

GENERAL NOTES

1. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS AND ALTERNATIVE COMPLIANCE HAVE BEEN APPROVED.
2. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 3018 AND 3108 WERE USED FOR THIS PROJECT.
3. THE SUBJECT PROPERTY IS ZONED "POR" IN ACCORDANCE WITH THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
4. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
5. PUBLIC WATER IS PROVIDED BY CONTRACT 248-W. PUBLIC SEWER IS PROVIDED BY CONTRACT 547-S-B.
6. THERE ARE MODIFIED SLOPES (15% - 24.99%) LOCATED ON-SITE. THERE ARE NO STEEP SLOPES (>25%) LOCATED ON-SITE.
7. FOREST STAND DELINEATION REPORT AND PLAN HAS BEEN PREPARED BY JOHN CAVELLES, ECO-SCIENCE PROFESSIONALS, INC. DATED FEBRUARY 13, 2023.
8. THERE IS NO 100-YR FLOODPLAIN, LOCATED WITHIN THE SITE.
9. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS WITH THE EXCEPTION OF THE WETLAND AND WETLAND BUFFER AUTHORIZED FOR DISTURBANCE BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT. THE M.D.E. PERMIT APPLICATION WILL BE SUBMITTED AT THE SDP STAGE.
10. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
11. WATERLOO ROAD IS CLASSIFIED AS A MINOR ARTERIAL ROAD.
12. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS OR CEMETERIES ON THIS PROPERTY. THERE ARE NO HISTORIC HOUSES LOCATED ON THIS PROPERTY.
13. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY ONE (1) BIORETENTION FACILITY (F-6). THIS FACILITY SHALL BE PRIVATELY OWNED AND MAINTAINED. THE 10-YR AND 100-YR STORM EVENTS SHALL BE MANAGED BY AN UNDERGROUND DETENTION SYSTEM AND CONTROL STRUCTURE.
14. THE SITE IS LOCATED IN THE TRIBUTARY DRAINAGE AREAS TO THE DEEP RUN ABOVE RAILROAD CROSSINGS. THEREFORE IT SHALL BE REQUIRED TO PROVIDE 10-YR AND 100-YR PEAK MANAGEMENT CONTROL.
15. APPROVAL OF THIS ENVIRONMENTAL CONCEPT PLAN (ECP) DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR REDLINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR REDLINE REVISION PROCESS. THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS (INCLUDING COMMENTS THAT MAY ALTER THE OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.
16. APPROVAL OF THIS ENVIRONMENTAL CONCEPT PLAN (ECP) BY THE HOWARD SOIL CONSERVATION DISTRICT DOES NOT GRANT APPROVAL OF THE PROPOSED SEDIMENT CONTROL SCHEME. THE SITE DEVELOPMENT PLAN SHALL INCLUDE A SEQUENCE OF CONSTRUCTION WHICH SHALL DETAIL SEDIMENT & EROSION CONTROLS AND PHASING AND ADDRESS THE PROJECT TEMPORARY STORMWATER MANAGEMENT REQUIREMENTS.
17. THE FOREST CONSERVATION OBLIGATION FOR THIS PROJECT SHALL BE ADDRESSED IN THE SITE DEVELOPMENT PLAN PHASE. APPROVAL OF THIS ECP DOES NOT INDICATE OR INFER APPROVAL OF FUTURE ALTERNATIVE COMPLIANCE REQUESTS.
18. THE REMOVAL OF SPECIMEN TREES WILL REQUIRE APPROVAL OF ALTERNATIVE COMPLIANCE TO SECTION 16.1205(o)(3). APPROVAL OF THIS ECP DOES NOT INDICATE OR INFER APPROVAL OF FUTURE ALTERNATIVE COMPLIANCE REQUESTS.
19. THE DISTURBANCE TO THE WETLANDS, WETLAND BUFFER AND STREAM BUFFER WILL REQUIRE ALTERNATIVE COMPLIANCE APPROVAL. APPROVAL OF THIS ECP DOES NOT INDICATE OR INFER APPROVAL OF FUTURE ALTERNATIVE COMPLIANCE REQUESTS.
20. THE CURRENT SITE DESIGN WILL REQUIRE A VARIANCE OR ADMINISTRATIVE ADJUSTMENT TO THE '30' STRUCTURE & USE SETBACK. APPROVAL OF THIS ECP DOES NOT INDICATE OR INFER AUTHORIZATION TO ENCRUCH THE SETBACK.

