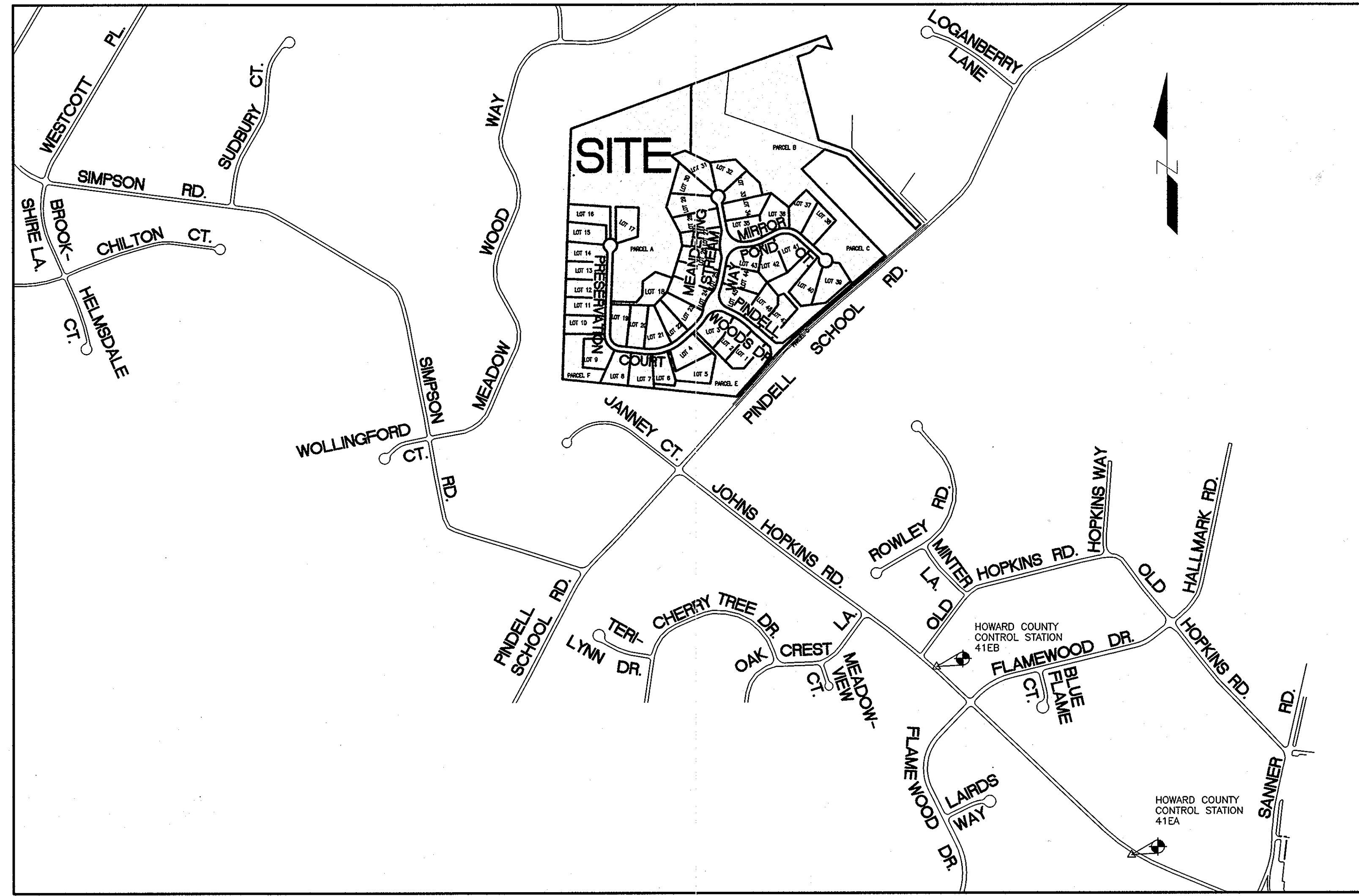


**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 2 FOOT CONTOUR TOPOGRAPHY AND EXISTING CONDITIONS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED BY VOGEL & ASSOC., ON SEPTEMBER 26, 2000.
- BENCHMARKS USED FOR THIS PROJECT ARE: 1) HOWARD COUNTY MONUMENT #41EA WITH ELEVATION 407.599', A STANDARD STAMPED DISC SET ON TO CONCRETE (3' DEEP) COLUMN WITH COORDINATES N 544825.804 AND E 1339217.456; 2) HOWARD COUNTY MONUMENT 41EB WITH ELEVATION 464.502', A STANDARD STAMPED DISC SET ON TO CONCRETE (3' DEEP) COLUMN WITH COORDINATES N 546222.250 AND E 1337778.163. THE COORDINATES SHOWN HEREON ARE BASED UPON HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
- WATER IS PRIVATE.
- SEWER IS PRIVATE FOR LOTS 1-5,7-21 & 23-47 SHARED PRIVATE SYSTEM FOR LOTS 6& 22.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LEE CUNNINGHAM & ASSOC. (APPROVED UNDER S-00-15).
- BACKGROUND INFORMATION:
  - A. SUBDIVISION NAME: PINDELL WOODS
  - B. TAX MAP NO.: 41
  - C. PARCEL NOS.: 274, 275 (LOT 1), & 484 (LOT 1)
  - D. ZONING: RR-DEO
  - E. ELECTION DISTRICT: 5TH
  - F. TOTAL TRACT AREA: 97.88 AC.±
  - G. NO. OF BUILDABLE LOTS: 47 + 1 BUILDABLE PRESERVATION PARCEL
  - H. NO. OF PRESERVATION PARCELS (NON-BUILDABLE): 5
  - I. NO. OF OPEN SPACE LOTS: 0
  - J. PRELIMINARY PLAN APPROVAL DATE: NOVEMBER 20, 2000
  - K. PREVIOUS FILE NOS.: S-00-15 AND P-01-06 F-76-92, B.A. 358-C
  - L. TOTAL AREA OF OPEN SPACE REQUIRED: (97.89 AC. x 5%) = 4.89 AC.±
  - M. TOTAL AREA OF H.O.A. PRESERVATION PARCELS PROVIDED: 10.028 AC.± (H.O.A. PRESERVATION PARCELS)
- REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF THE PIPE / FLAG STEM AND THE ROAD R/W AND NOT ONTO THE PIPE / FLAG STEM DRIVEWAY.
- NO CEMETERIES EXIST ON THE PROPERTY.
- ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASTHO T-180, EXCEPT AS DETERMINED AS AN ESSENTIAL DISTURBANCE BY DPZ AND SOIL CONSERVATION DISTRICT FOR SWM POND #1
- THE WETLAND AND FOREST STAND DELINEATION WAS PREPARED BY WILLIAM T. BRIDGELAND, WILDLIFE BIOLOGIST ON MARCH 1, 2000 AND APPROVED UNDER APRIL 3, 2000.
- NOISE STUDY IS NOT APPLICABLE.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLAND S AND STREAM OR THEIR BUFFERS, IN ACCORDANCE WITH SECTION 16.116(c) OF THE SUBDIVISION REGULATIONS.
- STORMWATER MANAGEMENT FACILITIES:
  - EX. POND #1 ON PRESERVATION PARCEL A (BY RETENTION) PRIVATELY OWNED AND MAINTAINED
  - POND #2 ON PRESERVATION PARCEL C (BY RETENTION) PRIVATELY OWNED AND MAINTAINED
- MDE DAM SAFETY APPROVAL WAS GRANTED NOVEMBER 15,2000, SEE FILE NO. 00-XP-0119
- FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULLFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 28.26 ACRES AND 2.54 ACRES OF REFORESTATION FOR A TOTAL FOREST CONSERVATION EASEMENT AREA OF 30.80 ACRES. THE TOTAL SURETY AMOUNT FOR RETENTION IS \$123,100.00 AND ON SITE REFORESTATION IS \$32,175.00 FOR A TOTAL SURETY AMOUNT OF \$155,275.00, WHICH WILL BE PART OF THE OWNER'S DPW, DEVELOPERS AGREEMENT.
- MDE HAS ISSUED A NONOTILD WETLANDS AND WATERWAYS LETTER OF AUTHORIZATION AND WATER QUALITY CERTIFICATION ON NOVEMBER 27, 2000, FILE # 00-NI-0452/200160102. SEE SHEET 36 OF 37.
- MDE WATER APPROPRIATION PERMIT H000G012 (01) WAS ISSUED NOVEMBER 20, 2000.
- PRESERVATION PARCELS "A" AND "B" ARE PRIVATELY OWNED. EASEMENT HOLDERS ARE HOWARD COUNTY, MD. AND PINDELL WOODS H.O.A., PRESERVATION PARCELS "C" THRU "F" ARE PRIVATELY OWNED BY THE PINDELL WOODS H.O.A. EASEMENT HOLDERS ARE HOWARD COUNTY, MD.
- THE SURETY FOR STREET TREES IS 233 TREES WHICH WILL BE PART OF DEVELOPER'S AGREEMENT. THE SURETY AMOUNT FOR PERIMETER LANDSCAPING TREES IS 67 SHADE TREES x \$300 = \$20,100.00 AND 56 EVERGREEN x \$150 = \$8,400.00
- PROVIDE 150 WATT NPS VAPOR PENDANT, MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE WITH 12' ARM AT PINDELL WOODS DRIVE STA. 0+48, 28 FT. RIGHT, 100 WATT NPS VAPOR "TRADITIONAL" POST FIXTURE MOUNTED ON A 14' BLACK FIBERGLASS POLE LOCATED AT PINDELL WOODS DRIVE STA. 5+93, 36 FT. RIGHT, STA. 5+95, 40 FT. LEFT, PRESERVATION COURT STA. 4+32, 16 FT. RIGHT, STA. 9+11, 13 FT. RIGHT, STA. 16+04, 19 FT. RIGHT, MEANDERING STREAM WAY STA. 4+15, 40 FT. RIGHT, STA. 4+84, 36 FT. LEFT, STA. 7+62, 18 FT RIGHT, MIRROR POND COURT STA. 4+83, 13 FT. LEFT, AND STA. 7+82, 13 FT. RIGHT.
- DRIVEWAY CULVERT DESIGN IS SHOWN ON SHEET 11 OF 37. THE EXACT LOCATION OF DRIVEWAY WILL NOT BE KNOWN UNTIL HOUSES ARE SITED AS PART OF THE BUILDING PERMIT PROCESS.



**LOCATION MAP**

SCALE: 1" = 600'

**FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER MANAGEMENT PLANS**

**PINDELL WOODS**

**LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274  
TAX MAP # 41, GRID 2, 3, 8 AND 9**

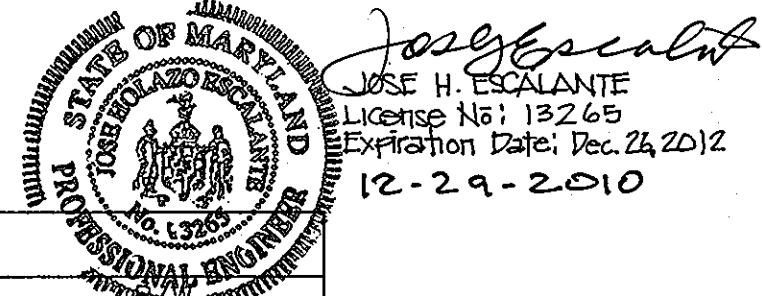
**5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND.**

INDEX OF SHEETS	
SHEET #	DESCRIPTION
1	FINAL PLAN - COVER SHEET
2	PINDELL WOODS DRIVE PLAN AND PROFILE
3	PRESERVATION COURT PLAN AND PROFILE (STA.0+00 TO 7+50)
4	PRESERVATION COURT PLAN AND PROFILE (STA.7+50 TO CDS)
5	MEANDERING STREAM WAY PLAN AND PROFILE
6	MIRROR POND COURT PLAN AND PROFILE
7	TRAFFIC CALMING DEVICES DETAILS
7A	MISCELLANEOUS DETAILS
8	PINDELL SCHOOL ROAD PLAN AND PROFILE
9	PINDELL SCHOOL ROAD - ROAD CROSS SECTIONS
10	PINDELL SCHOOL ROAD - ROAD CROSS SECTIONS
11	PINDELL SCHOOL ROAD - ROAD CROSS SECTIONS
12	PINDELL SCHOOL ROAD - TRAFFIC CONTROL & STRIPING PLAN
13	STORM DRAIN PROFILES
14	STORM DRAIN PROFILES
15	STORM WATER MANAGEMENT POND #1 - PLAN AND DETAILS
16	STORM WATER MANAGEMENT POND #2 - PLAN AND DETAILS
17	STORM WATER MANAGEMENT POND SPECS. AND MISC. DETAILS
18	SWM - DRAINAGE AREA MAP (OFFSITE-EXISTING)
19	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (EXISTING)
20	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (EXISTING)
21	SWM - DRAINAGE AREA MAP (OFFSITE-DEVELOPED)
22	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (DEVELOPED)
23	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (DEVELOPED)
24	STORM DRAIN - DRAINAGE AREA MAP
25	STORM DRAIN - DRAINAGE AREA MAP
26	STORM DRAIN - DRAINAGE AREA MAP
27	GRADING AND SEDIMENT CONTROL PLAN
28	GRADING AND SEDIMENT CONTROL PLAN
29	GRADING AND SEDIMENT CONTROL PLAN
30	GRADING AND SEDIMENT CONTROL NOTES
31	SEDIMENT CONTROL DETAILS AND BORING LOGS
32	LANDSCAPE PLAN
33	LANDSCAPE PLAN
34	FOREST CONSERVATION PLAN
35	FOREST CONSERVATION PLAN
36	FOREST CONSERVATION TABULATIONS AND DETAILS

**DUE TO THE ADDITION OF SHEET 7A THE PLAN SET CONTAINS 37 SHEETS.**

TRAFFIC CONTROL SIGNS				
STREET NAME	CL STATION	OFFSET	POSTED SIGN	SIGN CODE
PINDELL WOODS DR.	0+65	25' LEFT	STOP	R1-1
PINDELL WOODS DR.	2+50	18' LEFT	STOP AHEAD	W3-10
PINDELL WOODS DR.	2+50	18' RIGHT	SPEED LIMIT 25MPH	R2-1
PINDELL WOODS DR.	5+73	30' RIGHT	STOP	R1-1
PRESERVATION CT.	0+68	29' LEFT	YIELD	R1-2
PRESERVATION CT.	4+45	1' LEFT	KEEP RIGHT	R4-7
PRESERVATION CT.	5+20	1' LEFT	KEEP RIGHT	R4-7
PRESERVATION CT.	1+00	16' RIGHT	SPEED LIMIT 25MPH	R2-1
PRESERVATION CT.	12+80	0'	KEEP RIGHT	R4-7
PRESERVATION CT.	13+86	0'	KEEP RIGHT	R4-7
PRESERVATION CT.	2+76	16' RIGHT	SPEED LIMIT 25MPH	R2-1
PRESERVATION CT.	5+47	15' LEFT	KEEP RIGHT	R4-7
PRESERVATION CT.	7+86	15' RIGHT	SPEED LIMIT 20MPH	W1-1R
PRESERVATION CT.	11+25	15' LEFT	SPEED LIMIT 20MPH	W1-1L
MEANDERING STREAM WAY	0+67	28' RIGHT	YIELD	R1-2
MEANDERING STREAM WAY	3+83	28' LEFT	YIELD	R1-2
MEANDERING STREAM WAY	5+14	30' LEFT	YIELD	R1-2
MIRROR POND CT.	0+58	31' RIGHT	STOP	R1-1
MIRROR POND CT.	2+60	15' RIGHT	SPEED LIMIT 25MPH	R2-1

I hereby certify that this document was prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.



No "AS-BUILT" information is required for this sheet.

Jose H. Escalante  
License No: 13265  
Expiration Date: Dec. 24, 2012  
12-29-2010



ROAD CLASSIFICATION		
ROAD NAME	CLASSIFICATION	WIDTH
PINDELL WOODS DR.	ACCESS STREET	40-50 FEET
PRESERVATION CT.	ACCESS PLACE	40 FEET
MEANDERING STREAM WAY	ACCESS PLACE	40 FEET
MIRROR POND CT.	ACCESS PLACE	40 FEET

\*50 FT. R/W AT MONUMENTAL ENTRANCE

MINIMUM LOT SIZE CHART			
LOT No.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
5	45,235 S.F.	3,211 S.F.	42,024 S.F.
16	43,079 S.F.	2,091 S.F.	40,988 S.F.
18	43,719 S.F.	3,719 S.F.	40,000 S.F.

APPROVED - DEPARTMENT OF PUBLIC WORKS  
 [Signature] 5-1-01  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED - DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 5/16/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/11/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO. DATE REVISIONS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**  
 LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
 5th ELECTION DISTRICT, TAX MAP # 41, GRID 2, 3, 8 AND 9  
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
 HOWARD COUNTY, MARYLAND.

TITLE: **COVER SHEET**  
 S-00-15 P-01-06 F-01-89

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.  
 10749 BIRMINGHAM WAY  
 WOODSTOCK, MD 21168  
 TEL: (410) 465-7903  
 FAX: (410) 465-3845

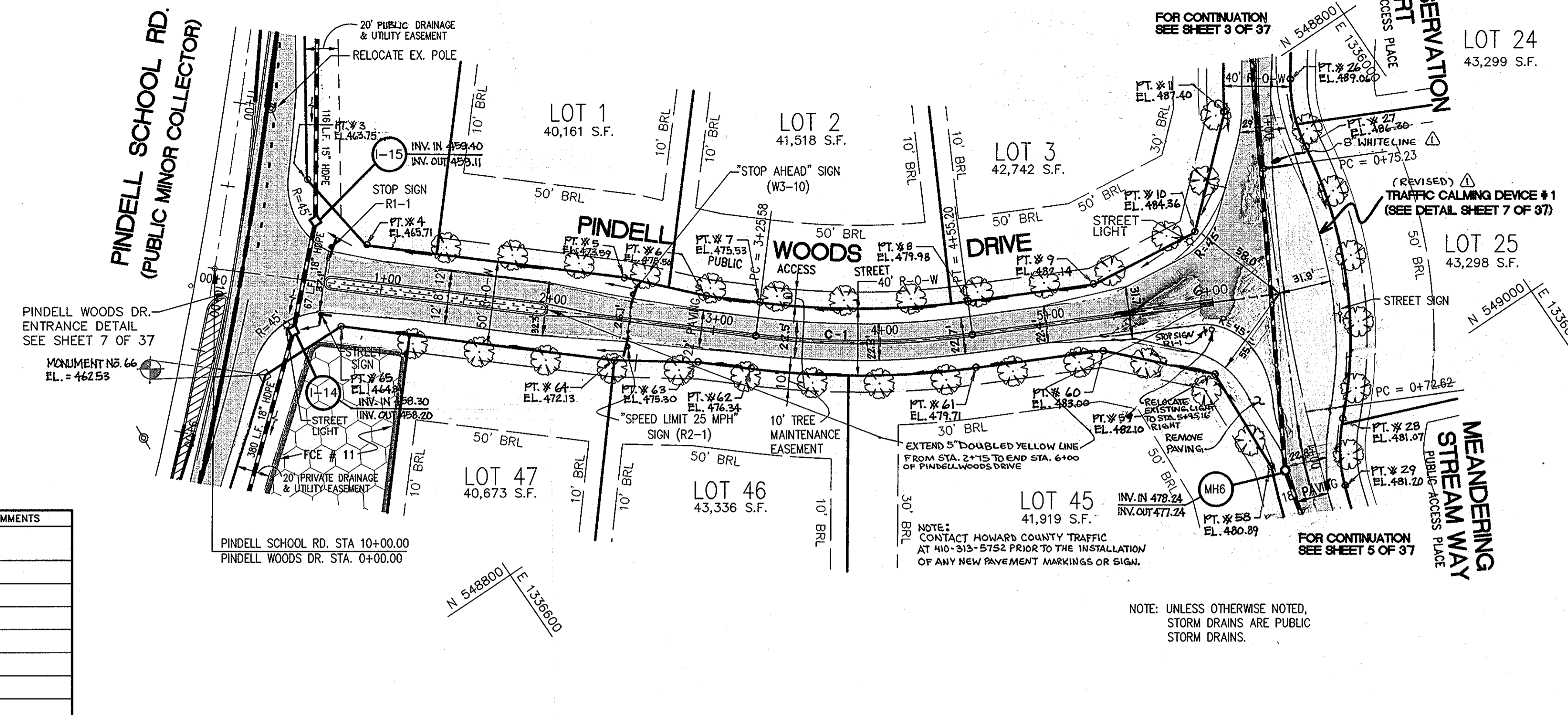
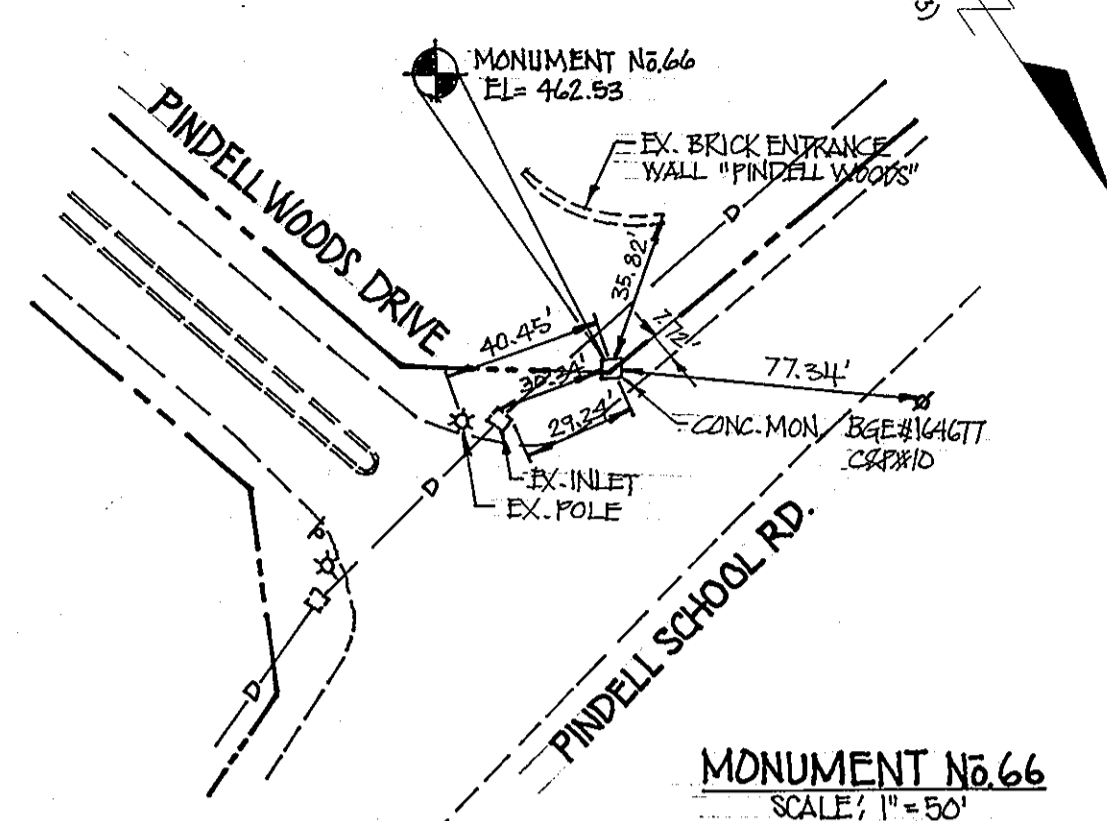
OWNERS: CLARENCE AND MARTHA CARWELL  
 7106 PINDELL SCHOOL ROAD  
 FULTON, MD. 20759  
 H Y REAL ESTATE JOINT VENTURE  
 1921 ROCKVILLE PKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 MARSHALL P. TULIN  
 1921 ROCKVILLE PKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 DEVELOPER: MOUNT VIEW, LLC.  
 6258 CARDINAL LA.  
 COLUMBIA, MD. 21044

DES.: JL/DCW/AVG JOB :  
 DRW.: AVG/DTA/JNC PROJ. :  
 CHK.: D.C.W. DATE: 03/04/01

SCALE: AS SHOWN SHEET 1 OF 37

STATE OF MARYLAND  
 DEPARTMENT OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 1-12-09  
 FOR REVISIONS COMMENTED BY DALE THOMPSON  
 BUILDERS, INC. APPROVED BY HOWARD COUNTY,  
 MARYLAND, AUGUST 15, 2008.

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	34	2-1/2" - 3" CAL.



DWG. NO.	STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE	COMMENTS
2	PINELL WOODS DRIVE	0+48	28' R	150 WATT HPS VAPOR PENDANT (CUTOFF) MOUNTED AT 30' IN A BRONZE FIBERGLASS POLE USING 12' ARM.	
2	PINELL WOODS DRIVE	5+93	36' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
2	PINELL WOODS DRIVE	5+95	40' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
3	PRESERVATION COURT	4+32	16' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
4	PRESERVATION COURT	9+11	13' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
4	PRESERVATION COURT	16+04	19' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
5	MEANDERING STREAM WAY	4+15	40' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
5	MEANDERING STREAM WAY	4+85	36' L	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
5	MEANDERING STREAM WAY	7+62	18' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
6	MIRROR POND COURT	4+83	13' L	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
6	MIRROR POND COURT	7+82	13' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	

PLAN  
 SCALE: 1" = 50'

CURVE TABLE						
CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-1	129.62	500.00	14°51'13"	65.18	129.26	N56°18'29"W

NOTE: UNLESS OTHERWISE NOTED, STORM DRAINS ARE PUBLIC STORM DRAINS.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Richard M. Caswell* 5-1-01  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Hamilton* 5/16/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT K3 DATE

APPROVED: DEPARTMENT OF ENGINEERING  
*David Cummings* 5/16/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO. 1-9-09 DATE REVISIONS 7 FOR DETAILS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINELL WOODS**

TITLE: **ROAD PROFILE PINELL WOODS DRIVE**

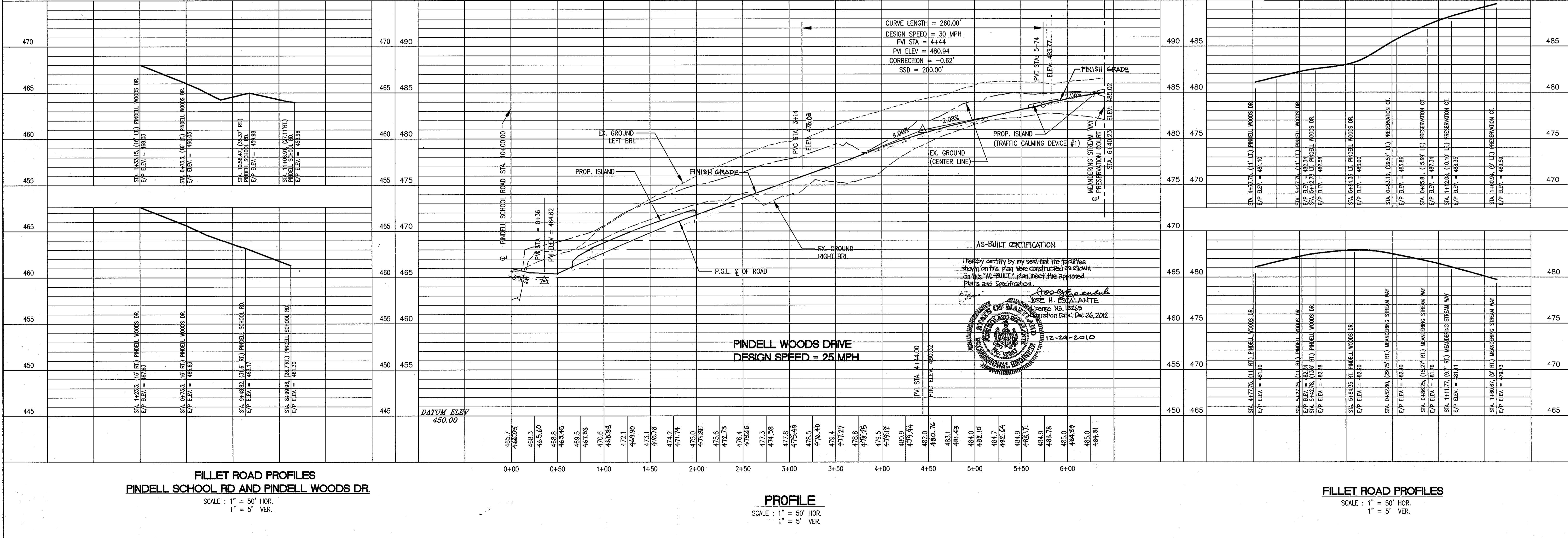
OWNERS: CLARENCE AND MARTHA CARVELL  
 7106 PINELL SCHOOL ROAD  
 FULTON, MD. 20759  
 H Y REAL ESTATE JOINT VENTURE  
 1921 ROCKVILLE PIKE, SUITE 300  
 ROCKVILLE, MD. 20852

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.  
 10749 BIRMINGHAM WAY  
 WOODSTOCK, MD 21183  
 TEL. (410) 466-7803  
 FAX. (410) 466-3846

DEVELOPER: MOUNT VIEW, LLC.  
 6258 CARDINAL LA.  
 COLUMBIA, MD. 21044

DES.: JL/DCW/AVG JOB:  
 DRW.: AVG/DTA/JNC PROJ.:  
 CHK.: D.C.W. DATE: 03/04/01

SCALE: 1" = 50'  
 SHEET 2 OF 37



FILLET ROAD PROFILES  
 PINELL SCHOOL RD AND PINELL WOODS DR.  
 SCALE: 1" = 50' HOR.  
 1" = 5' VER.

PROFILE  
 SCALE: 1" = 50' HOR.  
 1" = 5' VER.

FILLET ROAD PROFILES  
 SCALE: 1" = 50' HOR.  
 1" = 5' VER.



FOR REVISIONS SUBMITTED BY DALE THOMPSON BUILDERS, INC. APPROVED BY HOWARD COUNTY MARYLAND AUGUST 15, 2008.

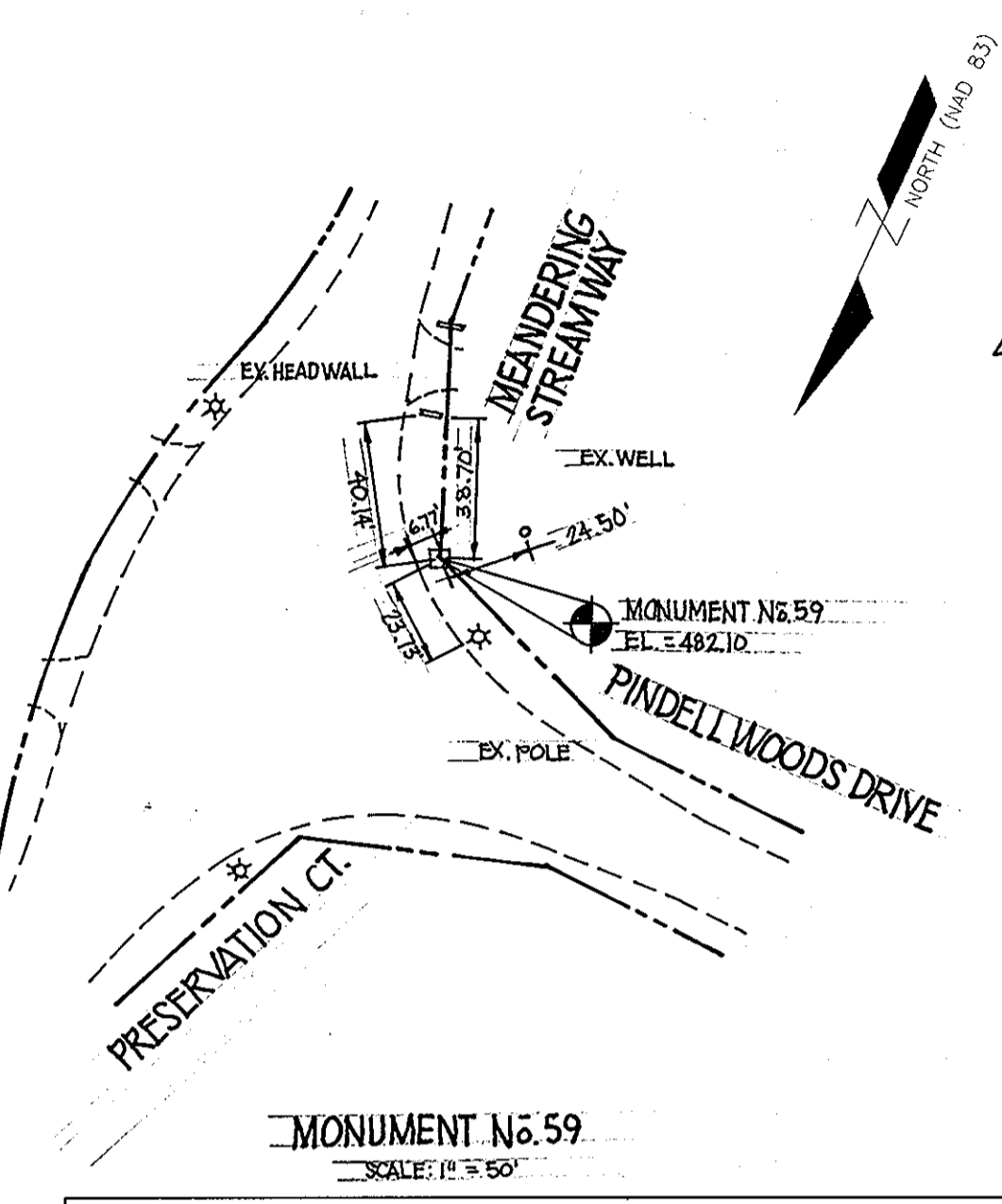
STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	31	2-1/2" - 3" CAL.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Richard M. Hawk* 5-1-01  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE

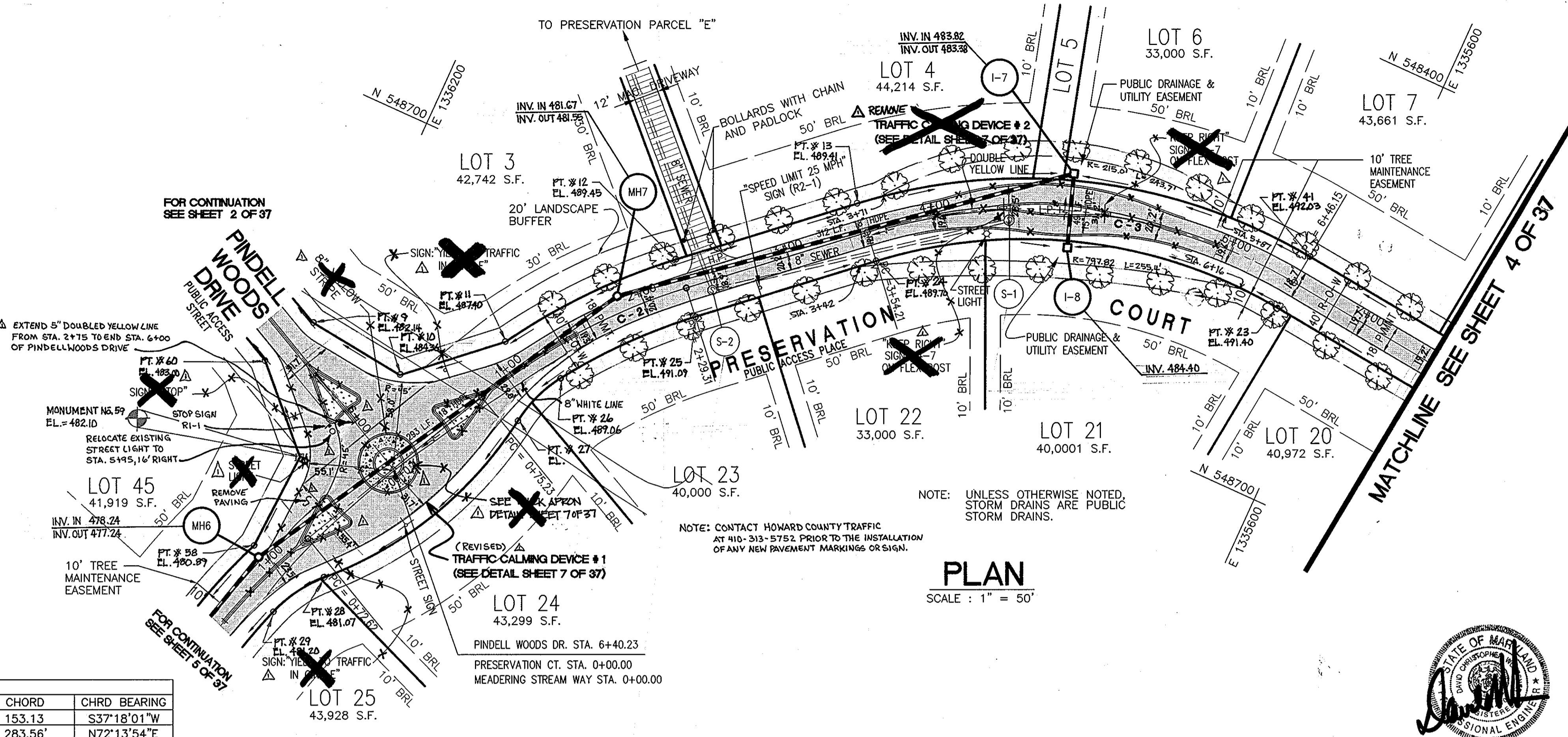
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Hovatta* 5/16/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE

*Mark Dammann* 5/16/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE

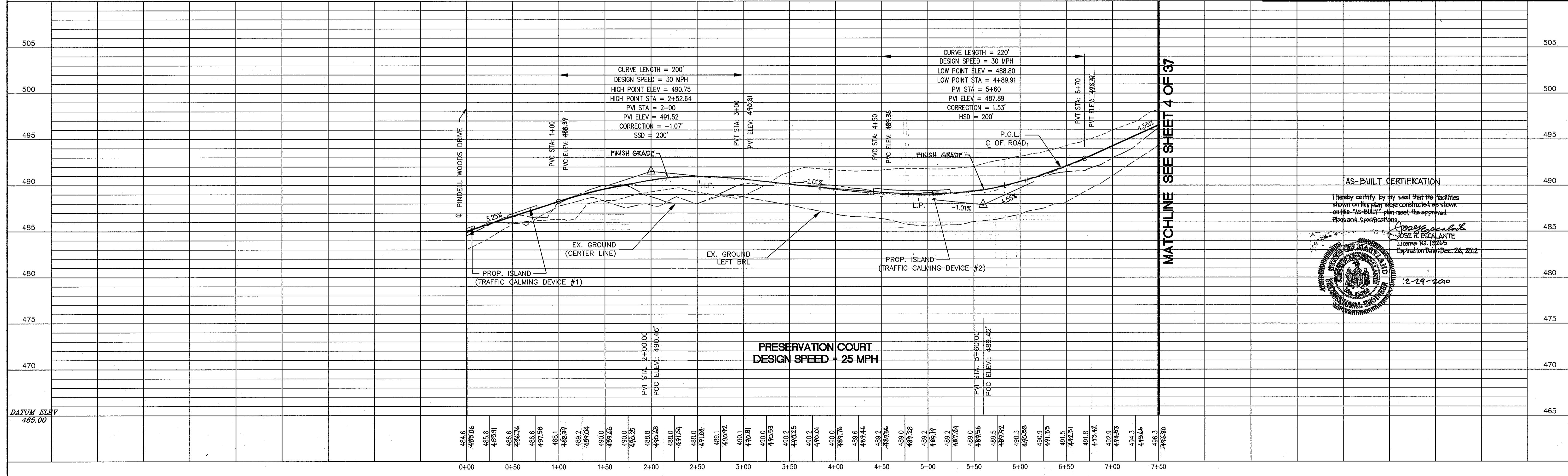
NO.	1-9-09	REMOVE TRAFFIC CALMING DEVICE #2 AND REVISE TRAFFIC CALMING DEVICE #1 SEE SHEET 7 FOR DETAILS.	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274			
PROJECT NAME <b>PINDELL WOODS</b>			
TITLES: <b>ROAD PROFILE PRESERVATION COURT</b> OWNERS: CLARENCE AND MARTHA CARVELL, 7106 PINDELL SCHOOL ROAD, FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE, 1921 ROCKVILLE PIKE, SUITE 300, ROCKVILLE, MD. 20852 MARSHALL P. TULIN, 1921 ROCKVILLE PIKE, SUITE 300, ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW, L.L.C., 6258 CARDINAL LA., COLUMBIA, MD. 21044			
PREPARED BY:	AMERICAN LAND DEVELOPMENT AND ENGINEERING INC., 10749 BIRMINGHAM WAY, WOODSTOCK, MD 21189, TEL: (410) 485-7903, FAX: (410) 485-3845		
DES.:	JL/DCW/AVG	JOB:	
DRW.:	AVG/DTA/INC	PROJ.:	
CHK.:	D.C.W.	DATE:	03/04/01
SCALE:		1" = 50'	
SHEET 3 OF 37			



CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHRD BEARING
C-2	154.08	400.00	22°04'13"	78.01	S37°18'01"W
C-3	291.95	350.00	47°47'33"	155.07	N72°13'54"E



**PLAN**  
SCALE: 1" = 50'

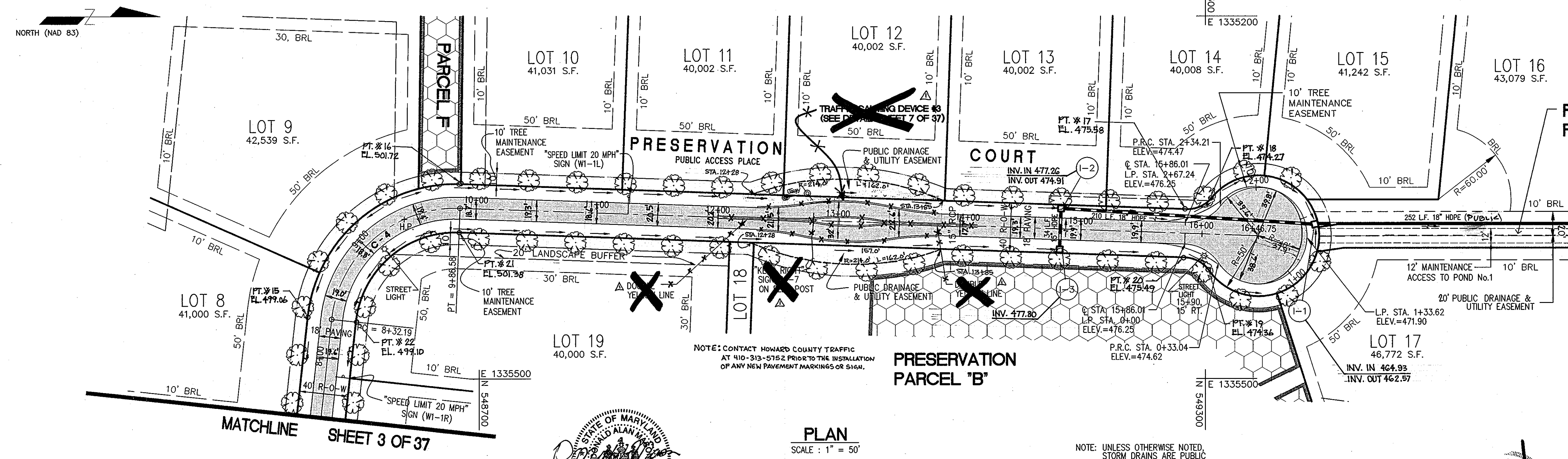


H:\pand\1\FINAL\PLAN\PROFILE-3.dwg Mod Apr 04 15:15:46 2001

**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

**AS-BUILT CERTIFICATION**  
 I hereby certify by my seal that the facilities shown on this plan were constructed as shown on the "AS-BUILT" plan meet the approved Plans and Specifications.  
*Jose H. Escalante*  
 JOSE H. ESCALANTE  
 License No. 13225  
 Expiration Date: Dec. 26, 2012  
 12-29-2010

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY	49	2-1/2" - 3" CAL.



**PRESERVATION PARCEL 'A'**

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Andrew M. Coker*  
 CHIEF, BUREAU OF HIGHWAYS 5-1-01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Craig Hunter*  
 CHIEF, DIVISION OF LAND DEVELOPMENT 5/16/01 DATE

*W.D. Thompson*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 5/16/01 DATE

NO. 1-9-09 DATE  
 REMOVE TRAFFIC CALMING DEVICE 3, AND REVISE CALMING DEVICE 1. SEE SHEET FOR DETAILS. REVISIONS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**  
 LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
 HOWARD COUNTY, MARYLAND.

TITLE: **ROAD PROFILE PRESERVATION COURT**

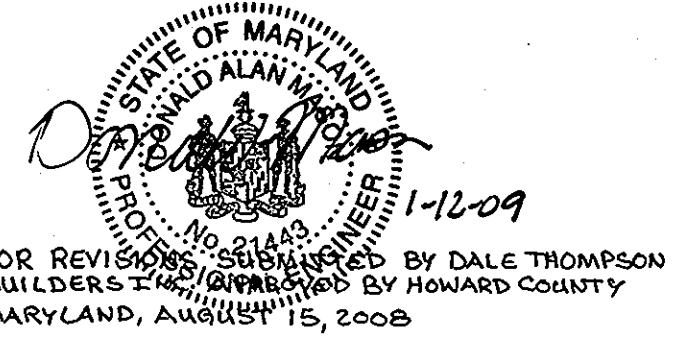
OWNERS: CLARENCE AND MARTHA CARVELL  
 7106 PINDELL SCHOOL ROAD  
 FULTON, MD. 20759  
 H Y REAL ESTATE JOINT VENTURE  
 1821 ROCKVILLE PIKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 MARSHALL P. TULIN  
 1821 ROCKVILLE PIKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 DEVELOPER: MOUNT VIEW, L.L.C.  
 COLUMBIA, MD. 21044

S-00-15 P-01-06 F-01-89

PREPARED BY:  
**AE** AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.  
 10749 BIRMINGHAM WAY  
 WOODSTOCK, MD 21169  
 TEL (410) 465-7903  
 FAX (410) 465-3845

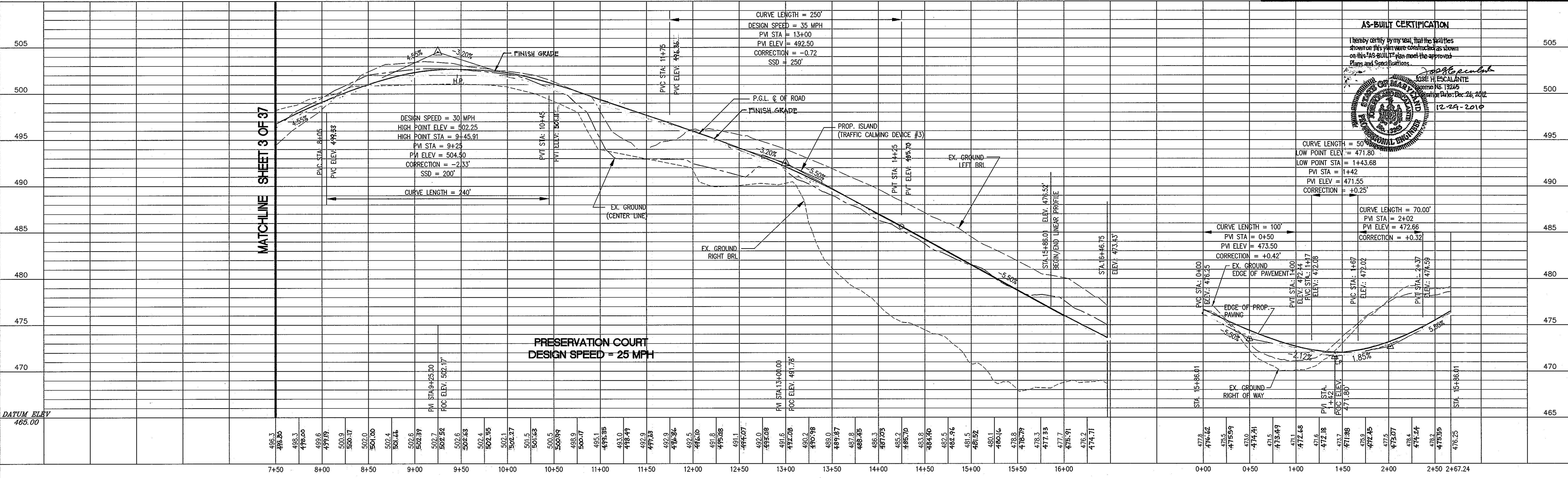
DES.: JL/DCW/AVG JOB:  
 DRW.: AVG/DTA/INC PROJ.:  
 CHK.: D.C.W. DATE: 03/04/01 SCALE: 1" = 50' SHEET 4 OF 37

CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHRD
C-4	154.39	103.00	85°52'57"	95.85	140.34'



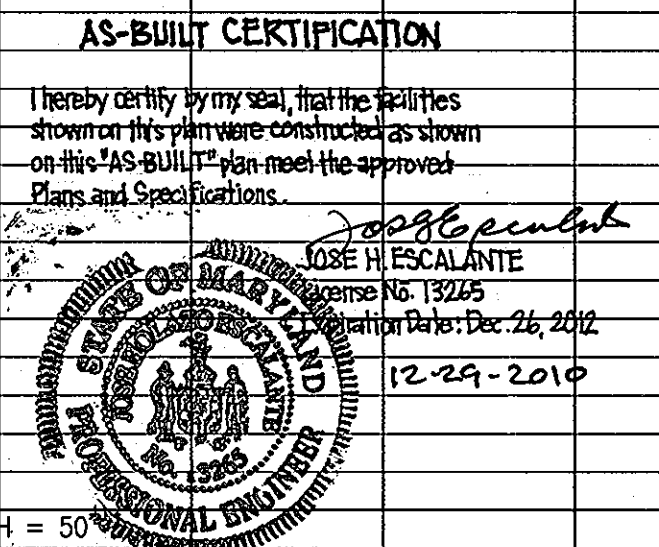
**PLAN**  
 SCALE: 1" = 50'

NOTE: UNLESS OTHERWISE NOTED, STORM DRAINS ARE PUBLIC STORM DRAINS



**PROFILE**  
 SCALE: 1" = 50' HOR.  
 1" = 5' VER.

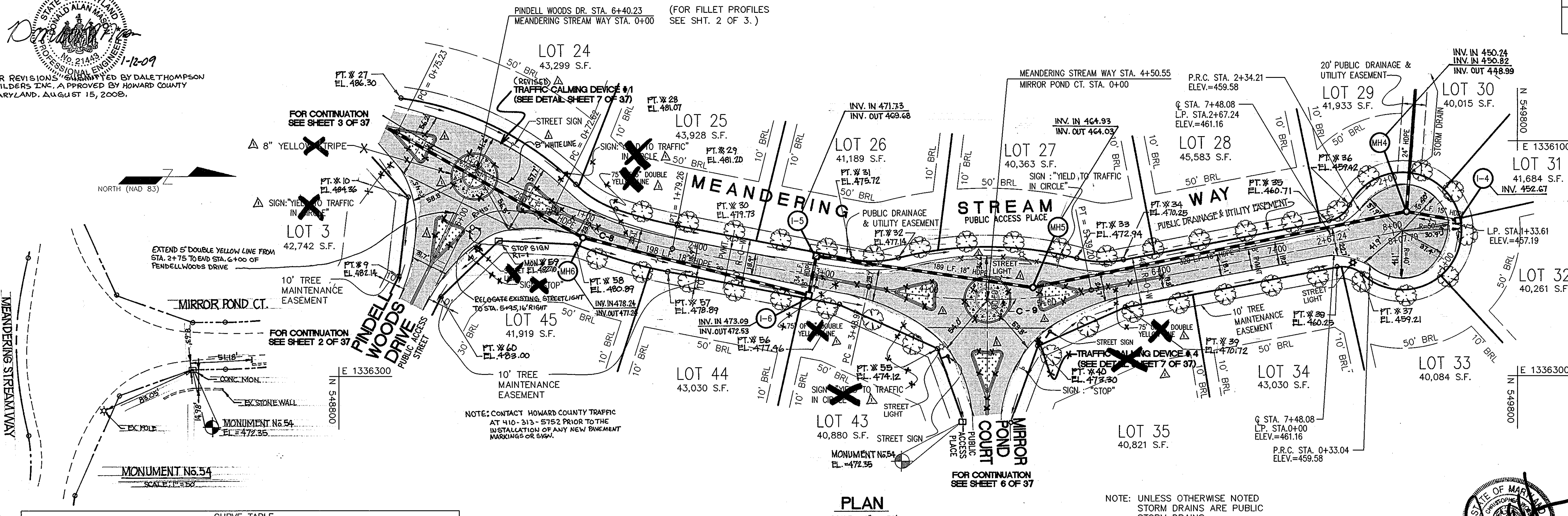
**LINEAR PROFILE**  
 SCALE: 1" = 50' HOR.  
 1" = 5' VER.





FOR REVISIONS SUBMITTED BY DALE THOMPSON BUILDERS INC. APPROVED BY HOWARD COUNTY MARYLAND, AUGUST 15, 2008.

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	38	2-1/2" - 3" CAL.



CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-8	106.64	400.00	15°16'30"	53.64	106.32	N18°37'39"E
C-9	190.23	465.00	23°26'22"	96.46	188.91	N00°57'47"W

PLAN  
SCALE: 1" = 50'

NOTE: UNLESS OTHERWISE NOTED STORM DRAINS ARE PUBLIC STORM DRAINS.



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*James H. Escalante* 5/1/01 DATE  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Harvath* 5/14/01 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*David Dammann* 5/14/01 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO. 1-9-09 DATE REVISIONS  
REVISION: RELOCATE TRAFFIC CALMING DEVICE #1 AND REMOVE TRAFFIC CALMING DEVICE #4 SEE SHEET 7 FOR DETAILS.

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**  
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
HOWARD COUNTY, MARYLAND.

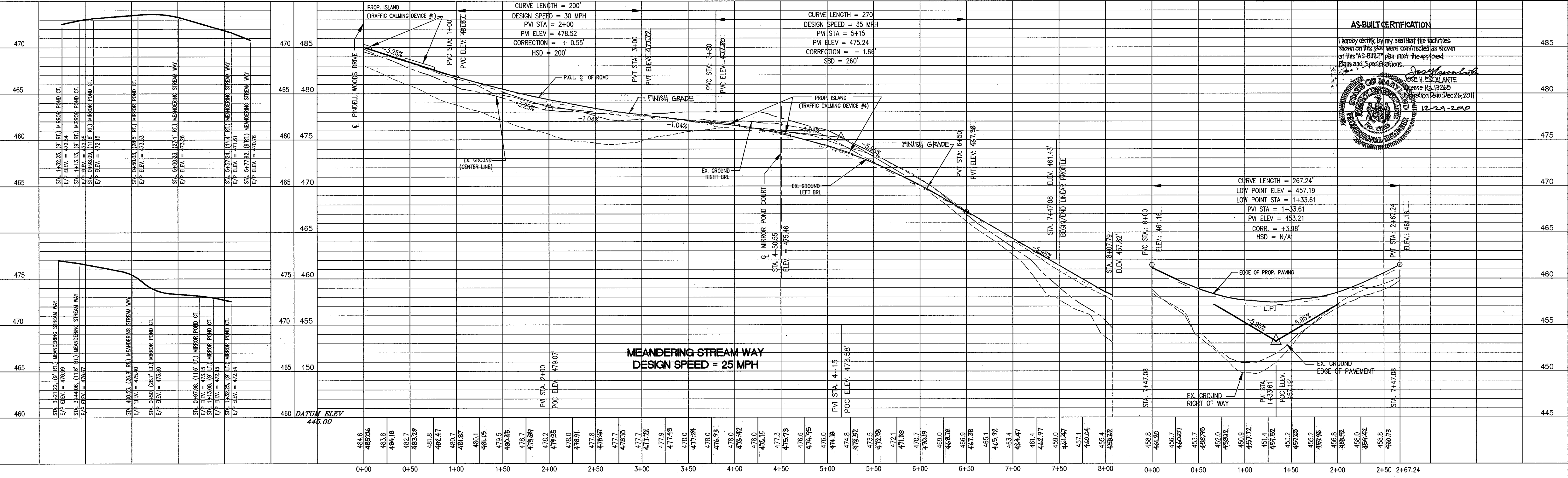
TITLE: **ROAD PROFILE MEANDERING STREAM WAY**

OWNERS: CLARENCE AND MARTHA CARVELL  
706 PINDELL SCHOOL ROAD  
FULTON, MD. 20759  
H Y REAL ESTATE JOINT VENTURE  
1821 ROCKVILLE PIKE, SUITE 300  
ROCKVILLE, MD. 20852  
MARSHALL P. TULIN  
1821 ROCKVILLE PIKE, SUITE 300  
ROCKVILLE, MD. 20852  
DEVELOPER: MOUNT VIEW, L.L.C.  
6258 CARDINAL LA.  
COLUMBIA, MD. 21044

PREPARED BY: **AE** AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.  
10749 BIRMINGHAM WAY  
WOODSTOCK, MD 21183  
TEL: (410) 468-7008  
FAX: (410) 468-9845

DES.: JL/DCW/AVG JOB: ROAD PROFILE  
DRW.: AVG/DTA/JNC PROJ.: MEANDERING STREAM WAY  
CHK.: D.C.W. DATE: 03/04/01

SCALE: 1" = 50'  
SHEET 5 OF 37



FILLET PROFILES  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

PROFILE  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

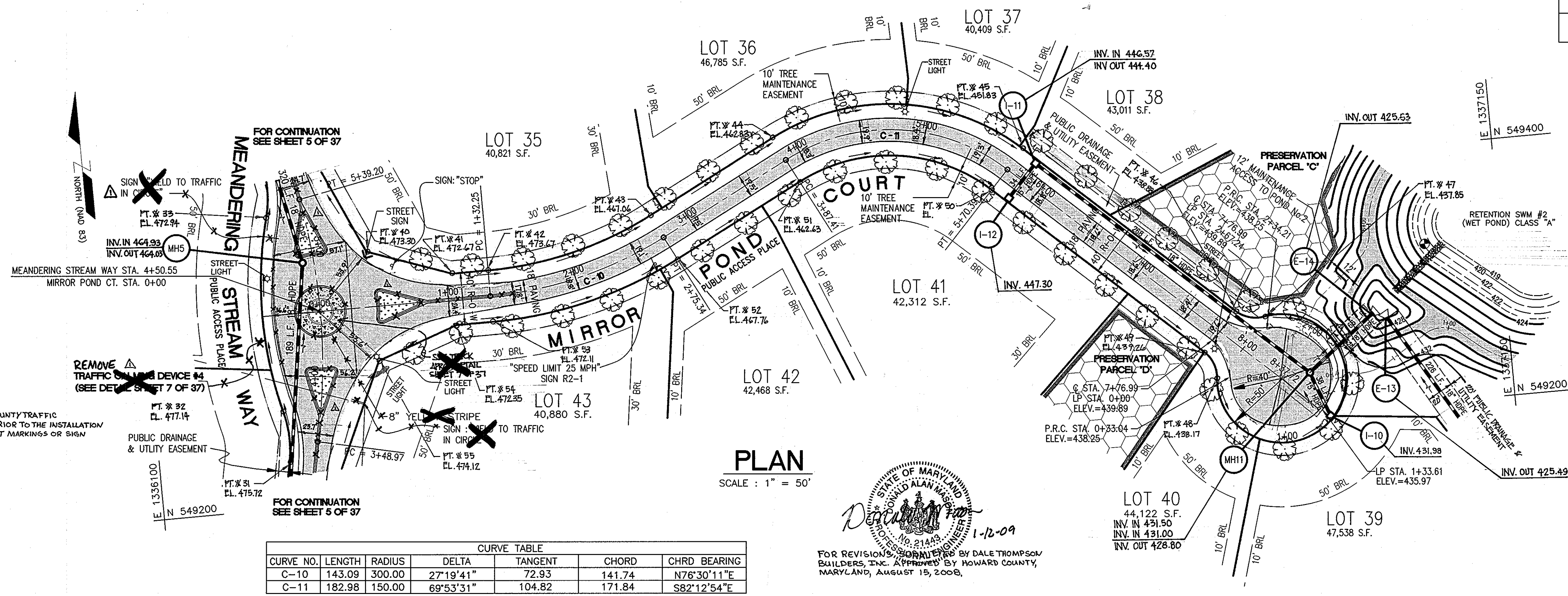
LINEAR PROFILE  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

AS-BUILT CERTIFICATION

I hereby certify, by my seal that the utilities shown on this plan were constructed in strict accordance with the approved Plans and Specifications.

*James H. Escalante*  
JAMES H. ESCALANTE  
License No. 13225  
Issued on Date: Dec 26, 2011  
12-21-2011

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	44	2-1/2" - 3" CAL



CURVE TABLE						
CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-10	143.09	300.00	27°19'41"	72.93	141.74	N76°30'11"E
C-11	182.98	150.00	69°53'31"	104.82	171.84	S82°12'54"E

STATE OF MARYLAND  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF HIGHWAYS  
 1-12-09  
 FOR REVISIONS AND SIGNATURE BY DALE THOMPSON  
 BUILDERS, INC. APPROVED BY HOWARD COUNTY,  
 MARYLAND, AUGUST 15, 2008.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Barrett M. Carver* 5-1-01  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Hamon* 5/16/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*W.D. Dammann* 5/11/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO. 1-9-09 REMOVE TRAFFIC CALMING DEVICE #4. SEE SHEET 7 FOR DETAILS  
 DATE REVISIONS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

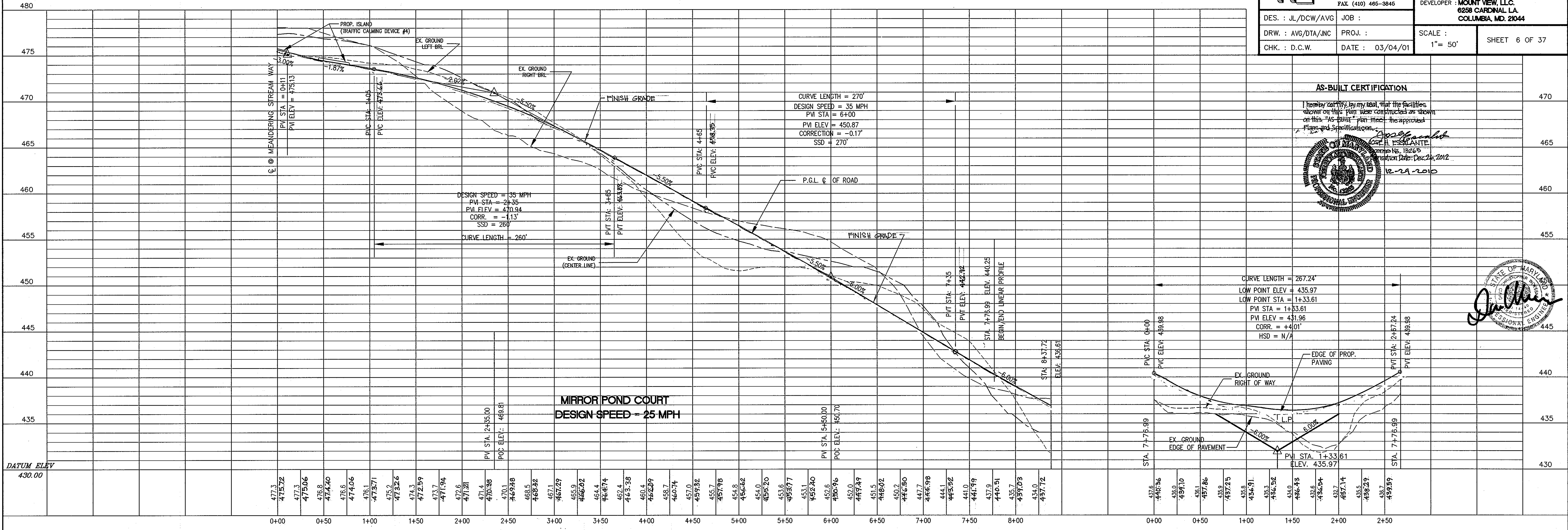
PROJECT NAME **PINDELL WOODS**  
 LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
 HOWARD COUNTY, MARYLAND.

