 13-NT-3155/20130706.
46. PERIMETER LANDSCAPING, TRASH PAD AND SIDE STREET SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL SURETY IN THE AMOUNT OF \$32,100.00 FOR 20 SHADE TREES, 63 ORNAMENTAL TREES, AND 111 EVERGREENS SHALL BE POSTED WITH THE DEVELOPERS AGREEMENT FOR F-14-124, PLAT NOS. 23421-23436.
47. TRASH PAD MAINTENANCE AND LANDSCAPE SCREENING SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS WHICH ACCESS ONTO THE APPLICABLE SHARED DRIVEWAYS AND SHALL BE MADE A PART OF THE USE-IN-COMMON MAINTENANCE AGREEMENTS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS WILL NOT BE RESPONSIBLE FOR UPKEEP.
48. THE DEVELOPER SHALL ADD SPECIFIC WORDING IN THE USE-IN-COMMON MAINTENANCE AGREEMENTS TO INDICATE THE LOT OWNERS RESPONSIBLE FOR THE MAINTENANCE OF THE TRASH PADS AND SCREENING AS APPLICABLE.
49. USE-IN-COMMON MAINTENANCE AGREEMENTS FOR LOTS 281 TO 282, 294 TO 304, 343 TO 348 AND 369 TO 369 SHALL BE RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MD SIMULTANEOUSLY WITH THIS PLAT. THESE AGREEMENTS THAT INDICATE THAT THE RESPECTIVE LOT OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THE TRASH PADS AND ASSOCIATED LANDSCAPE SCREENING, WERE RECORDED UNDER F-14-124.
50. A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON OCTOBER 2, 2012.
51. THIS PLAN IS EXEMPT FROM THE MODERATE INCOME HOUSING UNIT REQUIREMENTS SINCE THIS SUBDIVISION HAS RECEIVED APPROVAL OF THE PRELIMINARY EQUIVALENT SKETCH PLAN SUBDIVISION ON MAY 1, 2014. THE SUBDIVISION RECEIVED A TECHNICALLY COMPLETE LETTER ON SEPTEMBER 16, 2013.
52. A HOMEOWNERS ASSOCIATION HAS BEEN ESTABLISHED FOR THE RESIDENTS OF THIS SUBDIVISION AND PROTECTIVE COVENANTS AND COVENANTS GOVERNING THE MAINTENANCE OF THE FOREST/JUNIOR OWNED OPEN SPACE LOTS ARE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, IN LIBER 16344 FOLIO 467.
53. OPEN SPACE LOTS 198 - 202 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
54. THE HOMEOWNER ASSOCIATION DOCUMENTS HAVE BEEN RECORDED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION PER FILING NUMBER 1000362008097752 ON JUNE 10, 2015.
55. USE-IN-COMMON MAINTENANCE AGREEMENTS HAVE BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MD WITH RECORDDATION OF F-14-124.
56. ANY RETAINING WALLS ON A LOT WILL BE MAINTAINED BY THE HOME OWNER(S) AND ANY RETAINING WALLS ON THE OPEN SPACE WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
30. WAIVER REQUEST WP-13-165 WAS APPROVED SEPTEMBER 16, 2013 FOR THE FOLLOWING:
  - a. THE REMOVAL OF 35 OUT OF 146 SPECIMEN TREES (SECTION 16.1205.(A)(4-587))
  - b. IMPACTS TO FLOODPLAINS (SECTION 16.115)
31. OPEN SPACE LOTS 196 AND 197 ARE DEDICATED TO HOWARD COUNTY, MARYLAND AND MAINTAINED BY DEPARTMENT OF RECREATION AND PARKS AS RECORDED IN LIBER 16356 AT FOLIO 285 & 289.
32. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
33. FOUR (4) PRIVATE RANGE OF ADDRESS SIGN ASSEMBLIES SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.
34. PRELIMINARY EQUIVALENT SKETCH PLAN (SP-13-012) APPROVAL DATE: MARCH 4, 2014 (PLANNING BOARD DECISION)
35. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
  - a. WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)
  - b. SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
  - c. GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 TURNING RADIUS
  - d. STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (1.25 LOADINGS)
  - e. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
  - f. STRUCTURE CLEARANCES - MINIMUM 12 FEET
  - g. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
36. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND PUBLIC FOREST CONSERVATION EASEMENT AREA EXCEPT AS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING AS SHOWN ON THIS PLAN.
37. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
38. WATER AND SEWER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
39. OFF-SITE WATER AND SEWER CONNECTIONS WILL REQUIRE RECORDATION OF PLATS OF EASEMENT. GRADING IN THIS STEEP SLOPES, WETLANDS, STREAMS, THEIR BUFFERS AND/OR FLOODPLAIN FOR WATER AND SEWER CONNECTIONS IS CONSIDERED ESSENTIAL DISTURBANCE; HOWEVER, SUCH DISTURBANCE HAS BEEN APPROVED UNDER WP-13-165. ANY DISTURBANCE IN OFF-SITE PUBLIC FOREST CONSERVATION EASEMENTS WILL REQUIRE AMENDED PLATS AS APPLICABLE.
40. THE PUBLIC FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE PUBLIC FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF PUBLIC FOREST CONSERVATION EASEMENT ARE ALLOWED.
41. RESERVATION OF PUBLIC UTILITY AND PUBLIC FOREST CONSERVATION EASEMENTS
  - DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES AND FOREST CONSERVATION (DESIGNATED AS "FOREST CONSERVATION AREA") LOCATED IN, ON, OVER AND THROUGH LOTS/PARCELS. ANY CONVEYANCES OF THE AFORESAID LOTS/PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED(S) CONVEYING SAID LOTS/PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION OF THE FOREST CONSERVATION AREA. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, AND IN THE CASE OF THE PUBLIC FOREST CONSERVATION EASEMENT(S), UPON COMPLETION OF THE DEVELOPER'S OBLIGATIONS UNDER THE FOREST CONSERVATION INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY THE DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED(S) OF EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY.

