

GENERAL NOTES:

- ZONING: SITE IS BEING DEVELOPED UNDER MXD-3 REGULATIONS, PER ZB415M, APPROVED ON 2/20/04 AND ZB-1034M APPROVED 03/20/06 AND THE COMPREHENSIVE ZONING PLAN DATED 02/22/04. UNDERLYING ZONING IS RR-DEO AND THE COMP LITE ZONING REGULATION AMENDMENTS DATED 07/28/06.
- THE PREVIOUS DEPARTMENT OF PLANNING AND ZONING FILE NUMBERS: 5-01-11, 5-06-16, ZB-415M, ZB-1034M, PB-353, PB-370, MP-01-11, MP-03-02, MP-05-12, MP-07-12, MP-08-04, P-02-12, P-07-18, F-08-54, F-08-55, F-10-06, F-10-74, F-11-47, SDF-08-67, SDF-08-56, SDF-08-30, SDF-08-14, SDF-08-60, SDF-10-02, SDF-07-43, F-08-15, F-04-16, F-04-11, P-11-001, F-12-021, P-12-001, F-12-06, F-13-03.
- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- THE CEMETERY INVENTORY MAPS DO NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS. THE EXISTING CEMETERY ONCE LOCATED ON THE MESSEL PROPERTY WAS RELOCATED UNDER MP-05-12.
- THE SCENIC ROADS MAP DOES NOT INDICATE ANY SCENIC ROADS WITHIN OR ADJACENT TO THE PROJECT LIMITS.
- THIS PROPERTY WAS BROUGHT INTO THE METROPOLITAN DISTRICT ON JULY 2, 2001.
- THIS AREA OF DEVELOPMENT HAS BOTH PUBLIC AND PRIVATE ROADS, WHICH HAVE BEEN DEDICATED ON THE PLAN.
- SITE ANALYSIS
GROSS SITE AREA FOR PHASES I THROUGH 10b: 444.93 Acres ±
AREA OF THIS PLAN SUBMISSION: 432 Acres ±
DISTURBED AREA: 4.3 Acres ±
AREA OF OPEN SPACE: 0.00 Acres ±
AREA OF 100 YR FLOODPLAIN: 0.00 Acres ±
AREA OF ROADWAY (PUBLIC): 0.51 Acres ±
AREA OF ROADWAY (PRIVATE): 0.20 Acres ±
AREA OF RESIDENTIAL LOTS: 3.55 Acres ±
AREA OF OR LOTS/PARCELS: 0.00 Acres ±
AREA OF OPEN SPACE: 0.00 Acres ±
TOTAL UNITS (PER 5-06-16 ALLOCATIONS): 151 Units*
TOTAL NUMBER OF LOTS / PARCELS (THIS PLAN SUBMISSION): 54 Lots
NO. OF LOTS/PARCELS: 53 Lots
NO. OF SPA LOTS: 53 Lots
AREA OF NON-BUILDABLE PARCELS: 0.00 Acres ±
NO. NON-BUILDABLE PARCELS: 0 Parcels

- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PUBLIC ROADS AND PROPERTY LINES WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-06-16, PB-370 AND ZB-1034M.
- CONFLICTS BETWEEN STORM DRAIN AND STREET TREES WILL BE RESOLVED AT FINAL PLAN STAGE.
- ALL DIFFERING AND OTHER LANDSCAPING REQUIREMENTS/FEATURES WILL BE PROVIDED AT THE SITE DEVELOPMENT PLAN STAGE AND/OR THE FINAL PLAN STAGE AND WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE SKETCH PLAN CRITERIA.
- ALL PRIVATE UTILITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES 1 AND II. IT WAS DETERMINED THAT THIS PROJECT MET THE CRITERIA OUTLINED IN THE MORE STORMWATER MANAGEMENT REGULATIONS, GUIDANCE FOR IMPLEMENTATION FOR ACCEPTANCE OF THE 2000 DESIGN CRITERIA AND THROUGH THE ADMINISTRATIVE ADJUSTMENT PROCESS WAS GRANTED A WAIVER ON APRIL 26, 2011. THIS PLAN RECEIVED COMPREHENSIVE SKETCH PLAN APPROVAL (S 06-16) ON JANUARY 25, 2007. THIS PLAN IS ALSO SUBJECT TO THE EXPIRATION OF THIS WAIVER UNLESS ALL OF THE STORMWATER MANAGEMENT IS CONSTRUCTED BY MAY 4, 2011.

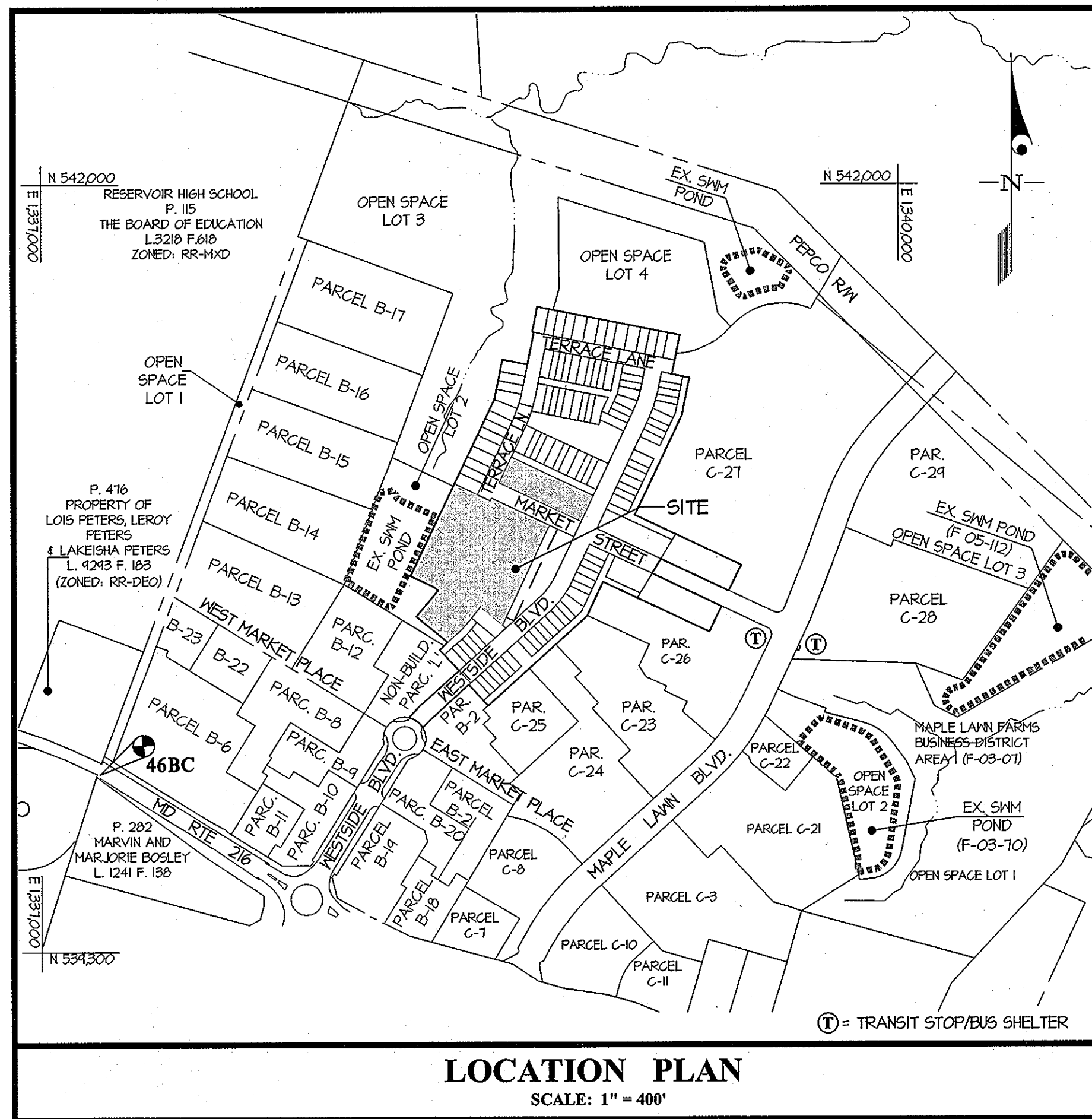
- MINIMUM OPEN SPACE REQUIREMENT FOR PROJECT IS 35%.
TOTAL OPEN SPACE REQUIRED: 151 Acres ± (35.0%)
TOTAL OPEN SPACE PROVIDED: 0.00 Acres ±
RECREATIONAL OPEN SPACE REQUIRED: 0.00 Acres ±
RECREATIONAL OPEN SPACE PROVIDED: 0.00 Acres ±
(SEE CHART-SHEET 2)
- EXCESS OPEN SPACE AREA FROM PREVIOUS PHASES IS BEING USED TO FULFILL THE MINIMUM OPEN SPACE REQUIREMENT FOR THIS PHASE.
- THE 151 UNITS WILL BE BROUGHT INTO THE PROJECT AS FOLLOWS:
53 FROM THE WESTSIDE DISTRICT - AREA 4 (P-13-002)
98 FROM THE GARDEN DISTRICT - AREA I (P-13-003)
- THE AREA WITHIN THE LIMITS OF THIS PLAN SUBMISSION HAS MASS GRADED UNDER F-08-55. THEREFORE, "C" SOILS WERE ASSUMED FOR THE DESIGN.
- CONTOURS SHOWN WERE TAKEN FROM AERIAL TOPOGRAPHY PREPARED DURING MARCH 1991 BY S.D. AND THEN RE-EDITED BY GRADE CHECKS PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. AND BASED ON 2005. BOUNDARY INFORMATION SHOWN IS BASED UPON A FIELD SURVEY PREPARED BY GUTSCHICK, LITTLE, AND WEBER, P.A. ON OR ABOUT JUNE, 2001.
- METLAND DELINEATION BY EXPLORATION RESEARCH, INC. APPROVED BY THE CORPS OF ENGINEERS JD 63781-3 ON 03/13/06. NOTICE OF INTENT TO ISSUE A PERMIT IS COVERED BY MDE TRACKING #01-NT-0344/200165421.
- THE 100-YEAR FLOOD PLAIN LIMITS WERE DETERMINED BY THE FLOODPLAIN STUDY PREPARED BY GUTSCHICK, LITTLE AND WEBER, P.A. AS PART OF P-05-01 AND P-07-18.
- HORIZONTAL AND VERTICAL DATUM IS BASED ON HOWARD COUNTY STATION 46BC AND 46BD.
- EXISTING UTILITIES WERE TAKEN FROM AVAILABLE HOWARD COUNTY RECORDS.
- PUBLIC WATER AND SEWER TO BE UTILIZED.
EXISTING WATER CONTRACT NUMBER: 24-4144-D
EXISTING SEWER CONTRACT NUMBER: 24-4144-D
- TRAFFIC STUDY WAS PREPARED AND SUBMITTED AS PART OF S 06-16, WHICH WAS SIGNED BY THE PLANNING BOARD ON 02/20/07.
- PERENNIAL STREAM BUFFERS ARE DETERMINED BY LAND USE ADJOINING THE OPEN SPACE (I.E. EMPLOYMENT = 50' BUFFER, RESIDENTIAL = 75' BUFFER). ALL USES ADJOINING AN INTERMITTENT STREAM = 50' BUFFER.
- STORMWATER MANAGEMENT, BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS, WILL BE SATISFIED BY TWO EXISTING REGIONAL FACILITIES. THE FACILITIES WERE CONSTRUCTED UNDER F-08-12 AND F-08-25. THE EXISTING FACILITY ON OPEN SPACE LOT 4 WILL BE PUBLICLY OWNED AND MAINTAINED. THE EXISTING FACILITY LOT 5 WILL BE PRIVATELY OWNED AND MAINTAINED BY THE COMMERCIAL OWNERS ASSOCIATION. THE REQUIRED REQUIREMENTS FOR THIS DEVELOPMENT WILL BE PROVIDED INTO TWO PRIVATELY OWNED AND MAINTAINED FACILITIES, ONE ON OPEN SPACE LOT 60 AND THE OTHER ON PARCEL C-27. BOTH FACILITIES WILL BE INFILTRATION TRENCHES. THE FACILITY ON OPEN SPACE LOT 60 WAS CONSTRUCTED UNDER F-12-21 AND THE FACILITY ON PARCEL C-27 WILL BE CONSTRUCTED AS PART OF A FUTURE SITE DEVELOPMENT PLAN.
- THE RESIDENTIAL LOTS, PARCELS AND EMPLOYMENT USE STRUCTURES DEVELOPED OR PROPOSED ON THE ORIGINAL 307 ACRE TRACT FOR MAPLE LAWN FARMS ARE GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS DEVELOPED UNDER 5-01-11, PB CASE 353 AND ZB CASE NO. 415M. HOWEVER, THE PROPOSED RESIDENTIAL AND EMPLOYMENT USES THAT ARE TO BE DEVELOPED UNDER THE AMENDED COP, S-06-16 AND ZB CASE NO. 1034M FOR THE FORMER MESSEL AND OLIVER PROPERTIES ARE SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2005 AND THE ZONING REGULATIONS PER COUNCIL BILL NO. 15-2003.
- AS STATED IN THE DECISION AND ORDER FOR THIS PLAN, THE PLANNING BOARD SHALL REVIEW AND APPROVE SITE DEVELOPMENT PLANS FOR ALL SINGLE FAMILY ATTACHED AND MULTI-FAMILY RESIDENTIAL USES, AND ALL EMPLOYMENT AND OPEN SPACE USE DEVELOPMENT FOR THE SUBJECT MAPLE LAWN FARMS PROJECT. ALL OF THE IMPROVEMENTS THAT WERE NECESSARY FOR THE MAPLE LAWN FARMS PROJECT TO BE IN COMPLIANCE WITH THE FINDINGS TEST EVALUATION RESTRICTIONS ENUNCIATED BY THE ZONING BOARD ON PAGE 22-23 OF ITS DECISION ON THE PDF HAVE BEEN CONSTRUCTED.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND 100 YEAR FLOOD PLAIN AREAS, EXCEPT AS PERMITTED UNDER MP-02-54, MP-03-02, AND MP-09-120.
- OPEN SPACE LOTS MAY CONTAIN ACTIVE RECREATIONAL FACILITIES AS ALLOWED BY THE APPROVED COMPREHENSIVE DEVELOPMENT CRITERIA.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZONING BOARD CASE NO. ZB-415M & ZB-1034M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (COMPREHENSIVE SKETCH PLAN S-01-11) AND NO. 370 (COMPREHENSIVE SKETCH PLAN, 5-06-16) AND THE DPZ AFFIDAVIT RE-SPACING LETTER DATED JULY 9, 2006.
- DEVELOPMENT FOR THIS PHASE WILL BE DONE IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED WITH 5-01-11, 5-06-16, PB-353, AND PB-370.
- THE TRANSPORTATION AND TRANSIT DESIGN WILL BE IMPLEMENTED AS OUTLINED IN THE PETITIONERS' EXHIBIT 59 AS SUBMITTED AS PART OF ZB415M.
- A NOISE STUDY WAS PREPARED BY WILDMAN & ASSOCIATES FOR S 01-11, (APPROVED BY PLANNING BOARD ON AUGUST 8, 2001), AND LEROY & ASSOCIATES FOR S 06-16 (APPROVED BY PLANNING BOARD ON FEBRUARY 20, 2007).
- THERE ARE NO MODERATE INCOME HOUSING UNITS WITHIN THE LIMITS OF THIS SUBMISSION.
- FOR SOIL TYPES, DESCRIPTIONS AND LIMITATIONS, SEE S 01-11, AND S 06-16.
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR PHASE JOB OF THIS PROJECT HAS BEEN SATISFIED BY P-12-002, F-13-01 AND F-13-03. NO FOREST CONSERVATION SURETY IS NECESSARY WITH THIS SUBMISSION.

