

SHEET INDEX	
NO	DESCRIPTION
1	PRELIMINARY TITLE SHEET
2	PRELIMINARY PLAN
3	PRELIMINARY PLAN
4	PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN
5	PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN
6	PRELIMINARY LANDSCAPE PLAN
7	PRELIMINARY NOTES AND TABULATIONS
8	PRELIMINARY FOREST CONSERVATION PLAN

EMERSON

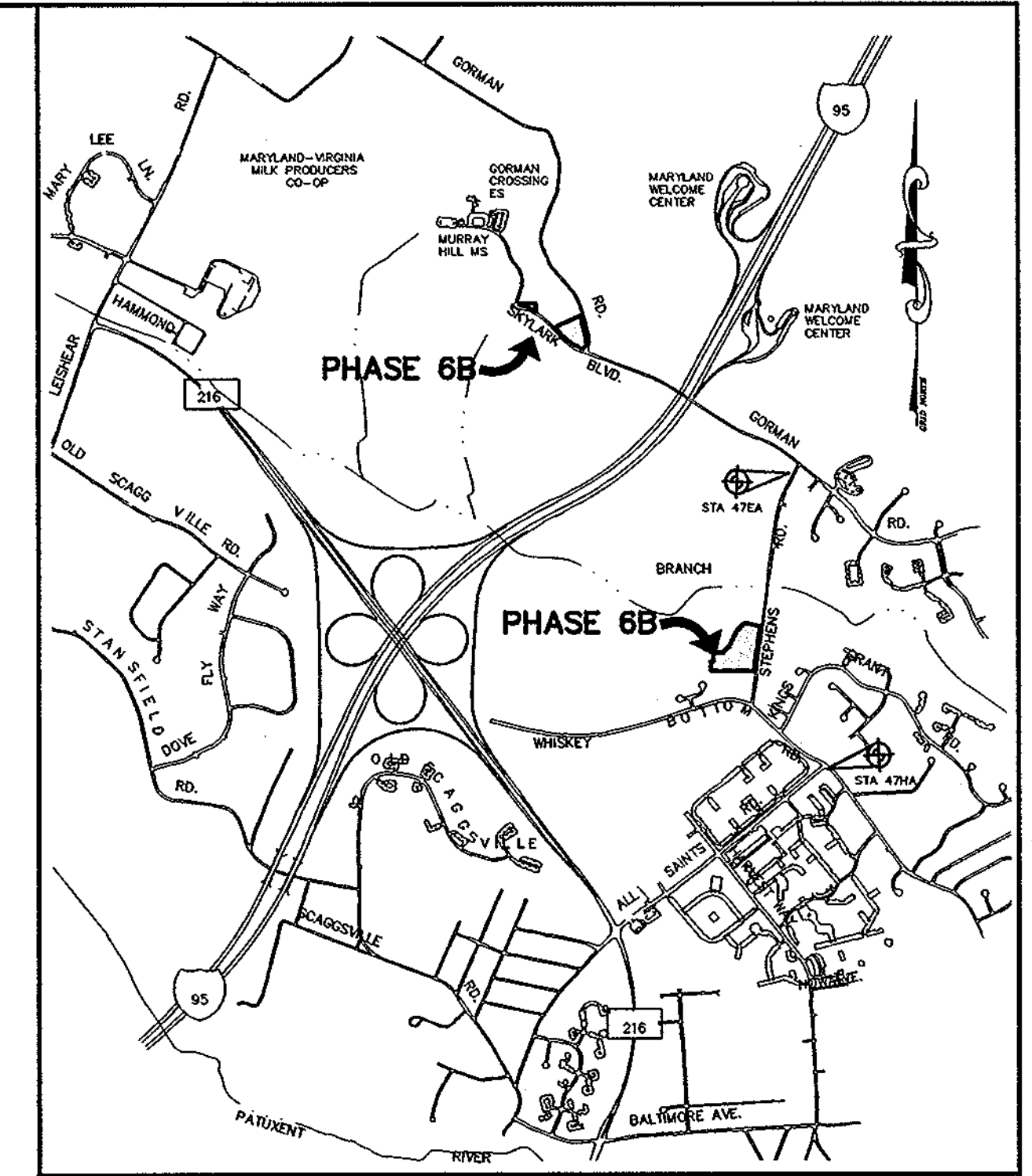
SECTION 2 PHASE 6B LOTS 1 THRU 22

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

GENERAL NOTES

- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL SURVEY MAPS WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY AIR SURVEY CORP. FLOWN IN APRIL 1998.
- WATER IS PUBLIC.
- SEWER IS PUBLIC.
- THE STORMWATER MANAGEMENT FOR THIS SITE WILL BE PROVIDED BY A PROPOSED SWM POND, POCKET POOL, HAZARD CLASS 'A' TO BE OWNED AND MAINTAINED BY HOA.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY DAFT McCUNE & WALKER, INC.
- THIS PROJECT FALLS UNDER THE APPROVED APFO STUDY OF S-99-12.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY DAFT, McCUNE & WALKER, INC. JULY 2000.
- SUBJECT PROPERTY ZONED PEC-MXD-3 PER ZONING BOARD CASE ZB-979-M.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S.: S-99-12, PB-339, ZB-979-M, PB-359 (AMENDED S-99-12)
- THERE IS NO 100 YEAR FLOODPLAIN ON THIS PROJECT.
- EXISTING UTILITIES ARE BASED ON PLANS OF RECORD.
- THERE ARE NO KNOWN CEMETARIES OR GRAVE SITES ON THIS PROPERTY.
- THE STORMWATER MANAGEMENT FACILITY SHOWN ARE SCHEMATIC ONLY. ACTUAL SIZE AND LOCATION OF THE FACILITY MAY CHANGE PRIOR TO CONSTRUCTION. THE DEVELOPER ACKNOWLEDGES THAT THESE FACILITIES MUST MEET CURRENT HOWARD COUNTY DESIGN CRITERIA/OR AS APPROVED BY WAIVER.
- SOIL MAP #33.
- OPEN SPACE AREAS MAY CONTAIN ACTIVE RECREATION FACILITIES AS ALLOWED IN THE APPROVED DEVELOPMENT CRITERIA.
- STREAM BUFFERS ARE DETERMINED BY LAND USE ADJOINING THE OPEN SPACE. EMPLOYMENT USE = 50' BUFFER FROM ANY STREAM. RESIDENTIAL USES = 50' BUFFER FOR INTERMITTENT STREAMS AND 75' BUFFER FOR PERENNIAL STREAMS.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZONING CASE ZB-979M AND THE DECISION AND ORDER FOR PB-339 AND PB-359, (COMPREHENSIVE SKETCH PLAN S-99-12).
- ON SEPTEMBER 3, 1998, THE ZONING BOARD GRANTED APPROVAL OF ZB-979M FOR THE PRELIMINARY DEVELOPMENT PLAN AND DEVELOPMENT CRITERIA FOR 516 ACRES OF LAND RE-ZONED AS PEC-MXD-3 AND R-SC-MXD-3.
- STREET TREES WILL BE PROVIDED ALONG STEPHENS ROAD, AND ALSO ALONG BOUNDLESS SHADE TERRACE AND MEADOWS FLOWERS COURT AT FINAL PLAN STAGE PER ROUTE 1 CORRIDOR REVITALIZATION MANUAL.
- DEVELOPMENT FOR THIS PHASE WILL BE DONE IN ACCORDANCE WITH THE DEVELOPMENT CRITERIA APPROVED WITH COMPREHENSIVE SKETCH PLAN S-99-12 (PB-339).
- ALL COMMON OPEN AREA AND HOA LOTS WILL BE OWNED BY THE EMERSON HOMEOWNERS ASSOCIATION.
- THERE ARE NO KNOWN WELLS OR SEPTIC SYSTEMS WITHIN THE LIMITS OF PHASE 6B.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT OF WAY LINE, AND NOT TO THE PIPESTEM DRIVEWAY.
- DEVELOPMENT OF EMERSON 2, SECTION 6B UNDER THE CURRENT FOREST CONSERVATION ACT PROPOSES APPROXIMATELY 5.51 ACRES OF FOREST CLEARING, NO FOREST RETENTION, AND 1.88 ACRES OF REFORESTATION. WHEN EVALUATED CUMULATIVELY WITH PREVIOUS PHASES OF THE PROJECT, 68.82 ACRES OF CLEARING, 52.35 ACRES OF RETENTION, AND 13.39 ACRES OF REFORESTATION IS PROPOSED. THE CUMULATIVE REFORESTATION OBLIGATION IS 11.17 ACRES.



