

General Notes:

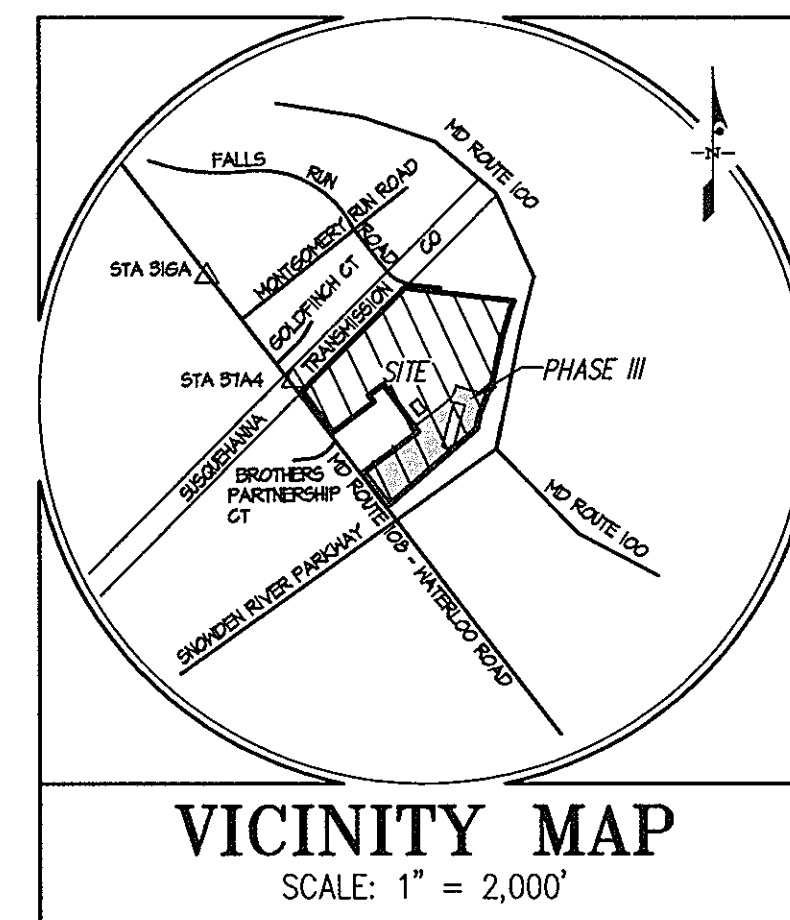
- 1. Zoning: Site is being developed under the Amended 5th Edition of the Subdivision and Land Development Regulations for RA-15...
2. Applicable DPZ File Reference: S 04-04, NP 04-105, P-06-001, F-06-019, NP 06-045, ZRA-65, P-06-004, F 07-43, F 07-54.
3. This project is in conformance with the latest Howard County standards unless waivers have been approved...
4. Boundary information is from boundary surveys by Gutschick, Little, and Weber, P.A., dated May, 2003.
5. Horizontal and vertical datum is based on Howard County Control Stations: 31GA, 31A4
6. Aerial topography by McKenzie Snyder, Inc. on 3/23/03. Topography N4 of Md Route 10B provided by Ho. Co.
7. Wetland and stream delineation by Exploration Research, Inc. submitted and approved under sketch Plan S 04-04 dated 2/15/05...

PRELIMINARY SUBDIVISION PLAN
SHIPLEY'S GRANT

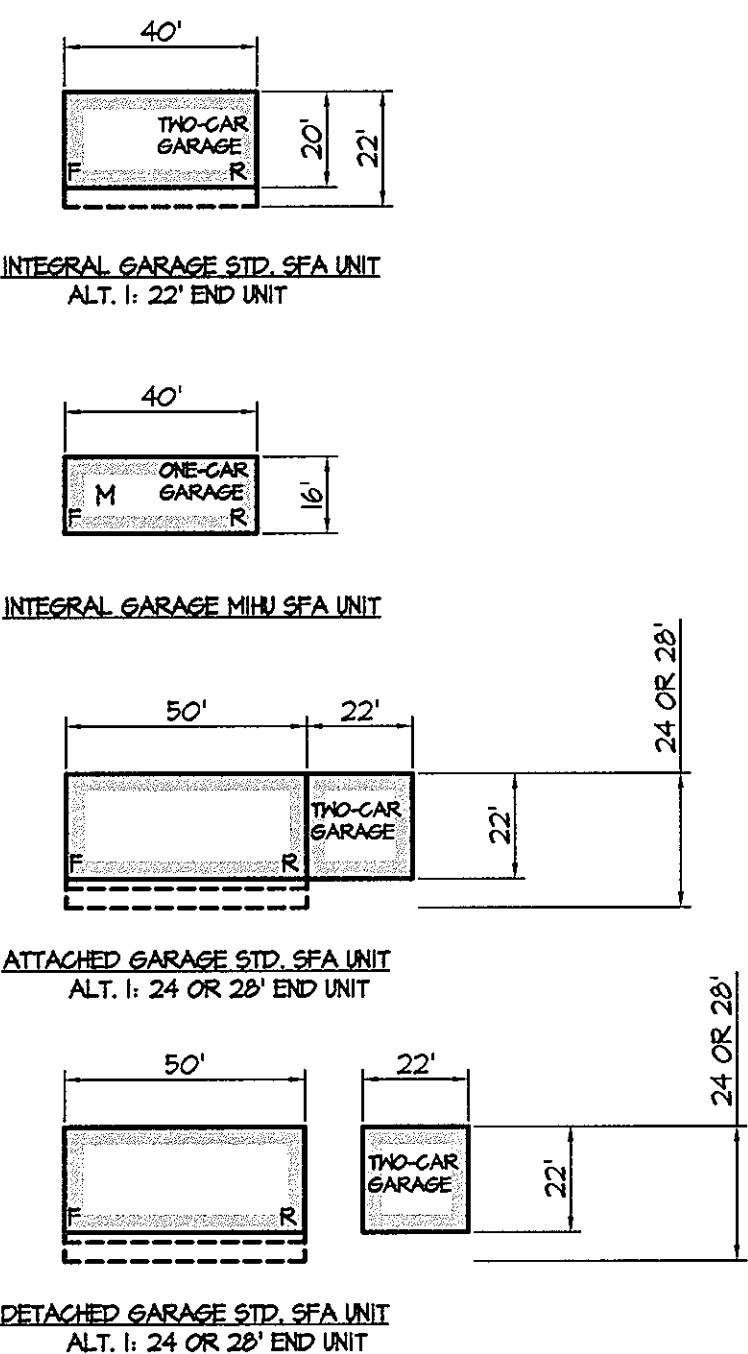
PHASE III
LOTS C-141 thru C-205, OPEN SPACE LOTS C-206 thru C-212

