

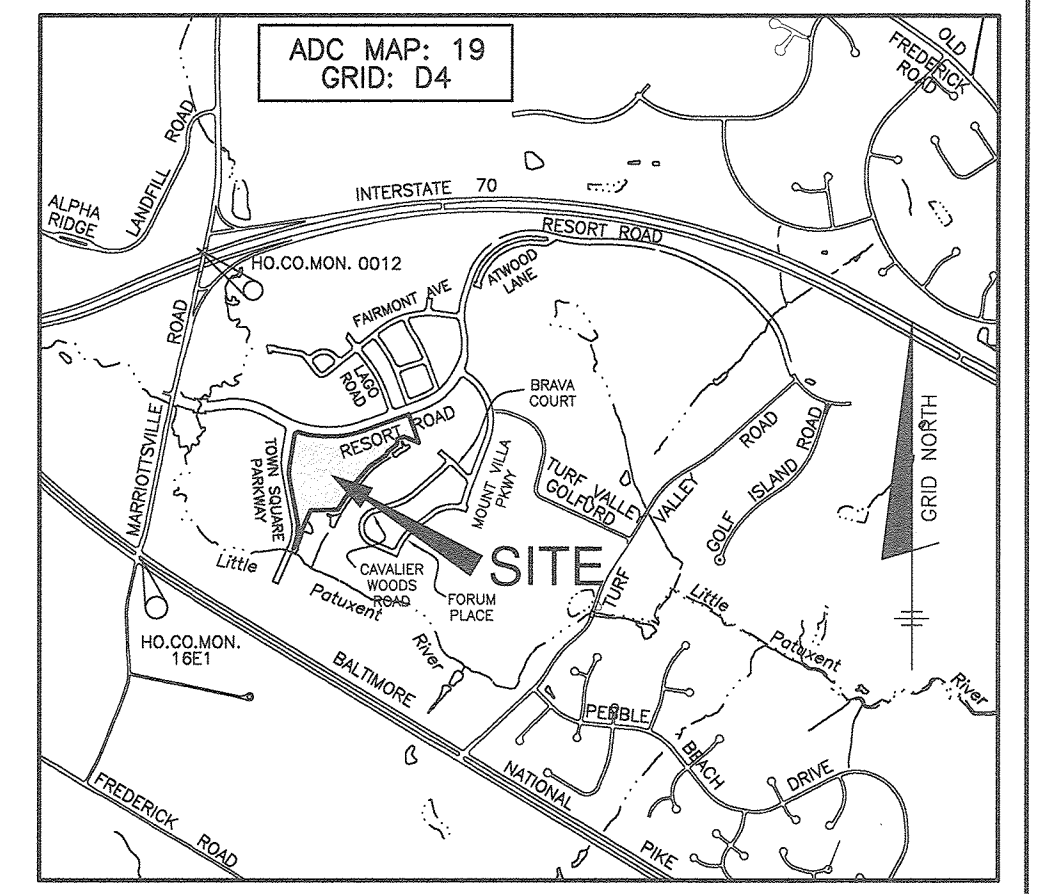
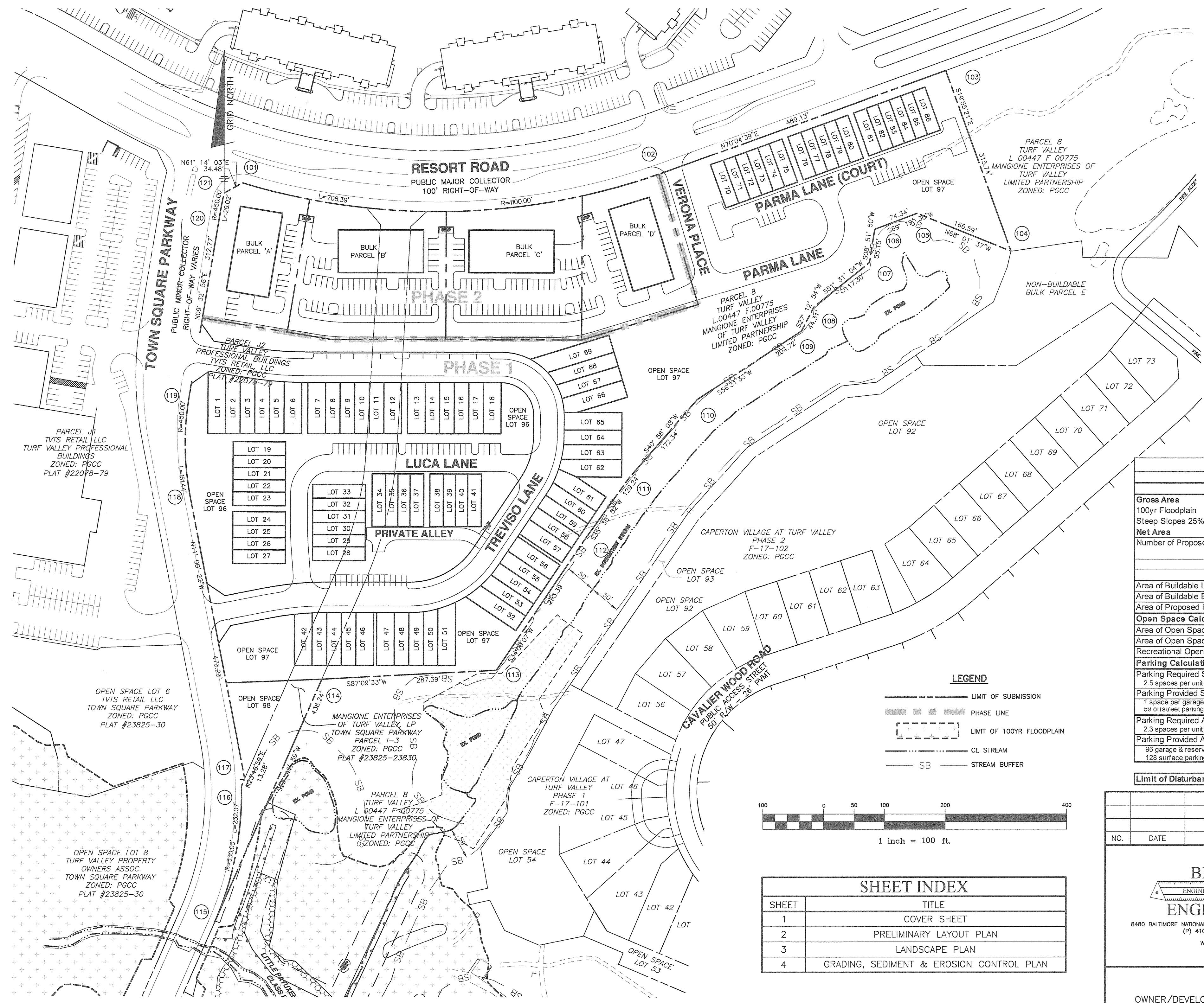
GENERAL NOTES

- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCES HAVE BEEN APPROVED AND NOTED BELOW.
- THE SUBJECT PROPERTY IS ZONED PGCC PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- THIS PROJECT IS SUBJECT TO THE 3RD AMENDED TURF VALLEY MULTI-USE SUB-DISTRICT FINAL DEVELOPMENT PLAN RECORDED AS PLAT NUMBERS 21029-21031 ON MARCH 26, 2010 AND THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS NO. 16E1 AND 0012 WERE USED FOR THIS PROJECT.
- TRACT BOUNDARY IS BASED ON A FIELD SURVEY PERFORMED BY JOHN B. MILDENBERG IN MARCH, 2006.
- THE EXISTING TOPOGRAPHY SHOWN ON-SITE IS BASED ON AERIAL TOPOGRAPHIC SURVEY PERFORMED BY WINGS AERIAL MAPPING, CO., FLOWN ON OR ABOUT JANUARY, 2006. THE EXISTING TOPOGRAPHY ALONG TOWN SQUARE PARKWAY AND RESORT ROAD IS BASED ON THE RELATED ROAD CONSTRUCTION PLAN (F-02-074) OR SITE DEVELOPMENT PLAN (SDP-10-027).
- THE EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN TAKEN FROM AERIAL SURVEY, APPROVED CONTRACT DRAWINGS, AND FIELD SURVEYED LOCATIONS. IF NECESSARY, THE CONTRACTOR SHALL ADJUST ANY OR ALL STRUCTURE TOP ELEVATIONS TO MATCH PROPOSED GRADES.
- THERE ARE NO WETLANDS, STREAMS, THEIR REQUIRED BUFFERS, OR 100 YEAR-FLOODPLAIN LOCATED ON THIS SITE.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES OR NEW STRUCTURES ARE PERMITTED WITH THE STEEP SLOPES 25% OR GREATER THAT ARE MORE THAN 20,000 SF OF CONTIGUOUS EXCEPT AS APPROVED BY WP-18-002. SEE GENERAL NOTE 10.
- WP-18-002, AN ALTERNATIVE COMPLIANCE TO SECTION 16.116(b)(1)(i) WHICH PROHIBITS GRADING OF STEEP SLOPES THAT ARE 20,000 SF OF CONTIGUOUS AREA; AND SECTION 16.120(c)(4) WHICH REQUIRES THAT SINGLE FAMILY ATTACHED LOTS SHALL HAVE A MINIMUM OF 15 FEET OF FRONTAGE ON A PUBLIC ROAD WAS APPROVED ON 9-5-2017 SUBJECT TO THE FOLLOWING CONDITIONS:
  - STEEP SLOPE IMPACT IS LIMITED TO 35,230 SF.
  - A HOMEOWNERS ASSOCIATION WILL BE CREATED THAT WILL BE THE RESPONSIBLE PARTY FOR THE MAINTENANCE OF THE PRIVATE ROADS AND STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES. WATER AND SEWER SHALL BE PUBLIC AND MAINTAINED FOR EACH UNIT WITHIN THE RECORDED PUBLIC EASEMENT.
- THE WETLAND LIMITS FOR TURF VALLEY ARE BASED ON A STUDY CONDUCTED BY EXPLORATION RESEARCH, INC. AND VERIFIED BY ECO-SCIENCE PROFESSIONALS, INC. ON MAY 26, 2016. THE LIMITS SHOWN ARE IN ACCORDANCE WITH THOSE SHOWN ON THE 4TH AMENDMENT TO THE TURF VALLEY COMPREHENSIVE SKETCH PLAN (S-86-13, PB 368) APPROVED JULY 28, 2006.
- THE OFFSITE 100-YEAR FLOODPLAIN LIMITS SHOWN ARE BASED ON A STUDY PREPARED BY BENCHMARK ENGINEERING, INC. UNDER F-15-056 AND APPROVED ON MAY 14, 2015.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES, BURIAL GROUNDS OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- A NOISE STUDY IS NOT REQUIRED FOR THIS DEVELOPMENT AS NONE OF THE PROPOSED LOTS ARE WITHIN 500 FEET OF THE INTERSTATE 70 OR ROUTE 40 RIGHTS-OF-WAY.
- THE TRAFFIC STUDY WAS PREPARED BY TRAFFIC GROUP ON JANUARY 7, 2005 AND WAS APPROVED UNDER THE 4TH AMENDED COMPREHENSIVE SKETCH PLAN ON APRIL 27, 2006.
- WATER AND SEWER IS PUBLIC. THIS SITE IS WITHIN THE METROPOLITAN DISTRICT. THE DRAINAGE AREA IS THE LITTLE PATUXENT.
- THE GEO-TECHNICAL REPORT FOR STORMWATER MANAGEMENT AS PREPARED BY BENCHMARK ENGINEERING, INC. IN JULY, 2018.
- THIS PROJECT IS EXEMPT FROM THE HOWARD COUNTY FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202(i)(1)(vi) OF THE HOWARD COUNTY CODE SINCE IT IS A PLANNED UNIT DEVELOPMENT WHICH HAD PRELIMINARY DEVELOPMENT PLAN APPROVAL AND 50% OR MORE OF THE LAND AS RECORDED AND SUBSTANTIALLY DEVELOPED BEFORE DECEMBER 31, 1992.
- LANDSCAPING IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL VIA A CERTIFIED LANDSCAPE PLAN AS PART OF THIS PLAN SET.
- STORMWATER MANAGEMENT ENVIRONMENTAL SITE DESIGN (ESD) HAS BEEN PROVIDED IN ACCORDANCE WITH THE "MARYLAND DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT ACT OF 2007" AND THE "HOWARD COUNTY DESIGN MANUAL, VOLUME I, CHAPTER 5" TO THE MAXIMUM EXTENT PRACTICAL. STORMWATER MANAGEMENT IS PROVIDED BY TEN (4-6) MICRO-BIORETENTION PRACTICES, FIVE (7-8) BIORETENTION PRACTICES, AND ONE (M-2) SUBMERGED GRAVEL WETLANDS. ALL FACILITIES ARE PRIVATELY OWNED AND PRIVATELY MAINTAINED. THE STORMWATER MANAGEMENT SYSTEM SHOWN ON THESE PLANS IS AN APPROXIMATION OF SIZE, SHAPE, AND LOCATION. IT IS UNDERSTOOD THAT THIS SYSTEM HAS NOT BEEN FINALIZED AND THE ACTUAL DESIGN MAY CHANGE ALTERING THE NUMBER OF UNITS ALLOCATED FOR THIS PROJECT.
