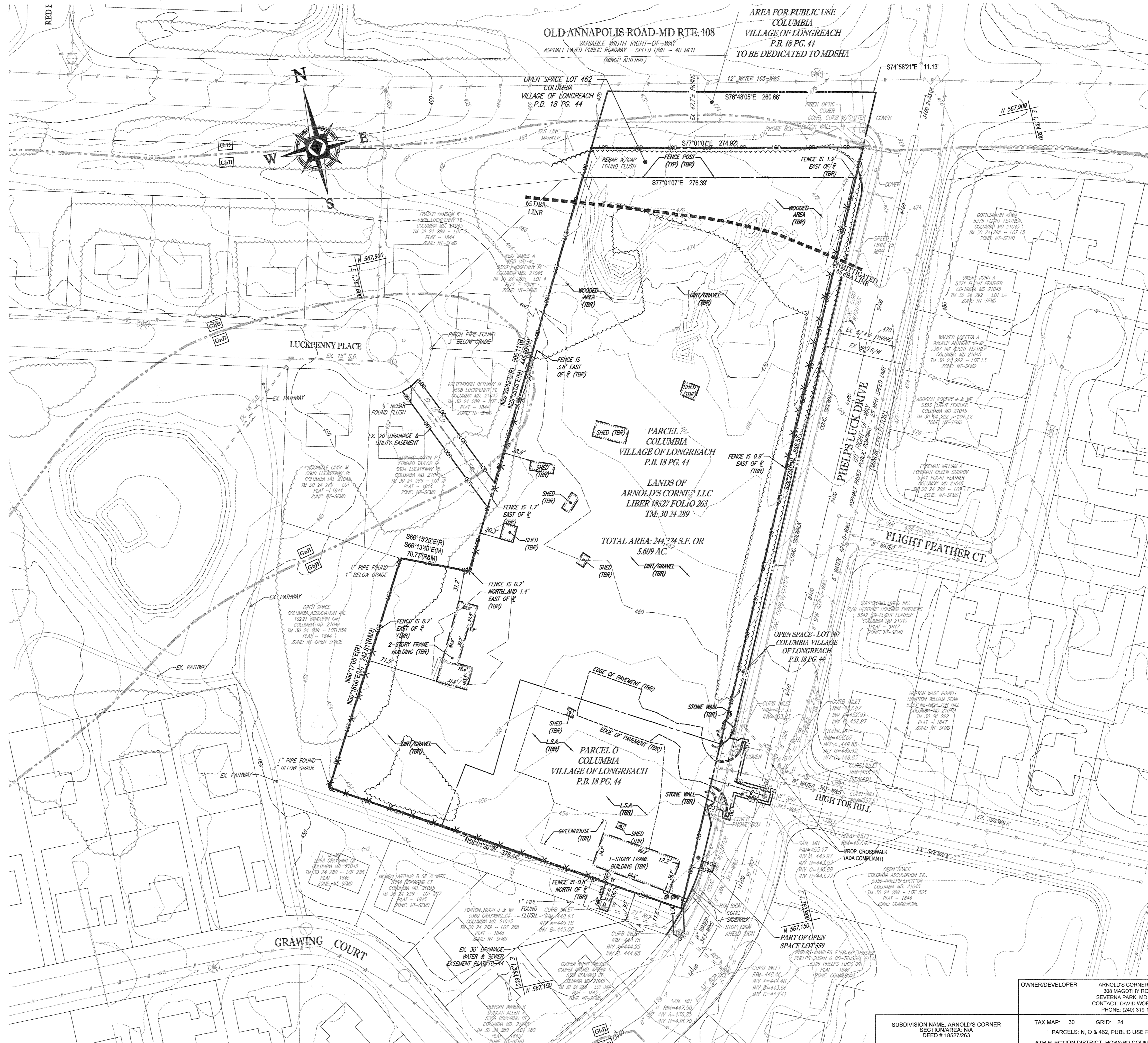


SOILS TABLE				
SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL	K FACTOR
GHB	GLENELG-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO	0.28
GHB	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	C	YES	0.43
UD	URBAN LAND UDRORTMENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D	NO	0.24



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 LAND MANAGEMENT
 LANDSCAPE ARCHITECTURE
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REVISIONS			
REV	DATE	COMMENT	BY

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PROJECT No: MD12208
 DRAWN BY: BRR
 DATE: 06/21/19
 SCALE: 1" = 50'
 CAD I.D.: SSO

PRELIMINARY PLAN FOR ARNOLD'S CORNER
 LOTS 1-18 & OPEN SPACE LOTS 19-23
 A RESUBDIVISION OF PARCELS N & O OF THE VILLAGE OF LONG REACH, SECTION 1, AREA 1
 LOCATION OF SITE
 5320 PHELPS LUCK DRIVE
 COLUMBIA, MD
 6TH ELECTION DISTRICT
 TAX MAP 30, GRID 24, PARCELS N, O, & OPEN SPACE 482
 VILLAGE OF LONG REACH, SECTION 1, AREA 1
 HOWARD COUNTY

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

B.R. ROWE
 PROFESSIONAL ENGINEER
 No. 14519

SHEET TITLE:
SOILS MAP, EXISTING & DEMO PLAN
 SHEET NUMBER:
2
 P-19-001

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY
 7-16-19
 DATE

OWNER/DEVELOPER: ARNOLD'S CORNER, LLC
 308 MAGOTHY ROAD
 SEVERNA PARK, MD 21148
 CONTACT: DAVID WOESSNER
 PHONE: (410) 318-1235

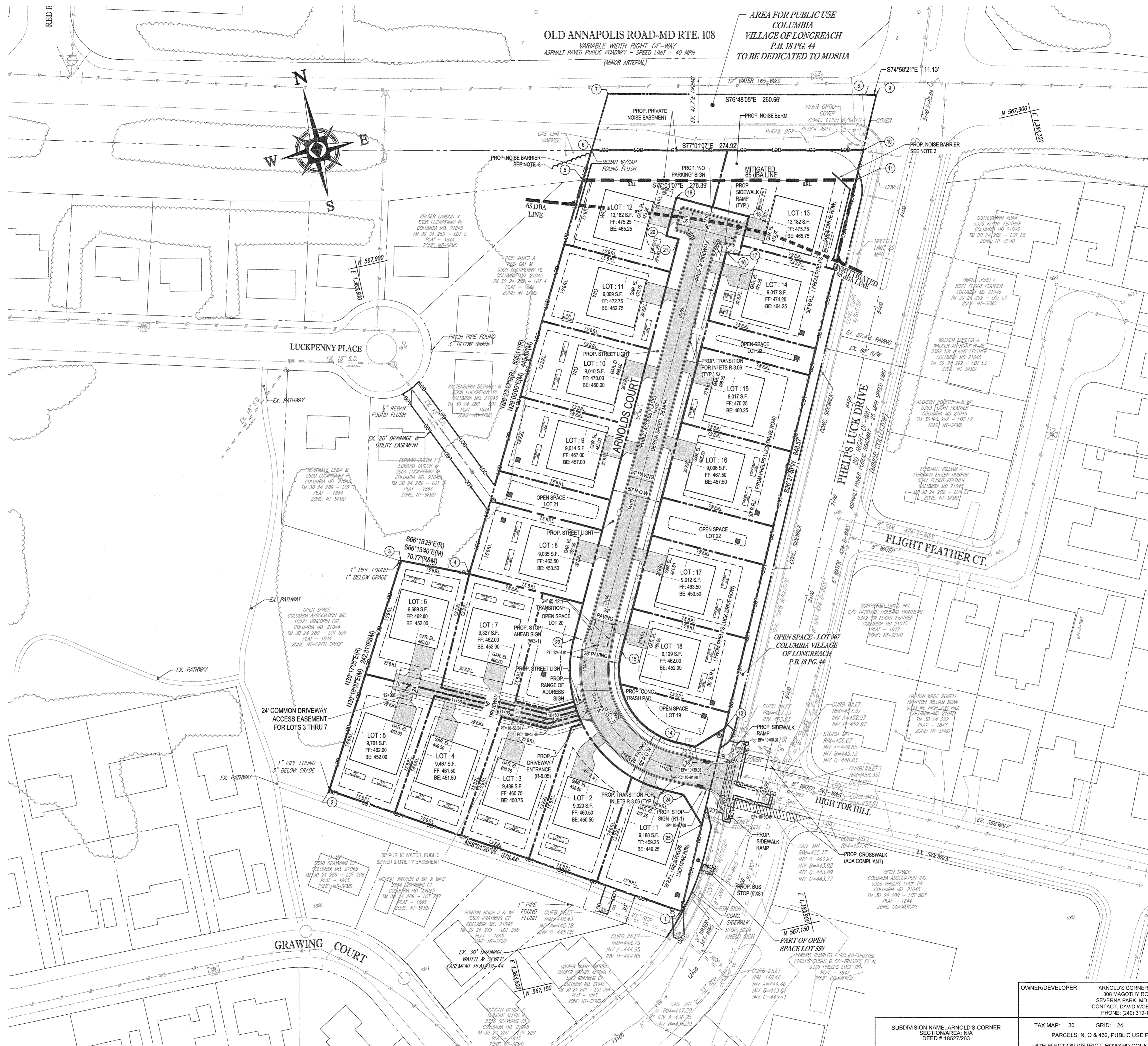
TAX MAP: 30 GRID: 24 ZONED: NT
 PARCELS: N, O & 462, PUBLIC USE PARCELS
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

PREVIOUS FILE No.:
 S-18-006, WP-19-068
 ECP-18-052, FDP-17-A-V,
 ZB1112, PB 18-F 44 (P-70-058c)

PROFESSIONAL CERTIFICATION
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2019