COMMON OPEN SPACE LOT C-213 thru 215
and
PARCELS C-216 thru C-218

Howard County Control Stations
31GA ELEV. = 511.65
STANDARD DISC ON CONCRETE MONUMENT
N 564,925.15, E 1,367,067.65
31A4 ELEV. = 437.28
STANDARD DISC ON CONCRETE MONUMENT
N 563,835.91, E 1,367,971.65



- 8. The Cemetery Inventory Maps do not show any cemeteries within the project limits.
9. The Scenic Roads Map does not indicate any scenic roads within or adjacent to the project limits.
10. Existing utilities were taken from available Howard County records.
11. This property is within the Metropolitan District.
12. Public water and sewer to be utilized. A Preliminary Water and Sewer Master Plan is being concurrently submitted to the Development Engineering Division for review and approval.
13. 100-Year Flood plain prepared by Gutschick, Little, and Weber, P.A. was submitted and approved as a part of F 06-019.
14. Traffic Study and Traffic Signal Warrant Analysis by The Traffic Group, dated Jan. 26, 2004.
15. Vehicular ingress & egress to MD Route 10B is prohibited except as indicated.
16. The minimum width of Common Open Space Lots that contain alleys shall be 24 feet.
17. All public streets within this development shall have sidewalks on both sides of the roadway.
18. Street trees will be provided per the Subdivision Regulations at the Final Stage.
19. A Sight Distance Analysis for the entrance from MD State Route 10B was provided and approved with the Sketch Plan S 04-04 on October 7, 2002.
20. Common Open Area Lots C-213 thru C-215 are for the purpose of common ingress/egress and utility construction and maintenance.
21. Noise study by Myle Laboratories, dated May 12, 2005 and updated July 12, 2005.
22. Sediment and erosion control measures will be included with Final Plans and Site Development Plans.
23. A Forest Stand Delineation Plan was submitted and approved for the area covered by this plan under S 04-04 February 15, 2005.
24. To fulfill the forest conservation requirements of this site, at least 10.09 acres of forest conservation easement is required.
25. Where referred to herein, "Lot(s)" includes lot(s) and, where appropriate, land condominium unit(s).
26. On July 14, 2004, NP 04-105, a waiver of Section 16.120.2(4) was granted which requires single family attached lots to have at least 15' of frontage onto a public road right-of-way...

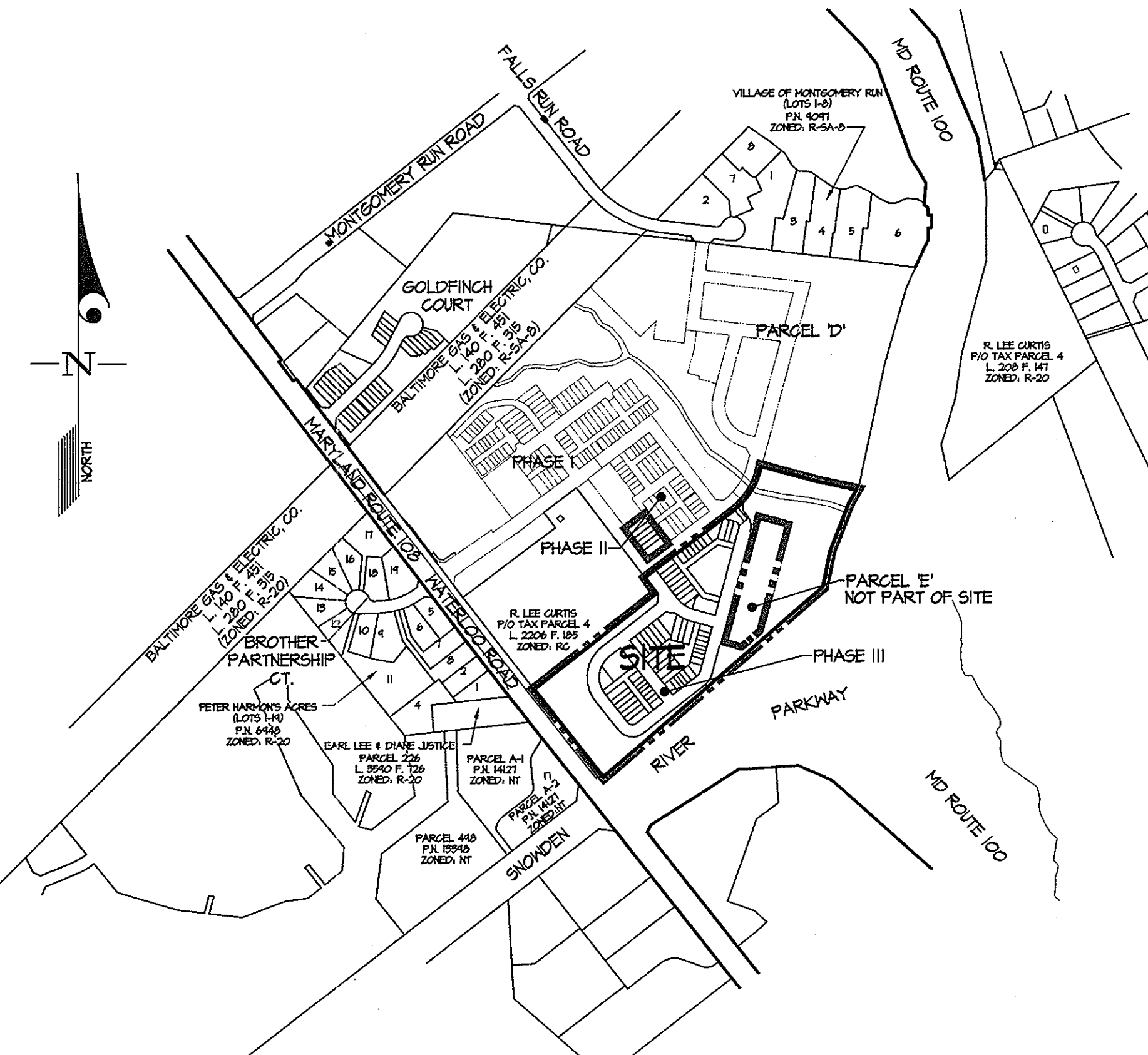


TYPICAL BUILDING FOOTPRINT

NTS

NOTES:

- 1. FINAL BUILDING FOOTPRINT DIMENSIONS, OPTIONS AND ALTERNATIVES TO BE REVIEWED AND APPROVED AT FINAL SITE PLAN STAGE.
2. THE MIHU UNITS IDENTIFIED WITH A "M" DESIGNATION ON THE PLANS HAVE 1-CAR GARAGES. ALL OTHER UNITS HAVE 2-CAR GARAGES.