ENVIRONMENTAL SITE DESIGN NARRATIVE:

IN ACCORDANCE WITH THE DEVELOPMENT ENGINEERING DIVISION ECP CHECKLIST ITEM 11.K.

1. THE NATURAL AREA ON THE 5497 WATERLOO ROAD PROJECT SITE ARE LOCATED ON THE EAST END OF THE PROPERTY BOUNDARIES. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS WITH THE EXCEPTION OF THE WETLAND AND WETLAND BUFFER AUTHORIZED FOR DISTURBANCE BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT. THE M.D.E. PERMIT APPLICATION WILL BE SUBMITTED AT THE SDP STAGE.
 2. NO DRAMATIC DISTURBANCE TO THE NATURAL DRAINAGE PATTERNS ARE PROPOSED. PLEASE REFER TO THE PROPOSED GRADING SHEETS.
 3. THE CONCEPTUAL REDUCTION IN IMPERVIOUS AREA THROUGH BETTER SITE DESIGN IS ACHIEVED THROUGH THE ENVIRONMENTAL SITE DESIGN (ESD) FOR THE PROJECT. THE ESD CONCEPT INCLUDES THE USE OF ALTERNATIVE SURFACES PERVIOUS PAVEMENT (A-2) AND A MICRO-SCALE PRACTICE TO INCLUDE MICRO-BIORETENTION FACILITY (M-6). THE PROPOSED PROJECT IS LOCATED IN THE TRIBUTARY DRAINAGE AREAS TO THE DEEP RUN ABOVE RAILROAD CROSSINGS AND SHALL BE REQUIRED TO PROVIDE 10-YR AND 100-YR PEAK MANAGEMENT CONTROL. THEREFORE, A P₂ OF 1.0" WILL BE TREATED FOR ESDV. THE 10-YR AND 100-YR STORM EVENTS WILL BE CONTROLLED WITH AN UNDERGROUND DETENTION PIPE FACILITY AND CONTROL STRUCTURE.
 4. SEDIMENT CONTROL FOR THIS SPECIFIC SITE PLAN WILL BE PROVIDED THROUGH THE USE OF STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE PERIMETER CONTROLS AND INLET PROTECTIONS. SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH CURRENT REQUIREMENTS AND SHALL BE APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
 5. STORMWATER MANAGEMENT FOR THE PROJECT HAS BEEN CONCEPTUALLY MET THROUGH THE USE OF PERVIOUS PAVEMENTS (A-2) AND A MICRO-BIORETENTION FACILITY (M-6). THE RESULTS OF THE ENVIRONMENTAL SITE DESIGN FOR THIS PROJECT WILL REFLECT "WOODS IN GOOD CONDITION".
- TARGET P₂ = 2.00"
 POST PEAK MANAGEMENT CONTROL P₂ = 1.00"
 REQUIRED ESDV = 3,835 CU.FT. PROVIDED P₂ = 1.15"
 PROVIDED ESDV = 3,852 +/- CU.FT.
- AT THIS CONCEPT STAGE OF DEVELOPMENT, NO WAIVER PETITIONS FOR THE STORMWATER MANAGEMENT DESIGN ARE REQUIRED. THE REMOVAL OF SPECIMEN TREES WILL REQUIRE APPROVAL OF ALTERNATIVE COMPLIANCE TO SECTION 16.1205(o)(3). THE DISTURBANCE TO THE WETLAND, WETLAND BUFFER AND STREAM BUFFER WILL REQUIRE APPROVAL OF ALTERNATIVE COMPLIANCE TO SECTION 16.116(o)(1).
- * REMAINDER OF P₂ (quantity) is provided in underground storage.