\\101010208DRG\DRG\PLAN SET\PRELIMINARY PLAN\MD12208-SSP-2.DWG PRINTED BY: AGAMBOLA, 6/21/19 10:13 AM LAST SAVED BY: AGAMBOLA

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C-1	100.00'	159.21'	S17°55'44"E	142.92'	091°13'13"	102.15'



AREA FOR PUBLIC USE
COLUMBIA VILLAGE OF LONG REACH
 P.B. 18 PG. 44
 TO BE DEDICATED TO MDSA

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 LAND SURVEYING
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 LAND ACQUISITION
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES
 FROM CONCEPT THROUGH TO PROJECT COMPLETION

REVISIONS			
REV	DATE	COMMENT	BY

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PROJECT No: MD182026
 DRAWN BY: BRR
 DATE: 06/21/19
 SCALE: 1" = 50'
 CAD ID: SSO

PRELIMINARY PLAN FOR ARNOLD'S CORNER
 LOTS 1-18 & OPEN SPACE LOTS 19-23
 A RESUBDIVISION OF PARCELS N & O OF THE VILLAGE OF LONG REACH, SECTION 1, AREA 1
 LOCATION OF SITE
 5320 PHELPS LUCK DRIVE
 COLUMBIA, MD 21045
 6TH ELECTION DISTRICT
 TAX MAP 30, GRID 24, PARCELS N, O, & OPEN SPACE 462
 VILLAGE OF LONG REACH, SECTION 1, AREA 1
 HOWARD COUNTY

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

B.R. ROWE
 PROFESSIONAL ENGINEER
 MARYLAND LICENSE NO. 40808

SHEET TITLE:
PRELIMINARY PLAN
 SHEET NUMBER:
3
 P-19-001

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY
 7-16-19
 DATE

OWNER/DEVELOPER: ARNOLD'S CORNER, LLC
 508 MAGDOHY ROAD
 SEVERNA PARK, MD 21146
 CONTACT: DAVID WOEHSNER
 PHONE: (301) 316-1735

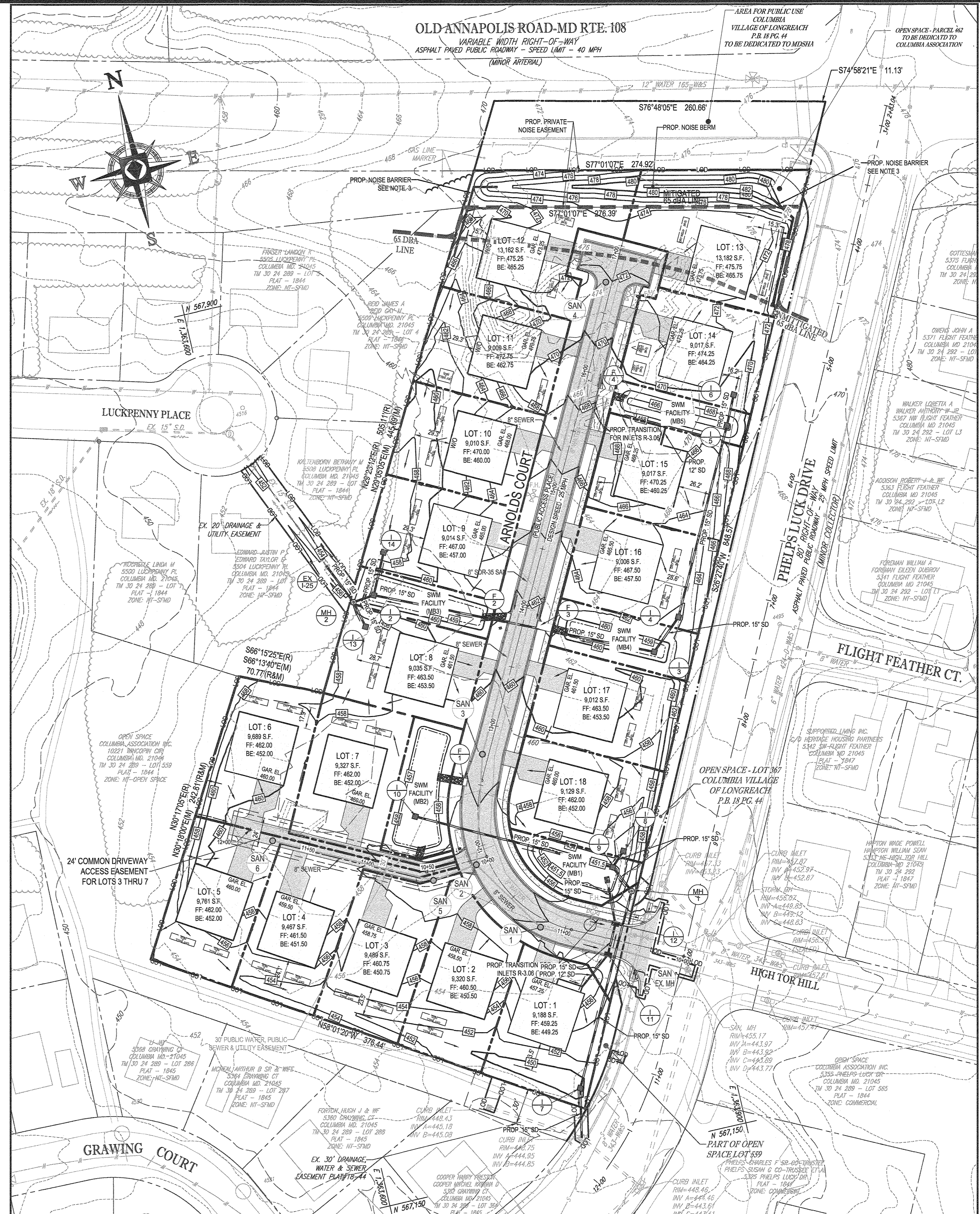
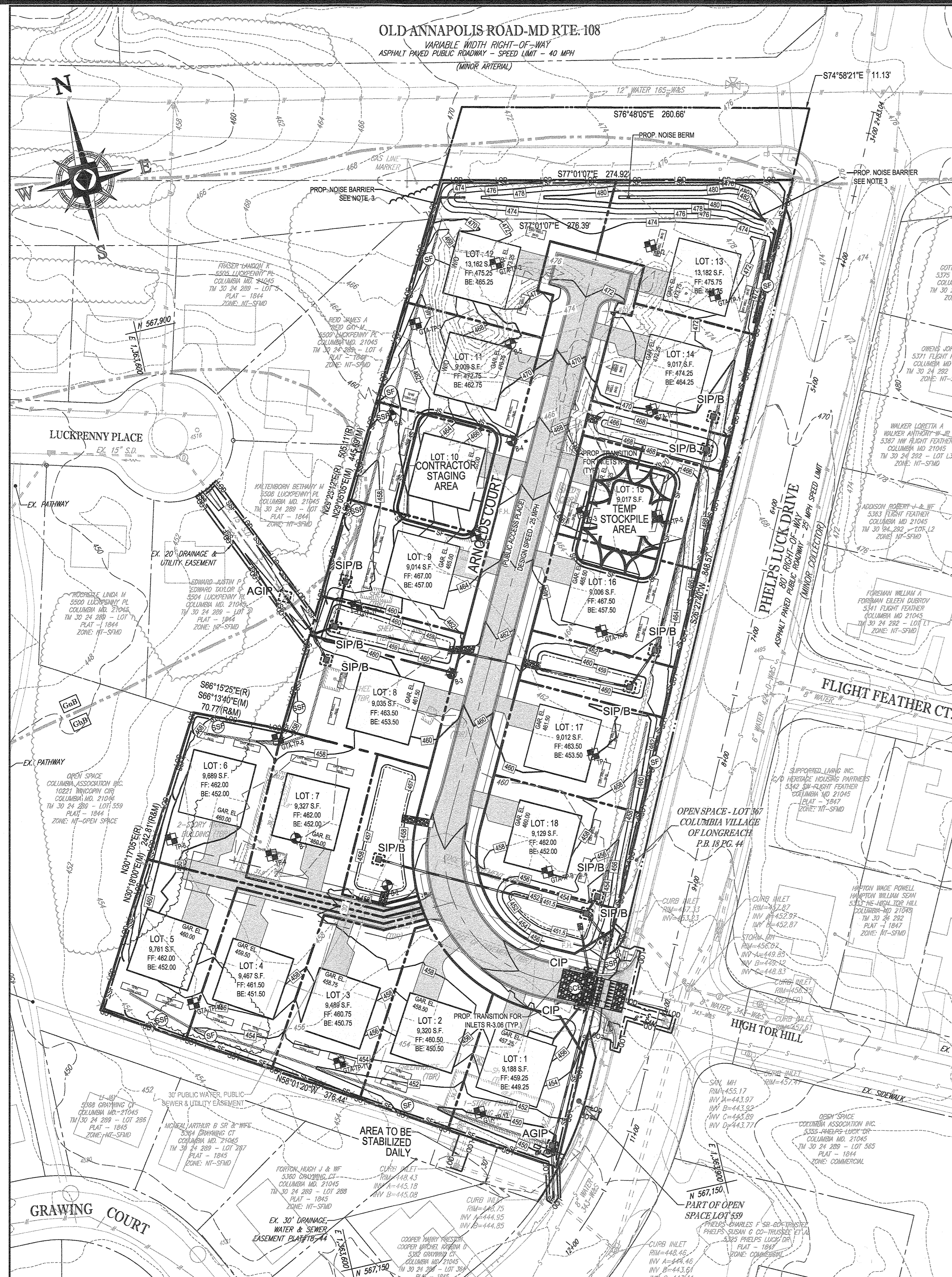
TAX MAP: 30 GRID: 24 ZONED: NT
 PARCELS: N, O & 462, PUBLIC USE PARCELS
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: ARNOLD'S CORNER
 SECTION/AREA: N/A
 DEED # 18527/263

PREVIOUS FILE No.:
 S-18-006, WP-19-068
 ECP-18-052, FDP-17-A-V,
 ZB1112, PB 18 F-44 (F-70-068c)

PROFESSIONAL CERTIFICATION
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/30/2019

11/15/2018 08:00 AM PLAN SET PRELIMINARY PLAN 01/18/2019 08:00 AM PRINTED BY: AGAMBOLA 6:25:19 @ 1:30 PM LAST SAVED BY: AGAMBOLA



NOTES

- ALL 2:1 SLOPES WITHIN THE PROJECT LIMIT OF DISTURBANCE WILL RECEIVE SOIL STABILIZATION MATTINGS AS SOON AS GRADE IS ESTABLISHED.
- ONCE GRADES HAVE BEEN ESTABLISHED, THE CONTRACTOR SHALL PROVIDE TEMPORARY / PERMANENT STABILIZATION FOR SLOPES 15% OR GREATER.
- NOISE BARRIER COMPOSED OF PROPOSED EARTH BERM AND STANDING STRUCTURE (APPROX. HEIGHT: 6') PER REQUIREMENTS OF NOISE STUDY PREPARED BY WILSON T. BALDARD COMPANY REFERENCED ON SHEET 1.

EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 50'

EROSION AND SEDIMENT CONTROL LEGEND

	SOIL BORING PERFORMED IN OCTOBER 2012		STABILIZED CONSTRUCTION ENTRANCE
	LIMIT OF DISTURBANCE		SOIL DIVIDE
	SILT FENCE		SOIL LABEL
	SUPER SILT FENCE		RIPRAP STABILIZATION
	AGIP		PROPOSED STORM DRAIN
	SIPA or B		PERMANENT SOIL STABILIZATION MATTING
	CIP		
	CURB INLET PROTECTION		

BORING AND TEST PIT LEGEND

	SOIL BORING PERFORMED IN OCTOBER 2012
	TEST PIT PERFORMED IN OCTOBER 2012
	TEST PIT PERFORMED IN MAY 2019

GRADING PLAN
SCALE: 1" = 50'

OWNER/DEVELOPER: ARNOLD'S CORNER, LLC
308 MAGDOY ROAD
SEVERNA PARK, MD 21146
CONTACT: DAVID WOEISSNER
PHONE: (410) 319-1928

TAX MAP: 30 GRID: 24 ZONED: NT
PARCELS: N O & 462, PUBLIC USE PARCELS
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: ARNOLD'S CORNER
SECTION: AWARENA, N/A
DEED # 18827263

PREVIOUS FILE NO.:
S-18-006, WP-19-068
ECP-18-052, FDP-77-A/V
ZB1112, PB 18 F 44 (F-70-056c)

PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2019

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
PLANNING DIRECTOR: *Walter Ellis* DATE: 7/16/19

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REVISIONS

REV	DATE	COMMENT	BY

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PROJECT NO: MD182088
DRAWN BY: BRR
CHECKED BY: BRR
DATE: 06/21/19
SCALE: 1" = 50'
CAD: L.D.

PRELIMINARY PLAN FOR ARNOLD'S CORNER
LOTS 1-18 & OPEN SPACE LOTS 19-23
A RESUBDIVISION OF PARCELS N O & 462 OF THE VILLAGE OF LONG REACH, SECTION 1, AREA 1
LOCATION OF SITE
5320 PHELPS LUCK DRIVE
COLUMBIA, MD
6TH ELECTION DISTRICT
TAX MAP 30, GRID 24, PARCELS N O & 462, PUBLIC USE PARCELS
VILLAGE OF LONG REACH, SECTION 1, AREA 1
HOWARD COUNTY

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE
PROFESSIONAL ENGINEER
4/15/19

SHEET TITLE: GRADING, STORMWATER MANAGEMENT, & EROSION & SEDIMENT CONTROL PLAN
SHEET NUMBER: 4
P-19-001

SCHEDULE 'A' - PERIMETER LANDSCAPE EDGE

PERIMETER	CATEGORY (P = PROPERTIES; R = ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	CREDIT FOR EX. VEGETATION (YES/NO; LF) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR FENCE/WALL/BERM (YES/NO; LF) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED		NUMBER OF PLANTS PROVIDED			
						EVERGREEN TREES	SHADE TREES	ORNAMENTAL TREES	EVERGREEN TREES	SHADE TREES	SHRUBS
#1	P	C	517 LF	NO	NO (0)	26	13	9	17	13	0
#2	P	C	243 LF	NO	NO (0)	13	6	0	6	6	70
#3	P	C	377 LF	NO	NO (0)	19	10	0	19	10	0
#4	R (SIDE/REAR TO ROAD)	B	791 LF - 24 LF (ENTRANCES) = 767 LF	NO	NO (0)	20	16	11	41	0	0
#5	R (SIDE TO ROAD)	B	277 LF	NO	NO (0)	7	6	13	10	0	63
TOTAL						85	51	33	93	29	133

THE SYMBOL "®" REPRESENTS PLANT MATERIAL TO MEET PERIMETER REQUIREMENT.

*ENHANCED LANDSCAPE BUFFER PER SEC. 16.127(C)(1)(II)

HOWARD COUNTY COMPLIANCE CHART

PERIMETER LANDSCAPE TYPES - BASED ON ADJACENT LAND USE

LANDSCAPE EDGE TYPE	LANDSCAPE CHARACTER	SHADE TREE(S) PER LINEAR FEET	EVERGREEN TREE(S) PER LINEAR FEET	SHRUB(S) PER LINEAR FEET
A	LIGHT BUFFER	1.50	0	0
B	MODERATE BUFFER	1.50	1.40	0
C	HEAVY BUFFER	1.40	1.20	0
D	SCREEN	1.60	1.10	0
E	BUFFER - PARKING ADJ. TO ROADWAY	1.40	0	1.4

STREET TREE CHART

STREET NAME	REQUIRED	PROVIDED
OLD ANNAPOLIS ROAD - MD RTE. 108 (277 LF / 40)	7 TREES	9 TREES
PROP. ROAD "A" (654 X 2 = 1308 LF / 40)	33 TREES	33 TREES
TOTAL TREES	40 TREES	42 SHADE TREES

THE SYMBOL "®" REPRESENTS PLANT MATERIAL TO MEET THIS REQUIREMENT.

STREET TREE NOTES

- FINANCIAL SURETY FOR THE REQUIRED 40 STREET TREES WILL BE POSTED WITH THE DEVELOPMENT ENGINEERING DIVISION (DED) COST ESTIMATE UNDER THE FINAL PLAN SUBMISSION.
- SHADE TREES MUST BE PLANTED A MINIMUM OF 40 FEET AND ORNAMENTAL TREES MUST BE PLANTED A MINIMUM OF 25 FEET FROM POWER LINES PER B.G.E. PLANTING GUIDE.
- FINAL PLACEMENT OF STREET TREES WILL OCCUR IN THE FIELD AND BE PLACED A MINIMUM OF 30 FEET FROM ALL SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN SIDEWALK AND CURB. BE LOCATED WITH CONSIDERATION OF UNDERGROUND UTILITIES AND STRUCTURES AND MAINTAIN A MINIMUM OF 5 FEET DISTANCE ON CENTER FROM A DRAIN INLET STRUCTURE, 5 FEET FROM AN OPEN ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.
- THE HEALTH DEPARTMENT MAY REQUIRE DISTURBANCE TO THE TREES WITHIN THE VICINITY OF THE SRA. IF DAMAGE OCCURS, THE TREES MUST BE REPLACED IN KIND.
- A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY STREET TREE.
- ON THE APPROACH SIDE OF A STOP SIGN, NO STREET TREE CAN BE PLANTED WITHIN 30' OF THE STOP SIGN.