KEY MAP
SCALE: 1" = 500'
DEVELOPMENT TRACKING CHART AND SITE ANALYSIS

Table with columns: PHASE No., CO. FILE No., GROSS, 100 YR. FLOOD PLAIN, NET, SFA LOTS, MIN. REQ'D. O/S, CREDITED O/S, NON-CREDITED O/S, TOTAL O/S, MIN. REQ'D. REG. O/S, MIN. REQ'D. TND O/S, APT. PARCELS, PUBLIC ROADS, PRIVATE ROADS, GROSS ACREAGE, B-1 ZONE, FOR ZONE. Includes cumulative total row.

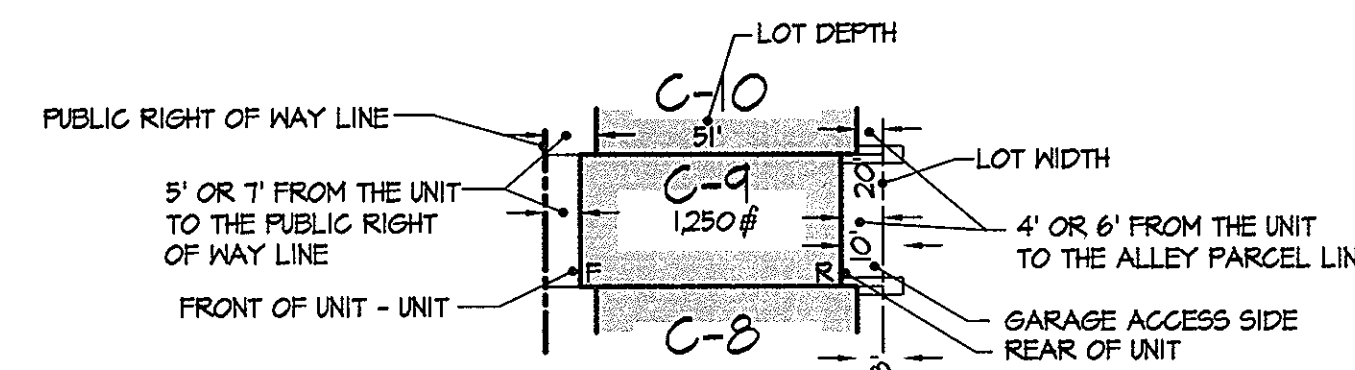
\* PARCELS 'A' AND 'B' PREVIOUSLY RECORDED UNDER F 06-019

- NOTES:
1. MINIMUM REQUIRED OPEN SPACE (O/S) IS CALCULATED AS 25% OF THE GROSS AREA.
2. PERCENT OPEN SPACE PROVIDED IS OF THE GROSS AREA.
3. MINIMUM REQUIRED RECREATION OPEN SPACE (ROS) IS CALCULATED AS 400 S.F. PER UNIT.
4. MINIMUM REQUIRED TRADITIONAL NEIGHBORHOOD O/S IS CALCULATED AS 20% OF THE REQUIRED OPEN SPACE.
5. MINIMUM REQUIRED MIHU'S ARE CALCULATED AS 10% OF THE TOTAL NUMBER OF UNITS.

R-A-15 UNIT TABULATION table with columns: PHASE No., MAX. NO. OF UNITS PERMITTED (NET, MAX. UNIT DENSITY), STD. SFA UNITS, MIHU SFA UNITS, APT. UNITS, TOTAL UNITS, PROPOSED UNIT DENSITY, MODERATE INCOME HOUSING UNITS (REQUIRED MIHU'S @ 10%, PROPOSED MIHU'S).

BUILDING RESTRICTION ANALYSIS
(Howard County Zoning Regulations Sections 112D and 128E)

- 1. Required front or side setback from an internal street right-of-way shall be 0' for residential uses and 10' for commercial/office uses.
2. Required front or side setback from an alley right-of-way shall be 0' for accessory structures.
3. Required side or rear setbacks from an alley right-of-way for a principal structure with an integral garage shall be 0'.
4. Minimum building separation for rear to rear condition shall be 60'.
5. Minimum building separation for face to face condition shall be 30'.
6. Minimum building separation for face to side or rear to side condition shall be 30'.
7. Minimum building separation for side to side condition shall be 15'.
8. Minimum building separation for rear to face condition shall be 100'.



TYPICAL UNIT LEGEND

LEGEND

- EXIST. CURB & GUTTER/PAVEMENT
STANDARD CURB & GUTTER
EXISTING STORM DRAIN
PROPOSED STORM DRAIN
PROPOSED SIDEWALK
NUMBER OF PARKING SPACES
PROP. BARRICADE
STRUCTURE NUMBER
EXISTING CONTOUR
PROP. CONTOUR
25' WETLAND BUFFER
STREAM BUFFER (50' OR 75' - SEE PLAN)
100 YEAR FLOOD PLAIN
CENTERLINE OF STREAM
WETLAND
LIMIT OF SUBMISSION
PROPOSED MODERATE INCOME HOUSING UNITS (MIHU)
RECREATIONAL OPEN SPACE
MIHU OFF-STREET PARKING SPACE (LOT SPECIFIC)
PRELIMINARY STREET LIGHT LOCATION

TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF HOWARD COUNTY
PLANNING DIRECTOR DATE