SITE DATA

- A. LOCATION: 5497 WATERLOO ROAD, HO. CO., MD.; TAX MAP 31, BLOCK 19, PARCEL 470
- B. 1ST ELECTION DISTRICT
- C. PRESENT ZONING: POR
- D. SITE AREA: 88,874 S.F. OR 2.04 AC.
- E. USE OF STRUCTURES: AGE RESTRICTED APARTMENTS
- F. TOTAL PARKING LOT AND BUILDING COVERAGE: 44,189 S.F.
- G. AREA OF LANDSCAPE ISLAND: 994 S.F.
- H. LIMIT OF DISTURBED AREA: 81,440 S.F. OR 1.87 AC.
- I. WETLANDS AND WETLAND BUFFERS ON-SITE: 19,281 S.F. OR 0.44 AC.
- J. STREAMS AND THEIR BUFFERS ON-SITE: 15,987 S.F. OR 0.37 AC.
- K. AREA OF ON-SITE 100-YEAR FLOODPLAIN: 0.00 AC.
- L. AREA OF EXISTING FOREST ON-SITE: 66,491 S.F. OR 1.53 AC.
- M. AREA OF ON-SITE STEEP SLOPES (25% OR GREATER): 0.00 AC.
- N. AREA OF ON-SITE MODIFIED SLOPES (15% - 24.99%): 25,933 S.F. OR 0.59 AC.
- O. AREA OF ERODIBLE SOILS: 42,745 S.F. OR 0.98 AC.
- P. AREA MANAGED BY ESDV (THIS PLAN): 45,632 S.F.
- Q. IMPERVIOUS AREA (MANAGED BY ESDV): 42,145 S.F.
- R. DPZ REFERENCES: (DEED L.21506 F.323).

ENVIRONMENTAL CONCEPT PLAN

5497 WATERLOO ROAD

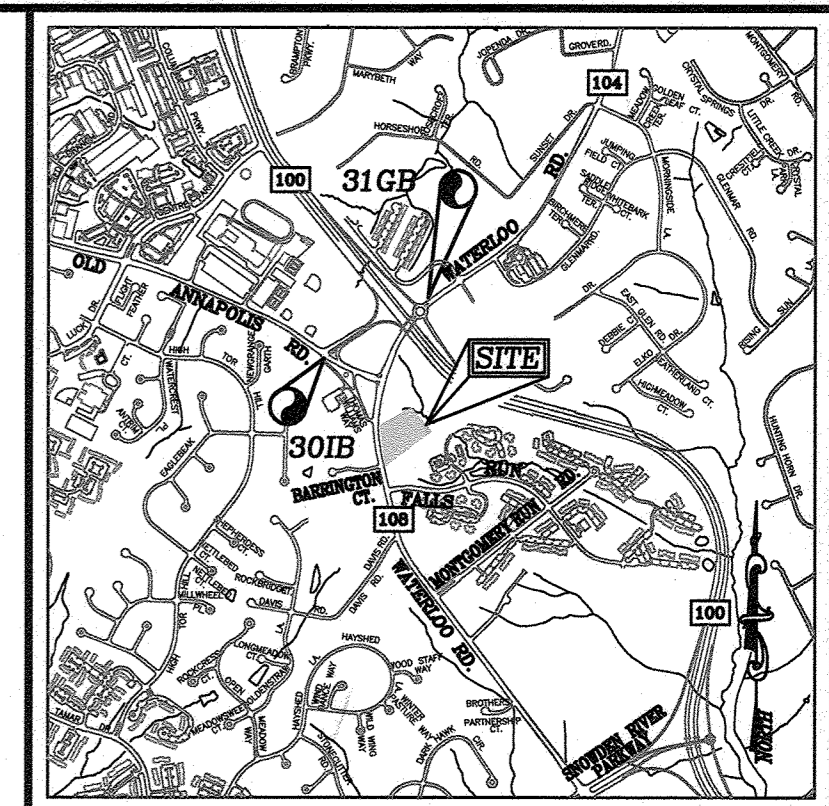
ELLCOTT CITY TAX MAP 31 - BLOCK 19 PARCELS 470 DEED: L. 21506 F.323