HOWARD COUNTY LANDSCAPE NOTES

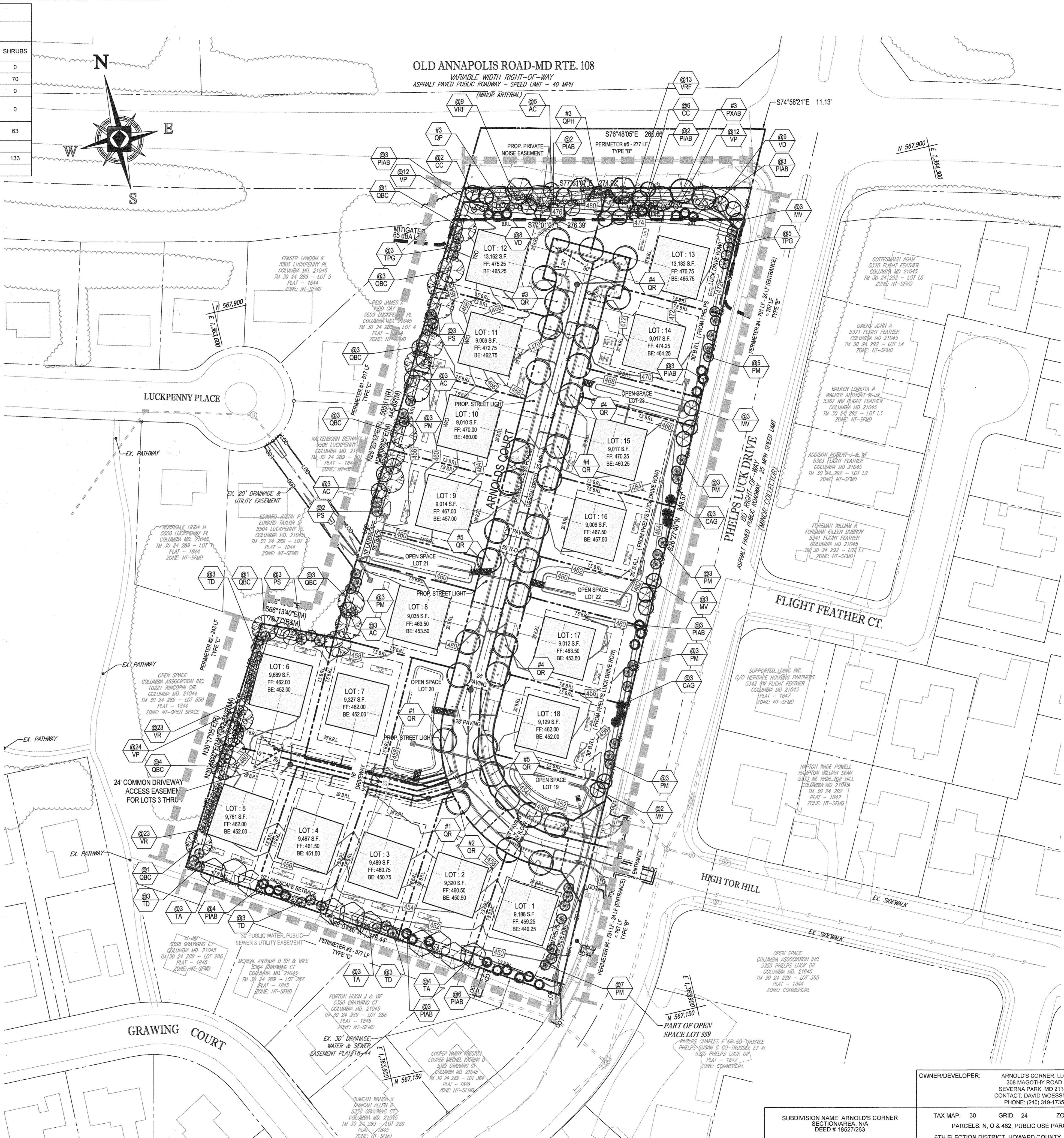
- LANDSCAPING FOR THIS SUBDIVISION WILL BE PROVIDED IN ACCORDANCE WITH THIS CERTIFIED LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. PERIMETER LANDSCAPE SURETY IN THE AMOUNT OF \$28,050.00 FOR THE INSTALLATION OF 51 SHADE TREES (\$300.00 EACH) AND 85 EVERGREEN TREES (\$150.00 EACH) SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT, AS PART OF THE FINAL PLAN.
- NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN A LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN. HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THE SITE SHALL BE OF PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATIONS.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SCHEDULE

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL	CONT.
SHADE TREES						
⊗	PXAB	3	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2 1/2-3' CAL / 12-14'	B+B
⊗	QBC	19	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3' CAL / 12-14'	B+B
⊗	QP	3	QUERCUS PALUSTRIS	PIN OAK	2 1/2-3' CAL / 12-14'	B+B
⊗	QPH	3	QUERCUS PHellos	WILLOW OAK	2 1/2-3' CAL / 12-14'	B+B
⊗	QR	33	QUERCUS RUBRA	RED OAK	2 1/2-3' CAL / 12-14'	B+B
⊗	TA	10	TILIA AMERICANA	BASSWOOD	2 1/2-3' CAL / 12-14'	B+B
SUBTOTAL: 71						
ORNAMENTAL TREES						
⊗	AC	9	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10' HT.	B+B
⊗	CC	16	CERCIS CANADENSIS	EASTERN REDBUD	8-10' HT.	B+B
⊗	MV	11	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1-1 1/2' CAL / 8-10'	B+B
SUBTOTAL: 33						
EVERGREEN TREES						
⊗	CAG	6	CEDRUS ATLANTICA 'GLAUKA'	BLUE ATLAS CEDAR	7-8' HT.	B+B
⊗	PIAB	29	PICEA ABIES	NORWAY SPRUCE	6-7' HT.	B+B
⊗	PM	30	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-7' HT.	B+B
⊗	PS	8	PINUS STROBUS	EASTERN WHITE PINE	6-7' HT.	B+B
⊗	TD	12	TAXODIUM DISTICHUM	BALD CYPRESS	2 1/2-3' CAL / 8-10'	B+B
⊗	TPG	8	THUJA PLICATA 'GREEN GIANT'	'GREEN GIANT' ARBORVITAE	7-8' HT.	B+B
SUBTOTAL: 93						
DECIDUOUS SHRUBS						
⊗	VD	17	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3-4'	B+B
⊗	VP	48	VIBURNUM PRUNIFOLIUM	BLACKHAW	3-4'	B+B
⊗	VRF	22	VIBURNUM RUFIDULUM	RUSTY BLACKHAW VIBURNUM	5'	B+B
SUBTOTAL: 87						
EVERGREEN SHRUBS						
⊗	VR	46	VIBURNUM X RHYTHIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4'	B+B
SUBTOTAL: 46						

LEGEND

	TREE PROTECTION
	STEEP SLOPES (15%-25%)
	STEEP SLOPES (>25%)
	SOIL DIVIDE
	SOIL LABEL
	RIPRAP STABILIZATION
	LIMIT OF DISTURBANCE
	ROOT PRUNING
	SPECIMEN TREE (TO BE REMOVED)
	SPECIMEN TREE (TO BE REMOVED) CRITICAL ROOT ZONE (CRZ)
	FOREST CONSERVATION EASEMENT



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

David Woessner 7-16-19
PLANNING DIRECTOR DATE

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
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SUSTAINABLE DESIGN
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REVISIONS

REV.	DATE	COMMENT	BY

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PROJECT No: MD182386
DRAWN BY: AVG
CHECKED BY: BRR
DATE: 06/21/19
SCALE: 1" = 50'
CAD I.D.: LSP-1

PRELIMINARY PLAN FOR ARNOLD'S CORNER

LOTS 1-18 & OPEN SPACE LOTS 19-23
A RESUBDIVISION OF PARCELS N & O OF THE VILLAGE OF LONG REACH, SECTION 1, AREA 1
LOCATION OF SITE
5320 PHELPS LUCK DRIVE
COLUMBIA, MD
6TH ELECTION DISTRICT
TAX MAP 30, GRID 24, PARCELS N, O, & OPEN SPACE 462
VILLAGE OF LONG REACH, SECTION 1, AREA 1
HOWARD COUNTY

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

E.R. McWILLIAMS

REGISTERED PROFESSIONAL ARCHITECT
LANDSCAPE ARCHITECT

LANDSCAPE PLAN

SHEET NUMBER:
5
P-19-001

SUBDIVISION NAME: ARNOLD'S CORNER SECTION/AREA: N/A DEED # 18827/263

OWNER/DEVELOPER: ARNOLD'S CORNER, LLC 308 MAGOTHY ROAD SEVERNA PARK, MD 21146 CONTACT: DAVID WOESSNER PHONE: (240) 316-1735

TAX MAP: 30 GRID: 24 ZONED: NT PARCELS: N, O & 462, PUBLIC USE PARCELS 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

PREVIOUS FILE NO.: S-18-006, ECP-18-052, 21112. WP-19-068, FDP-77-A-V, PB 18 F 44 (F-70-068c)

PROFESSIONAL CERTIFICATION
ERIC R. McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3697 EXPIRATION DATE: 9/20/2020

H:\1801\0806\0806\PLAN\SET\PRELIM PLAN\1806-LSP-2.DWG PRINTED BY: AGAMBA, 8:25:18 @ 2/14/19. LAST SAVED BY: AGAMBA.

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

- A. GENERAL - ALL HARDSCAPE CONTRACTS SHALL MEET OR EXCEED SPECIFICATIONS AS OBTAINED FROM THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 6%, A PH RANGE BETWEEN 4.5-7.0 IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROCKS, VEGETABLE MATTER AND CLAY CLOS.

3. GENERAL WORK PROCEDURES

- A. CONTRACTOR TO UTILIZE WORKMANKIE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS.

5. TREE PROTECTION

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE TRUNK LINE OR 18 FEET FROM THE TRUNK OR AT THE POINT OF DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY YIELD-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS

- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY BE REQUIRED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDENT ON SITE CONDITIONS.

7. FINISHED GRADING

- A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").

8. TOPSOILING

- A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

9. PLANTING

- A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE.

- F. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
1 PART PEAT MOSS
1 PART COMPOSTED COW MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 4 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) 1 LARGER TABLET: 3 TABLETS PER 1/2" CALIPER OF TRUNK

- F. ILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

- L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RANDED INTO THE TOP 1' OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

- P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
Q. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

- R. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
S. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