SHEET INDEX

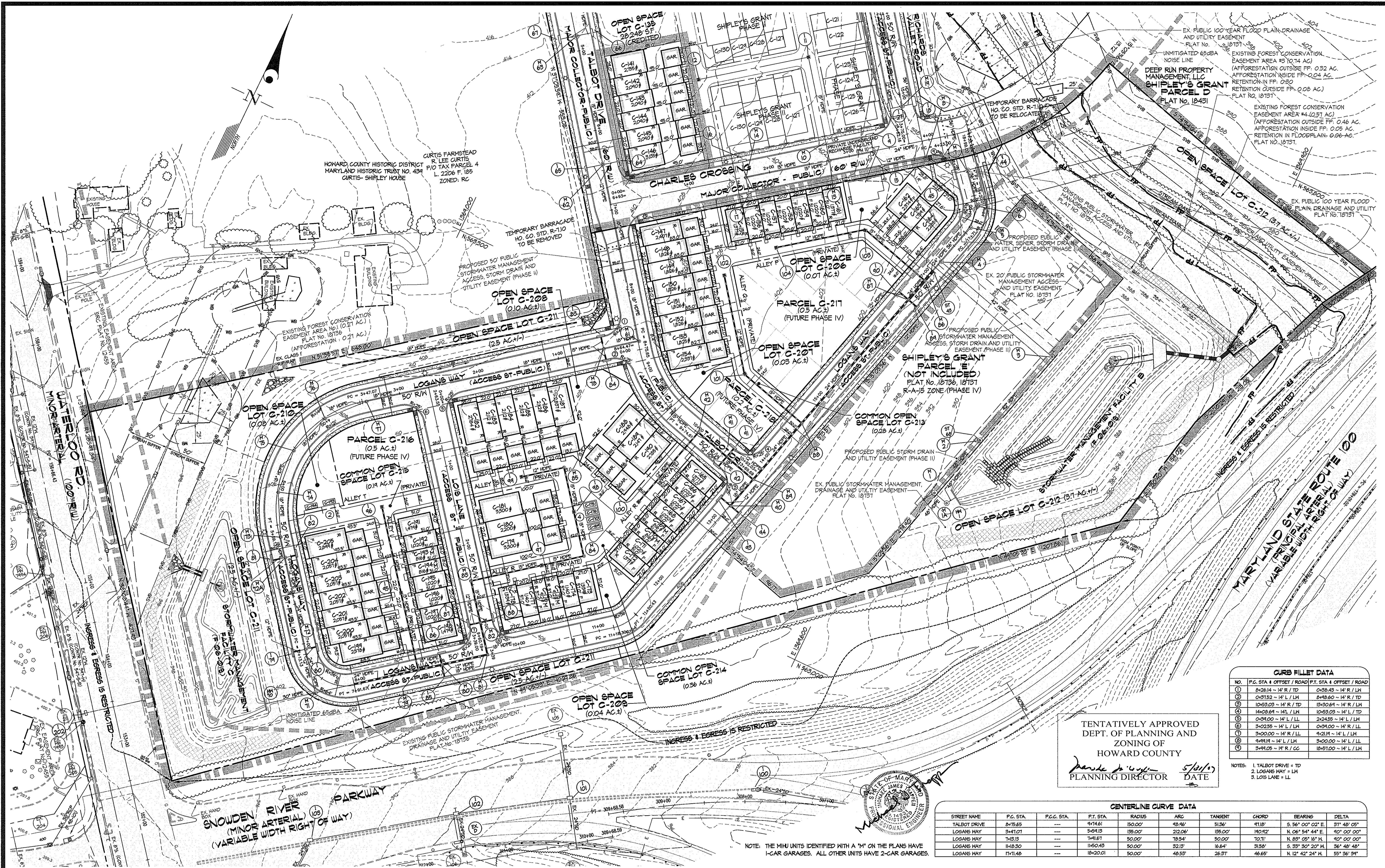
- 1. COVER SHEET
2. PRELIMINARY PLAN
3. OPEN SPACE IDENTIFICATION PLAN
4. PRELIMINARY GRADING, SEDIMENT CONTROL AND TEMP SHM PLAN
5. PRELIMINARY LANDSCAPE SCHEDULES
6. PRELIMINARY LANDSCAPE SCHEDULES
7. PRELIMINARY STORM DRAIN DRAINAGE AREA MAP

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

PREPARED FOR/OWNER PARCELS C-139 thru C-140:
BA WATERLOO TOWNHOMES, LLC.
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SUIDELL
301-623-1525

COVER SHEET
SHIPLEY'S GRANT
PHASE III
LOTS C-141 thru C-205, OPEN SPACE LOTS C-206 thru C-212
COMMON OPEN SPACE LOT C-213 thru C-215 and PARCELS C-216 thru C-218
A RESUBDIVISION OF PARCELS C-139 thru C-140
ELECTION DISTRICT No. 1
HOWARD COUNTY, MARYLAND

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET. Values: AS SHOWN, R-A-15, 03006, MAY, 2007, 37-1&2, 1 OF 7.



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

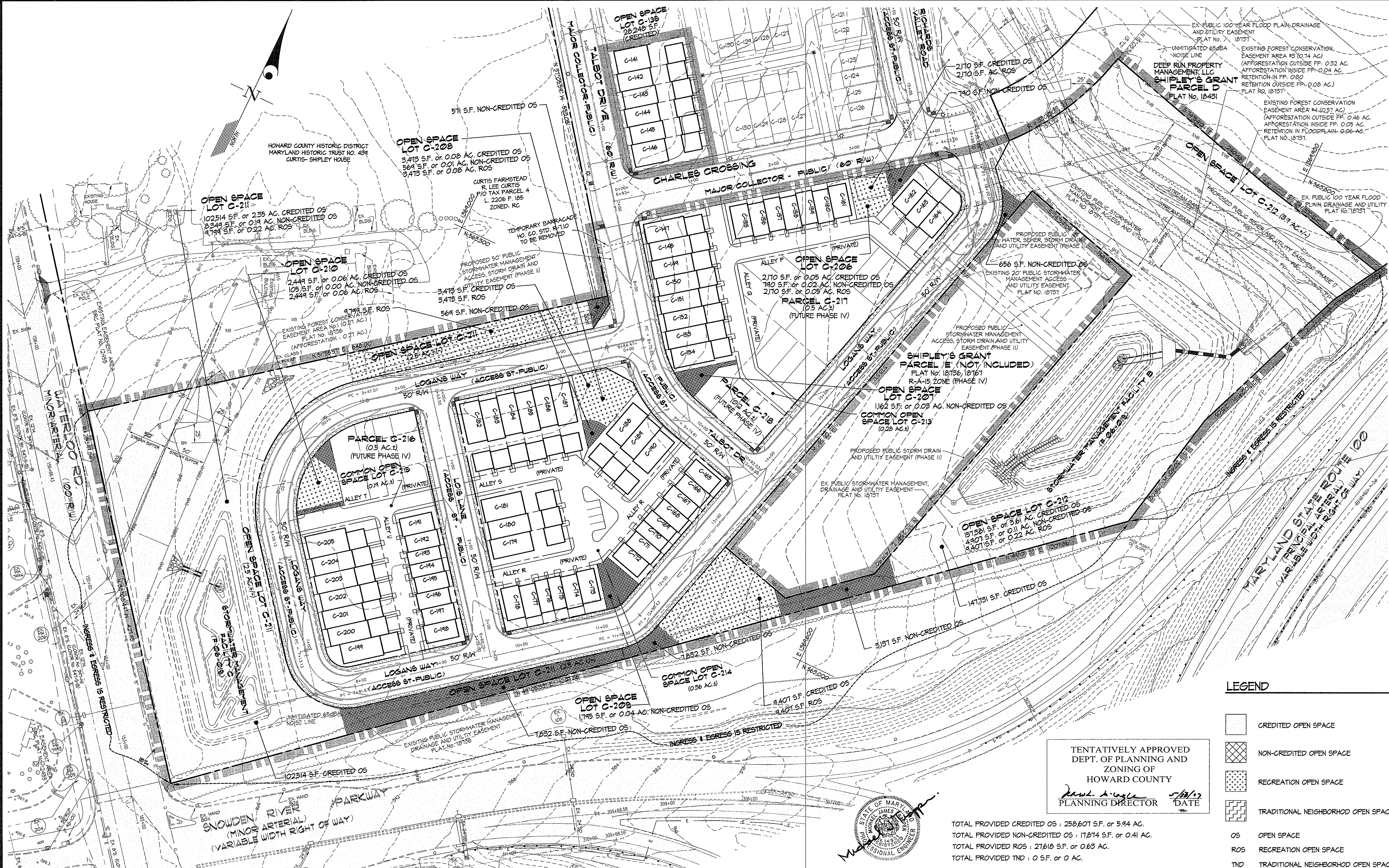
DATE	REVISION	BY	APP'R.