TITLE **ROAD PROFILE MIRROR POND COURT**

OWNERS: CLARENCE AND MARTHA CARVELL  
 7106 PINDELL SCHOOL ROAD  
 FULTON, MD. 20759  
 H Y REAL ESTATE JOINT VENTURE  
 1821 ROCKVILLE PKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 MARSHALL P. TULIN  
 1821 ROCKVILLE PKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 DEVELOPER: MOUNT VIEW, L.L.C.  
 6258 CARDINAL LA.  
 COLUMBIA, MD. 21044

DES. : JL/DCW/AVG JOB :  
 DRW. : AVG/DTA/JNC PROJ. :  
 CHK. : D.C.W. DATE : 03/04/01

SCALE : 1" = 50'  
 SHEET 6 OF 37



**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan in accordance with the approved Plans and Specifications.

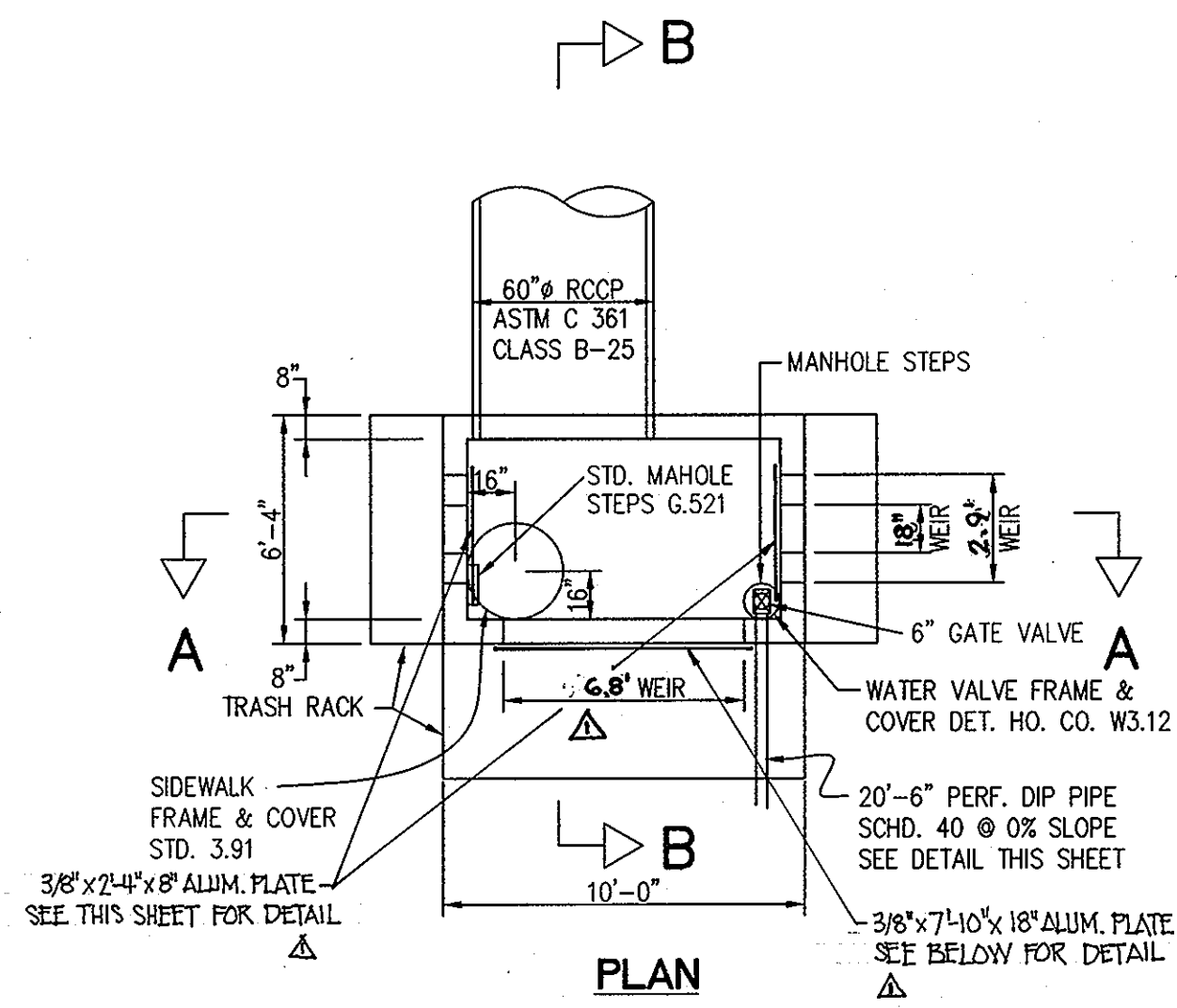
*Joseph A. Esposito*  
 J. A. ESPOSITO  
 No. 12265  
 Expiration Date: Dec. 20, 2012  
 12-29-2010

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER

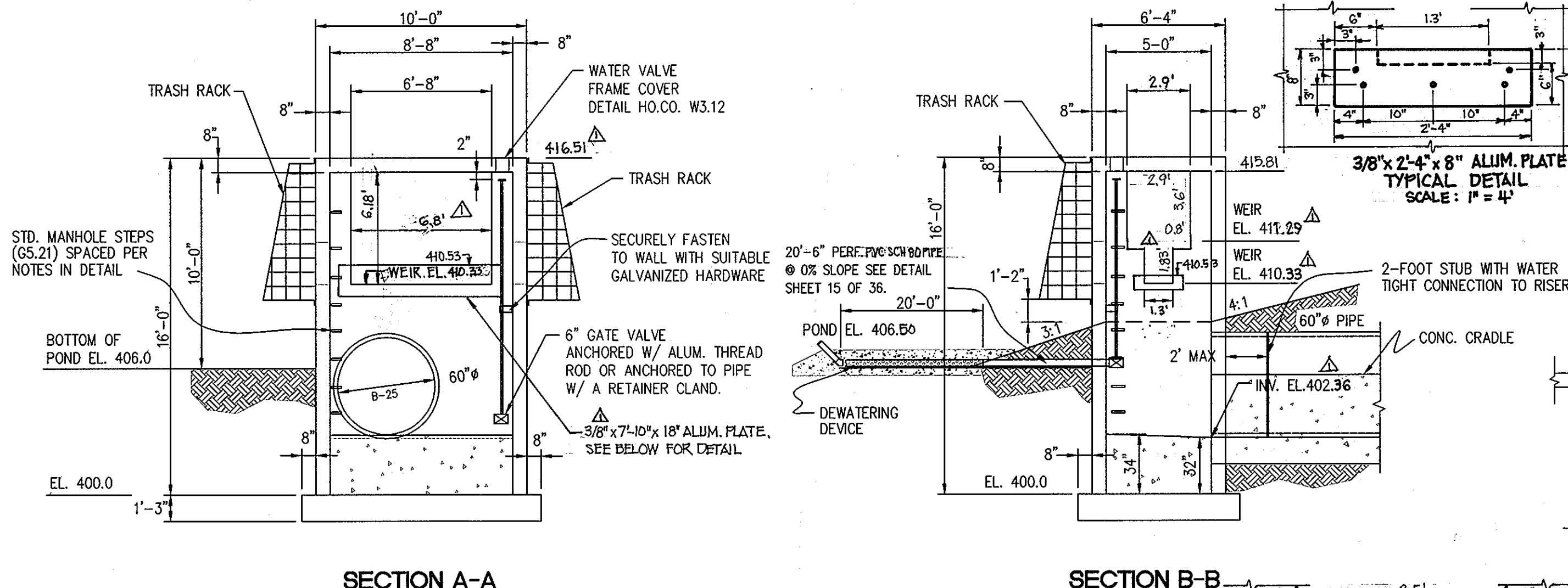
H:\pindel1\TMAPL\PROFILES-5.dwg Wed Apr 11 14:06:10 2001

F-01-89

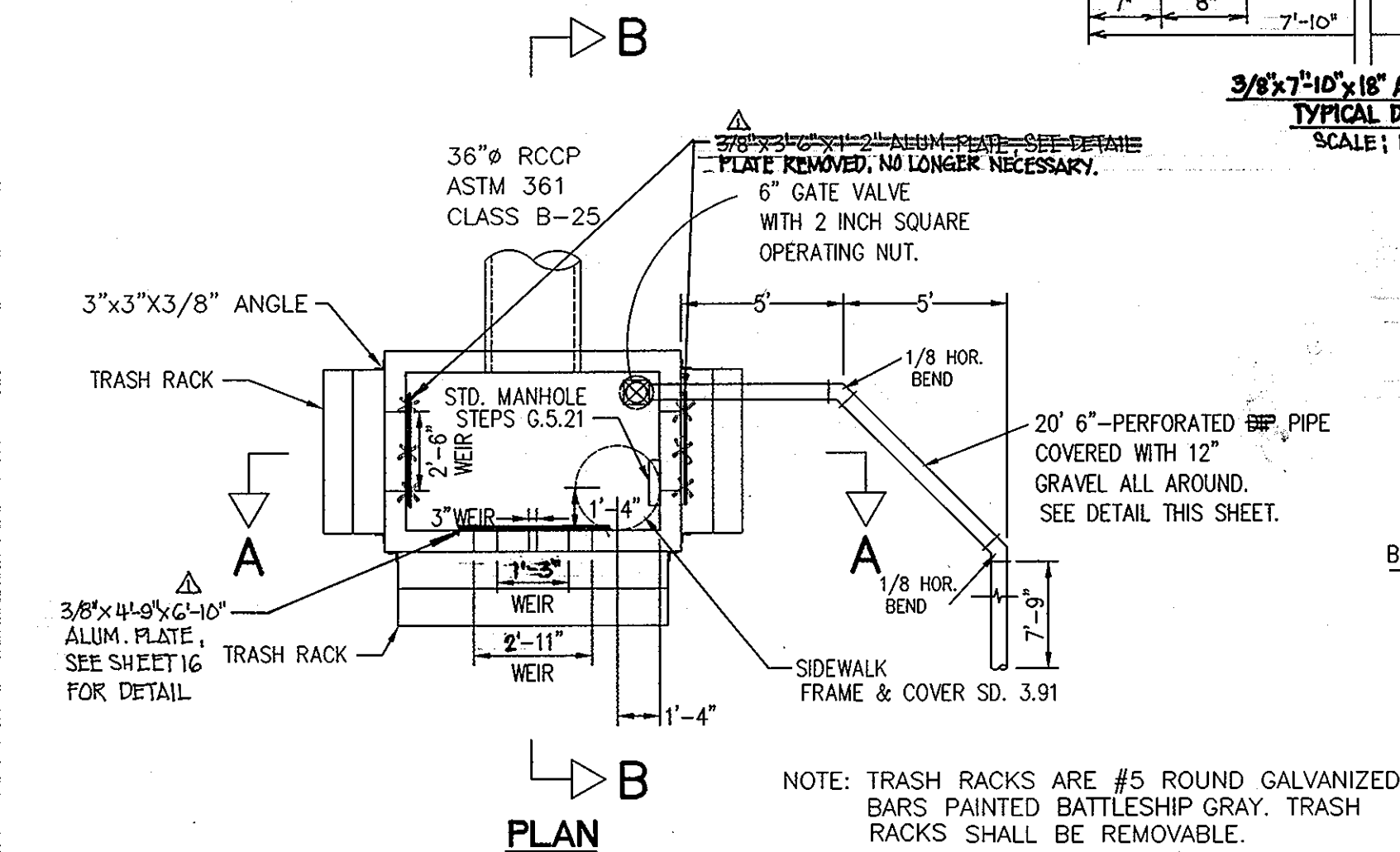




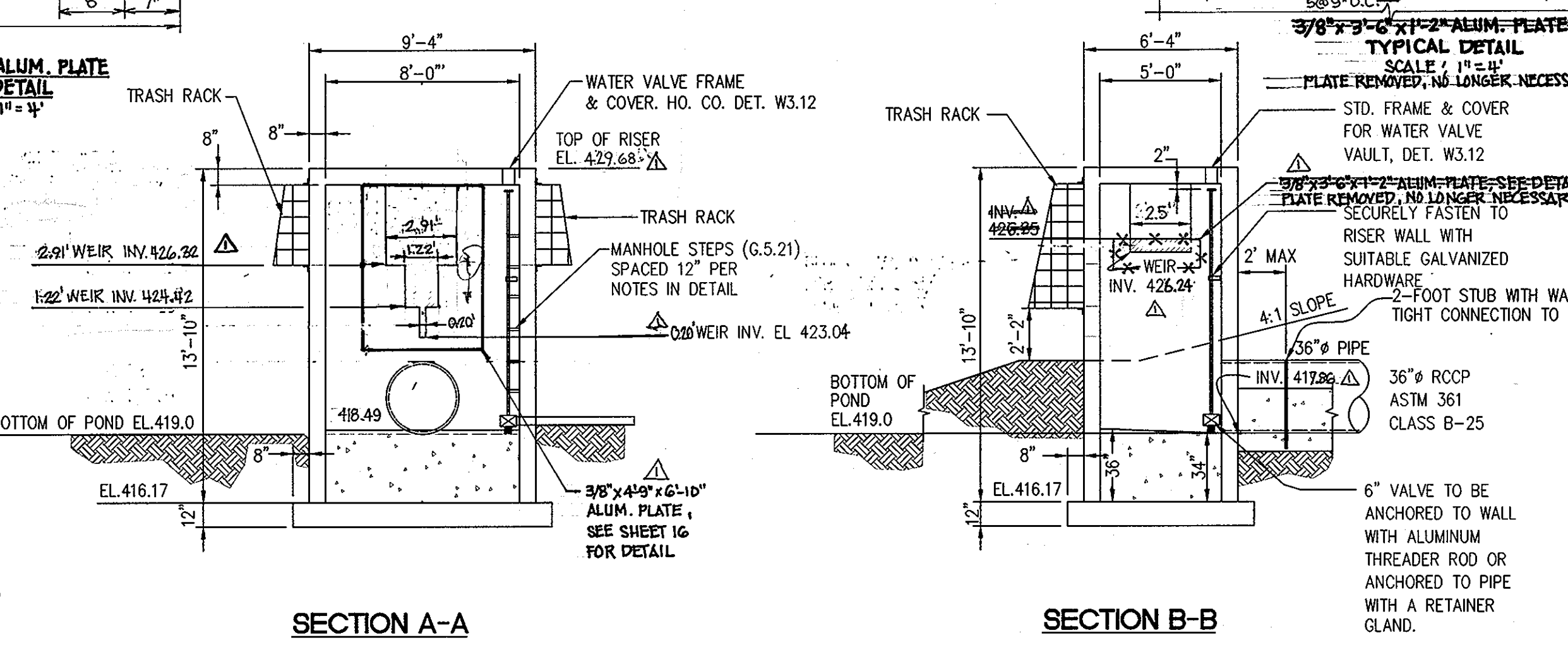
**STRUCTURE DETAIL OF POND # 1**  
SCALE: 1" = 5'



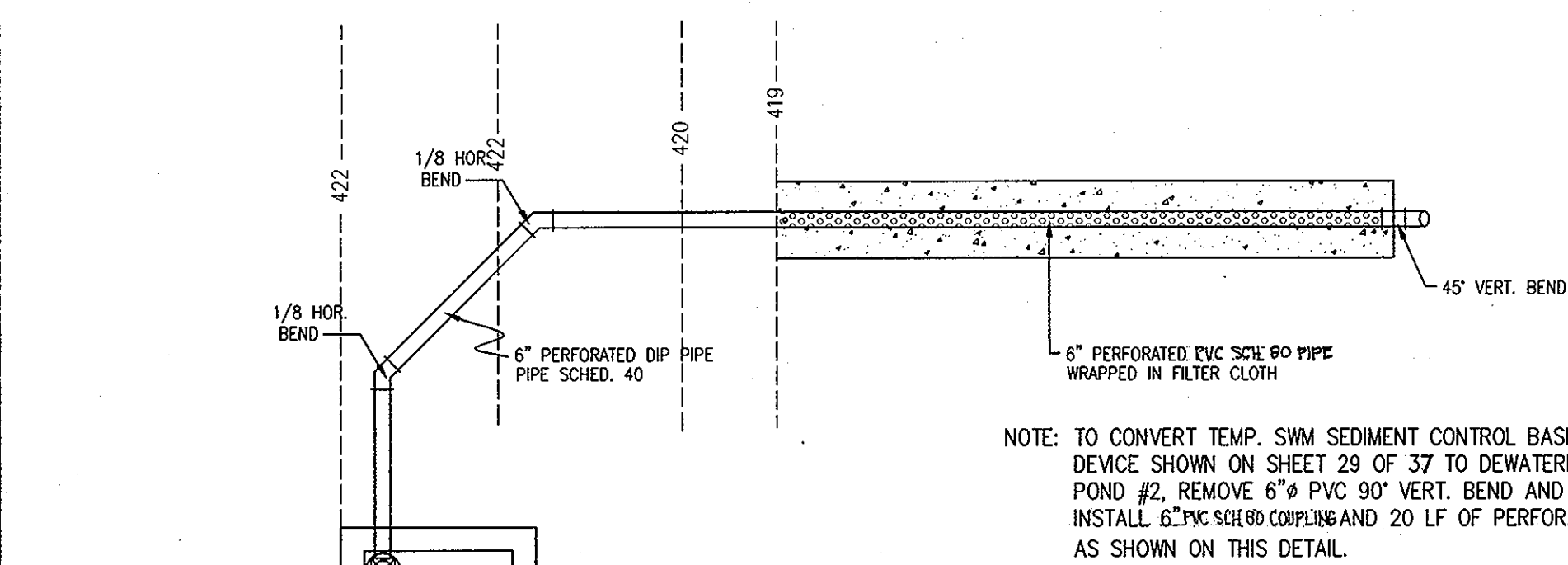
**STRUCTURE DETAIL OF POND # 1**  
SCALE: 1" = 5'



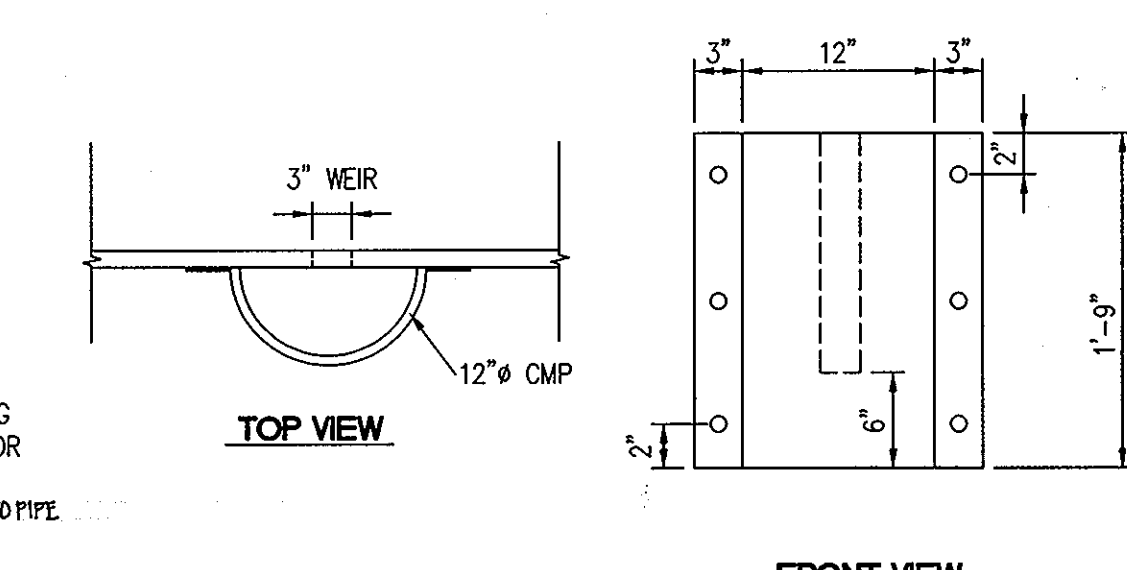
**STRUCTURE DETAIL OF POND # 2**  
SCALE: 1" = 5'



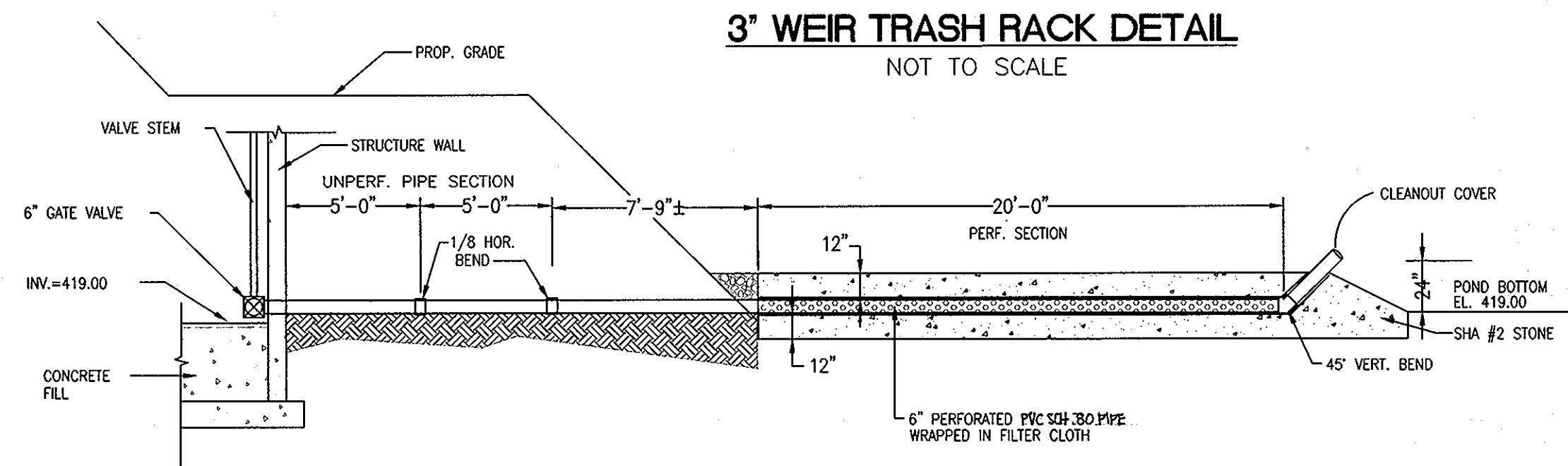
**STRUCTURE DETAIL OF POND # 2**  
SCALE: 1" = 5'



**DEWATERING DEVICE FOR POND # 2**



**3" WEIR TRASH RACK DETAIL**  
NOT TO SCALE



**DEWATERING DEVICE FOR POND # 2**

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Robert M. ...* 5/1/01 DATE  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Andy ...* 5/16/01 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*...* 5/16/01 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

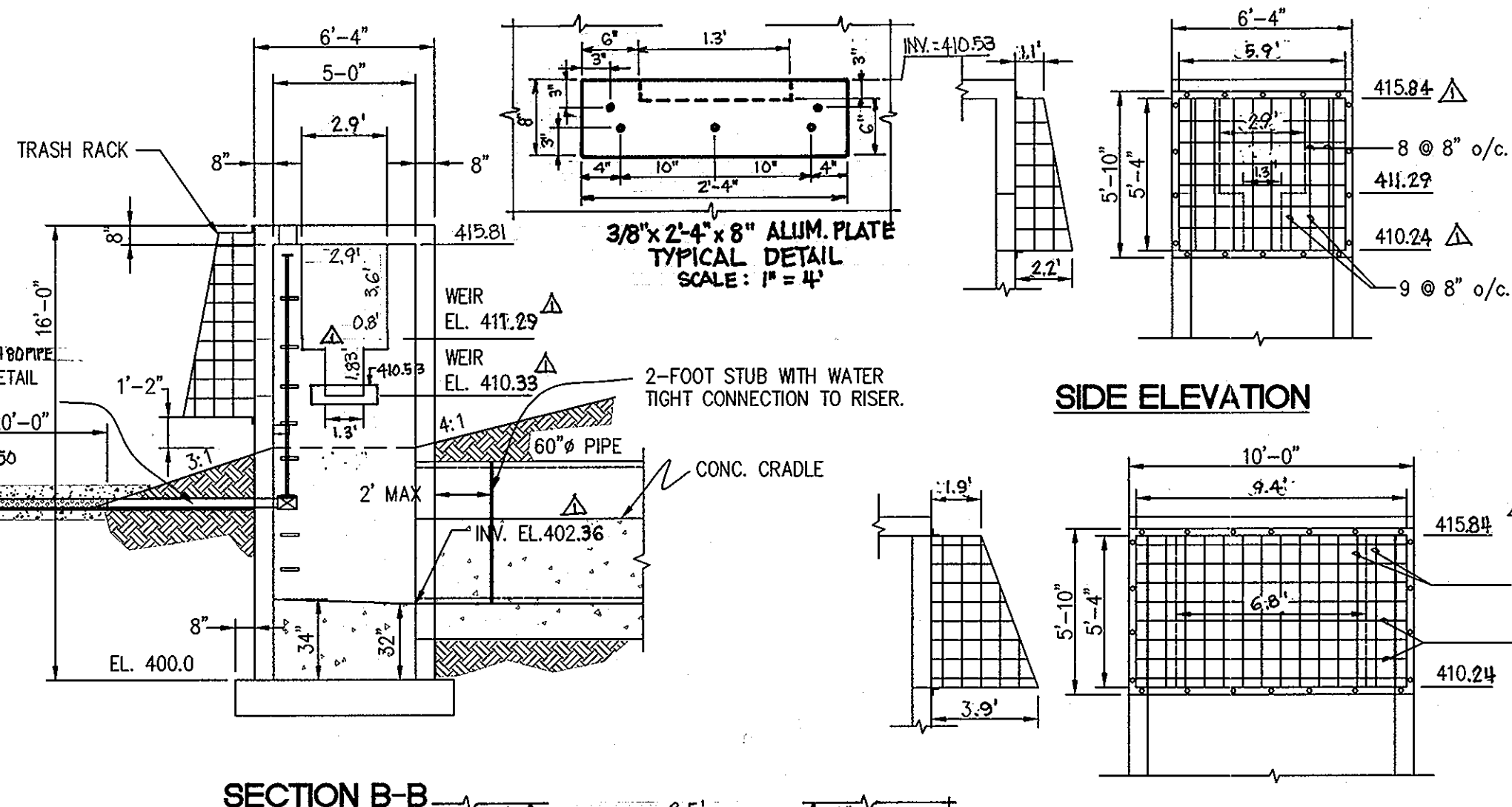
**AS-BUILT CERTIFICATION**

I hereby certify by my seal that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plans meet the Approved Plans and Specifications.

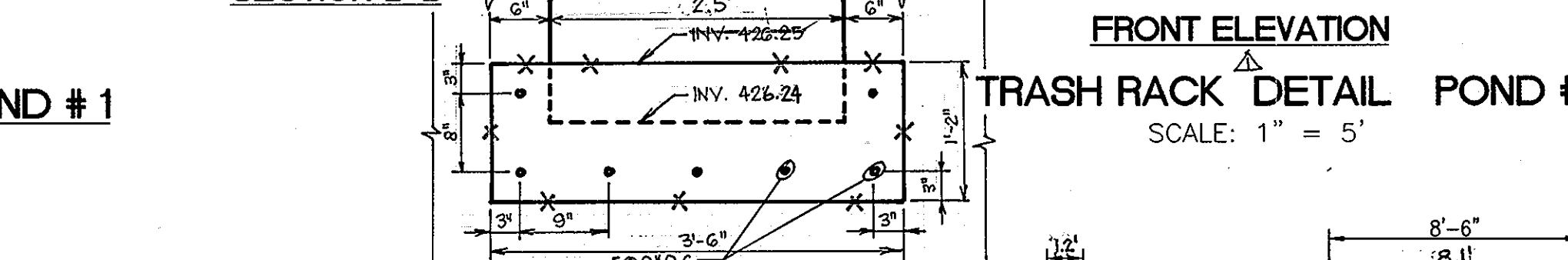
*Jose H. Escalante*  
 License No. 13265  
 Expiration Date: Dec. 26, 2012  
 12-22-2010

1. CONSTRUCTION TO FIELD CONDITION
2. CHANGES TO BE INDICATED
3. TRASH RACK SHALL BE REMOVABLE

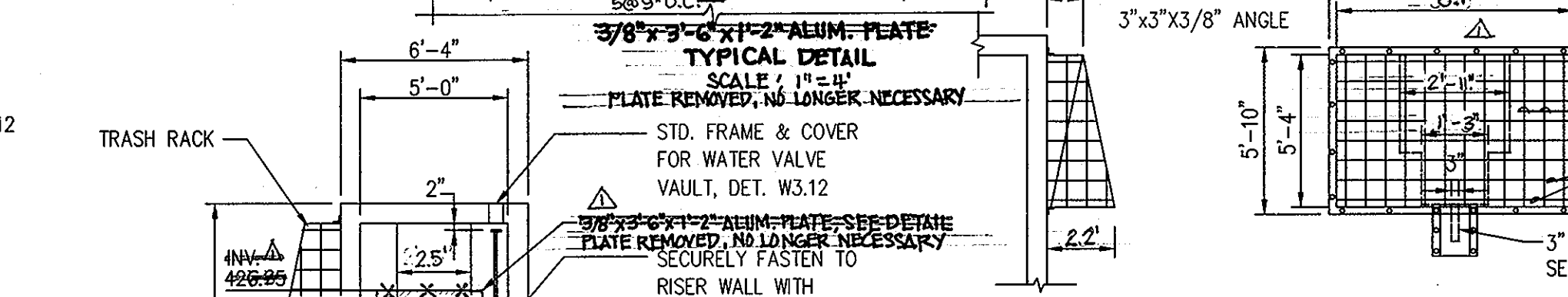
1. CONSTRUCTION TO FIELD CONDITION  
 2. CHANGES TO BE INDICATED  
 3. TRASH RACK SHALL BE REMOVABLE



**SIDE ELEVATION**

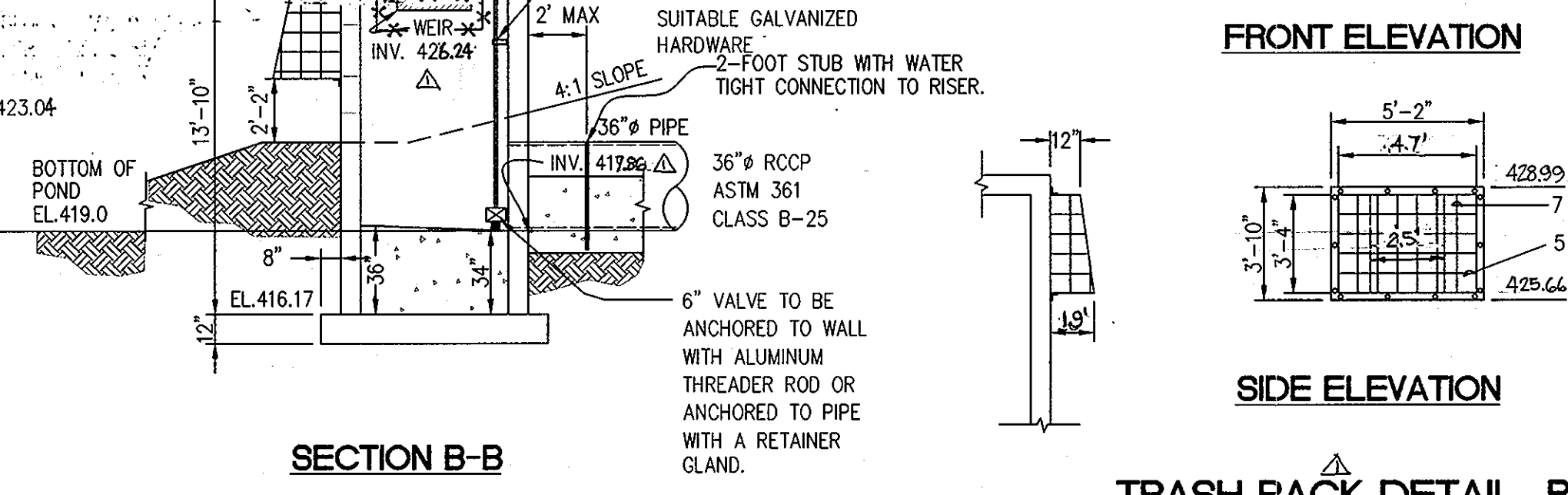


**FRONT ELEVATION**

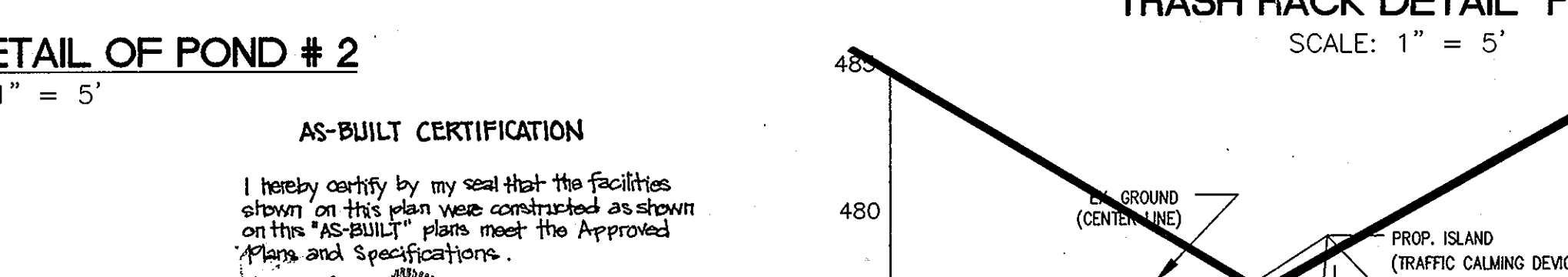


**SECTION A-A**

**TRASH RACK DETAIL POND # 1**  
SCALE: 1" = 5'

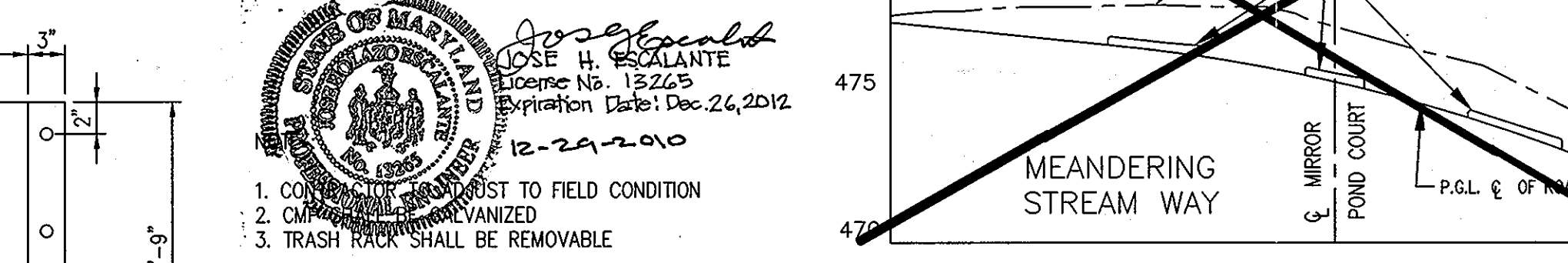


**FRONT ELEVATION**

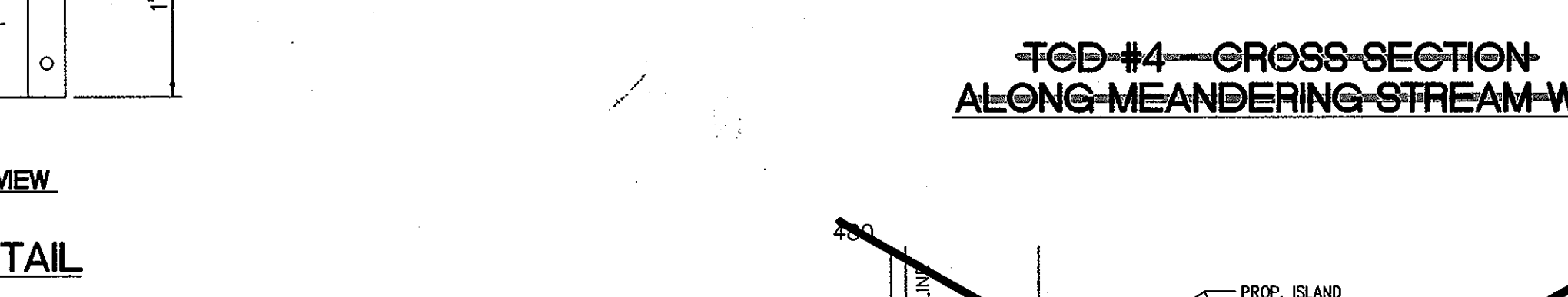


**SECTION A-A**

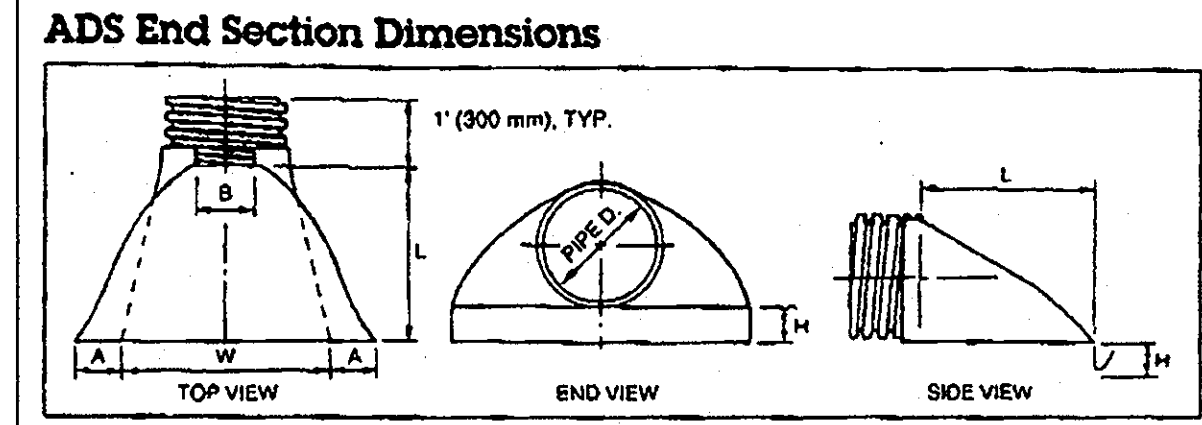
**TRASH RACK DETAIL POND # 2**  
SCALE: 1" = 5'



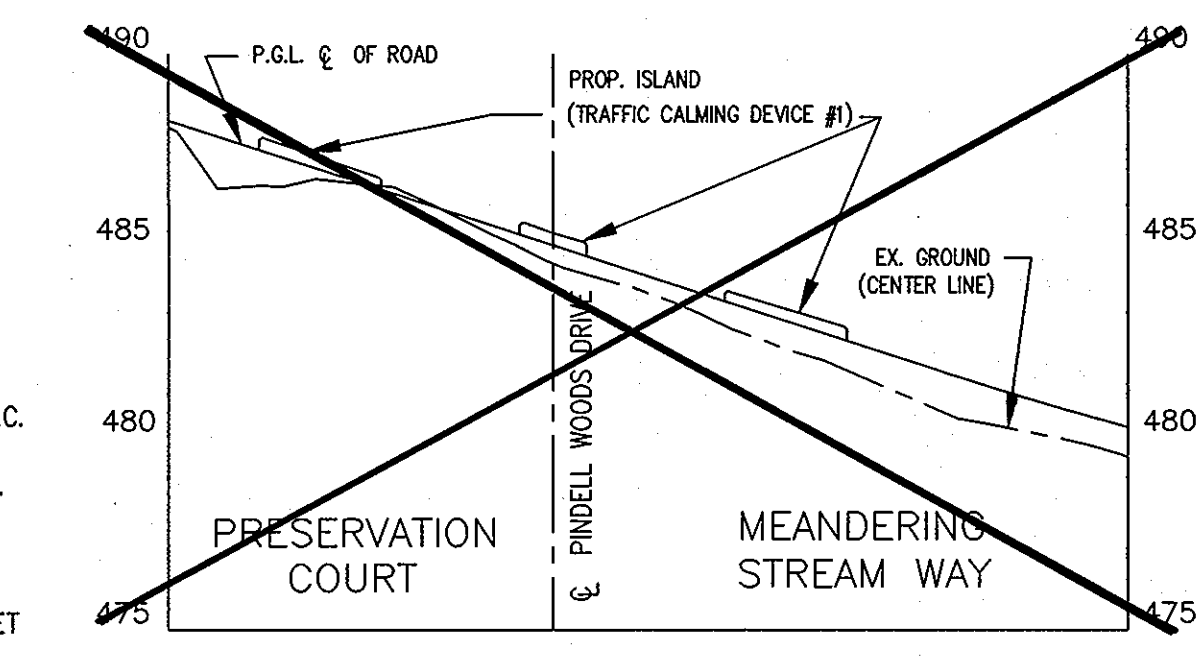
**TCD #4 - CROSS-SECTION ALONG MEANDERING STREAM WAY**



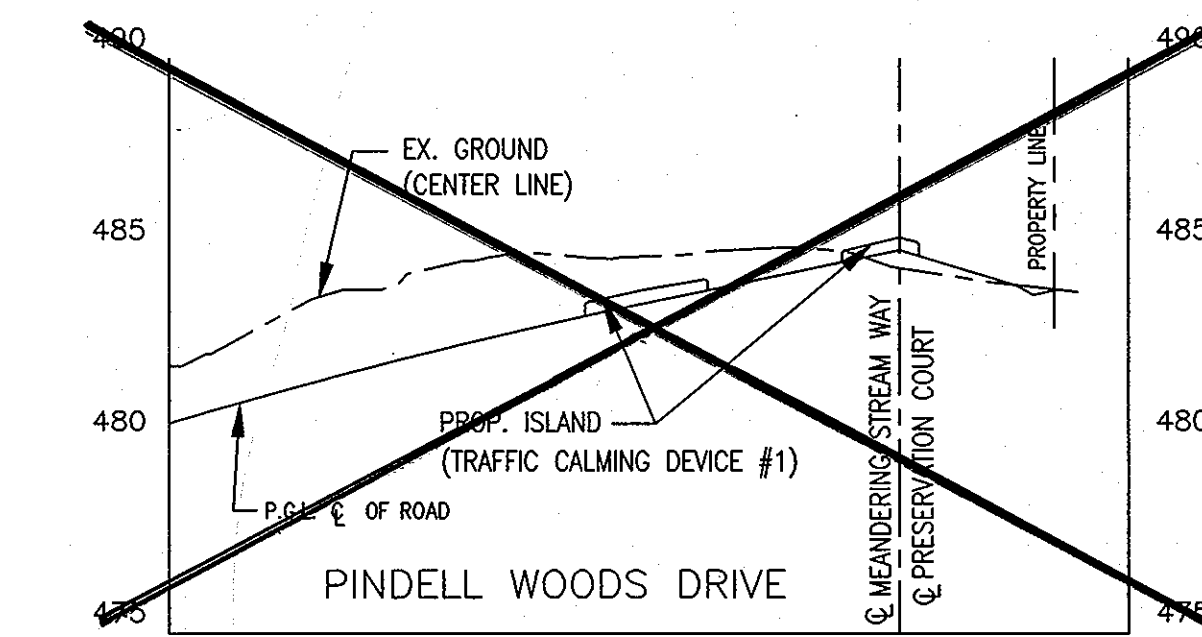
**TCD #4 - CROSS-SECTION ALONG MIRROR POND COURT**



Pipe Diameter	Part No.	Dimensions, inches (mm)			
		A, ±1 (25)	B MAX	H, ±1 (25)	L, ±1/2 (13)
12 (300, 375)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)
18 (450)	1810 NP	7.5 (190)	15 (380)	6.5 (165)	32 (812)
24 (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	38 (960)
30 (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1348)
36 (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1348)



**TCD #1 - CROSS SECTION ALONG PRESERVATION CT. AND MEANDERING STREAM WAY**



**TCD #1 - CROSS SECTION ALONG PINELL WOODS DRIVE**



SEAL & SIGNATURE IS FOR REVISION ONLY

NO.	DATE	REVISIONS
1	11-30-09	INSTALL ALUMINUM PLATE SHOWN ON DETAILS TO CHANGE WEIR OPENING/INLETS ON POND # 2 AND WEIR INVERTS FOR POND # 1
2		REV WEIR TRASH RACK INVERTS ELEV. BASED ON SURVEY DATA RECONFIGURE POND # 2 WEIR OPENING

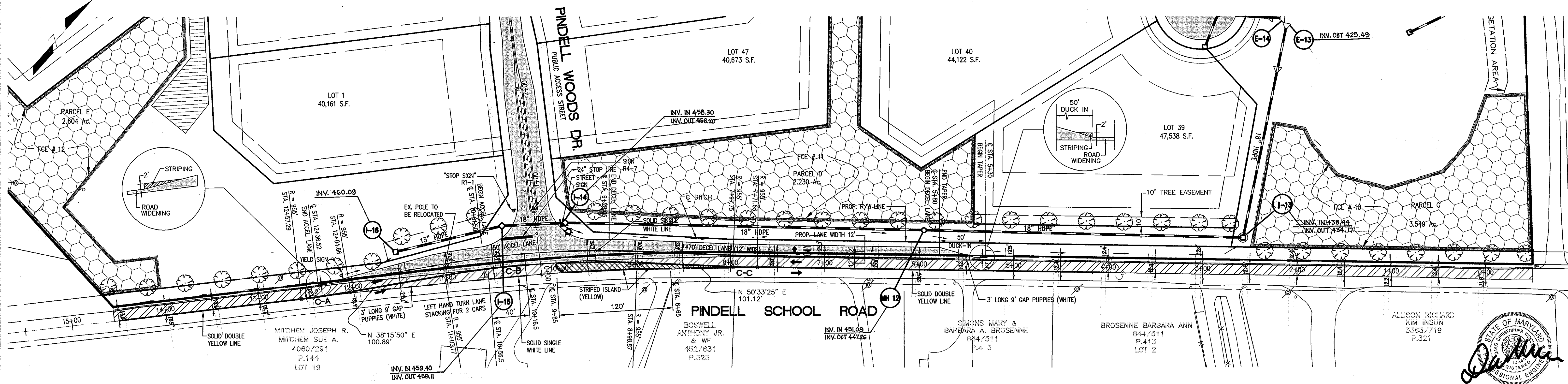
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
 HOWARD COUNTY, MARYLAND.

TITLE: <b>MISCELLANEOUS DETAILS</b>	OWNERS: <b>CLARENCE AND MARTHA CARVELL</b> 706 PINDELL SCHOOL ROAD FULTON, MD. 20789
PREPARED BY: <b>AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.</b> 10749 BIRMINGHAM WAY WOODSTOCK, MD 21168 TEL: (410) 485-7903 FAX: (410) 485-3845	DEVELOPER: <b>MOUNT VIEW, L.L.C.</b> 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES.: <b>UL/DCW/AVG</b>	JOB:
DRW.: <b>AVG/DIA/JNC</b>	PROJ.:
CHK.: <b>D.C.W.</b>	DATE: <b>03/04/01</b>
SCALE: <b>AS SHOWN</b>	SHEET <b>7A</b> OF <b>37</b>





**STREET TREE PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	37	2-1/2" - 3" CAL.

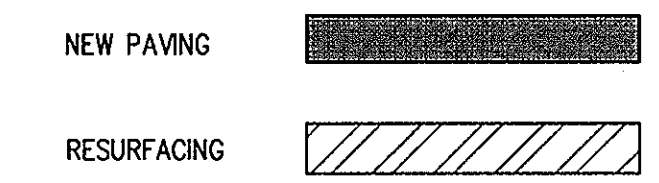
**CURVE TABLE**

CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-A	52.63	955.00	03°09'28"	26.32	52.63	N39°50'34"E
C-B	204.90	955.00	12°17'36"	102.85	204.51	N44°24'38"E
C-C	26.12	955.00	01°34'01"	13.06	26.12	N49°46'25"E

**PLAN**  
SCALE: 1" = 50'

NOTE: PROPOSED IMPROVEMENT TO PINDELL SCHOOL ROAD PER HOWARD COUNTY DETAIL No. R-10.01. PLEASE SEE SHEET 7 OF 37.

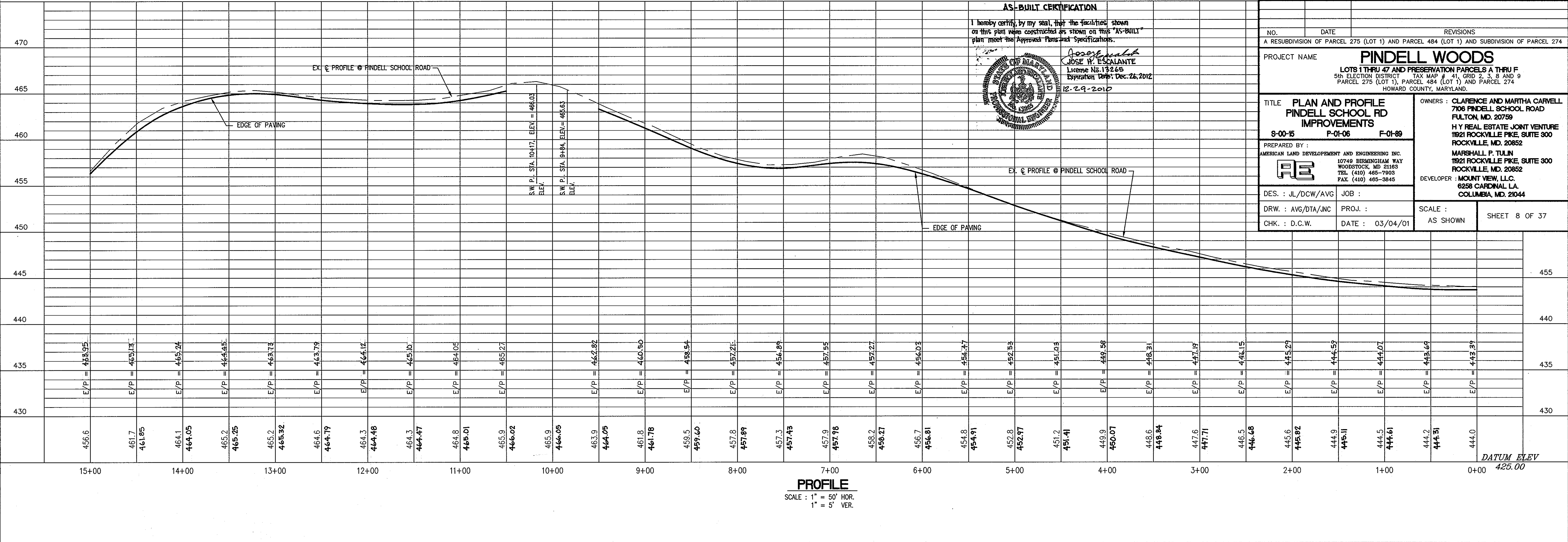
**LEGEND:**



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Robert M. Dwyer* 5-1-01  
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Schmitt* 5/6/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

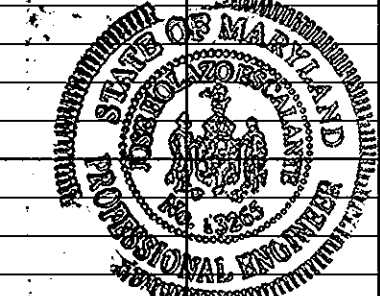
*Michael Damme* 5/11/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the Approved Plans and Specifications.

*Jose H. Escalante*  
JOSE H. ESCALANTE  
License No. 13265  
Expiration Date: Dec. 26, 2012  
12-29-2010



NO. \_\_\_\_\_ DATE \_\_\_\_\_ REVISIONS \_\_\_\_\_

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
5th ELECTION DISTRICT TAX MAP # 11, GRID 2, 3, 8 AND 9  
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
HOWARD COUNTY, MARYLAND.

TITLE: **PLAN AND PROFILE PINDELL SCHOOL RD IMPROVEMENTS**

8-00-15 P-01-06 F-01-89

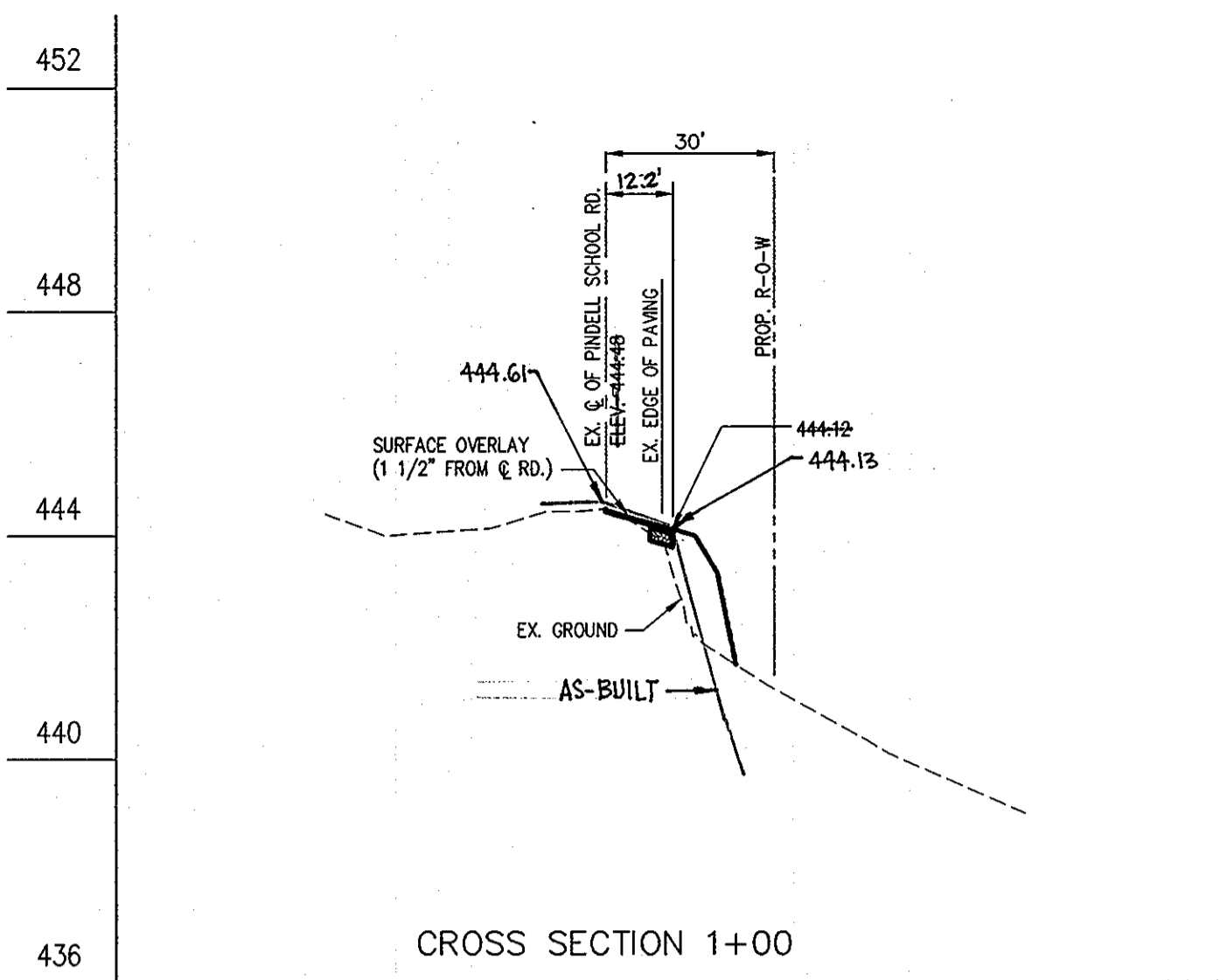
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.  
10749 BIRMINGHAM WAY  
WOODSTOCK, MD 21163  
TEL (410) 485-7903  
FAX (410) 485-3845

OWNERS: CLARENCE AND MARTHA CARVELL  
706 PINDELL SCHOOL ROAD  
FULTON, MD. 20759  
H Y REAL ESTATE JOINT VENTURE  
1821 ROCKVILLE PIKE, SUITE 300  
ROCKVILLE, MD. 20852

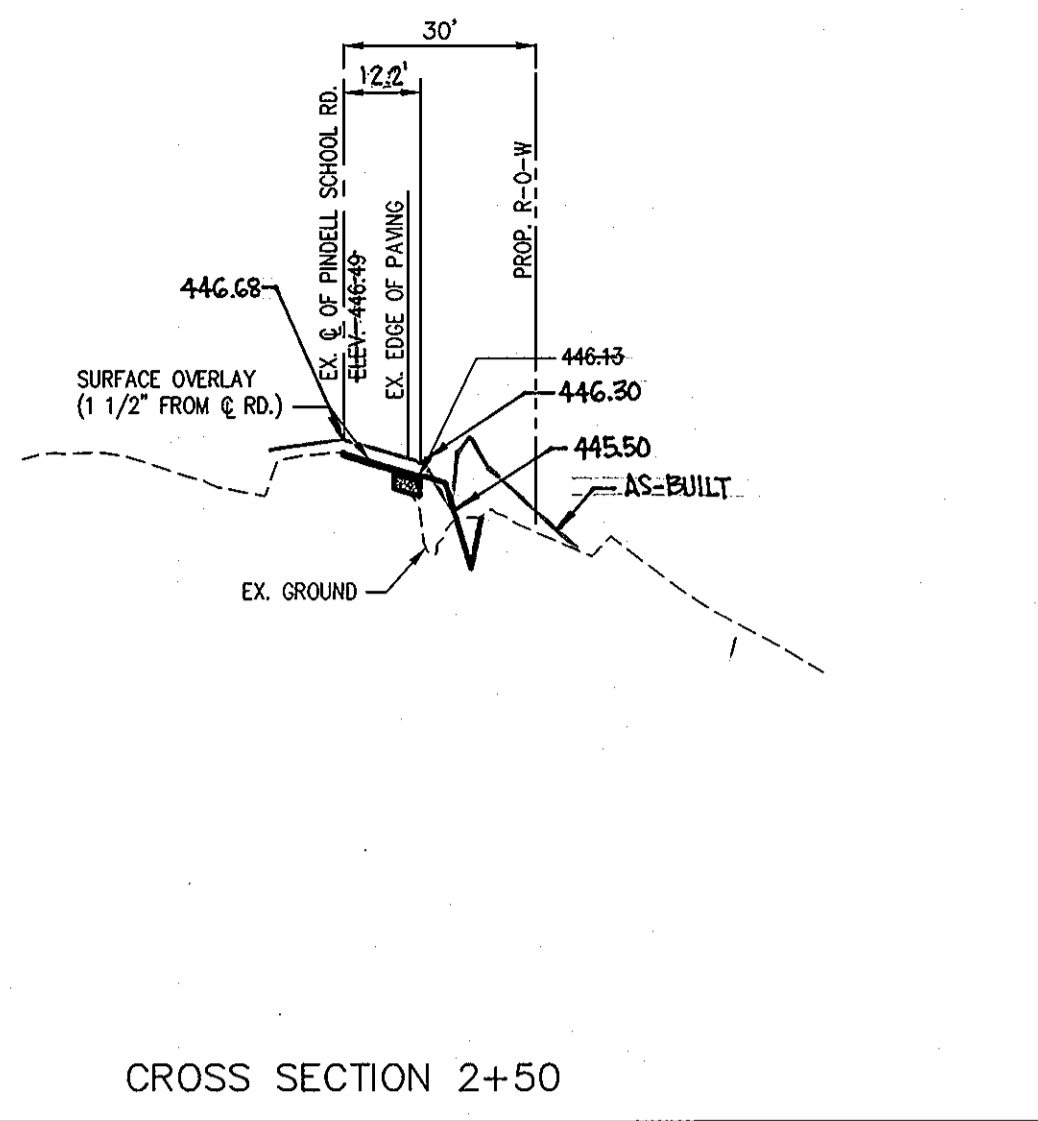
DEVELOPER: MOUNT VIEW, LLC.  
6258 CARDINAL LA  
COLUMBIA, MD. 21044

DES.: JL/DCW/AVG JOB: \_\_\_\_\_  
DRW.: AVG/DTA/JNC PROJ.: \_\_\_\_\_  
CHK.: D.C.W. DATE: 03/04/01 SCALE: AS SHOWN SHEET 8 OF 37

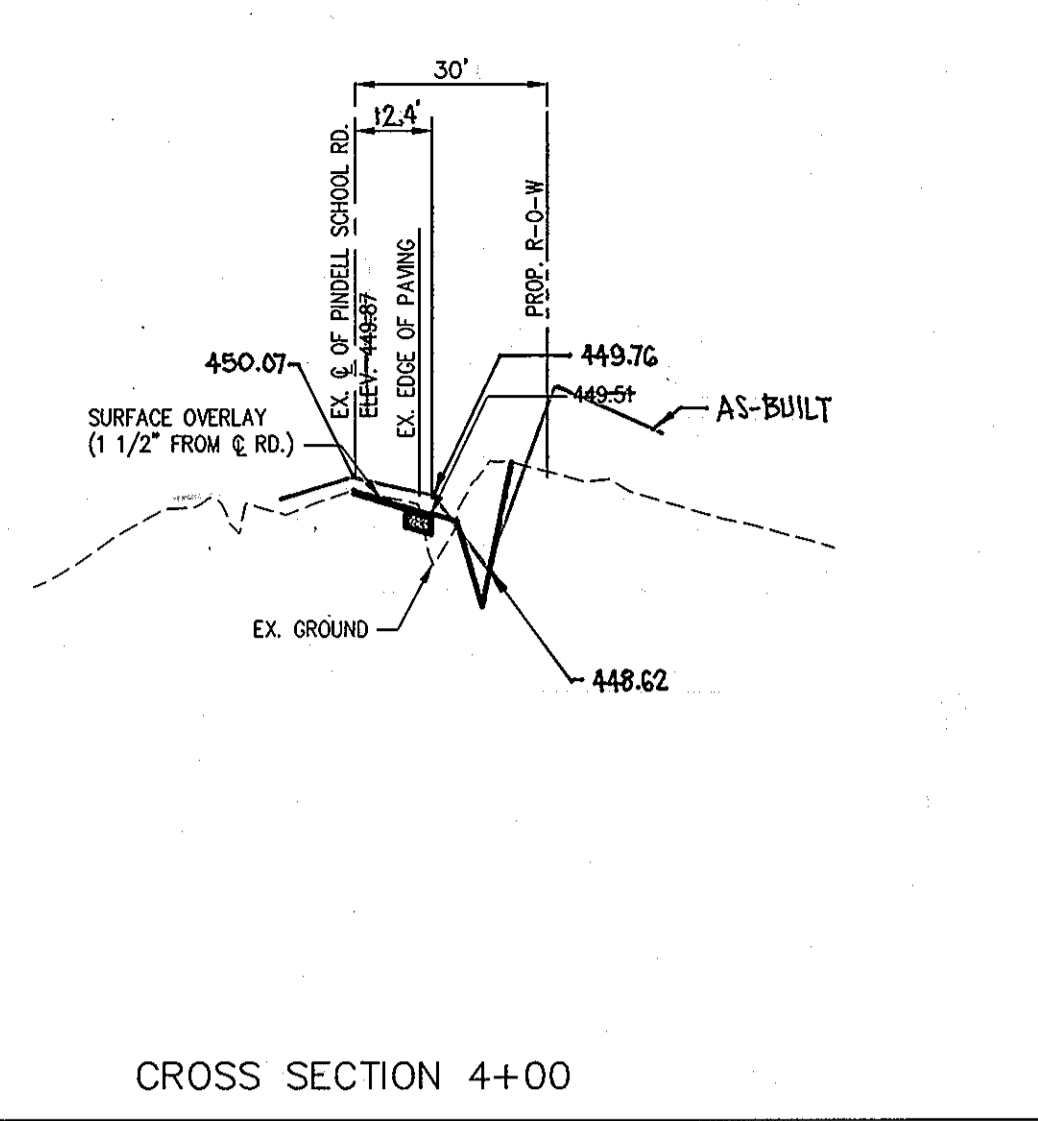
H:\pindel\11\FINAL\PLAN\PINDELLSCHL.DWG Thu Apr 12 15:54:49 2001