BENCHMARKS

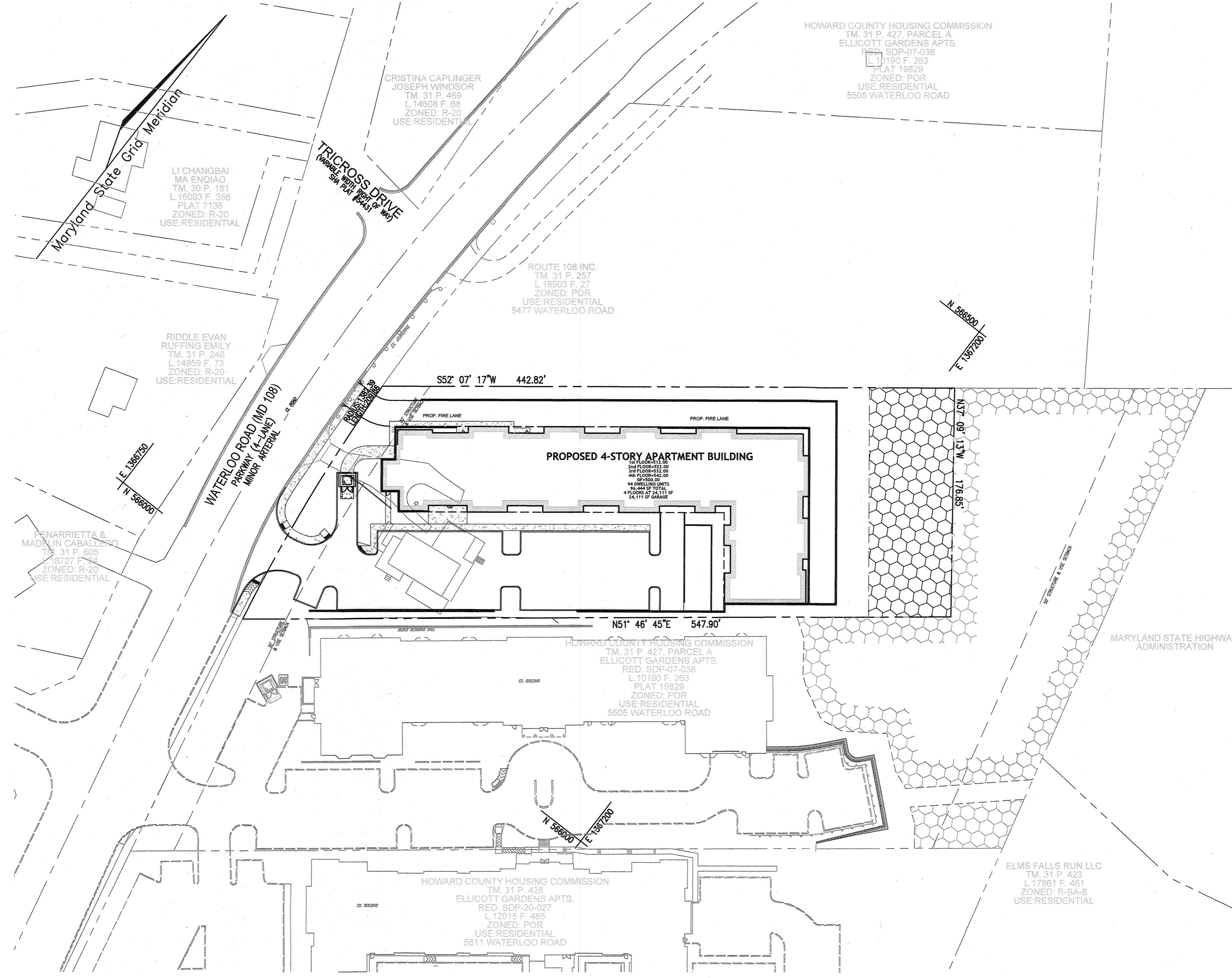
HOWARD COUNTY BENCHMARK 3018	N 566937.926	E 1366270.75	ELEV. 526.868
HOWARD COUNTY BENCHMARK 310B	N 567567.473	E 1367353.38	ELEV. 512.080

LEGEND

	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	PROPOSED FOREST CONSERVATION EASEMENT



VICINITY MAP
 SCALE: 1"=2000'
 ADC MAP 27, GRID FB



SHEET INDEX		
DESCRIPTION	SHEET NO.	
COVER SHEET	1 OF 4	
ENVIRONMENTAL CONCEPT LAYOUT	2 OF 4	
STORMWATER MANAGEMENT DRAINAGE AREA MAP, NOTES AND DETAILS	3 OF 4	
STORMWATER MANAGEMENT NOTES AND DETAILS	4 OF 4	