GENERAL NOTES (cont.):

- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PUBLIC ROADS AND PROPERTY LINES WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-06-16, PB-370 AND ZB-1034M.
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PRELIMINARY PLAN MAPLE LAWN FARMS WESTSIDE DISTRICT - AREA 4

LOTS 118 thru 170 and COMMON OPEN AREA LOT 171

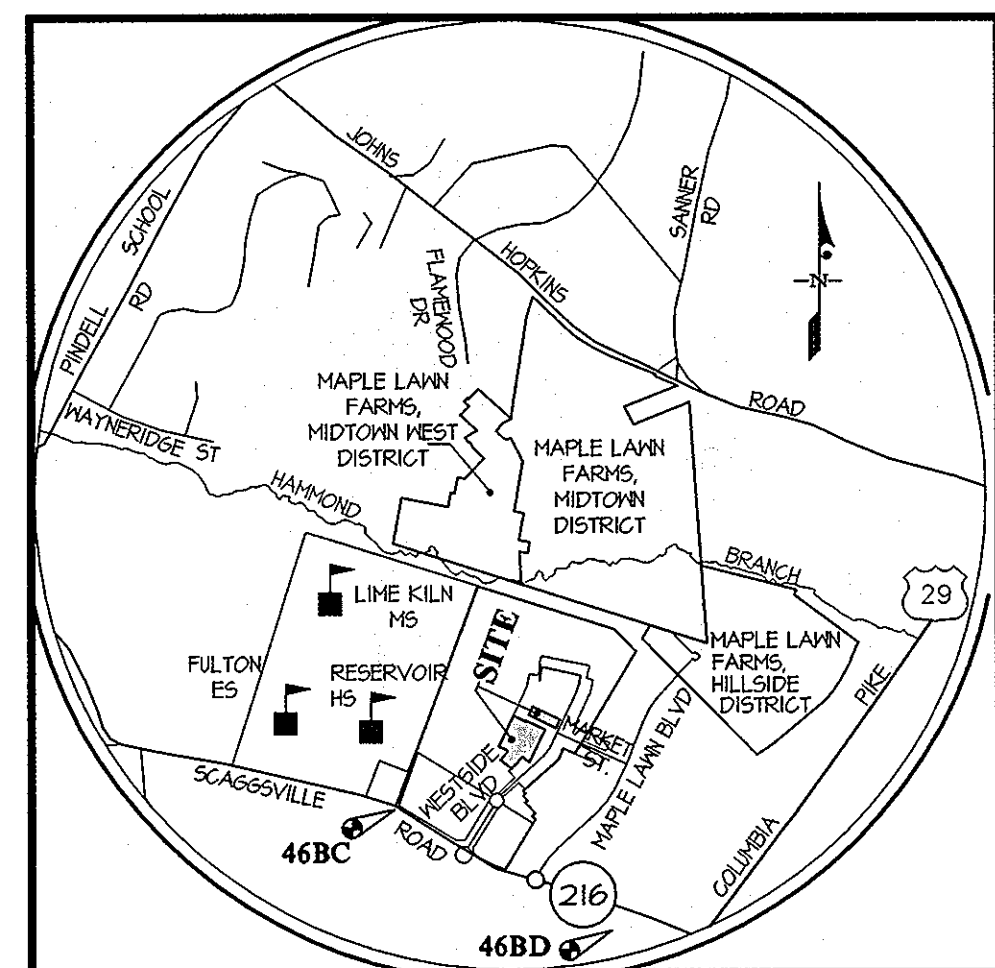


LEGEND

- 400 --- EXISTING CONTOUR
- 400 --- PROPOSED CONTOUR
- EXISTING TREELINE
- EX S/S --- EXISTING SANITARY SEWER
- EX W/L --- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- PROPOSED STORM DRAIN
- 1 --- STRUCTURE NUMBER
- CONCRETE SIDEWALK
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED BIUMINOUS CURB
- FUTURE CURB LINE
- FP --- 100 YEAR FLOODPLAIN
- SB --- STREAM BUFFER
- FOREST CONSERVATION EASEMENT
- BOTTOM OF STREAM
- CENTERLINE OF STREAM
- STREET SIGNAGE
- LIMIT OF PROPOSED SUBDIVISION
- LIMIT OF DISTURBANCE / SUBMISSION
- DN --- DRY WELL

SHEET INDEX

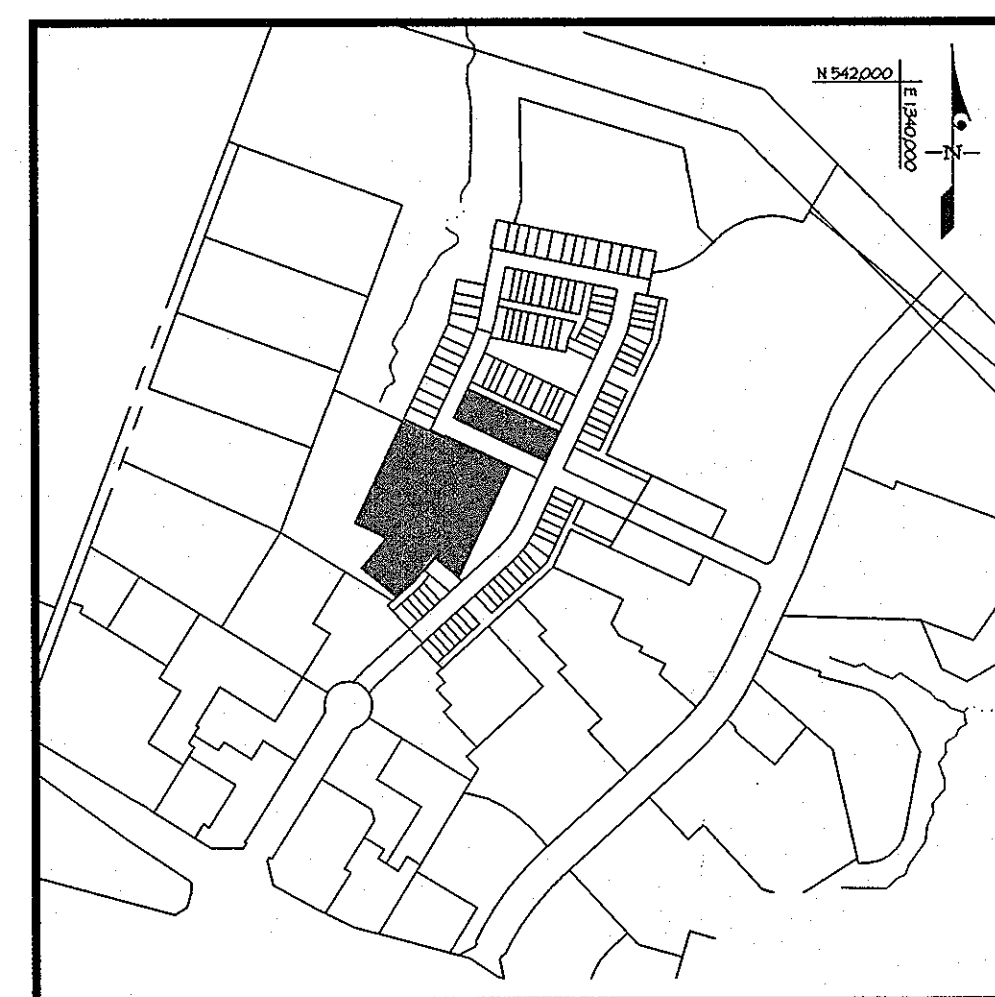
- COVER SHEET
- OVERALL PROJECT CRITERIA AND INFORMATION
- PRELIMINARY PLAN
- PRELIMINARY STREET GRADE - TERRACE LANE
- PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN
- PRELIMINARY STORM DRAIN DRAINAGE AREA MAP
- PRELIMINARY LANDSCAPE PLAN