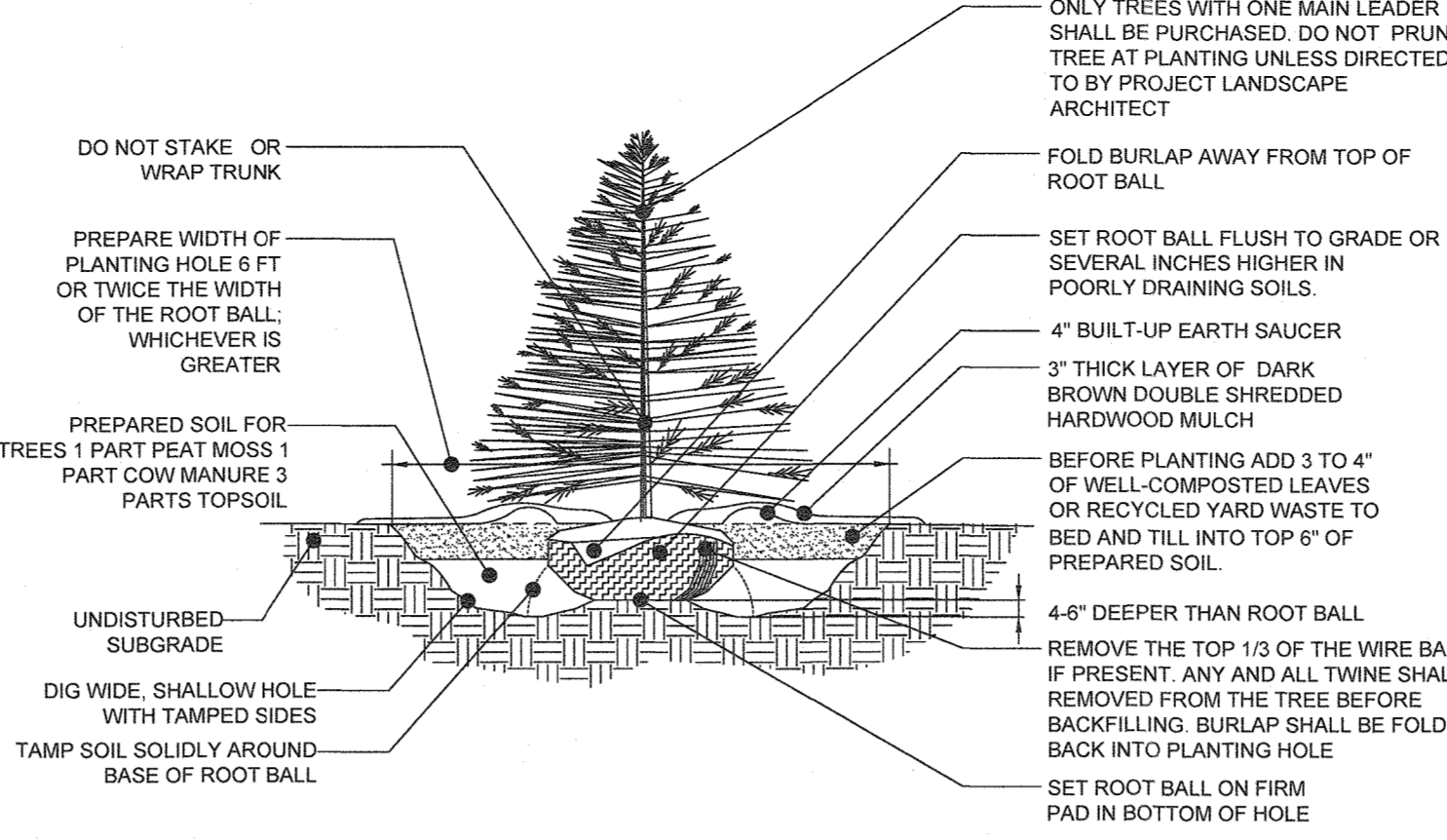
- T. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
U. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
V. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

- W. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

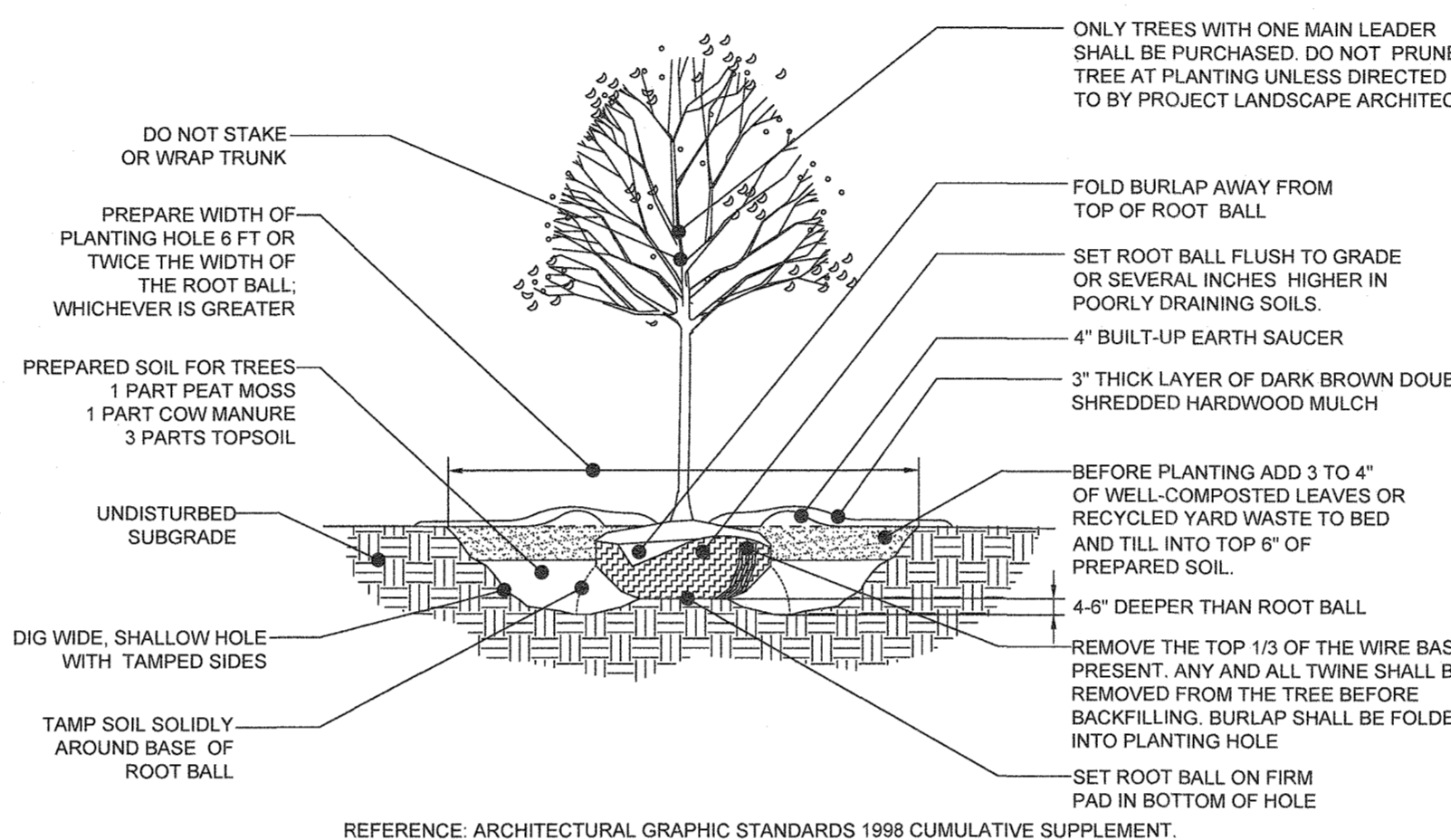
- X. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

- C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATING, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

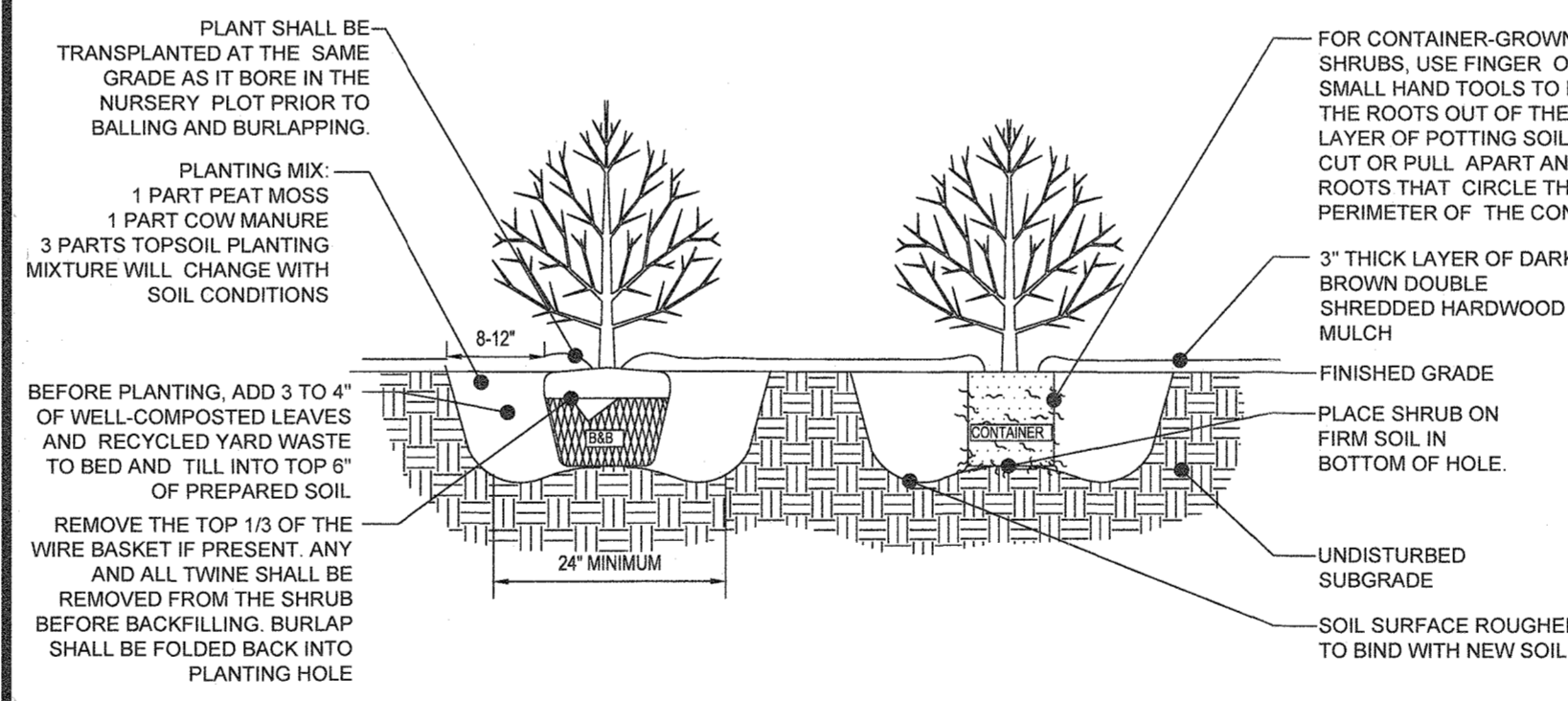
- Y. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