THIS SUBDIVISION IS EXEMPT FROM MIHU REQUIREMENTS DUE TO THE APPROVAL DATE OF THE PRELIMINARY EQUIVALENT SKETCH PLAN. (NOTE 51)

**SHEET INDEX**

SHEET TITLE	SHEET NUMBER
COVER SHEET	1
RESUBDIVISION PLAT	2

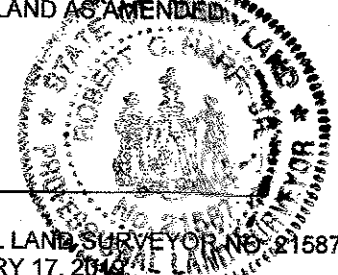
**PURPOSE NOTE**

THE PURPOSE OF THIS PLAT IS TO REVISE LOT LINES FOR LOTS 338, 339 AND OPENSACE LOT 199 AND TO ADJUST THE 20' PUBLIC WATER & UTILITY EASEMENT.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY PM PATAPSCO LLC BY DEEDS DATED AUGUST 7, 2015 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 16373 FOLIO 246 AND THAT ALL THE MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

ROBERT C. HARR, JR.  
MARYLAND PROFESSIONAL LAND SURVEYOR NO. 21587  
EXPIRATION DATE: JANUARY 17, 2016



**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE DESIGN OF ANY ASPHALT.
5. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME III (2005), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
6. EXISTING TOPOGRAPHIC CONTOURS BASED ON BOUNDARY BY BEN DYER & TOPOGRAPHIC SURVEY PERFORMED BY AERO-METRIC, DATED 1/23/09.
7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17FA AND 17F7 WHICH WERE USED FOR THIS PROJECT.
  - HOWARD COUNTY MONUMENT NO: 17FA ELEV. = 476.72
  - HOWARD COUNTY MONUMENT NO: 17F7 ELEV. = 469.40
8. WATER IS PUBLIC (CONTRACT NO. 14-4803-D)
9. SEWER IS PUBLIC (CONTRACT NO. 14-4803-D)
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS. WATER QUALITY AND RECHARGE VOLUMES WILL BE PROVIDED BY MICRO-BIORETENTION FACILITIES, BIORETENTION FACILITIES, INFILTRATION FACILITIES, AND DRY WELLS (ON LOT) TO MEET MDE REQUIREMENTS. CHANNEL PROTECTION VOLUME, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD VOLUMES ARE NOT REQUIRED FOR THIS SITE. THE STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED BY PROPERTY OWNERS AND HOA. FACILITIES TREATING AREAS WITHIN PUBLIC R/W WILL BE PLACED IN EASEMENTS AND WILL BE MAINTAINED BY BOTH HOWARD COUNTY AND PROPERTY OWNERS/HOA. HOWARD COUNTY WILL MAINTAIN PIPES AND PROPERTY OWNERS/HOA WILL MAINTAIN FACILITY SURFACES.
11. EXISTING UTILITIES ARE BASED ON THE AERIAL SURVEY AND FIELD SURVEY BY BEN DYER ASSOCIATES.