OWNER/DEVELOPER

KIRBY DEVELOPMENT, LLC
 825 BAY RIDGE AVENUE
 ANNAPOLIS, MD 21403
 410-746-6669

LOCATION MAP

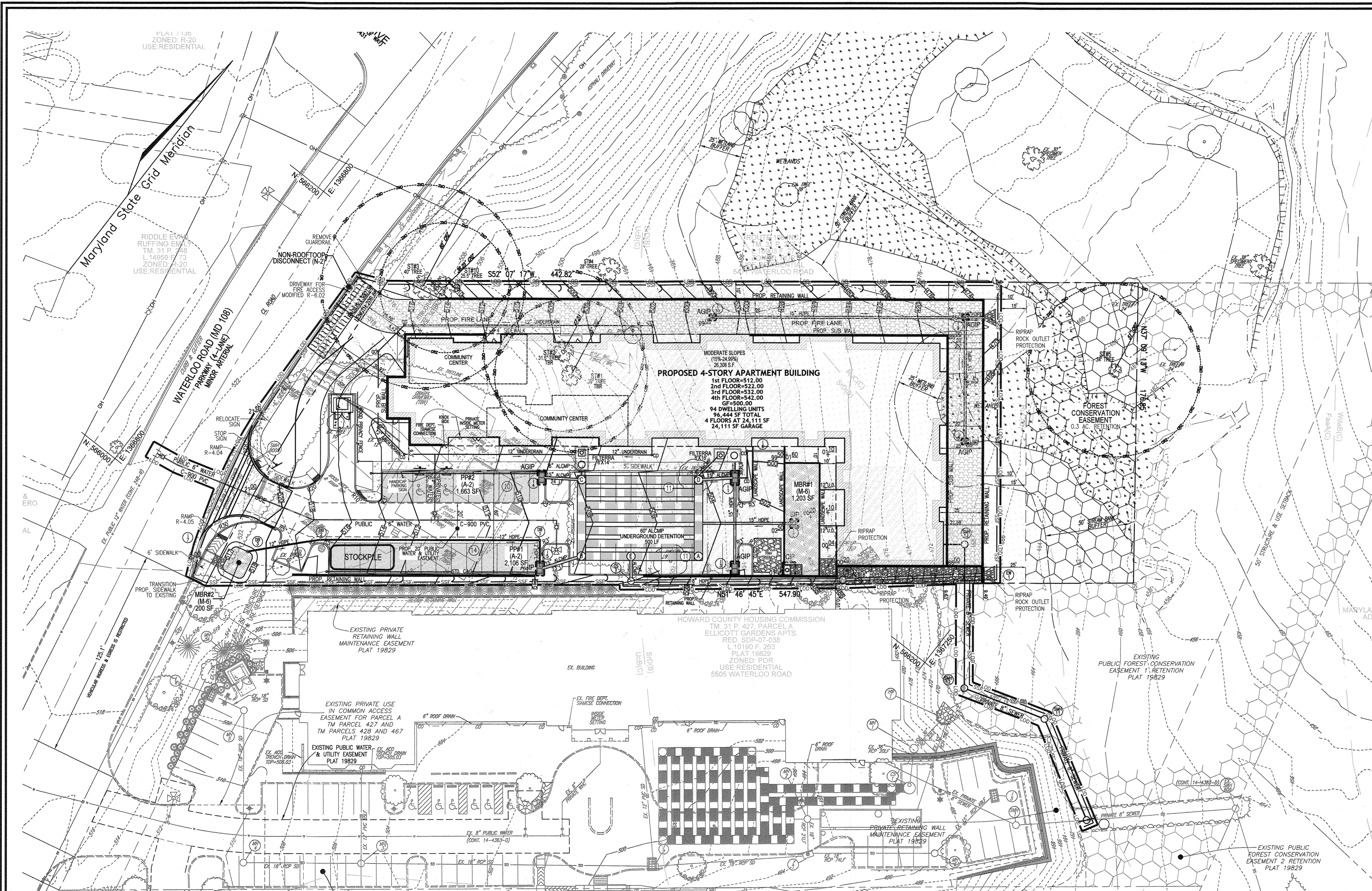
SCALE: 1"=50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Paul Johnson 2.7.24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

JM 1/24/24
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

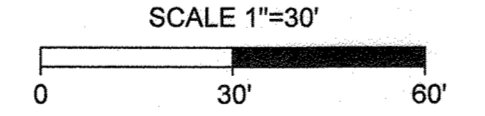
ENVIRONMENTAL CONCEPT PLAN COVER SHEET 5497 WATERLOO ROAD DEED L.21506 F.323	ZONED POR PARCEL 470 HOWARD COUNTY, MARYLAND
VOGEL ENGINEERING + TIMMONS GROUP 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 P: 410.461.7656 F: 410.461.8961 www.timmons.com	
NO. REVISION DATE	PROFESSIONAL CERTIFICATE
DESIGN BY: RHV DRAWN BY: IMH CHECKED BY: RHV DATE: NOVEMBER 2023 SCALE: AS SHOWN W.O. NO.: 51082	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 06-27-2024.
1 SHEET OF 4	