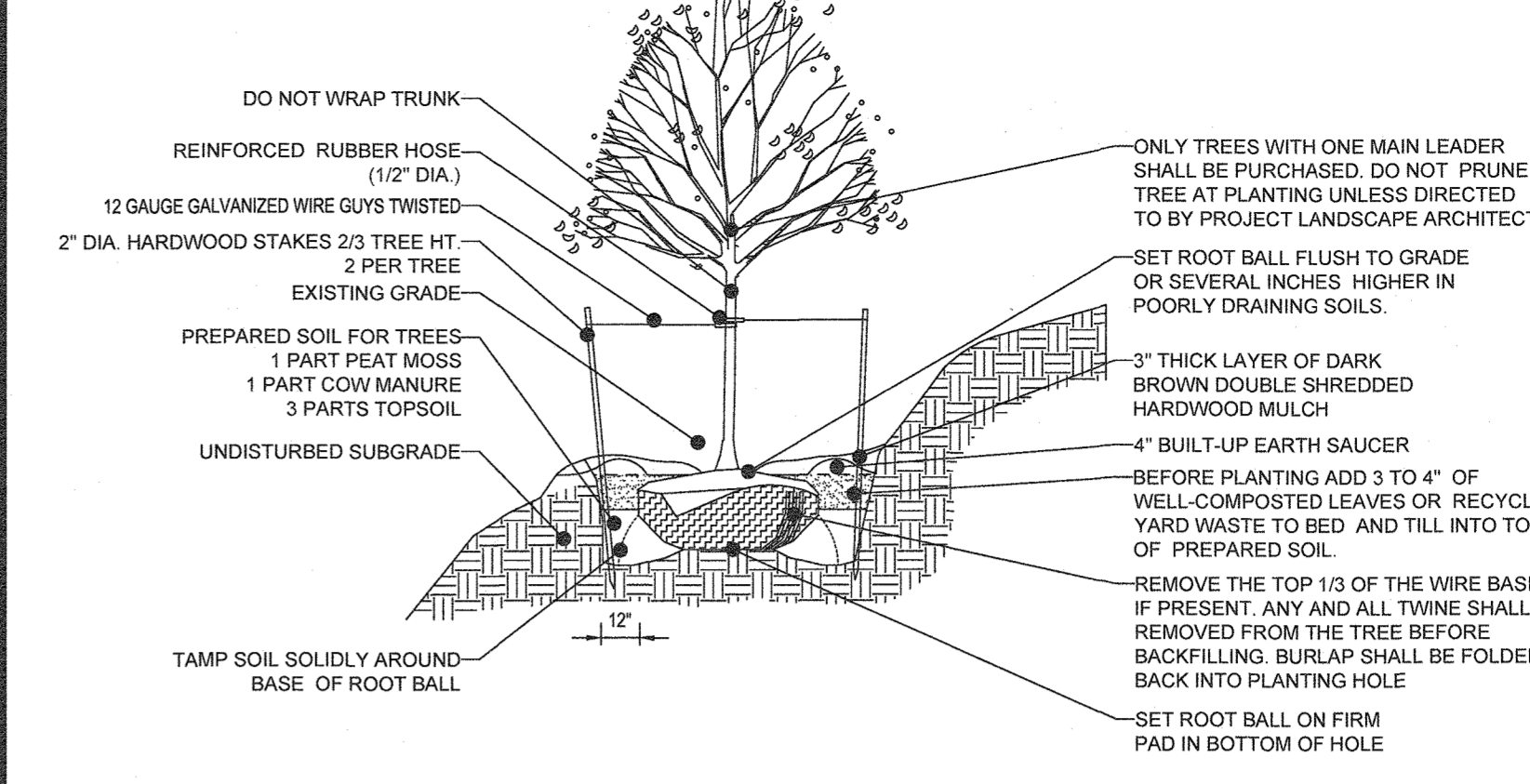


DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL NOT TO SCALE

NOTE: TREE STAKING TO BE REMOVED AFTER 2 GROWING SEASONS



TREE PLANTING ON SLOPE DETAIL NOT TO SCALE

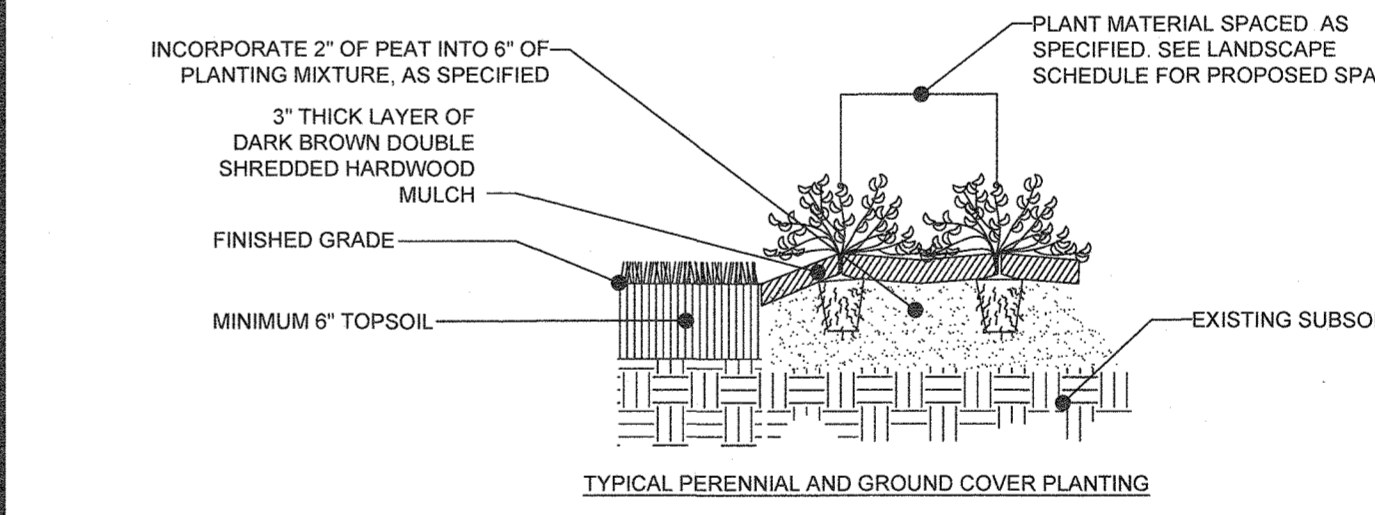
SEEDING SPECIFICATIONS

- 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:
PERENNIAL RYEGRASS: 1/2 LB/1,000 SQ FT
KENTUCKY BLUEGRASS: 1 LB/1,000 SQ FT
RED FESCUE: 1 1/2 LBS/1,000 SQ FT
SPREADING FESCUE: 1 1/2 LBS/1,000 SQ FT
FERTILIZER (20-10-10) MULCH: 14 LBS/1,000 SQ FT
90 LBS/1,000 SQ FT

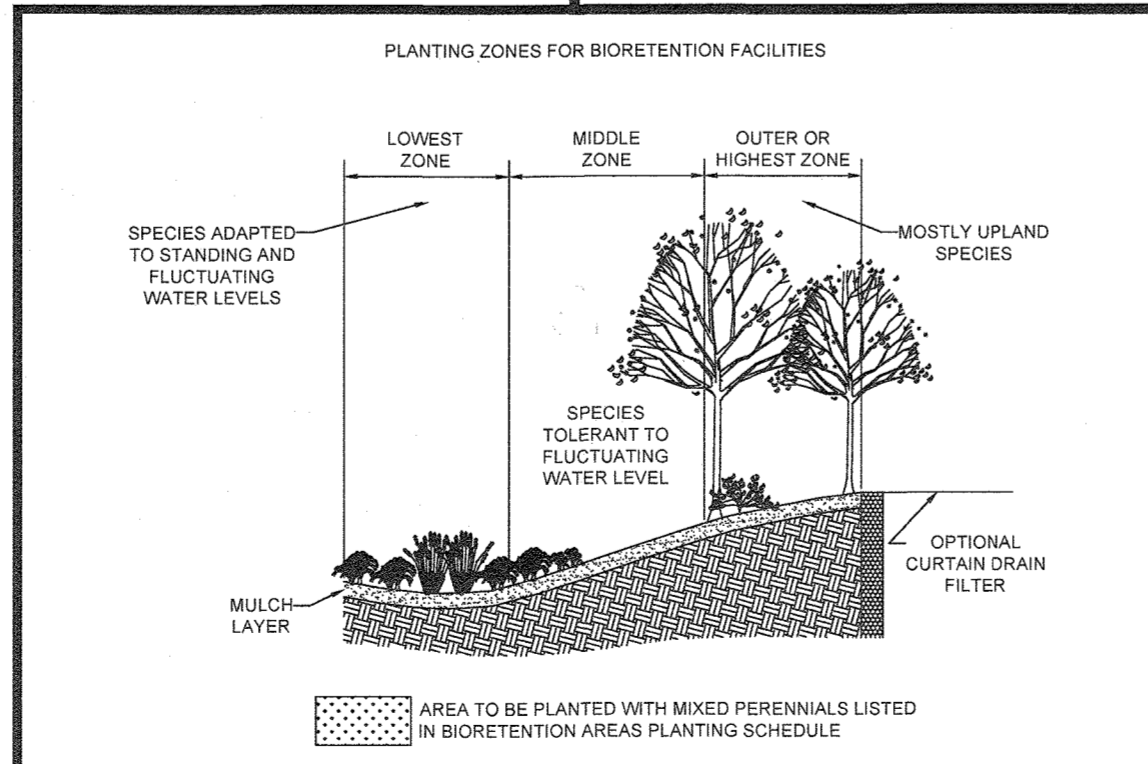
OWNER MAINTENANCE RESPONSIBILITIES

- UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
• TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