12. THE FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY BEN DYER ASSOCIATES, DATED FEBRUARY 2012, AND MEETS THE REQUIREMENTS FOR "OBVIOUSLY NOT CRITICAL STUDY".
13. THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY BEN DYER ASSOCIATES, DATED DECEMBER, 2012.
14. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED APRIL 23, 2013.
15. THE NOISE STUDY FOR THIS PROJECT WAS PREPARED BY MARS GROUP, DATED SEPTEMBER 24, 2012.
16. A FOREST STAND DELINEATION REPORT WAS COMPLETED BY BEN DYER ASSOCIATES, INC., DATED DECEMBER 2011.
17. THE SUBSURFACE EXPLORATION REPORT FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, INC. DATED 12/16/12.
18. THE SUBJECT PROPERTY IS ZONED R-20 & R-ED PER THE 2/02/04 COMPREHENSIVE ZONING PLAN AND COMP LITE ZONING AMENDMENTS 7/28/08.
19. THE R-20 ZONED PORTION OF THE SITE WILL BE DEVELOPED IN ACCORDANCE WITH "R-ED" ZONING REGULATIONS PER SECTION 108.G.3 TO RECEIVE AT LEAST ONE DENSITY SENDING UNIT TO QUALIFY TO USE THE "R-ED" REGULATIONS/CURTIS PROPERTY, F-14-124S-1.
20. IN ACCORDANCE WITH SECTION 108.G.2 OF THE HOWARD COUNTY ZONING REGULATIONS, THE APPLICANT WILL BE TRANSFERRING ONE DEVELOPMENT RIGHT FROM THE CURTIS PROPERTY (PARCEL 1) (SENDING PARCEL) IN ORDER TO DEVELOP THE ENTIRE R-20 ZONING PORTION UNDER THE R-ED BULK REGULATIONS AS WELL AS TO GAIN ONE ADDITIONAL DEVELOPMENT LOT (NOT UTILIZED).
21. SITE DATA:
  - A. GROSS AREA OF TRACT = 122.79 AC.
  - B. AREA OF FLOODPLAIN = 7.18 AC. (INCLUDES FP IN SHA FOREST CONSERVATION EASEMENT (3.93 ACRES OUTSIDE OF SHA FOREST CONSERVATION EASEMENT))
  - C. AREA OF 25% OR GREATER SLOPES OUTSIDE FLOODPLAIN = 16.07 AC.
  - D. NET AREA OF TRACT = 89.54 AC.
  - E. NUMBER OF LOTS PERMITTED: 199 LOTS (NET ACREAGE X 2)
  - F. NUMBER OF LOTS IMPORTED: 1 LOT
  - G. TOTAL NUMBER OF LOTS PERMITTED: 200 LOTS
  - H. REQUIRED OPEN SPACE = 50% OF GROSS AREA (BASED ON 6,000 S.F. LOTS) = 61.40 AC.
  - I. PROVIDED OPEN SPACE = 77,465 AC. (LOTS 196 - 202)
  - J. REQUIRED RECREATIONAL OPEN SPACE = 300 S.F. / 195 LOTS = 58,500 S.F. (1.34 AC.)
  - K. PROVIDED RECREATIONAL OPEN SPACE = 70,550 S.F.
  - L. ONSITE DISTURBANCE = 50.89 AC.
  - M. OFFSITE DISTURBANCE = 4.74 AC.