- THIS PROJECT IS EXEMPT FROM RECREATIONAL OPEN SPACE REQUIREMENTS SINCE IT IS ZONED PGCC.
- THIS PROJECT IS EXEMPT FROM THE MODERATE INCOME HOUSING UNIT REQUIREMENT (COUNCIL BILL 35-2013) SINCE IT IS ZONED PGCC.
- STREET LIGHT PLACEMENT AND TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- A DESIGN MANUAL WAIVER WAS APPROVED ON JULY 13, 2017 TO DESIGN MANUAL VOLUME III, SECTION 2.3.A.1.c WHICH REQUIRES AN ACCESS STREET WITH A DESIGN SPEED OF 30mph TO HAVE A RADIUS OF 350ft AND AN ACCESS PLACE WITH A DESIGN SPEED OF 25mph TO HAVE A RADIUS OF 210ft TO ALLOW A RADIUS OF 100ft AT THE CURVES IN TREVISO LANE (PRIVATE ROAD), PARMA LANE (PRIVATE ROAD), AND THE CURVE ON VERONA PLACE (PUBLIC ROAD), TO SECTION 2.3.A.1.c WHICH REQUIRES THAT A MINIMUM LENGTH OF HORIZONTAL CURVES BE 100FT IN LENGTH TO ALLOW A REDUCTION OF THE LENGTH BASED ON THE GEOMETRICS OF THE ROADWAY CURVES, AND TO SECTION 2.5.B.9 WHICH REQUIRES THAT AN 85th PERCENTILE SPEED STUDY BE PROVIDED FOR ALL INTERSECTIONS TO ELIMINATE THE SPEED STUDY FOR TOWN SQUARE PARKWAY.
- APPLICABLE PREVIOUS HOWARD COUNTY FILE REFERENCES:
  - S-86-013, ECP-17-047, S-17-008, WP-18-002, F-12-055, F-15-056
- PRIOR TO GRADING PERMIT APPLICATION, THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 16.129 OF THE HOWARD COUNTY CODE.
- PUBLIC TRASH PICKUP AND SNOW REMOVAL SHALL BE PROVIDED ALONG TREVISO LANE ONLY. SNOW REMOVAL AND TRASH PICKUP FOR ALL OTHER ROADS AND WITHIN THE APARTMENT AREAS SHALL BE PRIVATE.
- ANY DAMAGE TO THE PUBLIC RIGHT OF WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PARKING LOTS INCLUDING PAVEMENT, STRIPING, CURB LITER PICKUP, AND SIDEWALKS.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
  - AT&T.....1-800-252-1133
  - BGE (CONTRACTOR SERVICES).....410-637-8713
  - BGE (EMERGENCY).....410-685-0123
  - BUREAU OF UTILITIES.....410-313-4900
  - COLONIAL PIPELINE CO.....410-795-1390
  - MISS UTILITY.....1-800-257-7777
  - STATE HIGHWAY ADMINISTRATION.....410-531-5533
  - VERIZON.....1-800-743-0033
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PRIVATE RANGE OF ADDRESS SIGNAGE ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPER/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.
- TRAFFIC CONTROL DEVICES:
  - THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN(SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
  - THE TRAFFIC CONTROL DEVICES LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
  - ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"(MUTCD).
  - ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED (QUICK PUNCH) SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLL CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- A DESIGN MANUAL WAIVER WAS APPROVED ON FEBRUARY 14, 2019 TO DESIGN MANUAL VOLUME III, SECTIONS 2.3.A.1.a & 2.3.A.1.c TO ALLOW FOR THE MINIMUM HORIZONTAL CURVE RADIUS TO BE REDUCED FOR PARMA LANE (PRIVATE ROAD), LUCA LANE (PRIVATE ROAD), AND TREVISO LANE (PUBLIC ROAD) SUBJECT TO THE WIDENING OF THE PAVEMENT AT ALL SUB-STANDARD CURVES TO 28' WITH PARKING RESTRICTIONS ON BOTH SIDES OF THE ROADWAY. IT IS ALSO RECOMMENDED THAT THE ROADWAYS BE WIDENED TO 28' FOR THE ENTIRE LENGTH AS TRANSITION FROM 26' TO 28' FOR THE CURVES APPROACH AND EXIT WOULD BE REQUIRED WHICH MAY IMPACT OFF-STREET PARKING.
- A DESIGN MANUAL WAIVER WAS APPROVED ON JULY 15, 2019 TO DESIGN MANUAL VOLUME III, SECTIONS 2.3.A.1.a & 2.3.A.1.c TO ALLOW FOR THE MINIMUM HORIZONTAL CURVE RADIUS TO BE REDUCED FOR PARMA LANE (PRIVATE ROAD), LUCA LANE (PRIVATE ROAD), AND TREVISO LANE (PUBLIC ROAD) TO SOFT, SOFT, AND 150FT RESPECTIVELY; AND A WAIVER FROM DESIGN MANUAL VOLUME III, SECTIONS 2.5.B TO REDUCE INTERSECTION SPACING FROM 250FT TO 181FT ALONG TREVISO LANE. APPROVAL IS SUBJECT TO PROVIDING NO PARKING ZONES FOR TREVISO LANE BETWEEN STA.5+50(RT) TO STA.11+00(RT), AND FOR LUCA LANE BETWEEN STA.0+00(LT) TO STA.1+00(LT) & STA.0+00(RT) TO STA.0+65(RT), AND PROVIDING NO PARKING ON TREVISO LANE BETWEEN TOWN SQUARE PARKWAY & LUCA LANE (BOTH SIDES).