VICINITY MAP
SCALE: 1" = 2000'

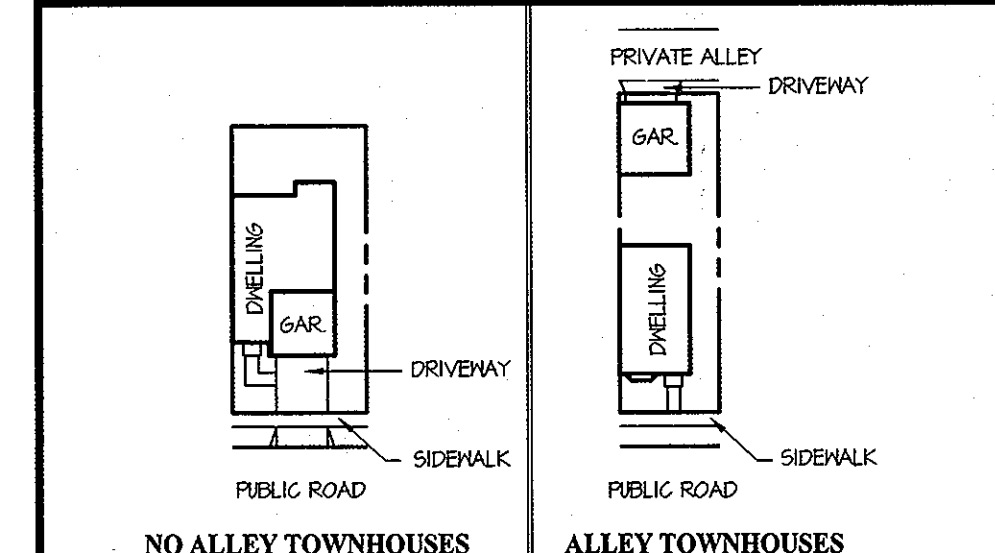
BENCHMARKS

46BC ELEV. = 412.16 N = 534,925.18 E = 1331,205.71 STANDARD DISC ON CONCRETE MONUMENT	46BD ELEV. = 431.17 N = 530,656.76 E = 1339,461.55 STANDARD DISC ON CONCRETE MONUMENT
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LAND USE MAP
SCALE: 1" = 600'

SINGLE FAMILY ATTACHED (432 AC.)



TOWNHOUSE TYPICAL FOOTPRINT
SCALE: 1" = 60'

LOT INFORMATION

LOT TYPE	LOTS	MINIMUM LOT SIZE & WIDTH AT FRONT BRL	MINIMUM SETBACK REQUIREMENTS
TOWNHOUSE (OR - OTHER RESIDENTIAL)	118-170	SEE SHEET 2	SEE SHEET 2

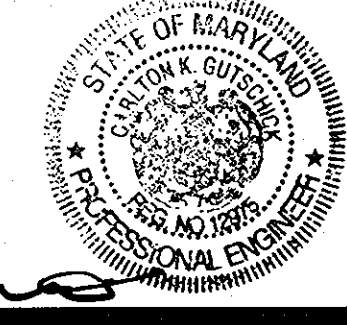
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
Mark J. Bennett
PLANNING DIRECTOR DATE 4/14

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4106

DATE	REVISION	BY	APPR.

PREPARED FOR:
MAPLE LAWN FARMS I, LLC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: MARK BENNETT
410-484-8400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.
EXPIRATION DATE: MAR 26, 2014
3-27-13



ELECTION DISTRICT No. 5

COVER SHEET
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 4
LOTS 118 thru 170 and COMMON OPEN AREA LOT 171
(A RE-SUBDIVISION OF WESTSIDE DISTRICT AREA 4 NON-BUILDABLE PARCELS "U" AND "V" P/O TAX PARCEL 124 AND BUSINESS DISTRICT AREA 1 PARCEL C17)
SCALE AS SHOWN
ZONING MXD-3
G. L. W. FILE NO. 12002
DATE MARCH 2013
TAX MAP - GRID 41-21/46-3
SHEET 1 OF 7

THE LIMITS OF THIS PRELIMINARY PLAN COVERS PART OF THE DEVELOPMENT PROPOSED BY S-06-16 AS ANNUAL PHASE 10b (ALLOCATION YEAR 2015)

SUMMARY OF DEVELOPMENT CRITERIA (PER S-06-16)

OPEN SPACE (OS)

PERMITTED USES

ANY USES WHICH DO NOT INVOLVE ANY EXTENSIVE COVERAGE OF LAND WITH STRUCTURES, INCLUDING, BUT NOT LIMITED TO, PARKS, PLAYING FIELDS, PLAYGROUNDS, TENNIS, BASKETBALL, AND ALL PURPOSE COURTS, GOLF COURSES, POOLS, PATHWAYS, ANY OTHER OUTDOOR RECREATIONAL USES, AND ENVIRONMENTAL FACILITIES SUCH AS STORM WATER MANAGEMENT FACILITIES OR WATER QUALITY FACILITIES. IN ADDITION, BUILDINGS AND PARKING LOTS SHALL BE PERMITTED IF THEY ARE FOR THE PUBLIC OR FOR RESIDENTS AND PEOPLE WORKING WITHIN THE SUBJECT PROPERTY AND ARE OWNED BY A HOMEOWNERS' OR BUSINESS OWNERS' ASSOCIATION, OR ARE FOR NON-PROFIT USES, SUCH AS A SCHOOL, LIBRARY, FIRE AND RESCUE STATION, POST OFFICE, MUSEUM, ART GALLERY, NATURE CENTER, OR COMMUNITY BUILDING. PARKING LOTS SHALL BE PERMITTED ONLY AS AN ACCESSORY USE TO AN APPROVED USE ON THE SAME LOT. OPEN LAND WITHIN DESIGNATED RESIDENTIAL LAND USE AREAS SHALL BE CONSIDERED OPEN SPACE IF IT IS HELD FOR THE COMMON USE OF PERSONS RESIDING IN THE VICINITY OF SUCH LAND.

OTHER PERMITTED USES

- PUBLIC OR PRIVATE CHILD CARE CENTER.
- COMMUNITY CENTER FOR RECREATION OR COMMUNITY ACTIVITIES INCLUDING BUT NOT LIMITED TO:
 - THE PRESENTATION AND PERFORMANCE OF OUTDOOR COMMUNITY ACTIVITIES, PUBLIC OR PRIVATE, SUCH AS MUSICAL AND THEATRICAL PERFORMANCES, OUTDOOR PICNICS, ART SHOWS, AND GARNIVALS.
 - WHITE ELEPHANT SALES, GAKE SALES, DANCES, AND SIMILAR ACTIVITIES.
 - OPERATION OF A COMMUNITY HALL INCLUDING LEASING OF SAME FOR PUBLIC OR PRIVATE USE.
- OPERATION OF INCIDENTAL COMMERCIAL ACTIVITIES SUCH AS A SHACK BAR.
- PUBLIC OR PRIVATE TENNIS COURTS, TOGETHER WITH SUCH INCIDENTAL COMMERCIAL ACTIVITIES AS ARE CONSISTENT WITH PRIMARY USE OF THE LOT AS A TENNIS FACILITY.
- BUILDINGS AND PARKING LOTS WHICH ARE OWNED AND USED BY ANY GOVERNMENTAL ENTITY OR HOMEOWNERS' ASSOCIATION OR ARE USED FOR NON-PROFIT PURPOSES INCLUDING BUT NOT LIMITED TO:
 - COMMUNITY LIBRARY FACILITY.
 - TEEN CENTER BUILDING INCLUDING INCIDENTAL SALES ON THE PREMISES OF FOOD AND BEVERAGES.
 - BUILDINGS USED PRIMARILY FOR RELIGIOUS ACTIVITIES, HALL ROOM, POST OFFICE, POOL HOUSE, MEETING HALL, EXERCISE FACILITY, LEASING OFFICES, ADMINISTRATIVE OFFICES, INCLUDING INCIDENTAL SALES ON THE PREMISES OF FOOD AND BEVERAGES.
 - PARK STRUCTURES INCLUDING BUT NOT LIMITED TO GAZEBOS, PAVILIONS, AMPHITHEATER SEATING, DECKS, FOUNTAINS, WALLS, HARDSCAPE PLAZAS, TRAILS, PATIOS, ETC.
 - UTILITY FACILITIES.
 - ENVIRONMENTAL FACILITIES SUCH AS DRAINAGE, STORMWATER MANAGEMENT FACILITIES, WETLAND MITIGATION, AFFORESTATION OR REFORESTATION.
 - ACTIVITY AREAS SUCH AS TOT LOTS, VOLLEYBALL, AND MULTI-PURPOSE COURTS, PICNIC AREAS, ETC.
 - SIGN AND ENTRY FEATURES MAY BE LOCATED AT ANY LOCATION IN A SETBACK, IF APPROVED BY THE PLANNING BOARD AND DOES NOT INTERFERE WITH SIGHT DISTANCE ALONG PUBLIC ROADS.

LOT AREA

NO MINIMUM/MAXIMUM LOT SIZES APPLY WITHIN OPEN SPACE LAND USE AREAS EXCEPT THAT 35% OF THE GROSS ACRES OF ALL RECORDED LAND MUST BE OPEN SPACE AND 10% OF THE OPEN SPACE MUST BE AVAILABLE FOR ACTIVE RECREATION.