VICINITY MAP
SCALE: 1"=2000'

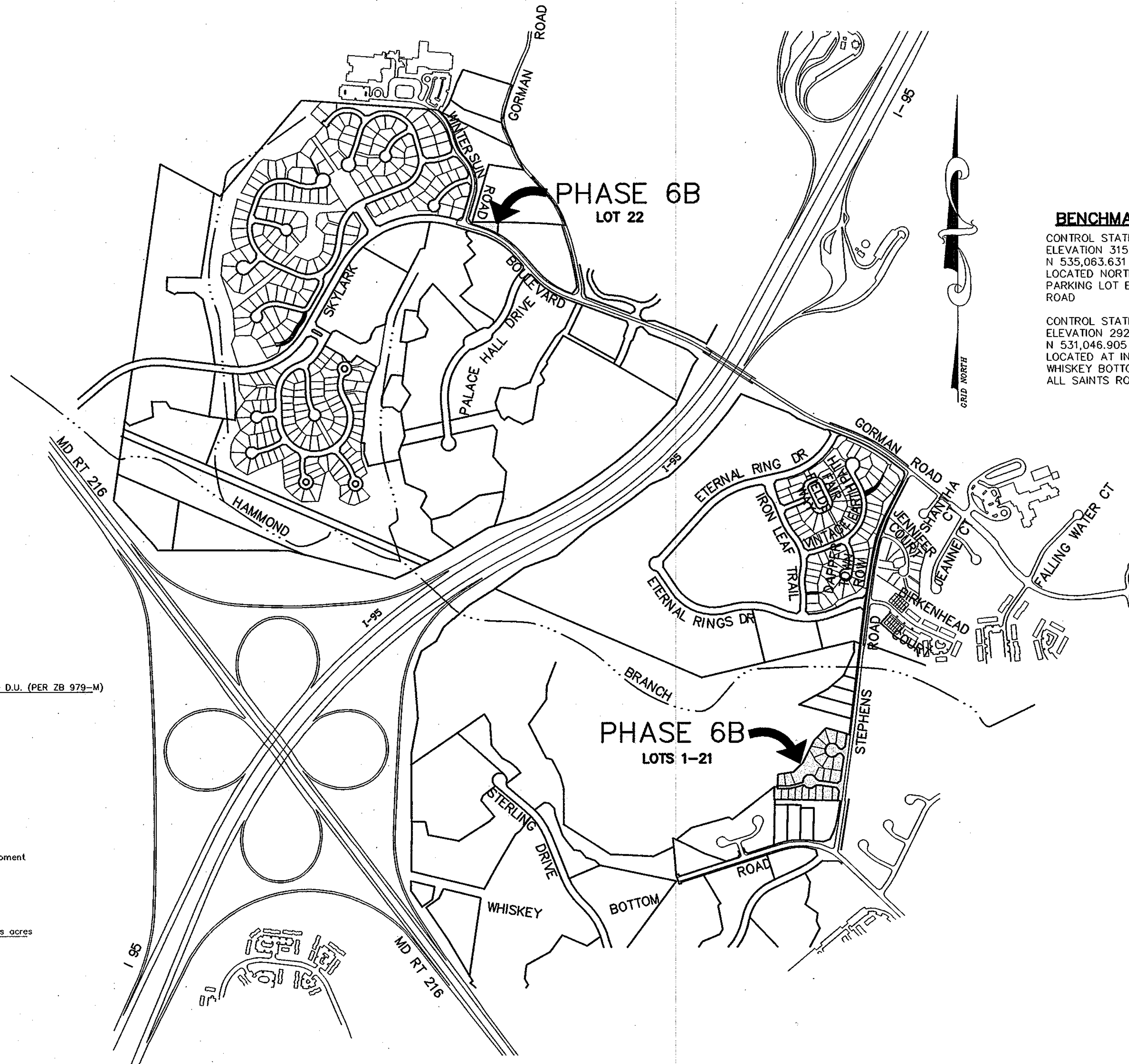
BENCHMARKS

- CONTROL STATION 47EA
ELEVATION 315.266
N 535,063.631 E 1,357,283.989
LOCATED NORTH OF SCHOOL
PARKING LOT EAST OF GORMAN
ROAD
- CONTROL STATION 47HA
ELEVATION 292.292
N 531,046.905 E 1,356,987.631
LOCATED AT INTERSECTION OF
WHISKEY BOTTOM ROAD AND
ALL SAINTS ROAD

SETBACKS FOR SINGLE FAMILY DETACHED LOTS

THE MINIMUM SETBACKS FOR STRUCTURES SHALL BE AS FOLLOWS:
FRONT SETBACK: 15' FROM THE RIGHT OF WAY TO THE HOUSE OR GARAGE
SIDE SETBACK: 5' TO THE PROPERTY LINE WITH A MINIMUM OF 15' BETWEEN STRUCTURES 0' TO THE PROPERTY LINE FOR ZERO LOT LINE DWELLINGS WITH A MINIMUM OF 15' BETWEEN STRUCTURES. 15' TO THE PROPERTY LINE WHEN ADJACENT TO ROAD RIGHT-OF-WAY.
REAR SETBACK: 10' FROM THE PROPERTY LINE TO AN OPEN DECK, 20' FROM THE PROPERTY LINE TO THE HOUSE

A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT OF WAY PROVIDED THAT (i) NO PART OF THE DWELLING SHALL ENCRUCH ON TO THE ADJOINING LOT; (ii) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE; (iii) SPACING BETWEEN DWELLING UNITS SHALL BE IN ACCORDANCE WITH THE SETBACK BETWEEN UNITS SET FORTH ABOVE. GARAGES, HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE. STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.



OVERALL MAP
SCALE: 1"=600'

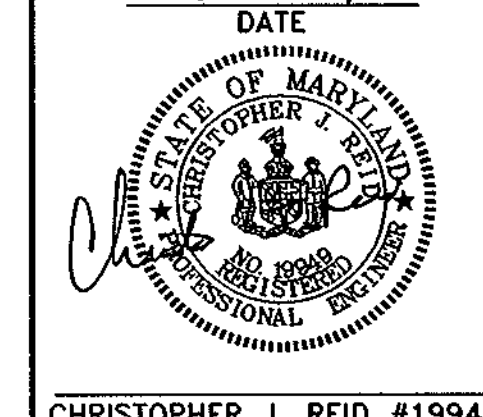
Site Analysis Data Chart

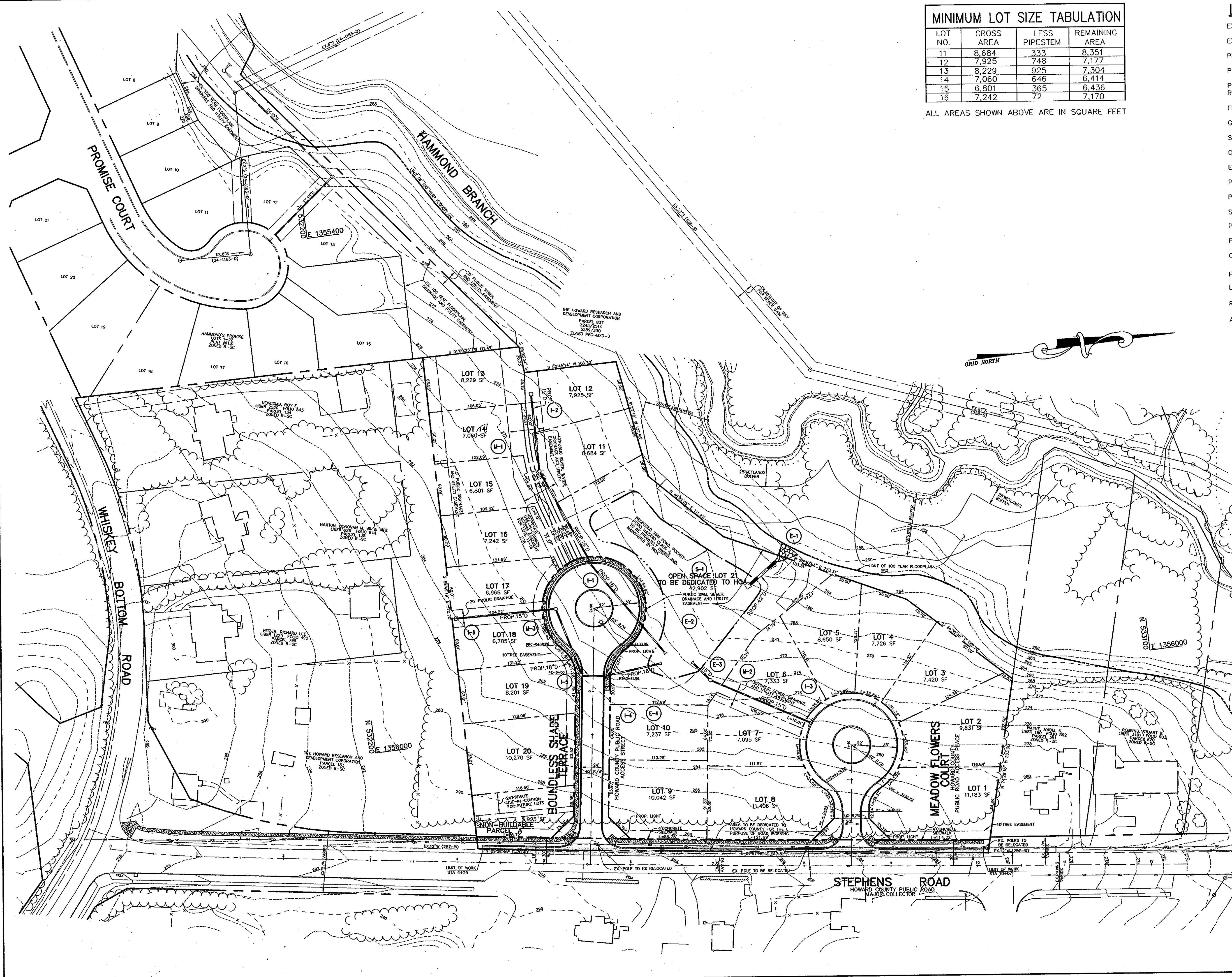
- General Site Data
 - a. Present Zoning: PEC-MXD-3
 - b. Applicable DPZ File References: S-99-12, PB-339, ZB-979-M
 - c. Proposed Use of Site or Structure(s): SFD & OPEN SPACE
 - Proposed Water and Sewer Systems: Public
 - Any Other Relevant Information: _____
 - Area Tabulation
 - a. Gross site area for Phase 6B: 8.52 Acres
 - b. Approximate Area of 100 Year Floodplain: 0
 - c. Approximate Area of Steep Slopes (25% or Greater): 0
 - d. Net Site Area: 8.52 Acres
 - e. Area of Proposed SFD Lots: 4.93
 - f. Area of Proposed OR Lots/Parcels: 0 Acres.
 - g. Area of Employment Lots/Parcels: 0 Acres.
 - h. Area of Proposed POA Open Space Lots: 0 Acres.
 - i. Area of Proposed Common Open Area Lots: 0 Acres.
 - k. Area of Proposed Public Roads: 0.98 Acres.
 - l. Area of Proposed Private Roads: 0 Acres. (Included in Pipestem Area)
 - Residential Unit/Lot Tabulation
 - a. Total Number of Residential Units/Lots Allowed for Overall Project: 1200 D.U. (PER ZB 979-M)
 - b. Number of SFD Residential Units/Lots Proposed: 20
 - c. Number of Other Residential SFA Units/Lots Proposed: 0
 - d. Number of Other Residential Apartment Units Proposed: 0
 - e. Number of Other Residential Parcels Proposed: 1
 - f. Total Number of Common Open Area Lots Proposed: 2
 - g. Total Number of Residential Lots/Parcels Proposed: 20
 - h. Total Number of Residential Units Proposed: 20
 - Open Space Data
 - a. Number of Open Space Lots/Parcels Proposed: 3 LOTS
 - b. Open Space Required: 3.02 Acres (35.4% of gross acreage)
 - c. Open Space Provided: 1.25 Acres *
 - d. No Recreational Open Space is Required for the Emerson Section 2 Development
 - Density Tabulations
 - a. Maximum Allowed Overall Density: 2.32 units/gross acres per PB 339.
 - b. Maximum Allowed Density for SFD Areas: 3.8 units/gross acres of all SFD.
 - c. Maximum Allowed Density for Other Residential (OR) areas: 12.8 units/gross acres of all OR areas; 20.0 Units/gross acre of any individual OR area.
 - d. Proposed SFD Density: 2.7 Units/Gross Acre.
- * Overall tracking chart to be submitted with final plans.