# PRELIMINARY PLAN

## THE VILLAGE AT TOWN SQUARE

### A SUBDIVISION OF PART OF PARCEL 8 AND A RESUBDIVISION OF PARCEL I-3 PREVIOUSLY RECORDED AS PLAT #23825-30 AND PARCEL J-2 PREVIOUSLY RECORDED AS PLAT #22078-79



BOUNDARY COORDINATES		
POINT #	NORTHING	EASTING
101	594580.2975	1341852.6794
102	594598.2009	1342548.6595
103	594764.8710	1343008.5169
104	594488.0292	1343116.1039
105	594530.3608	1342961.6177
106	594504.1141	1342892.0682
107	594449.6240	1342883.5686
108	594376.6286	1342791.7425
109	594337.2223	1342771.4773
110	594224.3083	1342600.7149
111	594094.1819	1342487.7216
112	593989.1146	1342412.4610
113	593779.0533	1342270.7618
114	593764.8100	1341983.7271
115	593363.7808	1341806.9941
116	593589.5830	1341851.8647
117	593601.7390	1341857.2219
118	594066.2651	1341766.8766
119	594226.8263	1341764.8349
120	594535.2635	1341816.7207
121	594563.7041	1341822.4535

Site Analysis Data Chart			
	Zoned: PGCC		
	Total	Phase 1	Phase 2
Gross Area	16.52 acres	12.58 acres	3.94 acres
100yr Floodplain	0.00 acres	0.00 acres	0.00 acres
Steep Slopes 25% or >(outside floodplain)	2.04 acres	1.44 acres	0.60 acres
Net Area	14.48 acres	11.14 acres	3.34 acres
Number of Proposed Units:			
Single Family Attached:	86	86	0
Apartments:	67	0	67
Total Units:	153	86	67
Area of Buildable Lots	4.03 acres	4.03 acres	NA acres
Area of Buildable Bulk Parcels	3.90 acres	NA acres	3.90 acres
Area of Proposed Right-of-way	1.59 acres	1.59 acres	NA acres
Open Space Calculations			
Area of Open Space Required (15% of gross)	2.48 acres	1.89 acres	0.59 acres
Area of Open Space Provided	6.99 acres	6.99 acres	provided in phase 1
Recreational Open Space Required	NA (PGCC)	NA (PGCC)	NA (PGCC)
Parking Calculations			
Parking Required SFA Lots:	215	215	NA
2.5 spaces per unit (Section 133.0.D.2.a)			
Parking Provided SFA Lots:	241	241	NA
1 space per garage + 1 space per driveway + 1 on-street parking spaces			
Parking Required Apartments:	154	NA	154
2.3 spaces per unit (Section 133.0.D.2.b)			
Parking Provided Apartments:	224	NA	224
86 garage + reserved parking per building + 128 surface parking spaces			
Limit of Disturbance	16.28 acres		