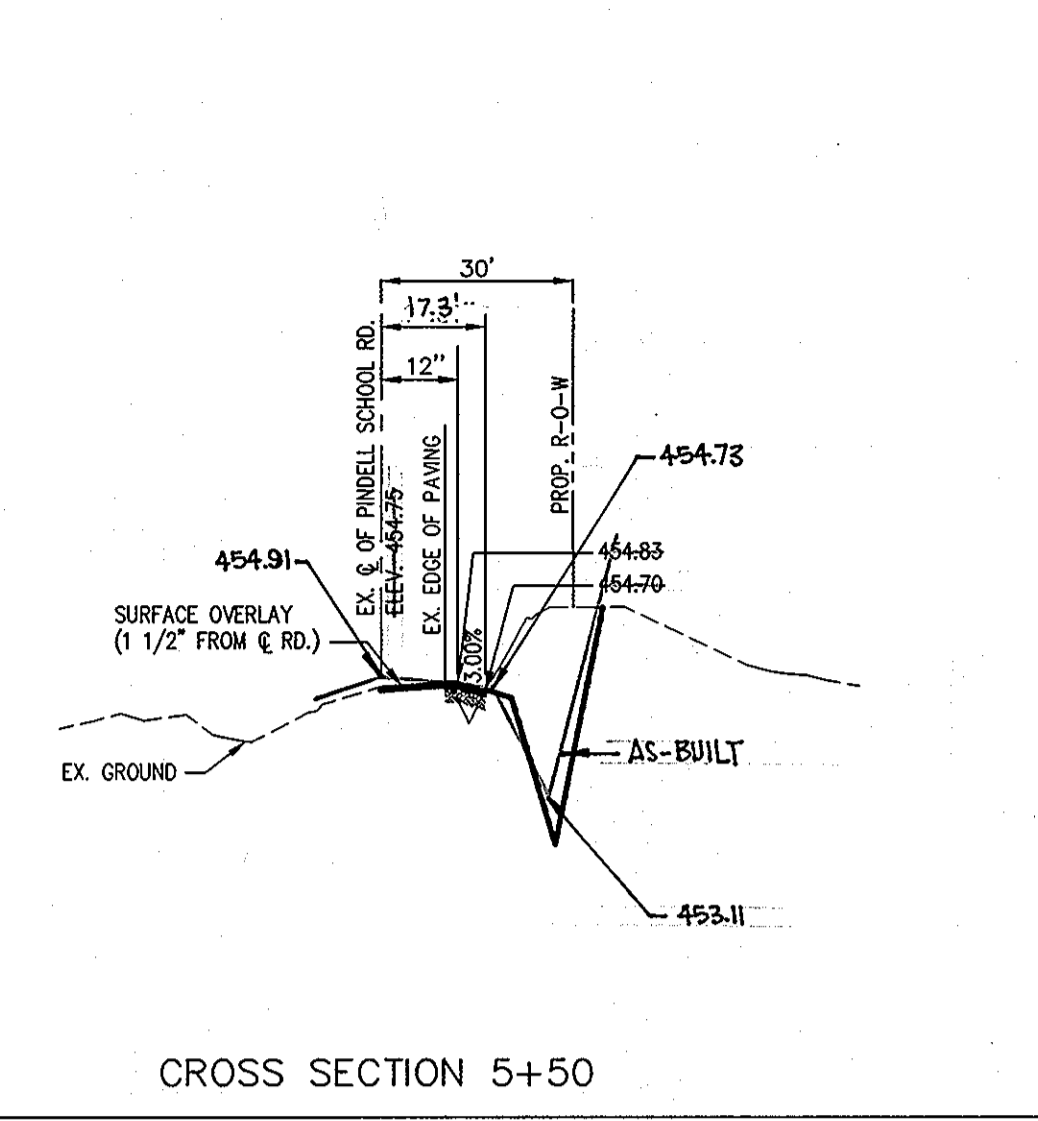
452	452
448	448
444	444
440	440
436	436



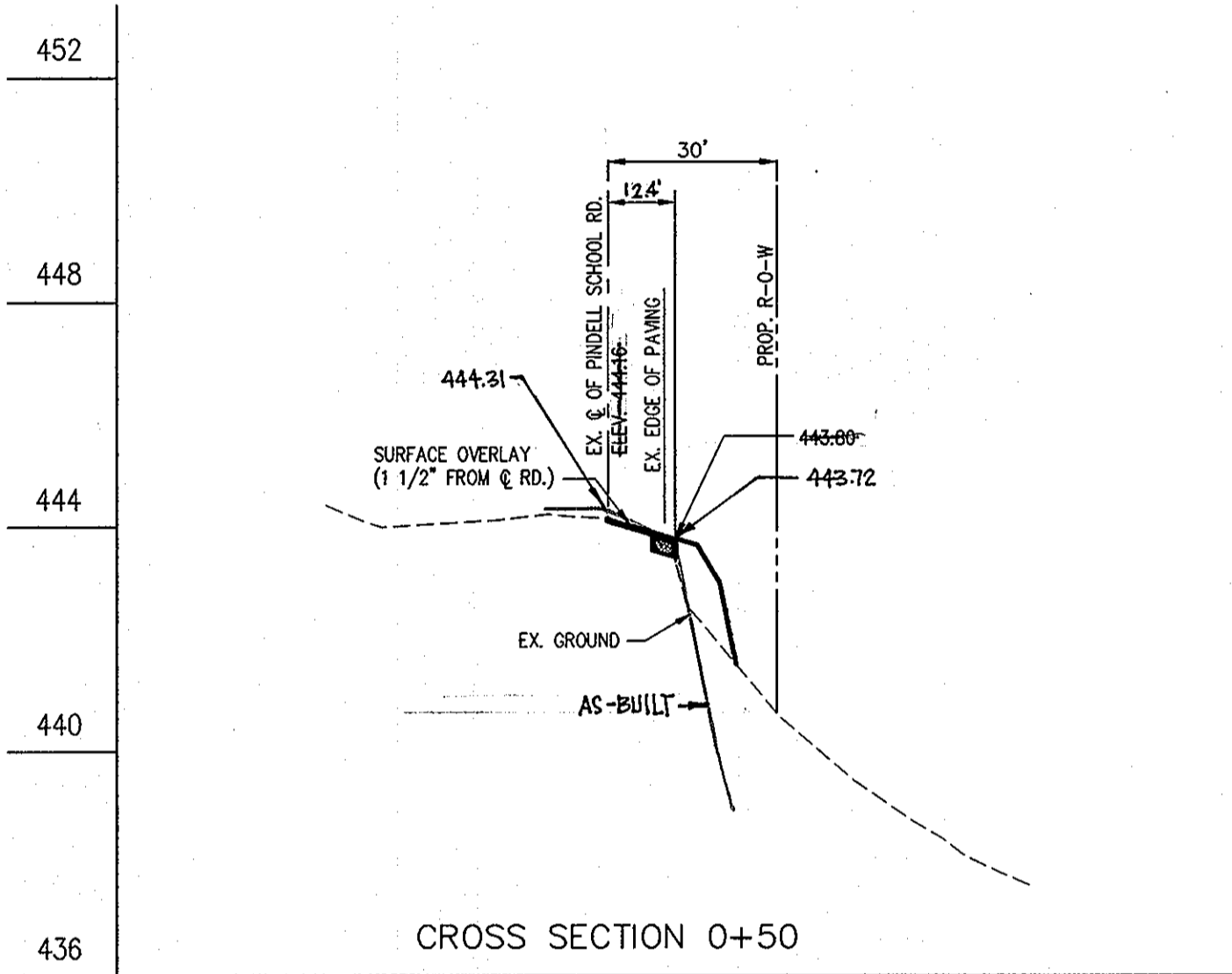
452	456
448	452
444	448
440	444
436	440



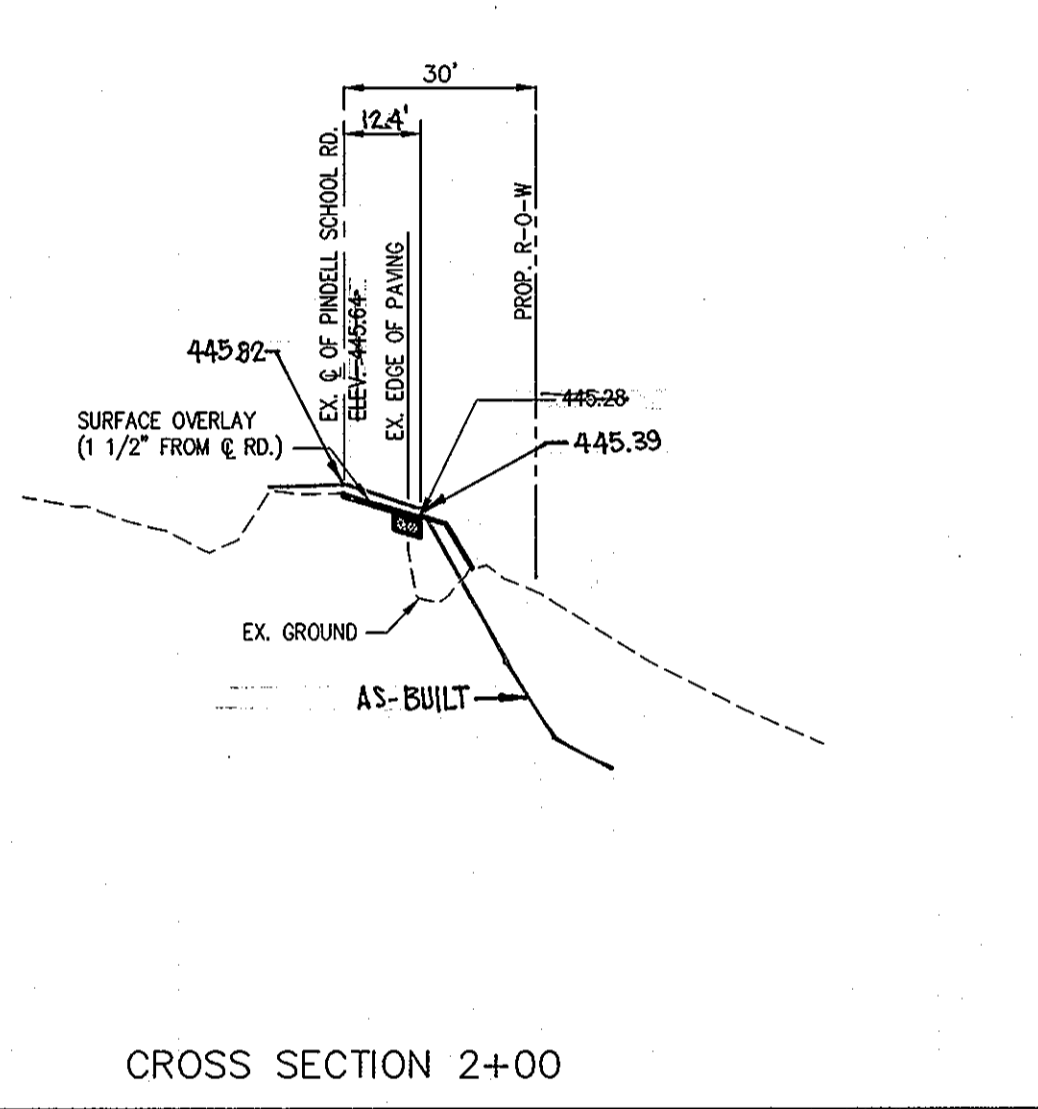
456	460
452	456
448	452
444	448
440	444



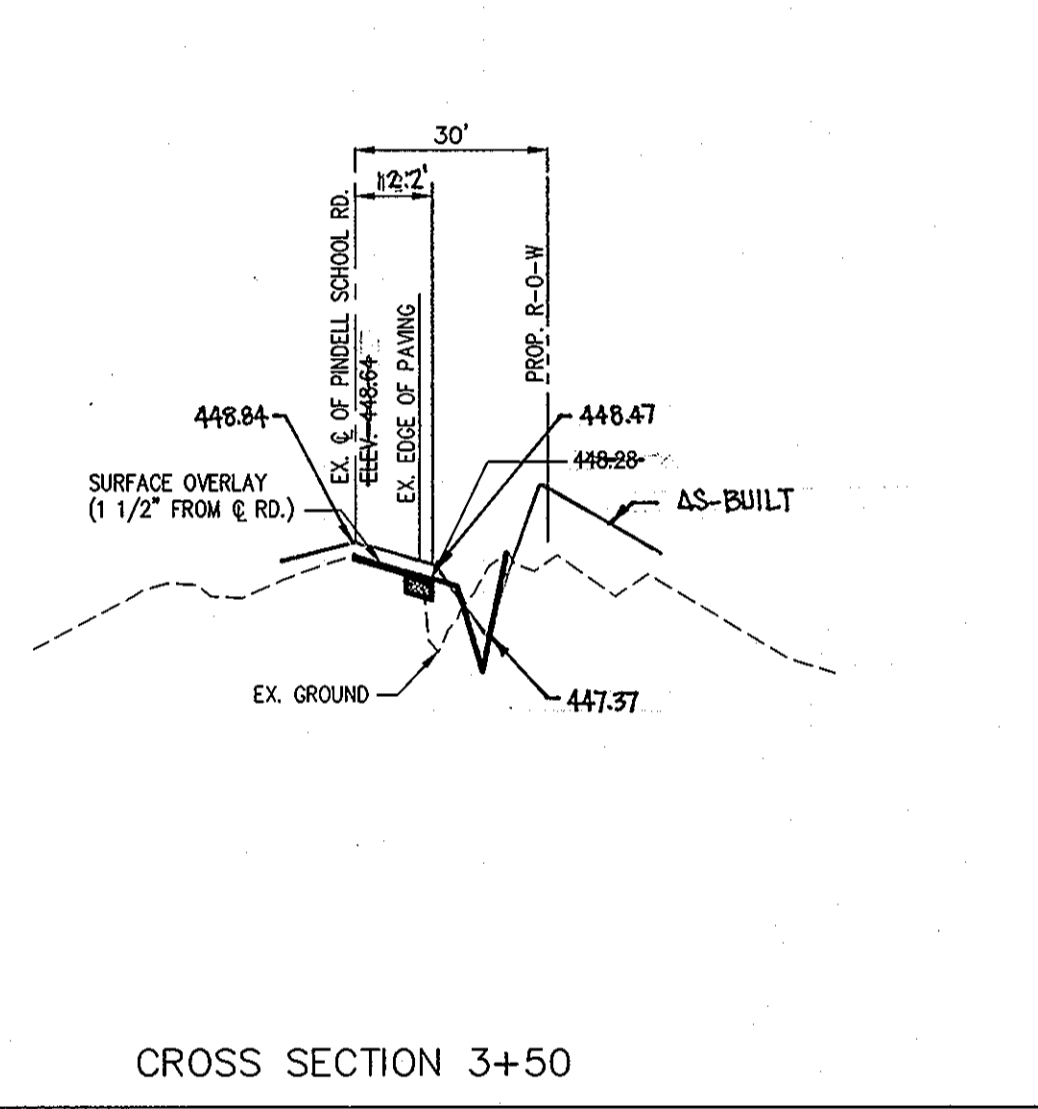
460	460
456	456
452	452
448	448



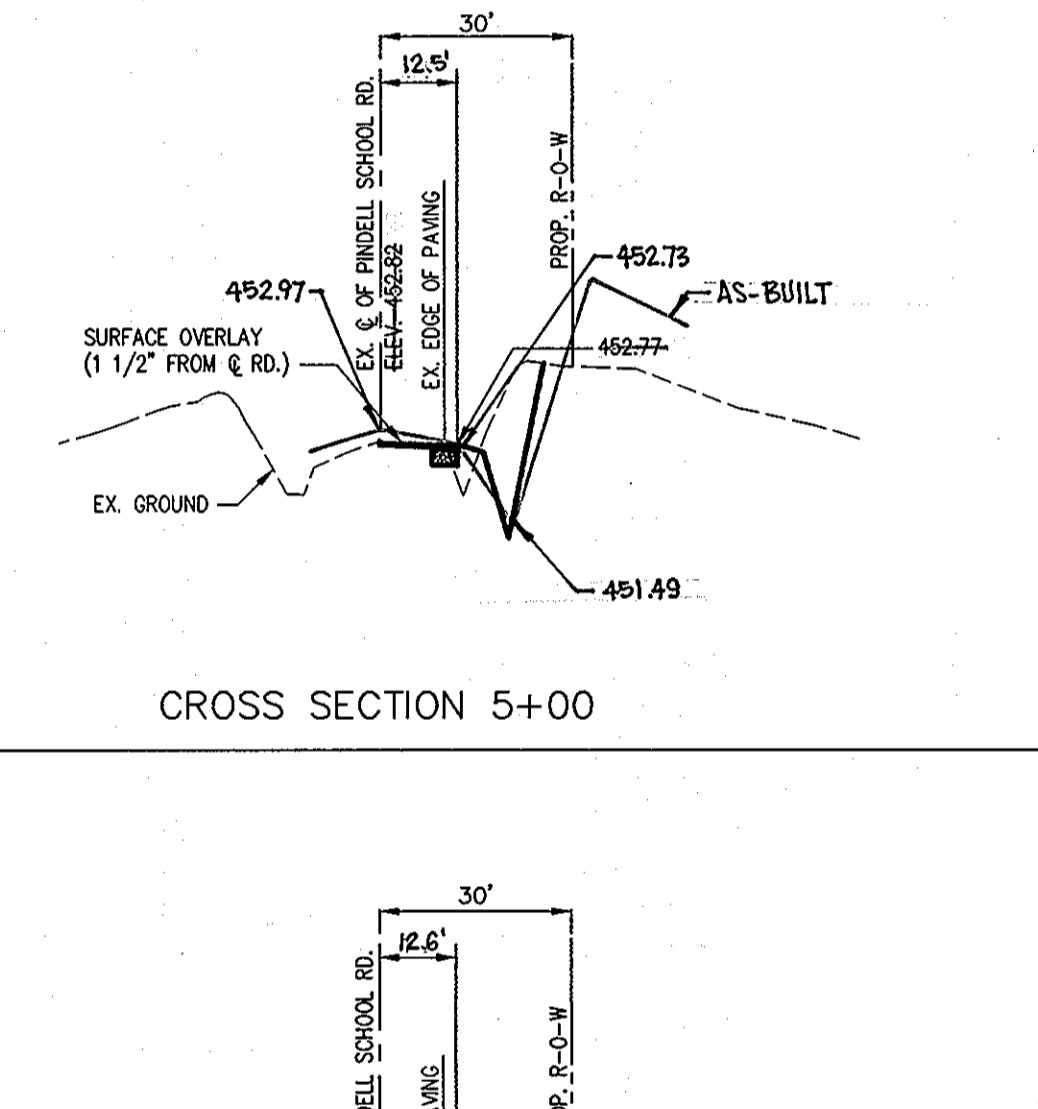
452	452
448	448
444	444
440	440
436	436



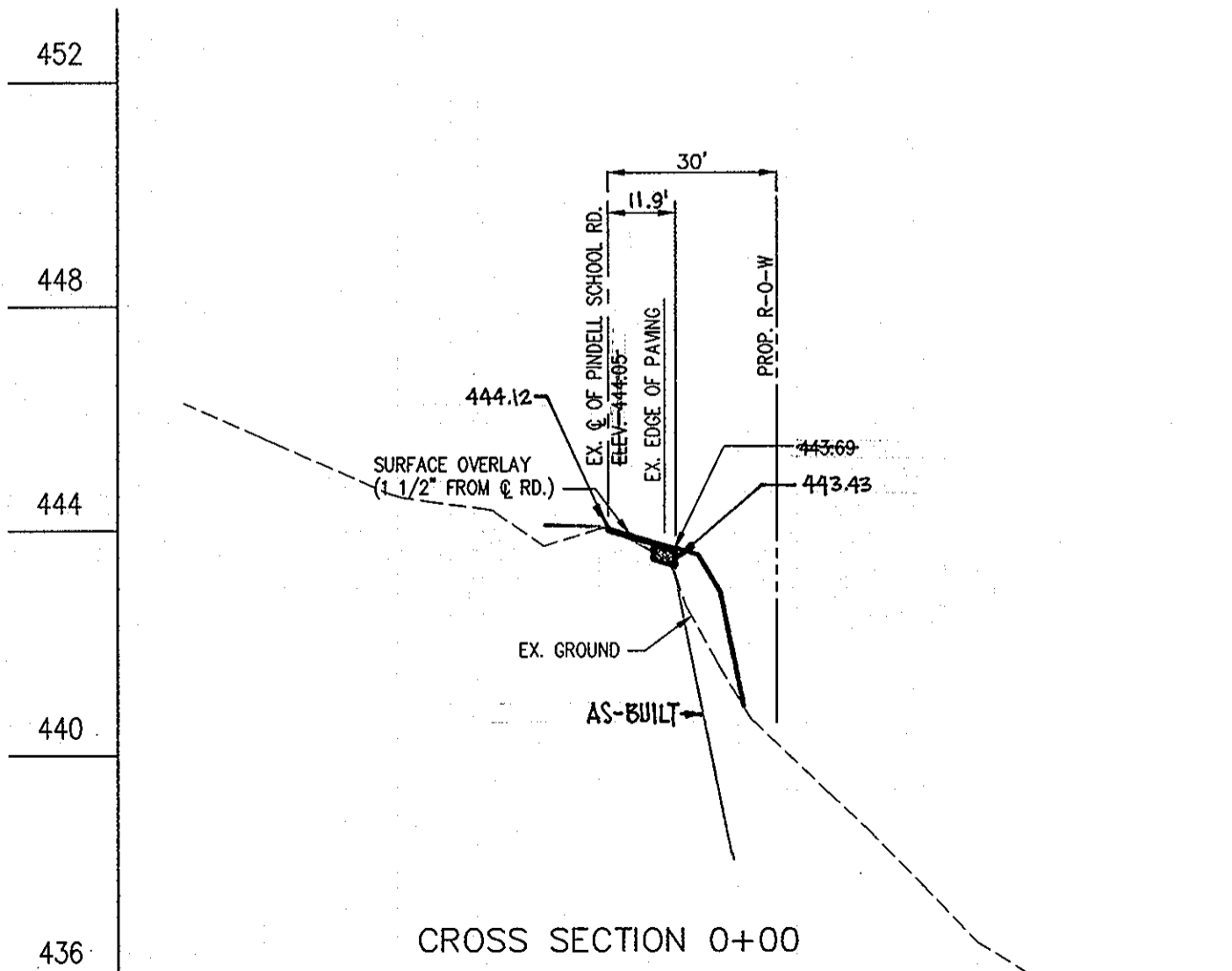
452	454
448	450
444	448
440	444
436	440



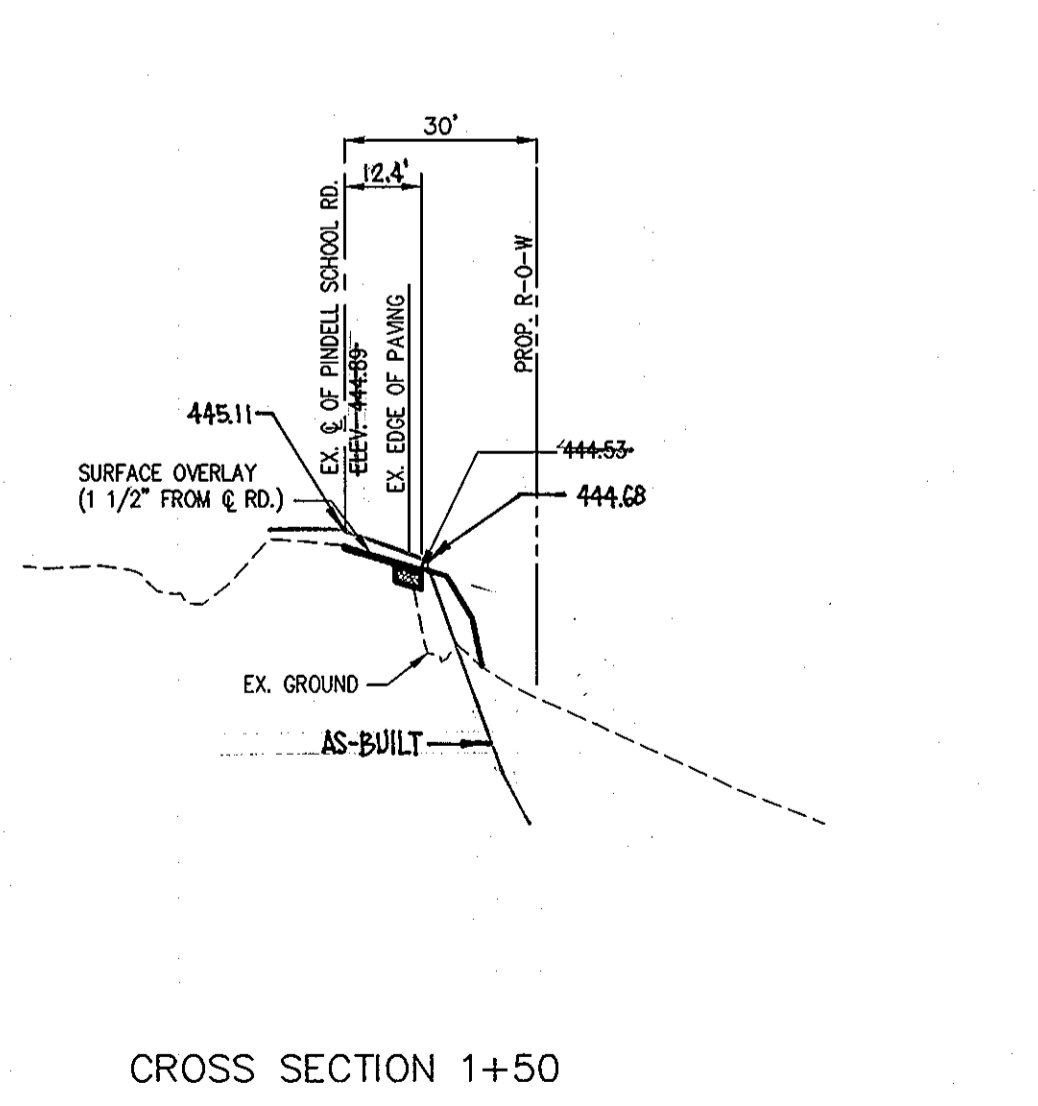
454	460
450	456
448	452
444	448
440	444



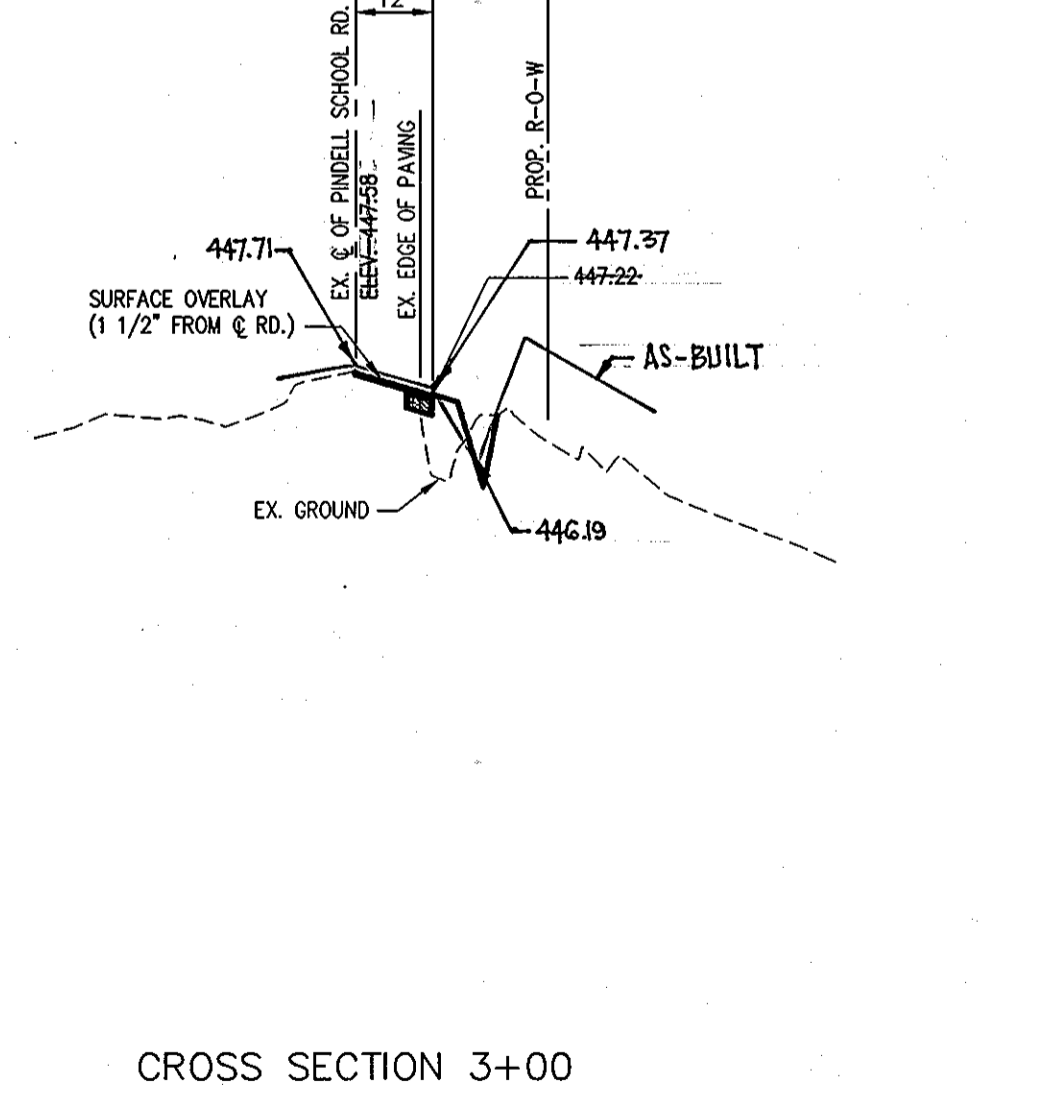
460	460
456	456
452	452
448	448



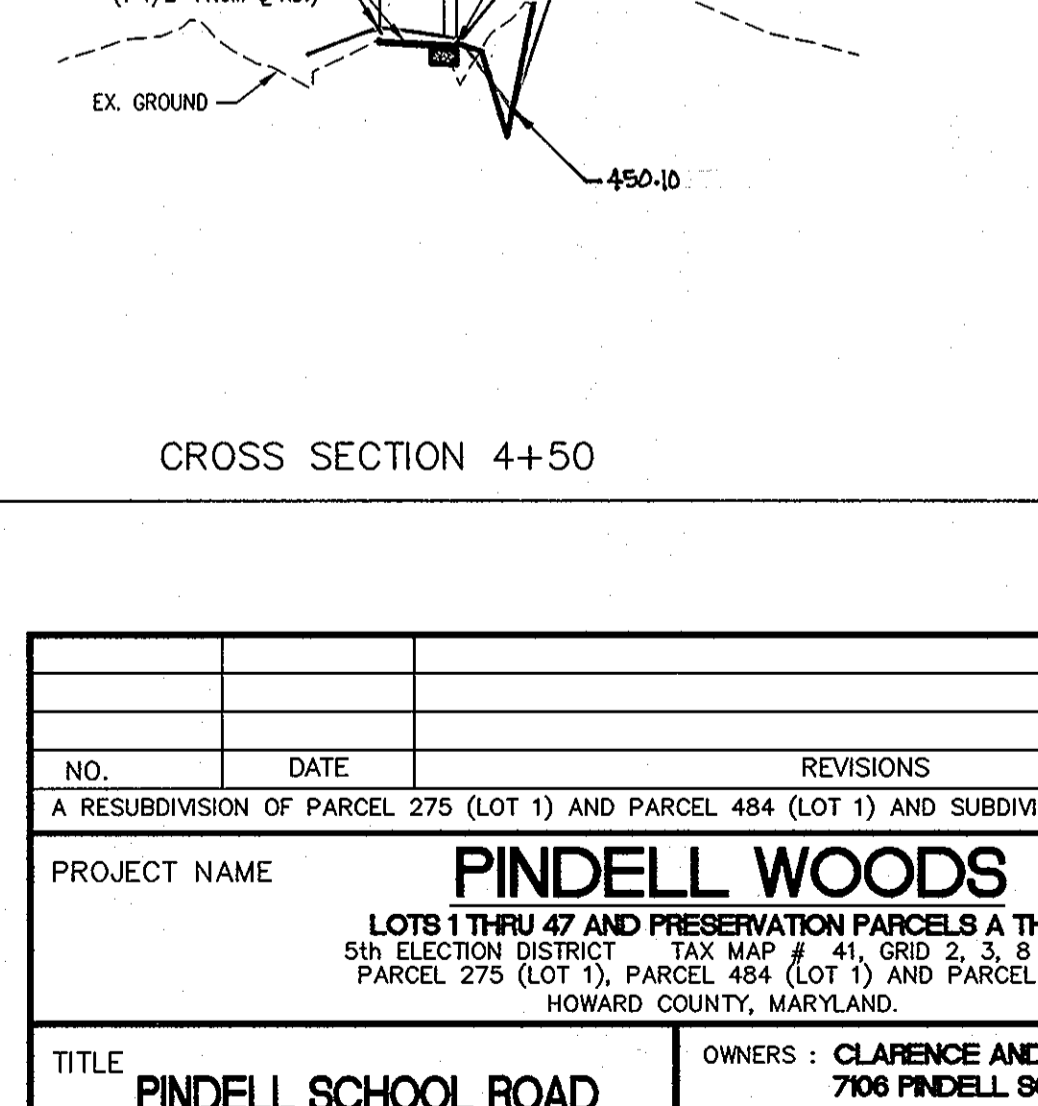
452	452
448	448
444	444
440	440
436	436



452	452
448	448
444	444
440	440
436	440



452	452
448	448
444	444
440	440



456	456
452	452
448	448
444	444

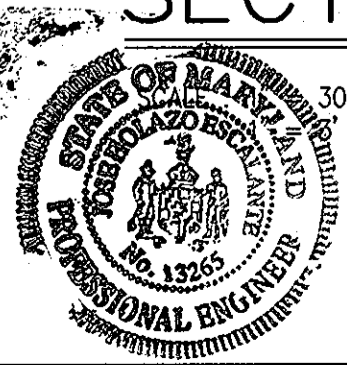
APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Andrew M. Casella* 5-1-09 DATE  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy K. Hovatta* 5/16/09 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*William J. ...* 5/11/01 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

**AS-BUILT CERTIFICATION**  
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the Approved Plans and Specifications.  
*Jose Escalante*  
 JOSE ESCALANTE  
 License No. 13265  
 Expiration Date: Dec. 26, 2012

**SECTIONS**  
 HORIZONTAL  
 VERTICAL  
 12-29-2010

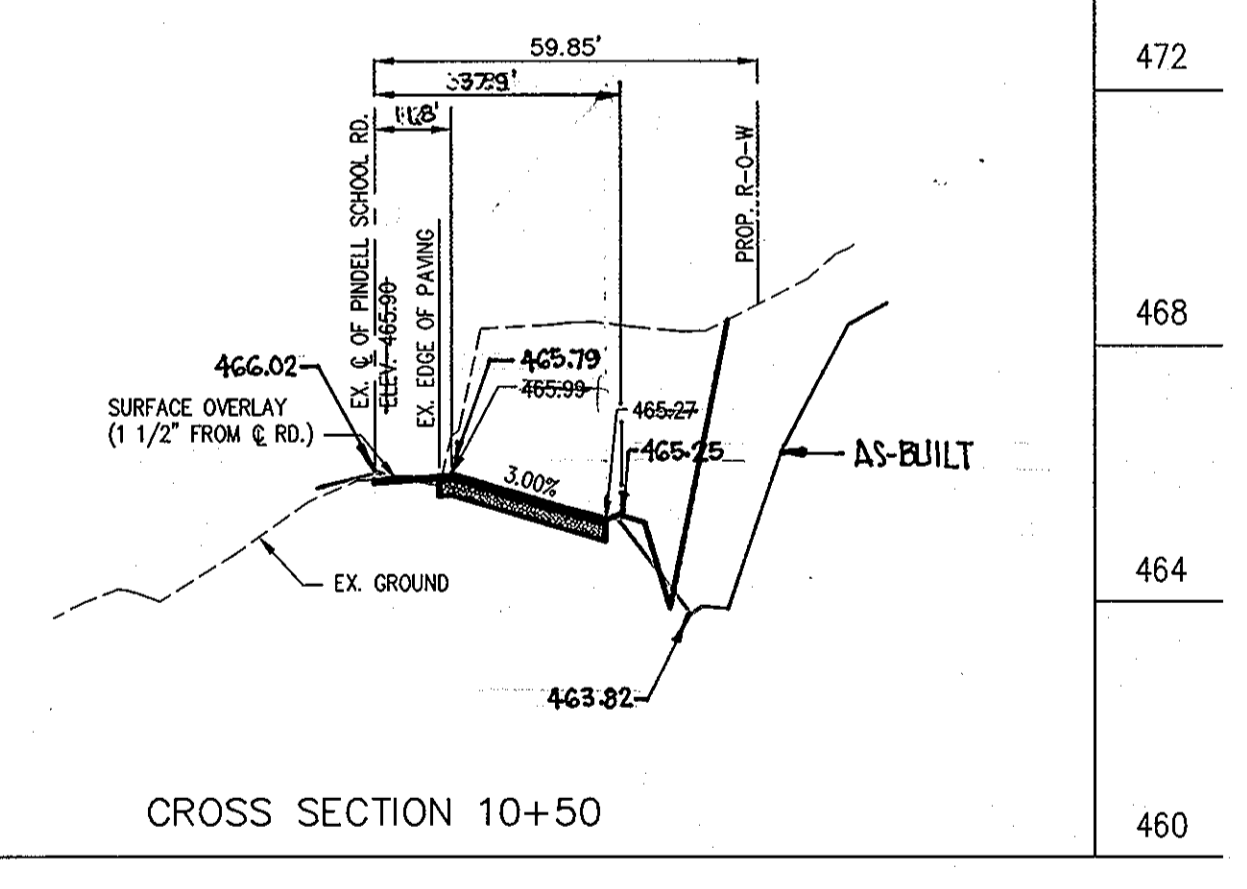
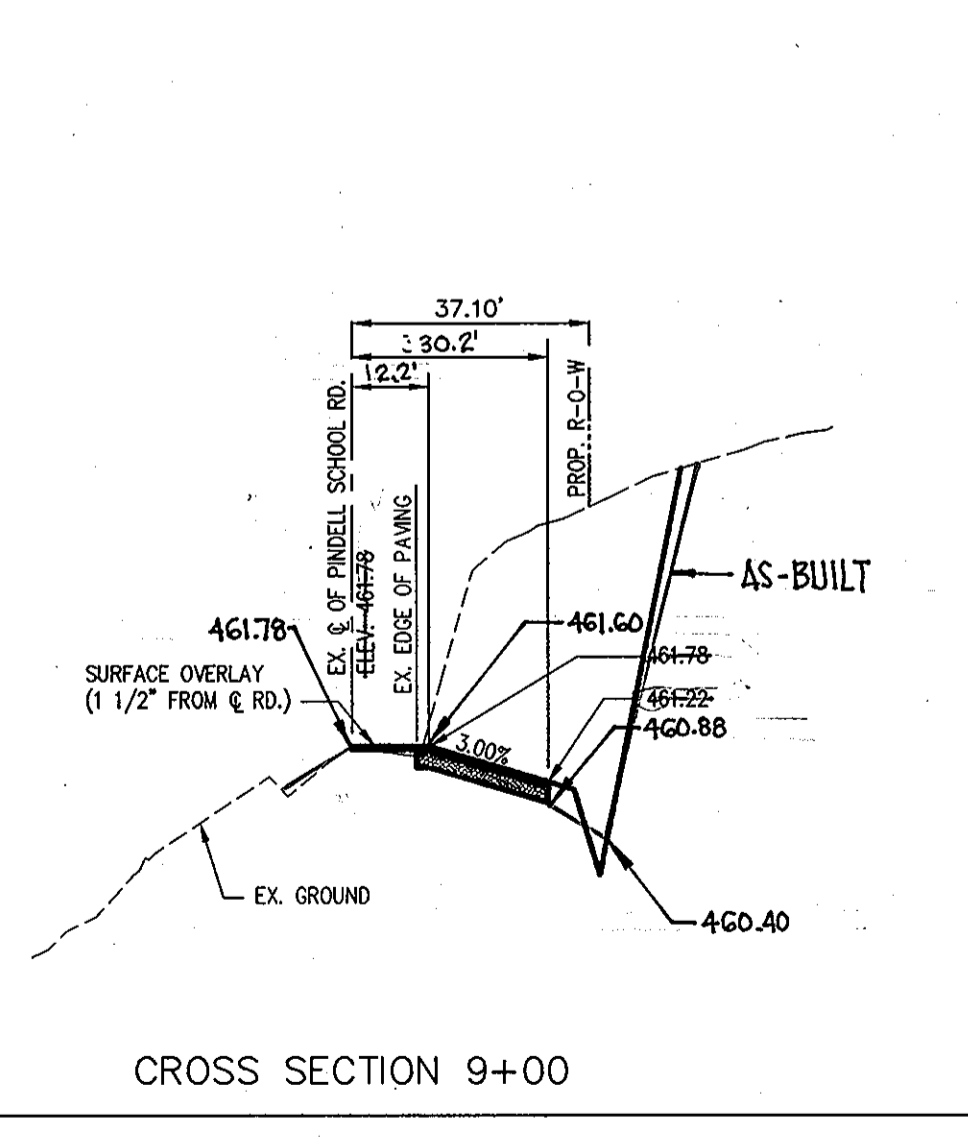
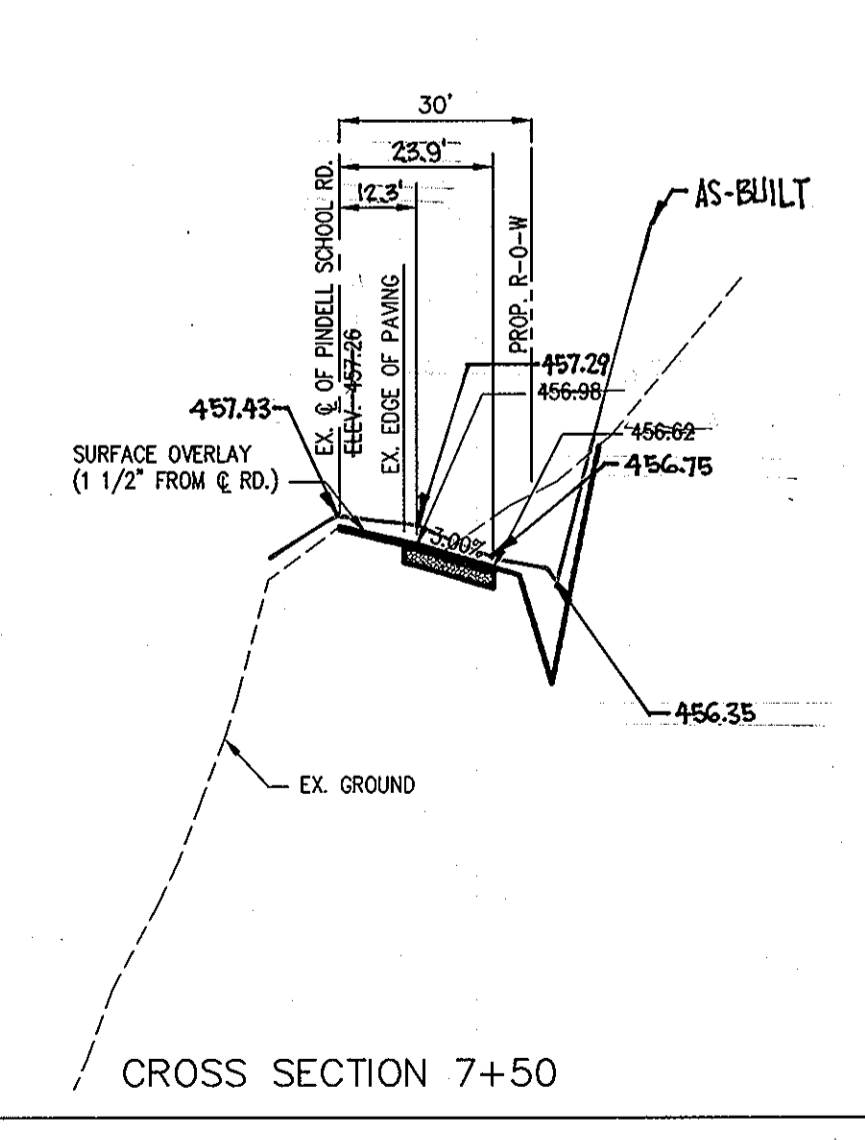
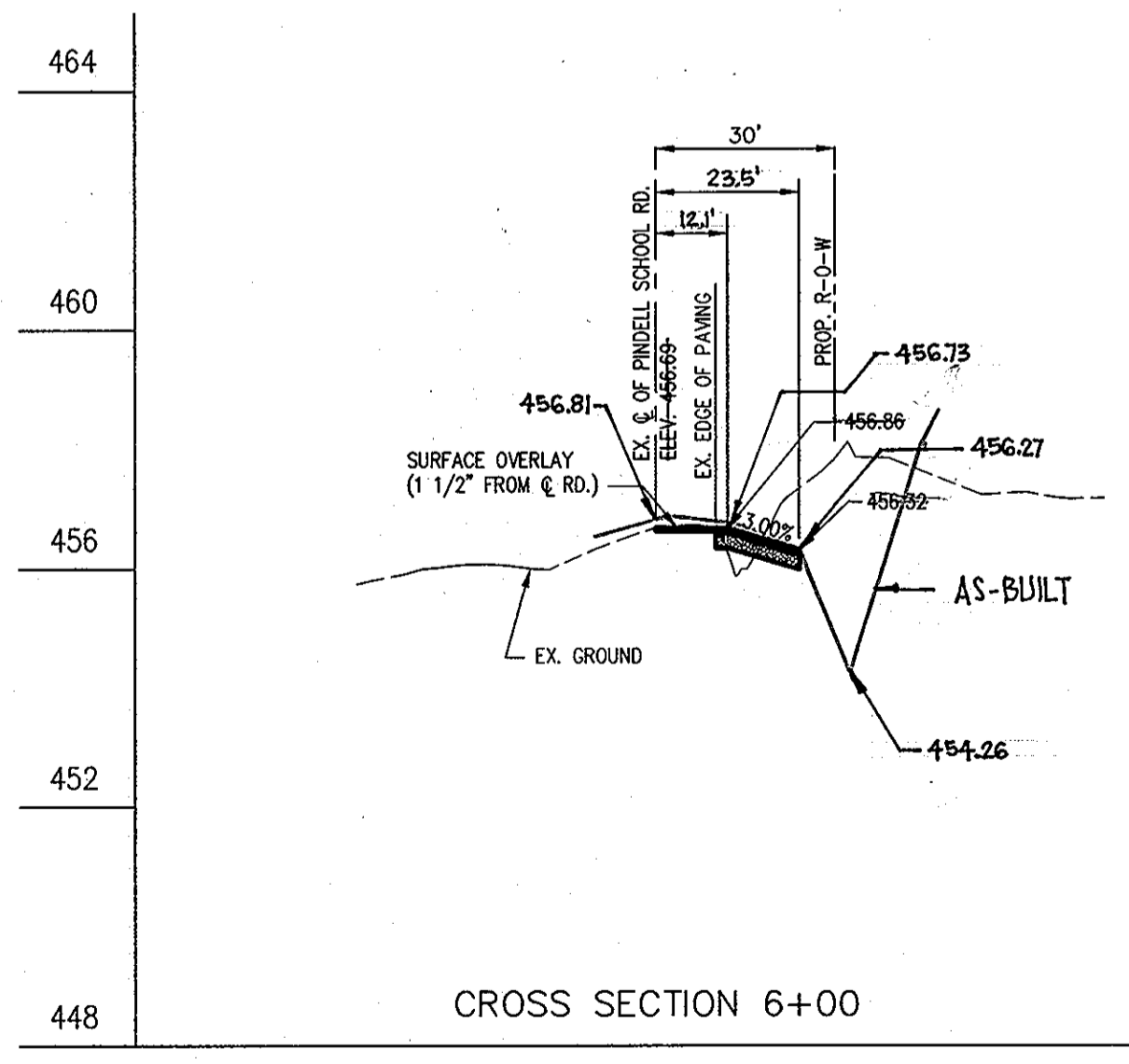
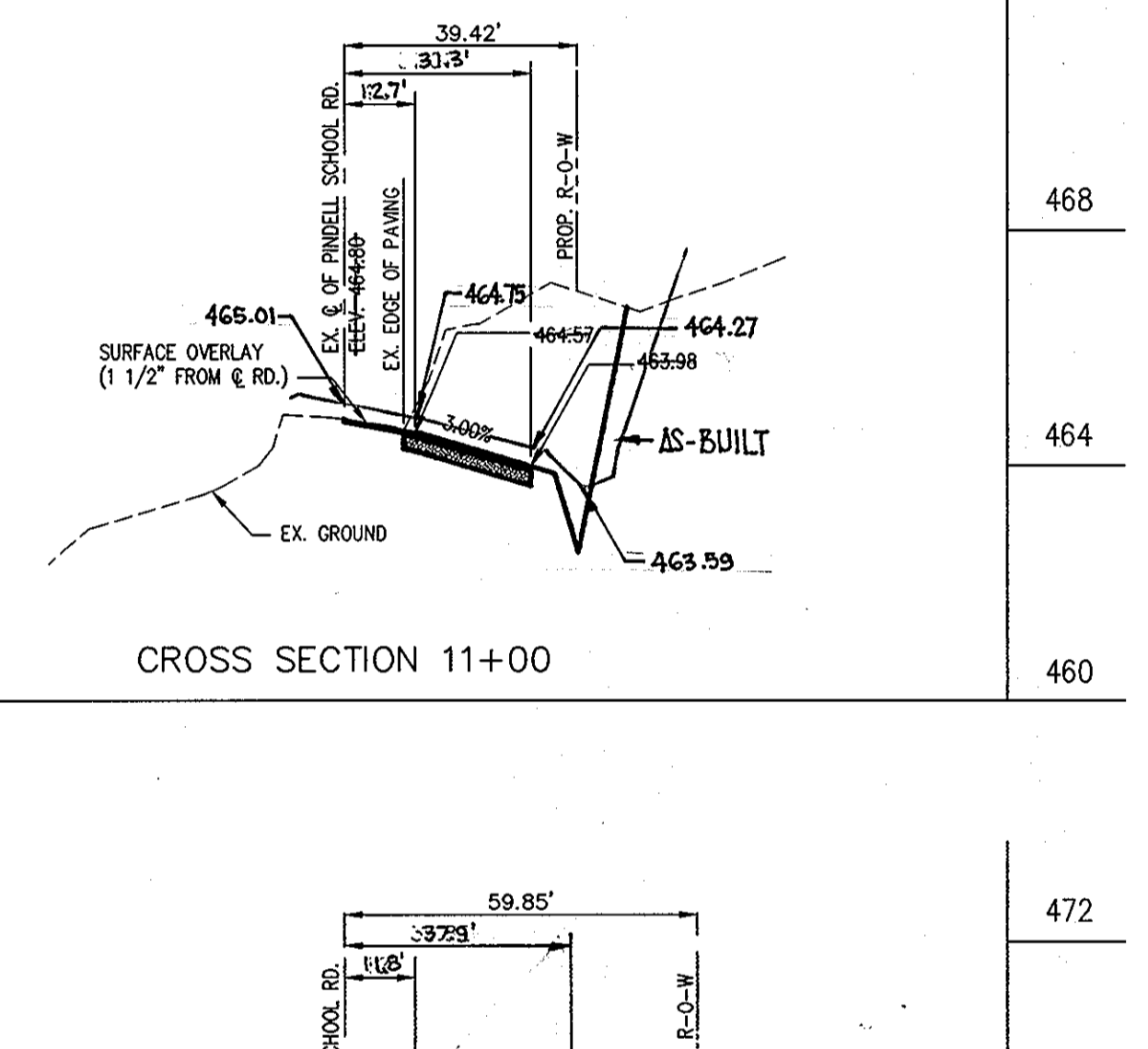
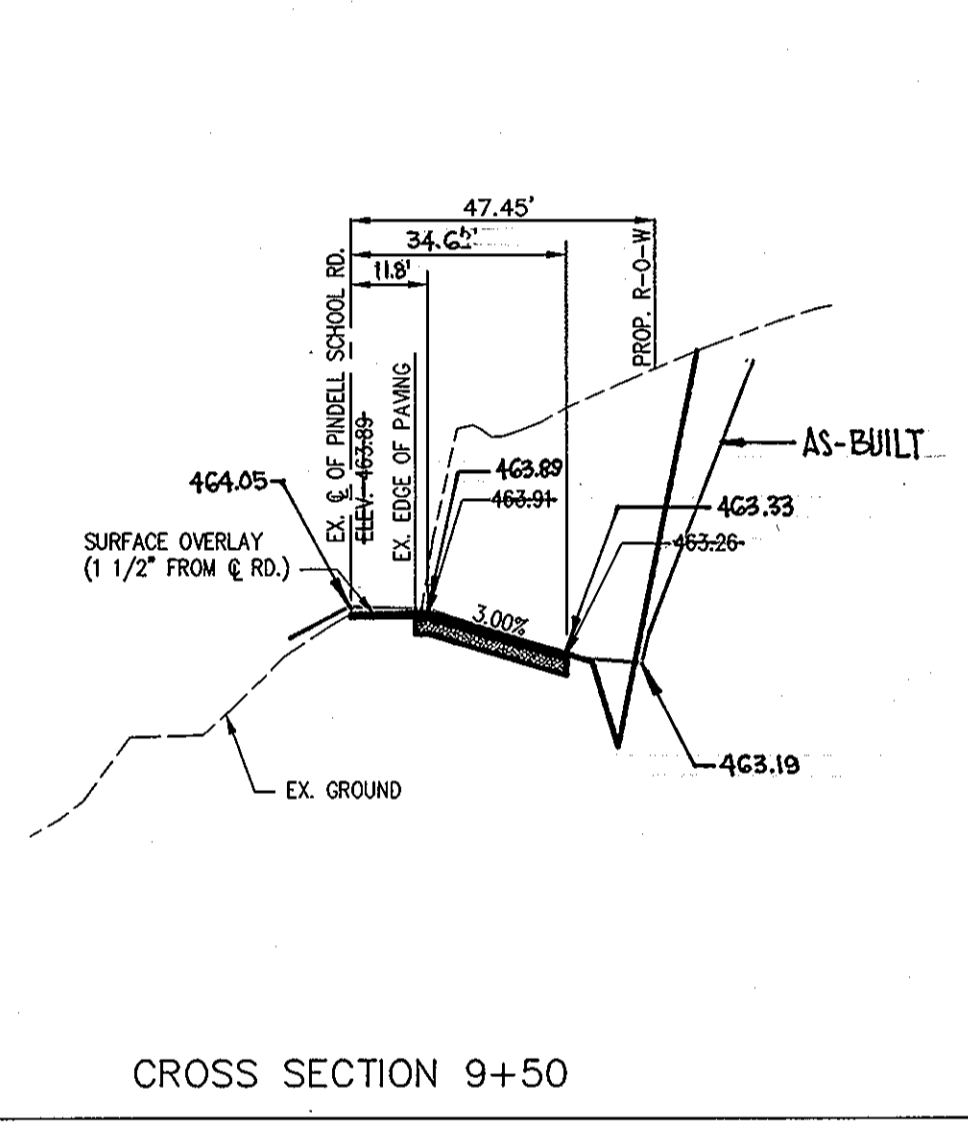
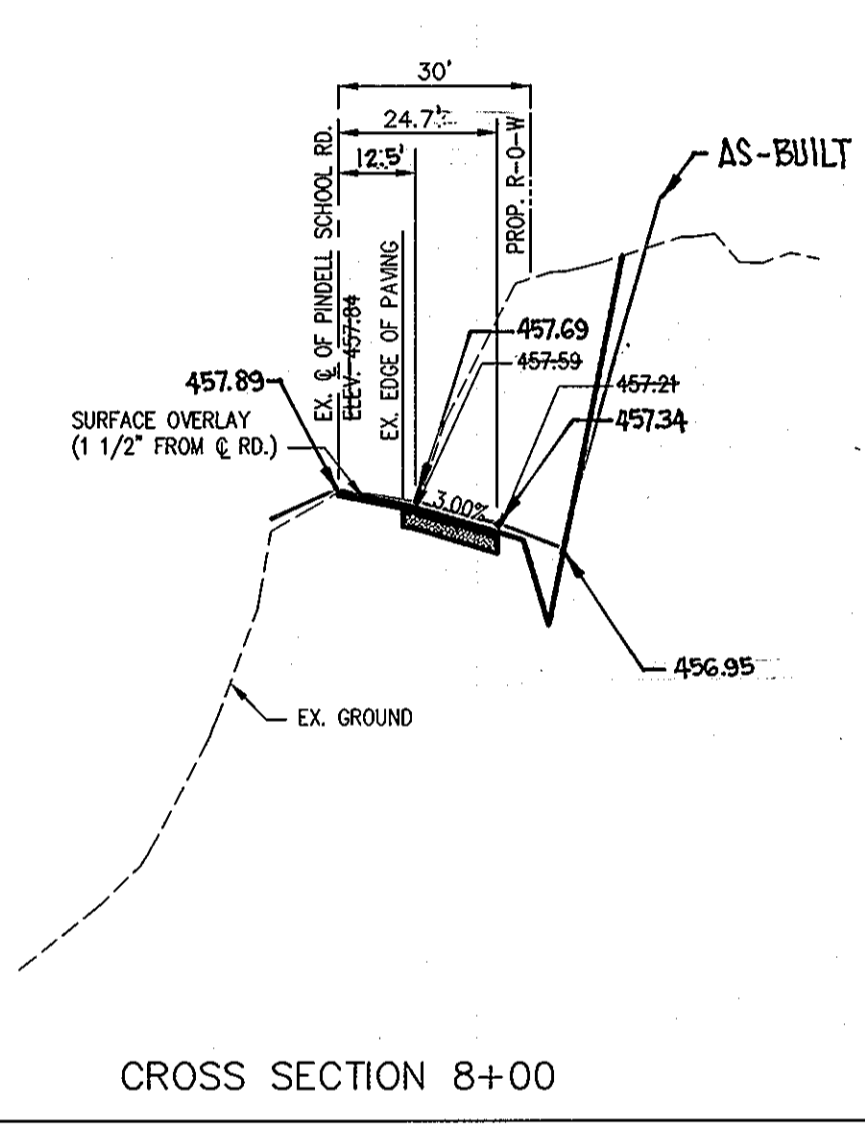
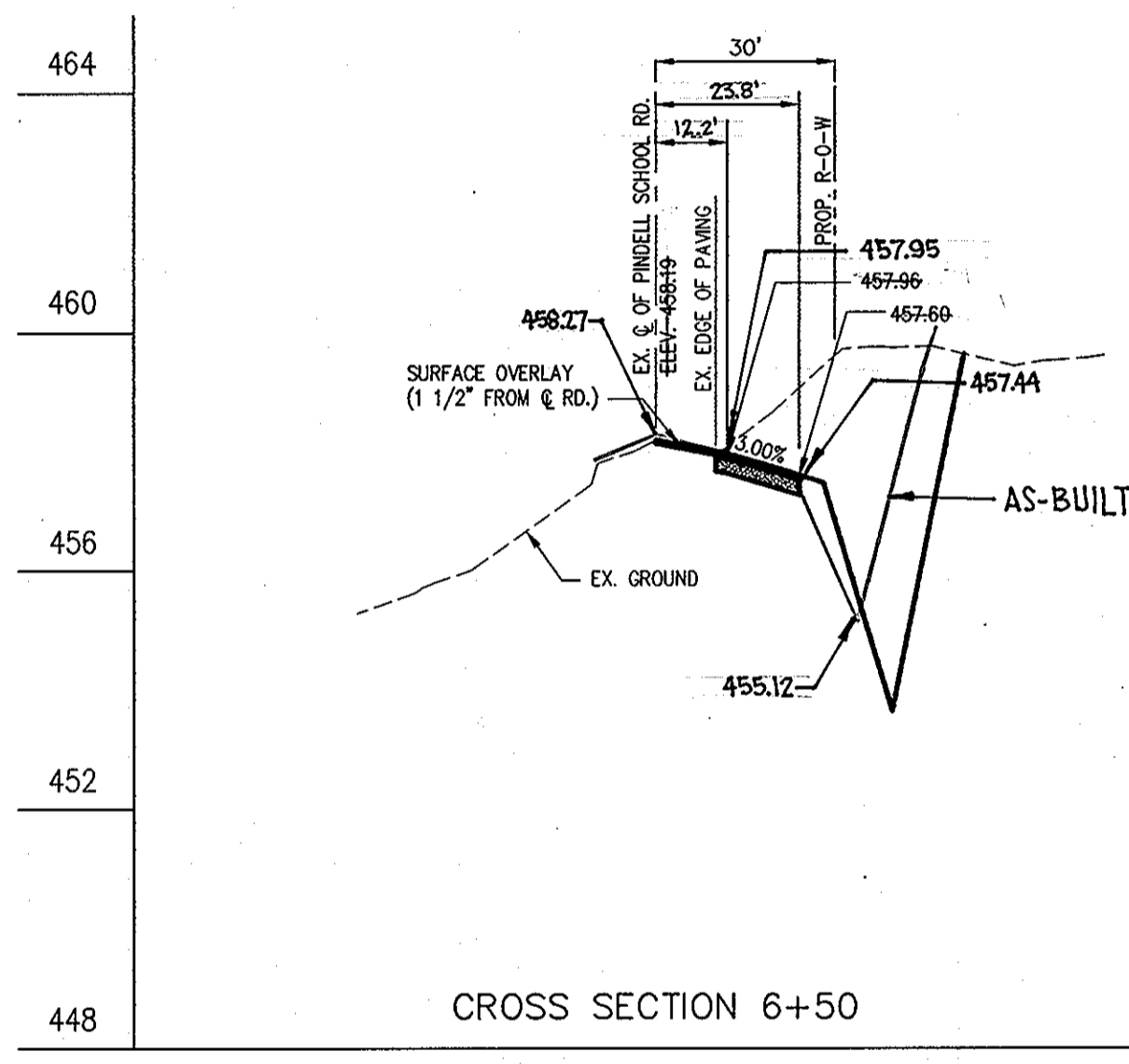
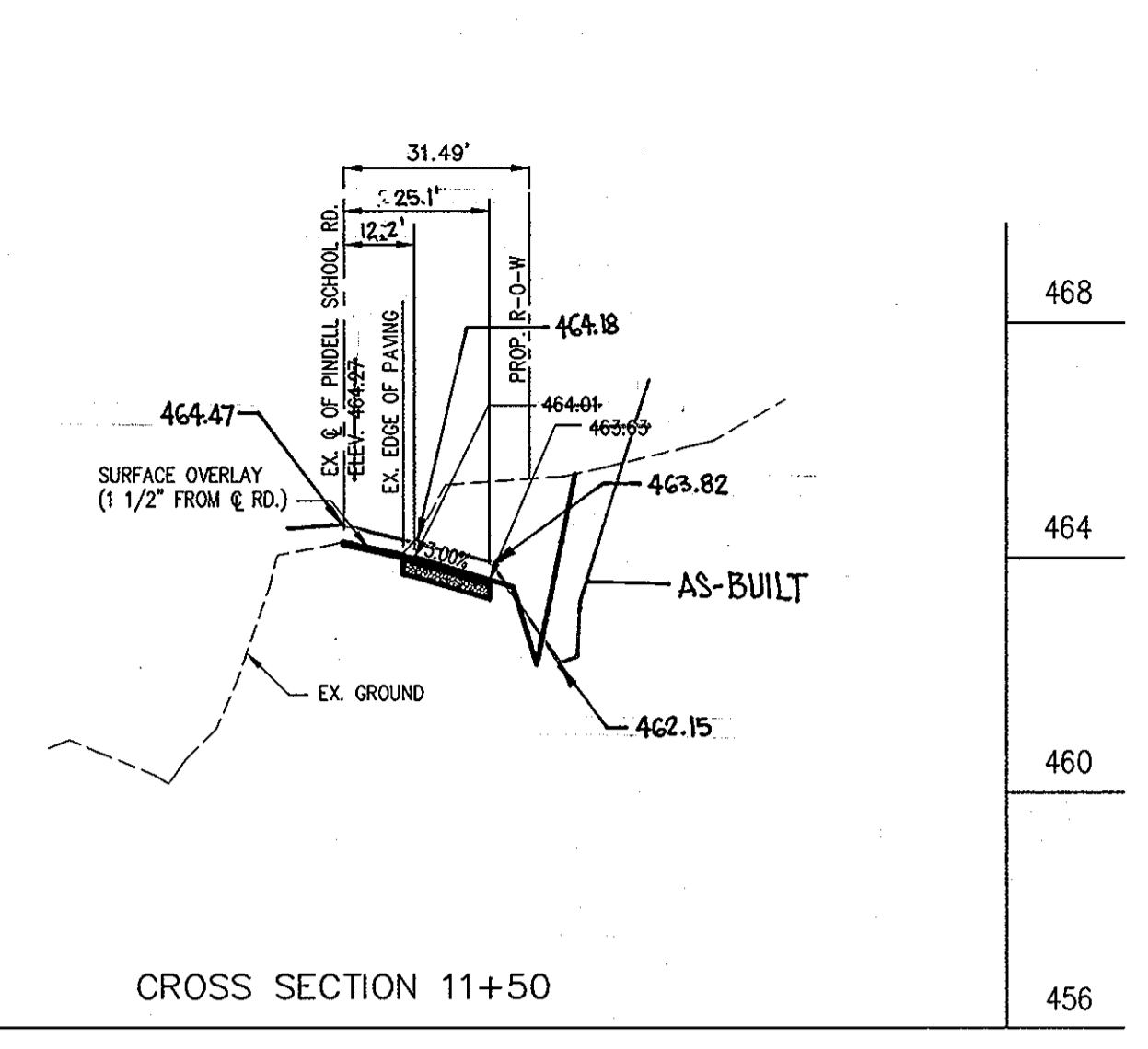
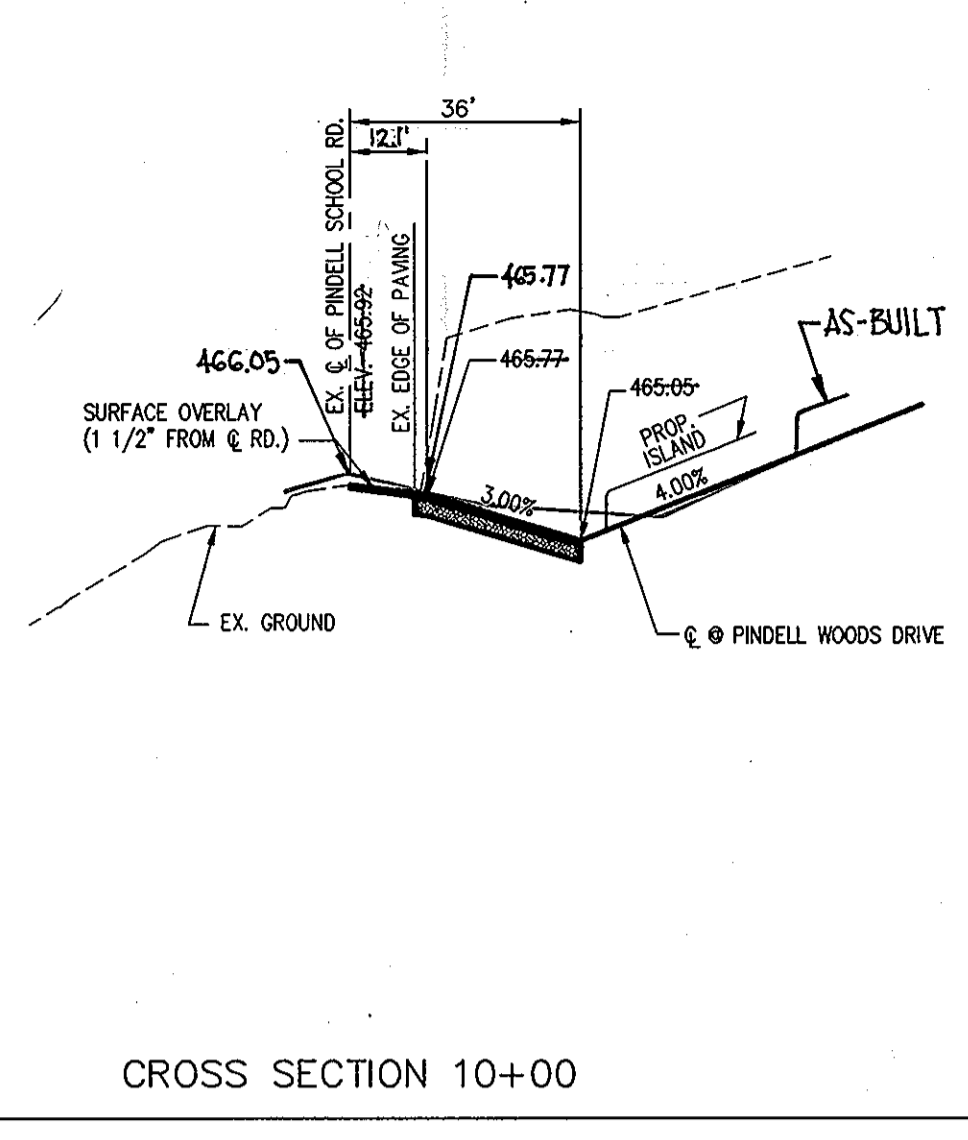
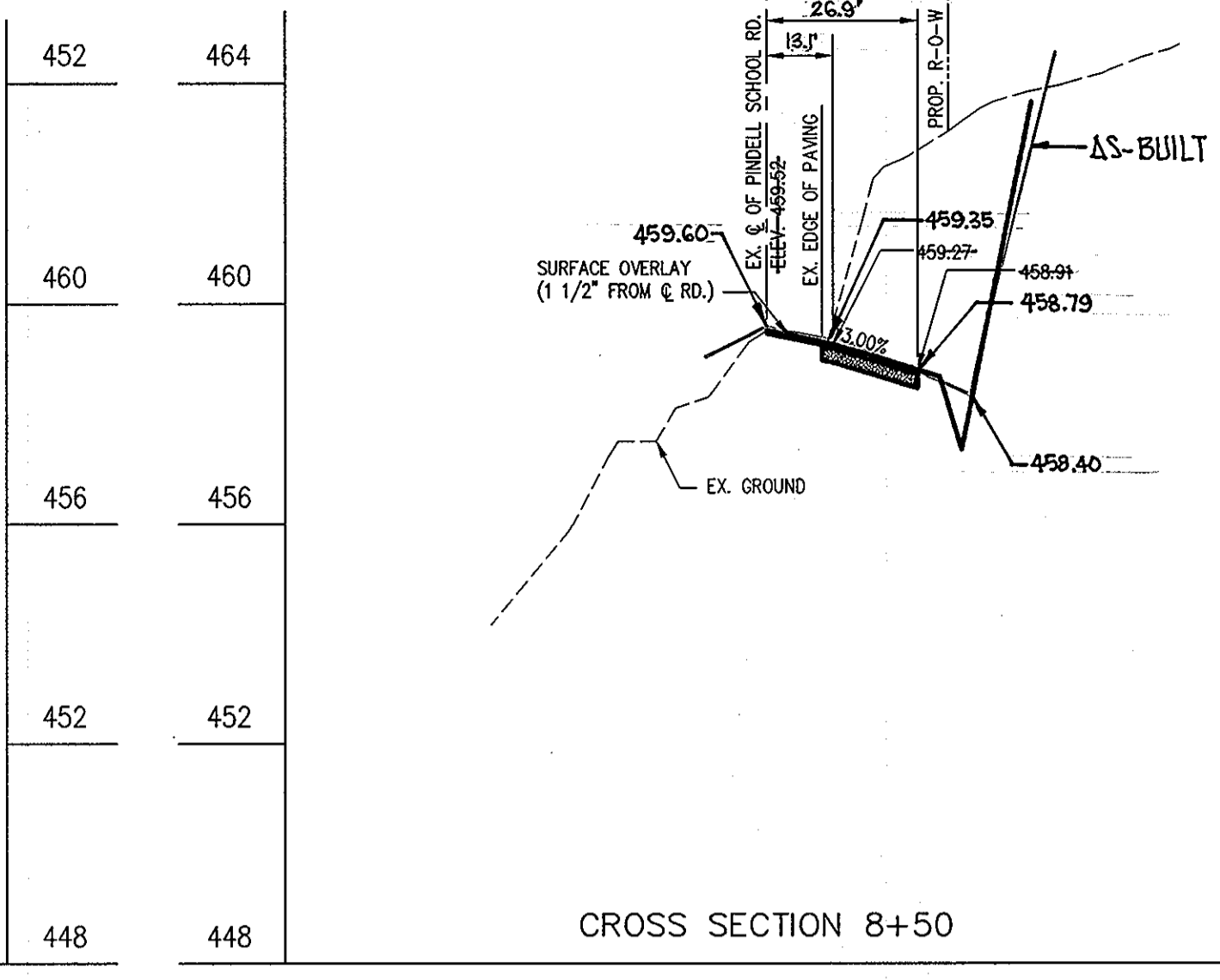
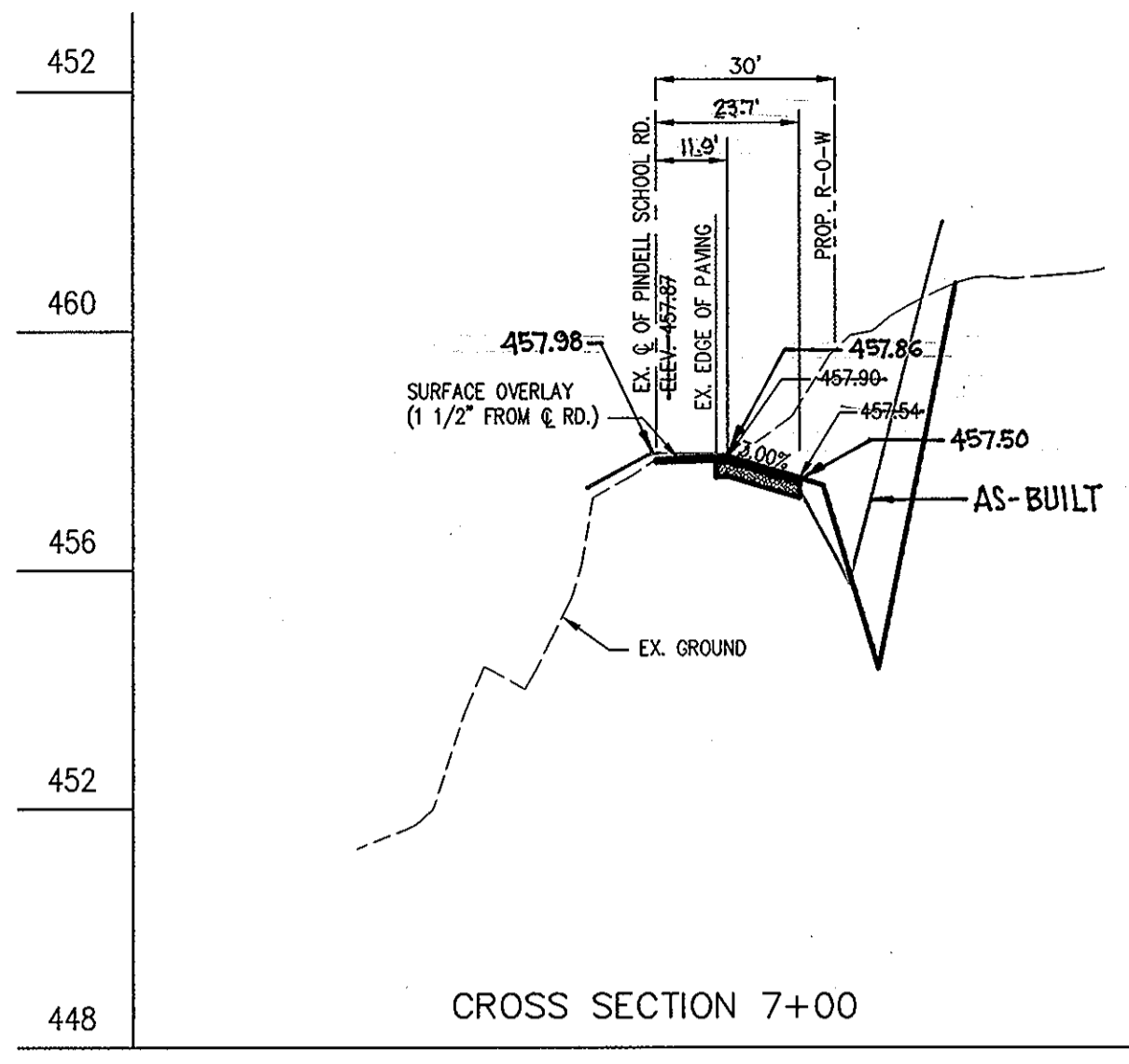


NOTE:  
 FOR STA. 2+50 TO STA. 5+50 USE  
 STABILIZATION MATTING OR SOD  
 DITCH LINING.



NO.		DATE		REVISIONS	
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274					
PROJECT NAME <b>PINDELL WOODS</b>					
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.					
TITLE <b>PINDELL SCHOOL ROAD CROSS-SECTIONS</b>		OWNERS : CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852			
PREPARED BY: <b>RE</b> AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 465-7903 FAX (410) 465-5845		DEVELOPER : MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044			
DES. : JL/DCW/AVG		JOB :		SCALE :	
DRW. : AVG/DIA/JNC		PROJ. :		AS SHOWN	
CHK. : D.C.W.		DATE : 03/04/01		SHEET 9 OF 37	

F-01-89



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Charles M. Casper* 5-1-01  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hamstra* 5/6/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*William J. ...* 5/16/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the approved Plans and Specifications.