SETBACKS

BUILDINGS OR STRUCTURES WITHIN OPEN SPACE LAND USE AREAS SHALL BE A MINIMUM OF 10' FROM ANY RIGHT-OF-WAY OR PROPERTY LINE, EXCEPT THAT PARK LIKE STRUCTURES SUCH AS GAZEBOS, PAVILIONS, BENCHES, FOUNTAINS AND SIMILAR STRUCTURES MAY BE LOCATED ANYWHERE WITHIN AN OPEN SPACE LOT, EXCEPT, HOWEVER, THAT BUILDINGS AND STRUCTURES MAY BE PERMITTED ANYWHERE WITHIN OPEN SPACE LAND USE AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

HEIGHT

THERE SHALL BE NO HEIGHT LIMITATIONS FOR BUILDINGS OR STRUCTURES IN OPEN SPACE LAND USE AREAS, PROVIDED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

COVERAGE

NO COVERAGE REQUIREMENT IS IMPOSED UPON LOTS WITHIN OPEN SPACE LAND USE AREAS.

PARKING

HEALTH CLUB SWIMMING POOL, COMMUNITY TENNIS COURT
100 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
1.2 SPACES PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME BY THE HEALTH DEPT.
2.0 SPACES PER COURT

SUCH PARKING AREAS MAY BE IN PARKING LOTS, PARALLEL SPACES LOCATED ON PAVED AREAS IN AND/OR ADJACENT TO PUBLICLY MAINTAINED ROADWAYS, ADJACENT TO PUBLIC OR PRIVATE SERVICE DRIVES OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS OR SERVICE DRIVES. REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTIONS 133D.2 (PARKING STUDIES), AND 133E.1 (SHARED PARKING).

ACCESSORY USES

ANY USE NORMALLY AND CUSTOMARILY INCIDENTAL TO ANY USE PERMITTED IN ANY LAND USE AREA SHALL BE PERMITTED.

SINGLE FAMILY DETACHED (SFD)

PERMITTED USES

ALL LOTS WITHIN SINGLE FAMILY DETACHED LAND USE AREAS SHALL BE USED ONLY FOR ONE SINGLE FAMILY DETACHED DWELLING, OR ONE ZERO LOT LINE DWELLING UNIT PER LOT. PRIVATE RECREATIONAL FACILITIES, SUCH AS SWIMMING POOLS, TENNIS COURTS AND BASKETBALL COURTS RESERVED FOR THE ON-SITE RESIDENTS AND THEIR GUESTS ARE ALSO PERMITTED. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

ANY OF THE PERMITTED USES MAY INCLUDE HOME OCCUPATIONS WITHIN THE PRINCIPAL STRUCTURE.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE RR DISTRICT, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE SINGLE FAMILY DETACHED LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN.

- ANTIQUE SHOPS, ART GALLERIES AND CRAFT SHOPS
- BED AND BREAKFAST INNS
- CONCERT OR RECITAL ESTABLISHMENTS
- HOME OCCUPATIONS (ALSO SEE SECTION 1202.6.I FOR ACCESSORY USE PROVISIONS)
- CHARITABLE AND PHILANTHROPIC INSTITUTIONS
- HOMES-NURSING HOMES, GROUP CARE FACILITIES, CHILDREN'S HOMES
- ATHLETIC FACILITIES-ATHLETIC FIELDS, COMMERCIAL OR COMMUNITY SWIMMING POOLS, TENNIS CLUBS AND SIMILAR USES
- COUNTRY CLUBS AND GOLF COURSES
- PUBLIC UTILITY USES, LIMITED TO: (A) UTILITY SUBSTATION, (B) ABOVE GROUND PIPELINES, (C) PUMPING STATIONS, (D) TELEPHONE EXCHANGES, (E) OTHER UTILITY DEVICES SUCH AS TRANSFORMERS, SWITCH GEAR, TELEPHONE CABINETS, ETC.
- ENTRANCE FEATURES FOR SUBDIVISIONS
- ACCESSORY DWELLING UNITS (SUCH UNITS SHALL NOT COUNT TOWARDS THE MAXIMUM NUMBER OF DWELLING UNITS, SUCH UNITS SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE PRINCIPAL DWELLING UNIT; ALSO SEE SECTION 104).

FOR ALL LOTS AND PARCELS WHICH ARE TECHNICALLY IN THE SFD LAND USE, BUT LATER RECORDED AS ADDITIONAL OPEN SPACE (E.G. NCOS 4 WALKWAY PARCELS) THE PROVISIONS OF THE OPEN SPACE CRITERIA SHALL BE USED IN LIEU OF THE SFD CRITERIA.

DENSITY

AVERAGE DENSITY SHALL NOT EXCEED 2.8 DWELLING UNITS PER GROSS ACRE BASED ON THE ENTIRE AREA OF THE SINGLE FAMILY DETACHED LAND USE.

SUMMARY OF DEVELOPMENT CRITERIA (CONTINUED)

LOT SIZE AND WIDTH

LOT TYPE	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FRONT BRL
Cottage	2500 Square Feet	32'
Manor	4000 Square Feet	48'
Villa	5400 Square Feet	54'
Estate	20000 Square Feet	120'

*EXCEPT FOR LOTS IDENTIFIED ON AMENDED CSP, WHICH SHALL NOT BE LESS THAN 100' AT FRONT BRL.

LOT TYPE SHALL BE DESIGNATED ON FINAL PLANS FOR ALL SINGLE FAMILY DETACHED AREAS. ESTATE LOTS SHALL BE LOCATED AS SHOWN ON THIS PLAN.

STRUCTURE SETBACKS

THE MINIMUM REQUIRED SETBACKS FOR SINGLE FAMILY DETACHED STRUCTURES SHALL BE AS FOLLOWS:

LOT TYPE	MIN. FRONT SETBACK	MIN. SIDE SETBACK	MINIMUM REAR SETBACK	
			TO PRINCIPAL STRUCTURE	TO REAR GARAGE (ATTACHED OR DETACHED) OR TO ACCESSORY STRUCTURE
Cottage	10'	4' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	3'
Manor	12'	6' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	3'
Villa	12'	6' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	3'
Estate	20'	20' EXCEPT FOR GARAGE WHICH MAY BE 10'	20'	20'

A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (I) NO PART OF THE DWELLING SHALL ENCRUCH ON THE ADJOINING LOT. (II) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACES BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 3'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.

HABITABLE SPACE AND/OR OPEN/ENCLOSED DECKS MAY BE BUILT OVER ATTACHED GARAGES. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN.

OTHER DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.

FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROW) SHALL BE A MINIMUM OF 30' APART.

STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

EXCEPTIONS TO SETBACK REQUIREMENTS

- FORCHES MAY ENCRUCH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. FORCHES MAY ENCRUCH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, FORCHES MAY ENCRUCH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES.
- STOOPS AND STEPS MAY ENCRUCH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
- GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES. AN ARCHWAY OR PIERS DEFINING A LEAD WALK MAY BE UP TO 4'.
- MASONRY VENEERS MAY ENCRUCH A MAXIMUM OF SIX INCHES INTO ANY REQUIRED SETBACK.

ACCESS

PERMANENT ACCESS TO LOTS MAY BE PROVIDED BY MEANS OF ALLEYS, USING PERPETUAL RECIPROCAL EASEMENTS OR OTHER ACCEPTABLE LEGAL PROVISIONS.

BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT ON ALL LOTS SHALL BE 30' TO THE MIDPOINT OF THE ROOF. HEIGHT MEASURED FROM THE HIGHEST ADJOINING GROUND ELEVATION ADJACENT TO THE BUILDING, EXCEPT AS OTHERWISE APPROVED ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD.

COVERAGE

LOT COVERAGE FOR ESTATE LOTS SHALL NOT EXCEED 50 PERCENT, INCLUDING PRINCIPAL AND ACCESSORY STRUCTURES BUT NOT INCLUDING SIDEWALKS, PAVED PARKING AREAS, DRIVEWAYS, PORCHES, STOOPS, STEPS, DECKS, PATIOS, IN-GROUND POOLS, LANDSCAPING AND SIMILAR STRUCTURES.

PARKING

NO LESS THAN TWO PARKING SPACES SHALL BE PROVIDED FOR EACH SINGLE FAMILY DETACHED DWELLING UNIT. NO LESS THAN ONE PARKING SPACE SHALL BE PROVIDED FOR EACH ACCESSORY DWELLING UNIT. SUCH SPACES MAY CONSIST OF GARAGE, DRIVEWAY AND/OR SIMILAR OFF-STREET PARKING SPACES. VISITOR PARKING AND OVERFLOW PARKING MAY BE ACCOMMODATED AS ON-STREET PARKING WITHIN THE PUBLIC RIGHT-OF-WAY.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTION 133E.1 (SHARED PARKING).

OTHER RESIDENTIAL (OR)

PERMITTED USES

APARTMENT DWELLINGS (INCLUDING STACKED TOWNHOUSES AND OTHER ARCHITECTURAL LAYOUTS WITH BOTH HORIZONTAL AND VERTICAL PARTY WALLS), SINGLE-FAMILY ATTACHED DWELLINGS, LIVE-WORK UNITS, SEMI-DETACHED DWELLINGS AND TWO-FAMILY DWELLINGS SHALL BE PERMITTED WITHIN OTHER RESIDENTIAL LAND USE AREAS, MIDTOWN PARCEL A-1 AND THE OR AREA OF THE WESTSIDE DISTRICT MAY CONTAIN LIVE-WORK UNITS.

STACKED TOWNHOUSES HAVE THE APPEARANCE OF CONVENTIONAL TOWNHOUSES, BUT ARE ACTUALLY SEPARATED BOTH HORIZONTALLY AND VERTICALLY. THE UNITS MAY OR MAY NOT HAVE INTEGRAL AT-GRADE GARAGES.

LIVE-WORK UNITS ARE VERTICALLY INTEGRATED BUILDING TYPES, WHERE THE FIRST FLOOR (AND BASEMENT, IF PROVIDED) SHALL BE UTILIZED AS COMMERCIAL SPACE AND THE UPPER LEVEL(S) SHALL BE RESIDENTIAL USES ONLY.

UPPER FLOORS OF ALL OTHER RESIDENTIAL STRUCTURES SHALL BE RESIDENTIAL USE ONLY.

APARTMENT BUILDING TYPES MAY ALSO INCLUDE ACCESSORY USES, SUPPORT SERVICES, AND AMENITIES INCLUDING BUT NOT LIMITED TO EXERCISE FACILITY, ADMINISTRATIVE OFFICES, HALL ROOM, MEETING ROOMS, ETC. WITH NO LIMITATIONS IN SIZE. COMMERCIAL RETAIL SPACE ON THE FIRST FLOOR OF AN APARTMENT BUILDING MAY NOT EXCEED 1200 SQUARE FEET OR 10% OF THE GROSS FIRST FLOOR AREA, WHICHEVER IS GREATER. THIS CRITERIA IS NOT MEANT TO PROMOTE VERTICALLY INTEGRATED USES WHERE THE FIRST FLOOR IS COMMERCIAL/RETAIL AND THE UPPER FLOORS RESIDENTIAL.