PREPARED FOR/OWNER PARCELS C-139 thru C-140:  
 BA WATERLOO TOWNHOMES, LLC.  
 c/o BOZZUTO HOMES, INC.  
 7850 WALKER DRIVE, SUITE 400  
 GREENBELT, MARYLAND 20770  
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 301-623-1525

PRELIMINARY PLAN  
**SHIPLEY'S GRANT**  
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SCALE	ZONING	G. L. W. FILE NO.
1"=50'	R-A-15	03006
DATE	TAX MAP - GRID	SHEET
MAY, 2007	37-1&2	2 OF 7

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**LEGEND**

	CREDITED OPEN SPACE
	NON-CREDITED OPEN SPACE
	RECREATION OPEN SPACE
	TRADITIONAL NEIGHBORHOOD OPEN SPACE
OS	OPEN SPACE
ROS	RECREATION OPEN SPACE
TND	TRADITIONAL NEIGHBORHOOD OPEN SPACE

TENTATIVELY APPROVED  
DEPT. OF PLANNING AND  
ZONING OF  
HOWARD COUNTY  
*Paul A. ...*  
PLANNING DIRECTOR      DATE

TOTAL PROVIDED CREDITED OS : 258,607 S.F. or 5.94 AC.  
TOTAL PROVIDED NON-CREDITED OS : 17,874 S.F. or 0.41 AC.  
TOTAL PROVIDED ROS : 21,618 S.F. or 0.63 AC.  
TOTAL PROVIDED TND : 0 S.F. or 0 AC.



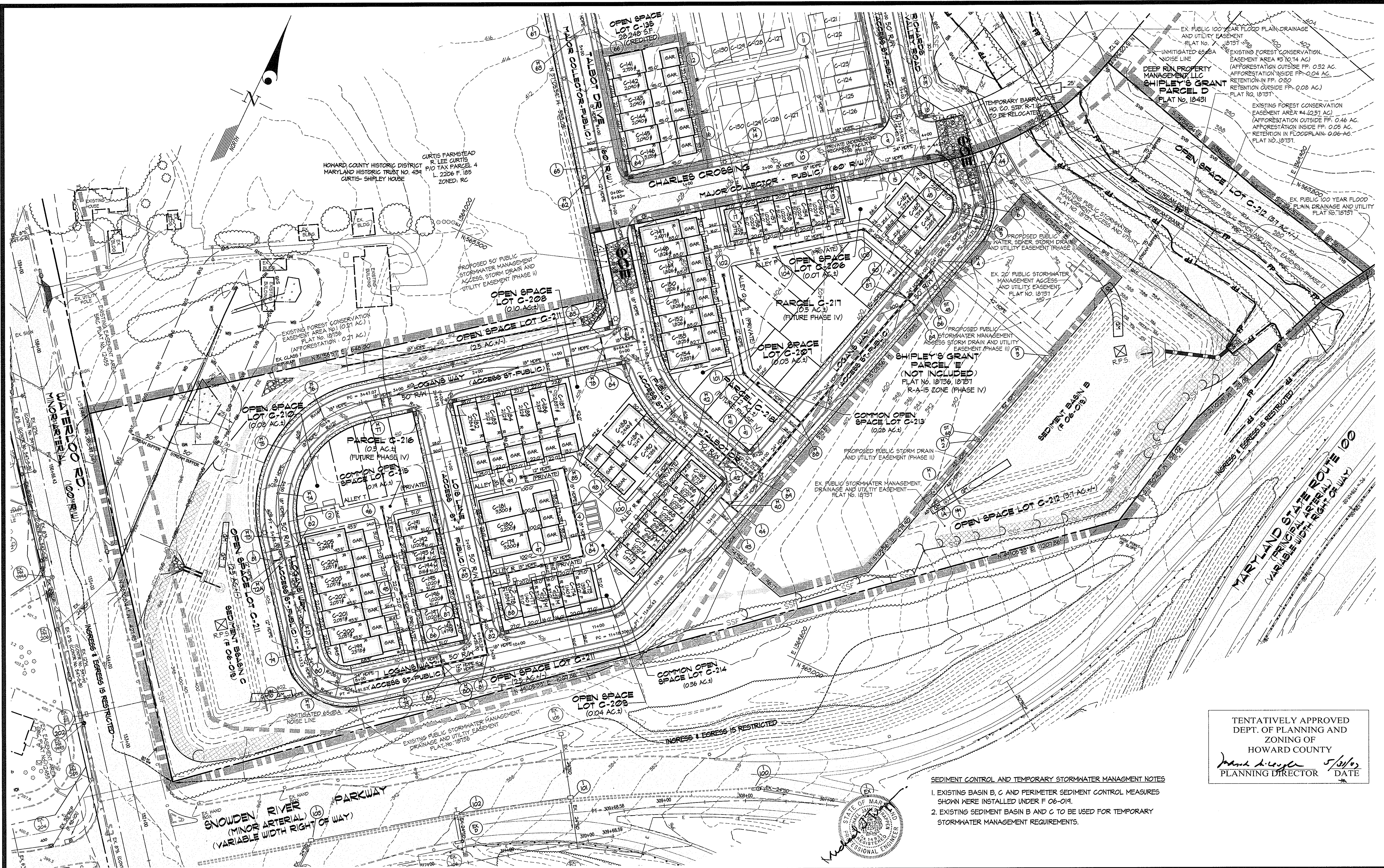
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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OPEN SPACE IDENTIFICATION PLAN  
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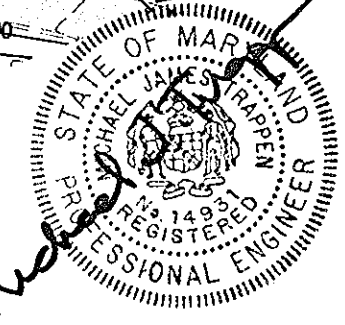
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1"=50'	R-A-15	03006
DATE	TAX MAP - GRID	SHEET
MAY, 2007	37-1&2	3 OF 7