*Jose H. Escalante*  
 JOSE H. ESCALANTE  
 License No. 13265  
 Expiration Date: Dec. 26, 2012

**SECTIONS**  
 E: 1" = 30' HORIZONTAL  
 1" = 3' VERTICAL  
 12-29-2010

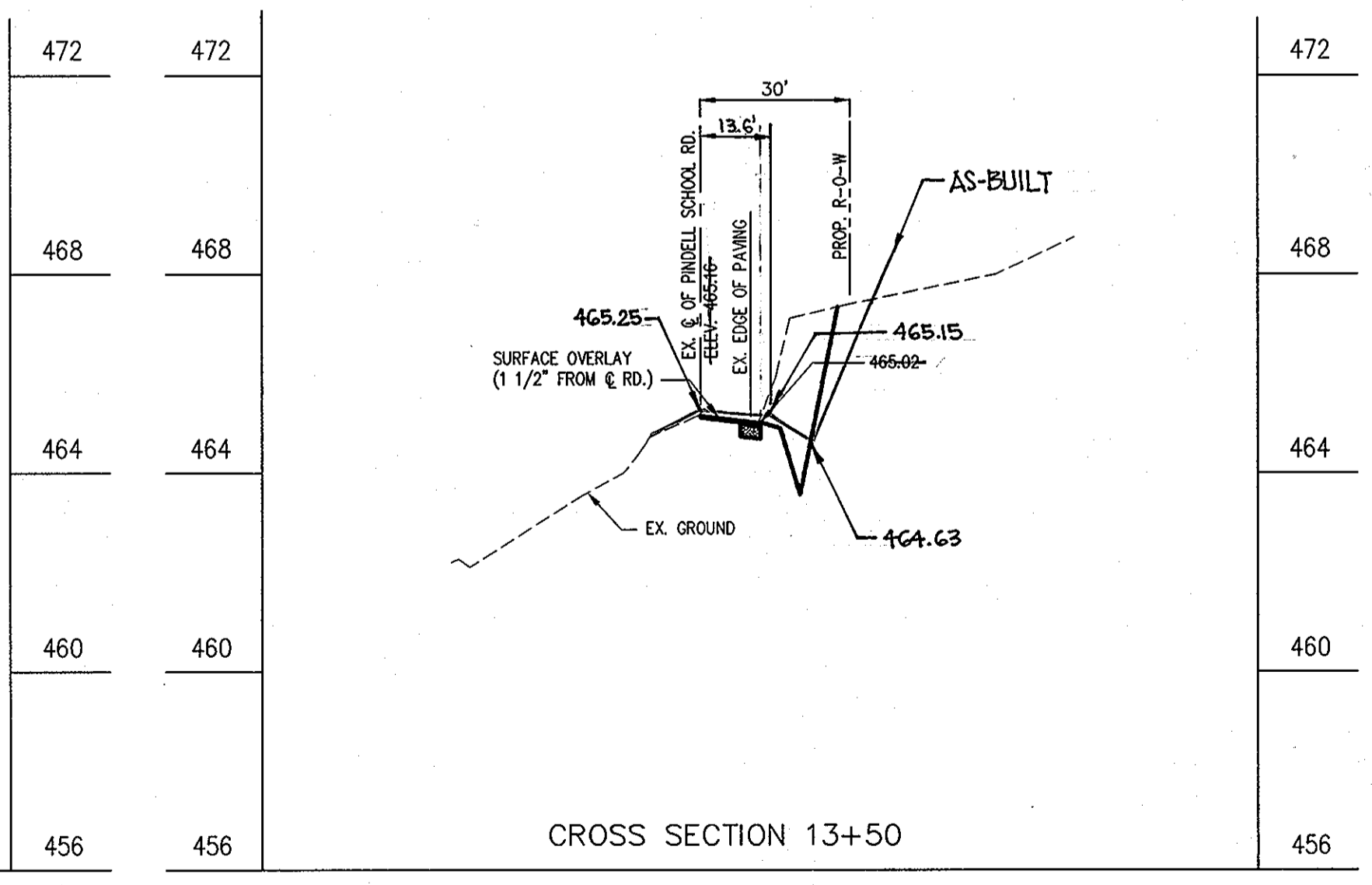
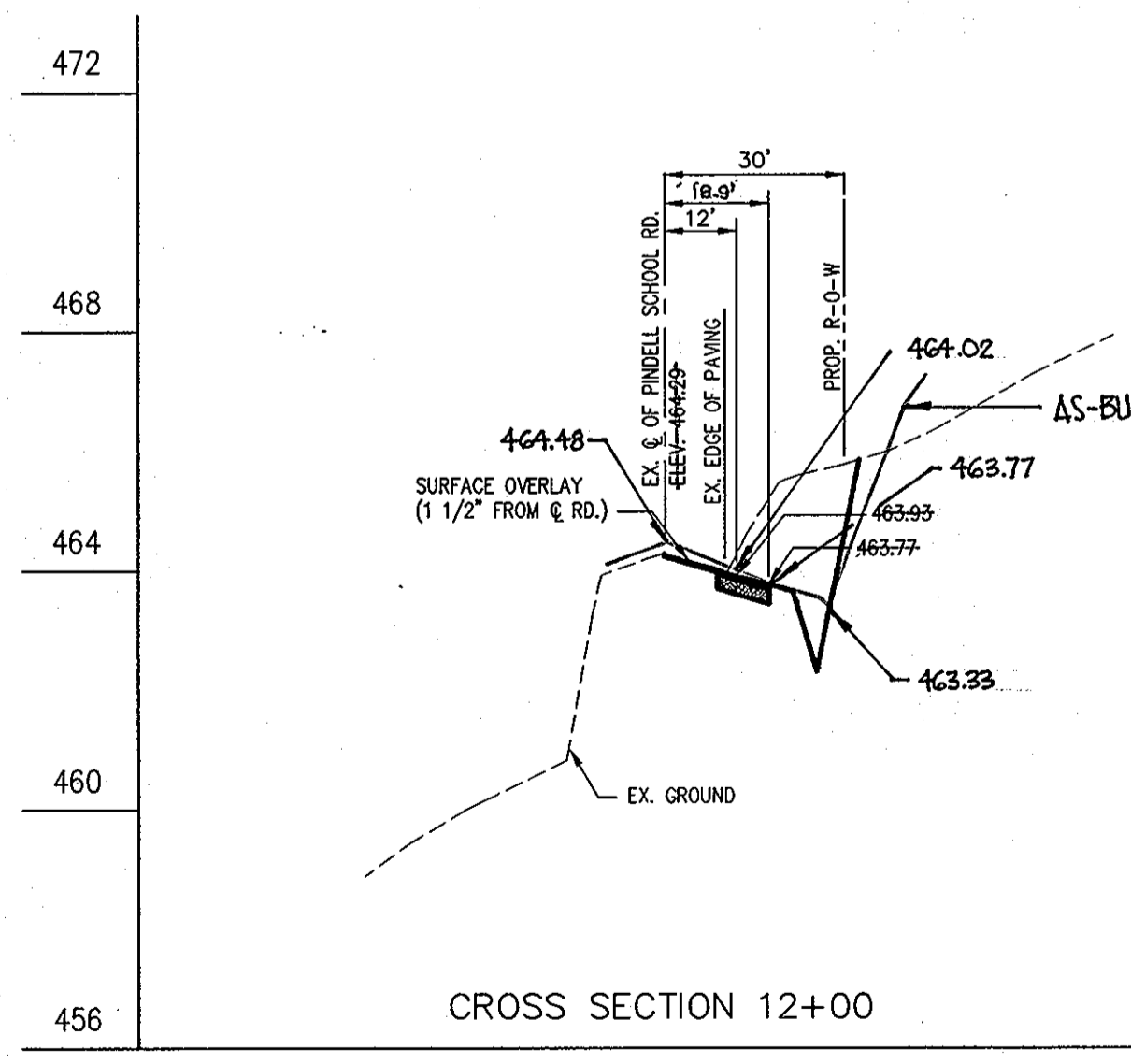
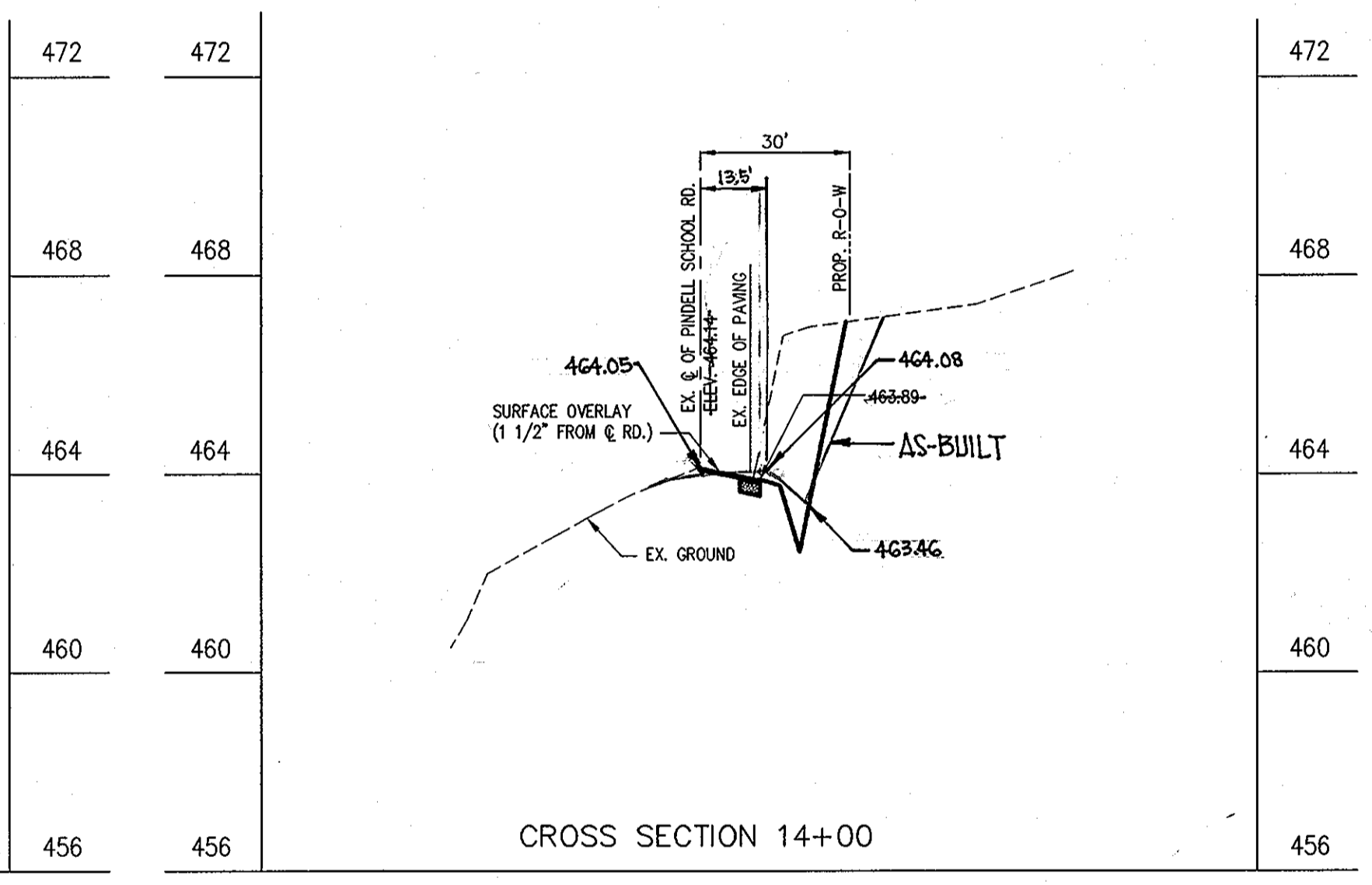
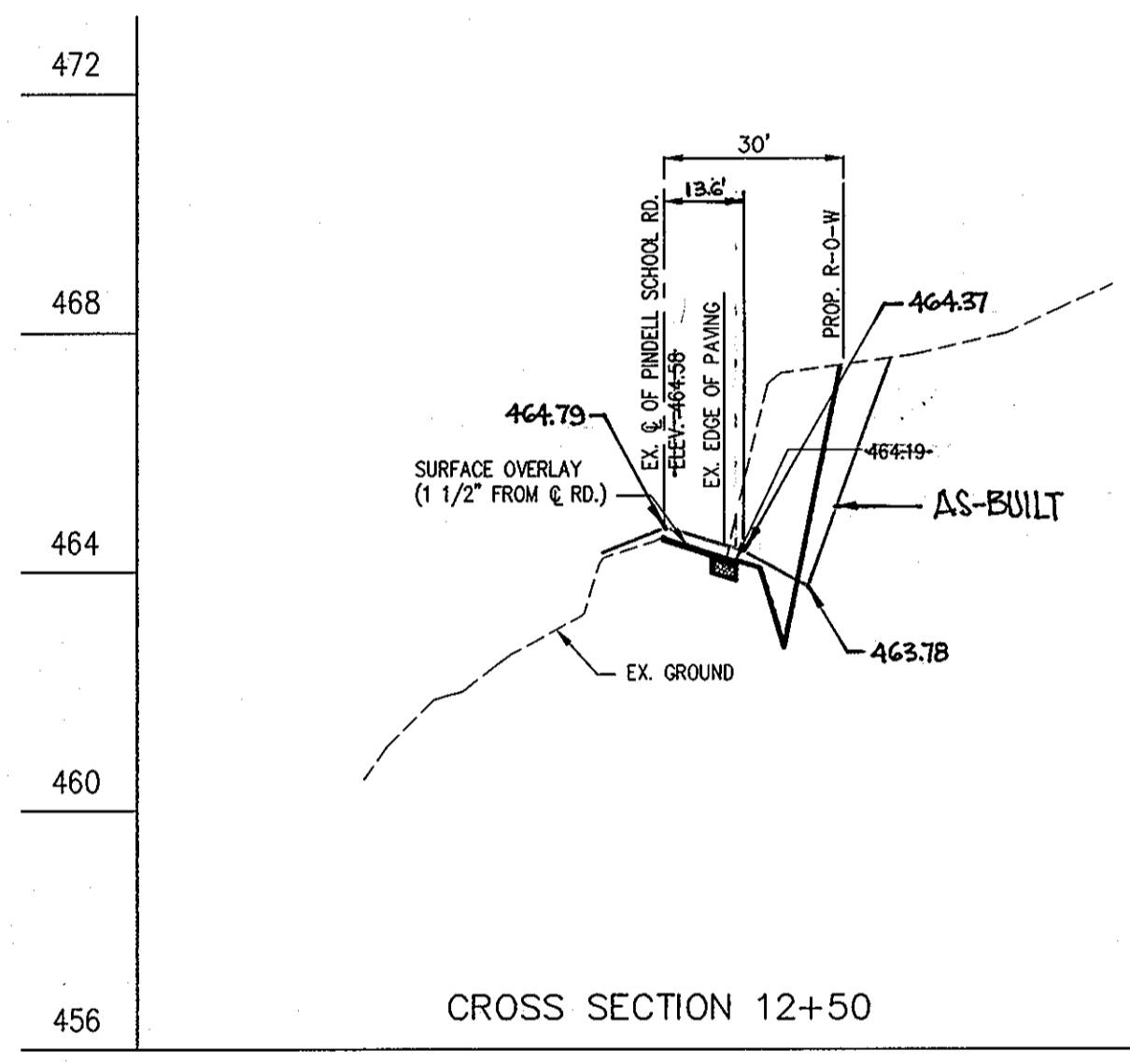
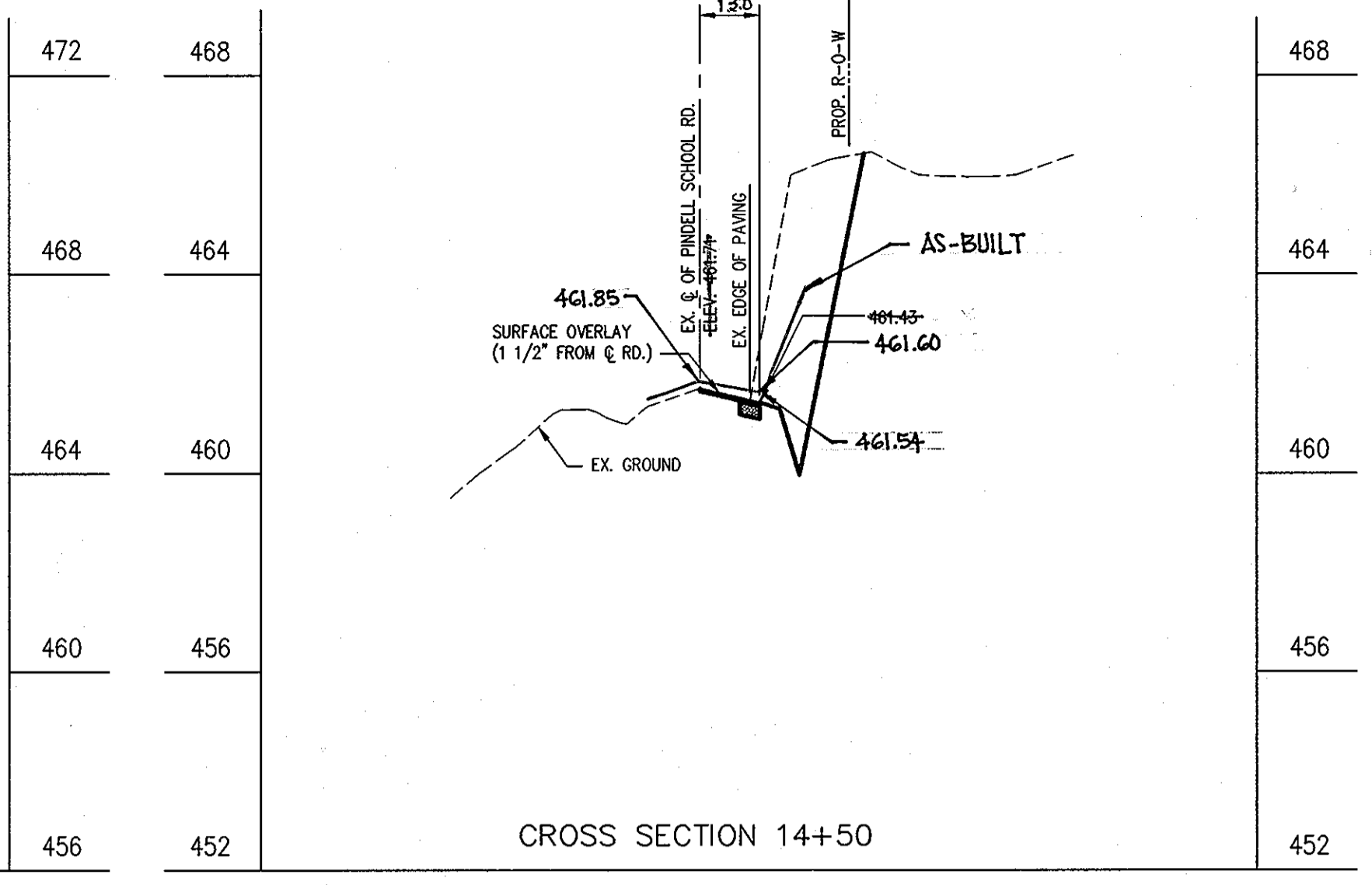
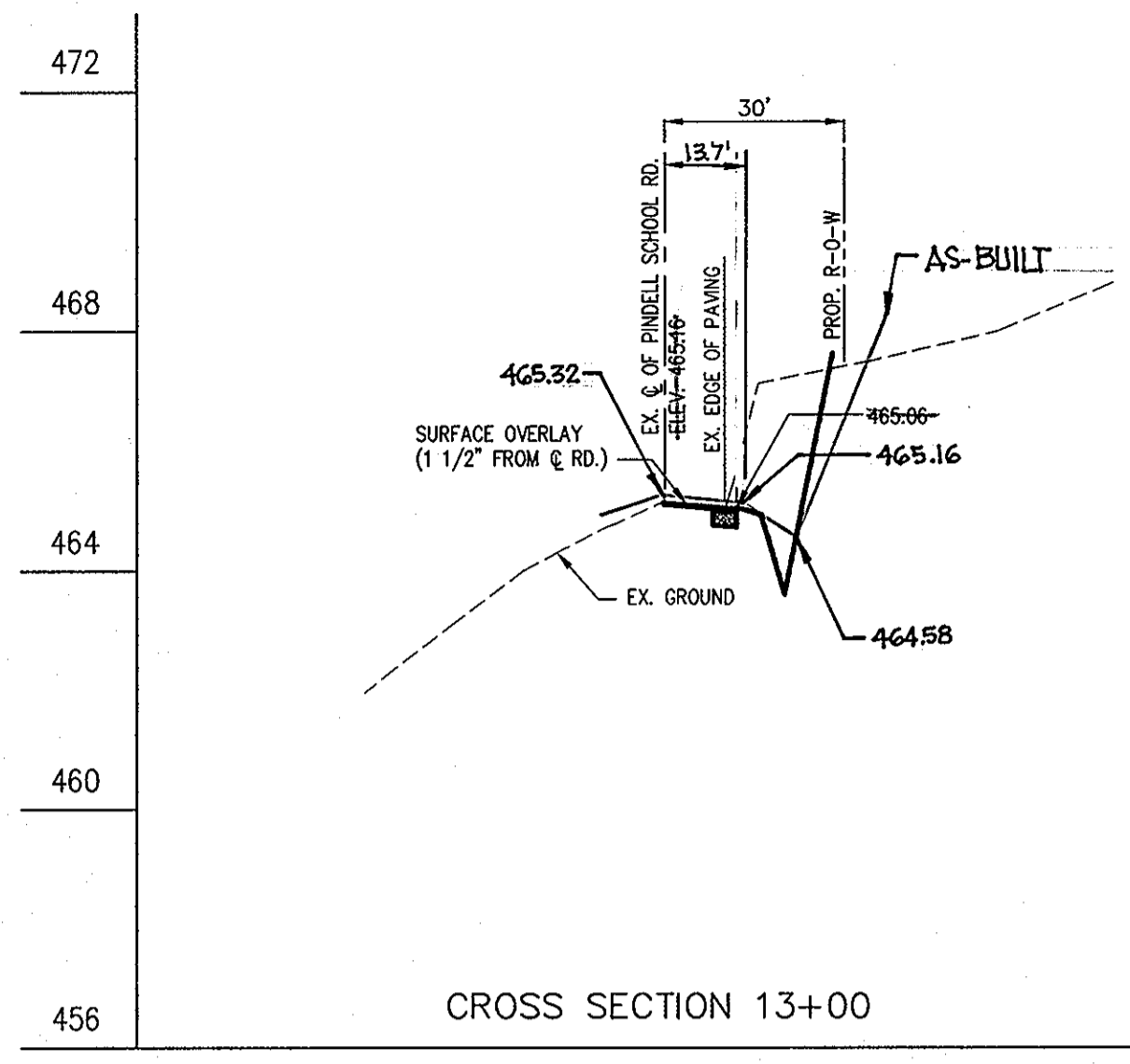
NOTE:  
 FOR STA. 6+00 TO STA. 11+50 USE STABILIZATION MATTING OR SOD DITCH LINING.



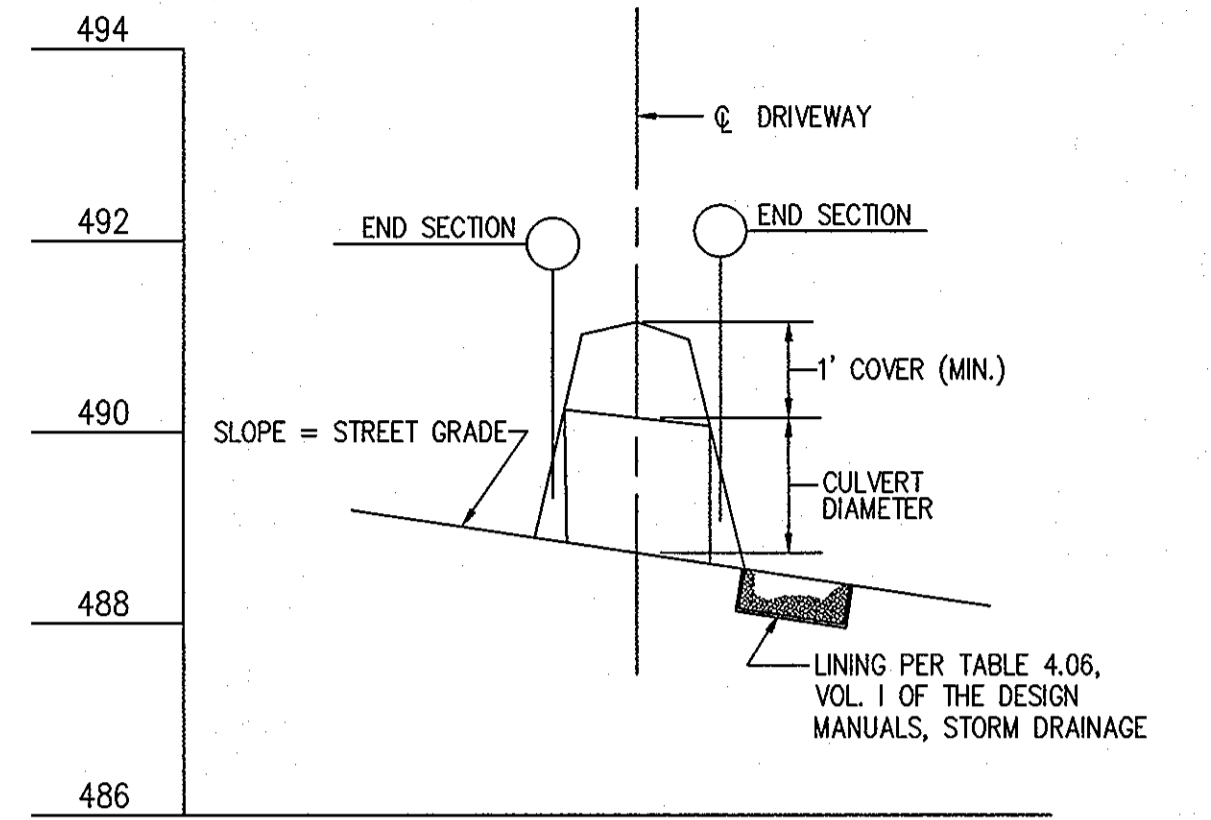
NO.		DATE		REVISIONS	
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274					
PROJECT NAME <b>PINDELL WOODS</b>					
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.					
TITLE <b>PINDELL SCHOOL ROAD CROSS-SECTIONS</b>		OWNERS: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044			
PREPARED BY: <b>RE</b> AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL: (410) 485-7903 FAX: (410) 485-3845		DES.: JL/DCW/AVG JOB: DRW.: AWG/DTA/JNC PROJ.: CHK.: D.C.W. DATE: 03/04/01			
SCALE: AS SHOWN		SHEET 10 OF 37			

F-01-89

H:\p10611\FINAL\PLAN\ROADSECT.dwg Wed Apr 04 16:05:32 2001



LOT NUMBERS	STREET GRADE	DISCHARGE Q <sub>10</sub> (CFS)	PIPE TYPE	PIPE CAPACITY (CFS)	FULL FLOW VELOCITY (FPS)	OUTFALL PROTECTION FOR CULVERT AND ROAD SIDE DITCH	REMARKS
1	4.00	3.42	15" CMP	7	5.70		COURSE GRAVEL Q TO I-15
2	4.02	3.42	15" CMP	7	5.70		COURSE GRAVEL Q TO I-15
3	2.08	3.42	15" CMP	5.05	4.11		SOLID SODDING Q TO I-15
4	1.01	1.57	12" CMP	1.94	2.47		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-7
5	1.01	1.57	12" CMP	1.94	2.47		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-7
6	4.55	1.57	12" CMP	4.12	5.24		COURSE GRAVEL Q TO I-7
7	4.55	1.57	12" CMP	4.12	5.24		COURSE GRAVEL Q TO I-7
8	4.55	1.57	12" CMP	4.12	5.24		COURSE GRAVEL Q TO I-7
9	4.55	1.57	12" CMP	3.45	5.24		COURSE GRAVEL Q TO I-7
10	3.20	1.22	12" CMP	3.45	4.40		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-2
11	3.20	1.22	12" CMP	3.45	4.40		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-2
12	5.50	1.22	12" CMP	4.53	5.76		COURSE GRAVEL Q TO I-2
13	5.50	1.22	12" CMP	4.53	5.76		COURSE GRAVEL Q TO I-2
14	5.50	1.46	12" CMP	4.53	5.76		COURSE GRAVEL Q TO I-1
15	5.50	1.46	12" CMP	4.52	5.76		COURSE GRAVEL Q TO I-1
16	2.12	1.46	12" CMP	2.81	3.56		SOLID SODDING Q TO I-1
17	1.85	1.46	12" CMP	2.63	3.34		SOLID SODDING Q TO I-1
18	3.20	1.22	15" CMP	6.26	4.40		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-8
19	3.20	2.31	12" CMP	3.45	4.40		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-8
20	4.55	2.31	12" CMP	4.12	5.24		COURSE GRAVEL Q TO I-8
21	4.55	2.31	12" CMP	4.12	5.24		COURSE GRAVEL Q TO I-8
22	1.01	2.31	12" CMP	4.12	2.45		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-8
23	1.01	1.53	12" CMP	1.94	2.47		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-5
24	3.25	1.53	12" CMP	5.72	4.43		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-5
25	3.25	1.53	12" CMP	5.72	4.43		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-5
26	1.04	1.53	12" CMP	1.97	2.51		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-5
27	5.95	4.13	12" CMP	4.71	6.00		COURSE GRAVEL Q TO I-4
28	5.95	4.13	12" CMP	4.71	6.00		COURSE GRAVEL Q TO I-4
29	5.95	4.13	12" CMP	4.71	6.00		COURSE GRAVEL Q TO I-4
30	5.95	4.13	12" CMP	4.71	6.00		COURSE GRAVEL Q TO I-4
31	2.00	4.13	15" CMP	4.95	4.03		SOLID SODDING Q TO I-4
32	2.00	4.13	15" CMP	4.95	4.03		SOLID SODDING Q TO I-4
33	5.95	4.13	12" CMP	4.71	5.99		COURSE GRAVEL Q TO I-4
34	5.95	4.13	12" CMP	4.71	5.99		COURSE GRAVEL Q TO I-4
35	5.95	4.13	12" CMP	4.71	5.99		COURSE GRAVEL Q TO I-4
36	5.50	1.06	12" CMP	4.53	5.76		COURSE GRAVEL Q TO I-11
37	6.00	1.06	12" CMP	4.76	6.02		COURSE GRAVEL Q TO I-11
38	6.00	1.90	12" CMP	4.72	6.02		COURSE GRAVEL Q TO I-10
39	1.00	1.90	12" CMP	1.93	2.46		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-10
40	4.00	1.90	12" CMP	3.86	4.91		COURSE GRAVEL Q TO I-10
41	5.50	1.35	12" CMP	4.53	5.76		COURSE GRAVEL Q TO I-12
42	5.50	1.35	12" CMP	4.53	5.76		COURSE GRAVEL Q TO I-12
43	1.04	1.35	12" CMP	1.97	2.51		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-12
44	1.04	0.65	12" CMP	1.97	2.51		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-6
45	3.25	0.65	12" CMP	3.48	4.43		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-6
46	4.00	1.34	12" CMP	3.86	4.91		SOIL STABILIZATION MATTING OVER SEED & MULCH Q TO I-14
47	4.00	1.34	12" CMP	3.86	4.91		SOIL STABILIZATION MATTING OVER SEED & MULCH INLET I-14



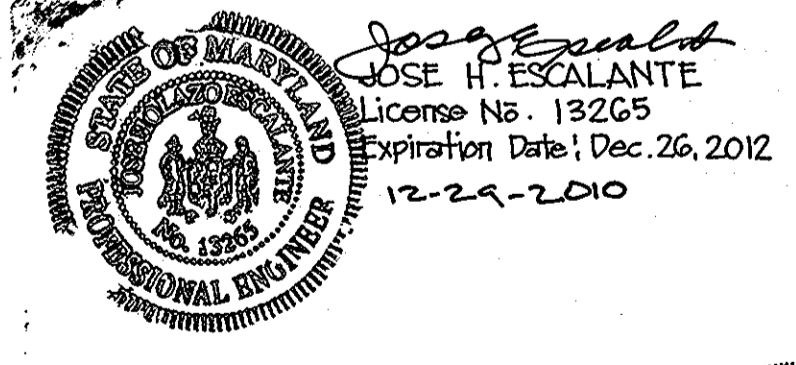
Lining Type	Allowable Velocities (fps)	Remarks
Earth, without vegetation	1.0 to 3.0	USE SOIL STABILIZATION MATTING OVER SEED AND MULCH FOR CONSTRUCTION ITEMS
Seed & Mulch	2.5	-
Grasses, Stiff Stemmed Grasses	2.0 to 3.0	-
Bunch Grass	2.0 to 4.0	-
Solid Sodding	4.0	-
Stiff Clay or Clay & Gravel	3.0 to 5.0	-
Fine Gravel	5.0	-
Well-established Grasses, short plant blades	5.0	-
Soil Stabilization Matting over Seed & Mulch	5.6	-
Shale & Rock Course Gravel (Class 1 Riprap)	6.0	-
Riprap	Varies	Refers to SHA 61.1-405.1
Concrete Channel	No Maximum	-

NOTE: 10 YEAR DISCHARGE SHOWN ARE DISCHARGE TO DOWNSTREAM INLET.

PIPE SIZE (IN.)	CLASS/TYPE	TOTAL LENGTH (FT.)	REMARKS
15	HDPE SMOOTH INTERIOR	315	
18	HDPE SMOOTH INTERIOR	2,962	
24	HDPE SMOOTH INTERIOR	1,069	
30	HDPE SMOOTH INTERIOR	168	

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the Approved Plans and Specifications.



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 5/1/01 DATE  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 5/6/01 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/1/01 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

SECTIONS

SCALE: 1" = 30' HORIZONTAL  
 1" = 3' VERTICAL

NOTE: FOR STA. 11+50 TO STA. 13+50 USE SEED AND MULCH DITCH LINING AND STABILIZATION MATTING OR SOD FROM STA. 13+50 TO STA. 14+50.

NO. DATE REVISIONS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME **PINDELL WOODS**

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
 HOWARD COUNTY, MARYLAND.

TITLE **PINDELL SCHOOL ROAD CROSS-SECTIONS**

8-00-15 P-01-06 F-01-89

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.  
 10749 BIRMINGHAM WAY  
 WOODSTOCK, MD 21163  
 TEL (410) 485-7903  
 FAX (410) 485-3845

OWNERS: CLARENCE AND MARTHA CARVELL  
 7106 PINDELL SCHOOL ROAD  
 FULTON, MD. 20759  
 H Y REAL ESTATE JOINT VENTURE  
 1921 ROCKVILLE PIKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 MARSHALL P. TULIN  
 1921 ROCKVILLE PIKE, SUITE 300  
 ROCKVILLE, MD. 20852  
 DEVELOPER: MOUNT VIEW, LLC.  
 6258 CARDINAL LA.  
 COLUMBIA, MD. 21044

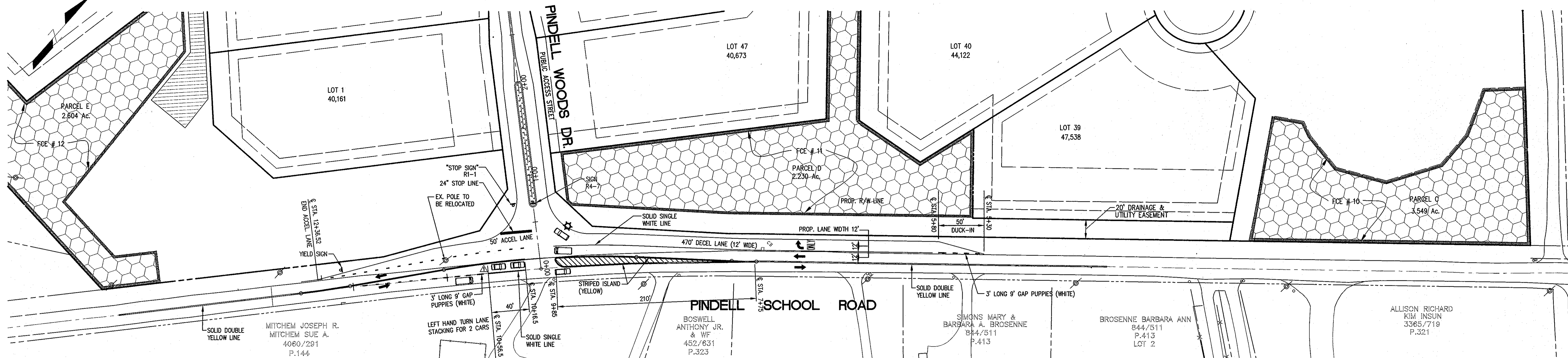
DES.: JL/DCW/AVG JOB:

DRW.: AVG/DTA/JNC PROJ.:

CHK.: D.C.W. DATE: 03/04/01

SCALE: AS SHOWN SHEET 11 OF 37

F-01-89

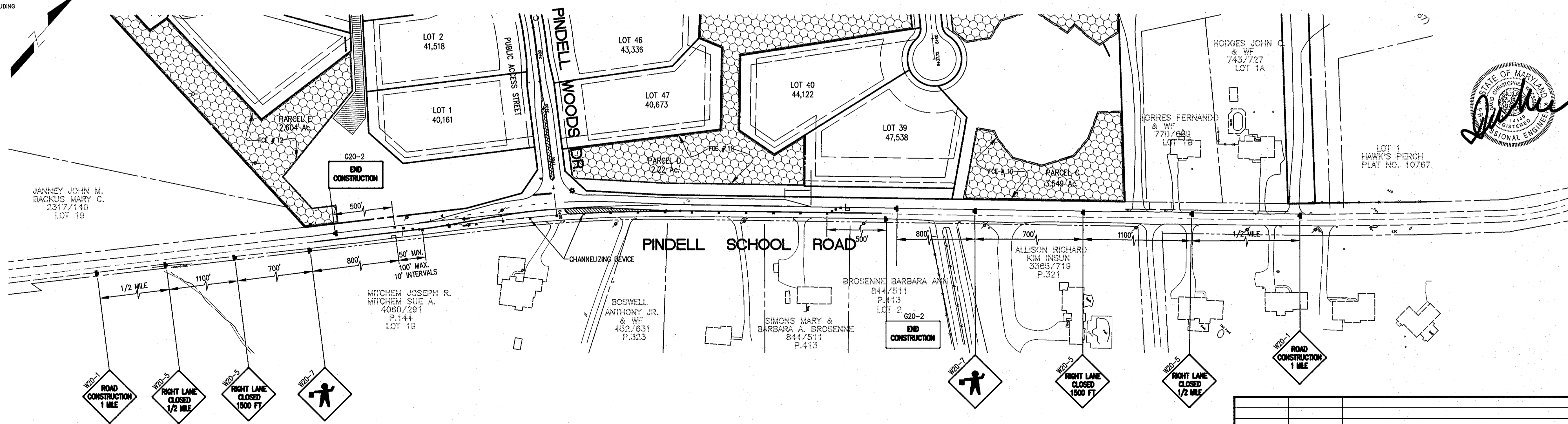


**STRIPING PLAN**  
SCALE: 1" = 50'

NOTES: 1. REMOVED EXISTING STRIPING AFFECTED BY NEW STRIPING LINES.  
2. ALL LANE DESIGNATION TO BE THERMOPLASTIC LINE STRIPING.  
3. FOR PROPOSED IMPROVEMENT TO PINDELL SCHOOL ROAD, SEE SHEET 8 OF 37.

▲ LEFT HAND TURN LANE TO STACK 2 CAR BASED UPON 20 PEAK LEFT HAND TURNING MOVEMENT PER HOUR. (20/hr x 1/60min. x 1/0.75 = 1 CAR)  
1 CAR STACKING REQUIRED  
2 CARS STACKING PROVIDED  
SEE LEE CUNNINGHAM & ASSOCIATES REPORT.

- MAINTENANCE OF TRAFFIC SPECIAL PROVISIONS**
- GENERAL**
- THE PURPOSE OF THIS PORTION OF THE SPECIAL PROVISION IS TO SET FOR THE TRAFFIC CONTROL REQUIREMENTS NECESSARY FOR THE SAFE AND EFFICIENT MAINTENANCE TO TRAFFIC WITHIN WORK AREAS, AND TO MINIMIZE ANY INCONVENIENCES TO THE TRAVELING PUBLIC AND THE CONTRACTOR AND/OR PERMITTEE.
  - PROPERTY TRAFFIC CONTROL THROUGH WORK AREAS IS ESSENTIAL FOR INSURING THE SAFETY AND THAT OF HIGHWAY WORKERS HAS THE HIGHEST PRIORITY OF ALL TASKS WITHIN THIS PROJECT. THE PROPERTY APPLICATION OF THE APPROVED TRAFFIC CONTROL PLAN (TCP) WILL PROVIDE THE DESIRED LEVEL OF SAFETY.
  - THROUGHOUT THESE SPECIAL PROVISIONS, ANY MENTION OF THE TCP SHALL BE IMPLIED TO INCLUDE ANY COMBINATION OF TYPICAL TRAFFIC CONTROL STANDARDS WHICH FORM THE OVERALL TCP FOR THIS PROJECT WHICH HAS BEEN APPROVED BY THE APPROPRIATE HOWARD COUNTY HIGHWAY DEPARTMENT TRAFFIC ENGINEER.
  - THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE PROVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 1988 OR LATEST EDITION, ESPECIALLY PART VI, AND TO SECTION 814 OF THE MARYLAND DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (JANUARY, 1982 OR LATEST, INCLUDING ALL REVISIONS AND SUPPLEMENTS TO EACH).
  - THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE REQUIREMENTS SET FORTH IN THE TCP AND THESE SPECIAL PROVISIONS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY REQUEST TO MAKE MINOR CHANGES TO THE TCP OR THE SPECIAL PROVISIONS WITH REGARD TO THE TRAFFIC CONTROL ITEMS SHALL BE MADE IN WRITING TO THE ENGINEER A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE PROPOSED SCHEDULING CHANGE. THE CONTRACTOR AND/OR PERMITTEE SHALL HAVE WRITTEN APPROVAL OF THE ENGINEER PRIOR TO THE IMPLEMENTATION OF ANY CHANGE.
  - NO WORK SHALL BEGIN ON ANY WORK ACTIVITY OR WORK PHASE UNTIL ALL REQUIRED TRAFFIC CONTROL PATTERNS AND DEVICES INDICATED ON THE TCP FOR THAT ACTIVITY OR PHASE UNTIL COMPLETELY AND CORRECTLY IN PLACE TO HAVE BEEN CHECKED FOR APPROVED USAGE.
  - GENERAL AND SPECIFIC WARNING SIGNS SHALL ONLY BE IN PLACES WHEN SPECIFIC OWNER TASKS AND ACTIVITIES ARE ACTUALLY UNDERWAY OR CONDITIONS EXIST THAT POSE A POTENTIAL HAZARD TO THE PUBLIC AND ANY ADDITIONAL SIGNING HAS BEEN APPROVED BY THE APPROPRIATE HOWARD COUNTY HIGHWAY DEPARTMENT TRAFFIC ENGINEER.
  - NOTE: THE PRACTICE OF PLACING SIGNING AND OTHER TRAFFIC CONTROL DEVICES IN ADDITION TO THOSE INDICATED ON THE APPROVED TCP IS NOT PERMITTED.
  - THE CONTRACTOR AND/OR PERMITTEE SHALL PROVIDE, MAINTAIN IN NEW CONDITION AND MOVE WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, ALL TRAFFIC CONTROL DEVICES USED FOR THE GUIDANCE AND PROTECTION OF MOTORISTS, PEDESTRIANS, AND WORKERS.
  - ALL TRAFFIC CONTROL DEVICES REQUIRED BY THE TCP SHALL BE KEPT IN GOOD CONDITION FULLY PERFORMING AS SET FORTH IN THE TCP. THE MUTCD, AND/OR SECTION 814 OF THE SPECIFICATIONS FOR REFLECTIVE DEVICES, A PARTICULAR DEVICE IS ASSUMED TO HAVE FAILED TO MEET MINIMUM OPERATIONAL STANDARDS WHEN THE DEVICE NO LONGER HAS RETRO-REFLECTANCE CAPABILITY OF AT LEAST 60% OF THE SPECIFIED MINIMUM VALUE OVER AT LEAST 90% OF THE VISIBLE REFLECTIVE SURFACE.
  - ALL TRAFFIC CONTROL DEVICES NOT REQUIRED FOR THE SAFE CONDUCT OF TRAFFIC SHALL BE PROMPTLY REMOVED, COMPLETELY COVERED, TURNED AWAY FROM TRAFFIC, OR OTHERWISE TAKE OUT OF SERVICE. IT IS INTENDED THAT NO TRAFFIC CONTROL DEVICE IS TO BE IN SERVICE WHEN THERE IS NO CLEAR CUT REASON FOR THE DEVICE.
  - THROUGHOUT THE PERIODS OF WORK ACTIVITIES TRAFFIC SHALL BE MAINTAINED BY IMPLEMENTING THE APPROVED TCP. IN LIEU OF THE TCP PREPARED FOR THIS PROJECT AND/OR INDIVIDUAL TYPICAL TRAFFIC CONTROL STANDARDS, THE CONTRACTOR AND/OR PERMITTEE HAS THE OPTION OF PREPARING AND SUBMITTING A TCP WHOLLY OR IN PART OF HIS OWN DESIGN FOLLOWING GUIDELINES SET FORTH IN THE MUTCD AND PRESCRIBED BY THE ADMINISTRATION. A TCP DEVELOPED BY THE CONTRACTOR AND/OR PERMITTEE SHALL NOT BE IMPLEMENTED UNTIL ADVANCE WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. TOPS MAY BE IMPLEMENTED WITHIN A SINGLE PROJECT OR JOINTLY BETWEEN TWO OR MORE PROJECTS. IN SITUATIONS WHERE TOPS ARE JOINTLY IMPLEMENTED, CARE SHALL BE EXPRESSED TO PRESENT CORRECT AND NOT-CONFLICTING GUIDANCE TO THE TRAVELING PUBLIC.
  - THROUGHOUT THESE SPECIAL PROVISIONS, WHERE SPEED OF TRAFFIC IS NOTED THIS MEANS THE POSTED SPEED OR PREVAILING TRAVEL SPEED, WHICHEVER IS HIGHER UNLESS OTHERWISE NOTED.
  - TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT UNLESS OTHERWISE NOTED. NO TRAVEL LANE(S) OTHER THAN THOSE DESIGNATED FOR POSSIBLE CLOSURE IN THE TCP SHALL BE CLOSED WITHOUT OBTAINING PRIOR APPROVAL FROM THE ENGINEER. ALL INGRESS AND EGRESS TO THE WORK AREA BY THE CONTRACTOR AND/OR PERMITTEE SHALL BE PERFORMED WITH THE FLOW OF TRAFFIC.

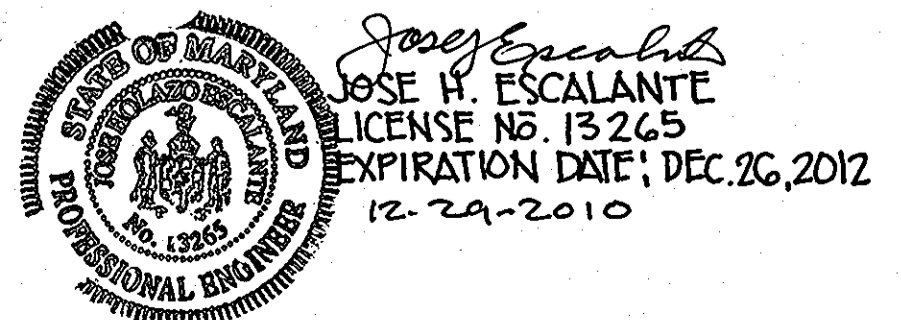


**TEMPORARY TRAFFIC CONTROL PLAN**  
NOT TO SCALE

NOTE: FLAGGER SHALL NEVER BE STATIONED MORE THAN 1000' AWAY FROM THE ADVANCE FLAGGER SIGN.

IMPORTANT: THIS DRAWING SHALL BE USED IN COMBINATION WITH THE GENERAL NOTES AT THE BEGINNING OF STANDARDS NO. MD. 104.00

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



**KEY**

- SIGN
- CHANNELIZING DEVICES
- DIRECTION OF TRAFFIC
- FLAGGER
- WORK SITE

APPROVED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST. DATE

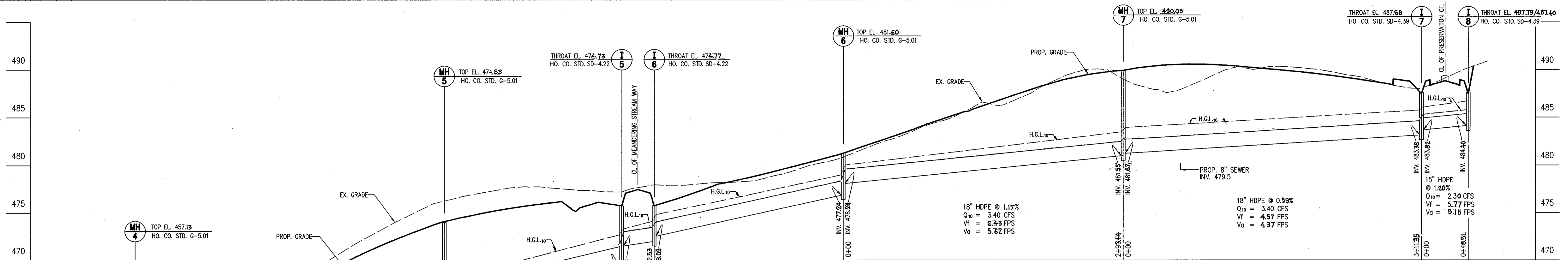
APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Alphonse M. Cavale* 5-1-01 DATE  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Conita Hamstra* 5/6/01 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Ally Demunier* 5/11/01 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
TITLES <b>PINDELL SCHOOL ROAD TRAFFIC CONTROL AND STRIPING PLAN</b>		
8-01-05	P-01-06	F-01-09
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL: (410) 465-7903 FAX: (410) 465-3845		
OWNERS: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PKE, SUITE 300 ROCKVILLE, MD. 20852		
DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA COLUMBIA, MD. 21044		
DES.: JL/DCW/AVG	JOB:	SCALE: AS SHOWN
DRW.: AWG/DTA/JNC	PROJ.:	SHEET 12 OF 37
CHK.: D.C.W.	DATE: 03/04/01	

F-01-89

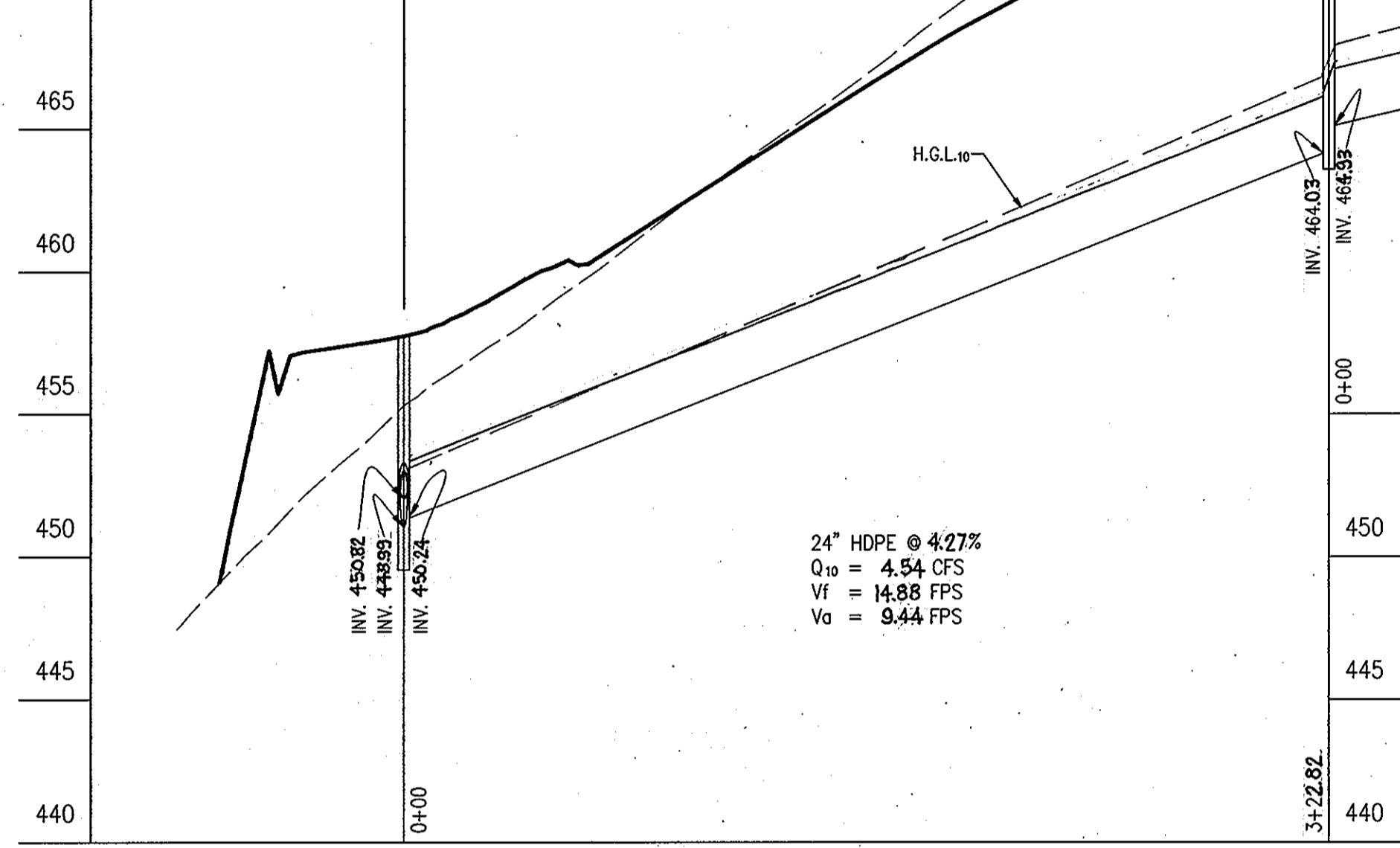
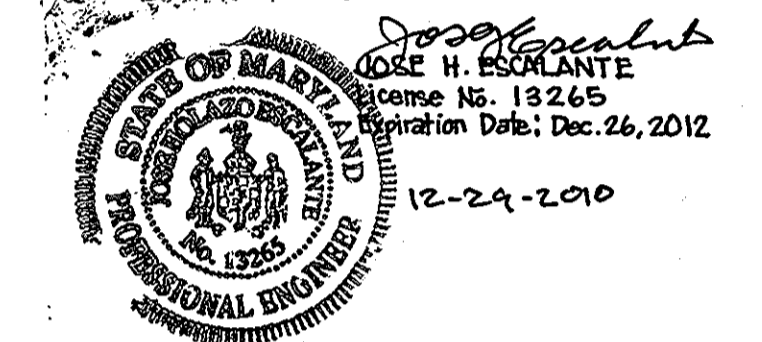


**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

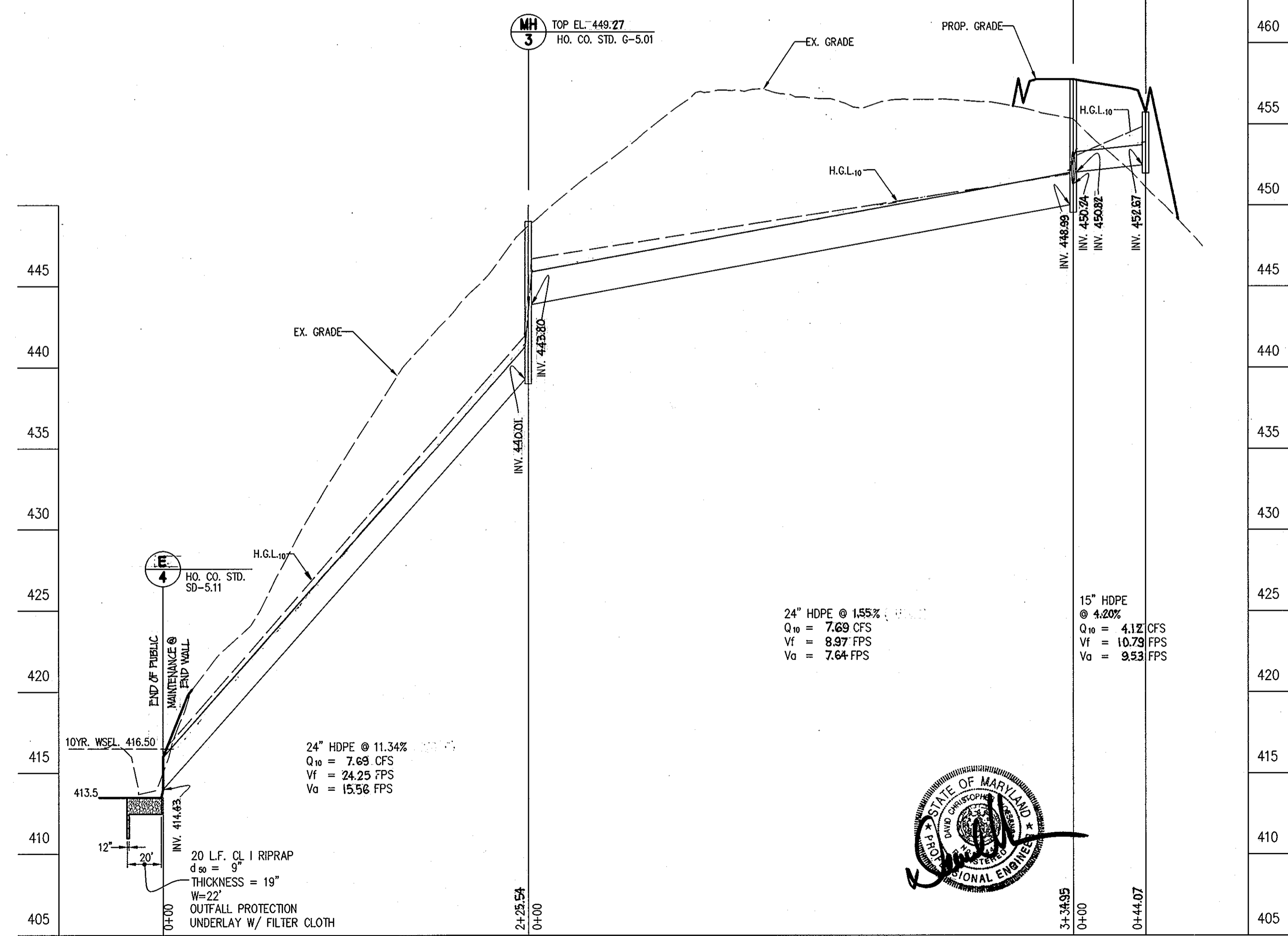
NOTE: UNLESS OTHERWISE NOTED  
STORM DRAINS ARE PUBLIC STORM  
DRAINS.

**AS-BUILT CERTIFICATION**

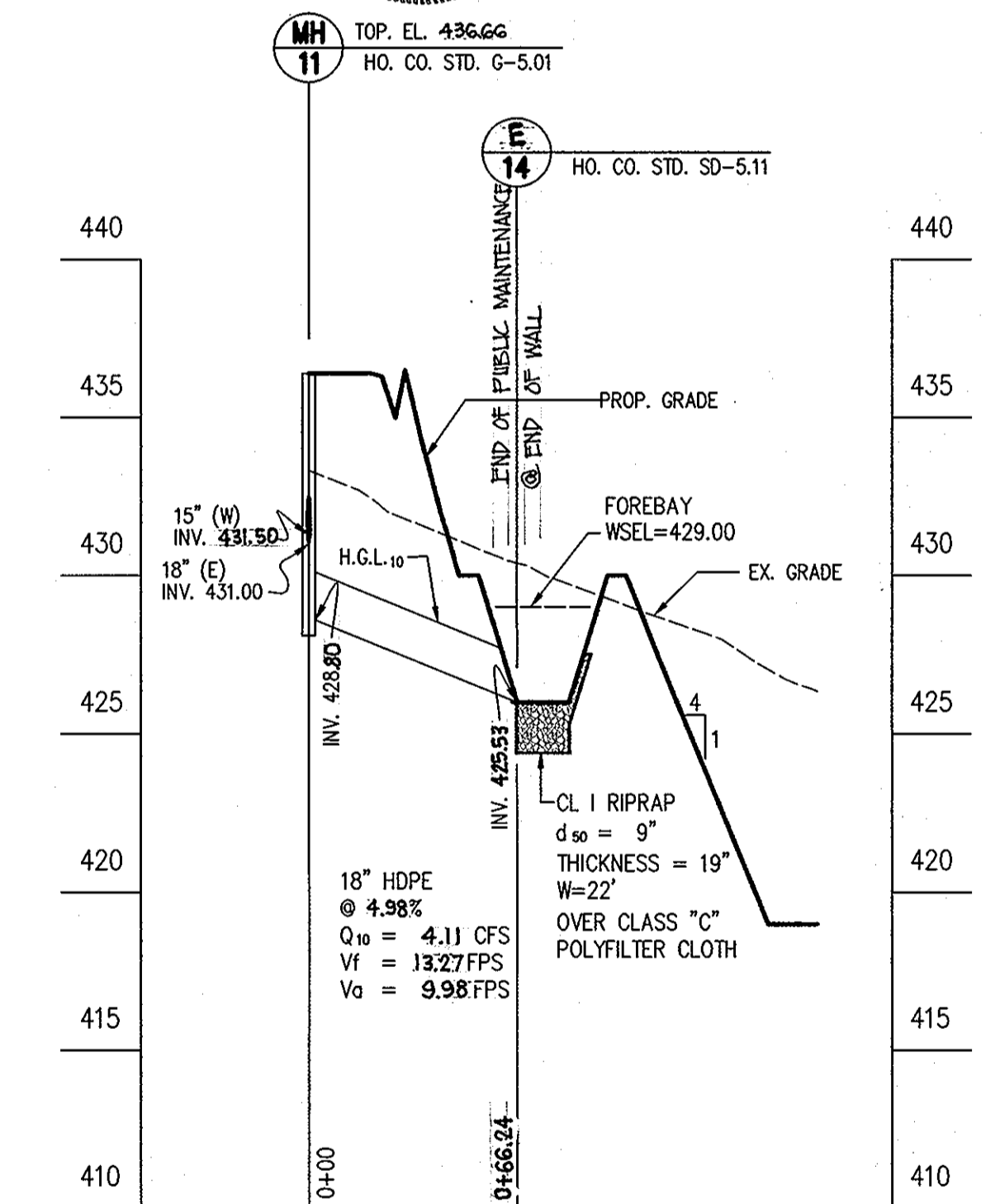
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the approved Plans and Specifications.



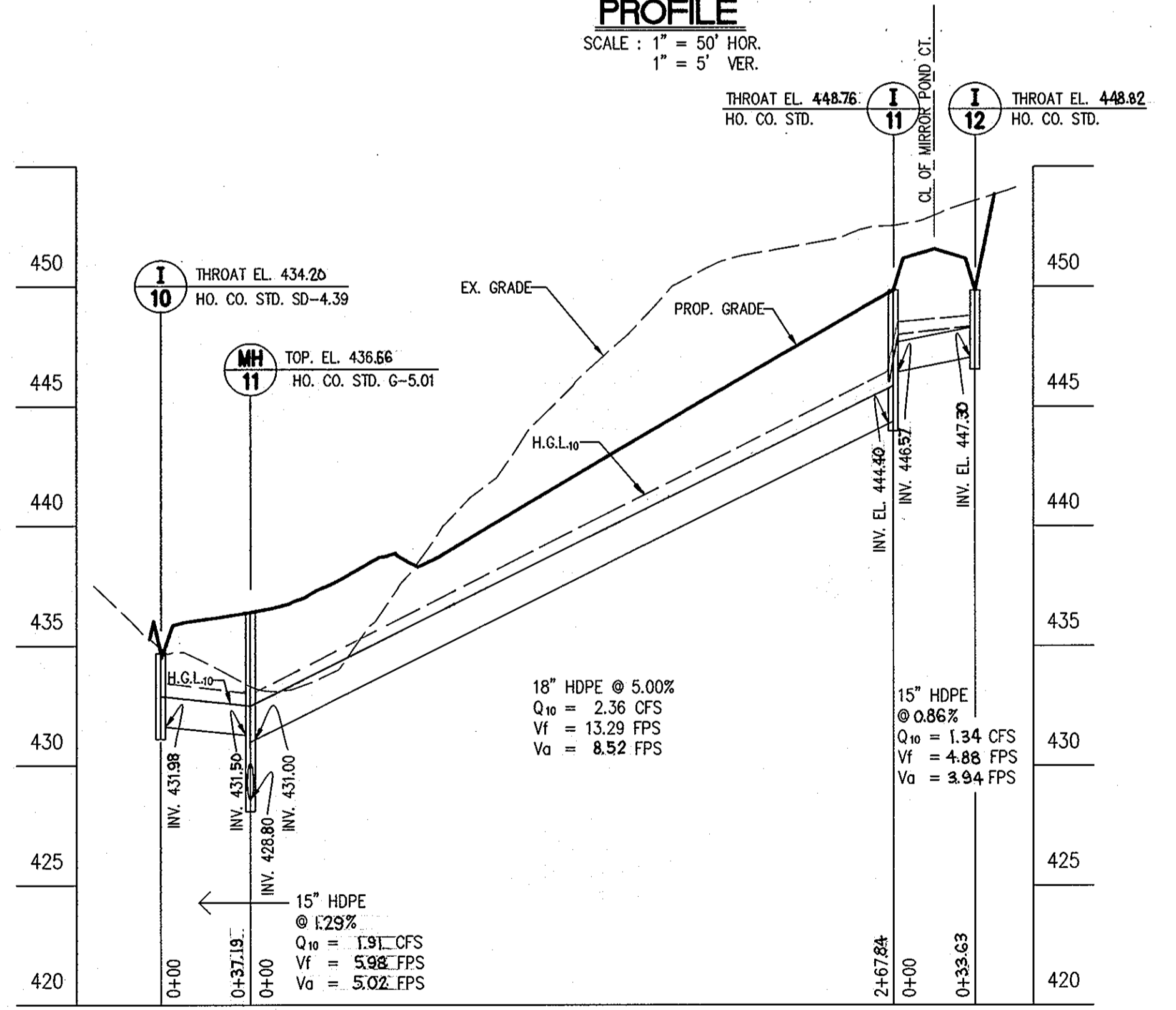
**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

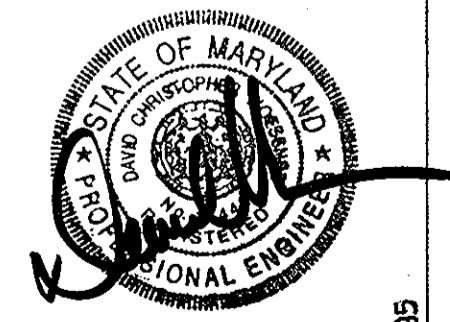


**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Joseph H. Escalante*  
CHIEF, BUREAU OF HIGHWAYS 5/1/01 DATE

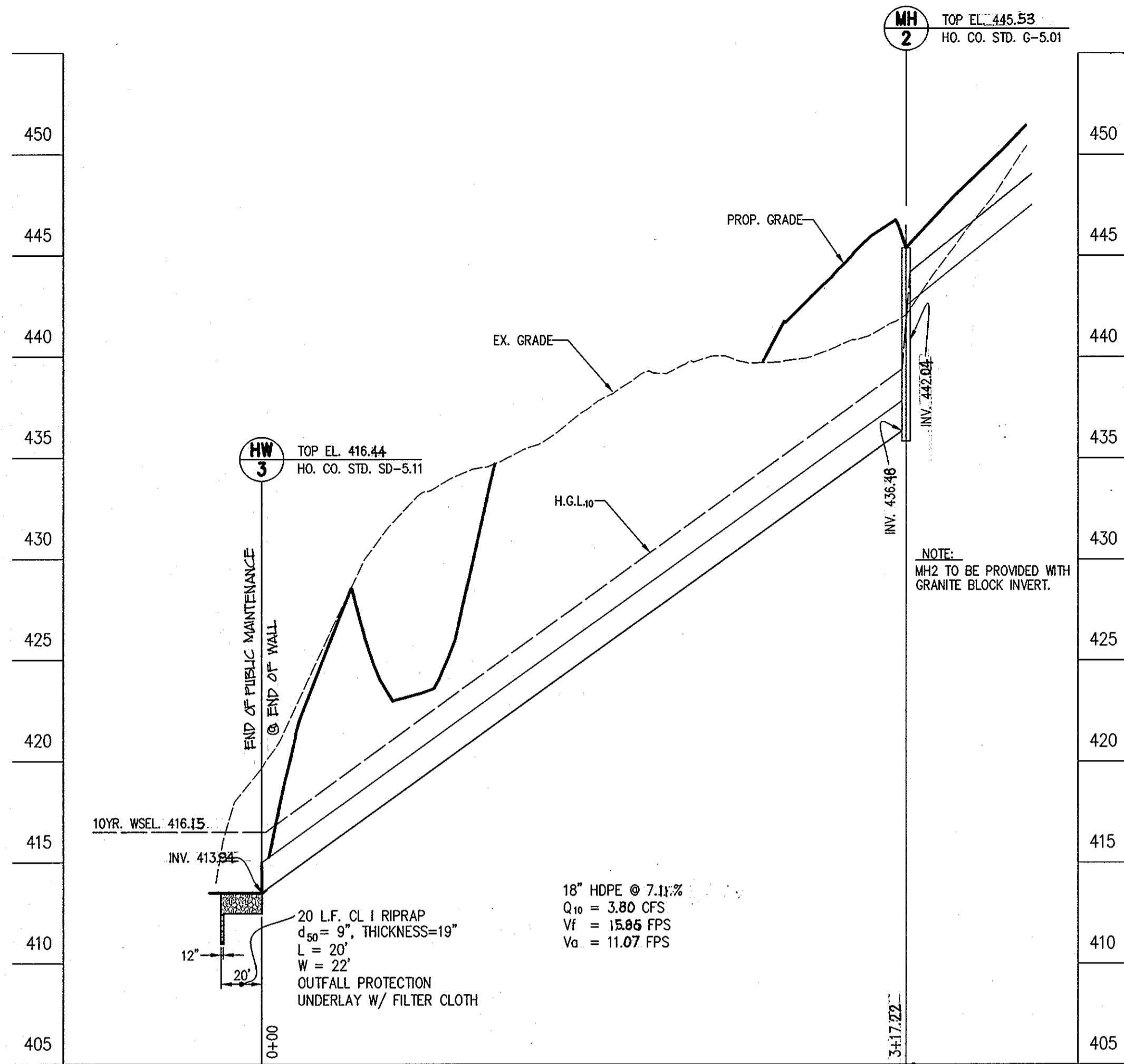
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cynthia Ramotta*  
CHIEF, DIVISION OF LAND DEVELOPMENT 5/16/01 DATE

*Michael J. ...*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION 5/11/01 DATE

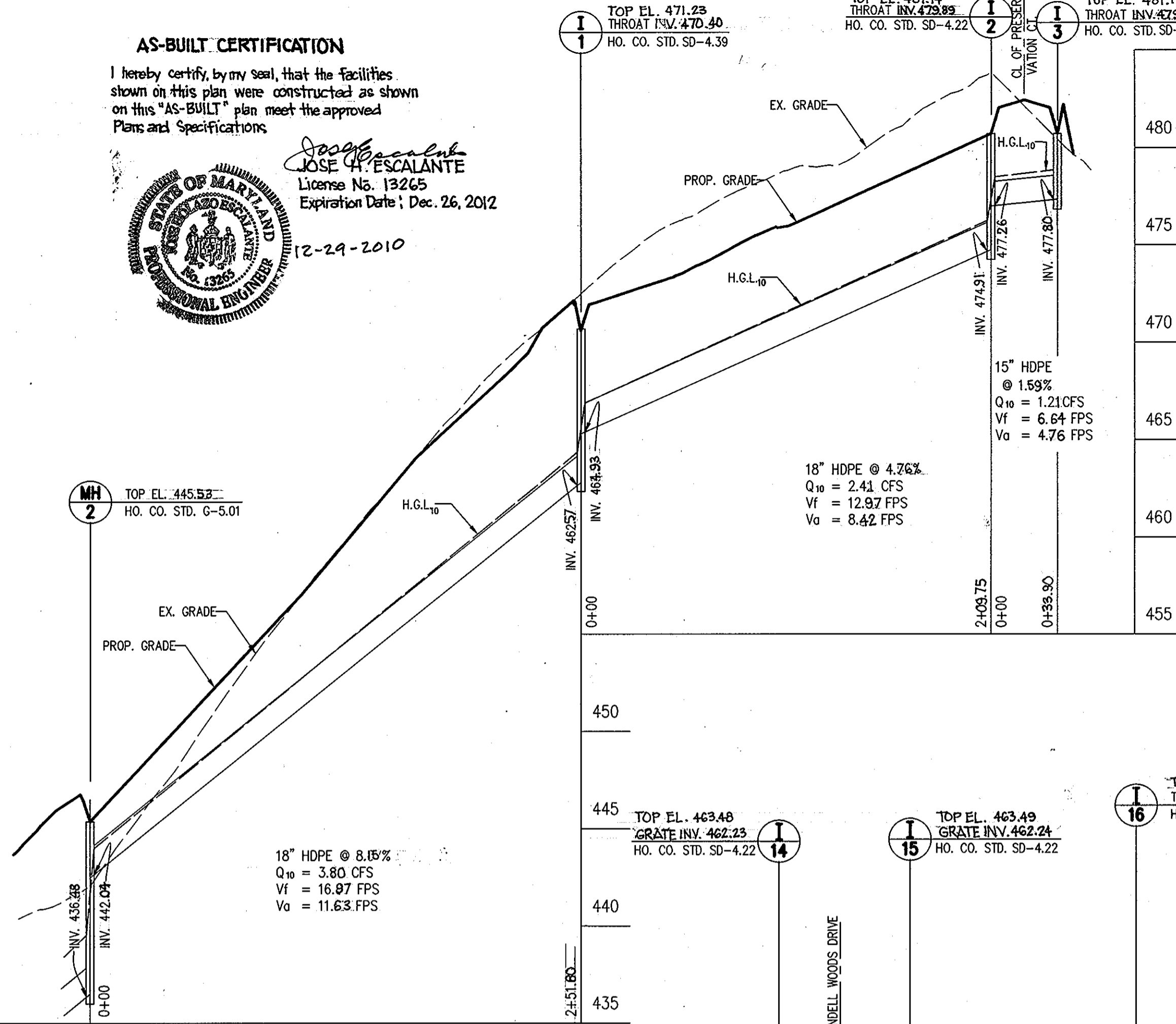


NOTE: 1. FOR PIPE SCHEDULE SEE SHEET 11 OF 97.  
2. EXISTING GROUND BASED ON JUNE 1, 2000 SURVEY BY YOGEL AND ASSOCIATES.