SHEET INDEX	
SHEET	TITLE
1	COVER SHEET
2	PRELIMINARY LAYOUT PLAN
3	LANDSCAPE PLAN
4	GRADING, SEDIMENT & EROSION CONTROL PLAN

ROAD CHART				
ROAD	CLASSIFICATION	DESIGN SPEED	RIGHT-OF-WAY	PVMT TYPE
VERONA PLACE	PRIVATE ACCESS STREET	30 mph	28' PRIVATE ESMT	P-2
PARMA LANE	PRIVATE ACCESS PLACE	25 mph	28' PRIVATE ESMT	P-2
PARMA LANE (COURT)	PRIVATE ACCESS PLACE	25 mph	26' PRIVATE ESMT	P-2
LUCA LANE	PRIVATE ACCESS PLACE	25 mph	28' PRIVATE ESMT	P-2
TREVISO LANE	PUBLIC ACCESS STREET	30 mph	50' PUBLIC	P-2

ROADWAY PARKING RESTRICTION CHART	
ROAD	LOCATION
VERONA PLACE	STA.0+00 TO STA.2+53 (BOTH SIDES)
LUCA LANE	STA.0+00(LT) TO STA.1+00(LT); STA.0+00(RT) TO STA.0+65(RT); STA.5+40 TO STA.5+70(BOTH SIDES)
TREVISO LANE	STA.0+35(LT) TO STA.2+40(LT); STA.5+50(RT) TO STA.11+00(RT); STA.12+80 TO STA.14+00(BOTH SIDES)

TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY

*Valerie J. ...* 9-30-19  
PLANNING DIRECTOR DATE

**BENCHMARK ENGINEERS, INC.**  
8480 BALTIMORE NATIONAL PIKE & SUITE 315 ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644  
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 22386, Expiration Date: 6-30-2021.

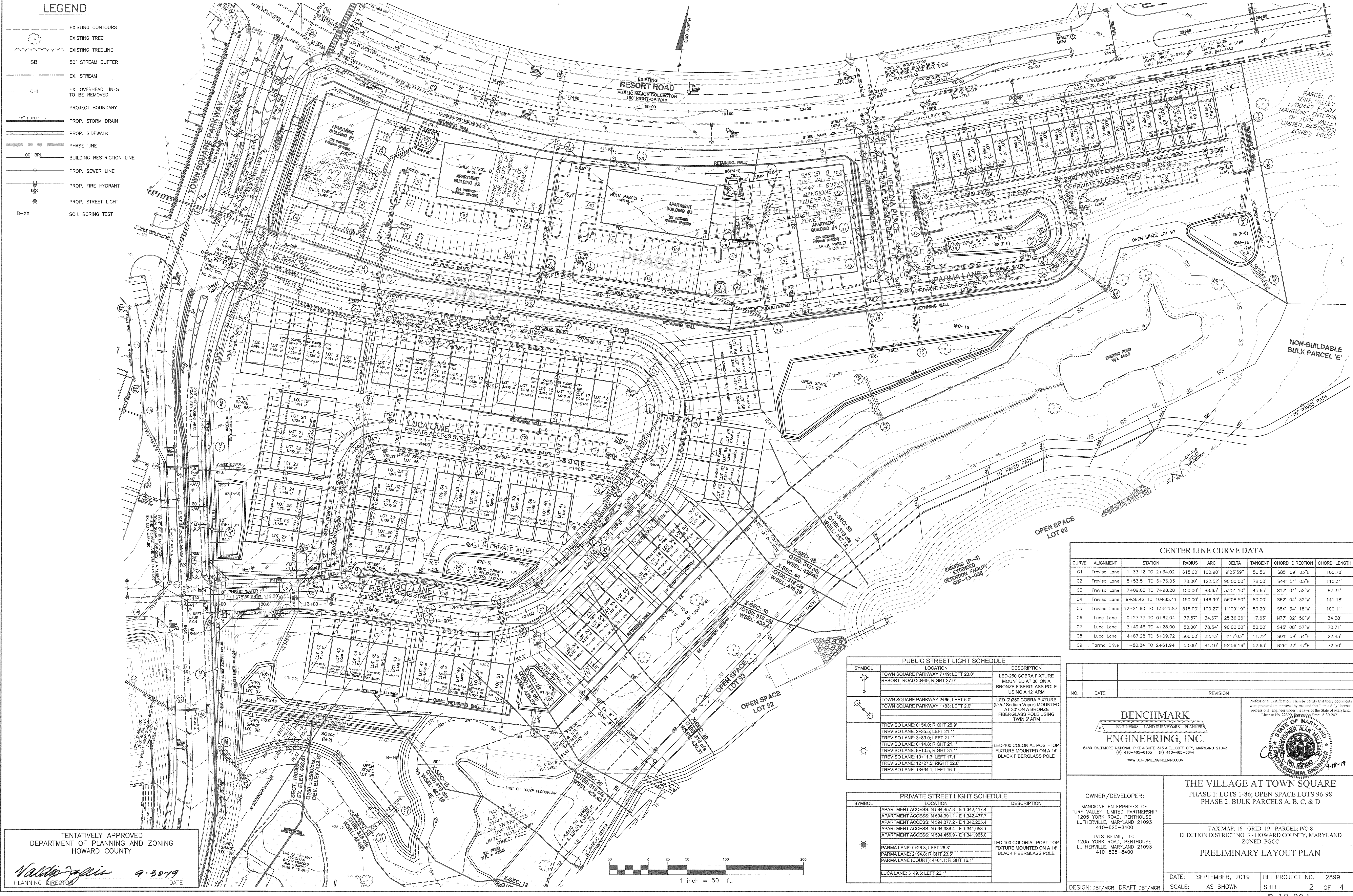
**THE VILLAGE AT TOWN SQUARE**  
PHASE 1: LOTS 1-86; OPEN SPACE LOTS 96-98  
PHASE 2: BULK PARCELS A, B, C, & D