- LEGEND:**
- PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING PAVING
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - 330
 - 328
 - Ru(C)
 - Sr(D)
 - SOILS BOUNDARY
 - EXISTING TREELINE
 - EXISTING OVERHEAD LINE
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING MAILBOX
 - EXISTING JUNCTION BOX
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING CURB AND GUTTER
 - EXISTING WETLANDS
 - WETLAND BUFFER
 - EX. STREAM
 - EX. STREAM BUFFER
 - EXISTING SPECIMEN TREE & CRITICAL ROOT ZONE
 - EXISTING TREE
 - MODERATE SLOPES (15%-24.99%)
 - HIGHLY ERODIBLE SOILS
 - EXISTING FOREST CONSERVATION EASEMENT
 - PROP. SIDEWALK
 - PROPOSED TREELINE
 - PROPOSED CURB
 - PROPOSED 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - PROPOSED SPOT GRADE
 - 330
 - 328
 - 06.50
 - STORMDRAIN LINE
 - SUPER SILT FENCE
 - LIMIT OF DISTURBANCE
 - SSF
 - LOD
 - STABILIZED CONSTRUCTION ENTRANCE
 - PROPOSED FOREST CONSERVATION EASEMENT
 - MICRO-BIORETENTION (M-6)
 - PERVIOUS PAVEMENT (A-2)
 - NON-ROOFTOP DISCONNECTION (N-2)
 - FIRE LANE PAVEMENT

ESDv CONCEPT LAYOUT PLAN

SCALE: 1"=30'



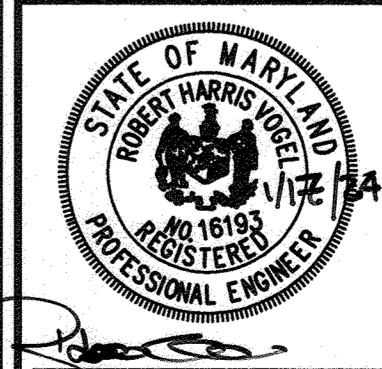
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NO.	REVISION	DATE

ENVIRONMENTAL CONCEPT PLAN
 ESDv CONCEPT LAYOUT PLAN
 5497 WATERLOO ROAD
 DEED L.21506 F.323

TAX MAP 31 BLOCK 19 3RD ELECTION DISTRICT ZONED POR PARCEL 470 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 +
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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DESIGN BY: RHV
 DRAWN BY: IMH
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 DATE: NOVEMBER 2023
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 W.O. NO.: 51082

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

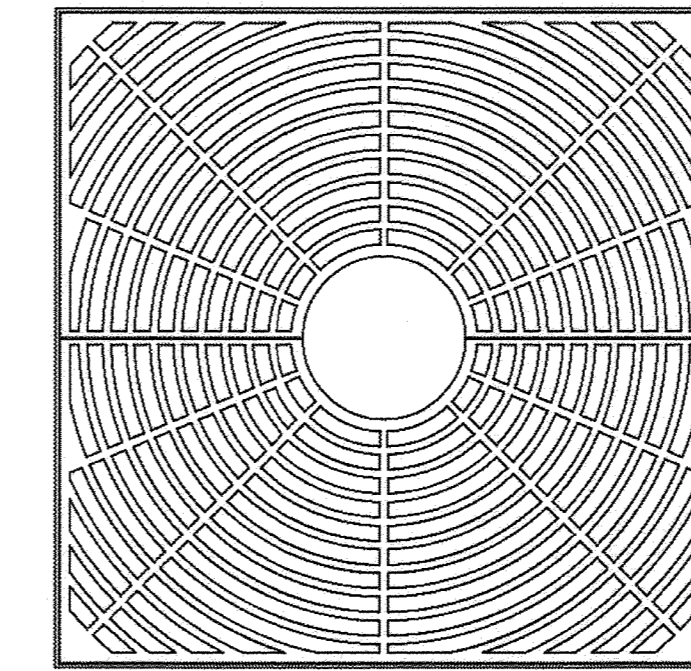
[Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 2.7.24

[Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/29/24

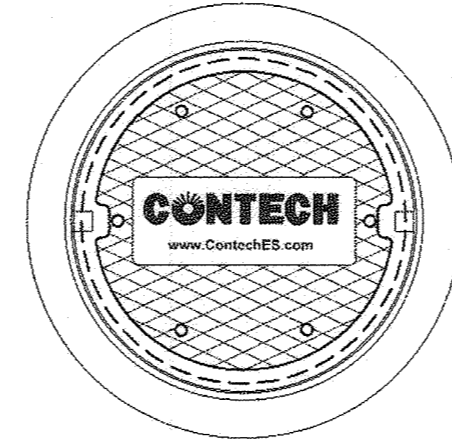
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FILTERRA DEVICES

- ACTIVATION**
- A. ACTIVATION OF THE FILTERRA UNIT IS PERFORMED ONLY BY THE SUPPLIER. PURCHASER IS RESPONSIBLE FOR FILTERRA INLET PROTECTION AND SUBSEQUENT CLEAN OUT COST. THIS PROCESS CANNOT COMMENCE UNTIL THE PROJECT SITE IS FULLY STABILIZED AND CLEANED (FULL LANDSCAPING, GRASS COVER, FINAL PAVING AND STREET SWEEPING COMPLETED), NEGATING THE CHANCE OF CONSTRUCTION MATERIALS CONTAMINATING THE FILTERRA SYSTEM. CARE SHALL BE TAKEN DURING CONSTRUCTION NOT TO DAMAGE THE PROTECTIVE THROAT AND TOP PLATES.
- B. ACTIVATION INCLUDES INSTALLATION OF PLANT(S) AND MULCH LAYERS AS NECESSARY.
- MAINTENANCE**
- A. EACH CORRECTLY INSTALLED FILTERRA UNIT IS TO BE MAINTAINED BY THE SUPPLIER, OR A SUPPLIER APPROVED CONTRACTOR FOR A MINIMUM PERIOD OF 1 YEAR. THE COST OF THIS SERVICE IS TO BE INCLUDED IN THE PRICE OF EACH FILTERRA UNIT. EXTENDED MAINTENANCE CONTRACTS ARE AVAILABLE AT EXTRA COST UPON REQUEST.
- B. ANNUAL MAINTENANCE CONSISTS OF A MAXIMUM OF (2) SCHEDULED VISITS. THE VISITS ARE SCHEDULED SEASONALLY; THE SPRING VISIT AIMS TO CLEAN UP AFTER WINTER LOADS INCLUDING SALTS AND SANDS. THE FALL VISIT HELPS THE SYSTEM BY REMOVING EXCESSIVE LEAF LITTER.
- C. EACH MAINTENANCE VISIT CONSISTS OF THE FOLLOWING TASKS.
1. FILTERRA UNIT INSPECTION.
 2. FOREIGN DEBRIS, SILT, MULCH & TRASH REMOVAL.
 3. FILTER MEDIA EVALUATION AND RECHARGE AS NECESSARY.
 4. PLANT HEALTH EVALUATION AND PRUNING OR REPLACEMENT AS NECESSARY.
 5. REPLACEMENT OF MULCH.
 6. DISPOSAL OF ALL MAINTENANCE REFUSE ITEMS.
 7. MAINTENANCE RECORDS UPDATED AND STORED (REPORTS AVAILABLE UPON REQUEST).
 8. DEWATERING THE SEDIMENT CHAMBER WITH ALL INSPECTIONS, TRASH/ DEBRIS REMOVAL WITHIN THE CHAMBER.
- D. THE BEGINNING AND ENDING DATE OF THE SUPPLIER'S OBLIGATION TO MAINTAIN THE INSTALLED SYSTEM SHALL BE DETERMINED BY THE SUPPLIER AT THE TIME THE SYSTEM IS ACTIVATED. OWNERS MUST PROMPTLY NOTIFY THE SUPPLIER OF ANY DAMAGE TO THE PLANT(S), WHICH CONSTITUTE(S) AND INTEGRAL PART OF THE BIORETENTION TECHNOLOGY.