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 HOWARD COUNTY  
*James A. Cooper* 5/31/07  
 PLANNING DIRECTOR DATE

SEDIMENT CONTROL AND TEMPORARY STORMWATER MANAGEMENT NOTES  
 1. EXISTING BASIN B, C AND PERIMETER SEDIMENT CONTROL MEASURES SHOWN WERE INSTALLED UNDER F 06-01F.  
 2. EXISTING SEDIMENT BASIN B AND C TO BE USED FOR TEMPORARY STORMWATER MANAGEMENT REQUIREMENTS.



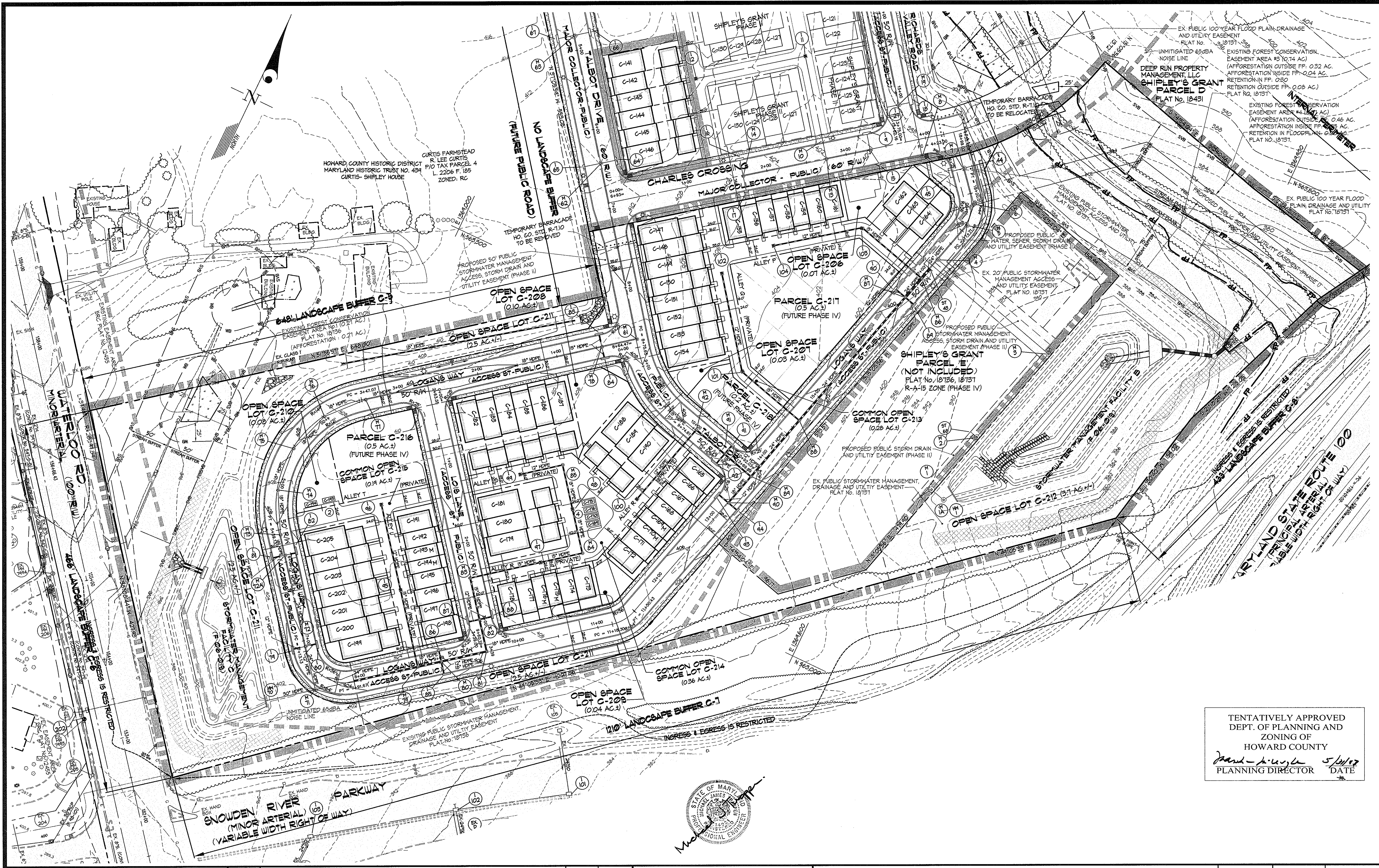
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 301-623-1525

PRELIMINARY GRADING, SEDIMENT CONTROL and TEMP. SWM PLAN  
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SCALE	ZONING	G. L. W. FILE NO.
1"=50'	R-A-15	03006
DATE	TAX MAP - GRID	SHEET
MAY, 2007	37-1&2	4 OF 7

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
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TENTATIVELY APPROVED  
 DEPT. OF PLANNING AND  
 ZONING OF  
 HOWARD COUNTY  
*Jeanne H. Leavelle* 5/21/07  
 PLANNING DIRECTOR DATE



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
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 GREENBELT, MARYLAND 20770  
 ATTN: DUNCAN SLIDELL  
 301-623-1525

PRELIMINARY LANDSCAPE PLAN  
**SHIPLEY'S GRANT**  
 PHASE III  
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 COMMON OPEN SPACE LOT C-213 thru C-215 and PARCELS C-216 thru C-218  
 A RESUBDIVISION OF PARCELS C-139 thru C-140  
 ELECTION DISTRICT No. 1  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	R-A-15	03006
DATE	TAX MAP - GRID	SHEET
MAY, 2007	37-1&2	5 OF 7