DATE	NO.	REVISION
OWNER/DEVELOPER		
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6000		
PROJECT		
EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22		
AREA	TAX MAP 47	BLOCK 8 & 9
	ZONED: PEC-MXD-3	PARCEL: 462
	6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE		
PRELIMINARY TITLE SHEET		
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects.		
PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282		
8.10.04	DATE	DESIGNED BY: A.C.R.
		DRAWN BY: DAM
		CHECKED BY: C.J.R.
		PROJECT NO: 22456/1-4
		C-PRECOVER
		DATE: AUGUST 10, 2004
		SCALE: AS SHOWN
		DRAWING NO. 1 OF 9

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ZONING OF
HOWARD COUNTY

Mark D. Reiser 8/10/04
PLANNING DIRECTOR DATE





MINIMUM LOT SIZE TABULATION			
LOT NO.	GROSS AREA	LESS PIPESTEM	REMAINING AREA
11	8,684	333	8,351
12	7,925	748	7,177
13	8,229	925	7,304
14	7,060	646	6,414
15	6,801	365	6,436
16	7,242	72	7,170

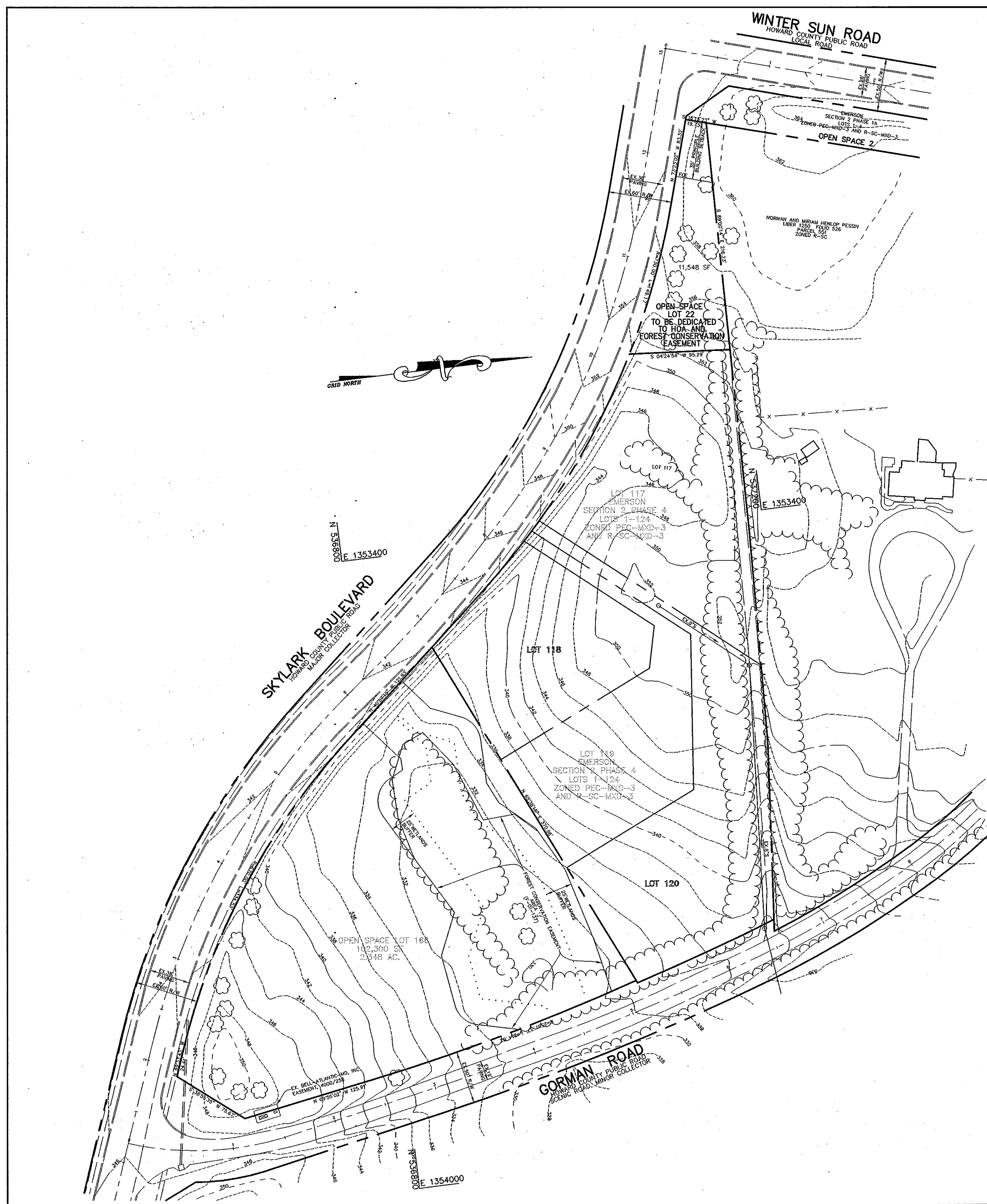
ALL AREAS SHOWN ABOVE ARE IN SQUARE FEET

LEGEND	
EXISTING 2' CONTOUR	--- 300 ---
EXISTING 10' CONTOUR	--- 300 ---
PROPOSED 2' CONTOUR	--- 300 ---
PROPOSED 10' CONTOUR	--- 300 ---
PROPERTY LINE AND RIGHT OF WAY	— — — — —
FENCE	— — — — —
GUARDRAIL	— — — — —
STORM DRAIN	— — — — —
OVERHEAD WIRES	— — — — —
EXISTING TREELINE	— — — — —
PROPOSED TREELINE	— — — — —
PROP. SPOT ELEVATION	13'2
SETBACK LINES	— — — — —
P-2 PAVING	— — — — —
P-3 PAVING	— — — — —
CONCRETE SIDEWALK	— — — — —
PROPOSED LIGHTS	*
LIMIT OF WETLANDS	— — — — —
REFORESTATION AREA	— — — — —
AREA TO BE CLEARED	— — — — —