OTHER PERMITTED USES INCLUDE PRIVATE RECREATIONAL FACILITIES SUCH AS TOT LOTS, SWIMMING POOLS, BASKETBALL COURTS AND TENNIS COURTS, RESERVED FOR THE USE OF A SPECIFIC PROJECT'S RESIDENTS AND THEIR GUESTS. SUCH FACILITIES MAY BE LOCATED WITHIN CONDOMINIUM DEVELOPMENTS AS WELL AS WITHIN COMMUNITIES WHERE ALL PROPERTIES ARE INCLUDED WITHIN RECORDED COVENANTS AND LIENS, WHICH GOVERN AND PROVIDE FINANCIAL SUPPORT FOR OPERATIONS OF THE FACILITIES.

ANY OF THE PERMITTED USES MAY INCLUDE HOME OCCUPATIONS WITHIN THE PRINCIPAL STRUCTURE.

ACCESSORY STRUCTURES AND USES ARE ALSO PERMITTED FOR ALL OTHER RESIDENTIAL LAND USE AREAS.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE RR DISTRICT, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE OTHER RESIDENTIAL LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN.

- ANTIQUE SHOPS, ART GALLERIES AND CRAFT SHOPS
- BED AND BREAKFAST INNS
- CONCERT OR RECITAL ESTABLISHMENTS
- HOME OCCUPATIONS (ALSO SEE SECTION 1202.6.I FOR ACCESSORY USE PROVISIONS)
- CHARITABLE AND PHILANTHROPIC INSTITUTIONS
- HOMES-NURSING HOMES, GROUP CARE FACILITIES, CHILDREN'S HOMES
- ATHLETIC FACILITIES-ATHLETIC FIELDS, COMMERCIAL OR COMMUNITY SWIMMING POOLS, TENNIS CLUBS AND SIMILAR USES
- COUNTRY CLUBS AND GOLF COURSES
- PUBLIC UTILITY USES, LIMITED TO: (A) UTILITY SUBSTATION, (B) ABOVE GROUND PIPELINES, (C) PUMPING STATIONS, (D) TELEPHONE EXCHANGES, (E) OTHER UTILITY DEVICES SUCH AS TRANSFORMERS, SWITCH GEAR, TELEPHONE CABINETS, ETC.
- ENTRANCE FEATURES FOR SUBDIVISIONS
- ACCESSORY DWELLING UNITS (SUCH UNITS SHALL NOT COUNT TOWARDS THE MAXIMUM NUMBER OF DWELLING UNITS, SUCH UNITS SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE PRINCIPAL DWELLING UNIT; ALSO SEE SECTION 104).

FOR ALL LOTS AND PARCELS WHICH ARE TECHNICALLY IN THE OR LAND USE, BUT LATER RECORDED AS ADDITIONAL OPEN SPACE (E.G. NCOS 4 WALKWAY PARCELS) THE PROVISIONS OF THE OPEN SPACE CRITERIA SHALL BE USED IN LIEU OF THE OR CRITERIA.

DENSITY

AVERAGE DENSITY SHALL NOT EXCEED 14.0 UNITS PER GROSS ACRE BASED ON THE ENTIRE AREA OF OTHER RESIDENTIAL LAND USE.

LOT SIZE

NO MINIMUM OR MAXIMUM LOT SIZE IS ESTABLISHED FOR THE OTHER RESIDENTIAL LAND USE AREAS.

SUMMARY OF DEVELOPMENT CRITERIA (CONTINUED)

STRUCTURE SETBACKS THE MINIMUM REQUIRED SETBACKS FOR OTHER RESIDENTIAL STRUCTURES SHALL BE AS FOLLOWS:

LOT TYPE	MIN. FRONT SETBACK	MIN. SIDE SETBACK	MINIMUM REAR SETBACK	
			TO PRINCIPAL STRUCTURE	TO REAR GARAGE (ATTACHED OR DETACHED) OR TO ACCESSORY STRUCTURE
SINGLE FAMILY ATTACHED LIVE-WORK	0'	0'	20'	3'
SEMI-DETACHED	10'	4' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	3'
TWO-FAMILY	10'	4' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	3'
APARTMENT	10'	0' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	20'

HABITABLE SPACE AND/OR OPEN/ENCLOSED DECKS MAY BE BUILT OVER ATTACHED GARAGES. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN. WHERE THE REAR SETBACK LINE IS BEHIND THE REAR PROPERTY LINE, THE REAR SETBACK DISTANCES SHALL BE REDUCED TO 10' AND THE REAR SETBACK FOR DECKS MAY BE REDUCED TO 3'.

OTHER DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.

FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROW) SHALL BE A MINIMUM OF 30' APART.

BETWEEN APARTMENT BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK, 50' FRONT TO BACK AND 15' FOR ALL OTHER CONDITIONS. BETWEEN SINGLE-FAMILY ATTACHED BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK, EXCEPT ACROSS AN ALLEY, 50' BACK TO FRONT AND 6' (OR AS REQUIRED BY THE BUILDING CODE) FOR ALL OTHER CONDITIONS.

IN THE HILLSIDE DISTRICT, THE FRONT AND SIDE SETBACKS FROM MAPLE LAWN BLVD. MAY BE REDUCED TO 5'. ON PARCEL A-1 IN MIDTOWN, THE FRONT SETBACK FOR APARTMENTS, ALONG MAPLE LAWN BLVD. MAY BE REDUCED TO 10'.

STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

EXCEPTIONS TO SETBACK REQUIREMENTS

- FORCHES MAY ENCRUCH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. FORCHES MAY ENCRUCH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, FORCHES MAY ENCRUCH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES.
- STOOPS AND STEPS MAY ENCRUCH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
- GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES. AN ARCHWAY OR PIERS DEFINING A LEAD WALK MAY BE UP TO 4'.
- MASONRY VENEERS MAY ENCRUCH A MAXIMUM OF 6" INTO ANY REQUIRED SETBACK AREA.

ACCESS

PERMANENT ACCESS TO LOTS MAY BE PROVIDED BY MEANS OF ALLEYS, USING PERPETUAL RECIPROCAL EASEMENTS OR OTHER ACCEPTABLE LEGAL PROVISIONS.

BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT IN THE OTHER RESIDENTIAL LAND USE AREAS SHALL BE 50' FOR ATTACHED, SEMI-DETACHED, OR TWO-FAMILY DWELLING UNITS, AND 60' FOR LIVE-WORK UNITS AND APARTMENTS. IN EACH CASE TO THE MIDPOINT OF THE ROOF HEIGHT MEASURED FROM THE HIGHEST ADJOINING GROUND ELEVATION ADJACENT TO THE BUILDING, EXCEPT AS OTHERWISE APPROVED ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD.

COVERAGE

NO COVERAGE REQUIREMENTS ARE IMPOSED IN OTHER RESIDENTIAL LAND USE AREAS.

PARKING

NO LESS THAN TWO PARKING SPACES SHALL BE PROVIDED FOR EACH SINGLE FAMILY ATTACHED, LIVE-WORK, SEMI-DETACHED AND TWO-FAMILY DWELLING UNIT. NO LESS THAN ONE AND ONE-HALF PARKING SPACES SHALL BE PROVIDED FOR EACH APARTMENT UNIT. SUCH SPACES MAY CONSIST OF GARAGE, DRIVEWAY AND/OR SIMILAR OFF-STREET PARKING SPACES. NO LESS THAN ONE PARKING SPACE SHALL BE PROVIDED FOR EACH ACCESSORY DWELLING UNIT. SUCH PARKING SHALL BE PROVIDED IN PROXIMITY TO SUCH DWELLING UNIT AND MAY BE INCLUDED AS PART OF A COMMON PARKING AREA PROVIDED FOR RESIDENTS, TENANTS, AND GUESTS. PRINCIPAL STRUCTURES SHALL BE NO CLOSER THAN 15' TO THE CURB OF COMMON PARKING AREAS WITH HEAD-IN OR ANGLED PARKING, AND NO CLOSER THAN 10' TO THE CURB FOR PARALLEL PARKING, UNLESS SUFFICIENT LANDSCAPING IS PROVIDED TO JUSTIFY A REDUCTION IN THE SETBACK. PER THE HOWARD COUNTY LANDSCAPE MANUAL, LIVE-WORK UNITS ARE EXEMPT FROM THIS SETBACK REQUIREMENT. VISITOR PARKING AND OVERFLOW PARKING MAY ALSO BE ACCOMMODATED AS ON STREET AND PARALLEL PARKING WITHIN THE PUBLIC RIGHT-OF-WAY.

SUCH PARKING AREAS MAY BE PARALLEL SPACES LOCATED ON PAVED AREAS IN AND/OR ADJACENT TO PUBLICLY MAINTAINED ROADWAYS, ADJACENT TO PUBLIC OR PRIVATE SERVICE DRIVES OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS OR SERVICE DRIVES.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTION 133E.1 (SHARED PARKING).