OWNER/DEVELOPER:	MANGIONE ENTERPRISES OF TURF VALLEY, LIMITED PARTNERSHIP 1205 YORK ROAD, PENTHOUSE LUTHERVILLE, MARYLAND 21093 410-825-8400
TAX MAP:	16 - GRID: 19 - PARCEL: PIO 8 ELECTION DISTRICT NO. 3 - HOWARD COUNTY, MARYLAND ZONED: PGCC
<b>COVER SHEET</b>	
DATE:	SEPTEMBER, 2019
DESIGN:	DBT/MCR
DRAFT:	DBT/MCR
SCALE:	AS SHOWN
SHEET:	1 OF 4
BEI PROJECT NO.:	2899



**LEGEND**

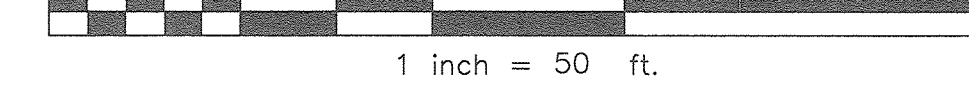
- EXISTING CONTOURS
- EXISTING TREE
- EXISTING TREELINE
- SB 50' STREAM BUFFER
- EX. STREAM
- OHL EX. OVERHEAD LINES TO BE REMOVED
- PROJECT BOUNDARY
- 18" HDPEP PROP. STORM DRAIN
- PROP. SIDEWALK
- PHASE LINE
- BUILDING RESTRICTION LINE
- PROP. SEWER LINE
- PROP. FIRE HYDRANT
- PROP. STREET LIGHT
- SOIL BORING TEST



TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY

*Naldin*  
PLANNING DIRECTOR

9-30-19  
DATE



**CENTER LINE CURVE DATA**

CURVE	ALIGNMENT	STATION	RADIUS	ARC	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	Triviso Lane	1+33.12 TO 2+34.02	615.00'	100.90'	92°3'59"	50.56'	S85° 09' 03"E	100.78'
C2	Triviso Lane	5+53.51 TO 6+76.03	78.00'	122.52'	90°00'00"	78.00'	S44° 51' 03"E	110.31'
C3	Triviso Lane	7+09.65 TO 7+98.28	150.00'	88.63'	33°51'10"	45.65'	S17° 04' 32"W	87.34'
C4	Triviso Lane	9+38.42 TO 10+85.41	150.00'	146.99'	56°08'50"	80.00'	S62° 04' 32"W	141.18'
C5	Triviso Lane	12+21.80 TO 13+21.87	515.00'	100.27'	11°09'19"	50.29'	S84° 34' 18"W	100.11'
C6	Luca Lane	0+27.37 TO 0+82.04	77.57'	34.67'	25°36'26"	17.63'	N77° 02' 50"W	34.38'
C7	Luca Lane	3+49.46 TO 4+28.00	50.00'	78.54'	90°00'00"	50.00'	S45° 08' 57"W	70.71'
C8	Luca Lane	4+87.28 TO 5+09.72	300.00'	22.43'	4°17'03"	11.22'	S01° 59' 34"E	22.43'
C9	Parma Drive	1+80.84 TO 2+61.94	50.00'	81.10'	92°56'16"	52.63'	N26° 32' 47"E	72.50'

**PUBLIC STREET LIGHT SCHEDULE**

SYMBOL	LOCATION	DESCRIPTION
	TOWN SQUARE PARKWAY 7+48; LEFT 23.0'	LED-250 COBRA FIXTURE MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM
	TOWN SQUARE PARKWAY 2+65; LEFT 6.0'	LED-2250 COBRA FIXTURE (W/NaI Sodium Vapor) MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING TWIN 8' ARM
	TRIVISO LANE: 0+54.0; RIGHT 25.5'	LED-100 COLONIAL POST-TOP FIXTURE MOUNTED ON A 14' BLACK FIBERGLASS POLE
	TRIVISO LANE: 2+35.5; LEFT 21.1'	
	TRIVISO LANE: 3+89.0; LEFT 21.1'	
	TRIVISO LANE: 6+14.8; RIGHT 21.1'	
	TRIVISO LANE: 8+10.5; RIGHT 31.1'	
	TRIVISO LANE: 10+11.3; LEFT 17.1'	
	TRIVISO LANE: 12+27.5; RIGHT 22.6'	
	TRIVISO LANE: 13+84.1; LEFT 16.1'	