\*47,250 SF OF RECREATIONAL OPEN SPACE WILL BE PROVIDED IN 3 TRAIL SIDE REST AREAS. THESE REST AREAS WILL BE DESIGNED AS FORMAL PARKS WITH SLOPES LESS THAN 10% AND WILL INCLUDE BENCHES, PICNIC TABLES, GAZEBOS, EXERCISE STATIONS, ORNAMENTAL PLANTING, DECORATIVE PAVERS ETC. ADDITIONALLY 23,300 SF OF CREDITS WILL BE UTILIZED FOR RECREATIONAL AMENITIES LOCATED ALONG THE EXTENSIVE PATHWAY SYSTEM WHICH CONNECTS TO BOTH PATAPSCO PARK AND HOWARD COUNTY ATHLETIC FIELDS AND HOWARD COUNTY BOARD OF EDUCATION ATHLETIC FIELDS. THIS TRAIL SYSTEM WILL INCLUDE ADDITIONAL BENCHES, AND INTERPRETIVE SIGNAGE.
22. LAND PREVIOUSLY DEDICATED TO HOWARD COUNTY, MARYLAND, FOR PURPOSES OF THE PUBLIC ROAD (0.669 ACRES) PER PLATS 23421-23436 DOES NOT INCLUDE SHA RIGHT-OF-WAY ON OUT PARCEL.
23. AREA OF PROPOSED BUILDABLE LOTS = 0.377 AC.
24. NUMBER OF LOTS PROPOSED:
  - A. BUILDABLE = 2
  - B. OPEN SPACE = 1
25. PRIOR CASE NUMBERS ASSOCIATED WITH THIS PROJECT INCLUDE ECP-13-029, SP-13-012, WP13-165, PB CASE 403, F-14-124 AND F-14-124S-1/PLAT #23420.
26. THIS PROPERTY IS LOCATED INSIDE OF THE METROPOLITAN DISTRICT.
27. NO CEMETERIES, GRAVE SITES, OR HISTORIC STRUCTURES EXIST WITHIN THIS SUBDIVISION.
28. THE FOLLOWING DESIGN MANUAL WAIVERS HAVE BEEN APPROVED FOR THIS PROPERTY:
  - VOL. II SECTION 2.5.B.10 INTERSECTION VERTICAL ALIGNMENT. WAIVER OF MAXIMUM ALLOWABLE LANDING GRADE AT THE SITE ENTRANCE TO ALLOW VALLEY VIEW WAY TO DROP QUICKLY AND MATCH ONSITE GRADES. APPROVED MAY 30, 2013.
  - VOL. III SECTION 2.5.B.10 INTERSECTION VERTICAL ALIGNMENT. WAIVER OF MAXIMUM ALLOWABLE LANDING GRADE FOR MORNING CHOICE COURT AT INTERSECTIONS WITH VALLEY VIEW WAY AND VINEYARD SPRINGS WAY. STEEPENING THE SAWMILL BRANCH TRAILRADE SHORTENS THE LENGTH AND THEREBY AVOIDS EXTENDING THE TALL POPLAR COURTINTO ENVIRONMENTALLY SENSITIVE AREAS. APPROVED MAY 30, 2013.
29. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2005 AND THE AMENDED ZONING REGULATIONS PER COUNCIL BILL NO. 75-2003. DEVELOPER OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.

**LEGEND :**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. EASEMENT
- BUILDING RESTRICTION LINE
- 100 YR. FLOODPLAIN LIMITS
- SBB - STREAM BUFFER
- WB - WETLANDS BUFFER
- CENTERLINE PERENNIAL STREAM
- IRON PIN TO BE SET
- INTERMITTENT STREAM BUFFER
- PERENNIAL STREAM BUFFER
- ZONING
- CENTERLINE INTERMITTENT STREAM
- PROPERTY POINTS (SEE SHEET 14 FOR COORDINATE TABLE)
- WETLANDS

**OWNER AND DEVELOPER**

ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20861  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 428-0800

THE ESTATES OF PATAPSCO PARK HOME OWNERS ASSOCIATION, INC.  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20861  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 428-0800

NVR, INC. BY MICHAEL SHEARER,  
REGIONAL VICE PRESIDENT, LAND  
9720 PATUXENT WOODS DR, STE 100  
COLUMBIA, MD 21046  
PHONE: (410) 750-9050