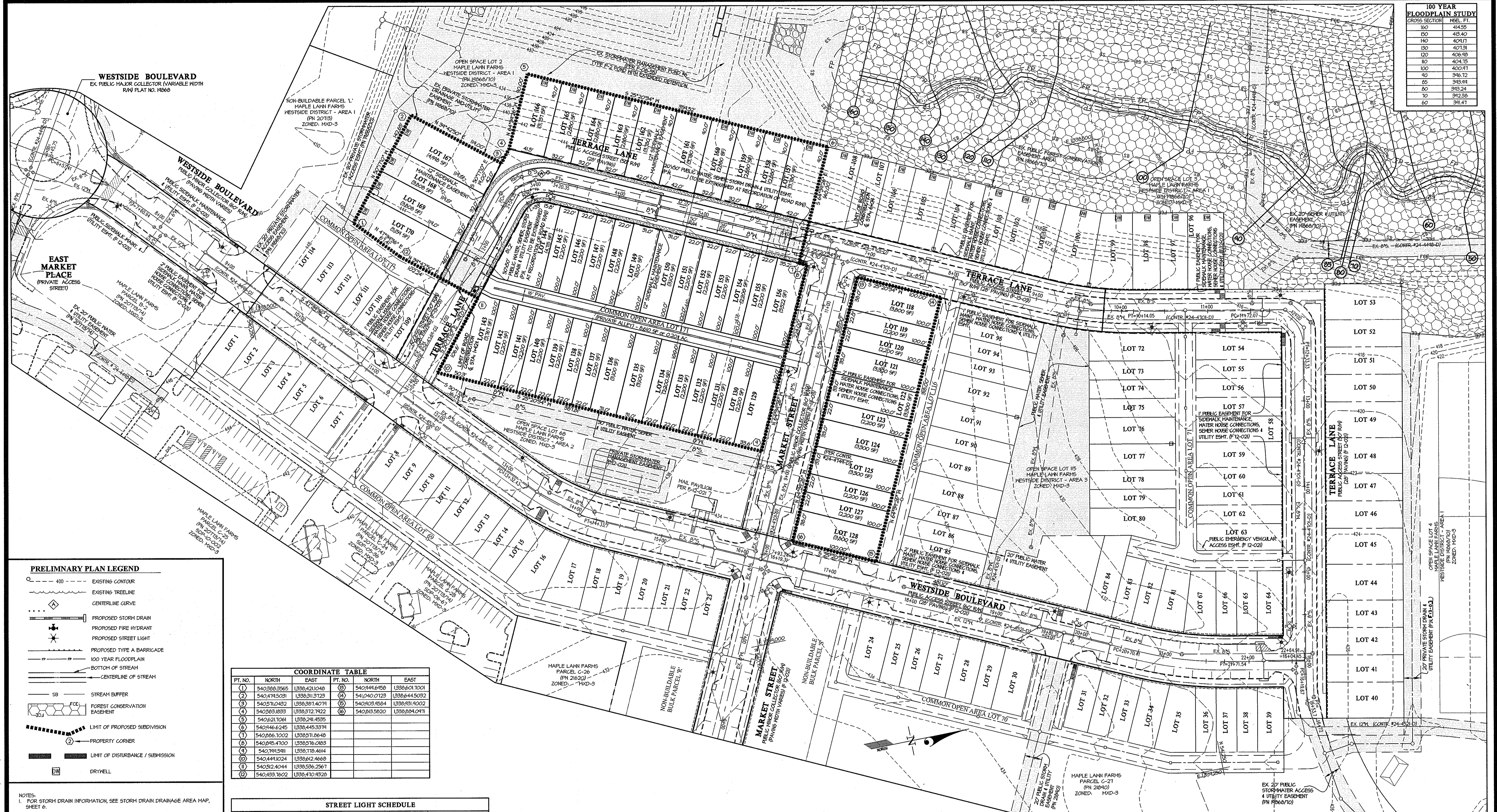
HOUSING FOR ELDERLY AND/OR HANDICAPPED PERSONS

IN THE EVENT A FACILITY QUALIFIES UNDER FEDERAL, STATE OR COUNTY PROGRAMS INTENDED TO PROMOTE HOUSING FOR THE ELDERLY OR HANDICAPPED, THE PARKING REQUIREMENTS MAY BE MODIFIED TO PROVIDE FOR FOUR PARKING SPACES FOR EVERY TEN DWELLING UNITS PARTICIPATING IN SUCH PROGRAM. IN THE EVENT THE UNITS ARE WITHDRAWN FROM SUCH A HOUSING PROGRAM, THE OWNER OF THE FACILITY SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF PLANNING AND ZONING AND SHALL CONSTRUCT, PRIOR TO FURTHER OCCUPANCY OF THE WITHDRAWN UNITS, SUCH ADDITIONAL PARKING SPACES AS ARE NECESSARY TO PROVIDE ONE AND ONE-HALF PARKING SPACE FOR EACH DWELLING UNIT WITHDRAWN.

OVERALL TRACKING CHART

PHASE NO.	FILE REF. NO.	GROSS ACRES	NON-BUILDABLE					S.F.D. AC. (%)	O.R. AC. (%)	EHP. AC. (%)	O.S. AC. (%)	PUB. RD.			SPD UNITS	O.R. UNITS (APT./S.F.A.)	S.F.D. DENSITY	O.R. DENSITY	EHP. BLDG. AREA	EHP. F.A.R.
			SF	OR	EHP	OS	%					SF	OR	EHP						
1	F-03-01	51.98	0.00	0.00	0.00	0.00	(0.0)	-----	-----	30.89 (59.3)	31.5 (40.1)	0.00	0.00	4.35	-----	-----	-----	-----	-----	-----
2	F-03-40	37.43	0.52	0.43	0.24	0.00	(3.2)	10.84 (29.0)	8.07 (21.6)	1.56 (4.2)	15.75 (42.1)	3.12	3.74	1.56	55	65	5.1AC	8.0AC	-----	
3	F-04-42	58.80	-0.52	-0.43	-2.71	0.00	(0.0)	7.11 (21.1)	12.28 (32.9)	14.80 (75.2)	22.85 (29.8)	2.52	0.46	0.00	41	71	5.2AC	6.4AC	-----	
4a	F-05-81 / F-05-82	15.41	0.00	1.49	1.64	0.00	(-1.4)	0.00 (0.0)	1.24 (41.1)	1.41 (10.4)	6.70 (43.3)	0.00	0.40	1.64	0.46	-----	54	-----	8.1AC	-----
4b	F-05-134 / F-05-135	3.12	0.00	0.00	-1.26	0.00	(-40.4)	0.00 (0.0)	0.00 (0.0)	3.15 (101.0)	1.23 (39.4)	0.00	0.00	2.04	0.00	-----	-----	-----	-----	
4c	F-05-112 / F-05-113	3.00	0.00	0.00	0.00	0.00	(0.0)	0.00 (0.0)	0.45 (15.1)	2.05 (68.3)	0.00 (0.0)	0.00	0.45	2.05	0.00	-----	-----	-----	-----	
5a	F-06-43	0.00	0.00	-1.25	0.00	0.00	(0.0)	0.00 (0.0)	1.25 (0.0)	0.00 (0.0)	0.00 (0.0)	0.00	0.00	0.00	-----	-----	-----	-----	-----	
5b	F-06-161	33.26	0.00	-0.23	0.00	0.00	(-0.7)	1.15 (23.2)	1.26 (21.8)	0.00 (0.0)	18.50 (55.6)	2.22	3.16	0.00	41	63	5.3AC	8.7AC	-----	
6a	F-08-72	15.05	0.00	0.00	0.00	0.00	(0.0)	0.00 (0.0)	1.55 (68.5)	0.00 (0.0)	5.50 (26.5									

100 YEAR FLOODPLAIN STUDY	
CROSS SECTION	FEET FT.
160	414.55
150	418.40
140	421.17
130	421.31
120	428.89
110	434.35
100	437.41
90	440.41
80	443.24
70	445.84
60	448.24
50	450.58
40	452.81
30	454.94
20	456.97
10	458.91



PRELIMINARY PLAN LEGEND

- 400 --- EXISTING CONTOUR
- - - - - EXISTING TREELINE
- CENTERLINE CURVE
- PROPOSED STORM DRAIN
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- PROPOSED TYPE A BARRICADE
- 100 YEAR FLOODPLAIN
- BOTTOM OF STREAM
- CENTERLINE OF STREAM
- SB STREAM BUFFER
- FC FOREST CONSERVATION EASEMENT
- LIMIT OF PROPOSED SUBDIVISION
- PROPERTY CORNER
- LIMIT OF DISTURBANCE / SUBMISSION
- DM DRYWELL

COORDINATE TABLE

PT. NO.	NORTH	EAST	PT. NO.	NORTH	EAST
1	540288.3565	1339.421048	6	540444.6450	1339.6017001
2	540414.5021	1339.3117123	7	540440.0123	1339.6445082
3	540571.0482	1339.3914071	8	540403.4584	1339.4919002
4	540583.1833	1339.3721922	9	540413.5820	1339.6840911
5	540621.7061	1339.2914535			
6	540946.6245	1339.4453374			
7	540886.1002	1339.5712648			
8	540895.4700	1339.5761083			
9	540391.9911	1339.7184614			
10	540444.1024	1339.6124668			
11	540512.4044	1339.5362561			
12	540493.1602	1339.4704928			

STREET LIGHT SCHEDULE

LOCATION	LAMP TYPE	FIXTURE	POLE TYPE
ST. STA. 1150 TERRACE LANE 18' RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS
ST. STA. 2140 TERRACE LANE 18' RT.	100-WATT HPS VAPOR	ACORN POST	12' BLACK FIBERGLASS

CL. CURVE DATA CHART

STREET NAME	CURVE	PC STA.	PT STA.	RADIUS	TANGENT	ARC	CHORD	BEARING	DELTA
TERRACE LANE	2	2154.32	3420.35	50.00'	38.80'	66.00'	61.31'	15 12' 28.10" E	15 31' 14.14"

- NOTES:**
- FOR STORM DRAIN INFORMATION, SEE STORM DRAIN DRAINAGE AREA MAP, SHEET 6.
 - ALL CURB RADI ARE 25' UNLESS OTHERWISE NOTED.
 - FOR STEEP SLOPE AREAS AND STREET TREE INFORMATION, SEE PRELIMINARY LANDSCAPE PLAN, SHEET 7.
 - FOR SEDIMENT CONTROL, SEE SHEET 5.

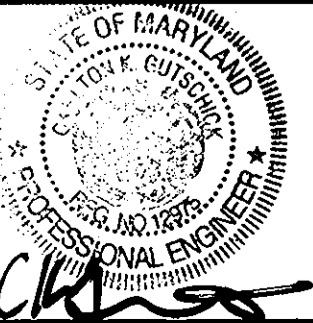
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Mark A. Goyke 4/1/12
PLANNING DIRECTOR DATE

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3009 NATIONAL DRIVE - SUITE 200 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
MAPLE LAWN FARMS I, LLC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: MARK BENNETT
410-484-8400

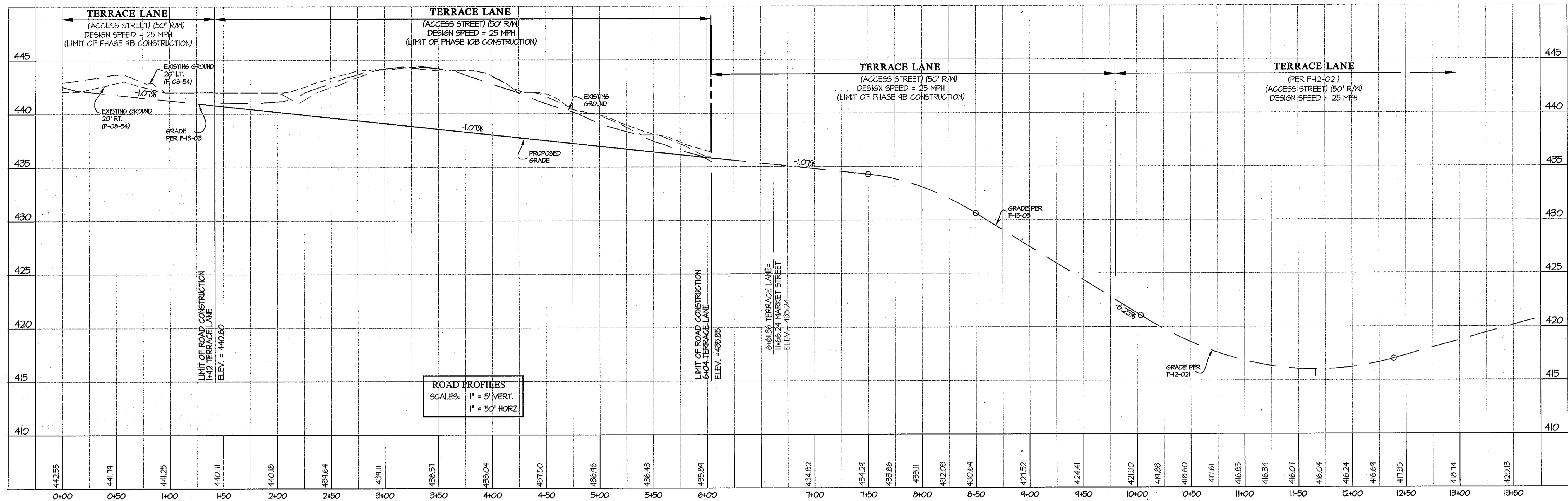
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
EXPIRATION DATE: MAY 28, 2014