**PRIVATE STREET LIGHT SCHEDULE**

SYMBOL	LOCATION	DESCRIPTION
	APARTMENT ACCESS: N 594,457.8 - E 1,342,417.4	LED-100 COLONIAL POST-TOP FIXTURE MOUNTED ON A 14' BLACK FIBERGLASS POLE
	APARTMENT ACCESS: N 594,391.1 - E 1,342,437.7	
	APARTMENT ACCESS: N 594,377.2 - E 1,342,205.4	
	APARTMENT ACCESS: N 594,386.4 - E 1,341,953.1	
	APARTMENT ACCESS: N 594,458.9 - E 1,341,958.0	
	PARMA LANE: 0+28.3; LEFT 26.3'	
	PARMA LANE: 2+94.8; RIGHT 23.5'	
	PARMA LANE (COURT): 4+01.1; RIGHT 16.1'	
	LUCA LANE: 3+49.5; LEFT 22.1'	

NO.	DATE	REVISION

**BENCHMARK ENGINEERS, INC.**  
8450 BALTIMORE NATIONAL PIKE & SUITE 315 ELLICOTT CITY, MARYLAND 21043  
(P) 410-485-6100 (F) 410-485-6664  
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22389. Date: 6-30-2021.

**THE VILLAGE AT TOWN SQUARE**  
PHASE 1: LOTS 1-86; OPEN SPACE LOTS 96-98  
PHASE 2: BULK PARCELS A, B, C, & D

OWNER/DEVELOPER:  
MANGIONE ENTERPRISES OF TURF VALLEY, LIMITED PARTNERSHIP  
1205 YORK ROAD, PENTHOUSE LUTHERVILLE, MARYLAND 21093 410-825-8400