**AREA TABULATION CHART**

TOTAL NUMBER OF BUILDABLE LOTS AND/OR PARCEL TO BE RECORDED	2
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	1
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	2
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.377 AC.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.420 AC.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	0.797 AC.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 AC.±
TOTAL AREA OF RIGHT-OF-WAY DEDICATION	0.000 AC.±
TOTAL AREA TO BE RECORDED	0.797 AC.±

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

Approved for *Maureen Roseman* 9/5/2017  
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Chad Chubb* 9.15.17  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Kate Stenhouse* 9.21.17  
DIRECTOR DATE

**OWNER'S CERTIFICATE**

WE, ESTATES AT PATAPSCO PARK, LLC, THE ESTATES OF PATAPSCO PARK HOME OWNERS ASSOC., INC. OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS:

- (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON.
- (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE.
- (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND
- (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHT-OF-WAYS. WITNESS MY HAND THIS 24 DAY OF *August* 2017.

OWNER LOT 398: THE ESTATES AT PATAPSCO PARK, LLC BY PLEASANT ENTERPRISES, INC. MANAGER  
*Mitchell Shearer*  
OWNER LOT 399: NVR, INC. BY MICHAEL SHEARER, REGIONAL VICE PRESIDENT, LAND  
*Michael Shearer*  
OWNER LOT 400: THE ESTATES AT PATAPSCO PARK HOME OWNERS ASSOC. INC. BY JERRY CONNELLY, PRESIDENT  
*Jerry Connelly*

COVER SHEET

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
703.709.9500 - 703.709.9501 FAX  
www.bohlerengineering.com

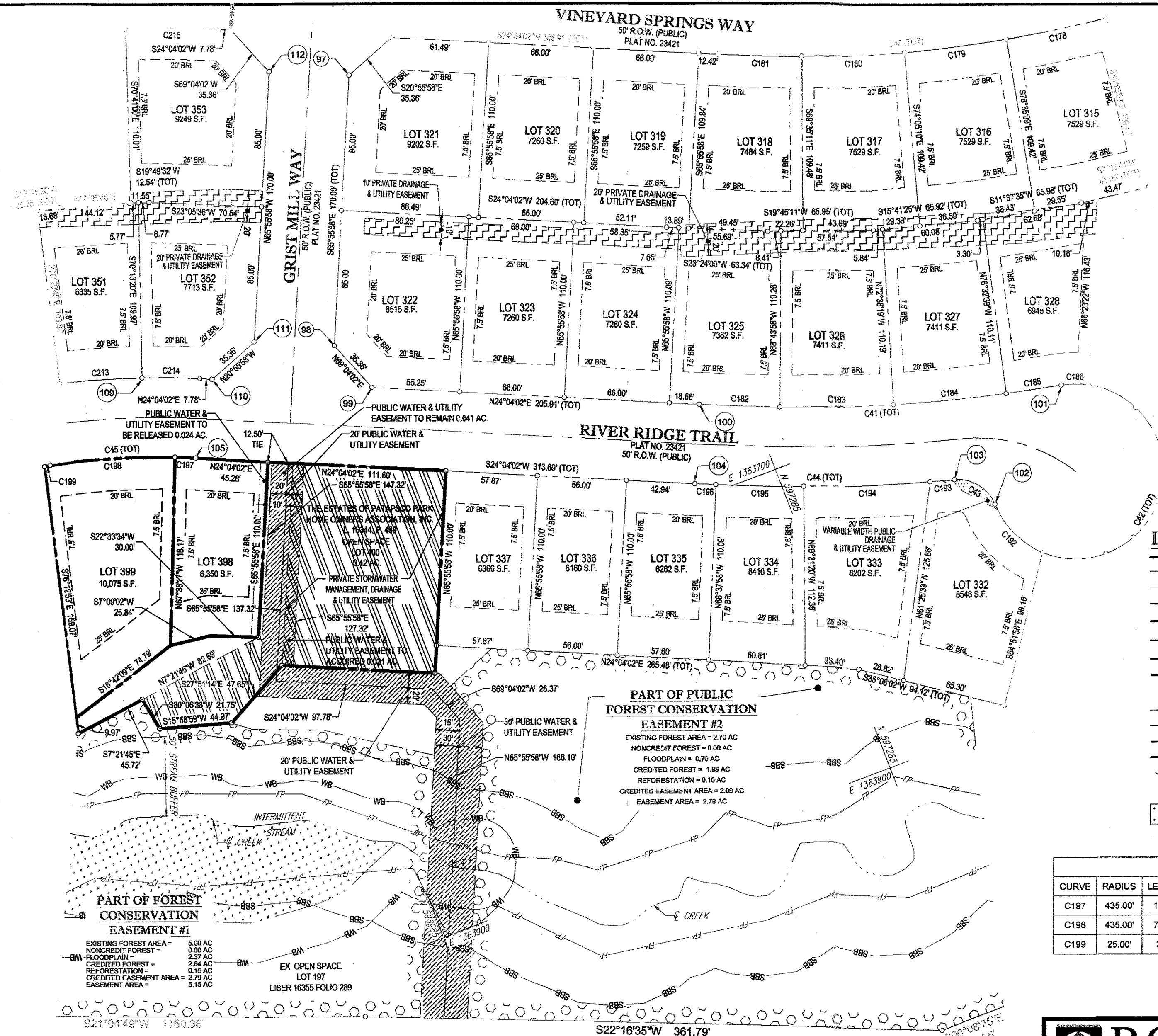
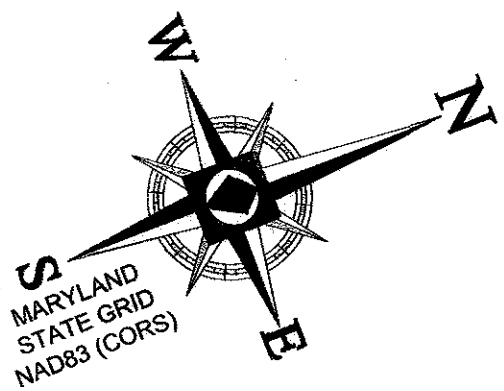
NEW JERSEY PENNSYLVANIA NEW YORK VIRGINIA MASSACHUSETTS MARYLAND FLORIDA NORTH CAROLINA