TENTATIVELY APPROVED
 DEPT. OF PLANNING AND ZONING OF
 HOWARD COUNTY
David S. Layton 8/16/04
 PLANNING DIRECTOR DATE

DATE	NO.	REVISION
OWNER/DEVELOPER		
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6000		
PROJECT		
EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22		
AREA		
TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE		
PRELIMINARY PLAN		
Patton Harris Rust & Associates, PC Engineers, Surveyors, Planners, Landscape Architects.		
PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282		
8.10.04	DATE	DESIGNED BY : A.C.R.
		DRAWN BY : DAM
		CHECKED BY : C.J.R.
CHRISTOPHER J. REID #19949		PROJECT NO : 22456/1-4 C-PRELPLAN1
		DATE : AUGUST 10, 2004
		SCALE : 1" = 50'
		DRAWING NO. 2 OF 9

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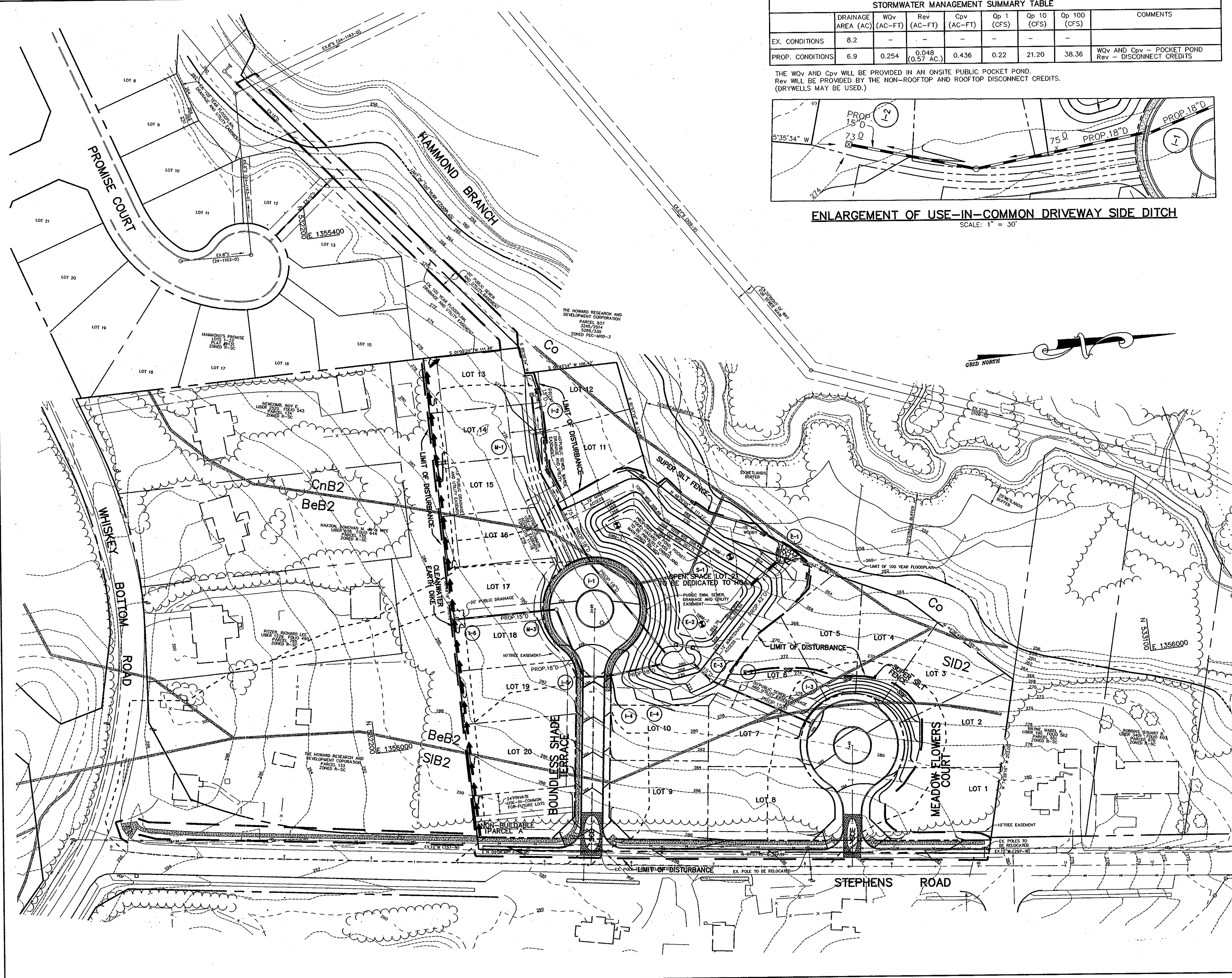


LEGEND	
EXISTING 2' CONTOUR	--- 300 ---
EXISTING 10' CONTOUR	--- 300 ---
PROPOSED 2' CONTOUR	--- 300 ---
PROPOSED 10' CONTOUR	--- 300 ---
PROPERTY LINE AND RIGHT OF WAY	--- 300 ---
FENCE	--- 300 ---
GUARDRAIL	--- 300 ---
STORM DRAIN	--- 15"D ---
OVERHEAD WIRES	--- OHW ---
EXISTING TREELINE	--- OHW ---
PROPOSED TREELINE	--- OHW ---
PROP. SPOT ELEVATION	13'2
SETBACK LINES	--- 300 ---
P-2 PAVING	--- 300 ---
P-3 PAVING	--- 300 ---
CONCRETE SIDEWALK	--- 300 ---
PROPOSED LIGHTS	* --- 300 ---
LIMIT OF WETLANDS	--- 300 ---
REFORESTATION AREA	--- 300 ---
AREA TO BE CLEARED	--- 300 ---

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 ZONING OF
 HOWARD COUNTY
David A. Wynn 8/10/04
 PLANNING DIRECTOR DATE

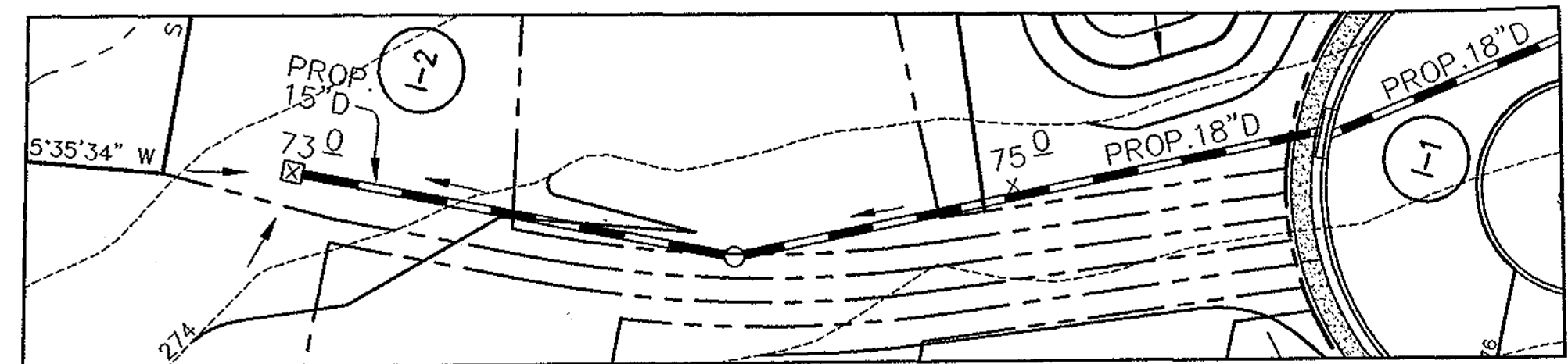
DATE	NO.	REVISION
OWNER/DEVELOPER		
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6000		
PROJECT		
EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22		
AREA		
TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE		
PRELIMINARY PLAN		
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects. PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282		
8-10-04 DATE	DESIGNED BY : A.C.R.	
	DRAWN BY : DAM	
	CHECKED BY : C.J.R.	
	PROJECT NO : 22456/1-4 C-PRELPLAN2	
	DATE : AUGUST 10, 2004	
	SCALE : 1" = 50'	
CHRISTOPHER J. REID #19949	DRAWING NO. 3 OF 9	

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	DRAINAGE AREA (AC)	WQv (AC-FT)	Rev (AC-FT)	Cpv (AC-FT)	Op 1 (CFS)	Op 10 (CFS)	Op 100 (CFS)	COMMENTS
EX. CONDITIONS	8.2	-	-	-	-	-	-	
PROP. CONDITIONS	6.9	0.254	0.048 (0.57 AC)	0.436	0.22	21.20	38.36	WQv AND Cpv - POCKET POND Rev - DISCONNECT CREDITS

THE WQv AND Cpv WILL BE PROVIDED IN AN ONSITE PUBLIC POCKET POND.
Rev WILL BE PROVIDED BY THE NON-ROOFTOP AND ROOFTOP DISCONNECT CREDITS.
(DRYWELLS MAY BE USED.)