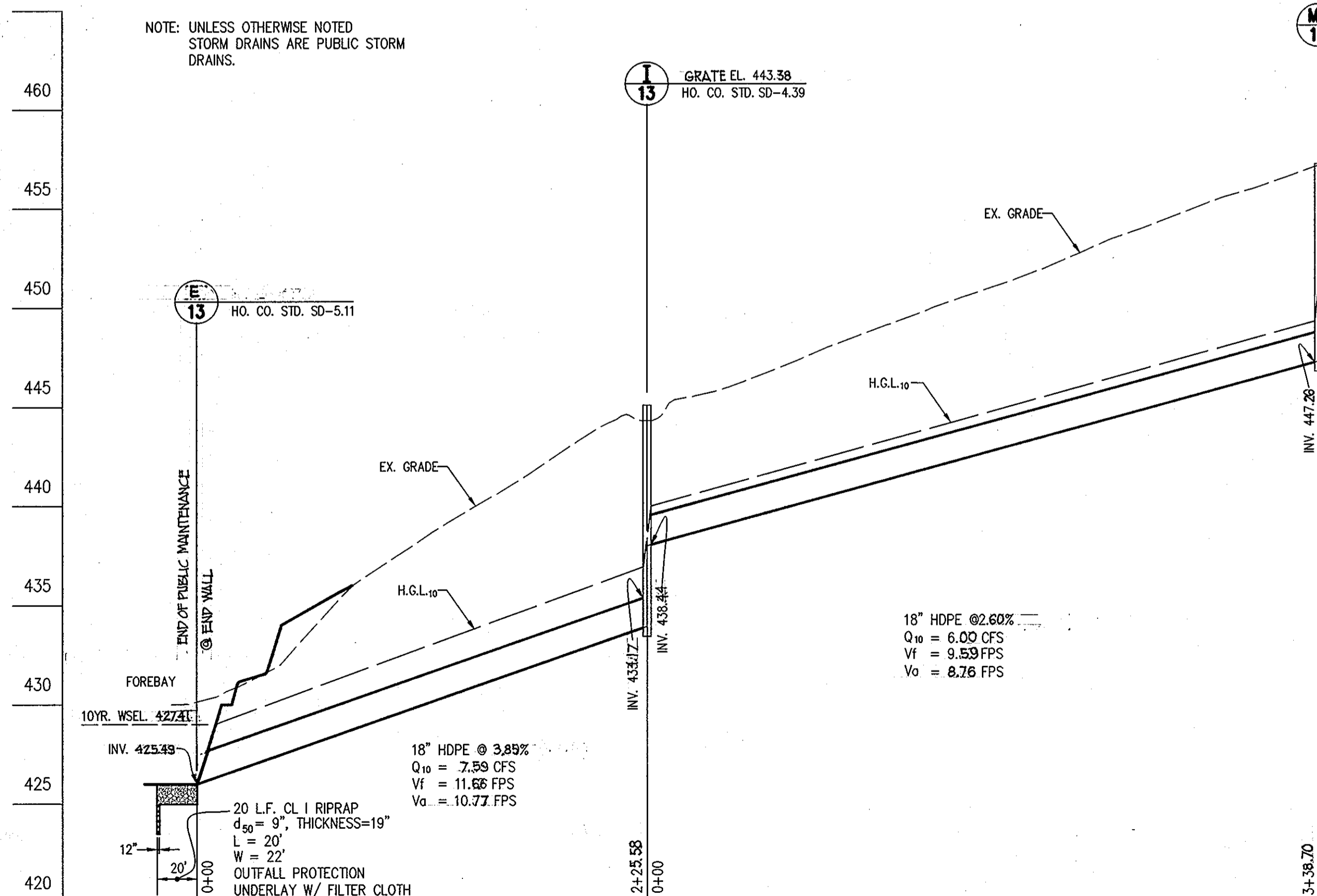
NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE <b>STORM DRAIN PROFILES</b>		OWNERS: CLARENCE AND MARTHA CARWELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 485-7903 FAX (410) 485-9845		DEVELOPER: MOUNT VIEW, LLC 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES.: JL/DCW/AVG	JOB:	SCALE: AS SHOWN
DRW.: AVG/DTA/JNC	PROJ.:	SHEET 13 OF 37
CHK.: D.C.W.	DATE: 03/04/01	



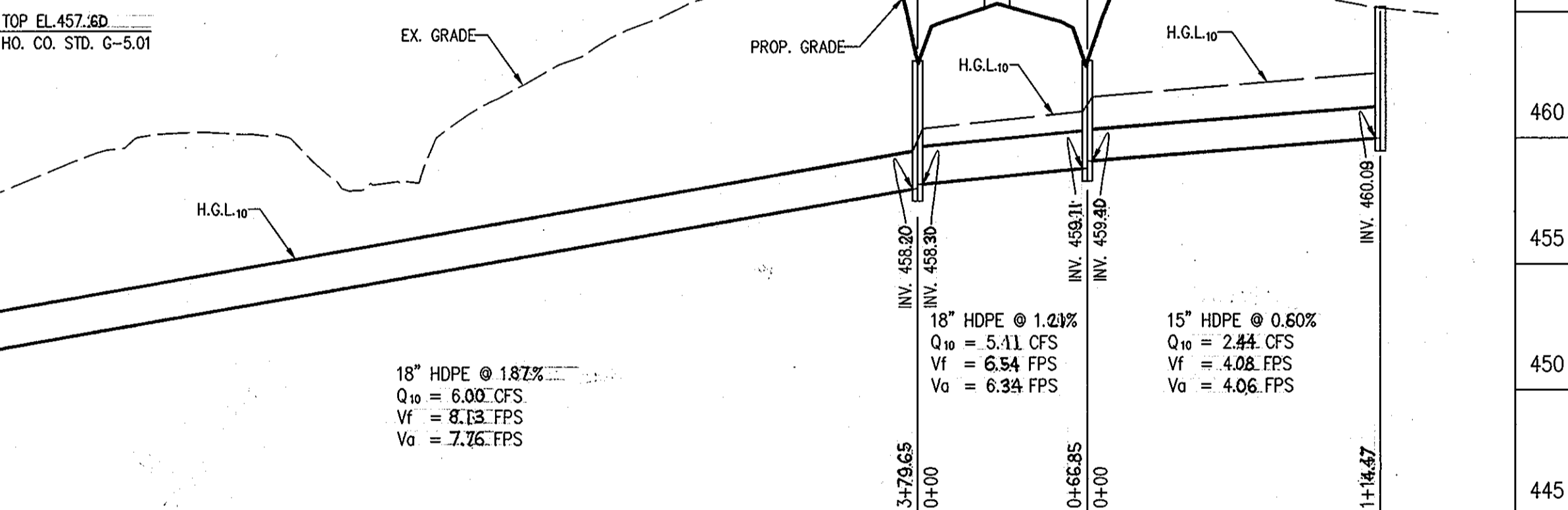
**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



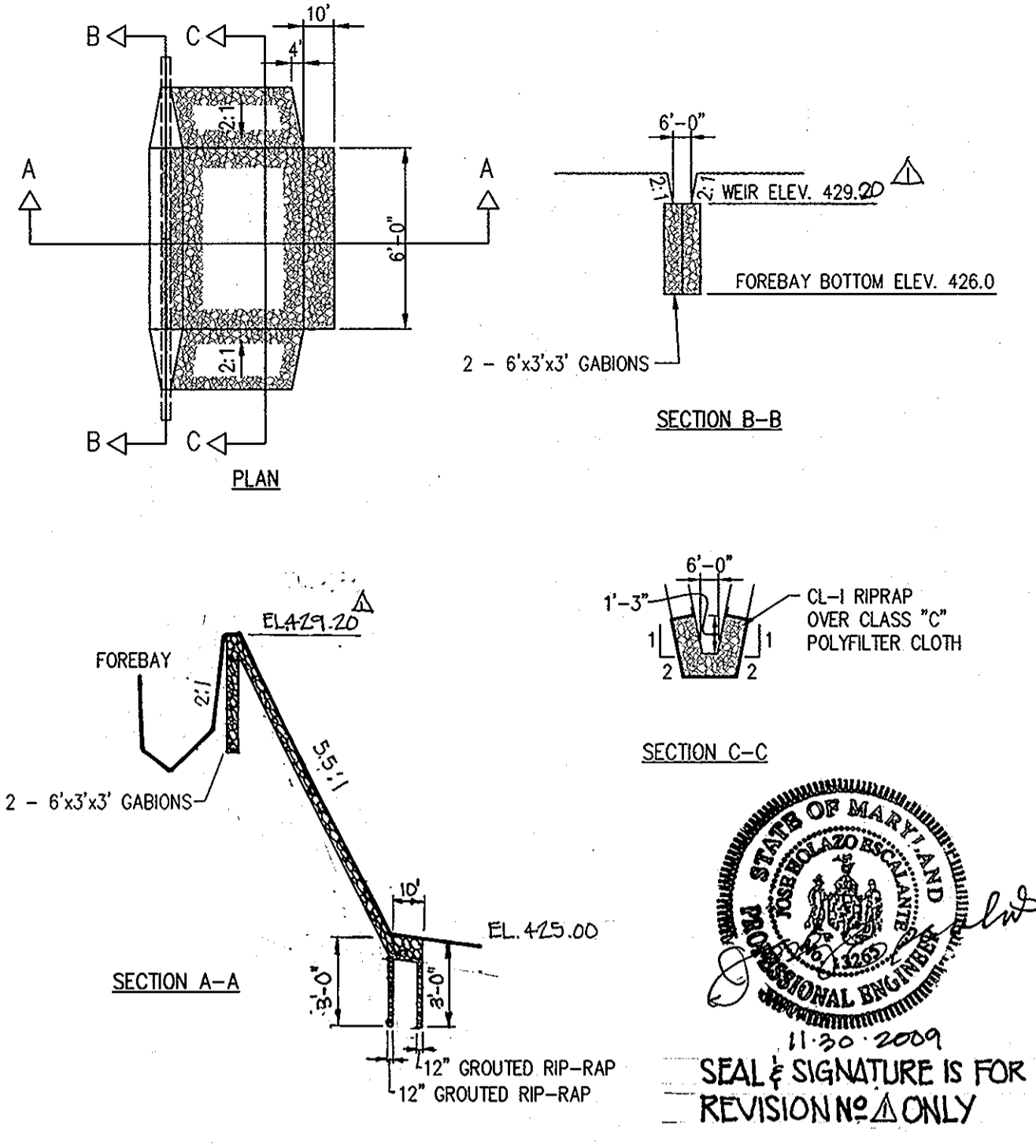
**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME	ROAD STA.	OFFSET	TYPE	REMARKS
I-1	471.23	470.40	464.93	PRESERVATION CT.	N549390.005, E133572.210	-	TYPE "D" INLET	S.D. 4.39
I-2	481.14	478.89	477.26	PRESERVATION CT.	14+82.84	172' L	TYPE "S" INLET	S.D. 4.22
I-3	481.13	483.88	477.80	PRESERVATION CT.	14+82.72	167' R	TYPE "S" INLET	S.D. 4.22
I-4	456.75	455.82	452.87	MEANDERING STREAM WAY	N549749.642, E1336167.306	-	TYPE "D" INLET	S.D. 4.39
I-5	475.98	474.73	471.73	MEANDERING STREAM WAY	2+98.81	178' L	TYPE "S" INLET	S.D. 4.22
I-6	476.02	474.77	473.09	MEANDERING STREAM WAY	3+01.40	174' R	TYPE "S" INLET	S.D. 4.22
I-7	488.58	487.68	483.82	PRESERVATION CT.	4+89.66	24.59' L	TYPE "D" INLET	S.D. 4.39
I-8	488.71	487.79	484.40	PRESERVATION CT.	4+89.67	23.9' R	TYPE "D" INLET	S.D. 4.39
I-10	435.45	434.20	431.98	MIRROR POND CT.	N549197.091, E1337006.892	-	TYPE "D" INLET	S.D. 4.39
I-11	450.01	448.76	446.57	MIRROR POND CT.	5+84.55	162' L	TYPE "S" INLET	S.D. 4.22
I-12	450.01	448.76	446.57	MIRROR POND CT.	5+84.49	174' R	TYPE "S" INLET	S.D. 4.22
I-13	444.53	443.38	438.33	PINDELL SCHOOL RD	0+51.28	31.5' R	TYPE "D" INLET	S.D. 4.39
I-14	483.48	482.23	458.30	PINDELL WOODS DRIVE	0+51.28	174' R	TYPE "D" INLET	S.D. 4.22
I-15	483.49	482.24	459.40	PINDELL WOODS DRIVE	0+56.28	35.2' L	TYPE "S" INLET	S.D. 4.22
I-16	482.99	482.20	460.00	PINDELL SCHOOL RD	N549465.623, E1336513.342	-	TYPE "D" INLET	S.D. 4.39
MH 1	416.82	411.20	411.00	-	N549858.521, E1335016.433	-	STD. MANHOLE	G-5.13
MH 2	445.53	442.04	436.48	-	N549641.800, E1335370.782	-	STD. MANHOLE	G-5.01
MH 3	449.27	443.00	443.01	-	N549728.993, E1335826.110	-	STD. MANHOLE	G-5.01
MH 4	457.13	450.24	450.82	MEANDERING STREAM WAY	N549706.193, E1336160.279	-	STD. MANHOLE	G-5.01
MH 5	474.33	468.99	464.03	MEANDERING STREAM WAY	4+90.80	8.97' L	STD. MANHOLE	G-5.01
MH 6	461.60	478.24	477.24	MEANDERING STREAM WAY	1+08.19	10.50' R	STD. MANHOLE	G-5.01
MH 7	480.05	481.67	481.55	PRESERVATION CT.	1+85.54	10.80' L	STD. MANHOLE	G-5.01
MH 11	436.66	431.30	431.00	MIRROR POND CT.	N549231.678, E1336993.908	-	STD. MANHOLE	G-5.01
MH 12	457.60	451.09	447.26	PINDELL SCHOOL RD	N549854.680, E1336913.481	-	STD. MANHOLE	G-5.01
HW 1	-	-	401.28	-	N550073.0765, E1335481.0905	-	TYPE "A" HEADWALL	S.D.-5.11
E 2	-	-	410.00	-	N549894.6774, E1335467.5115	-	END SECTION	-
HW 3	-	-	413.94	-	N549850.3677, E1335610.3720	-	TYPE "A" HEADWALL	S.D.-5.11
E 4	-	-	414.82	-	N549857.3446, E1335640.5734	-	TYPE "A" HEADWALL	S.D.-5.11
E 11	-	-	416.65	-	N549429.8199, E1337189.1670	-	END SECTION	-
E 13	-	-	425.49	-	N549788.9210, E1337057.0345	-	END SECTION	-
E 14	-	-	425.53	-	N549272.8066, E1337045.1473	-	END SECTION	-
S-1	-	-	402.38	-	N550023.1877, E1335424.7685	-	SEE DETAIL SHT. 15/36	-
S-2	-	-	416.00	-	N549880.3731, E1335614.3174	-	MOD. TYPE A-5 INLET	S.D.-4.01
S-11	-	-	417.86	-	N549352.9825, E1337157.7292	-	SEE DETAIL SHT. 16/36	-

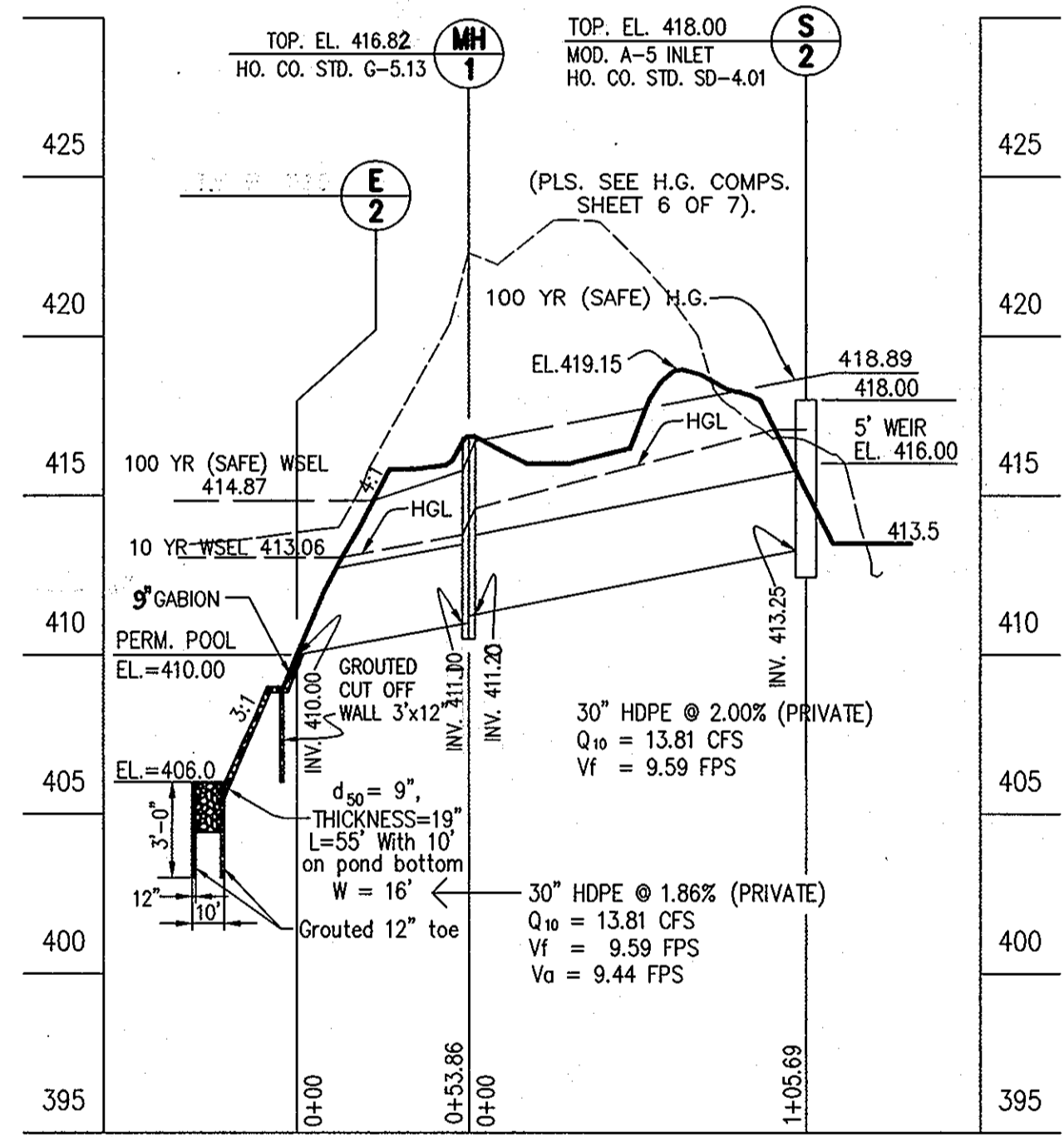
NOTE: 1. FOR PIPE SCHEDULE SEE SHEET 11 OF 57.  
2. EXISTING GROUND BASED ON JUNE 1, 2000 SURVEY BY VOGEL AND ASSOCIATES.

**AS-BUILT CERTIFICATION**  
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the approved Plans and Specifications.  
**JOSE ESCALANTE**  
License No. 13265  
Expiration Date: Dec. 26, 2012  
12-29-2010



**FOREBAY No. 2 OUTFALL DETAIL**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

NOTE: FOR OUTFALL PROTECTION SEE TABLES 4.06, CHAPTER 4, DESIGN MANUAL FOR STORM DRAINAGE.



**PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

NO.	DATE	REVISIONS
	11-30-09	REVISE INV. OUT FOR STRUCTURE HW-1, E-1, S-1 & S-11 REVISE RIPRAP OUTFALL, FOREBAY NO. 2 BASED ON SURVEY DATA
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME: <b>PINDELL WOODS</b>		
TITLES: <b>CLARENCE AND MARTHA CARVELL</b> 7706 PINDELL SCHOOL ROAD FULTON, MD. 20789 <b>H Y REAL ESTATE JOINT VENTURE</b> 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 <b>MARSHALL P. TULIN</b> 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: <b>MOUNT VUE, LLC</b> 6258 CARDINAL LA. COLUMBIA, MD. 21044		
DES.: JLD/DCW/AVG	JOB:	SCALE: AS SHOWN
DRW.: AVG/DTA/JNC	PROJ.:	SHEET 14 OF 37
CHK.: D.C.W.	DATE: 03/04/01	

F-01-89







POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to most recent version.

Site Preparation: Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. After stripping operations have been completed, the exposed subgrade materials should be proofrolled with a loaded dump truck or similar equipment in the presence of a geotechnical engineer or his representative. For areas that are not accessible to a dump truck, the exposed materials should be observed and tested by a geotechnical engineer or his representative utilizing a Dynamic Cone Penetrometer. Any excessively soft or loose materials identified by proofrolling or penetrometer testing should be excavated to suitable firm soil, and then grades re-established by backfilling with suitable soil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment. Areas to be covered by the reservoir will be cleared of all trees, brush, logs, stumps, rubbish and other objectionable materials unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface. For dry storm-water management ponds, a minimum of a 25 foot radius around the inlet structure shall be cleared.

All cleared and grubbed material shall be disposed of outside the limits of the dam and reservoir as directed by the owner or his authorized representative. When specified, a sufficient quality of top soil will be stockpiled in a suitable location for use on the embankment and other designated areas.

Earth Fill:

Material - The fill material shall be taken from approved designated borrow area or areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #200 sieve. In addition to the soils materials described above a fine grained soil including Silt (ML) with plasticity index of 10 or more can be utilized for the center of the embankment and core trench. Consideration may be given to the use of the other materials in the embankment if design and construction are supervised by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Substantial effort shall be made to reduce soil moisture prior to placement and compaction. Consideration shall be given to lime treatment of soils to facilitate placement and compaction. Fills for cut-off trench and embankment construction shall be compacted in 6" to 8" lifts and compacted to within 95% of the dry density in accordance with the Standard Proctor, ASTM D-698 and monitored with in-place density testing performed by a qualified engineering technician under the direction of the P.E.

Area on which fill is to be placed shall be scarified prior to placement of the fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable material borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction can be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble yet not be so wet that water can be squeezed out. Where a minimum required density is specified, it shall not be less than 95% of maximum dry density with a moisture content within +/- 2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99.

Cut-off Trench - Where specified, a cut-off trench shall be excavated along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment rollers or hand tampers to assure maximum density and a minimum permeability. A representative of the Geotechnical Engineer should be present to monitor placement and compaction of fill for the embankment and cut-off trench.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to the specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall any equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

A representative of the Geotechnical Engineer should be present to monitor placement and compaction of fill of the embankment and cut-off trench.

Pipe Conduits

All pipe shall be circular in cross section.

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe.

- 1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gasket and shall equal or exceed ASTM Designation C-361.
2. Bedding - All reinforced concrete pipe conduits shall be laid in a concrete bedding for their full length. This bedding shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 50% of its outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Structural Backfill" section of this standard. Gravel bedding is not permitted.

3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream, joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collar, valves, etc.) shall be as shown on the drawings.

Plastic Pipe - The following criteria shall apply for plastic pipe:

1. Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings an fittings shall conform to the following: 4-10 inch pipe shall meet the requirements of AASHTO M252 Type S, and 12 through 24 inch shall meet the requirements of AASHTO M294 Type S.

2. Joints and connections to anti-seep collars shall be completely watertight.

3. Bedding - The pipe shall be firmly and uniformly bedded through out its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

4. Backfilling shall conform to "Structure Backfill"

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings. Drainage Diaphragms - When a drainage diaphragm is used, a registered professional engineer will supervise the design and construction inspection.

Concrete Structure shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specification for Construction and Materials, Section 414, Mix No. 3.

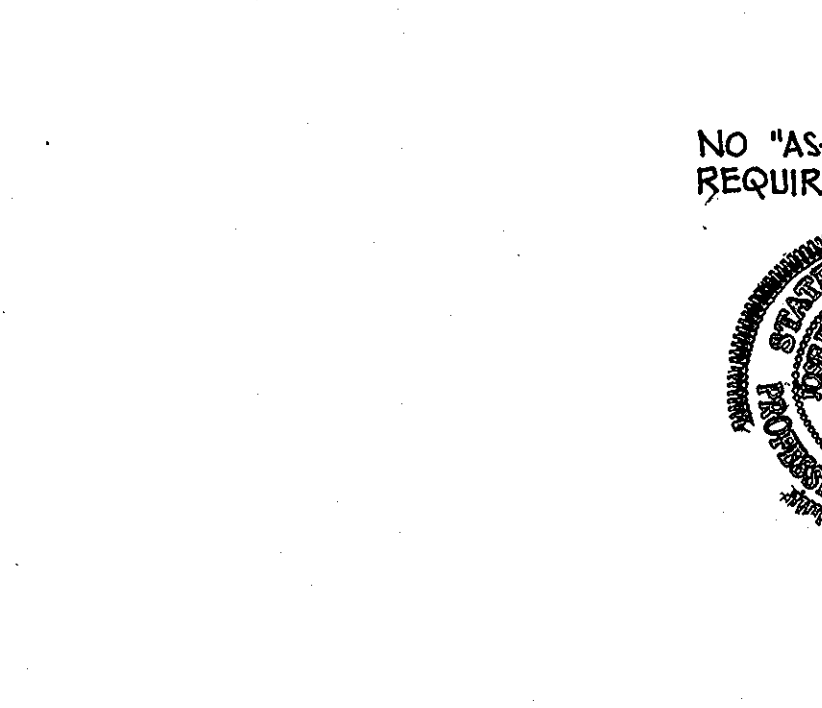
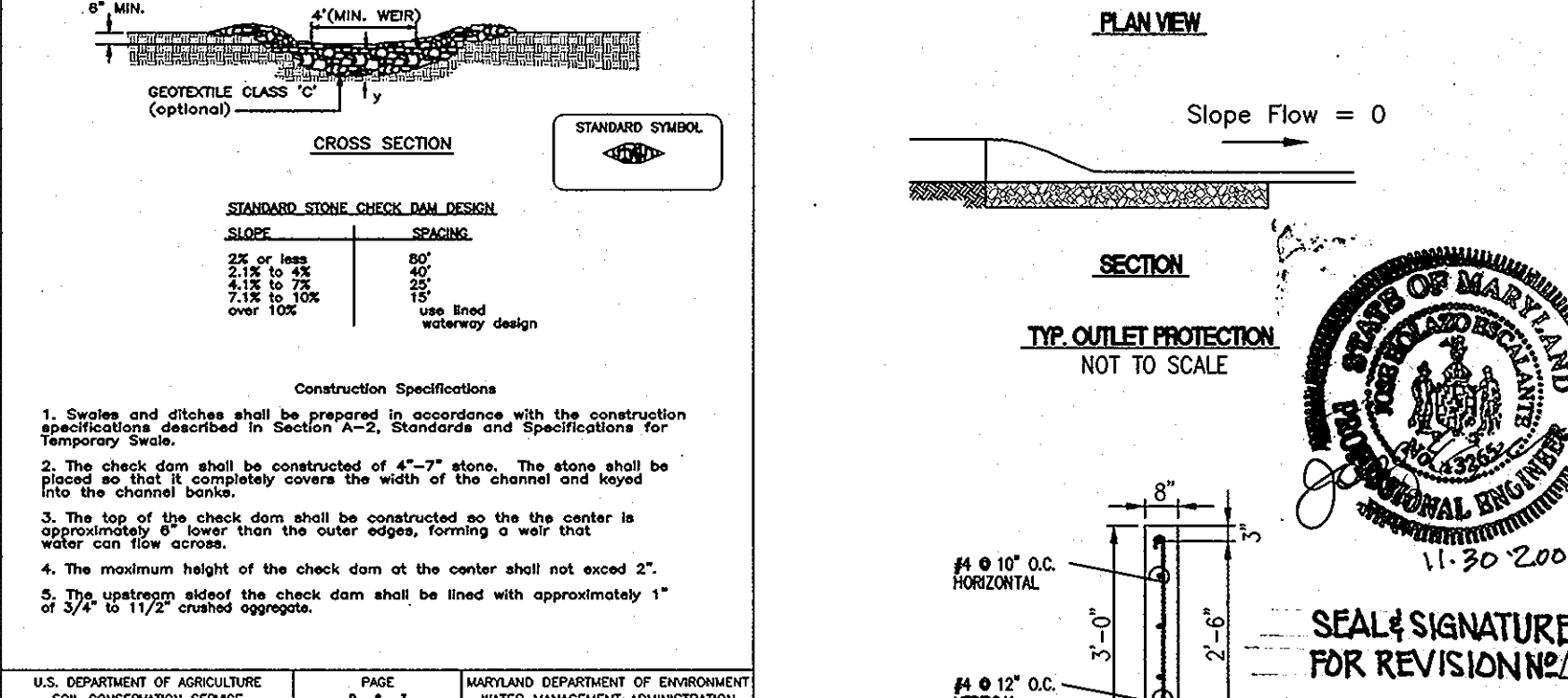
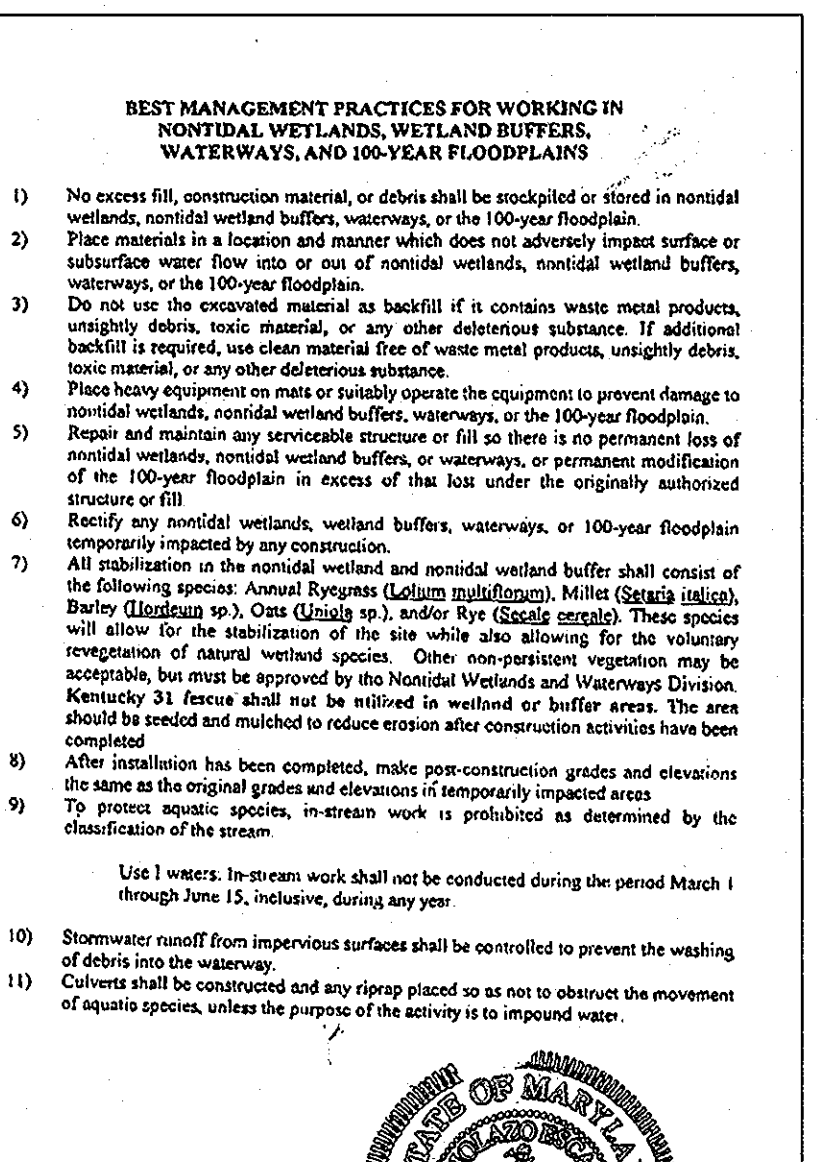
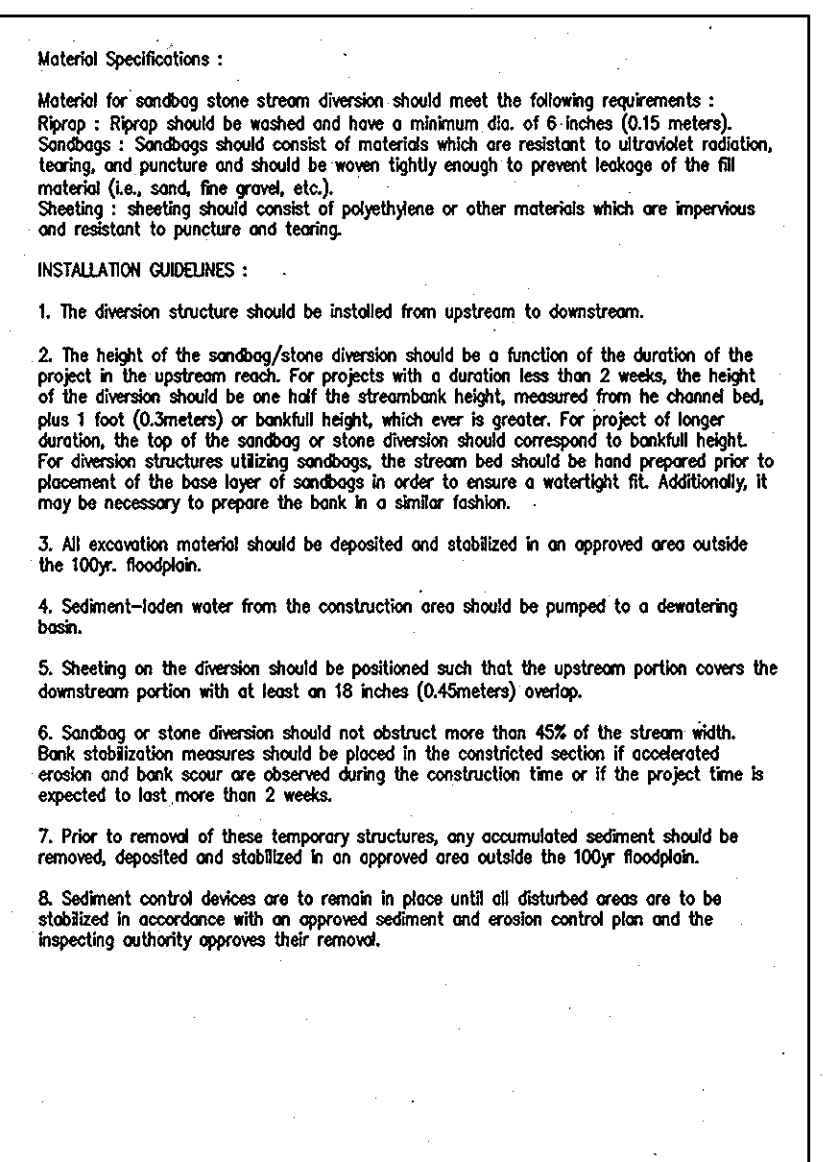
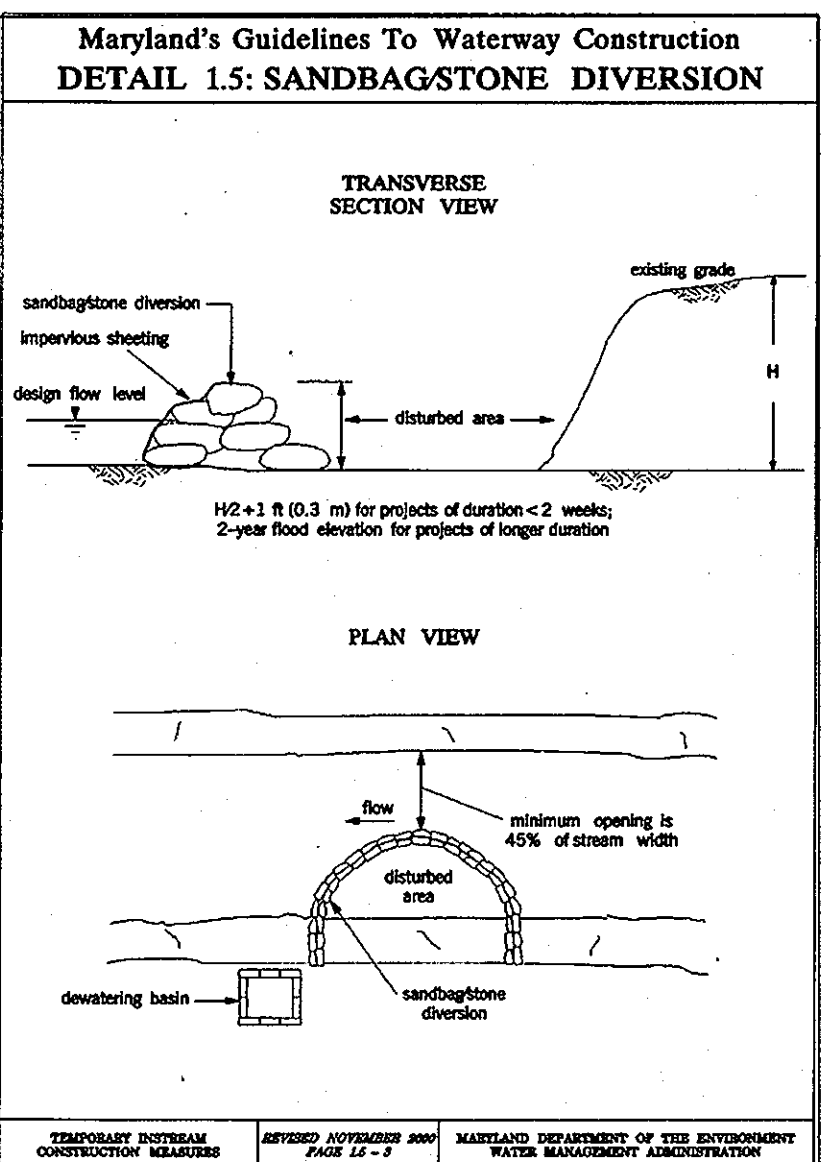
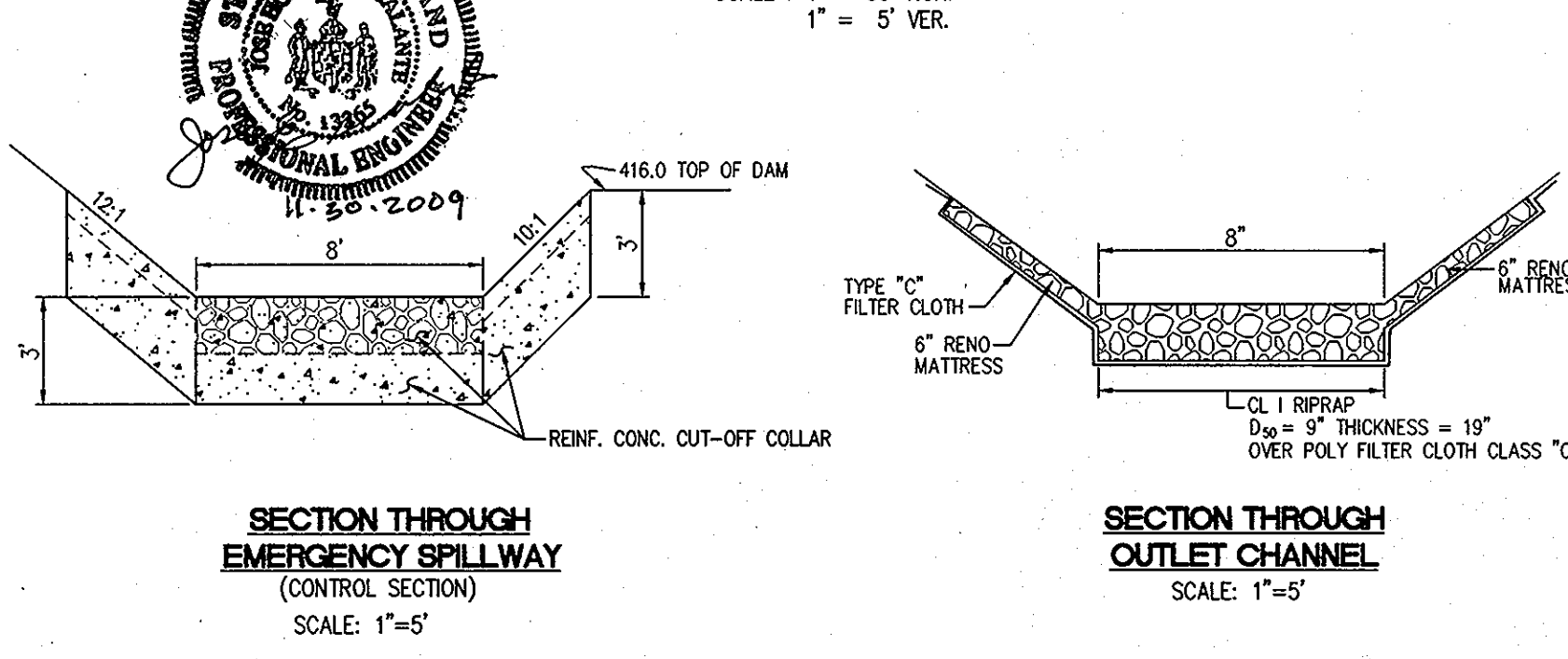
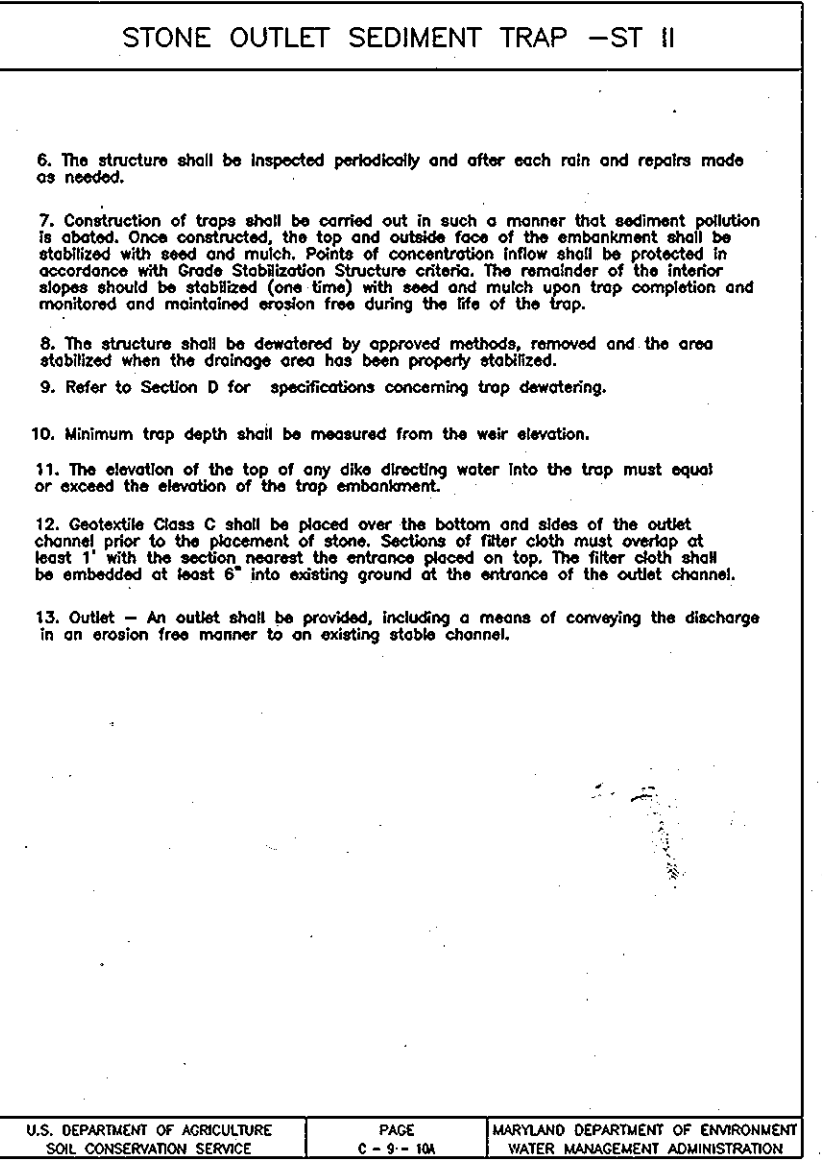
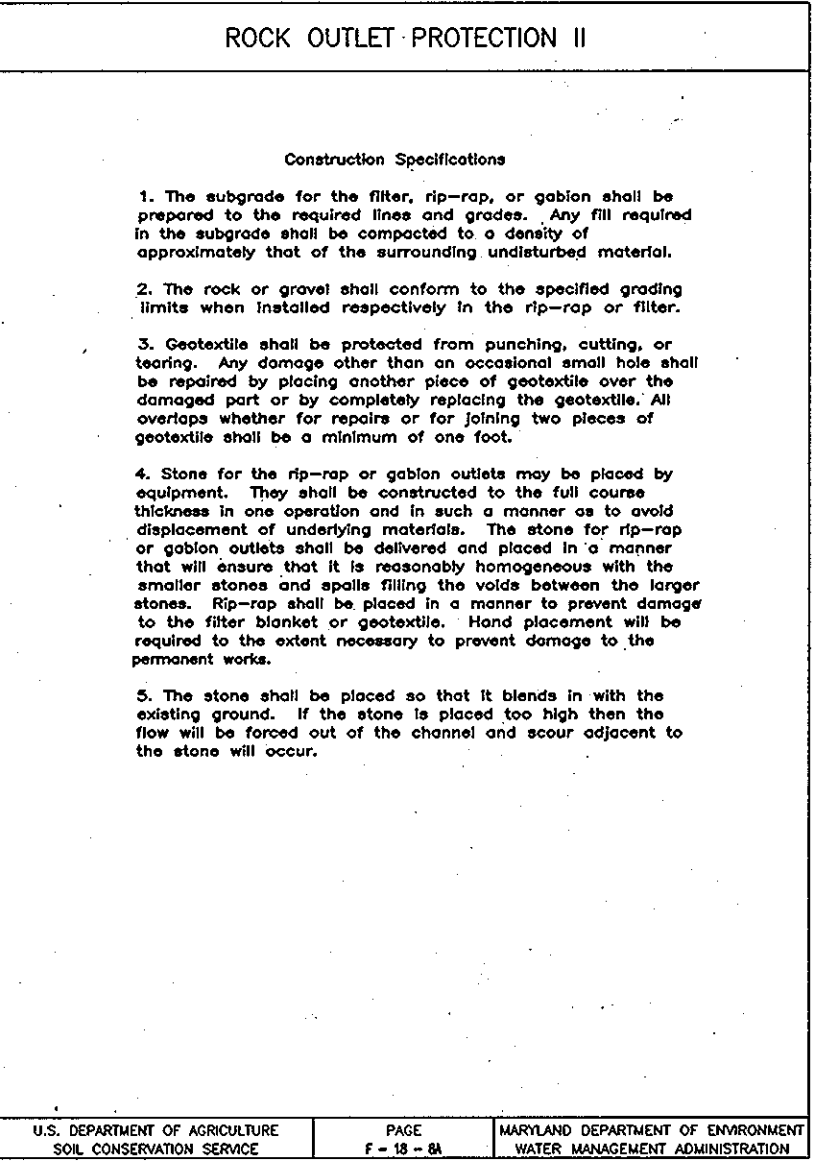
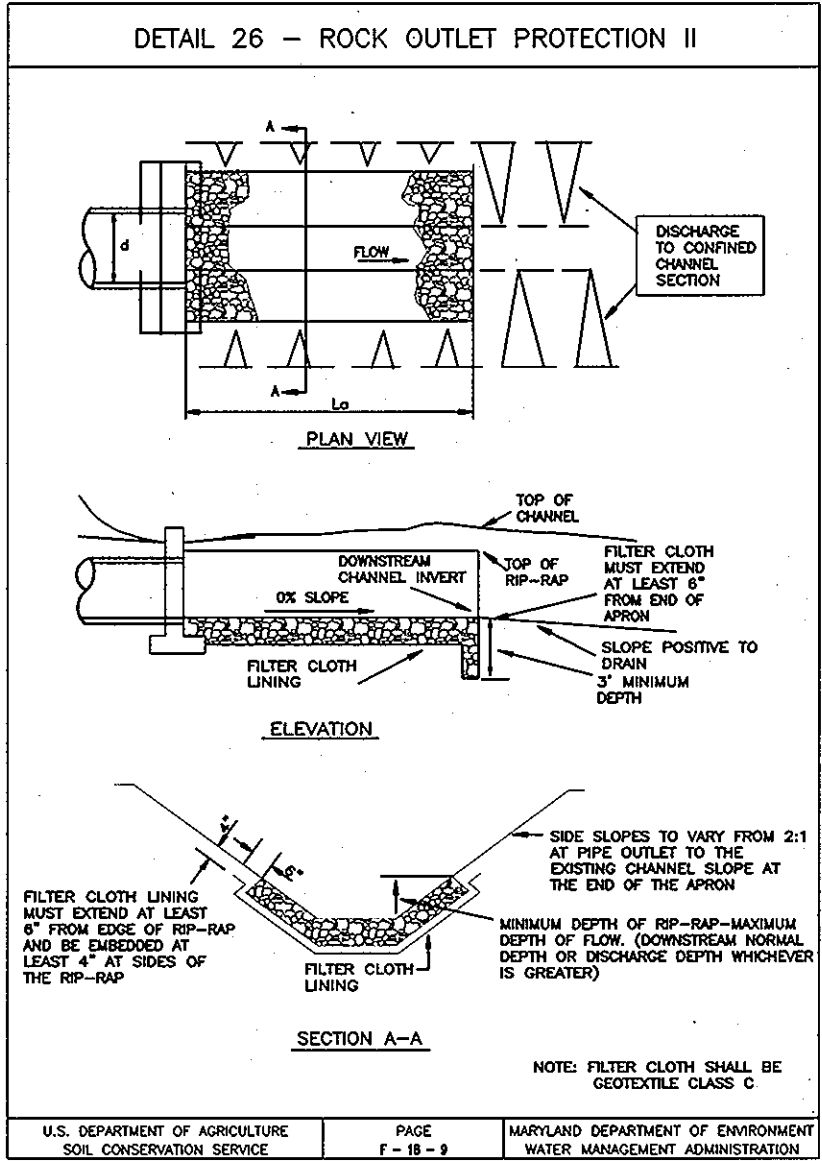
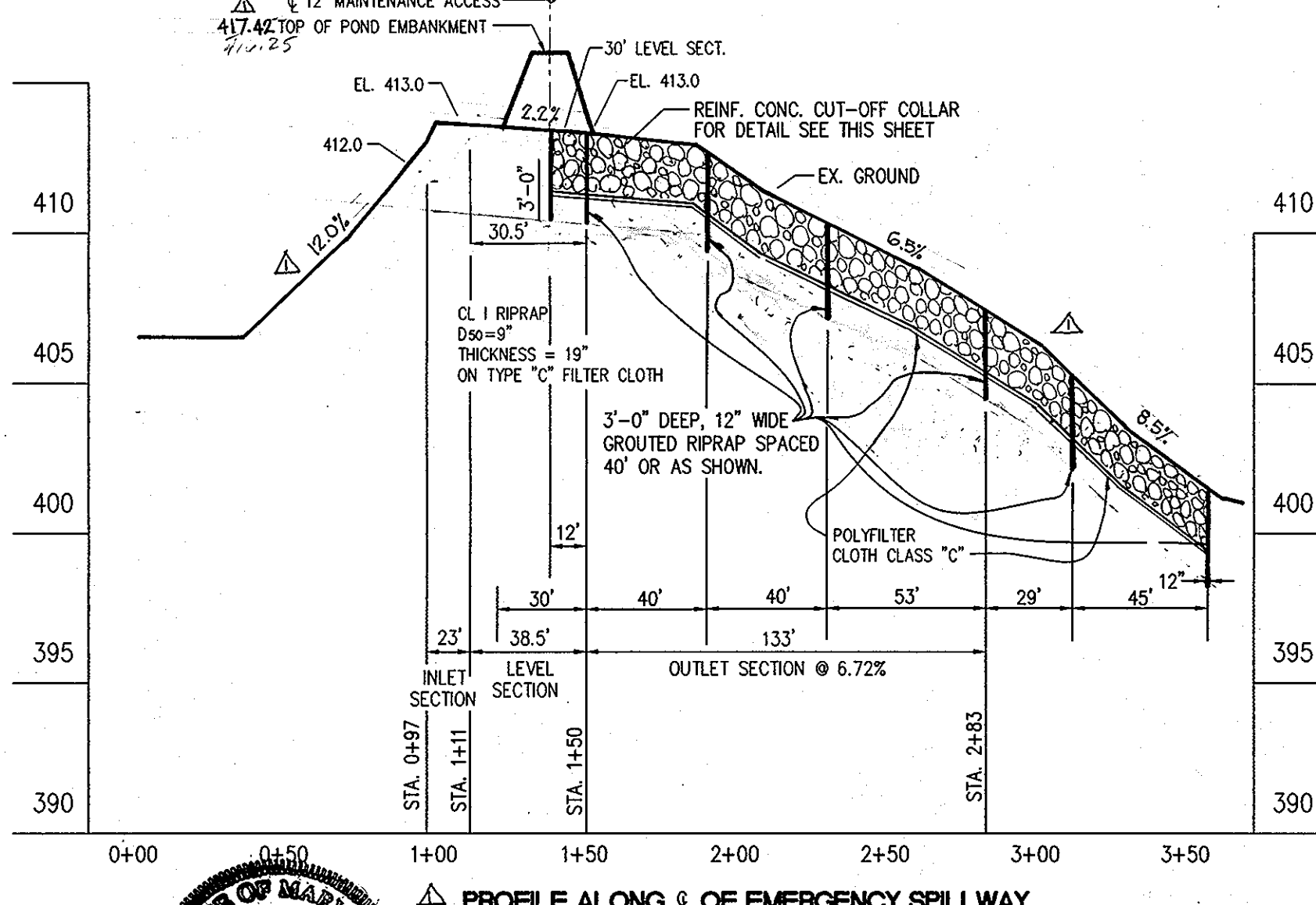
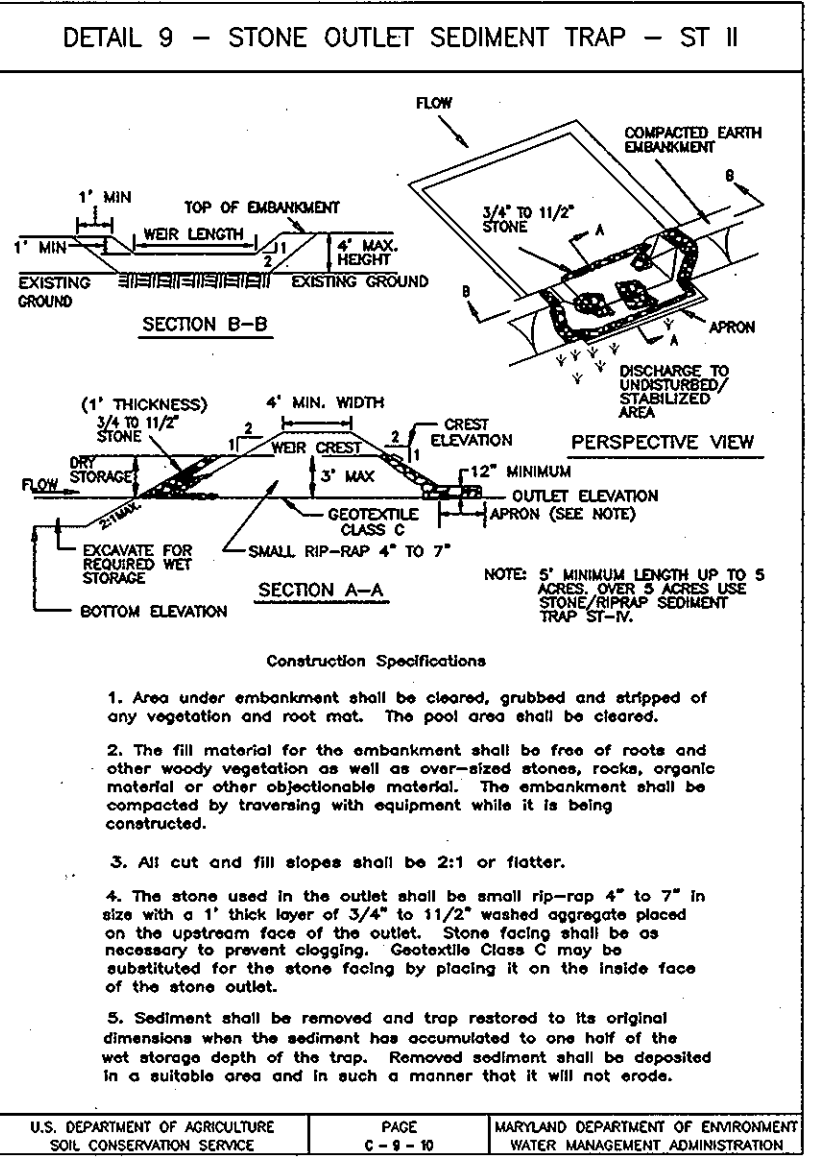
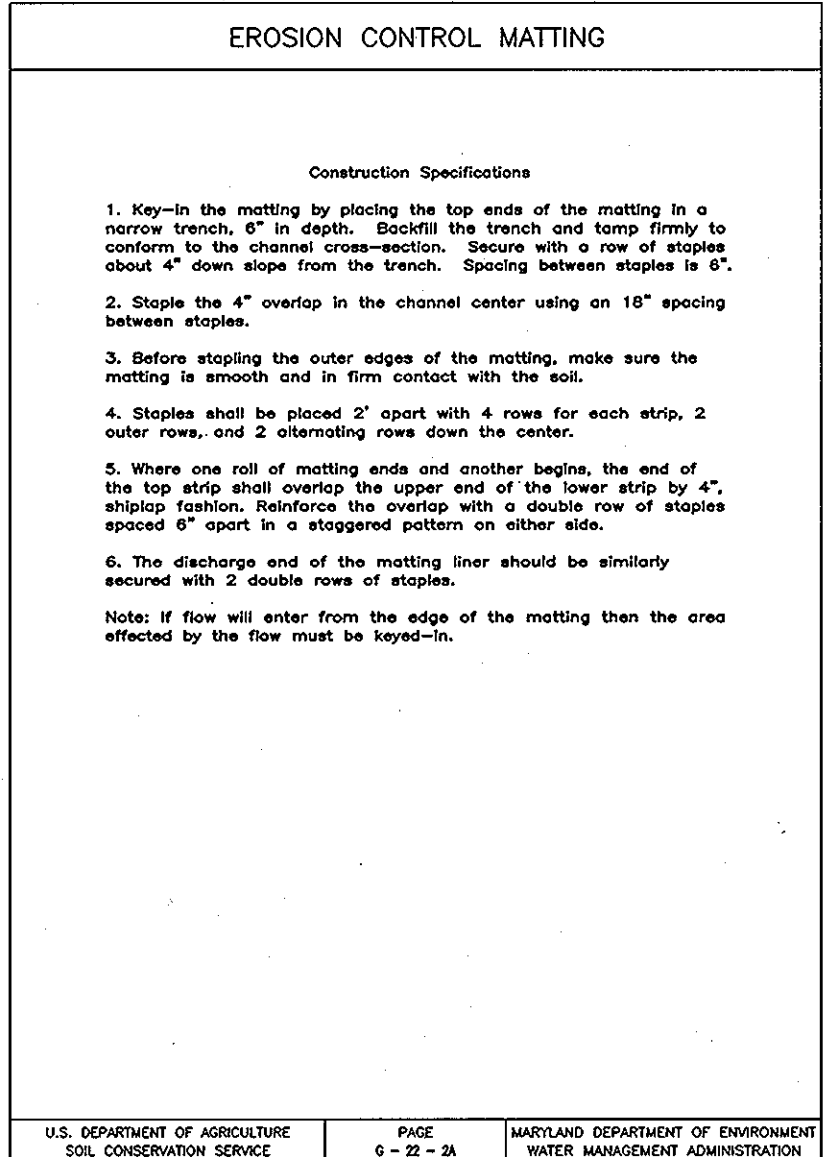
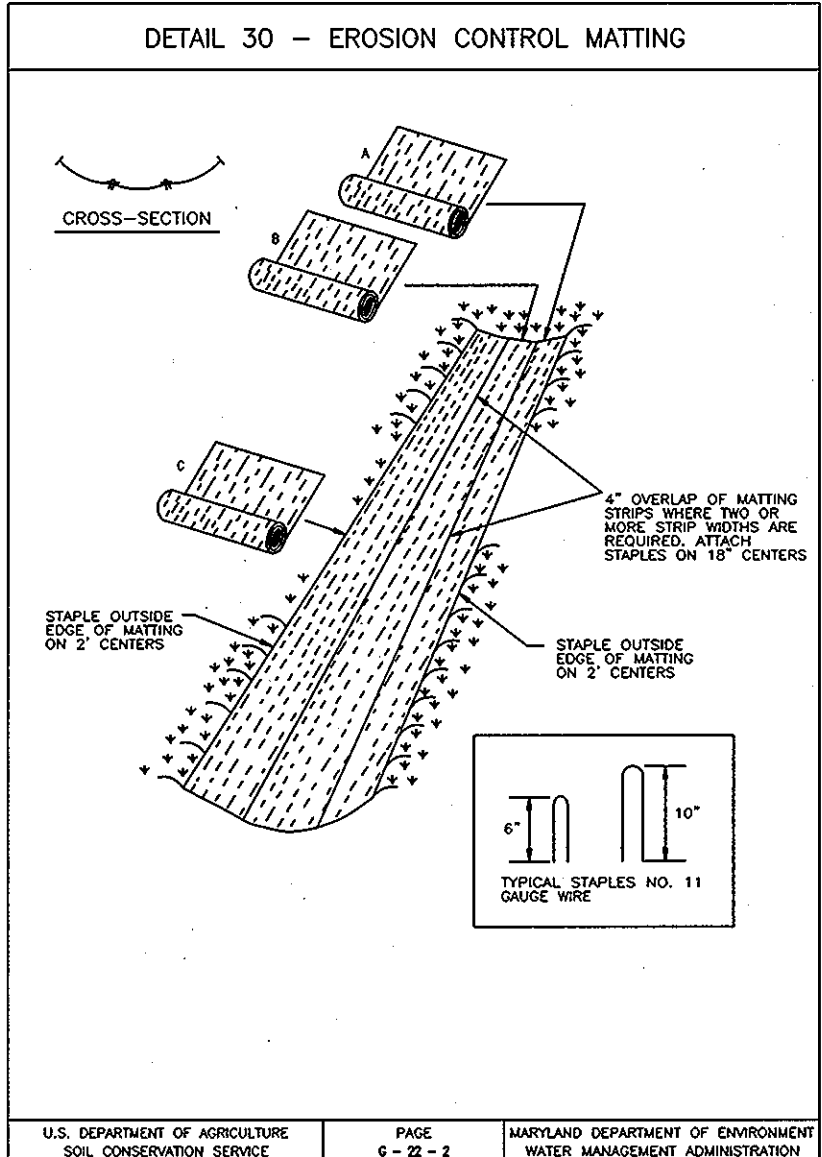
Rock Riprap: Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311. Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09 Class C.

Care of Water During Construction: All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels and stream diversions necessary to protect the areas to be occupied by the permanent works the contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from the various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required by the Engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom of required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the location being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water to sumps from which the water shall be pumped.

Stabilization: All borrow areas shall be graded to provide proper drainage and left in a steady condition. All exposed surfaces of the embankment spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Maryland Soil Conservation Service Standards and Specifications for Critical Area Planting (MD-342) or as shown on the accompanying drawings.

Erosion and Sediment Control: Construction operation will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the construction process.