RECORDED AS PLAT 24353 ON 9/22/17 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

PLAT OF RESUBDIVISION  
**LOTS 398 & 399 & OPEN SPACE LOT 400**  
**ESTATES AT PATAPSCO PARK**  
A REVISION TO LOTS 338 & 339 & OPEN SPACE LOT 199  
ESTATES AT PATAPSCO PARK  
PLAT NOS. 23420 & 23609  
ZONING: R-20 & R-ED  
TAX MAP # 17, GRID 5, 6, 11 AND 12  
2nd ELECTION DISTRICT,  
HOWARD COUNTY, MARYLAND

SCALE: 1" = 50' SHEET: 1 OF 2  
DATE: AUG. 22, 2017 SD152013SUB4.DWG





**EASEMENT LEGEND:**

- PUBLIC FOREST CONSERVATION EASEMENT LIBER 15149 FOLIO 497
- PUBLIC FOREST CONSERVATION EASEMENT LIBER 16355 FOLIO 273
- SHA FOREST CONSERVATION EASEMENT LIBER 15149 FOLIO 497
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- PUBLIC STORMWATER, DRAINAGE & UTILITY EASEMENT LIBER 16354 FOLIO 254 LIBER 16355 FOLIO 268
- PUBLIC TREE MAINTENANCE EASEMENT LIBER 16355 FOLIO 268

**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. EASEMENT
- BUILDING RESTRICTION LINE
- 100 YR. FLOODPLAIN LIMITS
- SBB - STREAM BUFFER
- WB - WETLANDS BUFFER
- CENTERLINE PERENNIAL STREAM
- IRON PIN TO BE SET
- INTERMITTENT STREAM BUFFER
- PERENNIAL STREAM BUFFER
- ZONING
- CENTERLINE INTERMITTENT STREAM
- PROPERTY POINTS (SEE SHEET 14 FOR COORDINATE TABLE)
- WETLANDS

**CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C197	435.00'	12.95'	N23°12'52"E	12.95'	001°42'19"	6.47'
C198	435.00'	78.76'	N17°10'29"E	78.65'	010°22'26"	39.49'
C199	25.00'	3.58'	N07°53'17"E	3.57'	008°11'59"	1.79'