ENLARGEMENT OF USE-IN-COMMON DRIVEWAY SIDE DITCH
SCALE: 1" = 30'

EXISTING 2' CONTOUR	--- 300 ---
EXISTING 10' CONTOUR	--- 300 ---
PROPOSED 2' CONTOUR	--- 300 ---
PROPOSED 10' CONTOUR	--- 300 ---
PROPERTY LINE AND RIGHT OF WAY	---
FENCE	---
GUARDRAIL	---
STORM DRAIN	--- 15"D ---
OVERHEAD WRES	--- OHW ---
EXISTING TREELINE	---
PROPOSED TREELINE	---
PROP. SPOT ELEVATION	13' 2
SETBACK LINES	---
P-2 PAVING	---
P-3 PAVING	---
CONCRETE SIDEWALK	---
PROPOSED LIGHTS	*
LIMIT OF WETLANDS	---
REFORESTATION AREA	---
AREA TO BE CLEARED	---

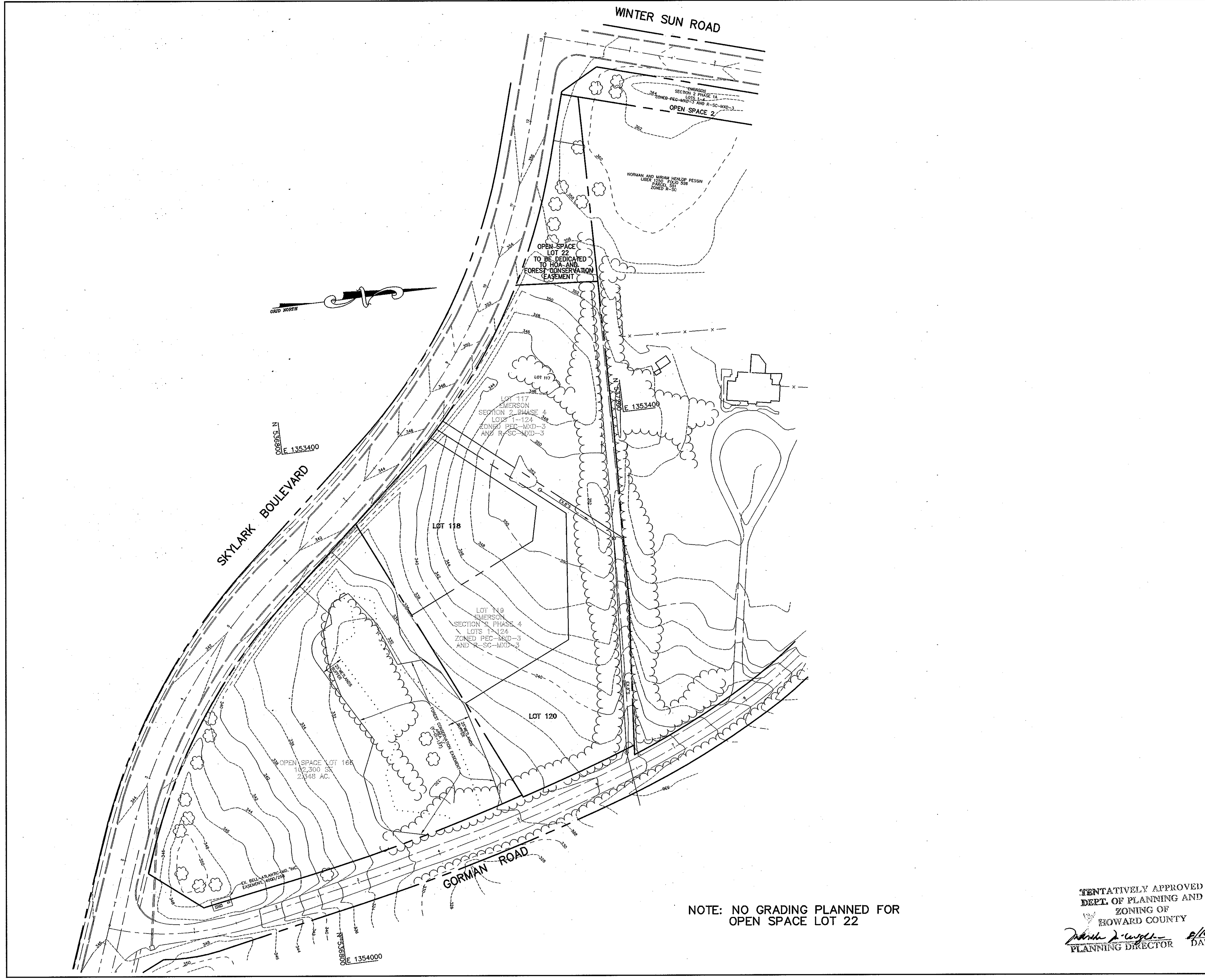
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DEPT. OF PLANNING AND ZONING OF
HOWARD COUNTY

David A. Gaylor *8/10/04*
PLANNING DIRECTOR DATE

INLET NO.	AREA (AC)	C	% IMP
I-1	0.8	0.31	38
I-2	0.5	0.31	38
I-3	1.0	0.31	38
I-4	0.3	0.31	38
I-5	0.6	0.31	38
I-6	2.2	0.31	38

DATE	NO.	REVISION
OWNER/DEVELOPER		
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6000		
PROJECT		
EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22		
AREA		
TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE		
PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN		
Patton Harris Rust & Associates, PC Engineers, Surveyors, Planners, Landscape Architects.		
PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9222		
8-10-04 DATE	DESIGNED BY : A.C.R.	
DRAWN BY : DAM		
CHECKED BY : C.J.R.		
PROJECT NO : 22456/1-4 C-PRELGRAD1		
DATE : AUGUST 10, 2004		
SCALE : 1" = 50'		
DRAWING NO. 4 OF 9		
CHRISTOPHER J. REID #19949		

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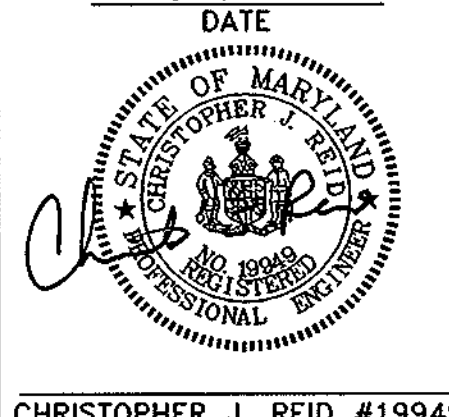
LEGEND

EXISTING 2' CONTOUR	---	300
EXISTING 10' CONTOUR	---	300
PROPOSED 2' CONTOUR	---	300
PROPOSED 10' CONTOUR	---	300
PROPERTY LINE AND RIGHT OF WAY	---	
FENCE	---	
GUARDRAIL	---	
STORM DRAIN	---	15" D
OVERHEAD WIRES	---	OHW
EXISTING TREELINE	---	
PROPOSED TREELINE	---	
PROP. SPOT ELEVATION	---	13' 2
SETBACK LINES	---	
P-2 PAVING	---	
P-3 PAVING	---	
CONCRETE SIDEWALK	---	
PROPOSED LIGHTS	---	*
LIMIT OF WETLANDS	---	
REFORESTATION AREA	---	
AREA TO BE CLEARED	---	

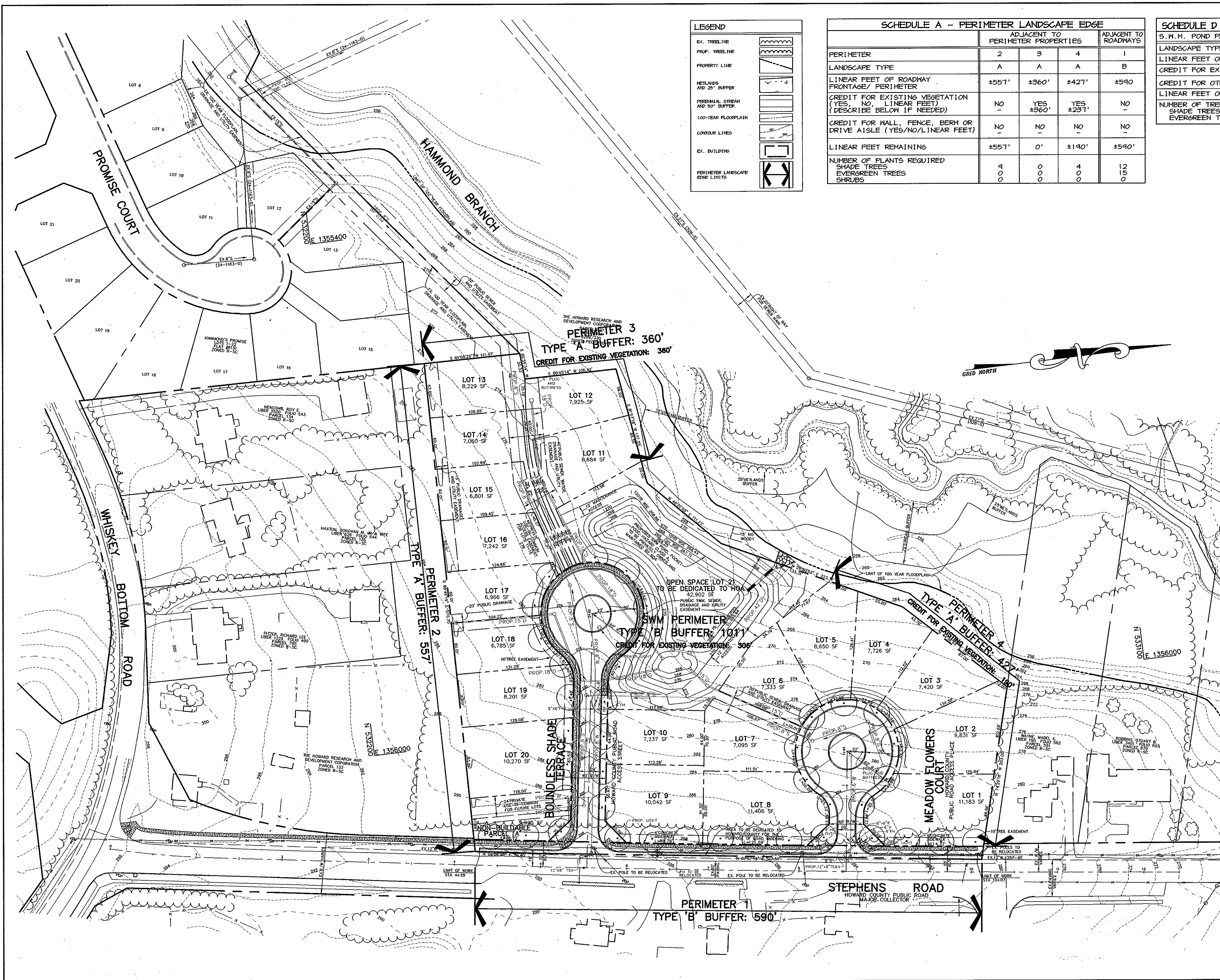
NOTE: NO GRADING PLANNED FOR OPEN SPACE LOT 22