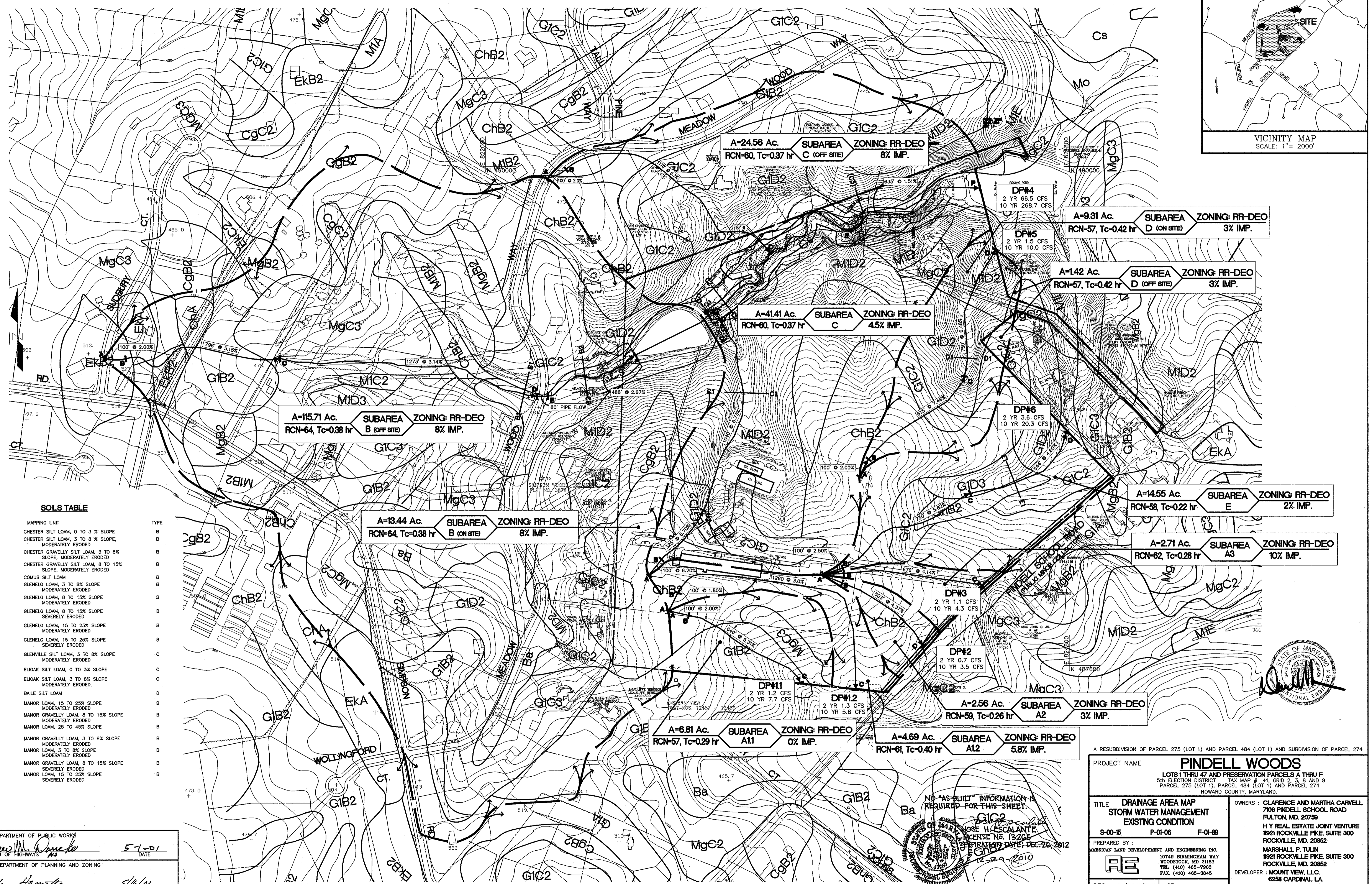
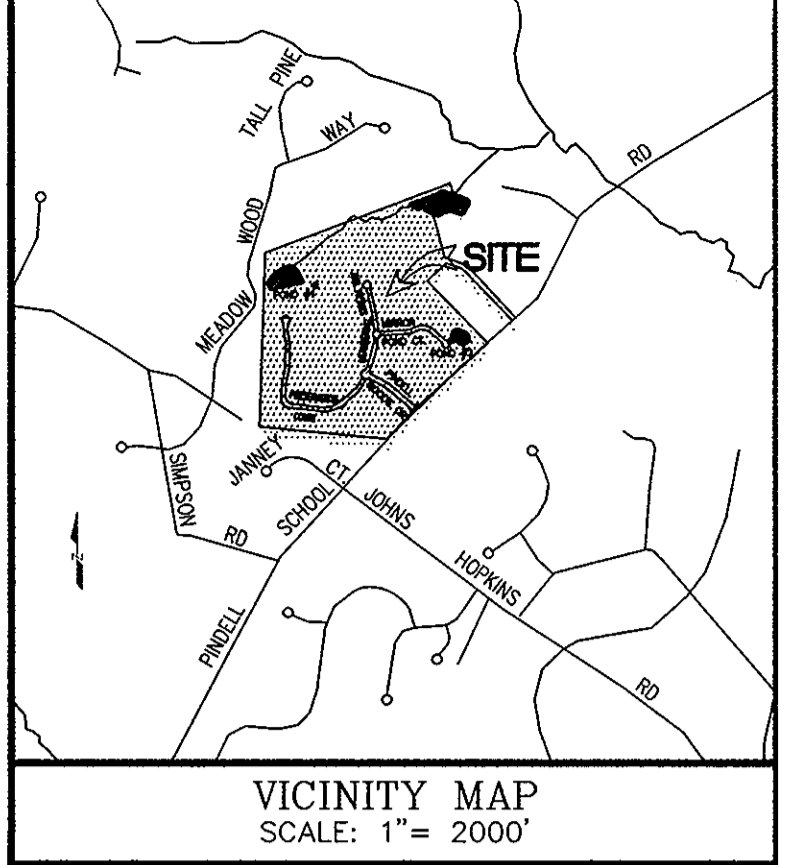
OPERATION AND MAINTENANCE: An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A MD Code 378 shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs need to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.



NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET. JOSE F. ESCALANTE LICENSE NO. 13265 EXPIRATION DATE: DEC. 26, 2012 12-29-2010

AS-BUILT CERTIFICATION. I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

Table with project details: PROJECT NAME: PINDELL WOODS, TITLE: STORM WATER MANAGEMENT POND SPECS. AND MISC. DETAILS, PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC., DESIGNED BY: JLD/DCW/AVG, DRAWN BY: AVG/DTA/UNC, CHECKED BY: D.C.W., DATE: 03/04/01, SHEET 17 OF 37.



**SOILS TABLE**

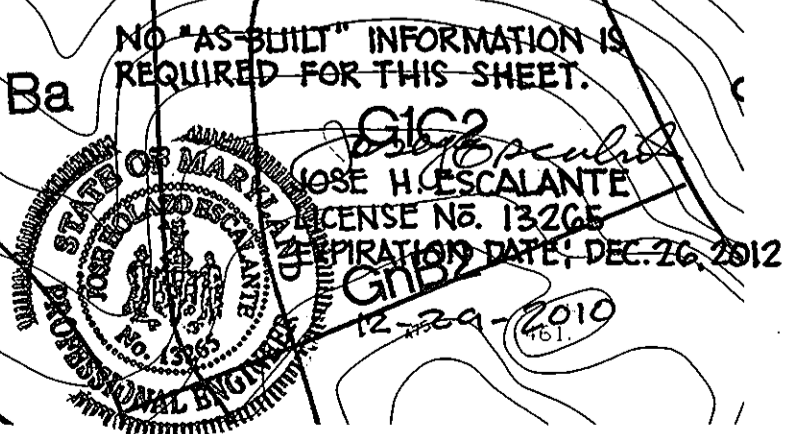
SYMBOL	MAPPING UNIT	TYPE
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
ChB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgB2	CHESTER GRAVELLY SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgC2	CHESTER GRAVELLY SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
Cs	COMUS SILT LOAM	B
G1B2	GLENELG LOAM, 3 TO 8% SLOPE MODERATELY ERODED	B
G1C2	GLENELG LOAM, 8 TO 15% SLOPE MODERATELY ERODED	B
G1C3	GLENELG LOAM, 8 TO 15% SLOPE SEVERELY ERODED	B
G1D2	GLENELG LOAM, 15 TO 25% SLOPE MODERATELY ERODED	B
G1D3	GLENELG LOAM, 15 TO 25% SLOPE SEVERELY ERODED	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE MODERATELY ERODED	C
EKA	ELOAK SILT LOAM, 0 TO 3% SLOPE	C
EKB2	ELOAK SILT LOAM, 3 TO 8% SLOPE MODERATELY ERODED	C
Ba	BAILE SILT LOAM	D
MB2	MANOR LOAM, 15 TO 25% SLOPE MODERATELY ERODED	B
MgC2	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE MODERATELY ERODED	B
ME	MANOR LOAM, 25 TO 45% SLOPE	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE MODERATELY ERODED	B
MB2	MANOR LOAM, 3 TO 8% SLOPE MODERATELY ERODED	B
MgC3	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE SEVERELY ERODED	B
MID3	MANOR LOAM, 15 TO 25% SLOPE SEVERELY ERODED	B

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Andrew M. Waples* 5-7-01 DATE  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Grady Hamata* 5/6/01 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*John P. ...* 5/11/01 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

PLAN  
 SCALE: 1" = 200'



A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

**PROJECT NAME**  
**PINDELL WOODS**  
 LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
 HOWARD COUNTY, MARYLAND.

TITLE DRAINAGE AREA MAP STORM WATER MANAGEMENT EXISTING CONDITION	OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL: (410) 465-7903 FAX: (410) 465-8845	DEVELOPER: MOUNT VIEW, LLC 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES.: JL/DCW/AVG	JOB:
DRW.: AVG/DTA/JNC	PROJ.:
CHK.: D.C.W.	DATE: 03/04/01

SCALE: 1" = 200'

SHEET 18 OF 37

F-01-89

H:\PindeLL\1\FINAL\PLANS\SHD0401.dwg Wed Apr 04 17:52:20 2001

SIMPSON WOODS, SECTION 2  
PLAT NO. 3878

GUERCIO THOMAS R.  
GUERCIO MELINDA A.  
1306/271  
LOT 9

ATLANTIC MORTGAGE  
INVEST INC.  
1082/429

FOR OFF SITE SUBAREA B  
DATA INCLUDING FLOW  
PATH, SEE 200' SCALE D.A.M.

FOR OFF SITE SUBAREA C  
DATA INCLUDING FLOW  
PATH, SEE 200' SCALE D.A.M.

EASTERN VIEW  
PLAT NOS. 12457 - 12459

SIMPSON WOODS, SECTION 3  
PLAT NOS. 4563 - 4564

BALDERZAK STEPHEN J.  
BALDERZAK ANN M.  
1004/508  
LOT 7  
ZONE R-R

FONTANA GABRIEL J.  
FONTANA KATHLEEN E.  
4325/182  
LOT 6  
ZONE R-R

A=6.81 Ac. SUBAREA A1.1  
RCN-57, Tc=0.29 hr  
ZONING: RR-DEO  
0% IMP.

A=13.44 Ac. SUBAREA E (ON SITE)  
RCN-64, Tc=0.88 hr  
ZONING: RR-DES  
0% IMP.

A=41.41 Ac. SUBAREA C  
RCN-60, Tc=0.37 hr  
ZONING: RR-DEO  
6% IMP.

A=4.69 Ac. SUBAREA A1.2  
RCN-61, Tc=0.40 hr  
ZONING: RR-DEO  
5.8% IMP.

A=2.56 Ac. SUBAREA A2  
RCN-59, Tc=0.26 hr  
ZONING: RR-DEO  
3% IMP.

- LEGEND:**
- SOILS MAPPING UNIT
  - EXISTING CONTOURS
  - PROPERTY LINE
  - EXISTING TREELINE
  - TREE LINE TO REMAIN
  - 100-YR FLOODPLAIN
  - 75' STREAM BUFFER
  - 25' WETLAND BUFFER
  - WETLAND
  - EXISTING INDIVIDUAL SEPTIC AREA
  - EX. WELL LOCATION
  - 25% OR GREATER SLOPE
  - 15%-24.9% SLOPE

NO "AS-BUILT" INFORMATION IS  
REQUIRED FOR THIS SHEET.

STATE OF MARYLAND  
Professional Engineer  
JOSE H. ESCALANTE  
LICENSE NO. 13265  
EXPIRATION DATE: DEC. 26, 2012

STATE OF MARYLAND  
Professional Engineer  
[Signature]

**OPERATION, MAINTENANCE, AND INSPECTION**

Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

**Operation and Maintenance Schedule of Privately Owned and Maintained Stormwater Management Facility Wet Pond**

Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

**PLAN**  
SCALE: 1" = 100'

APPROVED: DEPARTMENT OF PUBLIC WORKS  
[Signature] 5-1-01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] 5/16/01 DATE

[Signature] 5/16/01 DATE

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

<b>PROJECT NAME</b> PINDELL WOODS		LOT 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.	
<b>TITLE</b> STORM WATER MANAGEMENT DRAINAGE AREA MAP EXISTING CONDITION	9-00-15	P-01-06	F-01-89
<b>PREPARED BY:</b> AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL (410) 465-7993 FAX (410) 465-5845	<b>OWNERS:</b> CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 <b>DEVELOPER:</b> MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044		
<b>DES.:</b> JL/DCW/AVG	<b>JOB:</b>	<b>PROJ.:</b>	<b>SCALE:</b> 1" = 100'
<b>DRW.:</b> AVG/DTA/JNC	<b>DATE:</b> 03/04/01	<b>CHK.:</b> D.C.W.	<b>SHEET 19 OF 37</b>

F-01-89

H:\pind1\1\FINAL\PLAN\EXCONDAMI.dwg Mod Apr 04 16:34:44 2001

BALCERZAK STEPHEN J.  
BALCERZAK ANN M.  
1004/508  
LOY 7  
ZONE R-R

MATCHLINE  
SEE SHEET 19 OF 37

FONTANA GABRIEL J.  
FONTANA KATHLEEN E.  
4325/182  
LOT B  
ZONE R-R

BOGONIS STEPHEN P.  
BOGONIS DEBORAH B.  
3781/713  
ZONE R-R

FOR OFF SITE SUBAREA C  
DATA INCLUDING FLOW  
PATH. SEE 200' SCALE DAM.

FREDERICK HENRY F  
FREDERICK CHARLINE M  
2881/045  
P.464  
ZONE R-R

A=142 Ac. SUBAREA D (OFF SITE) ZONING: RR-DEO 3% IMP.  
RCN-57, Tc=0.42 hr

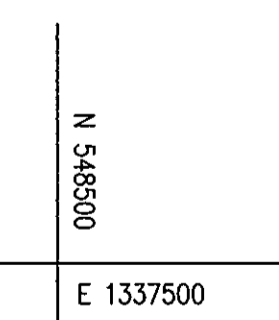
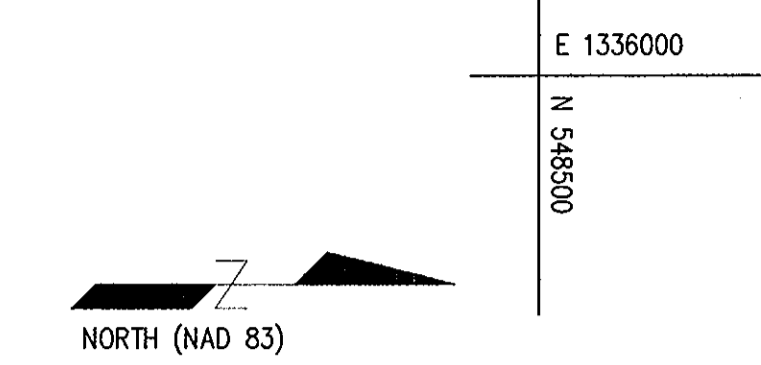
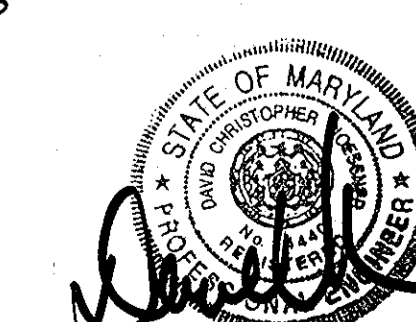
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME **PINDELL WOODS**  
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
HOWARD COUNTY, MARYLAND.

TITLE	<b>STORM WATER MANAGEMENT DRAINAGE AREA MAP EXISTING CONDITION</b>		OWNERS :	CLARENCE AND MARTHA CARVELL 7706 PINDELL SCHOOL ROAD FULTON, MD. 20759
DES. :	JL/DCW/AVG	JOB :	H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
DRW. :	AVG/DTA/INC	PROJ. :	MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
CHK. :	D.C.W.	DATE :	03/04/01	DEVELOPER : MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044
SCALE :			1" = 100'	SHEET 20 OF 37

**OPERATION, MAINTENANCE, AND INSPECTION**  
Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds\* (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.  
JOSE H. ESCALANTE  
LICENSE NO. 13265  
EXPIRATION DATE: DEC. 26, 2012  
12-24-2010



A=2.71 Ac. SUBAREA A3 ZONING: RR-DEO 10% IMP.  
RCN-62, Tc=0.28 hr

A=41.41 Ac. SUBAREA C ZONING: RR-DEO 6% IMP.  
RCN-60, Tc=0.37 hr

A=14.55 Ac. SUBAREA E ZONING: RR-DEO 2% IMP.  
RCN-58, Tc=0.22 hr

A=9.31 Ac. SUBAREA D (ON SITE) ZONING: RR-DEO 3% IMP.  
RCN-57, Tc=0.42 hr

**PLAN**  
SCALE : 1" = 100'

Operation and Maintenance Schedule of Home Owners Association Owned and Maintained Stormwater Management Facility Wet Pond

Top and side slopes of the embankment shall be moved a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be moved as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

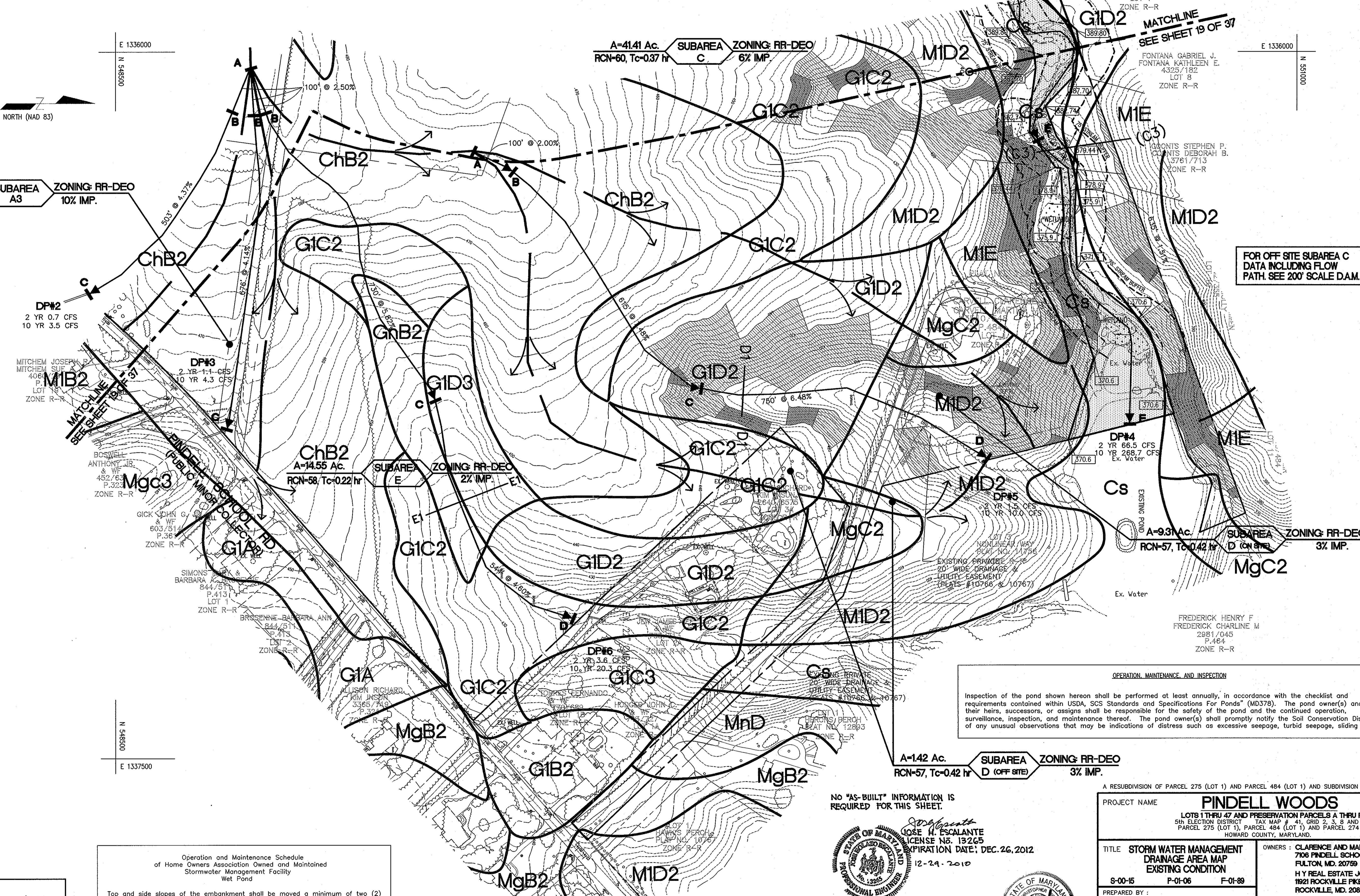
When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Richard M. Casade* 5-7-01  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Christa Hamilton* 4/6/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

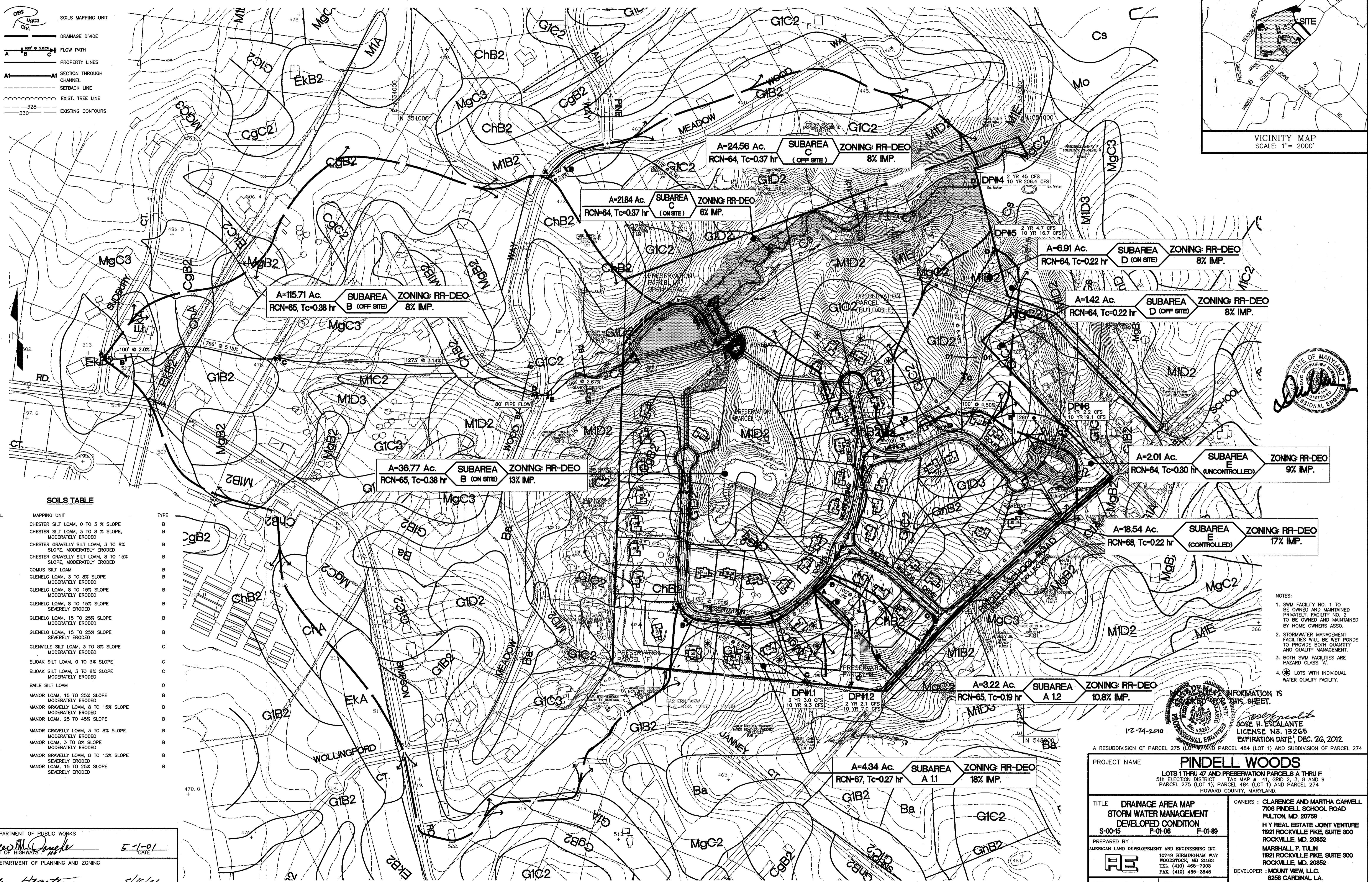
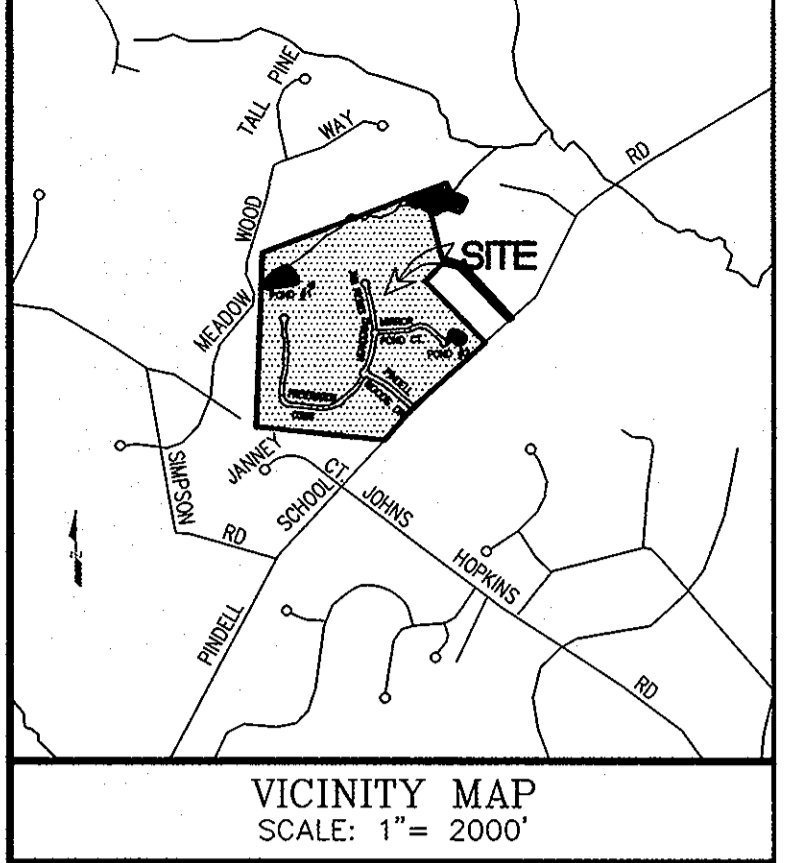
*John J. ...* 5/11/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

- LEGEND :**
- MgC2, ChB2 SOILS MAPPING UNIT
  - 325, 330 EXISTING CONTOURS
  - PROPERTY LINE
  - EXISTING TREELINE
  - TREE LINE TO REMAIN
  - 100-YR FLOODPLAIN
  - 75' STREAM BUFFER
  - 25' WETLAND BUFFER
  - WETLAND
  - EXISTING INDIVIDUAL SEPTIC AREA
  - EX. WELL LOCATION
  - 25% OR GREATER SLOPE
  - 15%-24.9% SLOPE



**LEGEND**

	SOILS MAPPING UNIT
	DRAINAGE DIVIDE
	FLOW PATH
	PROPERTY LINES
	SECTION THROUGH CHANNEL
	SETBACK LINE
	EXIST. TREE LINE
	EXISTING CONTOURS



- NOTES:
- SWM FACILITY NO. 1 TO BE OWNED AND MAINTAINED PRIVATELY. FACILITY NO. 2 TO BE OWNED AND MAINTAINED BY HOME OWNERS ASSO.
  - STORMWATER MANAGEMENT FACILITIES WILL BE WET PONDS TO PROVIDE BOTH QUANTITY AND QUALITY MANAGEMENT.
  - BOTH SWM FACILITIES ARE HAZARD CLASS "A".
  - LOTS WITH INDIVIDUAL WATER QUALITY FACILITY.

INFORMATION IS PROVIDED ON THIS SHEET.  
 JOSE H. ESCALANTE  
 LICENSE NO. 13205  
 EXPIRATION DATE, DEC. 26, 2012  
 12-24-2010

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND SUBDIVISION OF PARCEL 274  
**PROJECT NAME**  
**PINDELL WOODS**  
 LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9  
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
 HOWARD COUNTY, MARYLAND.

<b>TITLE</b> DRAINAGE AREA MAP STORM WATER MANAGEMENT DEVELOPED CONDITION 8-00-15 F-01-06 F-01-89		<b>OWNERS:</b> CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 18281 ROCKVILLE PIKE, SUITE 900 ROCKVILLE, MD. 20852	
<b>PREPARED BY:</b> AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 07149 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL. (410) 465-7803 FAX. (410) 465-3845		<b>DEVELOPER:</b> MOUNT VIEW, LLC 8258 CARDINAL LA. COLUMBIA, MD. 21044	
<b>DES.:</b> JL/DCW/AVG	<b>JOB:</b>	<b>SCALE:</b> 1" = 200'	<b>SHEET 21 OF 37</b>
<b>DRW.:</b> AVG/DTA/JNC	<b>PROJ.:</b>	<b>DATE:</b> 03/04/01	
<b>CHK.:</b> D.C.W.	<b>DATE:</b>		

**SOILS TABLE**

SYMBOL	MAPPING UNIT	TYPE
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
ChB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgB2	CHESTER GRAVELLY SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgC2	CHESTER GRAVELLY SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
Cs	COMUS SILT LOAM	B
G1B2	GLENELG LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
G1C2	GLENELG LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
G1C3	GLENELG LOAM, 8 TO 15% SLOPE SEVERELY ERODED	B
G1D2	GLENELG LOAM, 15 TO 25% SLOPE, MODERATELY ERODED	B
G1D3	GLENELG LOAM, 15 TO 25% SLOPE SEVERELY ERODED	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	C
Eka	ELOAK SILT LOAM, 0 TO 3% SLOPE	C
EaB2	ELOAK SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	C
Bo	BAILE SILT LOAM	D
MID2	MANOR LOAM, 15 TO 25% SLOPE, MODERATELY ERODED	B
MgC2	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
MIe	MANOR LOAM, 25 TO 45% SLOPE	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
MB2	MANOR LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
MgC3	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE, SEVERELY ERODED	B
MID3	MANOR LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Andrew M. Dwyer*  
 CHIEF, BUREAU OF HIGHWAYS  
 5-1-01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hunter*  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 5/16/01 DATE

*Paul Dammann*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 5/16/01 DATE

PLAN  
SCALE: 1" = 200'

FOR OFF SITE SUBAREA B  
DATA INCLUDING FLOW  
PATH, SEE 200' SCALE DAM.

FOR OFF SITE SUBAREA C  
DATA INCLUDING FLOW  
PATH, SEE 200' SCALE DAM.

SIMPSON WOODS, SECTION 2  
PLAT NO. 3878

GUERCIO THOMAS R.  
GUERCIO MELINDA A.  
1306/271  
LOT 9  
ZONE R-R

ATLANTIC MORTGAGE  
INVEST INC.  
1082/429  
ZONE R-R

MARK ERWIN  
YORK  
1022/258  
LOT 3  
ZONE R-R

GRAY CHARLES H.  
GRAY JULIA G.  
3773/078  
LOT 4  
ZONE R-R

DEANNO ROBERT F.  
DEANNO BARBARA D.  
1238/328  
LOT 5  
ZONE R-R

SIMPSON WOODS, SECTION 3  
PLAT NOS. 4563 - 4564

BA DZIZAK STEPHEN J.  
BALCERZAK ANN M.  
1004/508  
LOT 7  
ZONE R-R

PONTANA GABRIEL J.  
PONTANA KATHLEEN E.  
4325/182  
LOT 8  
ZONE R-R

EASTERN VIEW  
PLAT NOS. 1245 - 1248

N 548000  
E 1336000

DP#11  
2 YR Q=3.0 CFS  
10 YR Q=9.3 CFS

DP#12  
2 YR Q=2.1 CFS  
10 YR Q=7.0 CFS

MITCHELL JOSEPH  
MITCHELL SUK  
3060/291  
LOT 1  
ZONE R-R

MgC2  
LOT 1  
ZONE R-R

LOT 1  
ZONE R-R

- LEGEND:**
- MgC3 SOILS MAPPING UNIT
  - MgC2 SOILS MAPPING UNIT
  - 325 EXISTING CONTOURS
  - 330 EXISTING CONTOURS
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TREELINE
  - TREE LINE TO REMAIN
  - 100-YR FLOODPLAIN
  - 75' STREAM BUFFER
  - 25' WETLAND BUFFER
  - WETLAND
  - POSSIBLE HOUSE LOCATION
  - 25% OR GREATER SLOPE
  - 15%-24.9% SLOPE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Richard M. ...* 5-1-01  
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hamilton* 5/1/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*...* 5/1/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

A=36.77 Ac. SUBAREA B (ON SITE) ZONING: RR-DEO 13% IMP.  
RCN-65, Tc=0.38 hr

A=21.84 Ac. SUBAREA C (ON SITE) ZONING: RR-DEO 6% IMP.  
RCN-64, Tc=0.37 hr

A=4.34 Ac. SUBAREA A1.1 ZONING: RR-DEO 18% IMP.  
RCN-67, Tc=0.27 hr

A=3.22 Ac. SUBAREA A1.2 ZONING: RR-DEO 10.8% IMP.  
RCN-65, Tc=0.19 hr

**OPERATION, MAINTENANCE, AND INSPECTION**

Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

**Operation and Maintenance Schedule of Privately Owned and Maintained Stormwater Management Facility Wet Pond**

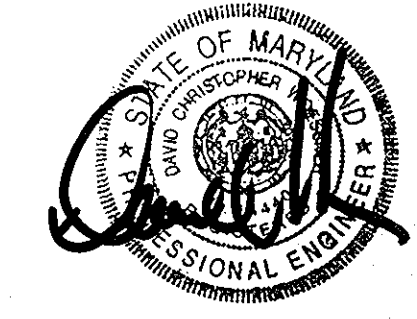
Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

STATE OF MARYLAND  
PROFESSIONAL ENGINEER  
12-29-2010



**PLAN**  
SCALE: 1" = 100'

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

<b>PROJECT NAME</b> PINDELL WOODS	
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCELS 2038(1-1074), 228(2-1094), (LARD) PARCEL 274 HOWARD COUNTY, MARYLAND.	
<b>TITLE</b> STORM WATER MANAGEMENT DRAINAGE AREA MAP DEVELOPED CONDITION 8-00-15 P-01-06 F-01-89	<b>OWNERS:</b> CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20789 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 <b>DEVELOPER:</b> MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044
<b>PREPARED BY:</b> AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 485-7993 FAX (410) 485-3845	<b>DESIGNER:</b> JLD/DCW/AVG <b>JOB:</b> <b>DRW.:</b> AVG/DTA/INC <b>PROJ.:</b> <b>CHK.:</b> D.C.W. <b>DATE:</b> 03/04/01
<b>SCALE:</b> 1" = 100'	<b>SHEET 22 OF 37</b>

F01-89

H:\panda1\VT\NPL\ANS\SMD\ANDEV1.dwg Wed Apr 04 16:47:39 2001

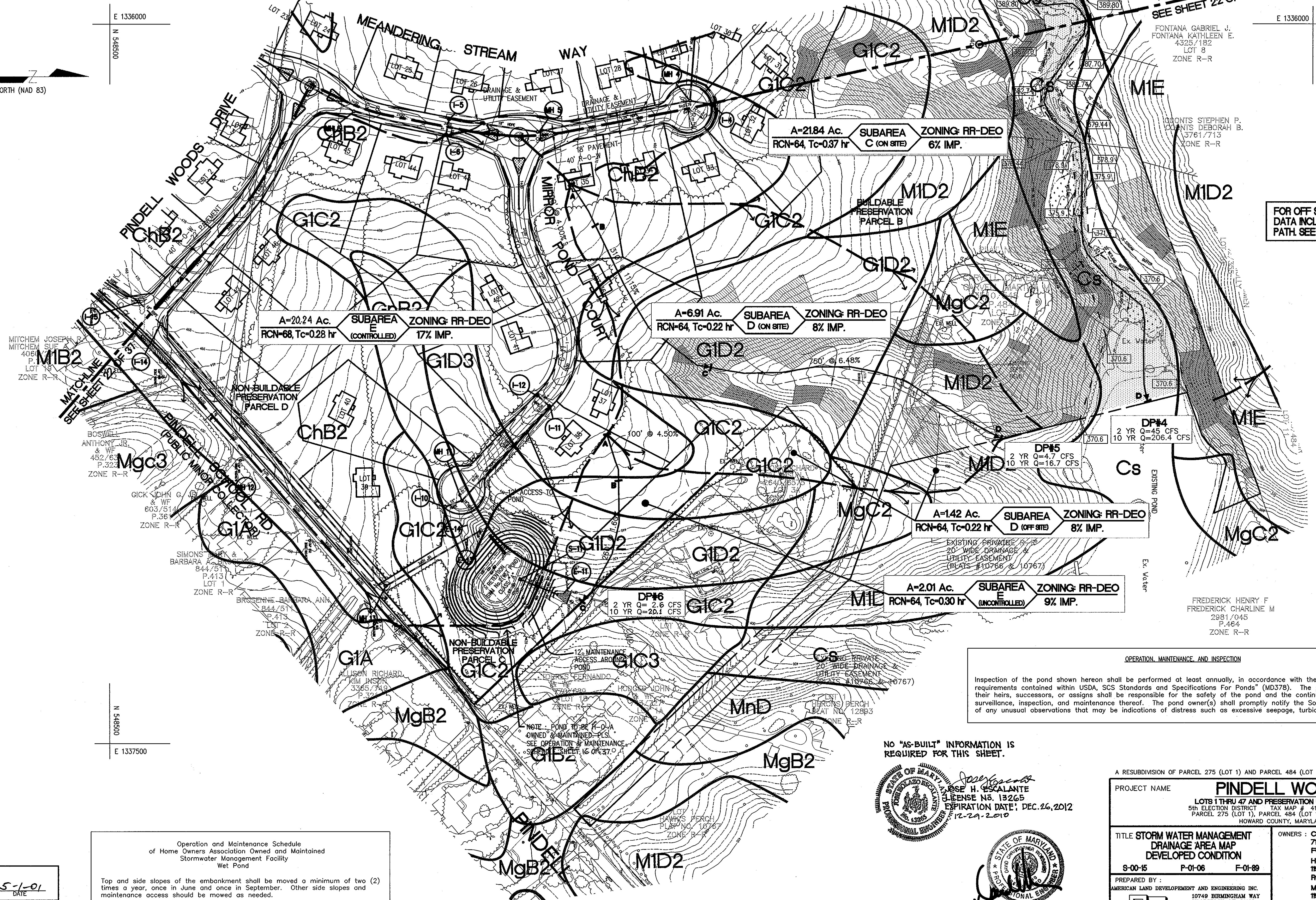
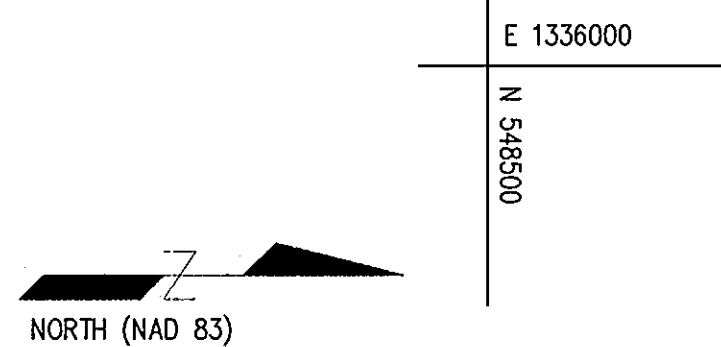
BALCERZAK STEPHEN J.  
BALCERZAK ANN M.  
1004/508  
LOY 7  
ZONE R-R

MATCHLINE  
SEE SHEET 22 OF 37

FONTANA GABRIEL J.  
FONTANA KATHLEEN E.  
4325/182  
LOT 8  
ZONE R-R

ROONIS STEPHEN P.  
ROONIS DEBORAH B.  
3761/713  
ZONE R-R

FOR OFF SITE SUBAREA C  
DATA INCLUDING FLOW  
PATH. SEE 200' SCALE D.A.M.



- LEGEND:**
- 325 --- EXISTING CONTOURS
  - 330 --- EXISTING CONTOURS
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TREELINE
  - TREE LINE TO REMAIN
  - 100-YR FLOODPLAIN
  - 75' STREAM BUFFER
  - 25' WETLAND BUFFER
  - WETLAND
  - POSSIBLE HOUSE LOCATION
  - 25% OR GREATER SLOPE
  - 15%-24.9% SLOPE

Operation and Maintenance Schedule  
of Home Owners Association Owned and Maintained  
Stormwater Management Facility  
Wet Pond

Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

**PLAN**  
SCALE: 1" = 100'

**OPERATION, MAINTENANCE AND INSPECTION**

Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds\* (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

NO "AS-BUILT" INFORMATION IS  
REQUIRED FOR THIS SHEET.

STATE OF MARYLAND  
DEPARTMENT OF PUBLIC WORKS  
JULIAN H. BROWN  
COMMISSIONER

STATE OF MARYLAND  
DEPARTMENT OF PUBLIC WORKS  
JULIAN H. BROWN  
COMMISSIONER

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

<b>PROJECT NAME</b> PINDELL WOODS		OWNERS : CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PKE, SUITE 300 ROCKVILLE, MD. 20852	
TITLE STORM WATER MANAGEMENT DRAINAGE AREA MAP DEVELOPED CONDITION		DEVELOPER : MOUNT VIEW, LLC 6258 CARDINAL LA. COLUMBIA, MD. 21044	
DES. : JL/DCW/AVG	JOB :	SCALE :	SHEET 23 OF 37
DRW. : AVG/DTA/JNC	PROJ. :	1" = 100'	
CHK. : D.C.W.	DATE : 03/04/01		

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Andrew M. Spale* 5-1-01  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hamster* 5/16/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

*David...* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

H:\p\ndel1\VT\N\PLANS\SIMD\DEV2.dwg Wed Apr 04 16:48:20 2001





THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT: HOWARD SOIL CONSERVATION DISTRICT  
 APPROVED: DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways: *Joseph M. ...* DATE: 5-1-04  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development: *Chris ...* DATE: 5/16/04  
 Chief, Development Engineering Division: *Mr. ...* DATE: 5/16/04

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 JOSE H. ESCALANTE  
 LICENSE NO. 13265  
 EXPIRATION DATE: DEC. 26, 2012  
 12-29-2010



NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME: <b>PINDELL WOODS</b>		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP #1, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE: <b>STORM DRAIN DRAINAGE AREA MAP</b>		OWNERS: CLARENCE AND MARTHA CARVELL 7706 PINDELL SCHOOL ROAD FULTON, MD. 20759
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL (410) 465-7983 FAX (410) 465-3845		H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULLIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES.: J.L./DCW/AVG	JOB:	SCALE: 1" = 50'
DRW.: AVG/DTA/INC	PROJ.:	SHEET 25 OF 37
CHK.: D.C.W.	DATE: 03/04/01	

NOTE: UNLESS OTHERWISE NOTED STORM DRAINS ARE PUBLIC STORM DRAINS.

NOTE: ALL LOT GRADING IS CONCEPTUAL AND IS NOT PROPOSED UNDER THIS SUBMISSION.

H:\pinde1\1\FINAL\PLANS\SDM2.dwg Mod Apr. 04 15:51:32 2001



CARVELL CLARENCE A.  
 CARVELL MARTHA M.  
 3510/548  
 P. 284  
 LOT 1  
 ZONE R-R

(PRIVATELY OWNED)  
**BUILDABLE  
 PRESERVATION  
 PARCEL "B"**  
 AREA = 18.42 ACRES

NOTE: POND TO BE H-O-A  
 OWNED & MAINTAINED. P.S.  
 SEE OPERATION & MAINTENANCE  
 SCHEDULE SHEET 16 OF 37.

SEE SHEET 25 OF 37

SEE SHEET 25 OF 37



NOTE: UNLESS OTHERWISE NOTED  
 STORM DRAINS ARE PUBLIC  
 STORM DRAINS.

NO "AS-BUILT" INFORMATION IS  
 REQUIRED FOR THIS SHEET



FOR SUBAREA I-5 DATA  
 SEE SHEET 24 OF 37

FOR SUBAREA I-5 DATA  
 SEE SHEET 24 OF 37

NOTE: ALL LOT GRADING IS CONCEPTUAL AND  
 IS NOT PROPOSED UNDER THIS SUBMISSION.

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY  
 THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT: HOWARD SOIL CONSERVATION DIST. DATE: 5-1-01  
 APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Charles M. Daniels*  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hamster*  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 APPROVED: *Michael...*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME: <b>PINDELL WOODS</b>		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE: <b>STORM DRAIN    DRAINAGE AREA MAP</b>	OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PKE, SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY: <b>AE</b> AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL: (410) 465-7808 FAX: (410) 465-3845	DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044	
DES.: JL/DCW/AVG	JOB:	SCALE: 1" = 50'
DRW.: AVG/DTA/INC	PROJ.:	SHEET 26 OF 37
CHK.: D.C.W.	DATE: 03/04/01	

H:\pindell\11\FINAL\AN\SD0403.dwg Ref: 11:52:17 2001

F-01-89

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*David W. ...*  
SIGNATURE OF ENGINEER  
DATE: 4/16/01

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*David W. ...*  
SIGNATURE OF DEVELOPER  
DATE: 4/15/2001

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

U.S.D.C. NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 4/19/01

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST.  
DATE: 4/18/01

APPROVED: DEPARTMENT OF PUBLIC WORKS  
DATE: 5-1-01

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 5/16/01

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 5/16/01

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 5/16/01

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



*José H. Escalante*  
JOSE H. ESCALANTE  
LICENSE NO. 13265  
EXPIRATION DATE: DEC. 26, 2012  
12-29-2010

- LEGEND:**
- 325--- EXISTING CONTOURS
  - 330--- PROPERTY LINE
  - SETBACK LINE
  - EX. TREE LINE
  - TREE LINE TO REMAIN
  - TREE PROTECTION
  - LIMIT OF DISTURBANCE
  - PERIMETER DIKE/SWALE
  - SWALE
  - SILT FENCE
  - SUPER SILT FENCE
  - INLET PROTECTION

MATCH LINE SEE SHEET 28 OF 37

MATCH LINE SEE SHEET 28 OF 37

MATCH LINE SEE SHEET 29 OF 37



LOT 13  
40,002 S.F.  
NOTE: PERIMETER DIKE TO BE SEED LINED WITH SOD OR COVERED WITH E/S MATTING.  
CLEAR WATER DIKE

LOT 12  
40,002 S.F.  
NOTE: 10'x10' BLOCK SHED ON SLAB SLAB WILL BE REMOVED WITHOUT DISTURBING GROUND BENEATH IT.

LOT 11  
40,002 S.F.

LOT 10  
41,031 S.F.

LOT 9  
42,539 S.F.

NOTE: SEDIMENT AND EROSION CONTROL DURING THE RAZING OF THE BUILDINGS TO BE UNDER SEPARATE SUBMISSION.

EX. BLDG. TO BE RAZED

STOCKPILE AREA

EX. BLDG. TO BE RAZED

PRESERVATION COURT

LOT 8  
41,000 S.F.

LOT 7  
43,661 S.F.

LOT 6  
33,000 S.F. S.S.

LOT 5  
45,235 S.F.

NOTE: ALL SF AND SSF TO BE TURNED UP AND EXTENDED TWO (2) FEET IN ELEVATION ( TO MEET CONTOUR LINE)

NON-BUILDABLE PRESERVATION PARCEL 'E'  
AREA = 2.604 ACRES  
DEDICATED TO H-O-A

NON-BUILDABLE PRESERVATION PARCEL 'D'  
AREA = 2.230 ACRES  
DEDICATED TO H-O-A

SCHOOL (PUBLIC MINOR COLLECTOR)

MCMAULIFFE TERENCE  
MCMAULIFFE RESERVA  
4420/390  
LOT 18  
ZONE R-R

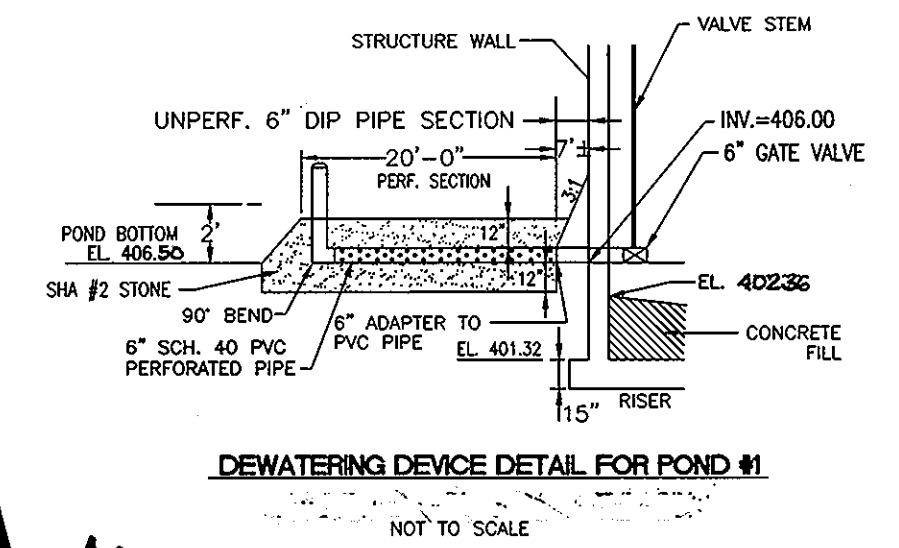
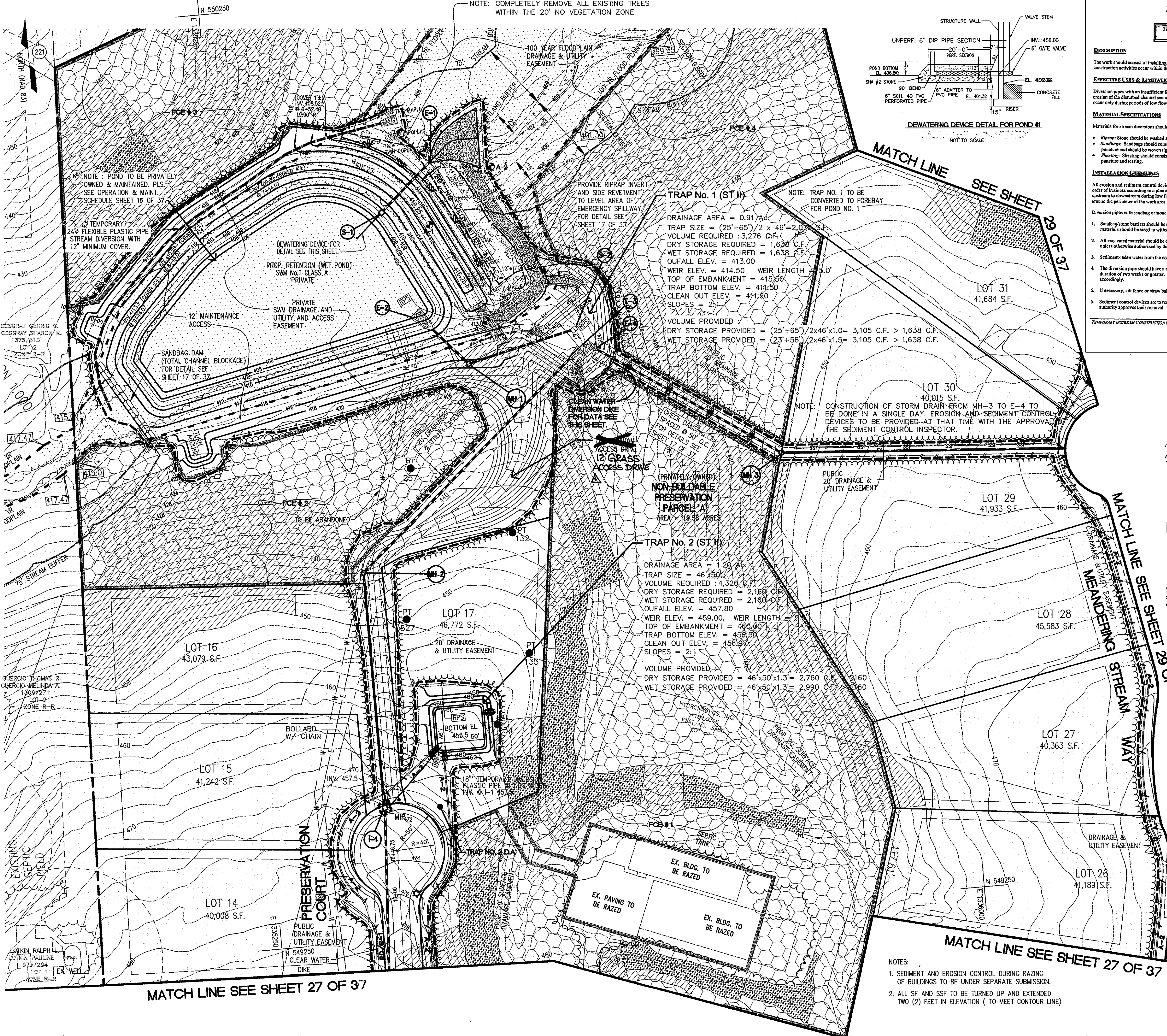
EASTERN VIEW  
PLAT NOS. 12457 - 12459

JAGER MICHAEL CHARLES  
JAGER HEATHER SWEENEY  
3913/535  
PAR A  
ZONE R-R

JANNERY JOHN H.  
BACKUS-SWEET C.  
2317/140  
LOT 19  
ZONE R-R

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
TITLES <b>LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F</b>		
5th ELECTION DISTRICT, GRID MAPS 3, 8 AND 9		
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274		
HOWARD COUNTY, MARYLAND.		
TITLE	GRADING AND SEDIMENT CONTROL PLAN	OWNERS : CLARENCE AND MARTHA CARVELL 7706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE SUITE 300 ROCKVILLE, MD. 20852
PREPARED BY :	AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRNINGHAM WAY WOODSTOCK, MD 21183 TEL (410) 465-7803 FAX (410) 465-8845	DEVELOPER : MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES. :	JL/DCW/AVG	JOB :
DRW. :	AVG/DTA/ANC	PROJ. :
CHK. :	D.C.W.	DATE : 03/04/01
SCALE :		1" = 50'
SHEET 27 OF 37		

F-01-89



**MGWC 1.4: DIVERSION PIPE**

*Temporary measure for diverting in-channel construction sites*

**DESCRIPTION**  
The work should consist of installing flow diversion pipes in combination with sandbag or stone diversions when construction activities occur within the stream channel.

**EFFECTIVE USES & LIMITATIONS**  
Diversion pipes with an insufficient flow capacity can cause the channel diversion to fail thereby resulting in severe erosion of the disturbed channel section under construction. Therefore, in-channel construction activities should occur only during periods of low flow.

**MATERIAL SPECIFICATIONS**  
Materials for stream diversions should meet the following requirements:  
• Riprap: Stones should be washed and have a minimum diameter of 6 inches (15 centimeters).  
• Sandbags: Sandbags should consist of materials which are resistant to ultra-violet radiation, tearing, and pressure and should be woven tightly enough to prevent leakage of fill material (i.e., sand, fine gravel, etc.).  
• Sheeting: Sheeting should consist of polyethylene or other material which is impervious and resistant to puncture and tearing.

**INSTALLATION GUIDELINES**  
All erosion and sediment control devices including mandatory dewatering basins should be installed as the first order of business according to a plan approved by the WMA or local authority. Installation should proceed from upstream to downstream during low flow conditions. If necessary, silt fence or straw bales should be installed around the perimeter of the work area.  
Diversion pipes with sandbag or stone barriers should be completed as follows (refer to Detail 1.4):  
1. Sandbag/stone barriers should be sized and installed as detailed in MGWC 1.5: Sandbag/Stone Diversion. The materials should be sized to withstand baseflow velocities.  
2. All excavated material should be deposited and stabilized in an approved area outside the 100-year floodplain unless otherwise authorized by the WMA.  
3. Sediment-laden water from the construction area should be pumped to a dewatering basin.  
4. The diversion pipe should have a minimum capacity sufficient to convey the 2-year flow for projects with a duration of two weeks or greater. For projects of shorter duration, the capacity of the pipe can be reduced accordingly.  
5. If necessary, silt fence or straw bales should be installed around the perimeter of the work area.  
6. Sediment control devices are to remain in place until all disturbed areas are stabilized and the inspecting authority approves their removal.

TEMPORARY INSTREAM CONSTRUCTION MEASURES MARYLAND DEPARTMENT OF THE ENVIRONMENT WATERWAY CONSTRUCTION GUIDELINES REVISED NOVEMBER 2000 PAGE 1.4-1

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*Sand Wilson* 4/1/01  
SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.  
*Dale Thompson* 4/15/01  
SIGNATURE OF DEVELOPER DATE

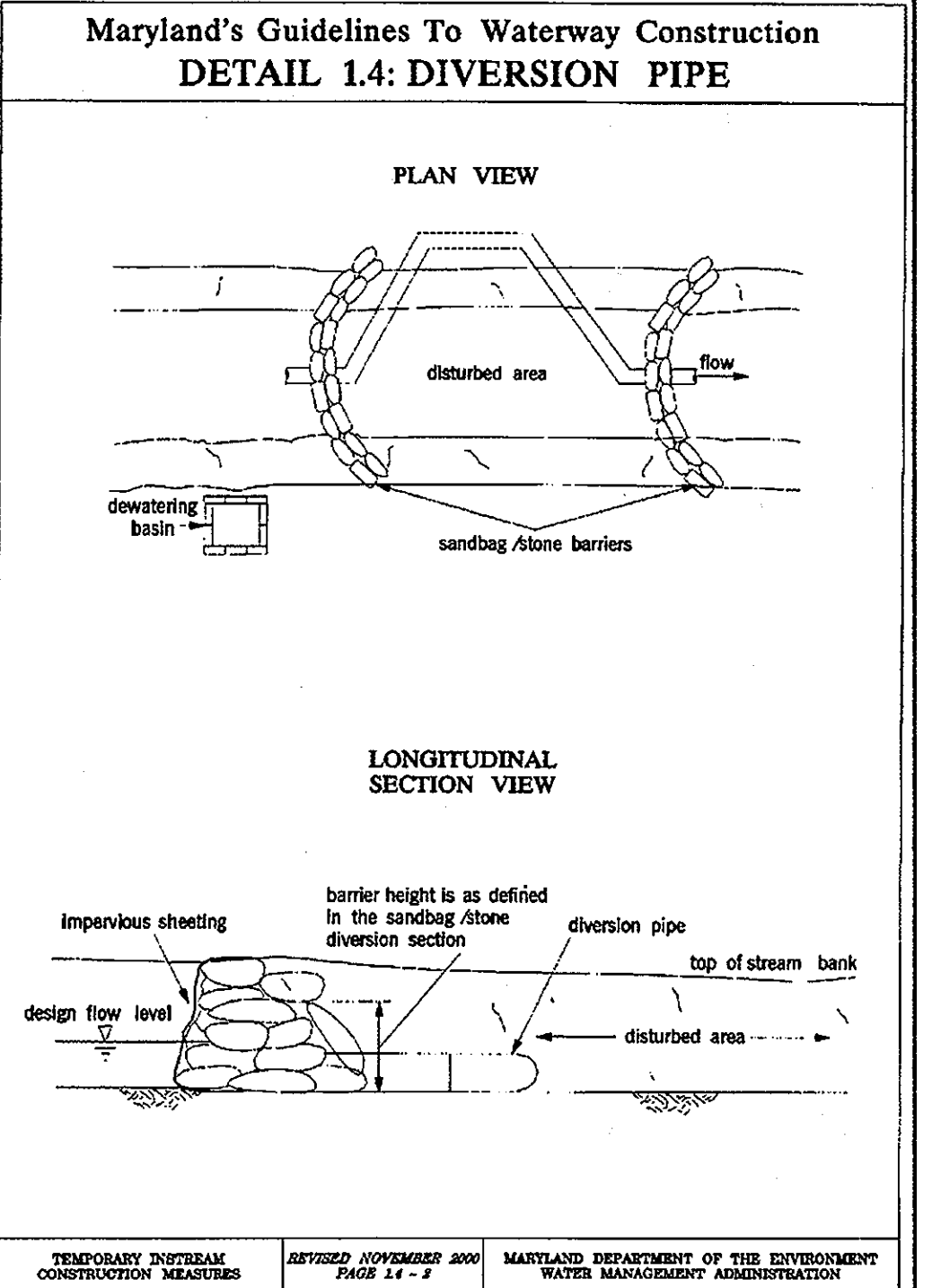
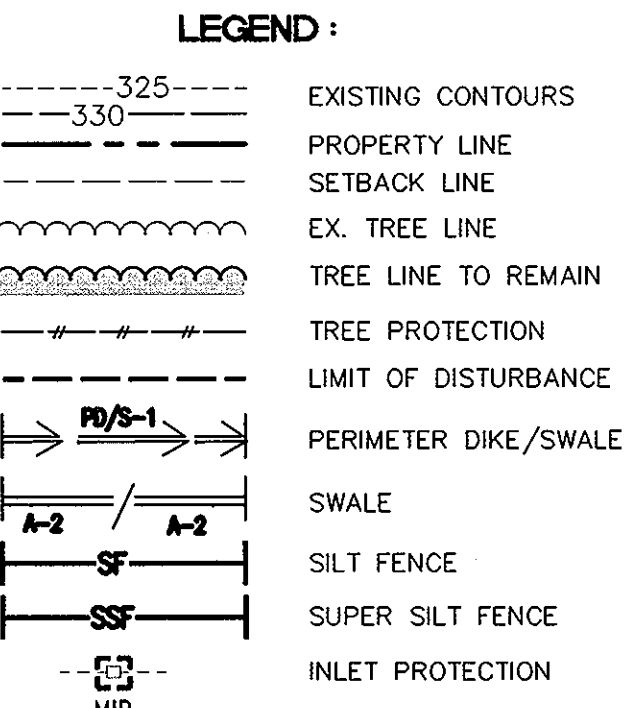
REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*Jim Myers* 4/18/01  
U.S.D.A./NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John A. Smith* 4/18/01  
DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Charles W. Swales* 5-1-01  
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Gregory J. Smith* 5/16/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

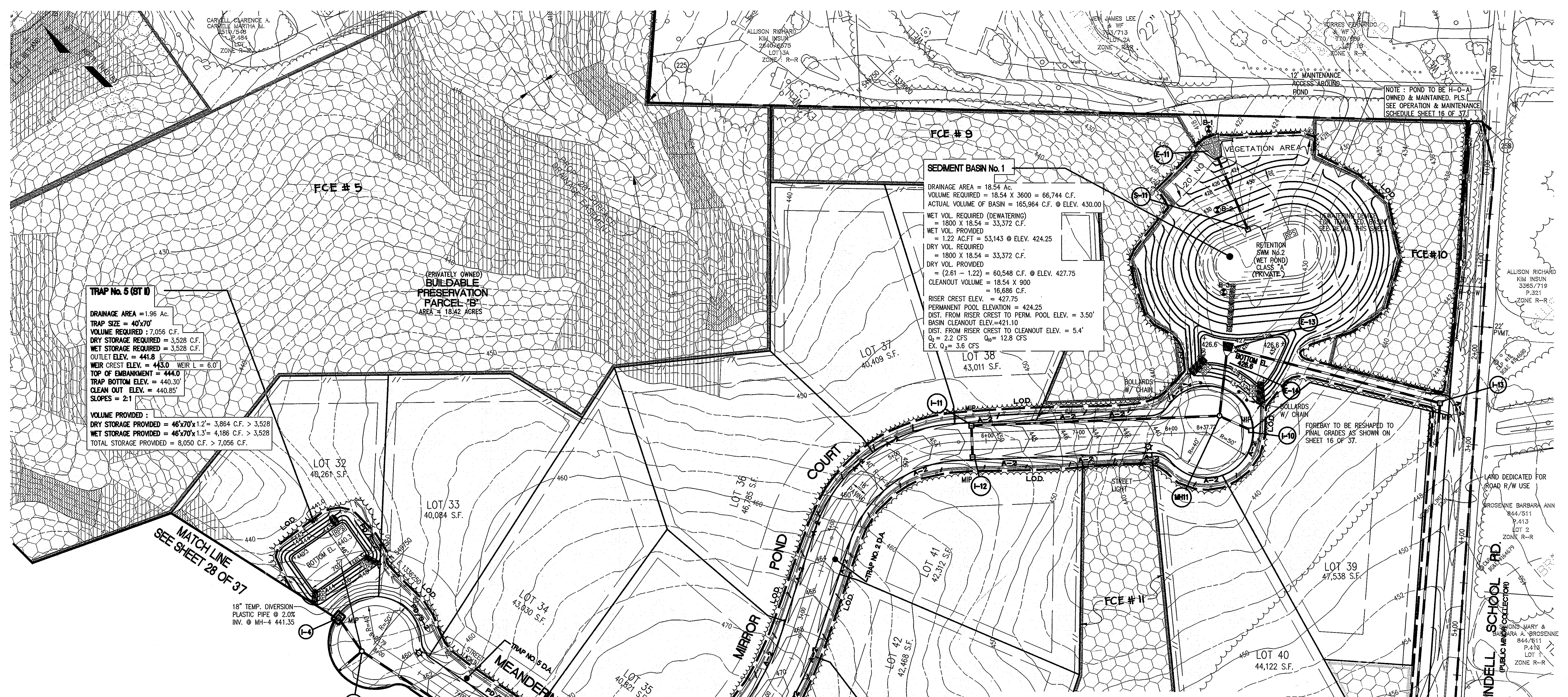
*David Thompson* 5/16/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



**CLEAR WATER DIVERSION DIKE DATA**  
DRAINAGE AREA = 17.46 AC.  
C FACTOR = 0.19, Tc = 15.2 MIN.  
I<sub>2</sub> = 3.78, Q<sub>2</sub> = 12.56 CFS  
USE A-3 DIKE:  
WITH 4"-7" (STONE PRESSED 7" (MIN.) INTO GROUND  
AREA = 1/2 X 1 X 4 = 2.0 S.F.  
WP = 4.0, R = 2/4 = 0.5'  
S = 6.45%, n = 0.045  
V = 1.486/0.045 x 0.5<sup>2/3</sup> x 0.0645<sup>1/2</sup> = 5.3 FPS

NO.	1-9-CF	CHANGE ACCESS DRIVE FROM MACADAM TO GRASS
DATE		REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT - TAX MAP #41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE	<b>GRADING AND SEDIMENT CONTROL PLAN</b>	OWNERS : CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20769 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852
DATE	9-00-15 P-01-06 F-01-89	MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852
PREPARED BY :	AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL (410) 465-7903 FAX (410) 465-3846	DEVELOPER : MOUNT VIEW, LLC 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES. :	JL/DCW/AVG	JOB :
DRW. :	AVG/DTA/INC	PROJ. :
CHK. :	D.C.W.	DATE : 03/04/01
SCALE :	1" = 50'	SHEET 28 OF 37

**NOTES:**  
1. SEDIMENT AND EROSION CONTROL DURING RAZING OF BUILDINGS TO BE UNDER SEPARATE SUBMISSION.  
2. ALL SF AND SSF TO BE TURNED UP AND EXTENDED TWO (2) FEET IN ELEVATION ( TO MEET CONTOUR LINE)



**TRAP No. 5 (BT II)**

DRAINAGE AREA = 1.96 Ac.  
 TRAP SIZE = 40'x70'  
 VOLUME REQUIRED = 7,056 C.F.  
 DRY STORAGE REQUIRED = 3,528 C.F.  
 WET STORAGE REQUIRED = 3,528 C.F.  
 OUTLET ELEV. = 441.8  
 WEIR CREST ELEV. = 443.0 WEIR L = 6.0'  
 TOP OF EMBANKMENT = 444.0  
 TRAP BOTTOM ELEV. = 440.30'  
 CLEAN OUT ELEV. = 440.85'  
 SLOPES = 2:1

VOLUME PROVIDED:  
 DRY STORAGE PROVIDED = 46'x70'x1.2' = 3,864 C.F. > 3,528  
 WET STORAGE PROVIDED = 46'x70'x1.3' = 4,186 C.F. > 3,528  
 TOTAL STORAGE PROVIDED = 8,050 C.F. > 7,056 C.F.