TAX MAP: 16 - GRID: 19 - PARCEL: PO 8  
ELECTION DISTRICT NO. 3 - HOWARD COUNTY, MARYLAND  
ZONED: PGCC

**PRELIMINARY LAYOUT PLAN**

DATE: SEPTEMBER, 2019    BEI PROJECT NO. 2899  
SCALE: AS SHOWN    SHEET 2 OF 4

DESIGN: DBT/MCR    DRAFT: DBT/MCR

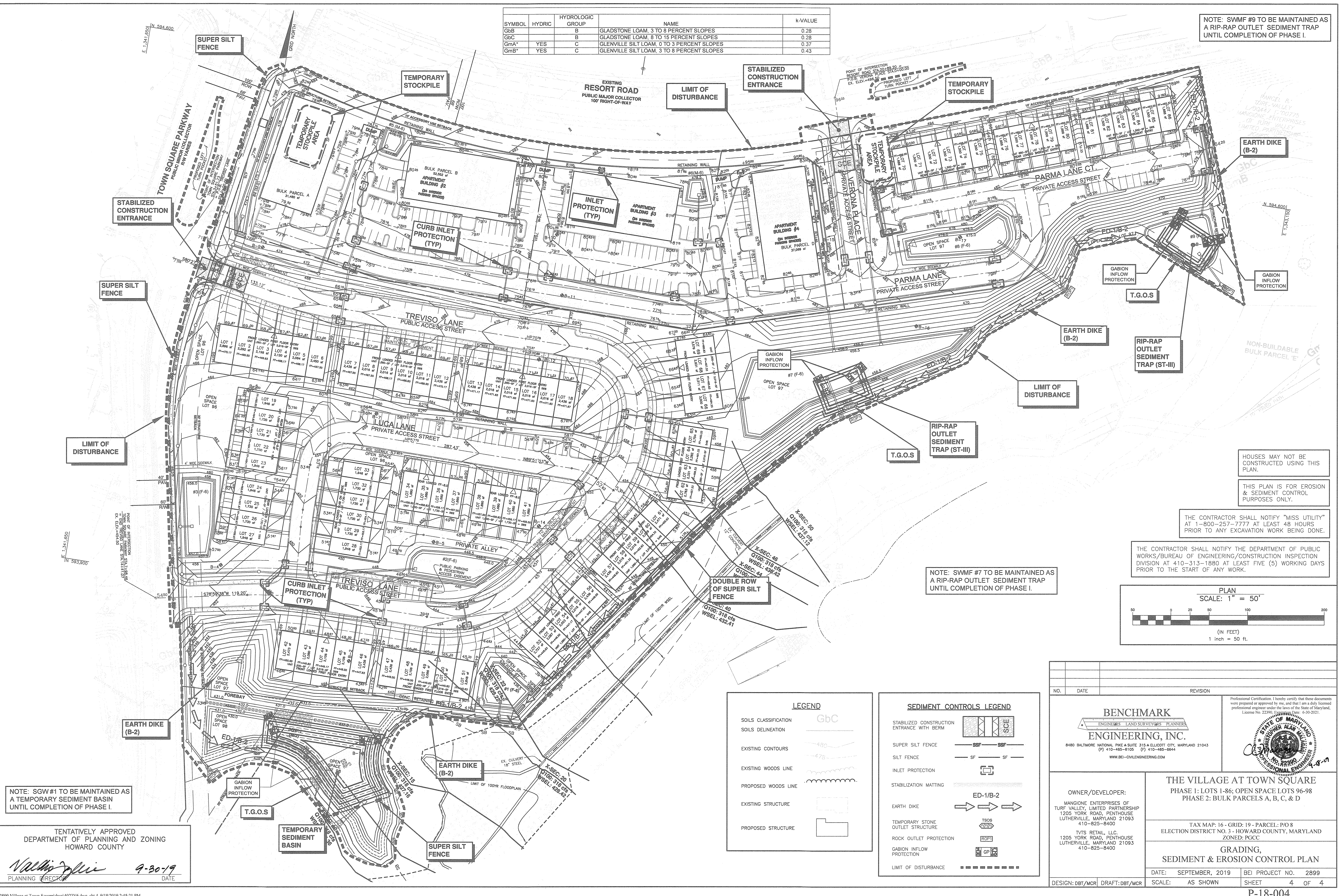






SYMBOL	HYDRIC	HYDROLOGIC GROUP	NAME	K-VALUE
GbB		B	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	0.28
GbC		B	GLADSTONE LOAM, 8 TO 15 PERCENT SLOPES	0.28
GmA*	YES	C	GLENNVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES	0.37
GmB*	YES	C	GLENNVILLE SILT LOAM, 3 TO 6 PERCENT SLOPES	0.43

NOTE: SWMF #9 TO BE MAINTAINED AS A RIP-RAP OUTLET SEDIMENT TRAP UNTIL COMPLETION OF PHASE I.



NOTE: SGW #1 TO BE MAINTAINED AS A TEMPORARY SEDIMENT BASIN UNTIL COMPLETION OF PHASE I.

TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY

*Walter J. Miller*  
PLANNING DIRECTOR

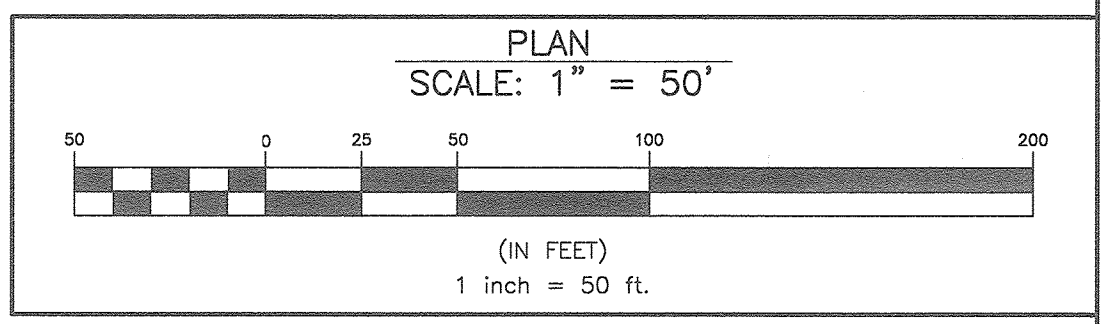
9-30-19  
DATE

**LEGEND**

SOILS CLASSIFICATION	GbC
SOILS DELINEATION	---
EXISTING CONTOURS	480
EXISTING WOODS LINE	~
PROPOSED WOODS LINE	~
EXISTING STRUCTURE	[Symbol]
PROPOSED STRUCTURE	[Symbol]

**SEDIMENT CONTROLS LEGEND**

STABILIZED CONSTRUCTION ENTRANCE WITH BERM	[Symbol]
SUPER SILT FENCE	SSF
SILT FENCE	SF
INLET PROTECTION	[Symbol]
STABILIZATION MATTING	ED-1/B-2
EARTH DIKE	[Symbol]
TEMPORARY STONE OUTLET STRUCTURE	TSOS
ROCK OUTLET PROTECTION	ROP
GABION INFLOW PROTECTION	[Symbol]
LIMIT OF DISTURBANCE	---



NOTE: SWMF #7 TO BE MAINTAINED AS A RIP-RAP OUTLET SEDIMENT TRAP UNTIL COMPLETION OF PHASE I.

THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF ANY WORK.

HOUSES MAY NOT BE CONSTRUCTED USING THIS PLAN.

THIS PLAN IS FOR EROSION & SEDIMENT CONTROL PURPOSES ONLY.

NO.	DATE	REVISION

**BENCHMARK ENGINEERS, INC.**  
ENGINEERS, LAND SURVEYORS, PLANNERS  
8480 BALTIMORE NATIONAL FREE A SUITE 315 ELLICOTT CITY, MARYLAND 21093  
(P) 410-465-8105 (F) 410-465-8444  
WWW.BE-CIVILENGINEERING.COM

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2021.

**THE VILLAGE AT TOWN SQUARE**  
PHASE 1: LOTS 1-86; OPEN SPACE LOTS 96-98  
PHASE 2: BULK PARCELS A, B, C, & D

OWNER/DEVELOPER:  
MANGIONE ENTERPRISES OF TURF VALLEY, LIMITED PARTNERSHIP  
1205 YORK ROAD, PENTHOUSE LUTHERVILLE, MARYLAND 21093  
410-825-8400

TVTS RETAIL, LLC.  
1205 YORK ROAD, PENTHOUSE LUTHERVILLE, MARYLAND 21093  
410-825-8400

TAX MAP: 16 - GRID: 19 - PARCEL: P10 8  
ELECTION DISTRICT NO. 3 - HOWARD COUNTY, MARYLAND  
ZONED: PGCC

**GRADING, SEDIMENT & EROSION CONTROL PLAN**

DATE: SEPTEMBER, 2019 BEI PROJECT NO. 2899  
SCALE: AS SHOWN SHEET 4 OF 4

DESIGN: DBT/MCR DRAFT: DBT/MCR