TENTATIVELY APPROVED
 DEPT. OF PLANNING AND ZONING OF
 HOWARD COUNTY
 Planning Director
 DATE

DATE	NO.	REVISION
OWNER/DEVELOPER		
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PROJECT		
EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22		
AREA		
TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE		
PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN		
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects.		
PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282		
8.10.04 DATE	DESIGNED BY : A.C.R.	
DRAWN BY : DAM		
CHECKED BY : C.J.R.		
PROJECT NO : 22456/1-4 C-PRELGRAD2		
DATE : AUGUST 10, 2004		
SCALE : 1" = 50'		
DRAWING NO. 5 OF 9		



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LEGEND

EX. TREELINE	
PROP. TREELINE	
PROPERTY LINE	
NETLANDS AND 25' BUFFER	
PERENNIAL STREAM AND 50' BUFFER	
100-YEAR FLOODPLAIN	
CONTOUR LINES	
EX. BUILDINGS	
PERIMETER LANDSCAPE EDGE LIMITS	

SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	ADJACENT TO PERIMETER PROPERTIES			ADJACENT TO ROADWAYS
	2	3	4	1
LANDSCAPE TYPE	A	A	A	B
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±557'	±360'	±427'	±590'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	YES ±360'	YES ±237'	NO
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	NO	NO	NO	NO
LINEAR FEET REMAINING	±557'	0'	±190'	±590'
NUMBER OF PLANTS REQUIRED				
SHADE TREES	4	0	4	12
EVERGREEN TREES	0	0	0	15
SHRUBS	0	0	0	0

SCHEDULE D - STORMWATER MANAGEMENT AREA LANDSCAPING

S.W.M. POND PERIMETER	1
LANDSCAPE TYPE	B
LINEAR FEET OF TOTAL PERIMETER	±1,011'
CREDIT FOR EX. VEGETATION (NO OR YES & %)	YES 30%
CREDIT FOR OTHER PROP. LANDSCAPING (NO OR YES & %)	NO
LINEAR FEET OF REMAINING PERIMETER	705'
NUMBER OF TREES REQUIRED:	
SHADE TREES	15
EVERGREEN TREES	18

- GENERAL NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
 - AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
 - NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.

TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF
HOWARD COUNTY

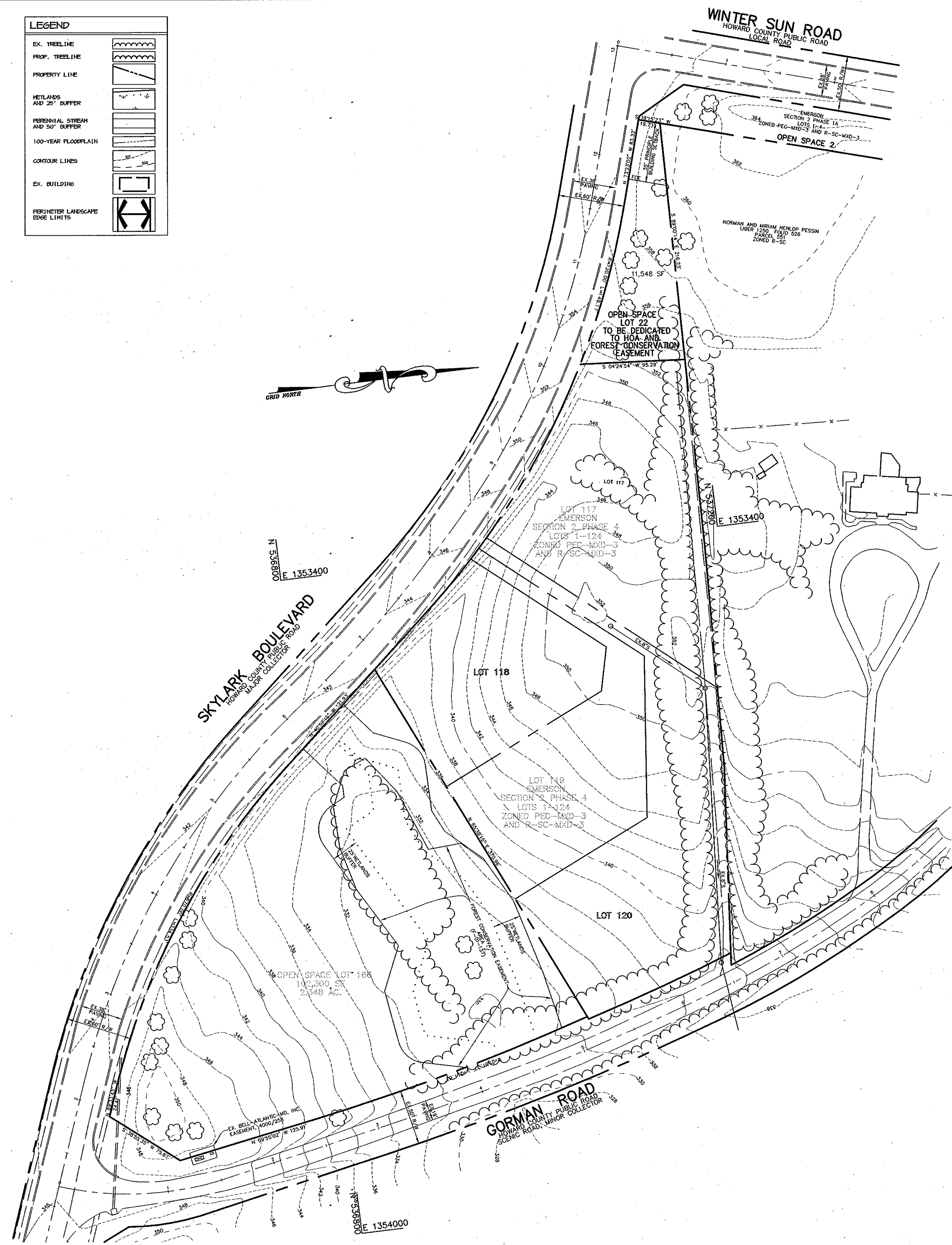
John P. Wright 8/14/04
PLANNING DIRECTOR DATE

DATE NO.	REVISION
OWNER/DEVELOPER	THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6000
PROJECT	EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22
AREA	TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	PRELIMINARY LANDSCAPE PLAN
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects.	818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282
DESIGNED BY: A.C.R.	DRAWN BY: DAM
CHECKED BY: C.J.R.	PROJECT NO: 22456/1-4 C-PRELLAND1
DATE: AUGUST 10, 2004	SCALE: 1" = 50'
DRAWING NO. 6 OF 9	