**FCE # 9**

**SEDIMENT BASIN No. 1**

DRAINAGE AREA = 18.54 Ac.  
 VOLUME REQUIRED = 18.54 X 3600 = 66,744 C.F.  
 ACTUAL VOLUME OF BASIN = 165,964 C.F. @ ELEV. 430.00  
 WET VOL. REQUIRED (DEWATERING)  
 = 1800 X 18.54 = 33,372 C.F.  
 WET VOL. PROVIDED  
 = 1.22 AC.FT = 53,143 @ ELEV. 424.25  
 DRY VOL. REQUIRED  
 = 1800 X 18.54 = 33,372 C.F.  
 DRY VOL. PROVIDED  
 = (2.61 - 1.22) = 60,548 C.F. @ ELEV. 427.75  
 CLEANOUT VOLUME = 18.54 X 900  
 = 16,686 C.F.  
 RISER CREST ELEV. = 427.75  
 PERMANENT POOL ELEVATION = 424.25  
 DIST. FROM RISER CREST TO PERM. POOL ELEV. = 3.50'  
 BASIN CLEANOUT ELEV. = 421.10  
 DIST. FROM RISER CREST TO CLEANOUT ELEV. = 5.4'  
 $Q_2 = 2.2$  CFS  $Q_3 = 12.8$  CFS  
 $EX. Q_2 = 3.6$  CFS

NOTE: POND TO BE H-O-A OWNED & MAINTAINED P.S. SEE OPERATION & MAINTENANCE SCHEDULE SHEET 16 OF 37

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*David M. ...* 4/5/01  
 SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

*Jose H. Escalante* 4/5/01  
 SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*Jim ...* 4/18/01  
 U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*...* 4/18/01  
 DISTRICT HOWARD SOIL CONSERVATION DIST. DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*...* 5/1/01  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*...* 5/16/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

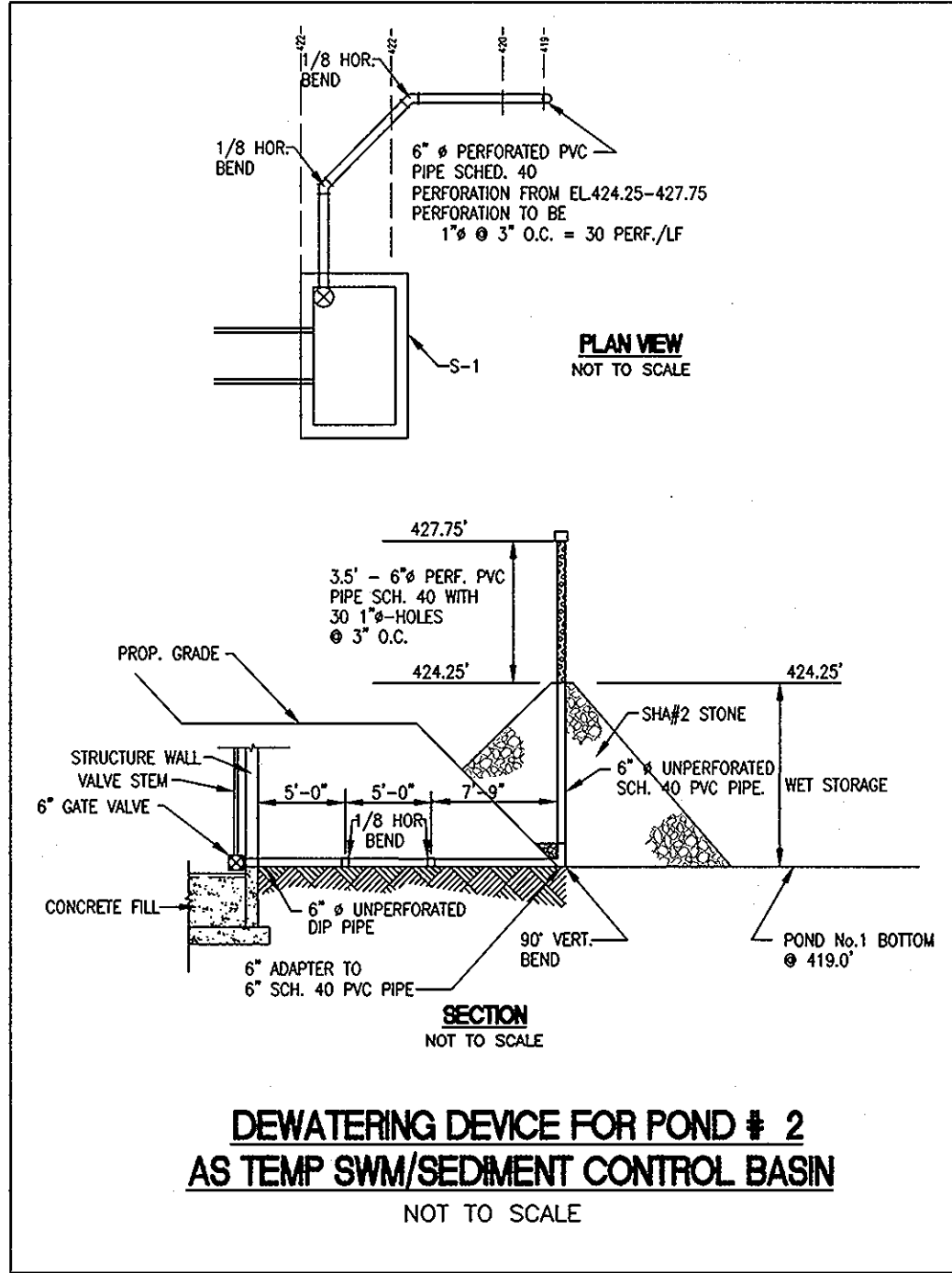
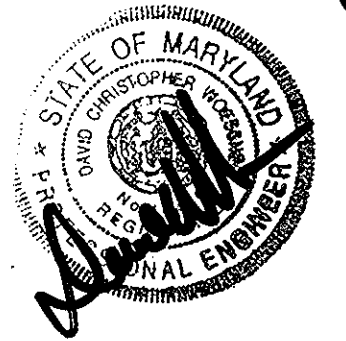
*...* 5/11/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



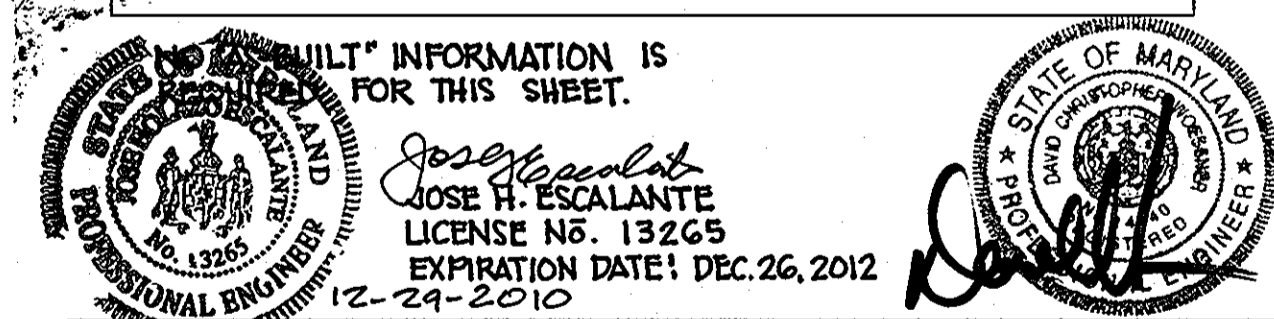
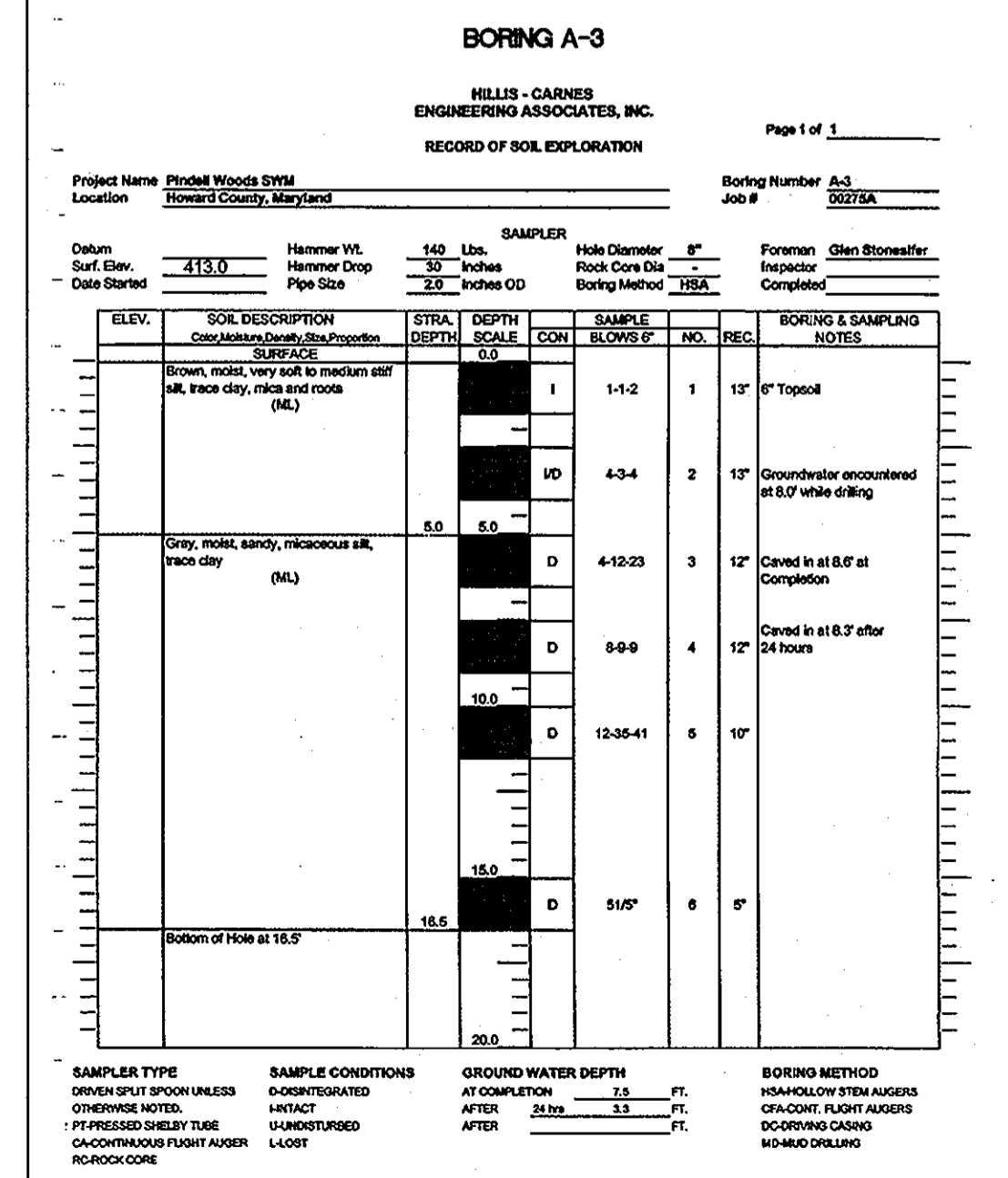
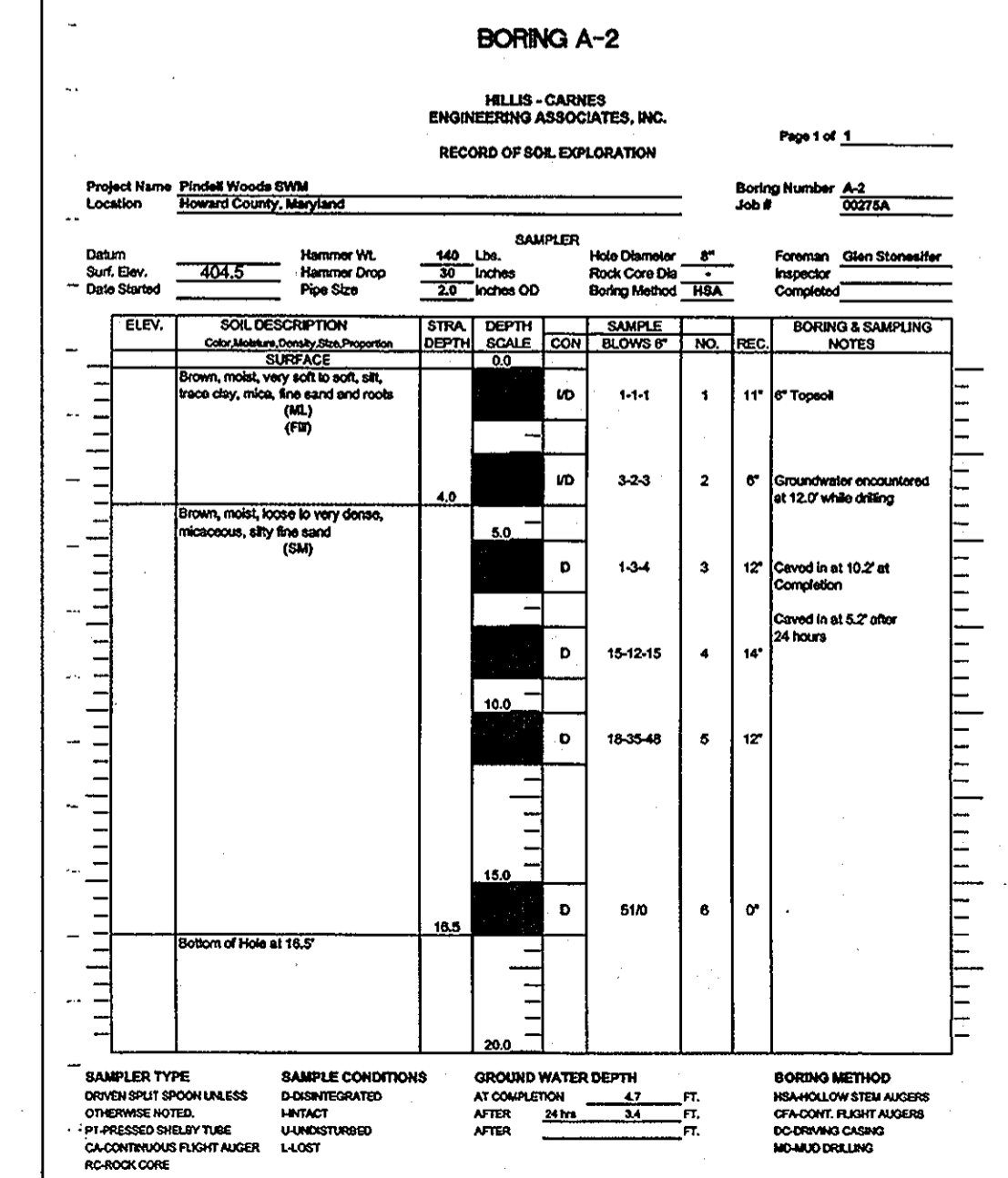
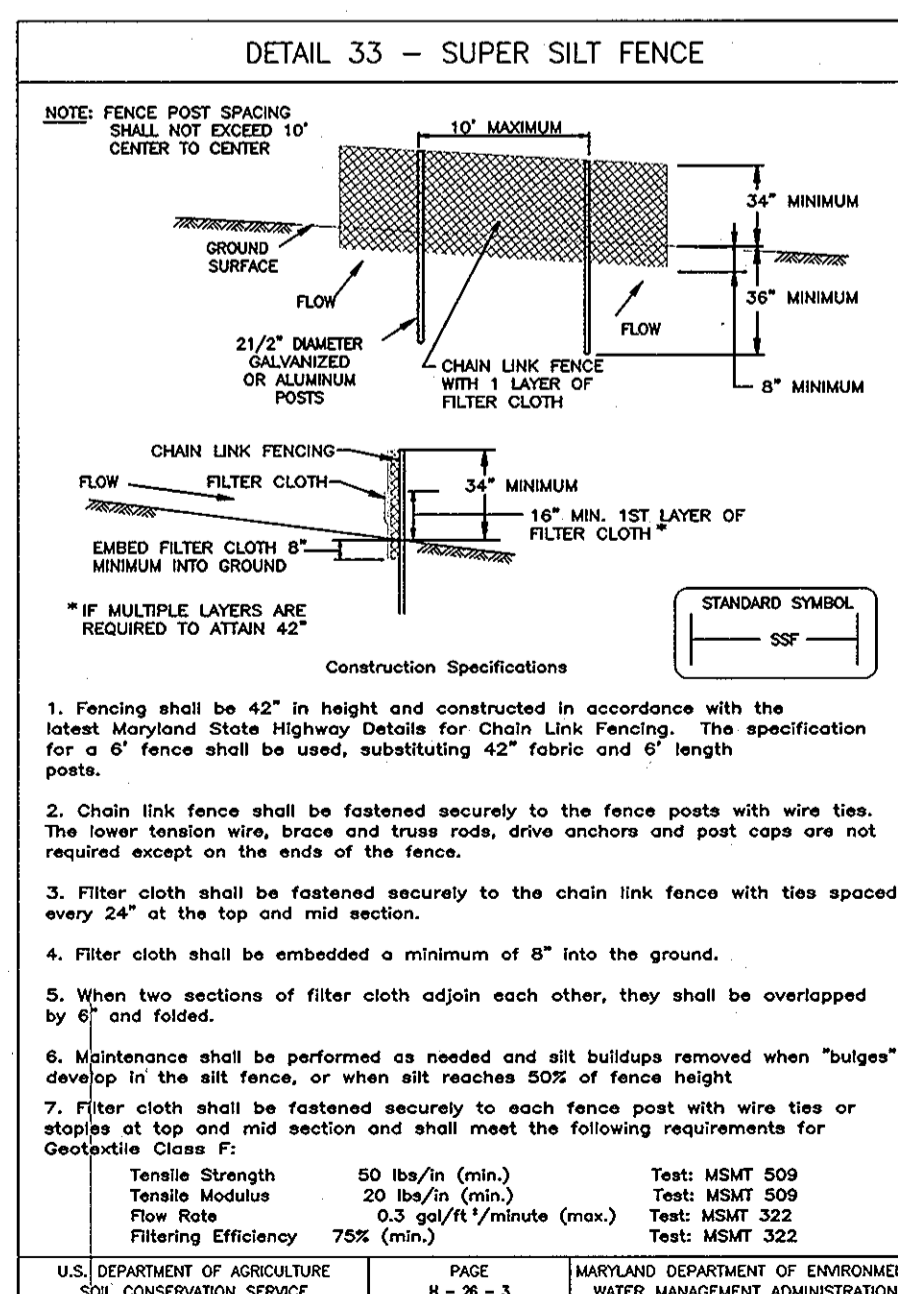
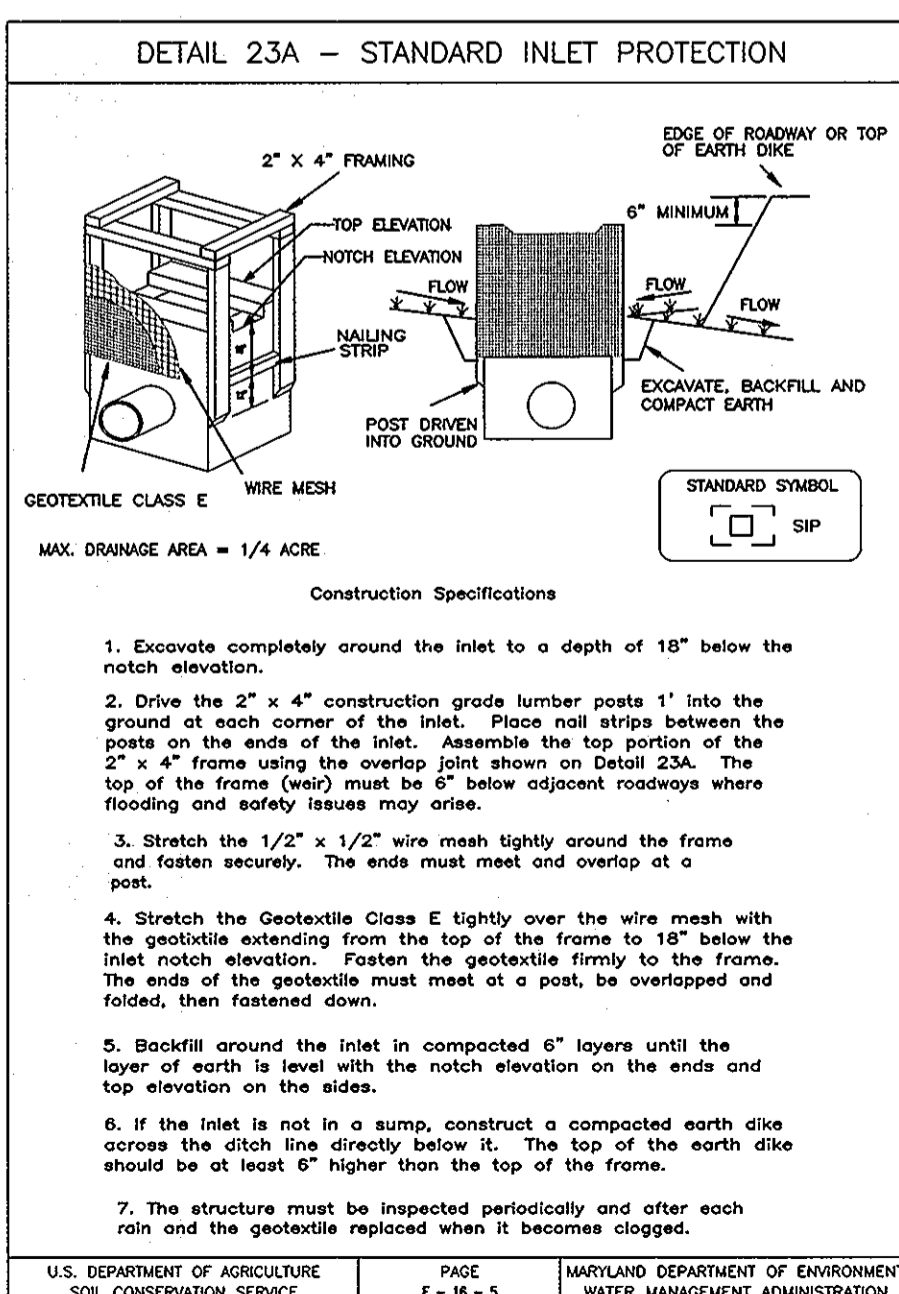
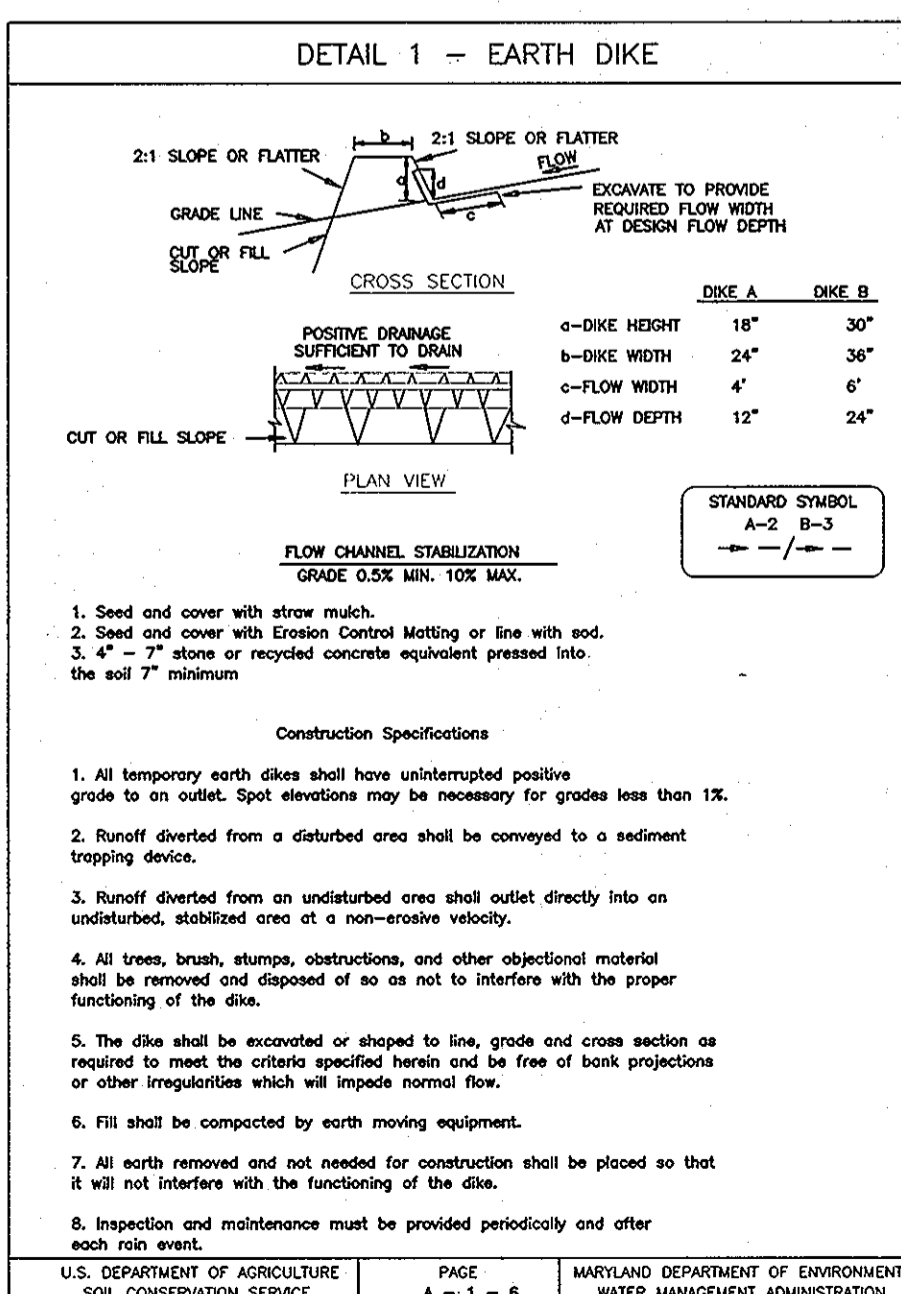
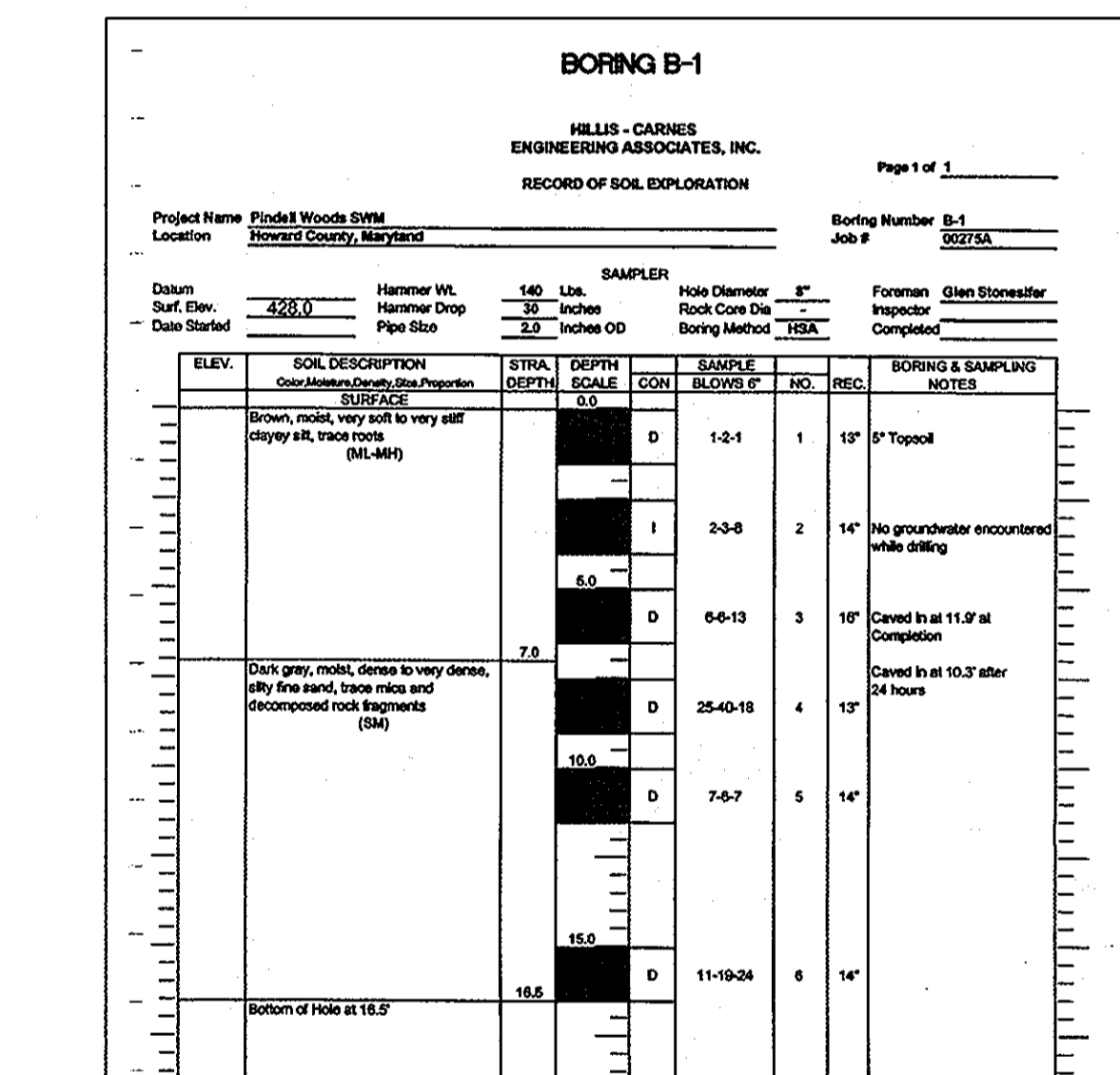
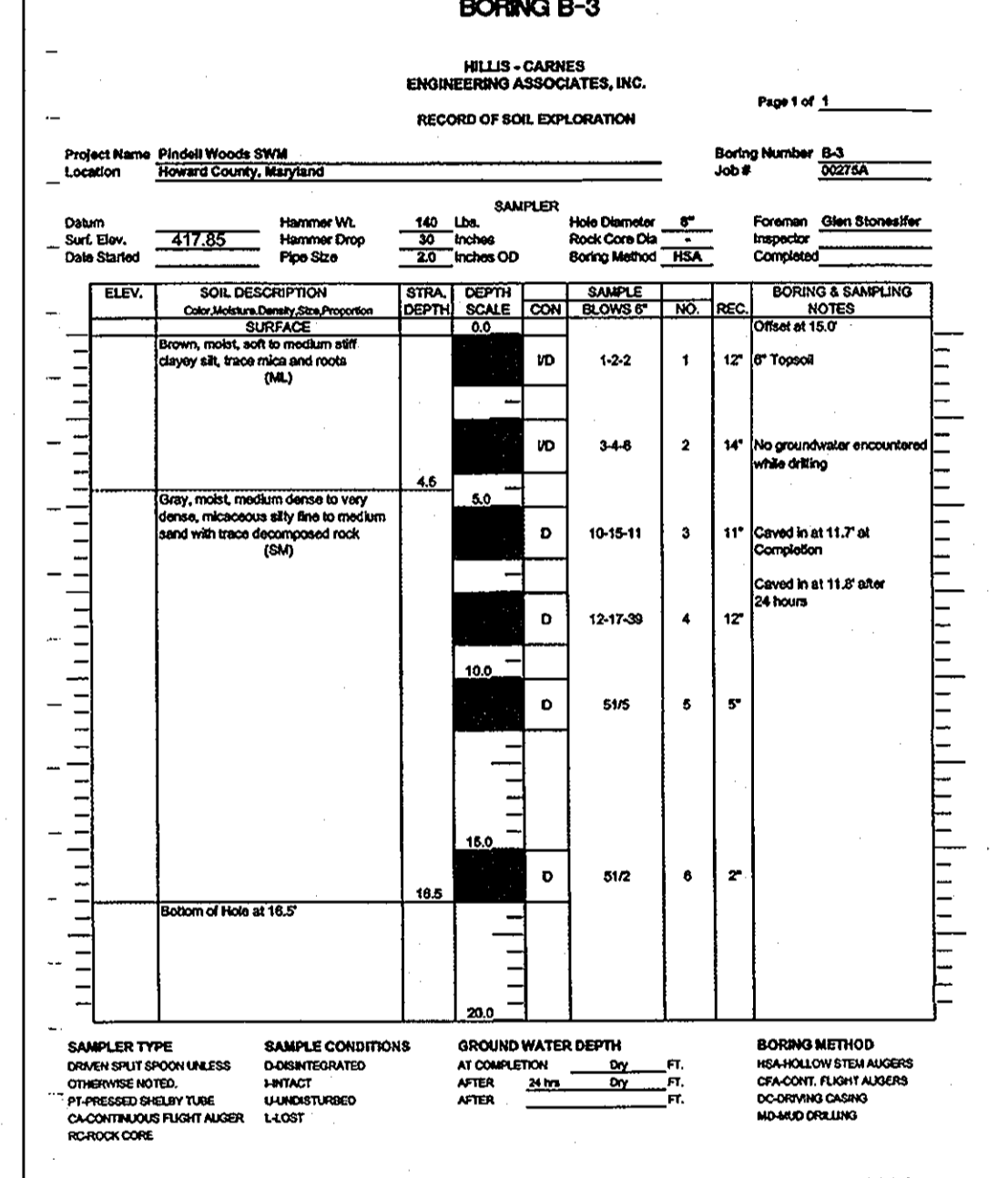
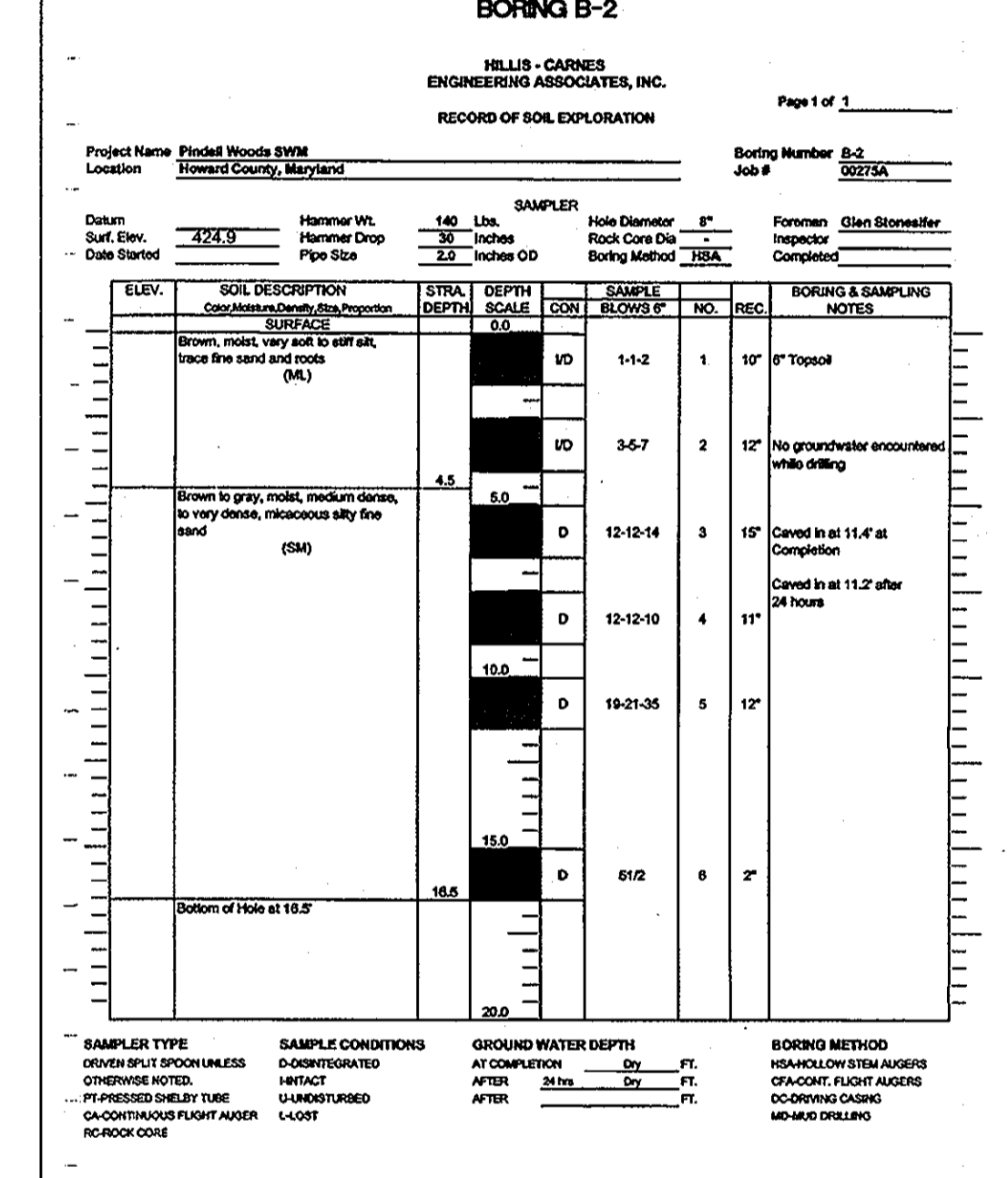
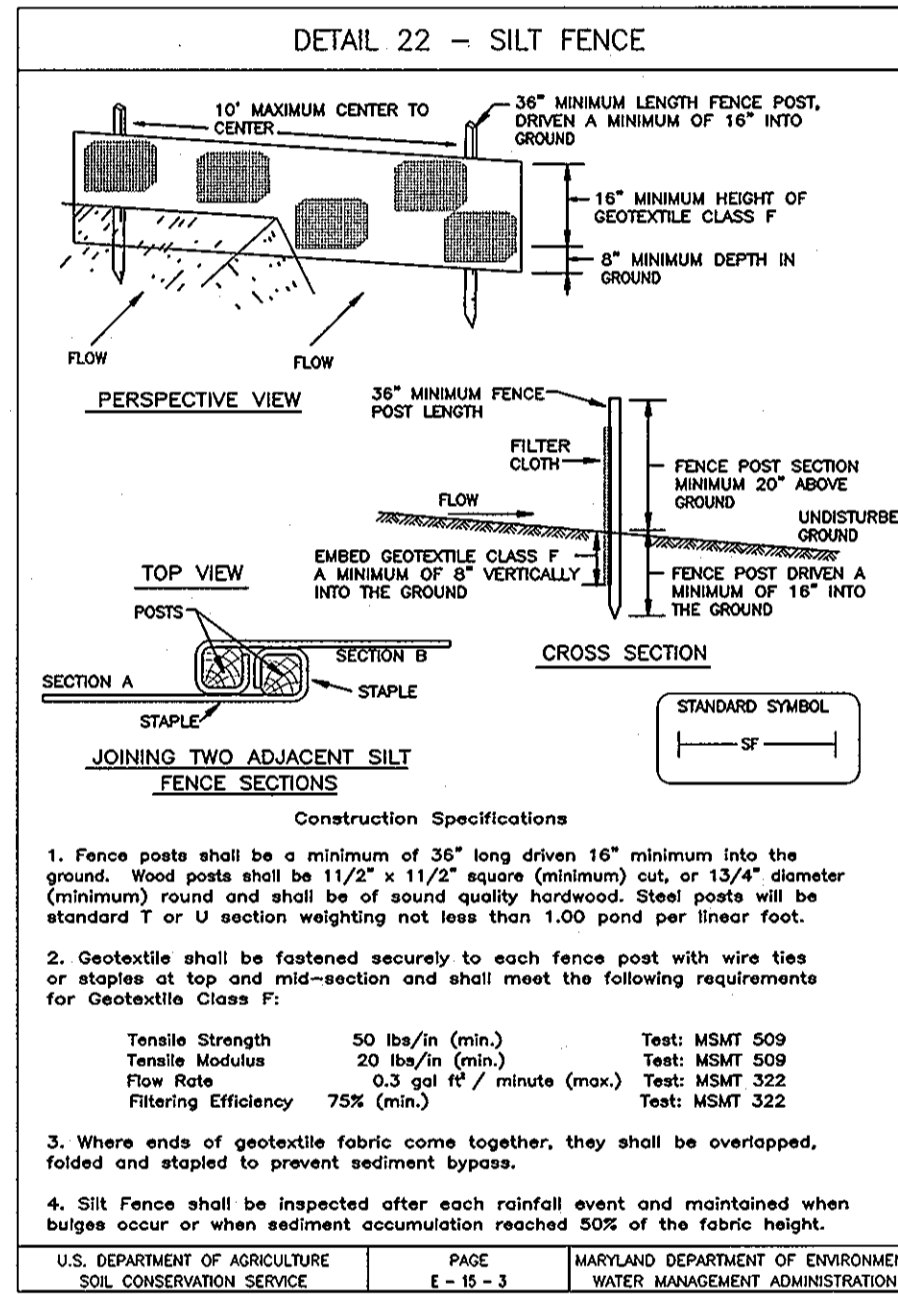
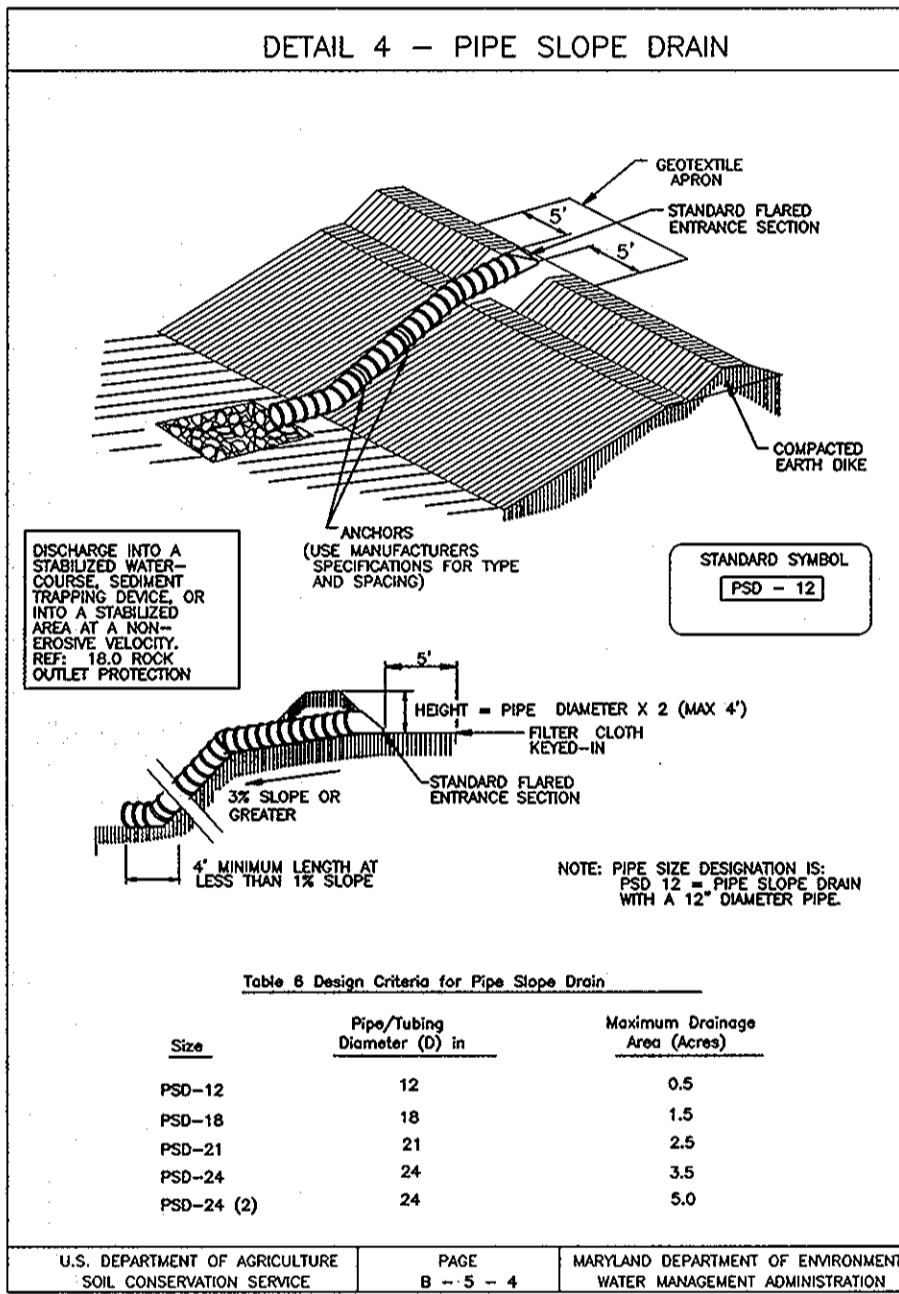
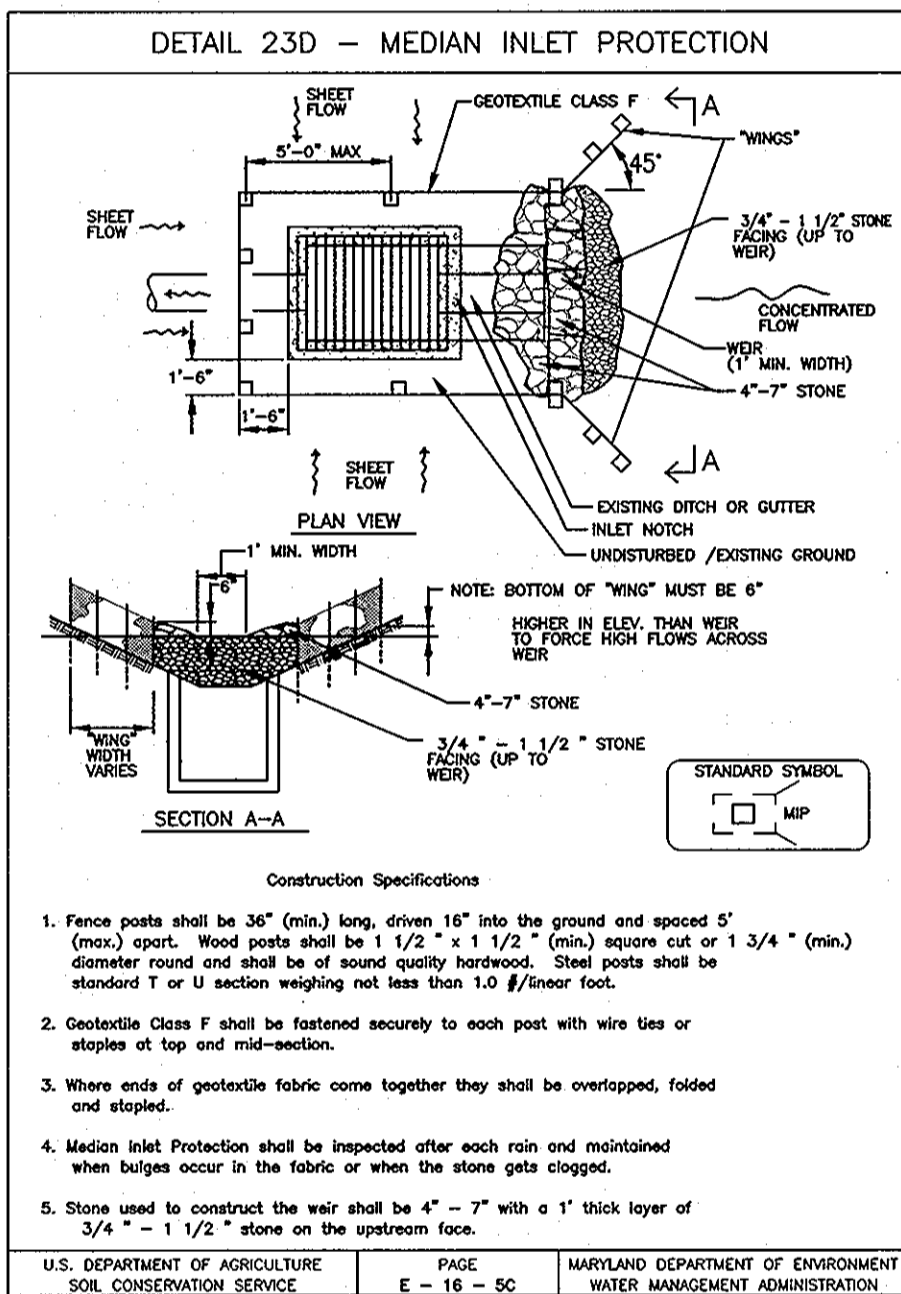
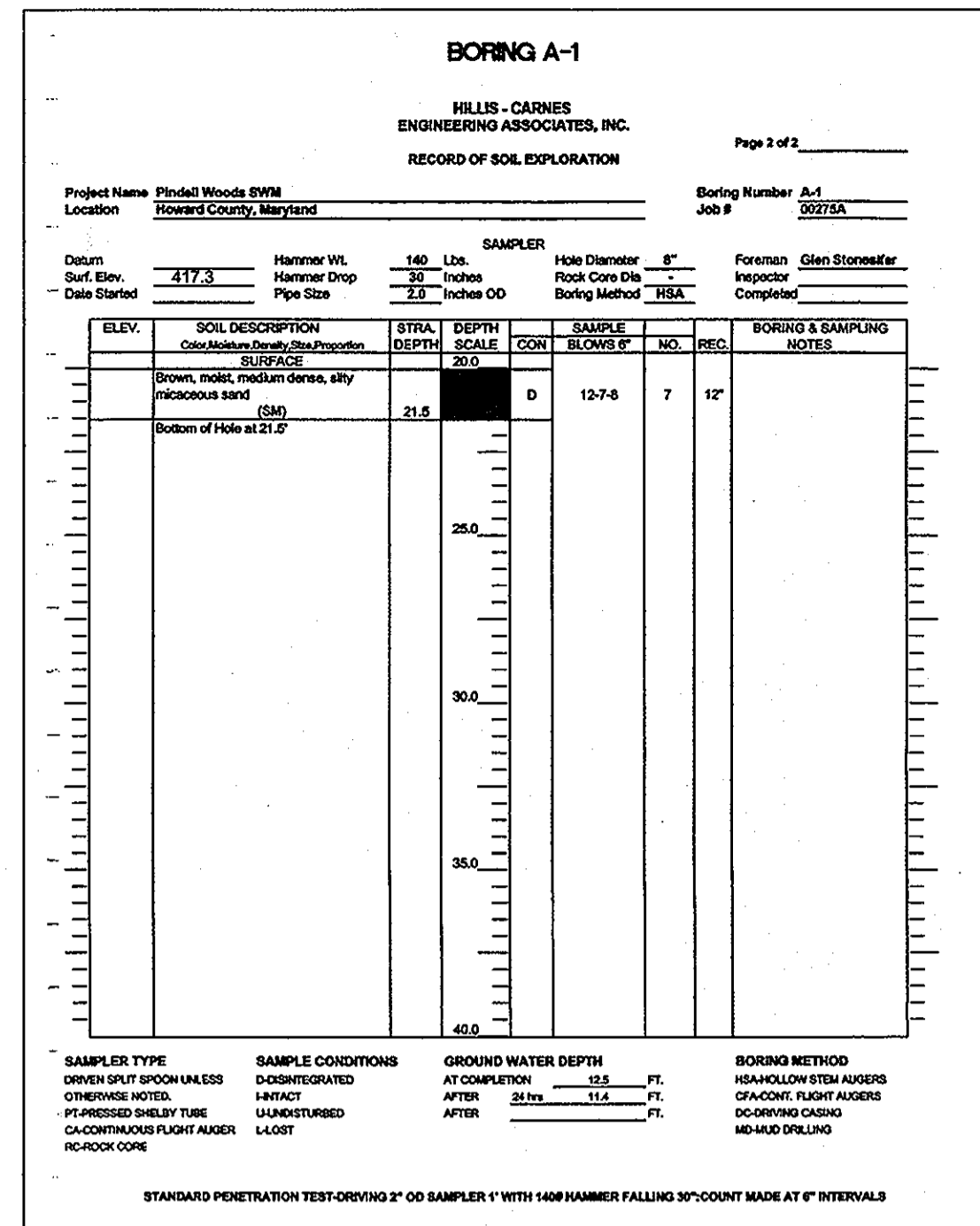
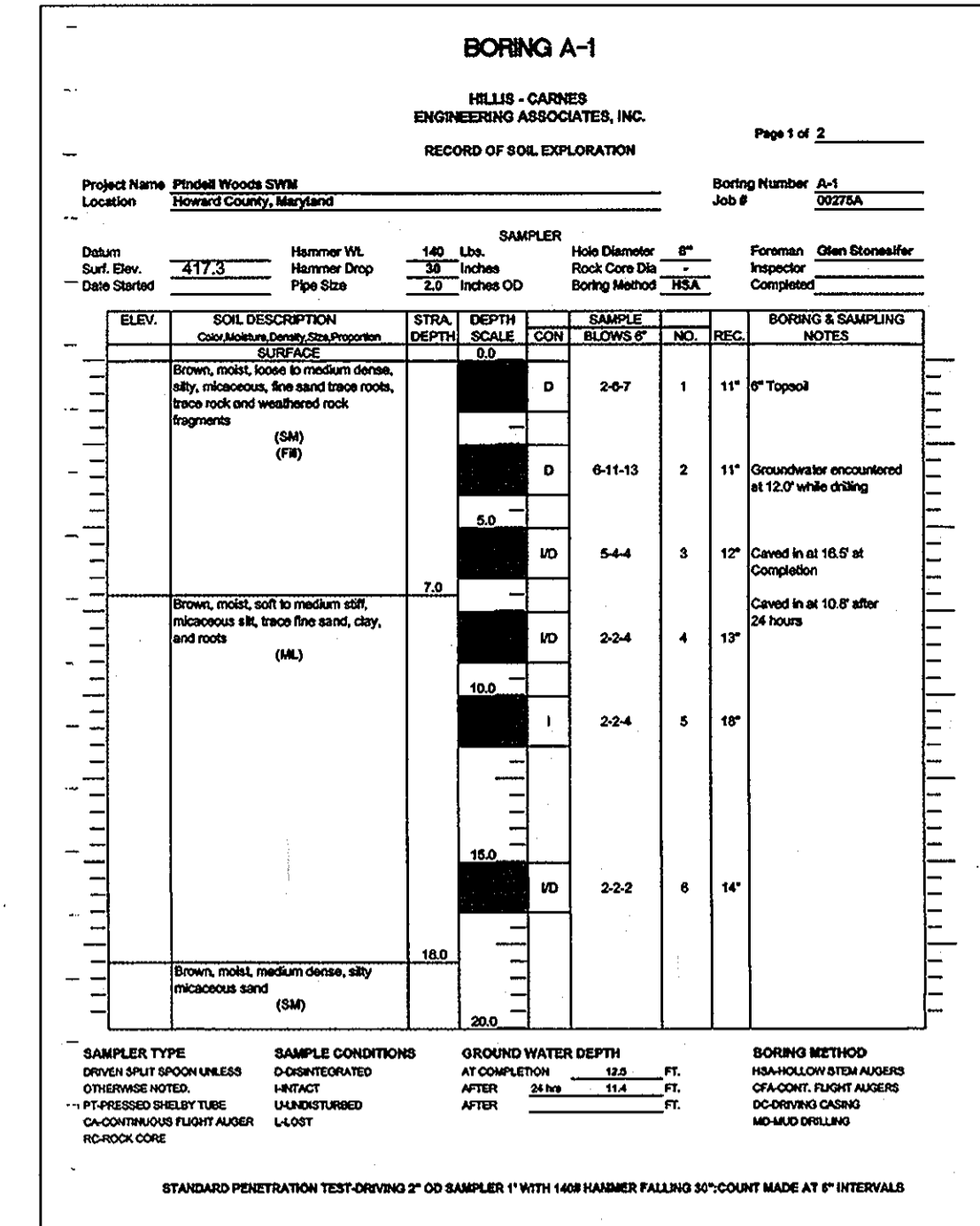
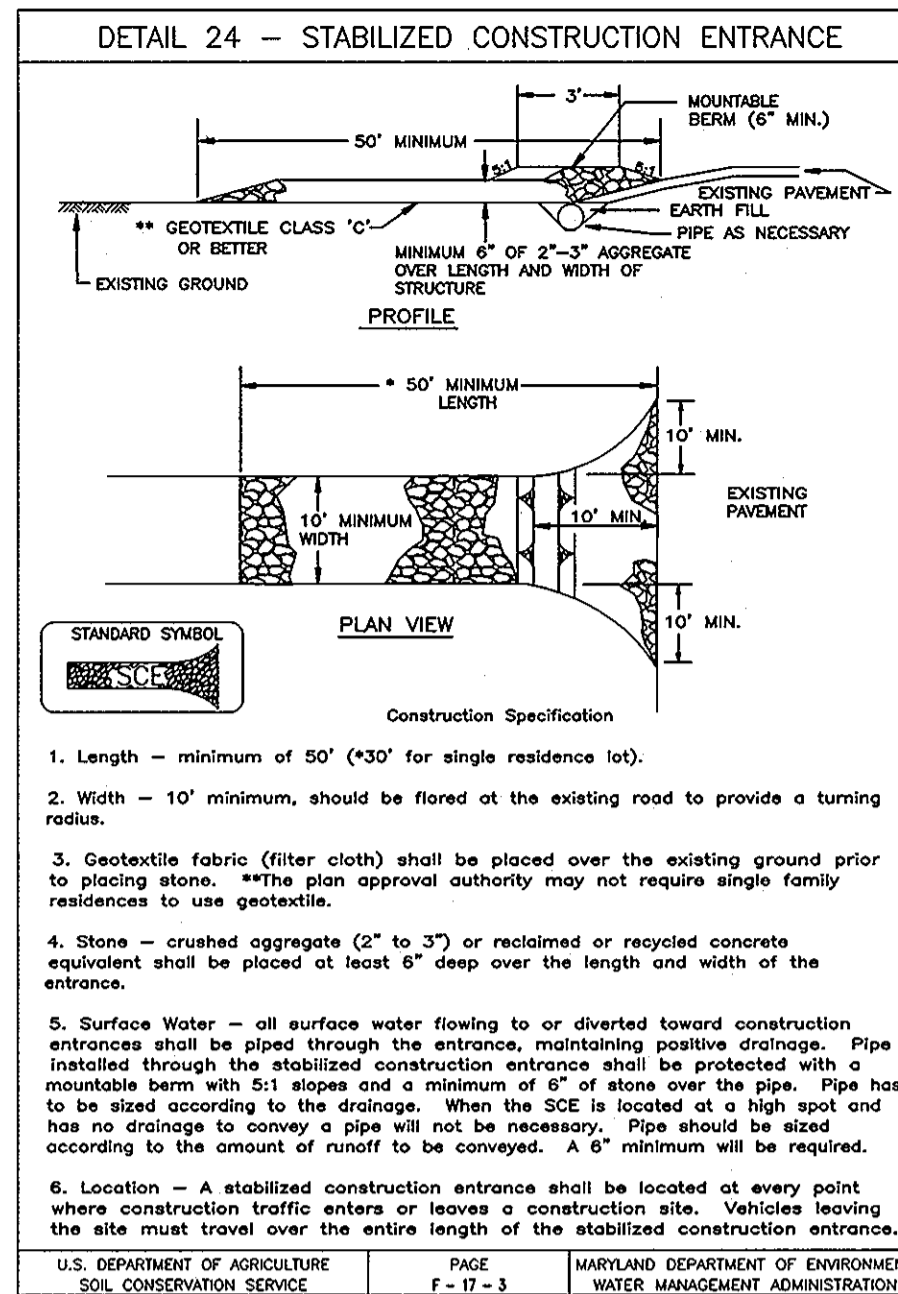
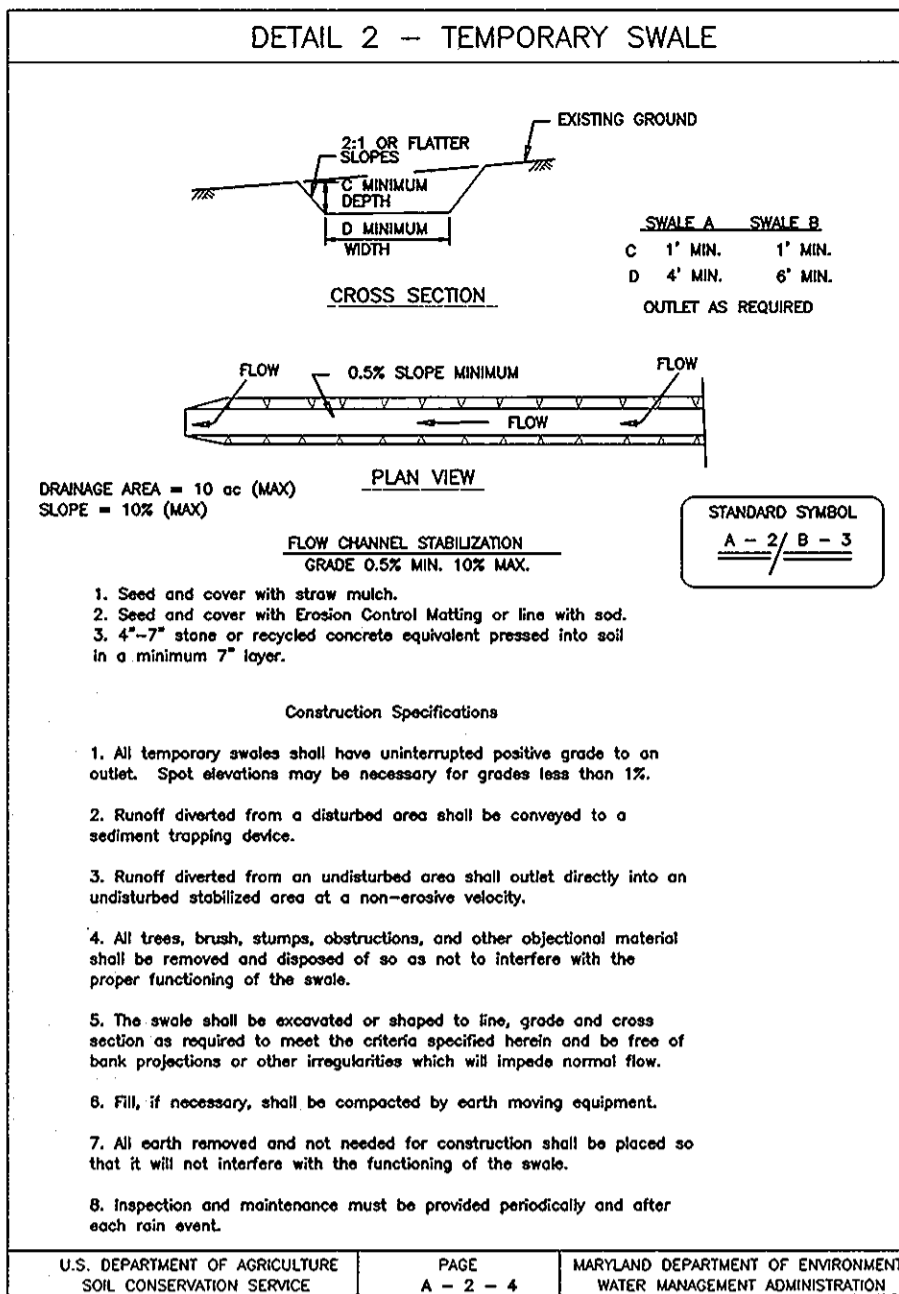
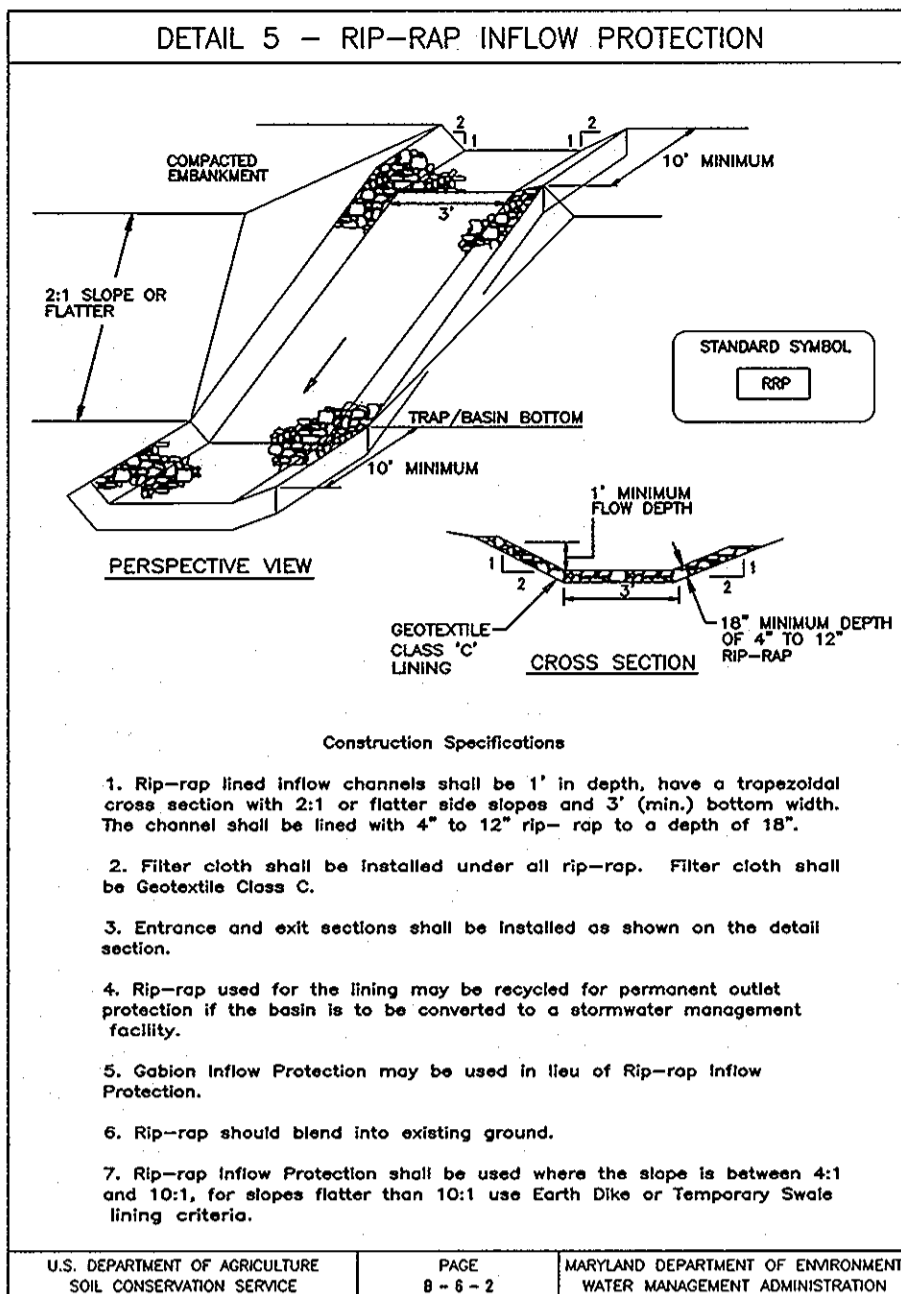
- LEGEND:
- - - - - EXISTING CONTOURS
  - — — — — PROPERTY LINE
  - — — — — SETBACK LINE
  - - - - - EX. TREE LINE
  - - - - - TREE LINE TO REMAIN
  - - - - - TREE PROTECTION
  - - - - - LIMIT OF DISTURBANCE
  - - - - - PERIMETER DIKE/SWALE
  - - - - - SWALE
  - - - - - SILT FENCE
  - - - - - SUPER SILT FENCE
  - - - - - INLET PROTECTION
  - MIP

NOTE: ALL SF AND SSF TO BE TURNED UP AND EXTENDED TWO (2) FEET IN ELEVATION ( TO MEET CONTOUR LINE).



NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
TAX MAP 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE <b>GRADING AND SEDIMENT CONTROL PLAN</b>		OWNERS : CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759
PREPARED BY : AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMGHAM WAY WOODSTOCK, MD 21183 TEL (410) 465-7993 FAX (410) 465-3845		H V REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER : MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 2044
DES. : JL/DCW/AVG	JOB :	SCALE : 1" = 50'
DRW. : AVG/DTA/JNC	PROJ. :	SHEET 29 OF 37
CHK. : D.C.W.	DATE : 03/04/01	





**PROJECT INFORMATION IS FOR THIS SHEET.**

NO. \_\_\_\_\_ DATE \_\_\_\_\_ REVISIONS \_\_\_\_\_

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F  
5th ELECTION DISTRICT TAX MAP # 1, GRID 2, 3, 8 AND 9  
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274  
HOWARD COUNTY, MARYLAND.

TITLE: **SEDIMENT CONTROL DETAILS AND BORING LOGS**

OWNERS: CLARENCE AND MARTHA CARVELL  
7006 PINDELL SCHOOL ROAD  
FULTON, MD. 20759  
H Y REAL ESTATE JOINT VENTURE  
1821 ROCKVILLE PIKE, SUITE 300  
ROCKVILLE, MD. 20852  
MARSHALL P. TULIN  
1821 ROCKVILLE PIKE, SUITE 300  
ROCKVILLE, MD. 20852  
DEVELOPER: MOUNT VIEW, LLC.  
6258 CARDINAL LA.  
COLUMBIA, MD. 20444

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.  
10749 BIRMINGHAM WAY  
WOODSTOCK, MD 21183  
TEL (410) 465-7803  
FAX (410) 465-9845

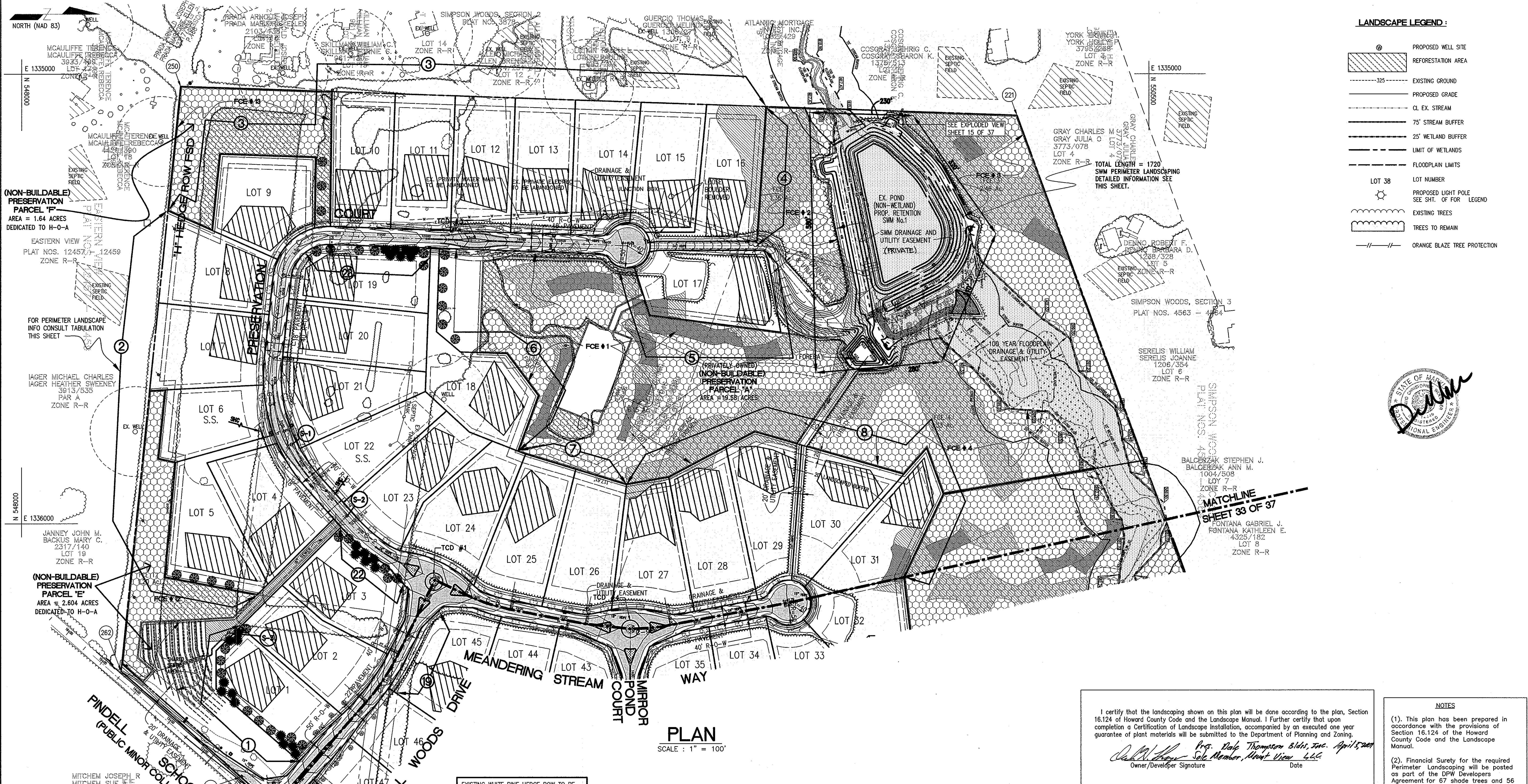
DES.: JL/DCA/AVG JOB: \_\_\_\_\_

DRW.: AVG/DTA/ANC PROJ.: \_\_\_\_\_

CHK.: D.C.W. DATE: 03/04/01 SCALE: AS SHOWN SHEET 31 OF 37

F-01-89





**LANDSCAPE LEGEND :**

- PROPOSED WELL SITE
- REFORESTATION AREA
- EXISTING GROUND
- PROPOSED GRADE
- CL. EX. STREAM
- 75' STREAM BUFFER
- 25' WETLAND BUFFER
- LIMIT OF WETLANDS
- FLOODPLAIN LIMITS
- LOT NUMBER
- PROPOSED LIGHT POLE  
SEE SHT. OF FOR LEGEND
- EXISTING TREES
- TREES TO REMAIN
- ORANGE BLAZE TREE PROTECTION

**PLAN**  
SCALE : 1" = 100'

I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of Howard County Code and the Landscape Manual. I further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

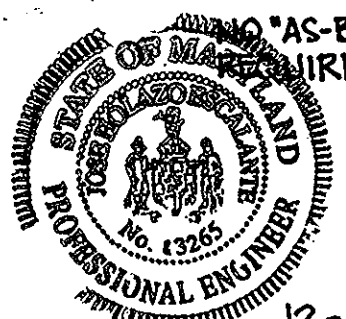
*Robt. Shaw* *Ing. Dale Thompson Blvd. Inc. April 5, 2001*  
Owner/Developer Signature Date

**NOTES**

- (1). This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
- (2). Financial Surety for the required Perimeter Landscaping will be posted as part of the DPW Developers Agreement for 67 shade trees and 56 pine trees in the amount of \$28,500.