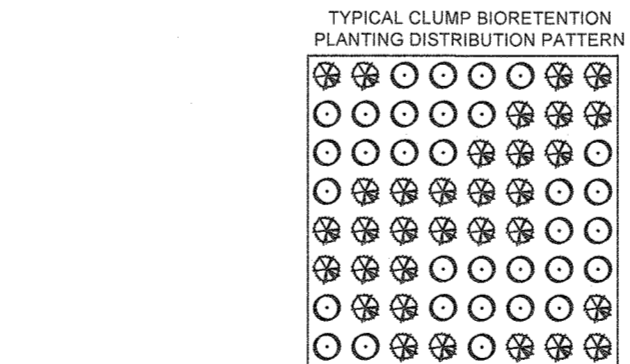


PERENNIAL/GROUND COVER PLANTING DETAIL NOT TO SCALE



- 1. HERBACEOUS PERENNIALS TO BE PLANTED 18" O.C. IN GROUPS BETWEEN 15 TO 20 PLUGS
2. LANDSCAPE CONTRACTOR TO GROUP LIKE PLANTS TOGETHER IN EACH BED AS SHOWN IN PLANTING DISTRIBUTION PATTERN DETAIL.
3. ALL BIORETENTION AREAS ARE TO BE MULCHED WITH A 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
4. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN 12" TO 18" LIFTS THAT ARE LOOSELY COMPACTED (TAMPED LIGHTLY WITH A BACKHOE BUCKET OR TRAVERSED BY COZER TRACKS).

TYPICAL PLANTING FOR BIORETENTION AREAS NOT TO SCALE



NOTE: NATURALLY OCCURRING POPULATIONS TEND TO BE FOUND IN INFORMAL GROUPINGS. A CLUSTER OF PLANTS IS REALLY A MOSAIC OF DIFFERENT SPECIES GROUPS. THE OBJECTIVE IS TO SELECT THE APPROPRIATE SPECIES AND DISTRIBUTION PATTERN FOR A CHOSEN SITE THAT MIMIC NATURAL PATTERNS.

PLANTING DISTRIBUTION PATTERN DETAIL NOT TO SCALE

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF FINAL ACCEPTANCE, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
DATE

OWNER/DEVELOPER: ARNOLD'S CORNER, LLC
SUBDIVISION NAME: ARNOLD'S CORNER
SECTION: AVARE, MD
DEED #: 18527263
TAX MAP: 30 GRID: 24 ZONED: NT
PARCELS: N, O & 462, PUBLIC USE PARCELS
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE DESIGN
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

Table with 4 columns: REV, DATE, COMMENT, BY. Contains a single revision entry.

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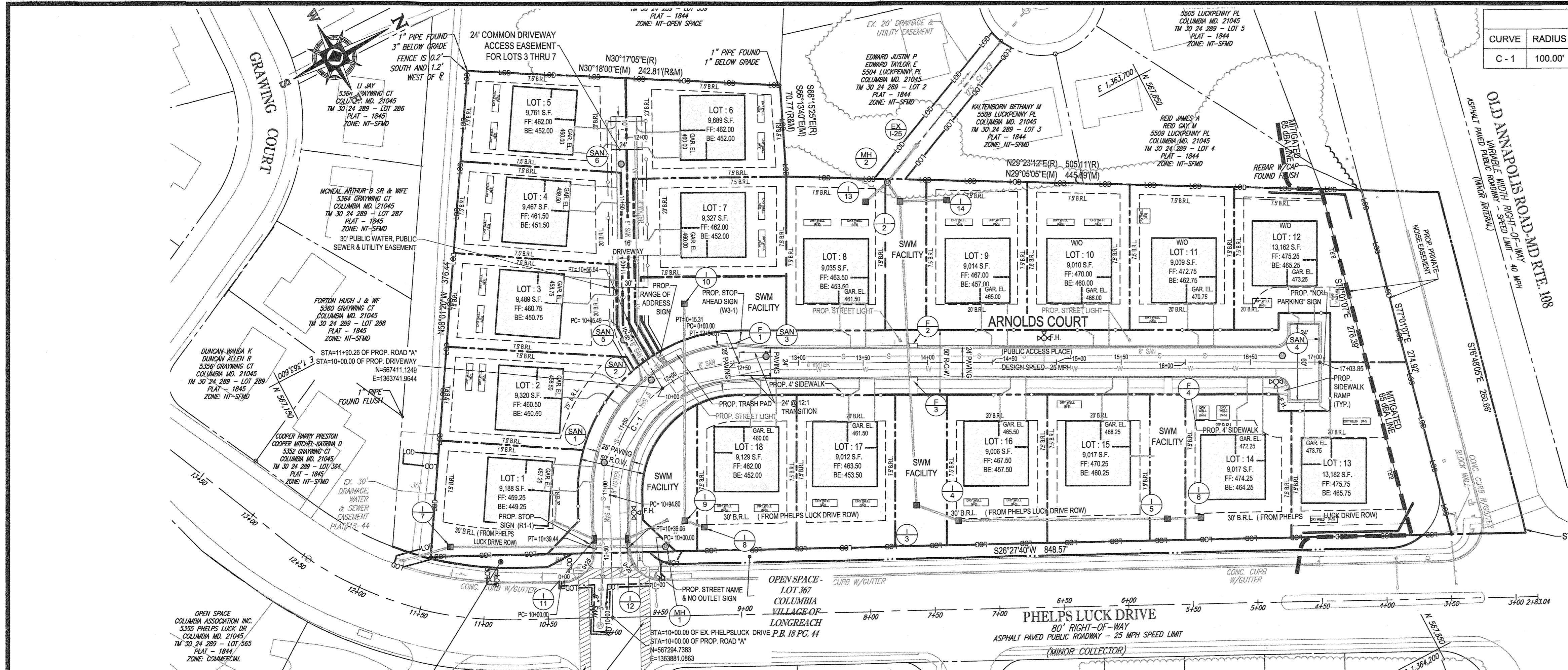
NOT APPROVED FOR CONSTRUCTION
PROJECT NO: MD182388
DRAWN BY: AVG
CHECKED BY: BRR
DATE: 06/21/19
SCALE: AS SHOWN
CAD ID: S0P

PRELIMINARY PLAN
FOR ARNOLD'S CORNER
OTS 1-18 & OPEN SPACE LOTS 19-23
A RESUBDIVISION OF PARCELS N & O OF THE VILLAGE OF LONG REACH, SECTION 1, AREA 1
LOCATION OF SITE
5320 PHELPS LUCK DRIVE
COLUMBIA, MD
6TH ELECTION DISTRICT
TAX MAP 30, GRID 24, PARCELS N, O, & OPEN SPACE 462
VILLAGE OF LONG REACH, SECTION 1, AREA 1
HOWARD COUNTY

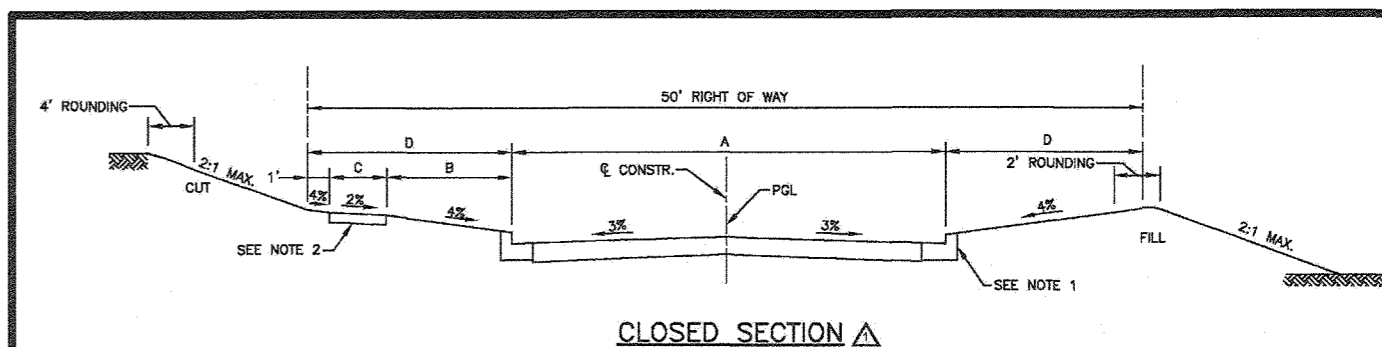
BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

E.R. McWILLIAMS
REGISTERED PROFESSIONAL ARCHITECT
EXPIRES 06/30/2020

SHEET TITLE: LANDSCAPE NOTES & DETAILS
SHEET NUMBER: 6
P-19-001



CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C - 1	100.00'	159.21'	S17°55'44"E	142.92'	091°13'13"	102.15'



- NOTES:**
- TYPE OF CURVE UNLESS INDICATED OTHERWISE CURVE & GUTTER OF CONCRETE CURB & GUTTER - SEE DESIGN MANUAL VOLUME 8 FOR DETAILS.
 - 4" CONCRETE SIDEWALK AS REQUIRED BY SUB-DIVISION REGULATIONS.
 - 4" SIDEWALK REQUIRES A FINISH AREA ONE DETAIL (4-101).
 - SEE R-305 FOR WHERE SIDEWALK IS AGAINST CURB.