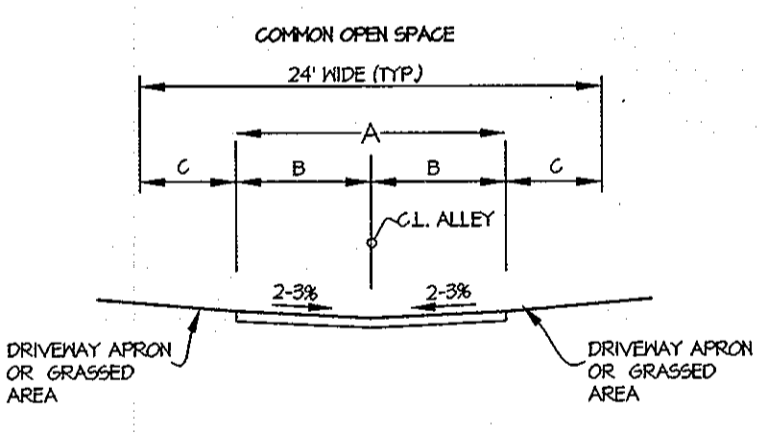
PRELIMINARY PLAN
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 4
LOTS 118 thru 170 and COMMON OPEN AREA LOT 171
(A RE-SUBDIVISION OF WESTSIDE DISTRICT AREA 1, NON-BUILDABLE PARCELS "U" AND "V" P/O TAX PARCEL 124 AND BUSINESS DISTRICT AREA 1 PARCEL C-17)
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	12002
DATE	TAX MAP - GRID	SHEET
MARCH 2013	41-21/46-3	3 OF 7

L:\CADD\DRAWINGS\03857\2012\PLANS BY GLW\PRELIMINARY\2012-03_PP.dwg, PLOTTED: 3/27/2013 7:49 AM, LAST SAVED: 3/25/2013 2:28 PM, PLOTTED BY: Deah, Version: R14



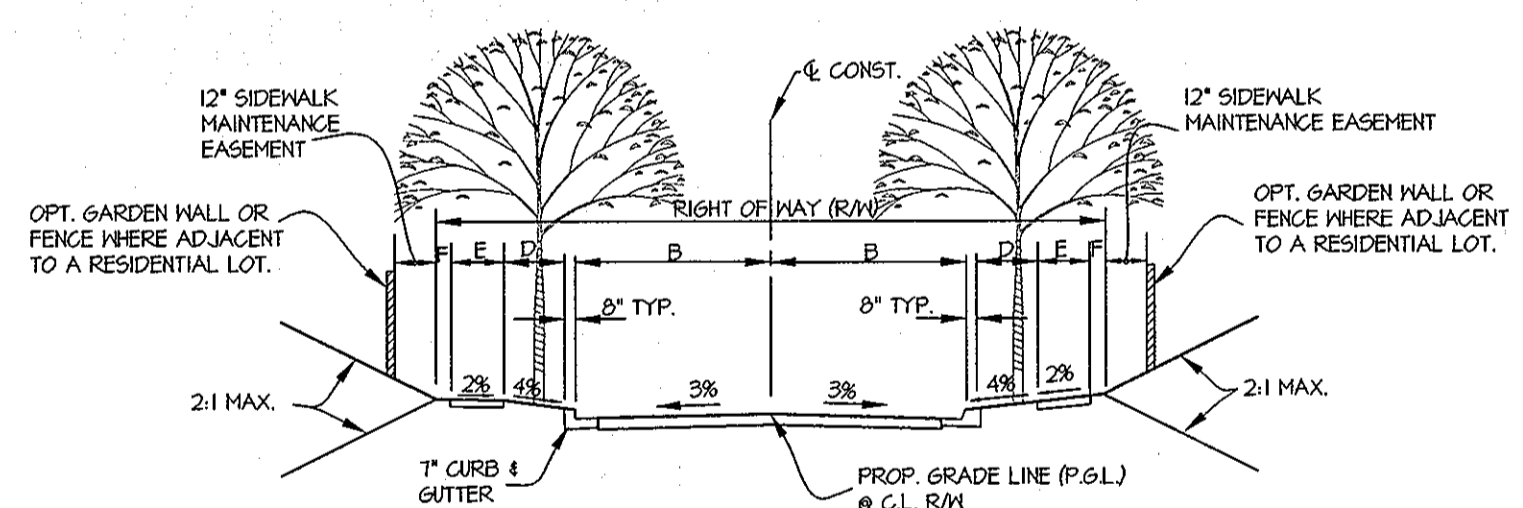
ROAD PROFILES
 SCALES: 1" = 5' VERT.
 1" = 50' HORZ.



ROAD INFORMATION

A*	B*	C*	D	E	F	R/W	PAVING SECTION
16'	8'	4'	-	-	-	-	P-3

* DIMENSIONS SHOWN ARE MINIMUMS. ADDITIONAL PAVING HAS BEEN PROVIDED FOR TRUCK TURNING PURPOSES.



ROAD INFORMATION

ROAD NAME	STATION	CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	SECTION	
TERRACE LANE	1+42 to 6+04	ACCESS STREET	25 MPH	-	14'	-	6'	-	4'	4'	50'	P-3

1 TYPICAL ROAD SECTION for ALLEYS SCALE: 1"=10'

2 TYPICAL ROAD SECTIONS

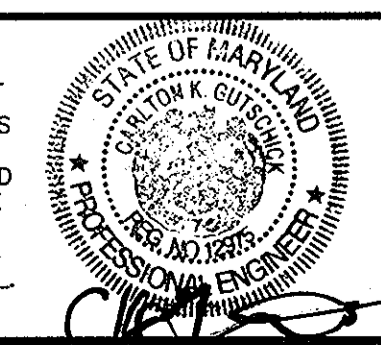
- LEGEND**
- EXISTING GRADE
 - - - EXISTING GRADE LEFT
 - - - EXISTING GRADE RIGHT
 - PROPOSED GRADE @ C.L. ROAD

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY
Mark Bennett
 PLANNING DIRECTOR 4/14/13

GLW GUTSCHICK LITTLE & WEBER, P.A.
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 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 28, 2014



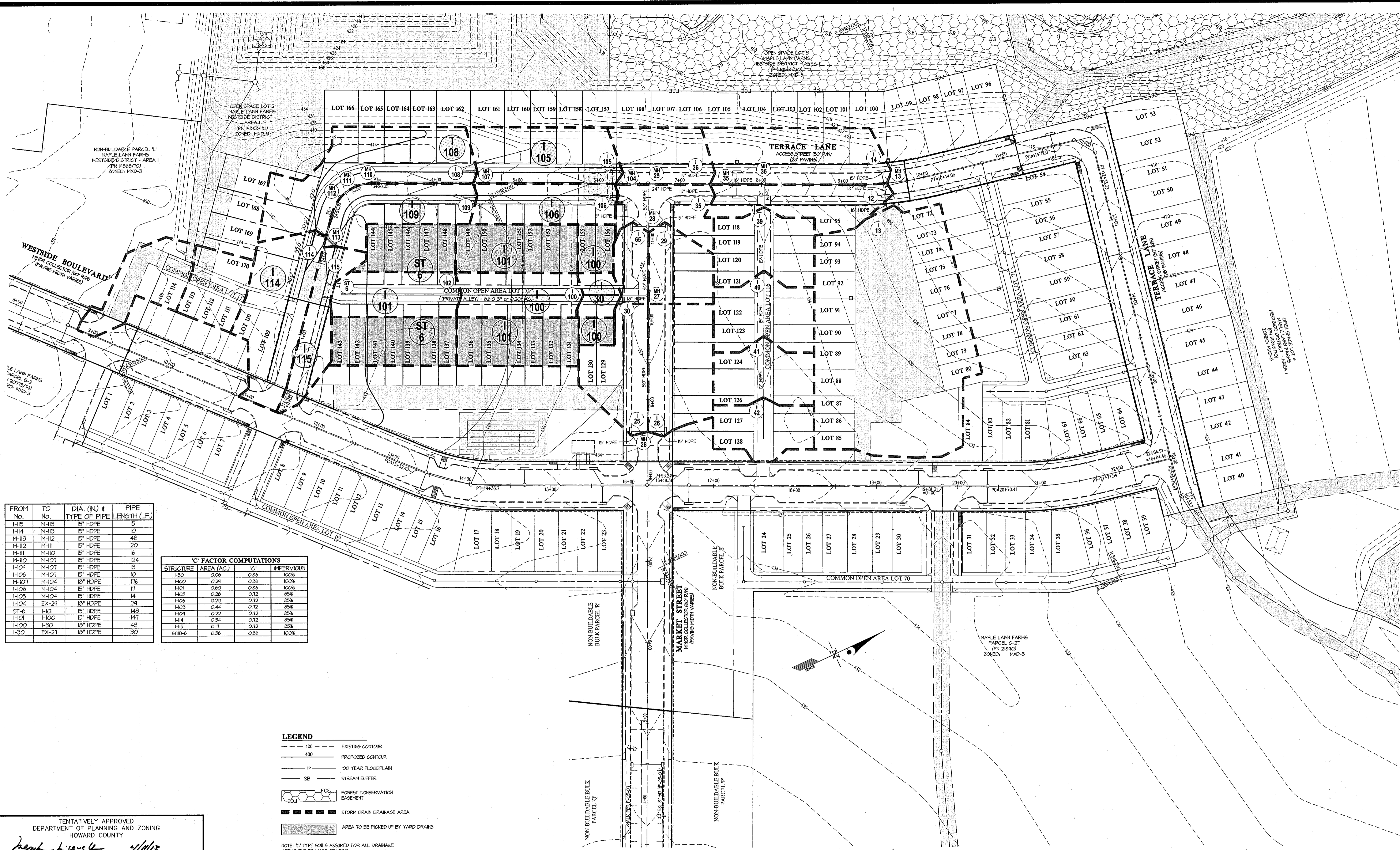
PRELIMINARY STREET GRADE - TERRACE LANE

MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 4
 LOTS 118 thru 170 and COMMON OPEN AREA LOT 171

(A RE-SUBDIVISION OF WESTSIDE DISTRICT AREA 1, NON-BUILDABLE PARCELS "U" AND "V" P/O TAX PARCEL 124 AND BUSINESS DISTRICT AREA 1 PARCEL C17)

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	12002
DATE	TAX MAP - GRID	SHEET
MARCH 2013	41-21/46-3	4 OF 7