SCHEDULE A PERIMETER LANDSCAPE EDGE Category	C-5	C-6	C-7	C-8											
	Front/Other	Front/Roadway	Side/Roadway	Side/Roadway											
Landscape Buffer Type	A	A	C	C											
Linear Feet of Roadway/ Perimeter Frontage	648'	466'	1210'	433'											
Credit for Ex. Vegetation (Yes, No, Linear Feet) (describe below if needed)	NO	NO	NO	NO											
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (describe below if needed)	NO	NO	NO	NO											
Number of Plants Required Shade Trees Evergreen Trees Shrubs	11	8	30 61	11 22											
Min Number of Plants to be Provided* Shade Trees Evergreen Trees Other Trees (2:1 subst.) Shrubs (10:1 subst.) (describe plant substitution credits below if needed)	11	8	30 61	11 22											

COMMENTS:  
 \*The landscaping buffer for Parcels A and B will be submitted and approved as a part of the Site Development Plan.  
 \*The landscape buffer for Parcel C will be submitted and approved as a part of the Final Plans.

SCHEDULE A LANDSCAPE EDGE ADJACENT TO ROADWAYS Category	Lot C-146	Lot C-147	Lot C-164	Lot C-165	Lot C-178	Lot C-182	Lot C-198	Lot C-199
	Side/Roadway	Side/Roadway	Side/Roadway	Side/Roadway	Side/Roadway	Side/Roadway	Side/Roadway	Side/Roadway
Landscape Buffer Type	C	C	C	C	C	C	C	C
Linear Feet of Roadway/ Perimeter Frontage	95'	83'	93'	51'	57'	96'	51'	69'
Credit for Ex. Vegetation (Yes, No, Linear Feet) (describe below if needed)	NO	NO	NO	NO	NO	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (describe below if needed)	NO	NO	NO	NO	NO	NO	NO	NO
Number of Plants Required Shade Trees Evergreen Trees Shrubs	2 5	2 4	2 5	1 3	2 3	2 5	1 3	2 3
Min. Number of Plants to be Provided** Shade Trees Evergreen Trees Other Trees (2:1 subst.) Shrubs (10:1 subst.) (describe plant substitution credits below if needed)	2 5	2 4	2 5	1 3	2 3	2 5	1 3	2 3

COMMENTS:  
 \*\*The landscape edge adjacent to roadways will be submitted and approved as a part of the Site Development Plan.

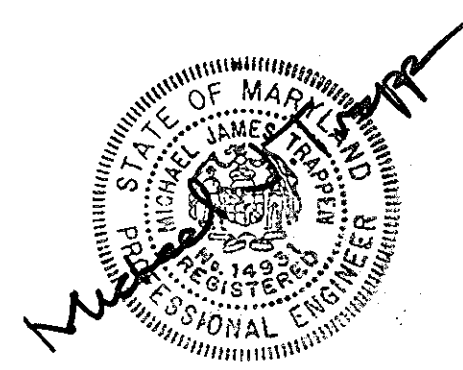
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING
Number of Parking Spaces = 6 Spaces
Number of Trees Required = 1 Trees @ 1 per 10 spaces
Min. Number of Trees to be Provided*** Shade Trees: 2 trees Other Trees: 0 (2:1 substitution)

COMMENTS:  
 \*\*\*The parking lot internal landscaping for the on-street parking for this project will be submitted and approved under the Final Plans.

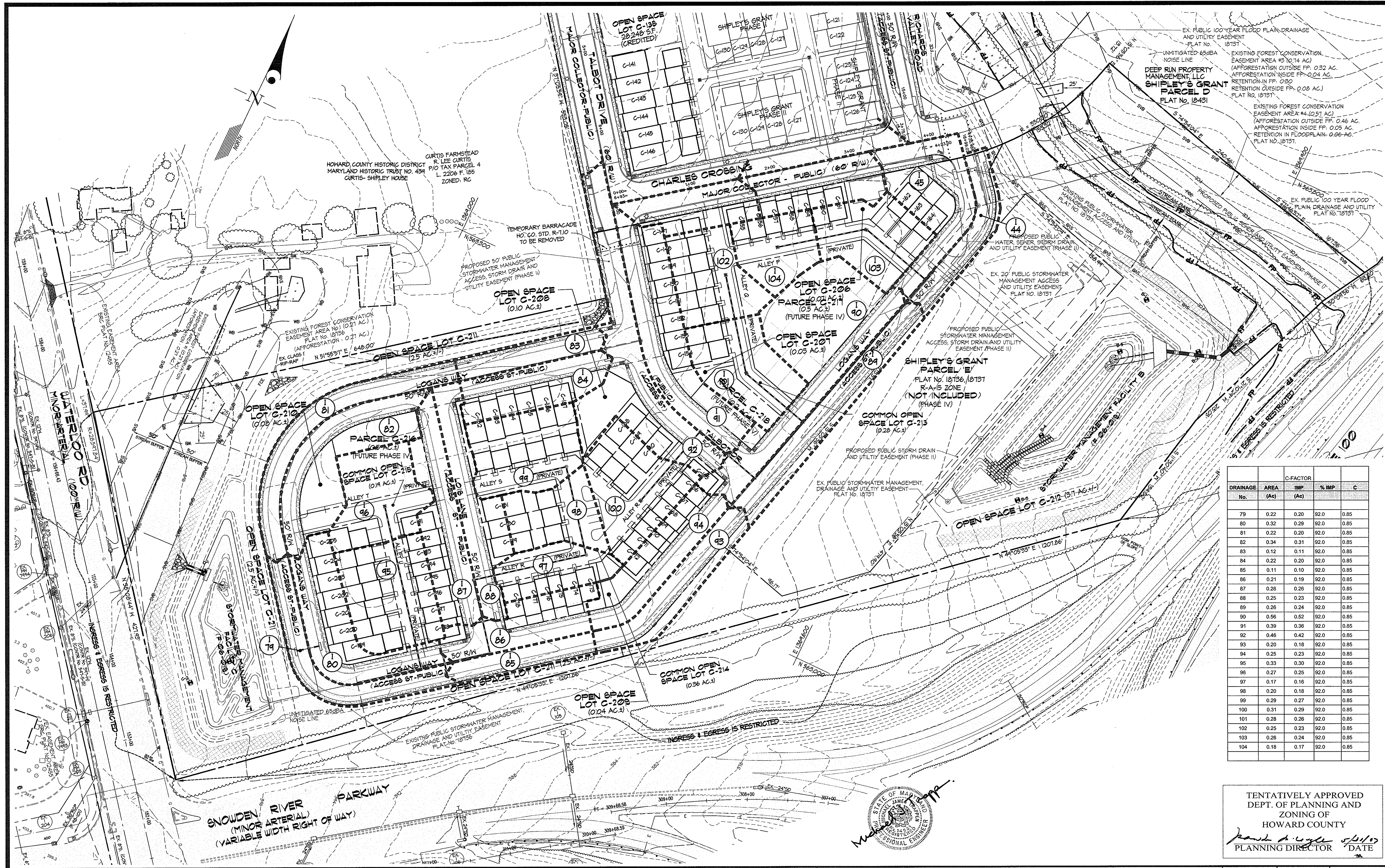
SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING
Number of Dwelling Units = 65 townhouses
Number of Trees Required = 65 Trees (1:1 DU SFA)
Min. Number of Trees to be Provided**** Shade Trees: 65 Trees Other Trees: (2:1 substitution)