CLASSIFICATION	A	B	C	D	PRINCIPAL SECTION
MAJOR COLLECTOR ROAD	20'	6'	4'	11'	P-3
ACCESS STREET 1000 AC	24'	6'	4'	13'	P-2
ACCESS PLACE 500 AC	24'	6'	4'	13'	P-2

Howards County, Maryland
Department of Public Works
Approved: *Brandon R. Rowe*
Date: 7/16/19

TYPICAL SECTIONS - RESIDENTIAL STREETS
Access Place, Access Streets, Minor Collector
(Closed Section)

Detail R-1.02

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

1100 DULANEY VALLEY ROAD, SUITE 301
TOWSON, MARYLAND 21284
PHONE: (410) 821-7900
FAX: (410) 821-7987
MD@BohlerEng.com

REVISIONS

REV	DATE	COMMENT	BY

811

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD120286
DRAWN BY: BRR
DATE: 06/21/19
SCALE: AS SHOWN
CAD I.D.: PPD

PRELIMINARY PLAN FOR ARNOLD'S CORNER

LOTS 1-18 & OPEN SPACE LOTS 19-23
A RESUBDIVISION OF PARCELS N & O OF THE VILLAGE OF LONG REACH, SECTION 1, AREA 1
LOCATION OF SITE
5320 PHELPS LUCK DRIVE
COLUMBIA, MD
TAX MAP 30, GRID 24, PARCELS N, O, & OPEN SPACE 462
VILLAGE OF LONG REACH, SECTION 1, AREA 1
HOWARD COUNTY

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 301
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
MD@BohlerEng.com

B.R. ROWE

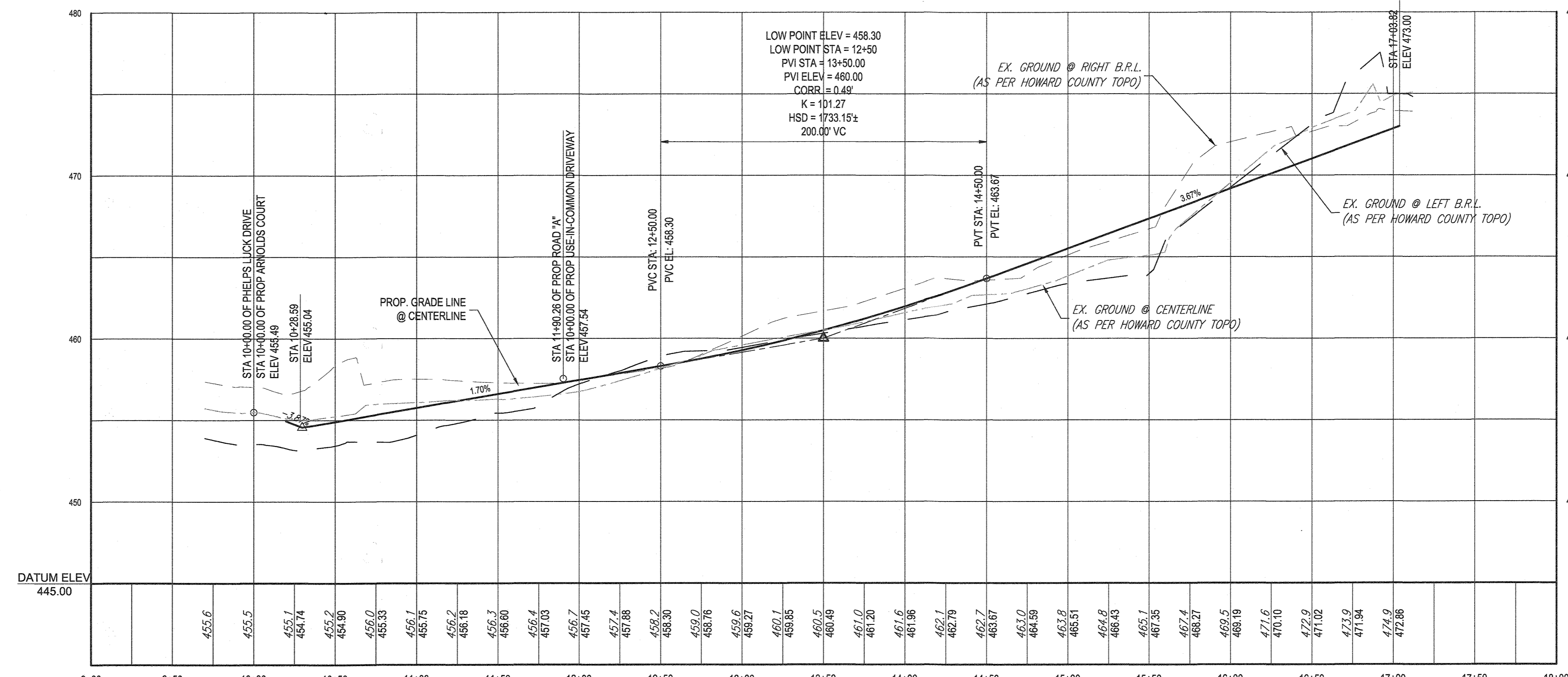
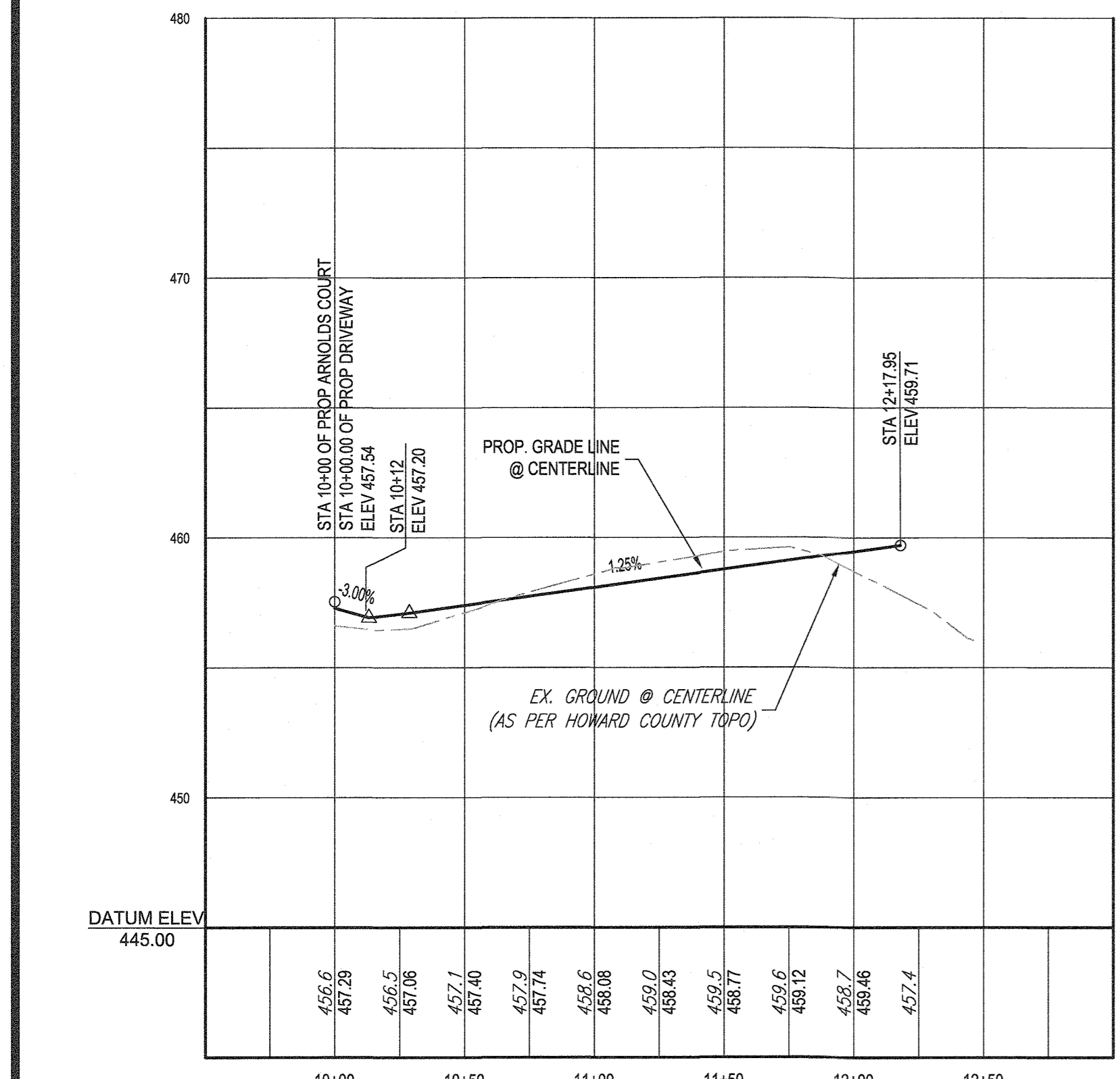
PROFESSIONAL ENGINEER
M.D. LICENSE NO. 4808

u2s1a

ROAD PLAN & PROFILE

SHEET NUMBER: 7

P-19-001



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

David Woessner
PLANNING DIRECTOR

7/16/19
DATE

OWNERS/DEVELOPER: ARNOLD'S CORNER, LLC
308 MAGOTHY ROAD
SEVERNA PARK, MD 21146
CONTACT: DAVID WOESSNER
PHONE: (240) 316-1735

TAX MAP: 30 GRID: 24 ZONED: NT
PARCELS: N, O & 462, PUBLIC USE PARCELS
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: ARNOLD'S CORNER
SECTION/AREA: NA
DEED #: 18227/263

PREVIOUS FILE No.:
S-18-006, WP-19-068
ECP-18-052, FDP-17-A-IV
281112, PB 18 F-44 (P-70-065c)

PROFESSIONAL CERTIFICATION:
BRANDON R. ROWE, HEREBY CERTIFIES THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 4808, EXPIRATION DATE: 7/31/2019

11/01/2018 09:45 AM PLAN SET PRELIMINARY PLANNING PLAN 12016 PPR 2/20 PRINTED BY: AGAMBICA 8/25 10:58 PM (LAST SAVED BY: AGAMBICA)