**PERIMETER LANDSCAPE EDGE PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	PINUS STROBUS	EASTERN WHITE PINE	24	6"-8" HT
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	33	2-1/2" - 3" CAL.



"AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

*Jose H. Escalante*  
JOSE H. ESCALANTE  
LICENSE NO. 13265  
EXPIRATION DATE: DEC. 26, 2012  
12-2A-2010

NOTE : 1. ALL OF PRESERVATION PARCEL "A" EXCLUDING SWM FACILITY, THE RECTANGULAR AREA EAST OF LOT #17 AND THE 100-YEAR FLOOD PLAINS WILL BE ENCUMBERED BY A FOREST CONSERVATION EASEMENT.

2. THE HEDGE ROW ON LOTS 4-9 CONSISTS OF 25' PINES AND WILL BE RELOCATED TO BUFFERS ONE (1) AND 12, 14 AND 18 IN ADDITION TO THOSE SHOWN AS PART OF THE REQUIRED LANDSCAPING.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Robt. Shaw* 5-1-01  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Cinda Hammett* 5/6/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Robt. Shaw* 5/1/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

**SCHEDULE "A" PERIMETER LANDSCAPE EDGE (TOTAL)**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	2415	8466
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	400 (2015)	7331 (11335)
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)		NO
Number of Plants Required		
Shade Trees	42	22 (120)
Evergreen Trees	53	0
Shrubs	0	0
Shade Trees	42	22
Evergreen Trees	53	0
Other Trees (2:1 substitution)	0	0
Shrubs (10:1 substitution)	0	0

**SCHEDULE "D" STORMWATER MANAGEMENT AREA LANDSCAPING**

Category	SHW#1	SHW#2
Linear Feet of Perimeter	1720'	1010'
Number of Trees Required		
Shade Trees 1:50	35	21
Evergreen Trees 1:40	43	26
Credit for Existing Vegetation* (No, Yes, and %)	* Yes 100% Yes 89% (120)	
Credit for Other Landscaping (No, Yes and %)		
Number of Trees Provided		
Shade Trees	0	3
Evergreen Trees	0	3
Other Trees (2:1 substitution)	0	0

\*The forest surrounding the pond consists of mature hardwoods and pines for exceeding the number required.

**SCHEDULE "A" PERIMETER LANDSCAPE EDGE THIS SHEET ONLY**

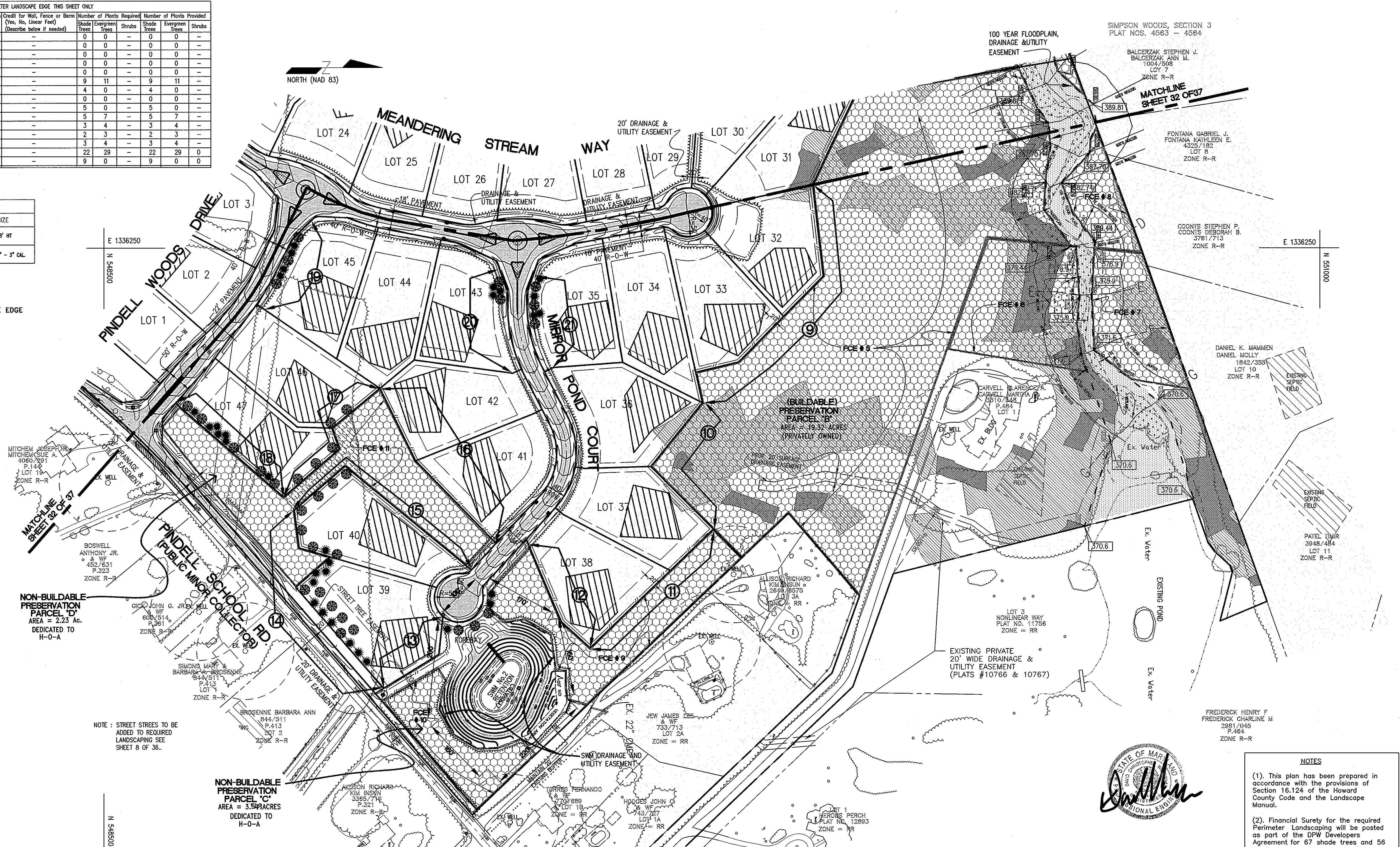
PERIMETER	CATEGORY (Property/Roadways)	Landscape Type	Linear Feet of Roadway Frontage/Perimeter	Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	Number of Plants Required	Number of Plants Provided
						Shade Trees	Evergreen Trees
1	ROADWAY	B	415	0 (415)	0	9	11
2	PROPERTIES	A	1115	930 (185)	0	4	0
3	PROPERTIES	A	1510	1360 (150)	0	3	0
4	PROPERTIES	A	310	310	0	0	0
5	PROPERTIES	A	590	590	0	0	0
6	PROPERTIES	A	610	280 (330)	0	6	0
7	PROPERTIES	A	251	251	0	0	0
8	PROPERTIES	A	1040	1040	0	0	0
22	ROADWAY	B	250	0 (250)	0	5	6
23	ROADWAY	B	270	0 (270)	0	6	7
TOTAL	PROPERTIES	A	5426	4761 (665)	0	13	0
TOTAL	ROADWAY	B	935	0 (935)	0	20	24

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
TITLES <b>LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F</b>		
5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9		
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274		
HOWARD COUNTY, MARYLAND.		
TITLE	OWNERS : CLARENCE AND MARTHA CARVELL 7706 PINDELL SCHOOL ROAD FULTON, MD. 20759	
<b>LANDSCAPE PLAN</b>	H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
S-00-15 P-01-06 F-01-89	MARSHALL P. TULIN 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY : AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL: (410) 465-7903 FAX: (410) 465-3845	DEVELOPER : MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044	
DES. : JL/DWC/AVG	JOB :	SCALE : 1" = 100'
DRW. : AVG/DTA/JNC	PROJ. :	SHEET 32 OF 37
CHK. : D.C.W.	DATE : 03/04/01	

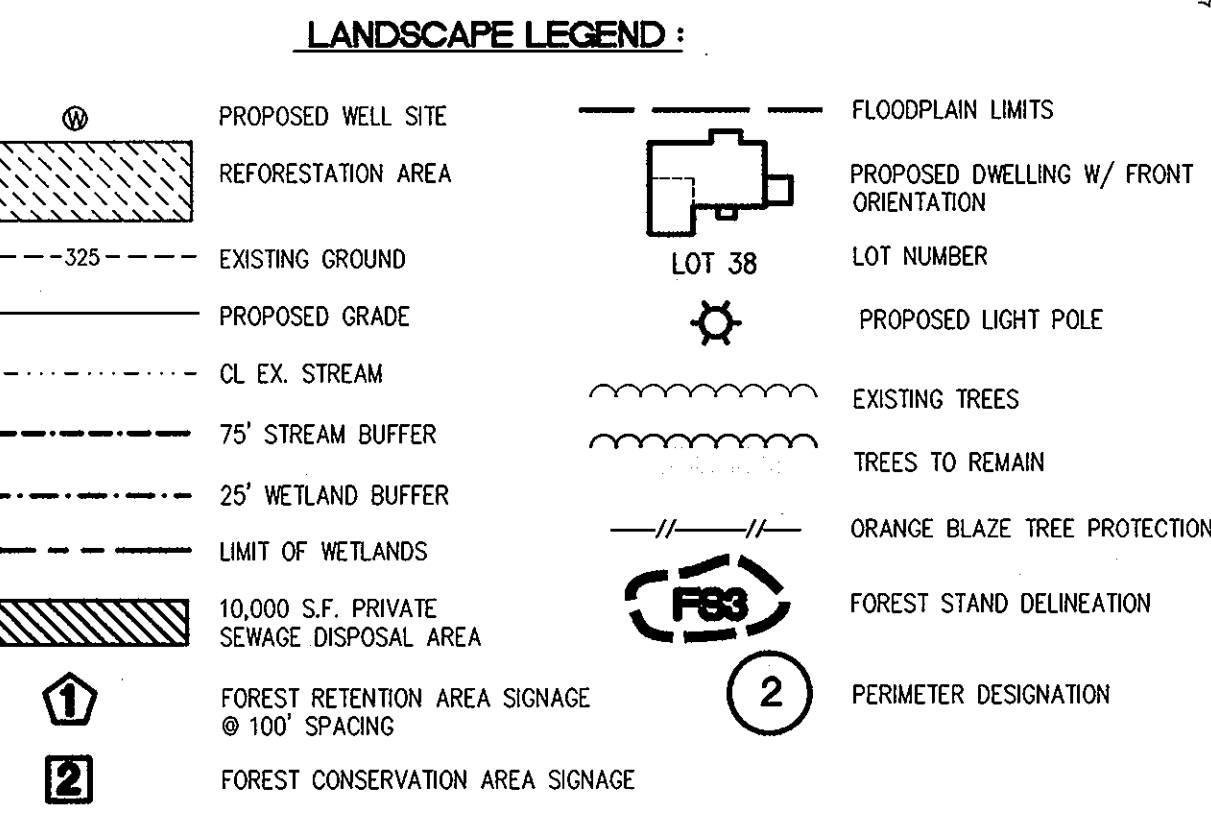
PERIMETER	CATEGORY (Properties/ Roadways)	Landscape Type	SCHEDULE "A" PERIMETER LANDSCAPE EDGE THIS SHEET ONLY		Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)		Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)		Number of Plants Required		Number of Plants Provided	
			Linear Feet of Roadway Frontage/Perimeter	(Yes, No, Linear Feet)	(Yes, No, Linear Feet)	Shade Trees	Evergreen Trees	Shade Trees	Evergreen Trees	Shade Trees	Evergreen Trees	Shade Trees
9	PROPERTIES	A	600	600	0	0	0	0	0	0	0	0
10	PROPERTIES	A	380	380	0	0	0	0	0	0	0	0
11	PROPERTIES	A	360	360	0	0	0	0	0	0	0	0
12	PROPERTIES	A	250	250	0	0	0	0	0	0	0	0
13	PROPERTIES	A	240	240	0	0	0	0	0	0	0	0
14	ROADWAY	B	430	0 (430)	0	0	9	11	9	11	0	0
15	PROPERTIES	A	480	280 (200)	0	0	4	0	4	0	0	0
16	PROPERTIES	A	410	410	0	0	0	0	0	0	0	0
17	PROPERTIES	A	320	50 (270)	0	0	5	0	5	0	0	0
18	ROADWAY	B	300	50 (250)	0	0	5	7	5	7	0	0
19	ROADWAY	B	250	100 (150)	0	0	3	4	3	4	0	0
20	ROADWAY	B	250	150 (100)	0	0	2	3	2	3	0	0
21	ROADWAY	B	250	100 (150)	0	0	3	4	3	4	0	0
TOTAL	ROADWAY	B	1480	400 (1080)	0	0	22	29	22	29	0	0
TOTAL	PROPERTIES	A	3040	2570 (470)	0	0	9	0	9	0	0	0

PLANT SCHEDULE *				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	PINUS STROBUS	EASTERN WHITE PINE	32	6"-8" HT
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	34	2-1/2" - 3" CAL

\* PERIMETER LANDSCAPE EDGE AND SWM POND #2 LANDSCAPE EDGE



NOTE: STREET STRES TO BE ADDED TO REQUIRED LANDSCAPING SEE SHEET 8 OF 36.



SCHEDULE "D" STORMWATER MANAGEMENT AREA LANDSCAPING		
	SWM#1	SWM#2
Linear Feet of Perimeter	1720'	1010'
Number of Trees Required		
Shade Trees 150	35	21
Evergreen Trees 140	43	28
Credit for Existing Vegetation* (No, Yes, and %)	*Yes 100%	Yes 890' (120)
Credit for Other Landscaping (No, Yes and %)	--	--
Number of Trees Provided		
Shade Trees	0	3
Evergreen Trees	0	3
Other Trees (2:1 substitution)	0	0

\*The forest surrounding the pond consists of mature hardwoods and pines for exceeding the number required.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Richard M. Kowale* 5-1-01 DATE  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Hamilton* 5/16/01 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Mr. Dammann* 5/16/01 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

*Jose Escalante*  
JOSE H. ESCALANTE  
LICENSE NO. 13265  
EXPIRATION DATE: DEC. 26, 2012  
12-29-2010

I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of Howard County Code and the Landscape Manual. I further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

*Rob N. Thompson* 4/15/2011 DATE  
Owner/Developer Signature

**PLAN**  
SCALE: 1" = 100'



**NOTES**

(1). This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

(2). Financial Surety for the required Perimeter Landscaping will be posted as part of the DPW Developers Agreement for 67 shade trees and 56 pine trees in the amount of \$28,500.00.

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME: <b>PINDELL WOODS</b>		
TITLE: <b>LANDSCAPE PLAN</b>		
OWNERS: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759		
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL (410) 465-7903 FAX (410) 465-3845		
DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044		
DES.: JLD/DCW/AVG	JOB:	
DRW.: AVG/DTA/JNC	PROJ.:	SCALE: 1" = 100'
CHK.: D.C.W.	DATE: 03/04/01	SHEET 33 OF 37

H:\PindeLL\FINAL\LANDSCAPE.dwg Wed Apr 11 13:06:36 2001

LINE	LENGTH	BEARING
C1	62.65	225
L1	198.83	N 02°03'37" E
C2	23.18	25.00
C3	63.53	50.00
L2	64.23	N 72°18'03" E
L3	64.49	S 68°37'01" E
L4	54.29	S 68°37'01" E
L5	45.88	S 21°22'59" W
L6	200.00	S 68°37'01" E
L7	100.00	S 21°22'59" W
L8	200.00	S 68°37'01" E
L9	42.12	S 21°22'59" W
L10	48.84	N 68°37'01" W
L11	58.63	N 26°49'05" W
L12	35.64	N 72°18'03" E
L13	293.15	N 07°29'22" E
L14	139.04	N 07°29'22" E
L19	13.49	N 48°51'39" E
L20	17.38	S 58°45'02" E
L21	33.58	N 47°27'57" E
L22	219.26	S 55°32'33" E
L23	97.32	S 15°59'05" W
L24	216.15	S 27°59'05" E
L25	95.09	S 09°50'51" E
L26	117.65	S 17°11'57" E
L27	116.20	S 16°33'25" W
L28	18.19	S 21°31'16" W
L29	131.58	N 69°56'46" W
L30	116.63	S 53°21'27" W
L31	60.98	S 02°00'37" W
L32	502.85	N 87°59'23" W
TOTAL AREA = 5.447 Ac.		

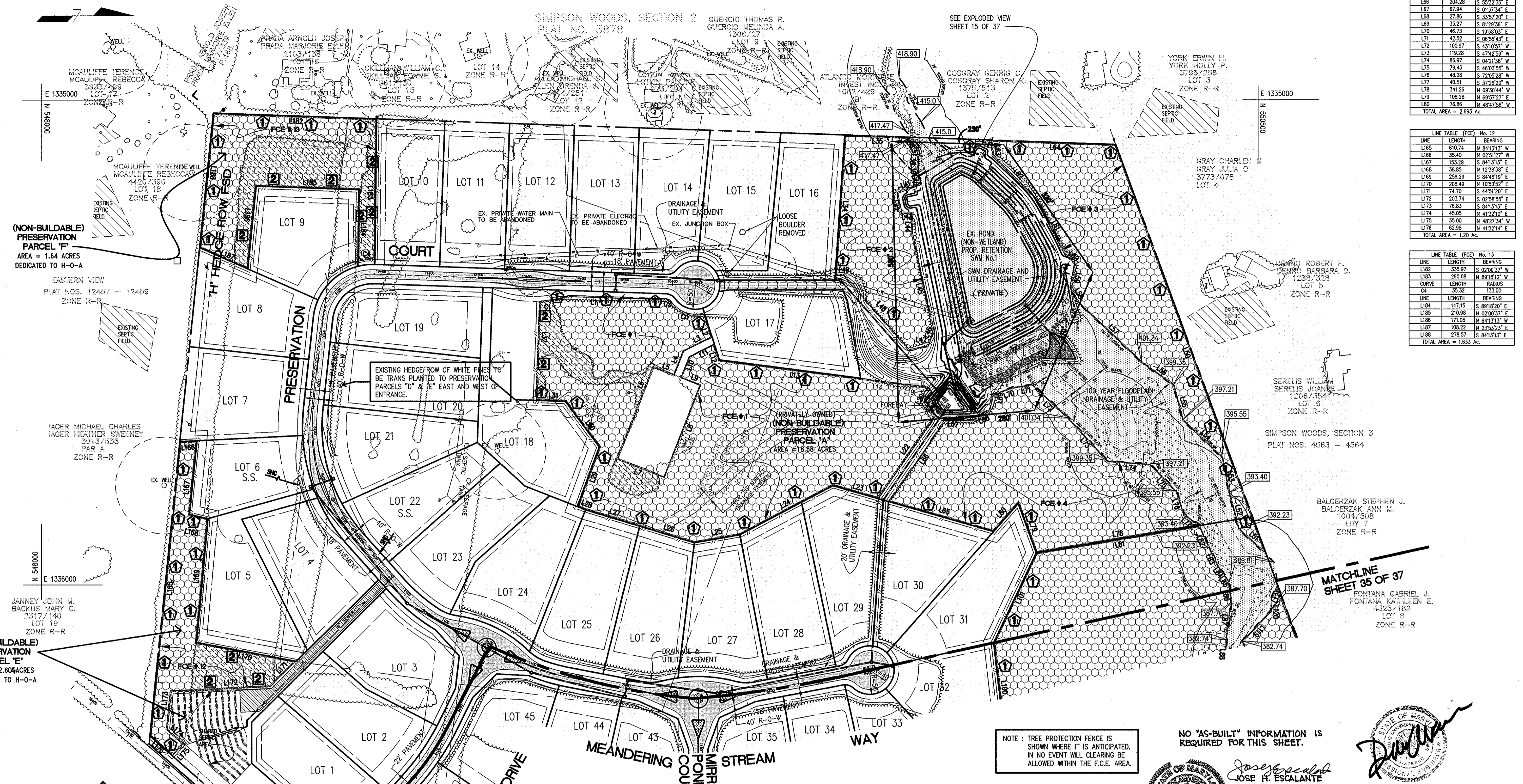
LINE	LENGTH	BEARING
L34	290.09	S 86°38'41" E
L35	136.87	S 02°00'33" W
L36	20.84	S 48°50'46" W
L37	15.77	S 74°48'56" W
L38	18.18	N 79°48'56" W
L39	24.59	S 80°00'09" W
L40	25.18	S 78°25'42" W
L41	50.52	N 20°21'49" W
L42	39.94	S 79°18'58" W
L43	23.54	S 01°20'08" E
L44	41.48	N 89°51'13" W
L45	210.09	S 77°36'57" W
L46	33.74	N 67°20'13" W
L47	40.08	N 12°27'48" W
L48	207.32	N 48°31'39" E
L49	15.42	N 00°00'00" W
TOTAL AREA = 1.360 Ac.		

LINE	LENGTH	BEARING
L50	903.27	S 69°53'47" W
L51	80.17	N 42°24'41" E
L52	78.04	N 75°23'28" E
L53	73.65	N 79°59'33" E
L54	111.77	N 43°33'38" E
L55	74.05	N 75°22'58" E
L56	78.62	N 35°35'00" E
L57	162.90	N 43°27'51" E
L58	33.31	N 61°53'54" E
L59	51.30	S 79°20'24" E
L60	27.66	N 44°28'53" E
L61	129.18	N 62°19'08" E
L62	124.98	N 49°31'15" E
L63	33.94	N 89°51'13" E
L64	256.45	S 02°00'05" W
TOTAL AREA = 2.458 Ac.		

LINE	LENGTH	BEARING
L65	225.09	N 15°59'05" E
L66	204.28	S 55°32'35" E
L67	67.94	S 01°37'34" E
L68	27.89	S 33°27'07" E
L69	35.27	S 81°29'36" E
L70	46.73	S 19°58'03" E
L71	42.52	S 06°55'43" E
L72	100.97	S 43°03'57" W
L73	119.28	S 47°42'56" W
L74	86.97	S 04°21'36" W
L75	79.43	S 48°03'56" W
L76	48.28	S 72°05'28" W
L77	40.51	S 37°26'20" W
L78	341.26	N 02°29'44" W
L79	108.28	N 69°57'27" E
L80	76.86	N 48°47'58" W
TOTAL AREA = 2.893 Ac.		

LINE	LENGTH	BEARING
L165	610.74	N 84°13'13" W
L166	35.40	N 02°51'27" W
L167	153.29	S 84°13'13" E
L168	38.85	N 12°38'38" E
L169	256.29	S 84°16'19" E
L170	208.49	N 10°59'52" E
L171	74.70	S 44°51'20" E
L172	203.74	S 02°58'55" E
L173	76.83	S 84°13'13" E
L174	45.05	N 41°32'10" E
L175	35.00	N 48°27'34" W
L176	62.98	N 41°32'14" E
TOTAL AREA = 1.20 Ac.		

LINE	LENGTH	BEARING
L182	335.97	S 02°00'37" W
L183	290.08	N 89°18'12" E
L184	147.15	S 89°18'20" E
L185	210.98	N 02°00'37" E
L186	171.05	N 84°13'13" W
L187	108.22	N 23°32'33" E
L188	278.57	S 84°13'13" E
TOTAL AREA = 1.633 Ac.		



(NON-BUILDABLE) PRESERVATION PARCEL 'F' AREA = 1.64 ACRES DEDICATED TO H-O-A

(NON-BUILDABLE) PRESERVATION PARCEL 'E' AREA = 2.604 ACRES DEDICATED TO H-O-A

NOTE TO CONTRACTOR: THIS PLAN IS FOR FOREST CONSERVATION ANALYSIS ONLY. TREE SAVE AREAS ARE ANTICIPATED BASED UPON FUTURE LOT GRADING. ALL GRADING, CLEARING, SEDIMENT CONTROL AND TREE PROTECTION IS SHOWN ON THE THE GRADING/SEDIMENT CONTROL SHEETS.

NOTE: TREE PROTECTION FENCE IS SHOWN WHERE IT IS ANTICIPATED. IN NO EVENT WILL CLEARING BE ALLOWED WITHIN THE F.C.E. AREA.

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

PLAN SCALE: 1" = 100'

Easement No.	Non-Wooded Floodplain/Wetlands	Wooded Retention Area	Reforestation Area	Total Easement Area
FC # 1	0 Ac.±	4.93 Ac.±	0.52 Ac.±	5.45 Ac.±
FC # 2	0 Ac.±	1.36 Ac.±	0 Ac.±	1.36 Ac.±
FC # 3	0 Ac.±	2.46 Ac.±	0 Ac.±	2.46 Ac.±
FC # 4	0 Ac.±	2.69 Ac.±	0 Ac.±	2.69 Ac.±
FC # 5	0 Ac.±	9.44 Ac.±	0 Ac.±	9.44 Ac.±
FC # 6	0 Ac.±	1.32 Ac.±	0 Ac.±	1.32 Ac.±
FC # 7	0 Ac.±	0.88 Ac.±	0 Ac.±	0.88 Ac.±
FC # 8	0 Ac.±	0.48 Ac.±	0 Ac.±	0.48 Ac.±
FC # 9	0 Ac.±	1.29 Ac.±	0 Ac.±	1.29 Ac.±
FC # 10	0 Ac.±	0.71 Ac.±	0 Ac.±	0.71 Ac.±
FC # 11	0 Ac.±	0.96 Ac.±	0.93 Ac.±	1.89 Ac.±
FC # 12	0 Ac.±	0.87 Ac.±	0.33 Ac.±	1.20 Ac.±
FC # 13	0 Ac.±	0.87 Ac.±	0.76 Ac.±	1.63 Ac.±
TOTAL		28.26 Ac.±	2.54 Ac.±	30.80 Ac.±

- LEGEND:
- REFORESTATION AREA
  - EXISTING GROUND
  - PROPOSED GRADE
  - CL EX. STREAM
  - 75' STREAM BUFFER
  - 25' WETLAND BUFFER
  - LIMIT OF WETLANDS
  - FLOODPLAIN LIMITS
  - PROPOSED LIGHT POLE SEE SHT. OF FOR LEGEND
  - EXISTING TREES
  - TREES TO REMAIN
  - ORANGE BLAZE TREE PROTECTION
  - FCE
  - FOREST RETENTION AREA SIGNAGE @ 100' SPACING
  - FOREST CONSERVATION AREA SIGNAGE



Jose H. Escalante  
 License No. 13265  
 EXPIRATION DATE: DEC. 26, 2012  
 12-24-2010



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Andrew M. S. Quake* 5-1-01 DATE  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Condy Hamstra* 5/16/01 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*Chris Williams* 5/16/01 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP #1, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE <b>FOREST CONSERVATION PLAN</b>		OWNERS: CLARENCE AND MARTHA CARVELL 7706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE SUITE 300 ROCKVILLE, MD. 20852
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL (410) 465-7808 FAX (410) 465-3845		DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES.: JLD/DCW/AVG	JOB:	SCALE: 1" = 100'
DRW.: AVG/DTA/JNC	PROJ.:	SHEET 34 OF 37
CHK.: D.C.W.	DATE: 03/04/01	

F-01-89

LINE TABLE (FCE) No. 5

LINE	LENGTH	BEARING
L81	341.26	S 08°32'44" E
L82	51.83	S 69°30'46" W
L83	40.14	S 64°46'07" W
L84	23.02	S 55°03'16" W
L85	15.06	S 33°02'16" W
L86	41.88	S 45°31'03" W
L87	80.45	N 82°34'53" W
L88	56.86	N 87°24'32" W
L89	93.25	S 53°30'40" W
L90	173.91	N 05°29'22" E
L91	783.81	N 02°24'41" W
L92	224.25	N 49°21'35" E
L93	132.30	N 43°41'25" W
L94	83.45	N 45°06'45" E
L95	162.04	N 45°06'45" E
L96	165.68	N 45°06'45" E
L97	64.29	N 77°37'04" E
L98	91.02	S 13°33'28" E
L99	248.19	S 45°34'22" E
L100	168.01	N 83°22'30" E
L101	295.27	S 84°44'10" E
TOTAL AREA	9.441	Ac.

LINE TABLE (FCE) No. 11

LINE	LENGTH	BEARING
L149	284.48	S 41°07'07" W
L150	151.06	S 40°55'29" E
L151	45.68	N 70°46'46" E
L152	128.48	S 39°39'53" E
L153	166.66	S 43°59'25" W
L154	227.25	S 45°31'03" W
L155	75.53	N 47°16'09" W
L156	326.36	N 39°27'36" E
L157	138.26	N 40°55'29" W
L158	78.30	S 82°27'51" W
L159	87.03	S 16°11'44" W
L160	85.00	N 41°08'36" W
L161	258.79	N 49°02'33" E
L162	167.12	N 81°19'26" E
L163	6.93	S 88°46'44" E
L164	53.13	S 48°52'53" E
TOTAL AREA	1.886	Ac.

LINE TABLE (FCE) No. 6

LINE	LENGTH	BEARING
L102	184.01	N 65°32'38" E
L103	101.88	N 88°18'38" E
L104	58.16	S 85°36'42" E
L105	60.46	N 82°46'58" E
L106	42.21	N 71°44'05" E
L107	292.20	S 89°24'07" W
L108	245.00	N 70°22'41" W
TOTAL AREA	1.320	Ac.

LINE TABLE (FCE) No. 7

LINE	LENGTH	BEARING
L109	300.00	S 70°29'59" W
L110	125.88	N 09°24'10" E
L111	98.34	N 38°25'45" E
L112	114.78	N 87°30'28" E
L113	96.24	S 87°06'28" E
L114	101.68	S 05°32'14" W
TOTAL AREA	0.884	Ac.

LINE TABLE (FCE) No. 8

LINE	LENGTH	BEARING
L115	101.68	N 05°32'14" E
L116	11.69	S 77°24'20" E
L117	74.22	N 83°02'43" E
L118	68.65	N 89°40'12" E
L119	85.36	S 46°52'27" E
L120	26.07	S 87°40'51" E
L121	31.80	S 65°02'41" E
L122	278.25	S 69°53'47" W
TOTAL AREA	0.476	Ac.

LINE TABLE (FCE) No. 9

LINE	LENGTH	BEARING
L123	83.45	N 45°06'45" E
L124	438.89	S 43°41'25" E
L125	43.78	S 14°51'11" W
L126	25.87	S 82°35'56" W
L127	33.20	N 88°09'11" W
L128	20.00	S 00°09'46" W
L129	75.85	S 81°48'37" W
L130	61.26	S 30°25'31" W
L131	38.38	S 04°41'05" E
L132	45.48	S 39°10'59" W
L133	33.29	S 85°25'37" W
L134	127.76	N 47°11'59" W
L135	166.32	N 87°04'11" E
L136	78.99	N 42°24'41" W
L137	352.37	N 44°02'11" W
L138	168.35	S 43°41'25" E
TOTAL AREA	1.289	Ac.

LINE TABLE (FCE) No. 10

LINE	LENGTH	BEARING
L139	298.79	S 49°04'31" W
L139	135.42	N 34°40'59" W
L140	35.00	N 58°17'34" E
L141	16.73	S 67°12'00" E
L142	43.44	S 80°44'58" E
L143	54.66	N 63°17'49" E
L144	60.68	N 31°02'25" E
L145	40.96	N 01°38'51" W
L146	52.11	N 21°08'35" W
L147	44.95	N 48°03'26" E
L148	168.35	S 43°41'25" E
TOTAL AREA	0.713	Ac.

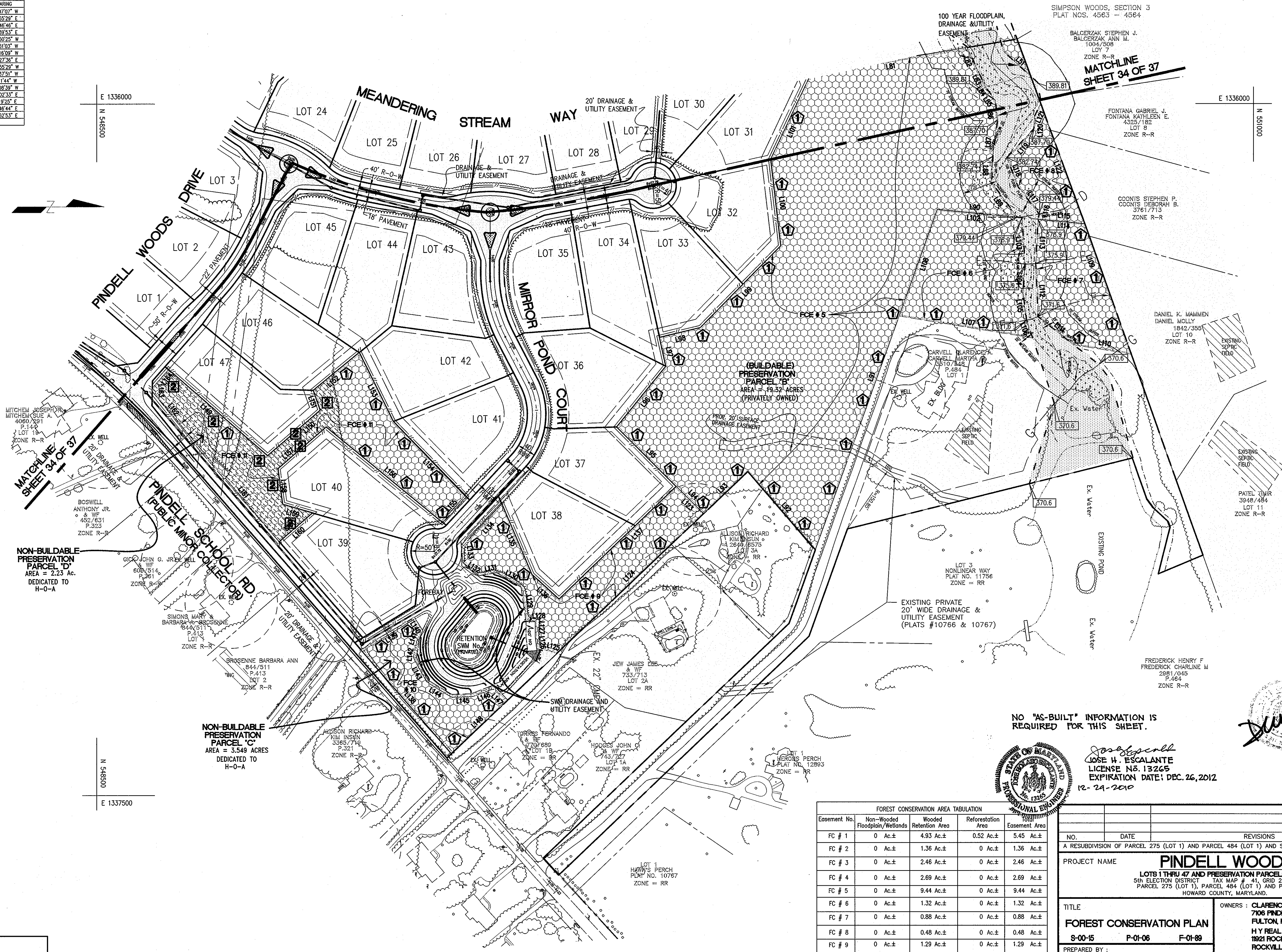
LEGEND:

- REFORESTATION AREA
- EXISTING GROUND
- PROPOSED GRADE
- CL. EX. STREAM
- 75' STREAM BUFFER
- 25' WETLAND BUFFER
- LIMIT OF WETLANDS
- FLOODPLAIN LIMITS
- PROPOSED LIGHT POLE SEE SH. OF FOR LEGEND
- EXISTING TREES
- TREES TO REMAIN
- ORANGE BLAZE TREE PROTECTION
- FCE
- FOREST RETENTION AREA SIGNAGE @ 100' SPACING
- FOREST CONSERVATION AREA SIGNAGE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Charles M. Spivey* 5-01-01  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Wanda Brantner* 5/16/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Wanda Brantner* 5/16/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



E 1336000  
 N 546500

N 005995  
 E 1337500

SIMPSON WOODS, SECTION 3  
 PLAT NOS. 4563 - 4564

BALCERZAK STEPHEN J.  
 BALCERZAK ANN M.  
 1004/508  
 LOT 7  
 ZONE R-R

FONTANA GABRIEL J.  
 FONTANA KATHLEEN E.  
 432/182  
 LOT 8  
 ZONE R-R

COONIS STEPHEN P.  
 COONIS DEBORAH B.  
 3761/715  
 LOT 8  
 ZONE R-R

DANIEL K. MAMMEN  
 DANIEL MOLLY  
 1842/358  
 LOT 10  
 ZONE R-R

PATEL JIMR  
 3948/484  
 LOT 11  
 ZONE R-R

FREDERICK HENRY F  
 FREDERICK CHARLINE M.  
 2881/046  
 P.464  
 ZONE R-R



JOSE H. ESCALANTE  
 LICENSE NO. 13265  
 EXPIRATION DATE: DEC. 26, 2012  
 12-24-2010

NO "AS-BUILT" INFORMATION IS  
 REQUIRED FOR THIS SHEET.

FOREST CONSERVATION AREA TABULATION

Easement No.	Non-Wooded Floodplain/Wetlands	Wooded Retention Area	Reforestation Area	Easement Area
FC # 1	0 Ac.±	4.93 Ac.±	0.52 Ac.±	5.45 Ac.±
FC # 2	0 Ac.±	1.36 Ac.±	0 Ac.±	1.36 Ac.±
FC # 3	0 Ac.±	2.46 Ac.±	0 Ac.±	2.46 Ac.±
FC # 4	0 Ac.±	2.69 Ac.±	0 Ac.±	2.69 Ac.±
FC # 5	0 Ac.±	9.44 Ac.±	0 Ac.±	9.44 Ac.±
FC # 6	0 Ac.±	1.32 Ac.±	0 Ac.±	1.32 Ac.±
FC # 7	0 Ac.±	0.88 Ac.±	0 Ac.±	0.88 Ac.±
FC # 8	0 Ac.±	0.48 Ac.±	0 Ac.±	0.48 Ac.±
FC # 9	0 Ac.±	1.29 Ac.±	0 Ac.±	1.29 Ac.±
FC # 10	0 Ac.±	0.71 Ac.±	0 Ac.±	0.71 Ac.±
FC # 11	0 Ac.±	0.96 Ac.±	0.93 Ac.±	1.89 Ac.±
FC # 12	0 Ac.±	0.87 Ac.±	0.33 Ac.±	1.20 Ac.±
FC # 13	0 Ac.±	0.87 Ac.±	0.76 Ac.±	1.63 Ac.±
TOTAL		28.26 Ac.±	2.54 Ac.±	30.80 Ac.±

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>PINDELL WOODS</b>		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT, TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE	OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759	
<b>FOREST CONSERVATION PLAN</b>	H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PKE, SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY:	MARSHALL P. TULIN 1821 ROCKVILLE PKE, SUITE 300 ROCKVILLE, MD. 20852	
DEVELOPER:	MOUNT VIEW, LLC 6258 CARDINAL LA. COLUMBIA, MD. 21044	
DES.: JL/DW/AVG	JOB:	SCALE: 1" = 100'
DRW.: AVG/DTA/JNC	PROJ.:	SHEET 35 OF 37
CHK.: D.C.W.	DATE: 03/04/01	

PLAN  
 SCALE: 1" = 100'

F-01-89

H:\pindel1\FINALPLAN\Frsb102.dwg Mod Apr 11 08:47:20 2001

APPENDIX E FOREST CONSERVATION WORKSHEET	
Acre (1/100)	
<b>I. BASIC SITE DATA</b>	
GROSS SITE AREA	97.8
AREA WITHIN 100 YEAR FLOODPLAIN	5.9
AREA WITHIN PRESERVATION PARCEL (IF APPLICABLE)	0.0
NET TRACT AREA	92.0
LAND USE CATEGORY (R-R1D, R-RMD, R-S, C/O, I)	R-RMD
<b>II. INFORMATION FOR CALCULATIONS</b>	
A. NET TRACT AREA	92.0
B. REFORESTATION THRESHOLD (25% x A)	23.0
C. AFFORESTATION MINIMUM (20% x A)	18.4
D. EXISTING FOREST ON NET TRACT AREA	59.5
E. FOREST AREAS TO BE CLEARED	31.2
F. FOREST AREAS TO BE RETAINED	28.3
<b>III. DETERMINING REQUIREMENTS: AFFORESTATION OR REFORESTATION</b>	
<b>I. REFORESTATION</b>	
If existing forest areas equal or exceed the afforestation minimum (if D equals or is more than C), and clearing of forest areas is proposed, reforestation requirements may apply.	
GO TO SECTION IV	
If existing forest areas exceed the afforestation minimum (if D equals or is more than C) with no clearing of existing forest resources is proposed, no reforestation is required. (New future calculations are needed).	
<b>2. AFFORESTATION</b>	
If existing forest areas are less than the afforestation minimum (if D is less than C), afforestation requirements apply.	
GO TO SECTION V	
<b>IV. REFORESTATION CALCULATIONS</b>	
A. Net Tract Area	92.0
B. Reforestation Threshold (25% x A)	23.0
C. Existing Forest on Net Tract Area	59.5
D. Forest Areas to be Cleared	31.2
E. Forest Areas to be Retained	28.3
F. Forest Areas Cleared Above Reforestation Threshold (C - E, if E is equal to or greater than B, Alternate 1)	31.2
G. Forest Areas Cleared Below Reforestation Threshold (C - E, if E is less than B, Alternate 2)	0.0
H. Forest Areas Retained Above Reforestation Threshold (D - F, if applicable)	5.3
I. Forest Areas Retained Below Reforestation Threshold (E - B, Retention Credit, if applicable)	
<b>SELECT THE ALTERNATIVE THAT APPLIES:</b>	
<b>1. CLEARING ABOVE THE THRESHOLD ONLY</b>	
If forest areas to be retained equal or are greater than the reforestation threshold (if F equals or is greater than B), the following calculations apply:	
Reforestation for clearing above threshold	7.8
F x 1/4	5.3
Credit for forest areas retained above threshold	
H = Retention Credit	2.5
Total Reforestation required	
(F x 1/4) - H	N/A
<b>2. CLEARING BELOW THE THRESHOLD</b>	
If forest areas to be retained are less than the reforestation threshold (if F is less than B), the following calculations apply:	
Reforestation for clearing above threshold	F x 1/4
Reforestation for clearing below threshold	G + 2
Total Reforestation required	(F x 1/4) + (G + 2)
Since clearing occurs below the threshold, no forest retention credit is possible.	
<b>V. AFFORESTATION CALCULATIONS</b>	
N/A	
TOTAL EASEMENT AREA = 28.3 AC. (REFORESTATION) = 30.80 AC. (REQUIRED) 30.80 AC. (PROVIDED)	

The area of stream buffer/forestation planting shall be protected during construction per the following:

**FOREST PROTECTION PROCEDURES - Pre-Construction Phase**

Stress Reduction and Protection of Specimen Trees Isolated from Forest Retention Areas (As They May Apply)

1) The edge of the woods to be protected will be marked (staked or flagged) on the field per the limits of disturbance shown in the approved final construction plan prior to the start of construction activity. All areas within protective fences are to be considered "off limits" to any construction activities. The protective fencing shall be installed at the outside edge of forested areas and specimen trees to be retained and should not be combined with sediment control devices when possible. The limit of the critical root zone and therefore the location of the protective devices is to be determined as follows:

Isolated Specimen Trees - 1.5 feet of protective radius per inch of DBH

Edge of Forested Area - 1 foot of protective radius/foot of DBH or an eight foot protective radius, whichever is greater.

2) Construction activities expressly prohibited within the preservation areas are:

Placing or stockpiling backfill on top soil in protected areas  
Filling trees into protected areas  
Driving construction equipment into or through protected areas  
Burning in or in close proximity to protected areas  
Stockpiling or storing application of any kind  
Concrete wash-off areas  
Conducting trenching operations  
Grading beyond the limits of disturbance  
Parking vehicles or construction equipment  
Removal of root mat or topsoil  
Siting and construction of utility lines

Access roads  
Impervious surfaces  
Storm water management devices  
Siting Areas

3) Protective fencing (see Figure "Protective Fencing") shall be the responsibility of the general contractor. The general contractor shall affix signs to the fencing at 20' minimum intervals indicating that these areas are "Forest Retention Area" or "Specimen Tree" (see Figure "Signage"). The general contractor shall take great care to assure the retention areas are not violated and that root systems are protected from smothering, flooding, excessive wetting from de-watering operations, off-site run-off, spillage and drainage or solutions containing materials hazardous to tree roots.

4) The general contractor shall be responsible for any tree damaged or destroyed within the preservation areas whether caused by the contractor, his agents, employees, sub-contractors, or licensees.

5) Foot traffic shall be kept to a minimum in the protective areas.

6) All trees which are not to be preserved within fifty feet of any tree preservation area are to be removed in a manner that will not damage those trees that are designated for preservation. It is highly recommended that tree stumps within this fifty foot area be ground out with a stump grinding machine to minimize damage.

7) The general contractor shall designate a "wash out" area for concrete trucks which will not drain toward a protected area.

8) A pre-construction meeting shall be held with local authorities before any disturbance has taken place on site.

**PLANTING PLAN**

The tree species selected are consistent with the mixed upland oak association native to the soils. The County Manual recommends a planting density of 100 stems per acre if 1' stock is planted, and the schedule below meets that recommendation. Species will be randomly mixed and planted approximately 20' apart from other plantings. Straight rows should be avoided to simulate a more natural arrangement. The total number of plants will be 508 trees based up 2.54 Ac. at 200 trees/Acre.

(PIONEER)		(CLIMAX)	
TULIP POPLAR DOM.	BLACK OAK DOM.	BLACK OAK DOM.	BLACK OAK DOM.
BLACK CHERRY (UNDERSTORY)	N. RED OAK DOM.	BLACK GUM (UNDERSTORY)	BLACK GUM (UNDERSTORY)
FLOWERING DOGWOOD (UNDERSTORY)	RED MAPLE (UNDERSTORY)	WHITE OAK DOM.	

2" CALIPERS TREES @ 100/ACRE QTY.

WHITE OAK	QUERCUS ALBA	15
BLACK OAK	QUERCUS VELUTINA	15
N. RED OAK	QUERCUS RUBRA	15
TULIP POPLAR	LIRIODENDRON TULIPIFERA	15
BLACK CHERRY	PRUNUS SEROTINA	10
RED MAPLE	ACER RUBRUM	10
BLACK GUM	NYSSA SYLVATICA	10
FLOWERING DOGWOOD	CORNUS FLORIDA	10

**OTHER PLANTING INSTRUCTIONS**

Plant material should be obtained from a reputable nursery and ordered 3 to 6 months before desired delivery. Delivery should be arranged to occur as close to planting time as possible, and stock should be protected from direct sun and drying until planting. Planting dates are October through May, with spring months preferred. (Suggested supplier: Silva Native Nursery & Seed Co., New Freedom, PA, (717) 227-0486)

Stock should be inspected before planting for signs of damage, disease, or insect infestation, vigor, and size. Damaged or inferior plants should be replaced.

Upon planting container grown stock, plants should be removed from the container and the soil gently loosened from the roots. If roots encircle the root ball, or are J-shaped or linked, consider replacement. Do not trim roots on-site.

The planting field should be dug and backfilled with the native soil. Rake the surface and cover the disturbed area with approximately 4 inches of mulch, but avoid burying the base of the stem to prevent fungal rot. Water immediately to settle the soil around the roots.

**MAINTENANCE AND PROTECTION OF PLANTED AREA**

Soils should be tested to determine the need for fertilizer. If fertilizer is needed, it should be applied at the testing lab's recommended rates after the first growing season (late fall or early spring). Organic or slow-release fertilizers are preferred.

Watering should be planned to compensate for deficient rainfall. New plantings need water once a week for the first growing season. The second year, watering may only be necessary in July and August, and in subsequent years only water during drought periods. Watering should be done slowly enough to permit deep soaking of the root zone.

Monitor the young trees for several years for health, insect damage, and invasive vines. Replace dead and dying trees. The survival rate shall be a minimum of 90% of the plantings after the first growing season, and 75% after the second season. Do not spray insecticides unless it has been determined that an infestation with the potential to threaten the survival of the trees is present. Control invasive vines manually, or by careful and selective use of appropriate herbicide.

Post protective signage that states that this area is a Forest Conservation Area and trees have been planted for reforestation. An effort should be made to inform and gain the cooperation of the adjacent residents to monitor and protect the plantings.

**FOREST PROTECTION PLAN**

The forest conservation and reforestation areas will need to be protected from injury during the land clearing and construction process, and from any future land use changes. Long-term protection will require placing the forest in a permanent, recorded, non-developable open space or conservation easement. The legal document establishing this protection will be required for final FCP approval.

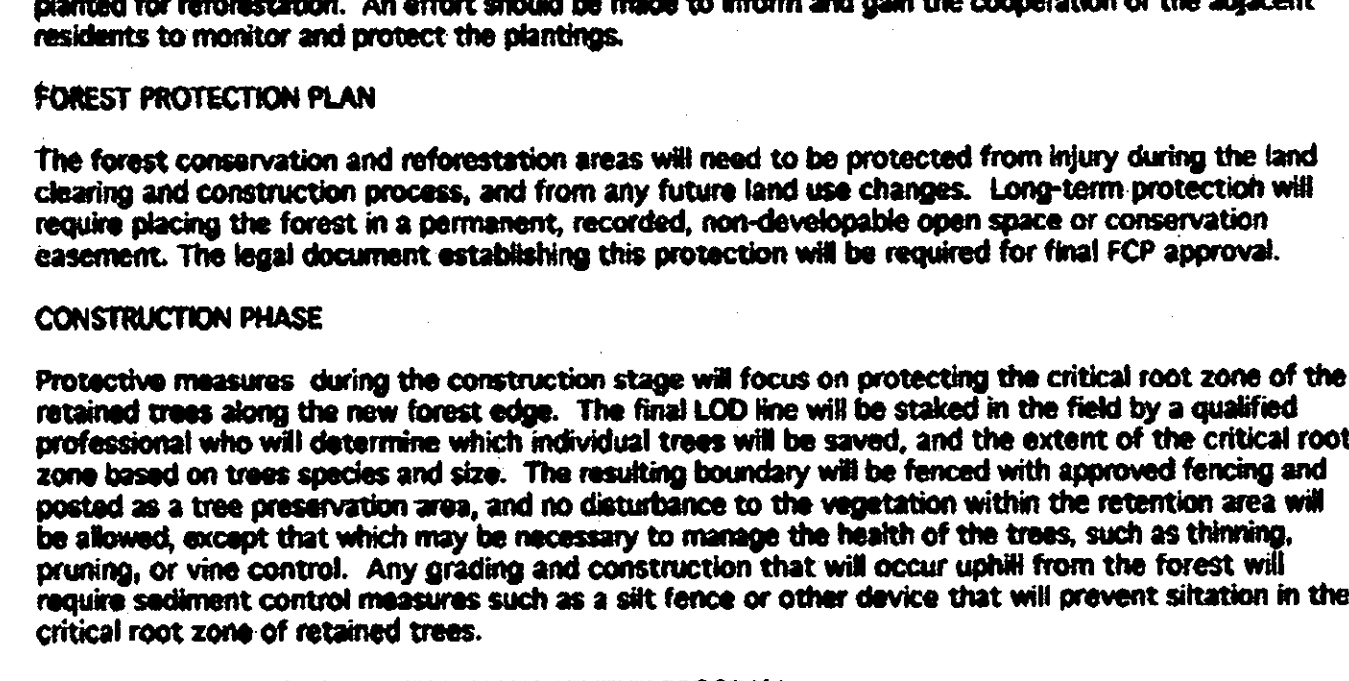
**CONSTRUCTION PHASE**

Protective measures during the construction stage will focus on protecting the critical root zone of the retained trees along the new forest edge. The final LOD line will be staked in the field by a qualified professional who will determine which individual trees will be saved, and the extent of the critical root zone based on trees species and size. The resulting boundary will be fenced with approved fencing and posted as a tree preservation area, and no disturbance to the vegetation within the retention area will be allowed, except that which may be necessary to manage the health of the trees, such as thinning, pruning, or vine control. Any grading and construction that will occur uphill from the forest will require sediment control measures such as a silt fence or other device that will prevent siltation in the critical root zone of retained trees.

**TWO-YEAR POST-CONSTRUCTION MANAGEMENT PROGRAM**

Howard County requires the developer to commit to a minimum of two years of responsibility for the management of the Forest Conservation Area. The program must be supervised by a qualified professional. The obligations include: periodic (beginning and end of growing season) inspection of the condition of the forest; necessary management such as maintenance of fencing and signage, treatment or removal of damaged or dying trees, or invasive plant control; education of new land owners or occupants about allowable activities and future responsibilities for the forest; and a final inspection and certification that the forest is intact and the conditions of the FCP have been met submitted to the County. Upon review of the final certification, the County will notify the developer of release from all future obligations, and their transfer to the owner.

Prepared by: **William Bridgeland**  
MD DPR Qualified Professional



**NOTE TO CONTRACTOR:**

- FOR DEAD OR DISEASED TREES, THE CONTRACTOR MAY REMOVE THE SAME.
- TREES ARE TO BE PLACED IN A RANDOM PATTERN TO CREATE A NATURAL EFFECT. THEY ARE TO BE MIXED IN THE RATIOS DESCRIBED ABOVE AND THEY ARE TO BE SPACED APPROXIMATELY 20 FEET APART.

**FOREST CONSERVATION EASEMENT STANDARD NOTES:**

The Forest Conservation Easement has been established to fulfill the requirements of Section 16.1200 of the Howard County Code, Forest Conservation Act. No Clearing, grading or construction is permitted within the Forest Conservation Easement; however forest management practices as defined in the Deed of Forest Conservation Easement are allowed.

**MARYLAND DEPARTMENT OF THE ENVIRONMENT**  
2500 Broening Highway • Baltimore, Maryland 21224  
(410) 631-3000 • 1-800-633-6101 • http://www.mde.state.md.us

Paul Reville  
Mount View, LLC  
6258 Cardinal Lane  
Columbia, Maryland 21044

Application Tracking Number 00-NT-0452/200160102  
Project: MOUNT VIEW LLC/POND VIEW EST/SWM POND - Howard County  
Contact Person/Telephone/Fax: David Boelner/(410)631-4179/(410)631-8047

Dear Mr. Reville:

The Nontidal Wetlands and Waterways Division of the Water Management Administration (WMA) has received sufficient information to make a final decision on the joint Federal/State application for the project listed above. A favorable decision has been made to issue a Nontidal Wetlands and Waterways Letter of Authorization (LOA) and Water Quality Certification (WQC) for the proposed activity. Prior to issuance of the LOA and WQC this office will need the following item addressed:

- Submit two copies of the final construction plans for the project. The plans must include the limits of any nontidal wetlands, nontidal wetland buffers, and waters of the State (including the 100-year floodplain), limits of disturbance, "Best Management Practices for Working in Nontidal Wetlands" (attached), a sequence of construction, and approved erosion and sediment control plans. The copies of the plans will be reviewed and, once approved, distributed to the Compliance Program of the WMA and to the applicant as an attachment to the LOA and WQC.

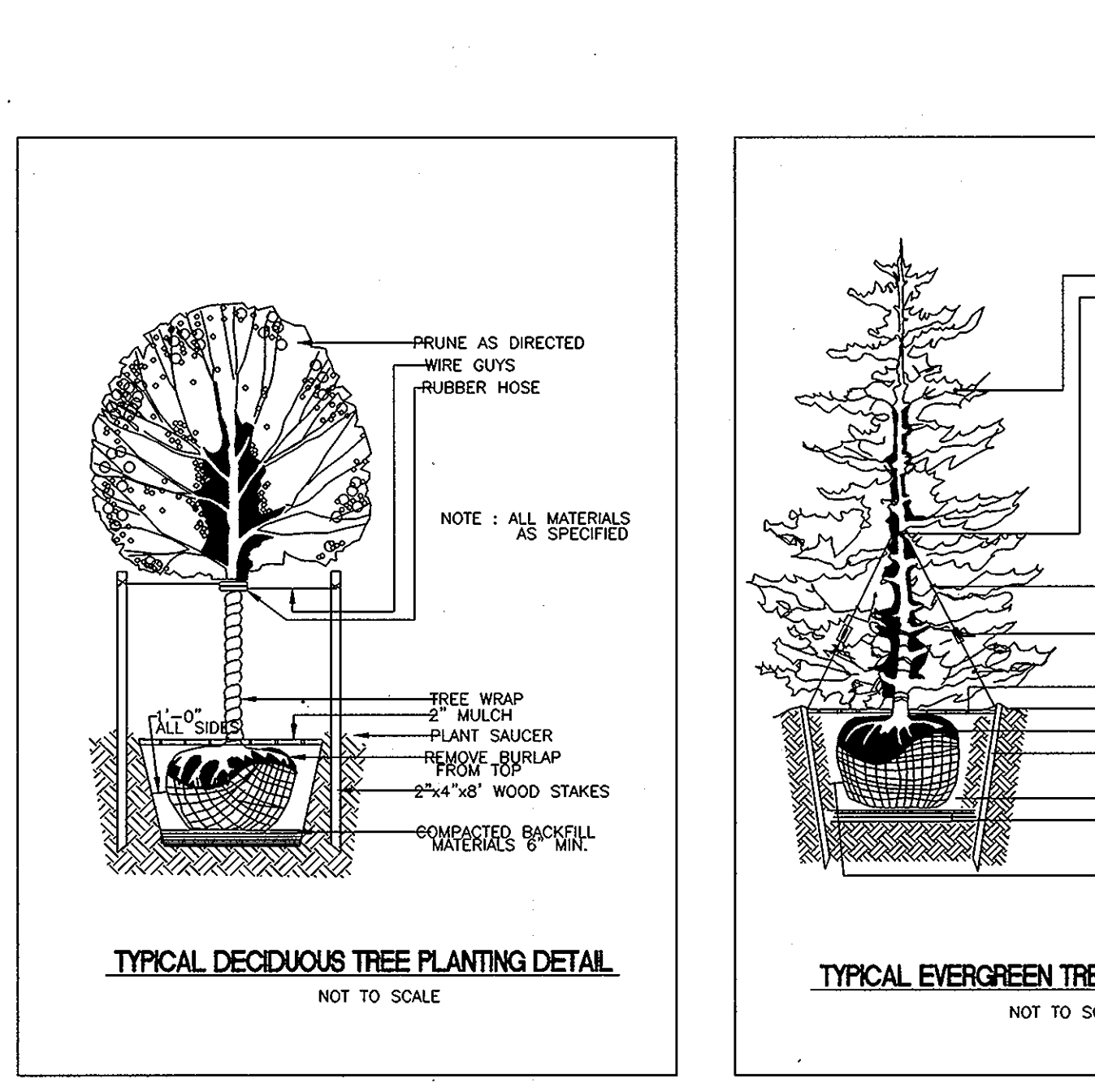
Once the information is received and determined sufficient, the LOA and WQC will be issued. The LOA and WQC will authorize the applicant to conduct the activity specified if the conditions of the authorization and certification and the attached best management practices are met.

If you have any questions, I may be reached at (410)631-4179.

Sincerely,  
*David H. Boelner*  
David H. Boelner, Project Manager  
WMA, Nontidal Wetlands and Waterways Division

Attachment  
C: Jack Dinne - U.S. Army Corps of Engineers

"Together We Can Clean Up"



**FCOE NOTES**

- ANY FOREST CONSERVATION EASEMENT (FCOE) AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
- FORESTED AREAS OCCURRING OUTSIDE OF THE FCOE SHALL NOT BE CONSIDERED PART OF THE FCOE AND SHALL NOT BE SUBJECT TO PROTECTIVE LAND COVENANTS.
- LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO AREAS OUTSIDE THE LIMIT OF TEMPORARY FENCING OR THE FCOE BOUNDARY, WHICHEVER IS GREATER.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT, EXCEPT AS PERMITTED BY HOWARD COUNTY DPZ.
- NO STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED AS FOREST CONSERVATION EASEMENTS.
- TEMPORARY FENCING SHALL BE USED TO PROTECT FOREST RESOURCES DURING CONSTRUCTION. THE FENCING SHALL BE PLACED ALONG ALL FCOE BOUNDARIES WHICH OCCUR WITHIN 15 FEET OF THE PROPOSED LIMITS OF DISTURBANCE.
- PERMANENT SIGNAGE SHALL BE PLACED 50-100' APART ALONG THE BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.

**BLAZE ORANGE PLASTIC MESH TREE PROTECTION DEVICE**

NOT TO SCALE

THE TREE PROTECTION FENCING SHOWN ON THIS PLAN IS TEMPORARY AND SHALL REMAIN IN PLACE DURING CONSTRUCTION ACTIVITY, BUT THE FOREST CONSERVATION SIGNAGE IS PERMANENT AND SHALL REMAIN IN PLACE AROUND THE FCOE AFTER THE REMOVAL OF THE TREE PROTECTION FENCING.

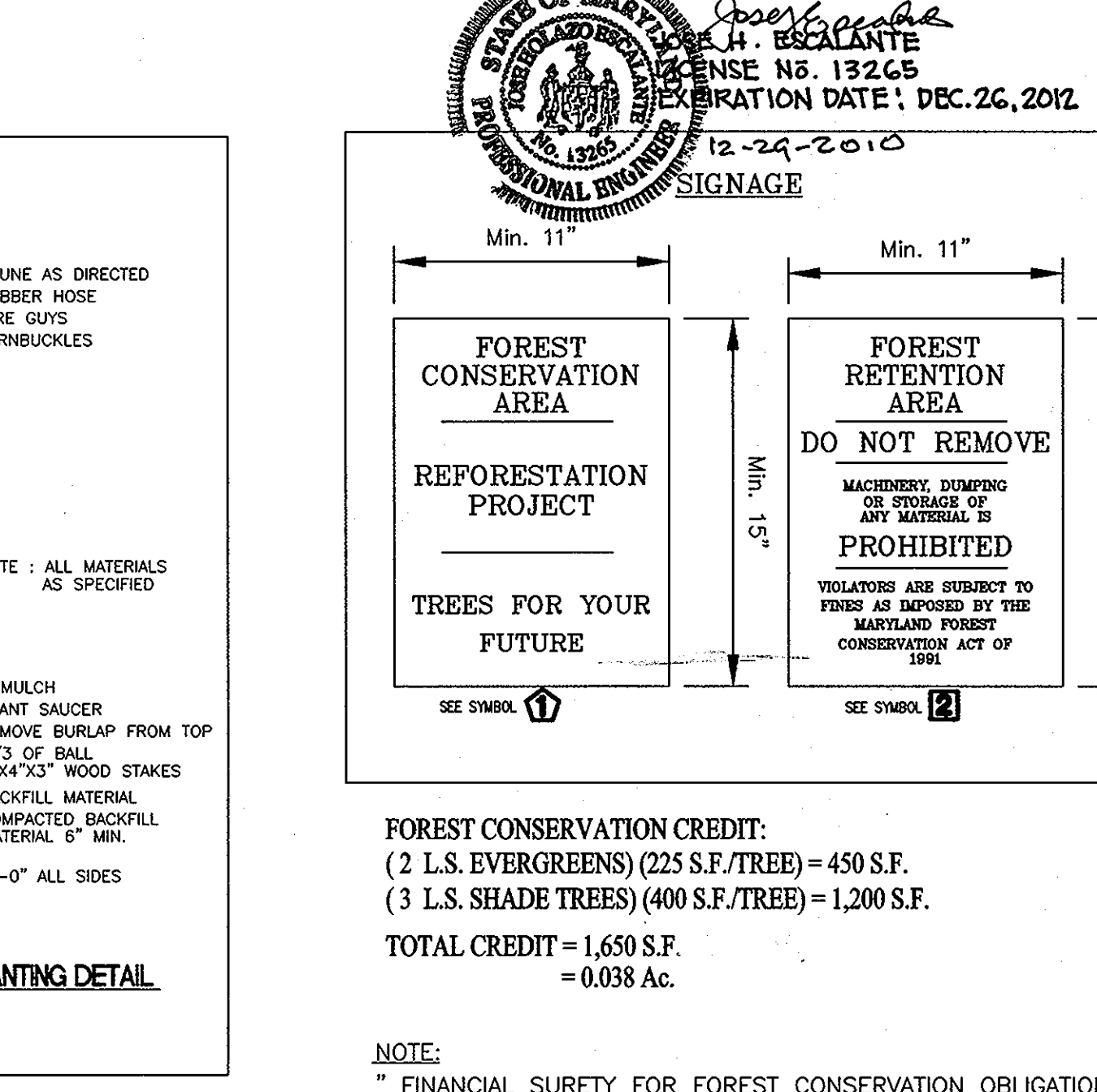
**BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS**

- No excess fill, construction material, or debris shall be stockpiled or stored in nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain.
- Place materials in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain.
- Do not use the excavated material as backfill if it contains waste metal products, unsightly debris, toxic material, or any other deleterious substance. If additional backfill is required, use clean material free of waste metal products, unsightly debris, toxic material, or any other deleterious substance.
- Place heavy equipment on mats or skidways to prevent damage to nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain.
- Repair and maintain any serviceable structure or fill so there is no permanent loss of nontidal wetlands, nontidal wetland buffers, or waterways, or permanent modification of the 100-year floodplain in excess of that lost under the originally authorized structure or fill.
- Rectify any nontidal wetlands, wetland buffers, waterways, or 100-year floodplain temporarily impacted by any construction.
- All stabilization in the nontidal wetland and nontidal wetland buffer shall consist of the following species: Annual Ryegrass (*Lolium multiflorum*), Millet (*Setaria italica*), Barley (*Hordeum sp.*), Oats (*Avena sp.*), and/or Rye (*Secale cereale*). These species will allow for the stabilization of the site while also allowing for the voluntary revegetation of natural wetland species. Other non-permanent vegetation may be acceptable, but must be approved by the Nontidal Wetlands and Waterways Division Kentucky 31 fence shall not be utilized in wetland or buffer areas. The area should be seeded and mulched to reduce erosion after construction activities have been completed.
- After installation has been completed, make post-construction grades and elevations the same as the original grades and elevations in temporarily impacted areas.
- To protect aquatic species, in-stream work is prohibited as determined by the classification of the stream:

Use 1 water: In-stream work shall not be conducted during the period March 1 through June 15, inclusive, during any year.

- Stormwater runoff from impervious surfaces shall be controlled to prevent the washing of debris into the waterway.
- Culverts shall be constructed and any riprap placed so as not to obstruct the movement of aquatic species, unless the purpose of the activity is to impound water.

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



**DUE TO THE ADDITION OF SHEET 37A THE PLAN SET CONTAINS 37 SHEETS.**

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME <b>Pinell Woods</b>		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE <b>FINAL LANDSCAPE TABULATION AND DETAILS</b>	OWNERS: <b>CLARENCE AND MARTHA CARVELL</b>	706 PINDELL SCHOOL ROAD FULTON, MD. 20759
PREPARED BY: <b>AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.</b>	10749 BIRMINGHAM WAY WOODSTOCK, MD 21183 TEL: (410) 485-7903 FAX: (410) 485-3845	
DES.: <b>JL/DCW/AVG</b>	JOB:	SCALE: AS SHOWN
DRW.: <b>AVG/DTA/JNC</b>	PROJ.:	SHEET 36 OF 37
CHK.: <b>D.C.W.</b>	DATE: 03/04/01	

**F-01-89**