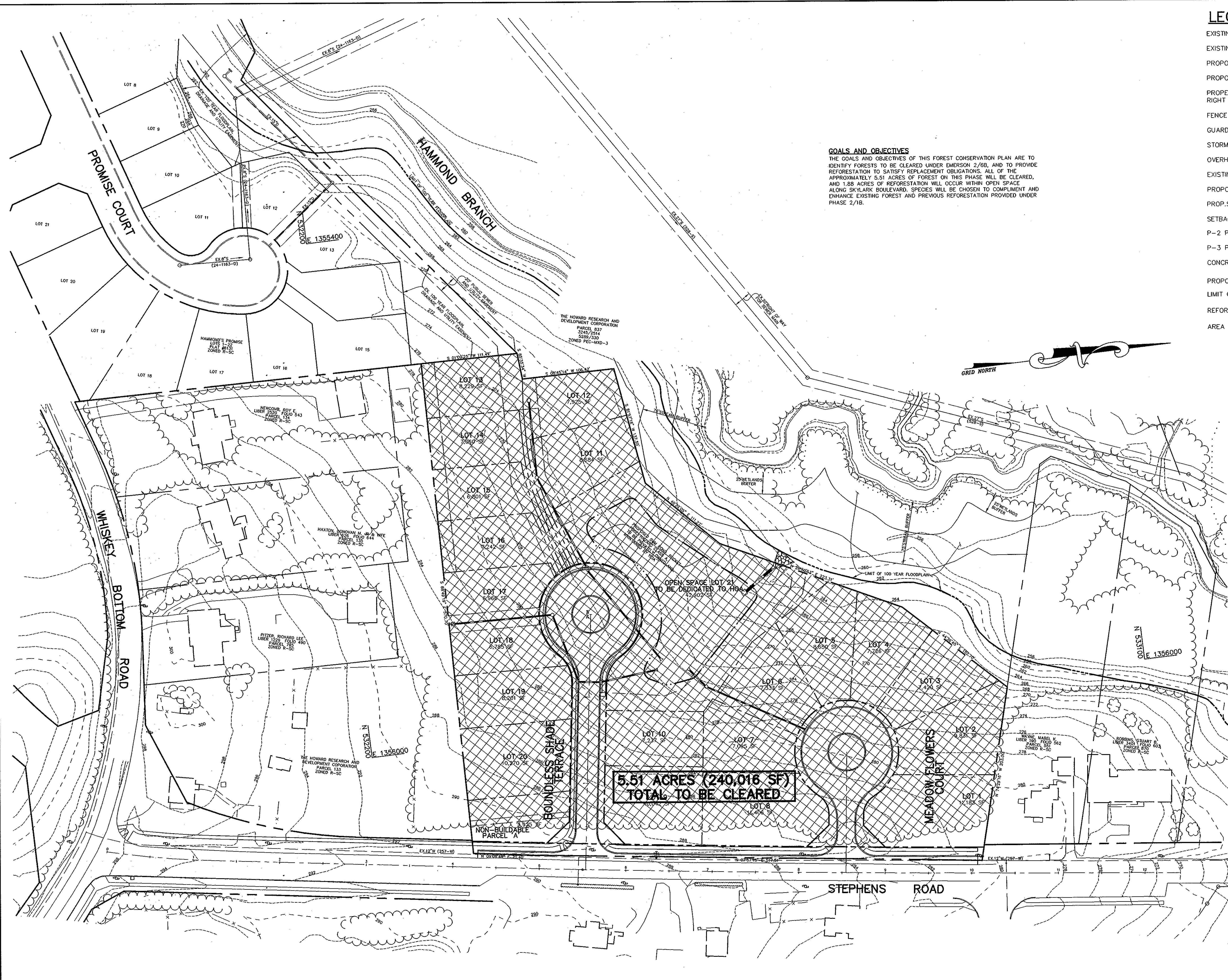
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LEGEND	
EX. TREELINE	
PROP. TREELINE	
PROPERTY LINE	
WETLANDS AND 25' BUFFER	
PERENNIAL STREAM AND 50' BUFFER	
100-YEAR FLOODPLAIN	
CONTOUR LINES	
EX. BUILDING	
PERIMETER LANDSCAPE EDGE LIMITS	



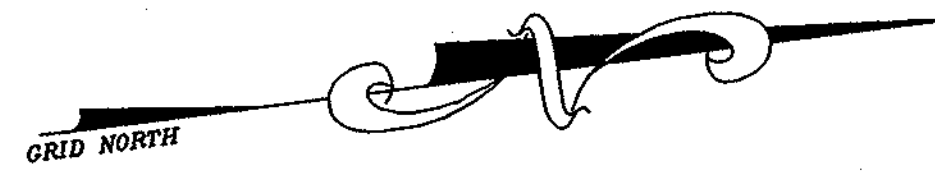
TENTATIVELY APPROVED
 DEPT. OF PLANNING AND
 ZONING OF
 HOWARD COUNTY
Scott R. Wolford
 PLANNING DIRECTOR 8/10/04

DATE	NO.	REVISION
OWNER/DEVELOPER		
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6000		
PROJECT		
EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22		
AREA		
TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE		
PRELIMINARY LANDSCAPE PLAN NOTES AND TABULATIONS		
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects.		
PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282		
8-10-04	DATE	DESIGNED BY : A.C.R.
	797	DRAWN BY : DAM
		CHECKED BY : C.J.R.
		PROJECT NO : 22456/1-4
		C-PRELLAND2
		DATE : AUGUST 10, 2004
		SCALE : 1" = 50'
		DRAWING NO. 7 OF 9
		SCOTT R. WOLFORD #797



GOALS AND OBJECTIVES
 THE GOALS AND OBJECTIVES OF THIS FOREST CONSERVATION PLAN ARE TO IDENTIFY FORESTS TO BE CLEARED UNDER EMERSON 2/6B, AND TO PROVIDE REFORESTATION TO SATISFY REPLACEMENT OBLIGATIONS. ALL OF THE APPROXIMATELY 5.51 ACRES OF FOREST ON THIS PHASE WILL BE CLEARED, AND 1.88 ACRES OF REFORESTATION WILL OCCUR WITHIN OPEN SPACE ALONG SKYLARK BOULEVARD. SPECIES WILL BE CHOSEN TO COMPLIMENT AND ENHANCE EXISTING FOREST AND PREVIOUS REFORESTATION PROVIDED UNDER PHASE 2/1B.

LEGEND	
EXISTING 2' CONTOUR	--- 300 ---
EXISTING 10' CONTOUR	--- 300 ---
PROPOSED 2' CONTOUR	--- 300 ---
PROPOSED 10' CONTOUR	--- 300 ---
PROPERTY LINE AND RIGHT OF WAY	-----
FENCE	====
GUARDRAIL	====
STORM DRAIN	====
OVERHEAD WIRES	--- OHW ---
EXISTING TREELINE	~~~~~
PROPOSED TREELINE	~~~~~
PROP. SPOT ELEVATION	13' x 2
SETBACK LINES	-----
P-2 PAVING	-----
P-3 PAVING	-----
CONCRETE SIDEWALK	-----
PROPOSED LIGHTS	*
LIMIT OF WETLANDS	-----
REFORESTATION AREA	-----
AREA TO BE CLEARED	-----



TENTATIVELY APPROVED
 DEPT. OF PLANNING AND ZONING OF
 HOWARD COUNTY
 Planning Director DATE

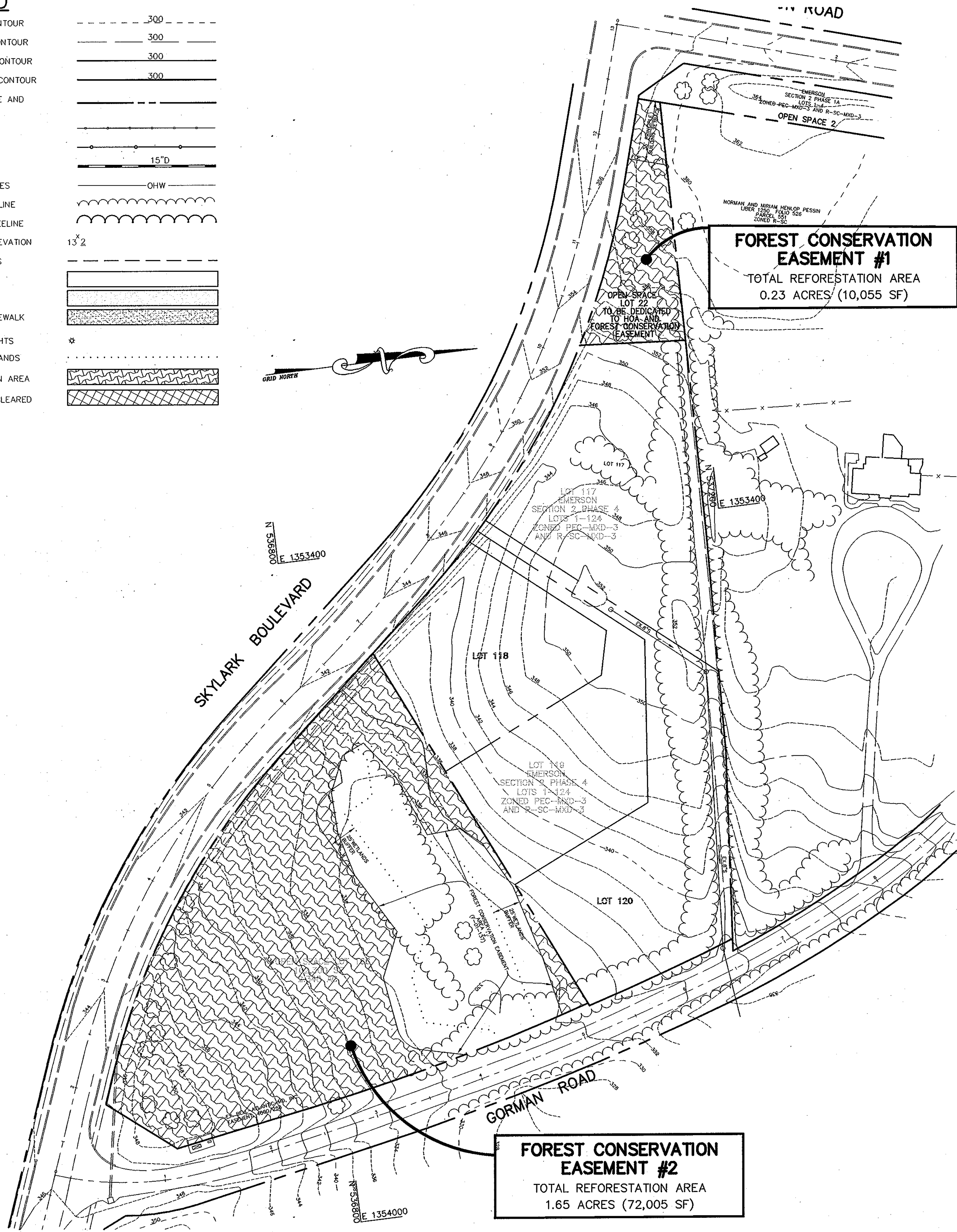
DATE NO.	REVISION
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PROJECT	
EMERSON SECTION 2 PHASE 6B, LOTS 1 THRU 22	
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TAX MAP 47 BLOCK 8 & 9 ZONED: PEC-MXD-3 PARCEL: 462 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE	
PRELIMINARY FOREST CONSERVATION PLAN	
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects. PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410-997-8900 F 410-997-9282	
8-10-04 DATE	DESIGNED BY : A.C.R.
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	DATE : AUGUST 10, 2004
	SCALE : 1" = 50'
	DRAWING NO. 8 OF 9