L:\2013\PROJECTS\12002\PLANS BY G.L.W.\PRELIMINARY\2013_04_15.dwg PLOTTED: 3/27/2013 2:59:44 AM, LAST SAVED: 3/27/2013 5:36 PM, PLOTTED BY: Doug Vande Ry



FROM No.	TO No.	DIA. (IN) & TYPE OF PIPE	PIPE LENGTH (LF.)
I-115	M-113	15" HDPE	15
I-114	M-113	15" HDPE	10
M-113	M-112	15" HDPE	40
M-112	M-111	15" HDPE	20
M-111	M-110	15" HDPE	16
M-110	M-107	15" HDPE	124
I-104	M-107	15" HDPE	13
I-108	M-107	15" HDPE	10
M-107	M-104	18" HDPE	116
I-106	M-104	15" HDPE	17
I-105	M-104	15" HDPE	14
I-104	EX-21	18" HDPE	24
ST-6	I-101	15" HDPE	143
I-101	I-100	15" HDPE	147
I-100	I-30	18" HDPE	43
I-30	EX-21	18" HDPE	30

'C' FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC.)	'C'	IMPERVIOUS
I-30	0.06	0.86	100%
I-100	0.24	0.86	100%
I-101	0.60	0.86	100%
I-105	0.28	0.72	85%
I-106	0.20	0.72	85%
I-108	0.44	0.72	85%
I-104	0.22	0.72	85%
I-114	0.34	0.72	85%
I-115	0.17	0.72	85%
STB-6	0.86	0.86	100%

- LEGEND**
- 400 --- EXISTING CONTOUR
 - 400 --- PROPOSED CONTOUR
 - FP --- 100 YEAR FLOODPLAIN
 - SB --- STREAM BUFFER
 - FCCE FOREST CONSERVATION EASEMENT
 - SDDA --- STORM DRAIN DRAINAGE AREA
 - A --- AREA TO BE PICKED UP BY YARD DRAINS
- NOTE: 'C' TYPE SOILS ASSIGNED FOR ALL DRAINAGE AREAS DUE TO MASS GRADINGS.

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Mark Bennett 3/11/13
 PLANNING DIRECTOR DATE

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 MAPLE LAWN FARMS I, LLC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: MARK BENNETT
 410-484-8400

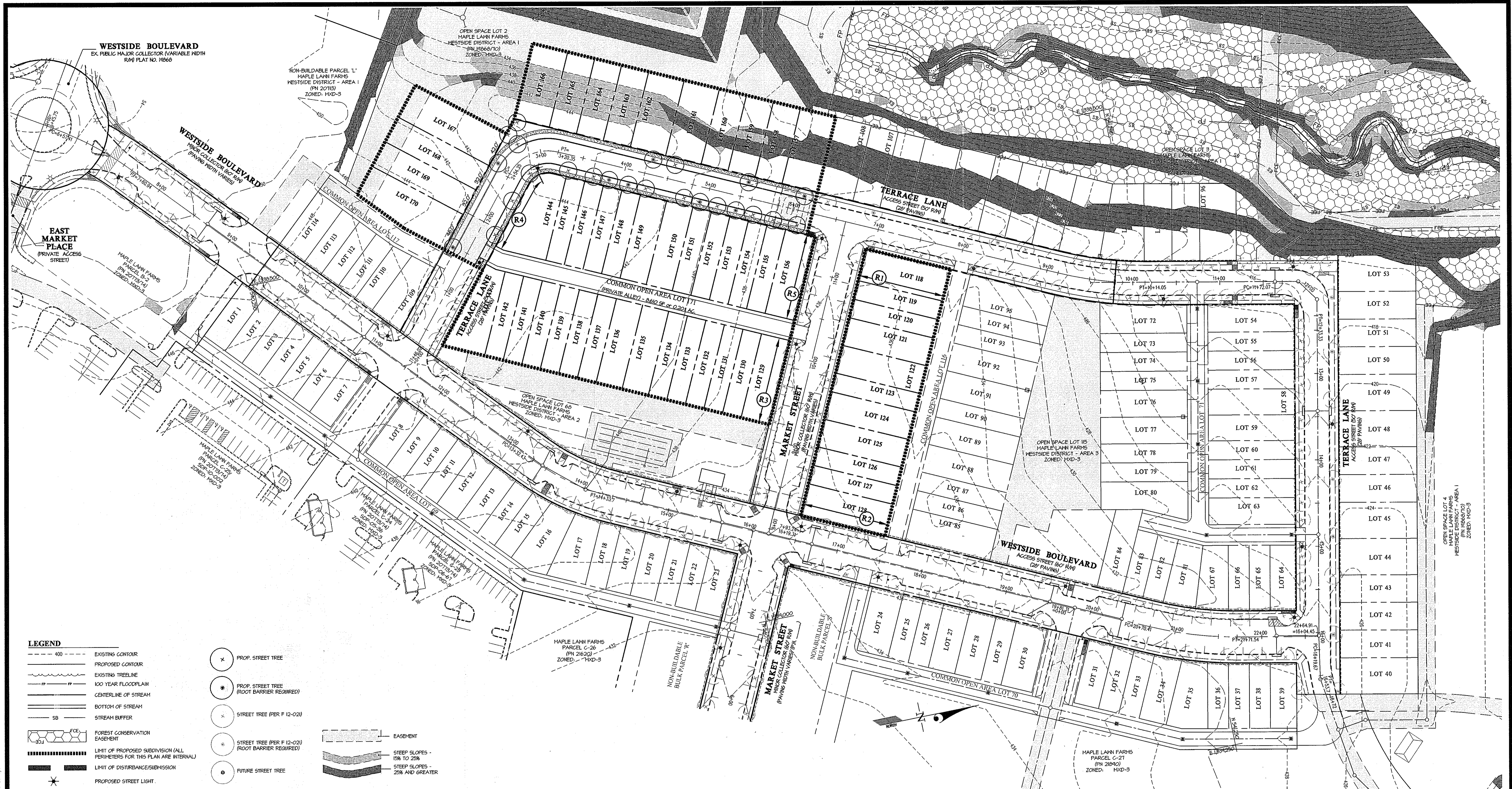
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 EXPIRATION DATE: MAY 28, 2014

Mark Bennett
 PROFESSIONAL ENGINEER

PRELIMINARY STORM DRAIN DRAINAGE AREA MAP
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 4
 LOTS 118 thru 170 and COMMON OPEN AREA LOT 171
 (A RE-SUBDIVISION OF WESTSIDE DISTRICT AREA 1, NON-BUILDABLE PARCELS "U" AND "V" P/O TAX PARCEL 124 AND BUSINESS DISTRICT AREA 1 PARCEL C17)

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	12002
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LEGEND

--- 400 ---	EXISTING CONTOUR	⊗	PROP. STREET TREE
---	PROPOSED CONTOUR	⊙	PROP. STREET TREE (ROOT BARRIER REQUIRED)
---	EXISTING TREELINE	⊗	STREET TREE (PER F 12-021)
---	100 YEAR FLOODPLAIN	⊙	STREET TREE (PER F 12-021) (ROOT BARRIER REQUIRED)
---	CENTERLINE OF STREAM	⊗	FUTURE STREET TREE
---	BOTTOM OF STREAM		
---	STREAM BUFFER		
---	FOREST CONSERVATION EASEMENT		
---	LIMIT OF PROPOSED SUBDIVISION (ALL PERIMETERS FOR THIS PLAN ARE INTERNAL)		
---	LIMIT OF DISTURBANCE/SUBMISSION		
---	PROPOSED STREET LIGHT		

---	EASEMENT
---	STEEP SLOPES - 15% TO 25%
---	STEEP SLOPES - 25% AND GREATER

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS SCHEDULE

RESIDENTIAL LOT LINE	LENGTH OF SIDE PERIMETER	REQUIRED LANDSCAPING
R1	100'	THE REQUIRED LOT LANDSCAPING PER THE MFL LANDSCAPE DESIGN CRITERIA (5-06-16, SHEET 13 OF 15) SHALL BE PROVIDED AT SDP STAGE
R2	100'	
R3	100'	
R4	48'	
R5	100'	

STREET TREE REQUIREMENTS

ROAD	LENGTH OF CURB (LF)	# OF TREES REQUIRED	# OF TREES PROVIDED
TERRACE LANE	450'	24	24

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	REMARKS
⊗	ACER SACHARUM / GREEN MOUNTAIN SUGAR MAPLE	2 1/2" cal.	B, 4 B FULL HEADS

MINIMUM TREE QUANTITIES AND PREFERRED SPACING ARE AS FOLLOWS (PER 5-06-16):
 ALL STREETS: 1 TREE PER 40' LINEAR FEET, BOTH SIDES
 PRIVATE ALLEYS: NO TREES REQUIRED
 THESE ARE ONLY MINIMUM STANDARDS. TREES SHOULD BE PLACED TO ALIGN WHERE POSSIBLE WITH LOT LINES AND DENISING WALLS OF UNITS SO AS TO AVOID BLOCKING THE FRONTS AND/OR DOORS AND WINDOWS OF UNITS.

- LANDSCAPING NOTES:**
- STREET TREES WILL BE PROVIDED AT FINAL PLAN STAGE.
 - INTERNAL PLANTING WILL BE PROVIDED WITH THE SITE DEVELOPMENT PLANS AND THIS PLAN.
 - THE BUFFERS SHOWN IN THE SCHEDULES ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL. ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA, THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED:
 ALONG A PERIMETER EDGE:
 SHADE TREE: 1:80 LINEAR FEET OF MEASURED PERIMETER EDGE, AND
 SMALL ORNAMENTAL DECIDUOUS TREE: 1:60 LINEAR FEET OF MEASURED PERIMETER EDGE AND
 EVERGREEN TREE: 1:20 LINEAR FEET OF MEASURED PERIMETER EDGE.
 - AFFORESTATION PLANTING SIZE SHALL BE LARGE ENOUGH TO MEET THE LANDSCAPE BUFFERING REQUIREMENT ALONG EXTERNAL PERIMETERS WHERE APPLICABLE.
 - UNLESS NOTED, ALL STEEP SLOPES AREAS WITHIN THE LIMITS OF SUBMISSION ARE LESS THAN 5000 SF.
 - STREET TREES SHALL BE PLACED A MINIMUM OF 15' FROM ALL SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN THE SIDEWALK AND CURB, AND BE LOCATED WITH CONSIDERATION TO UNDERGROUND UTILITIES AND STRUCTURES. STREET TREES MAY NOT BE PLANTED WITHIN 5' OF A DRAIN INLET STRUCTURE, WITHIN 5' OF AN OPEN SPACE ACCESS STRIP, AND WITHIN 10' OF A DRIVEWAY.

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Mark Bennett 2/14/13
 PLANNING DIRECTOR & DATE

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DES. DEV	DRN. KLP	CHK. CKG	DATE	REVISION	BY	APPR.

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PRELIMINARY LANDSCAPE PLAN
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WESTSIDE DISTRICT - AREA 4
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