COMMENTS:  
 \*\*\*\*The proposed internal landscaping for this project will be submitted and approved under the Site Development Plans.

TENTATIVELY APPROVED  
 DEPT. OF PLANNING AND  
 ZONING OF  
 HOWARD COUNTY  
*Mark D. Wofford* 5/31/13  
 PLANNING DIRECTOR DATE



<b>GLWGUTSCHICK LITTLE &amp; WEBER, P.A.</b> CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186	DATE	REVISION	BY	APPR.	PREPARED FOR/OWNER PARCELS C-139 thru C-140: BA WATERLOO TOWNHOMES, LLC. c/o BOZZUTO HOMES, INC. 7850 WALKER DRIVE, SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL 301-623-1525	PRELIMINARY LANDSCAPE SCHEDULES <b>SHIPLEY'S GRANT</b> PHASE III LOTS C-141 thru C-205, OPEN SPACE LOTS C-206 thru C-212 COMMON OPEN SPACE LOT C-213 thru C-215 and PARCELS C-216 thru C-218 A RESUBDIVISION OF PARCELS C-139 thru C-140 ELECTION DISTRICT No. 1 HOWARD COUNTY, MARYLAND	SCALE 1"=50' ZONING R-A-15 G. L. W. FILE No. 03006	DATE MAY, 2007 TAX MAP - GRID 37-1&2 SHEET 6 OF 7
	L:\CAD\DRAWINGS\03006\PHASE III\Prelim Plan\03006P_020506.dwg DES. mjt DRN. mjt CHK.							



EX. PUBLIC 100 YEAR FLOOD PLAIN, DRAINAGE AND UTILITY EASEMENT PLAT No. 18137

UNMITIGATED 65dBA NOISE LINE

DEEP RUN PROPERTY MANAGEMENT, LLC  
SHIPLEY'S GRANT PARCEL D  
PLAT No. 18431

EXISTING FOREST CONSERVATION EASEMENT AREA #3 (0.14 AC.) (AFFORESTATION OUTSIDE FP, 0.32 AC. RETENTION INSIDE FP, 0.04 AC.)

EXISTING FOREST CONSERVATION EASEMENT AREA #4 (0.51 AC.) (AFFORESTATION OUTSIDE FP, 0.46 AC. AFFORESTATION INSIDE FP, 0.05 AC. RETENTION IN FLOODPLAIN, 0.06 AC.) PLAT No. 18137

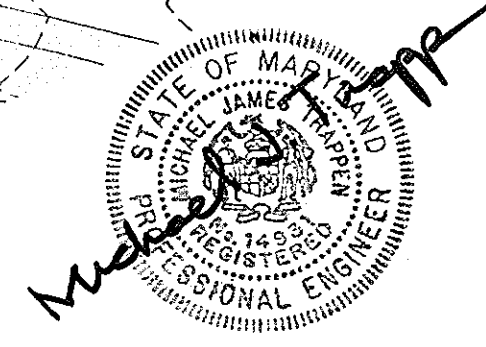
EX. PUBLIC 100 YEAR FLOOD PLAIN, DRAINAGE AND UTILITY PLAT No. 18137

DRAINAGE No.	AREA (Ac)	C-FACTOR (Imp)	% IMP	C
79	0.22	0.20	92.0	0.85
80	0.32	0.29	92.0	0.85
81	0.22	0.20	92.0	0.85
82	0.34	0.31	92.0	0.85
83	0.12	0.11	92.0	0.85
84	0.22	0.20	92.0	0.85
85	0.11	0.10	92.0	0.85
86	0.21	0.19	92.0	0.85
87	0.28	0.26	92.0	0.85
88	0.25	0.23	92.0	0.85
89	0.28	0.24	92.0	0.85
90	0.56	0.52	92.0	0.85
91	0.39	0.36	92.0	0.85
92	0.46	0.42	92.0	0.85
93	0.20	0.18	92.0	0.85
94	0.25	0.23	92.0	0.85
95	0.33	0.30	92.0	0.85
96	0.27	0.25	92.0	0.85
97	0.17	0.16	92.0	0.85
98	0.20	0.18	92.0	0.85
99	0.29	0.27	92.0	0.85
100	0.31	0.29	92.0	0.85
101	0.28	0.26	92.0	0.85
102	0.25	0.23	92.0	0.85
103	0.26	0.24	92.0	0.85
104	0.18	0.17	92.0	0.85

TENTATIVELY APPROVED  
DEPT. OF PLANNING AND ZONING OF  
HOWARD COUNTY

*Paul A. Lyle*  
PLANNING DIRECTOR

DATE



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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PREPARED FOR/OWNER PARCELS C-139 thru C-140:  
BA WATERLOO TOWNHOMES, LLC.  
c/o BOZZUTO HOMES, INC.  
7850 WALKER DRIVE, SUITE 400  
GREENBELT, MARYLAND 20770  
ATTN: DUNCAN SLIDELL  
301-623-1525

PRELIMINARY STORM DRAIN DRAINAGE AREA MAP  
**SHIPLEY'S GRANT**  
PHASE III  
LOTS C-141 thru C-205, OPEN SPACE LOTS C-206 thru C-212  
COMMON OPEN SPACE LOT C-213 thru C-215 and PARCELS C-216 thru C-218  
A RESUBDIVISION OF PARCELS C-139 thru C-140

ELECTION DISTRICT No. 1  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-A-15	03006
DATE	TAX MAP - GRID	SHEET
MAY, 2007	37-1&2	7 OF 7