**5.51 ACRES (240,016 SF)
 TOTAL TO BE CLEARED**

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LEGEND

EXISTING 2' CONTOUR	---	300
EXISTING 10' CONTOUR	---	300
PROPOSED 2' CONTOUR	---	300
PROPOSED 10' CONTOUR	---	300
PROPERTY LINE AND RIGHT OF WAY	---	
FENCE	---	
GUARDRAIL	---	
STORM DRAIN	---	15'D
OVERHEAD WIRES	---	OHW
EXISTING TREELINE	---	
PROPOSED TREELINE	---	
PROP. SPOT ELEVATION	---	13'2
SETBACK LINES	---	
P-2 PAVING	---	
P-3 PAVING	---	
CONCRETE SIDEWALK	---	
PROPOSED LIGHTS	---	*
LIMIT OF WETLANDS	---	
REFORESTATION AREA	---	
AREA TO BE CLEARED	---	



FOREST CONSERVATION EASEMENT #1
TOTAL REFORESTATION AREA
0.23 ACRES (10,055 SF)

FOREST CONSERVATION EASEMENT #2
TOTAL REFORESTATION AREA
1.65 ACRES (72,005 SF)

FOREST CONSERVATION TRACKING CHART

Section/ Phase Number	Gross Area	Floodplain	Net Tract Area	Ex. Forest Area	Forest * Cleared	Forest Retained	Reforest./Affor. Required	Reforest./Affor. Provided	Excess Reforest./Affor.	Future Forest Clearing	Future Refor./Affor.	Comments
2 1A/1B	106.20	3.50	102.70	24.70	7.93	16.77	0.61	5.03	4.42	4.48	3.41	
2/2	118.90	3.50	115.40	24.80	8.03	16.77	2.95	5.03	2.08	3.28	3.41	See Note A
2/3	137.35	4.00	133.35	34.40	12.53	21.87	1.27	5.03	3.76	2.18	3.91	See Note B
3/1	206.85	21.19	185.66	85.30	39.47	45.83	0.00	5.03	5.03	2.18	3.91	
3/2	220.27	21.27	199.00	87.50	41.67	45.83	0.00	5.03	5.03	2.18	3.91	See Note C
2 /4	264.81	26.57	238.24	98.18	47.15	51.03	0.00	5.03	5.03	2.49	5.24	
2/5/C	267.84	27.40	240.44	98.62	47.59	51.03	0.00	5.77	5.77	2.49	5.24	
2/6/A	277.66	27.40	250.26	98.62	47.59	51.03	0.00	5.77	5.77	2.49	5.24	See Note D
2 /4	277.66	27.40	250.26	98.62	47.59	51.03	0.00	8.55	8.55	2.49	3.91	See Note E
2/5/A	306.84	27.51	279.33	98.66	47.63	51.03	2.78	8.74	5.96	2.49	3.91	
2/5/B	332.54	32.43	300.11	115.66	63.31	52.35	8.50	11.51	3.01	2.49	3.91	See Note F
2/6/B	341.16	32.45	308.71	121.17	68.82	52.35	11.17	13.39	2.22	2.49	3.91	See Note G

- A. 1.20 +/- ACRES OF FUTURE FOREST CLEARING SHOWN ON F-01-137 WAS CLEARED FOR SWM ON OPEN SPACE LOT 174.
- B. 1.10 +/- ACRES OF FUTURE FOREST CLEARING SHOWN ON F-01-137 WAS CLEARED FOR SWM ON OPEN SPACE LOT 176.
- C. GROSS AREA INCLUDES 1.07 +/- ACRES FOR SANITARY SEWER EXTENSION AND CONTAINS 0.08 +/- ACRES OF FLOODPLAIN.
- D. GROSS AREA EXCLUDES 0.38 ACRES FOR THE SANITARY SEWER SHOWN ON F-02-178. GROSS AREA ALSO EXCLUDES 0.07 ACRES FOR AREA PREVIOUSLY ACCOUNTED FOR UNDER P-03-16.
- E. THIS LINE ITEM ACCOUNTS FOR REFORESTATION PROVIDED RETROSPECTIVELY ON A PHASE THAT PREVIOUSLY ADDRESSED FOREST CONSERVATION ACT COMPLIANCE.
- F. GROSS AREA EXCLUDES 0.52 +/- ACRES FOR SANITARY SEWER SHOWN ON F-02-178, AND 0.2 ACRES FOR PALACE HALL DRIVE RIGHT-OF-WAY SHOWN ON F-01-145. GROSS AREA INCLUDES 2.37 ACRES FOR THE WETLAND MITIGATION ON-SITE. FLOODPLAIN INCLUDES 1.2 ACRES FOR THE MITIGATION AREA FLOODPLAIN.
- G. OFF-SITE SEWER EXTENSION ADDS 0.09 +/- ACRES TO THE GROSS AREA, 0.02 +/- ACRES TO THE FLOODPLAIN, AND 0.07 ACRES TO THE EXISTING FOREST AREA AND FOREST CLEARING NUMBERS.

FOREST CONSERVATION CALCULATIONS

BASIC SITE DATA	ACRES (1/100)
GROSS SITE AREA	341.16
AREA WITHIN 100 YEAR FLOODPLAIN	32.45
AREA WITHIN AGRICULTURAL USE OR PRESERVATION PARCEL (IF APPLICABLE)	N/A
NET TRACT AREA	308.71
LAND USE CATEGORY	CAI
INFORMATION FOR CALCULATIONS	
A. NET TRACT AREA	308.71
B. REFORESTATION THRESHOLD (15% x A)	46.31
C. AFFORESTATION MINIMUM (15% x A)	46.31
D. EXISTING FOREST ON NET TRACT AREA	121.17
E. FOREST AREAS TO BE CLEARED	68.82
F. FOREST AREAS TO BE RETAINED	52.35
REFORESTATION CALCULATIONS	
A. NET TRACT AREA	308.71
B. REFORESTATION THRESHOLD (15% x A)	46.31
C. EXISTING FOREST ON NET TRACT AREA	121.17
D. FOREST AREAS TO BE CLEARED	68.82
E. FOREST AREAS TO BE RETAINED	52.35
F. FOREST AREAS CLEARED ABOVE REFORESTATION THRESHOLD	68.75
G. FOREST AREAS CLEARED BELOW REFORESTATION THRESHOLD	0.00
H. FOREST AREAS RETAINED ABOVE REFORESTATION THRESHOLD	6.04
CLEARING ABOVE THE THRESHOLD	
IF FOREST AREAS TO BE RETAINED ARE LESS THAN THE REFORESTATION THRESHOLD (IF F IS GREATER THAN B), THE FOLLOWING CALCULATIONS APPLY:	
REFORESTATION FOR CLEARING ABOVE THRESHOLD	
Fx1/4	17.21
REFORESTATION FOR CLEARING BELOW THRESHOLD	
Gx2	0.00
TOTAL REFORESTATION REQUIRED (Fx1/4) + (Gx2)	17.21
CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD	
REFORESTATION REQUIRED	6.04
REFORESTATION PROVIDED	11.17 ACRES
REFORESTATION PROVIDED	13.39 ACRES

TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF
HOWARD COUNTY
David A. Engle PLANNING DIRECTOR
8/10/04 DATE

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SCOTT R. WOLFORD #797		

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