**OWNER AND DEVELOPER**

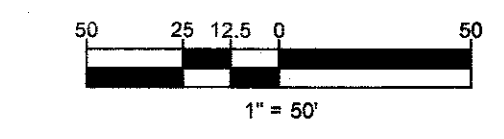
ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20881  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 428-0800

THE ESTATES OF PATAPSCO PARK HOME OWNERS ASSOCIATION, INC.  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20861  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 428-0800

NVR, INC. BY MICHAEL SHEARER,  
REGIONAL VICE PRESIDENT, LAND  
9720 PATUXENT WOODS DR, STE 100  
COLUMBIA, MD 21046  
PHONE: (410) 750-9050

**AREA TABULATION CHART**

TOTAL NUMBER OF BUILDABLE LOTS AND/OR PARCEL TO BE RECORDED	2
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	1
TOTAL NUMBER OF LOTS/PARCELS TO BE RECORDED	2
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	0.377 AC.±
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.420 AC.±
TOTAL AREA OF LOTS/PARCELS TO BE RECORDED	0.797 AC.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 AC.±
TOTAL AREA OF RIGHT-OF-WAY DEDICATION	0.000 AC.±
TOTAL AREA TO BE RECORDED	0.797 AC.±



**PART OF PUBLIC FOREST CONSERVATION EASEMENT #2**

EXISTING FOREST AREA = 2.70 AC  
NONCREDIT FOREST = 0.00 AC  
FLOODPLAIN = 0.70 AC  
CREDITED FOREST = 1.98 AC  
REFORESTATION = 0.10 AC  
CREDITED EASEMENT AREA = 2.09 AC  
EASEMENT AREA = 2.79 AC

**OWNER'S CERTIFICATE**

WE, ESTATES AT PATAPSCO PARK, LLC, THE ESTATES OF PATAPSCO PARK HOME OWNERS ASSOC., INC. OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAN BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS:

- THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON;
- THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE;
- THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND
- THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHT-OF-WAYS.

WITNESSED AND DATED THIS 24 DAY OF August 2017

OWNER LOT 398: THE ESTATES AT PATAPSCO PARK, LLC BY PLEASANT ENTERPRISES, INC. MANAGER  
BY WILLIAM D. PLEASANTS, JR., PRESIDENT

OWNER LOT 399: NVR, INC. BY MICHAEL SHEARER, REGIONAL VICE PRESIDENT, LAND

OWNER LOT 400: THE ESTATES AT PATAPSCO PARK HOME OWNERS ASSOC. INC  
BY JERRY CONNELLY, PRESIDENT

**PURPOSE NOTE**

THE PURPOSE OF THIS PLAT IS TO REVISE LOT LINES FOR LOTS 338, 339 AND OPENSACE LOT 199 AND TO ADJUST THE 20' PUBLIC WATER & UTILITY EASEMENT.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY PM PATAPSCO LLC BY DEEDS DATED AUGUST 7, 2015 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 16373 FOLIO 246 AND THAT ALL THE MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN, IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND.

ROBERT C. HARR, JR.  
MARYLAND PROFESSIONAL SURVEYOR NO. 21587  
EXPIRATION DATE: JANUARY 31, 2018

8/23/17

**BOHLER ENGINEERING**

22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20164  
703.709.9600 - 703.709.9501 FAX  
www.bohlerengineering.com

NEW JERSEY PENNSYLVANIA NEW YORK VIRGINIA MASSACHUSETTS MARYLAND FLORIDA NORTH CAROLINA

RECORDED AS PLAT 24574 ON 8/23/17 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

PLAT OF RESUBDIVISION  
**LOTS 398 & 399 & OPEN SPACE LOT 400**  
**ESTATES AT PATAPSCO PARK**  
A REVISION TO LOTS 338 & 339 & OPEN SPACE LOT 199  
ESTATES AT PATAPSCO PARK  
PLAT NOS. 23596-23607  
ZONING: R-20 & R-ED  
TAX MAP # 17, GRID 5, 6, 11 AND 12  
2nd ELECTION DISTRICT,  
HOWARD COUNTY, MARYLAND

SCALE: 1" = 50'  
DATE: AUG. 22, 2017

SHEET: 2 OF 2

SD152013SUB4.DWG

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

9/5/2017  
HOWARD COUNTY HEALTH OFFICER

9-15-17  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

9-21-17  
DIRECTOR