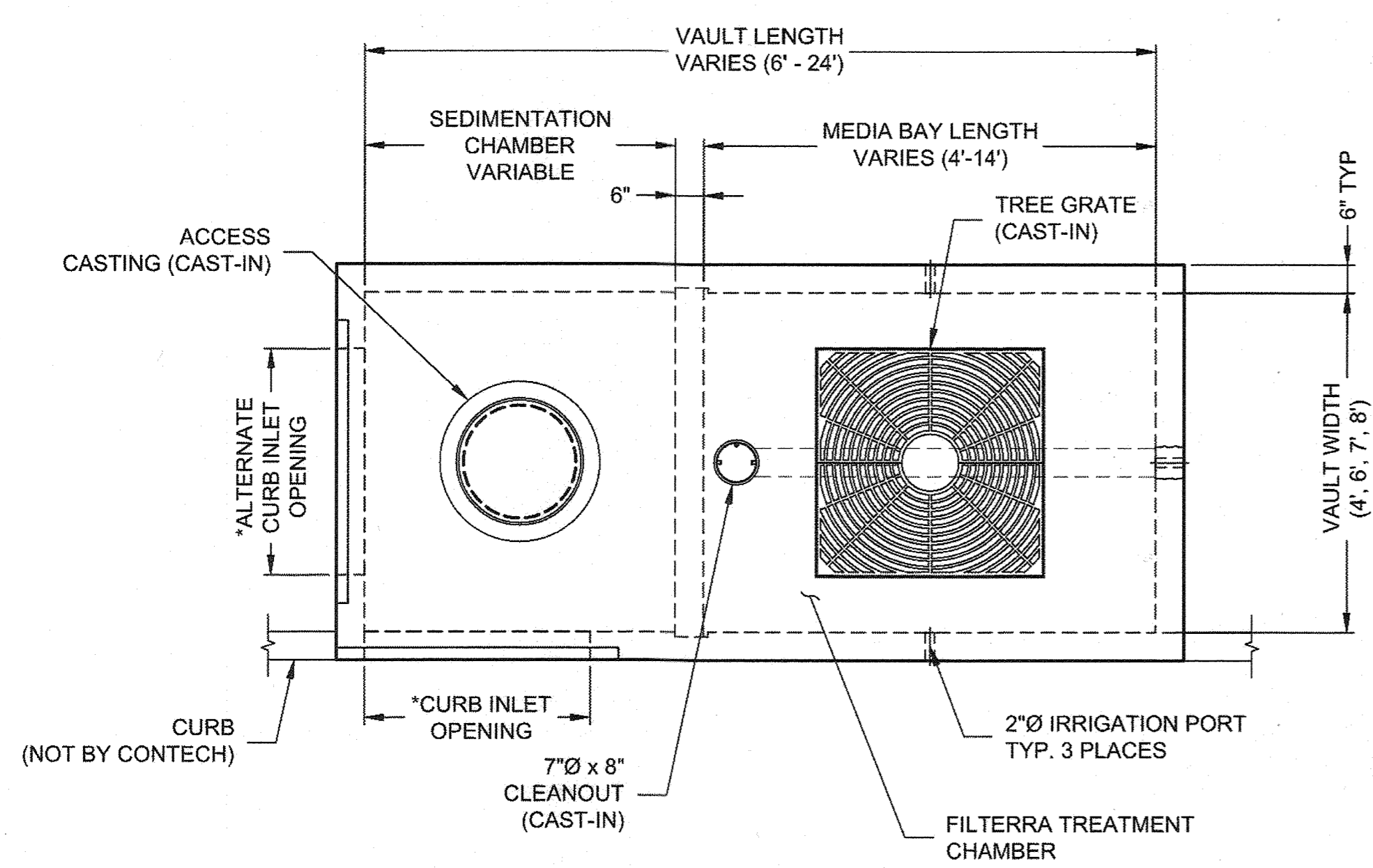
- NOTES:**
- CONTRACTOR SHALL ENSURE THAT THE S.W.M. FACILITY IS WATERTIGHT
1. ALL PIPE CONNECTIONS AT THE STRUCTURES SHALL BE CEMENTED TO ENSURE WATERTIGHT CONNECTION.
 2. ALL ALCP PIPE JOINTS SHALL USE 12" WIDE HUGGER BAND WITH 4" RING GASKETS.
 3. TEES AND ELBOWS TO BE FACTORY FABRICATED WELDS, ONE PIECE.
 4. TRENCH BEDDING TO BE IN ACCORDANCE WITH RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER IN THE FIELD.
 5. PROVIDE WATERTIGHT JOINTS AT ALL PIPE CONNECTIONS. (FOR REINFORCED CONCRETE PIPE, ASTM C-361, RUBBER GASKET PIPE).



TREE GRATE
36" x 36" OR 48" x 48"
(ACTUAL PRODUCT MAY VARY)
NOT TO SCALE

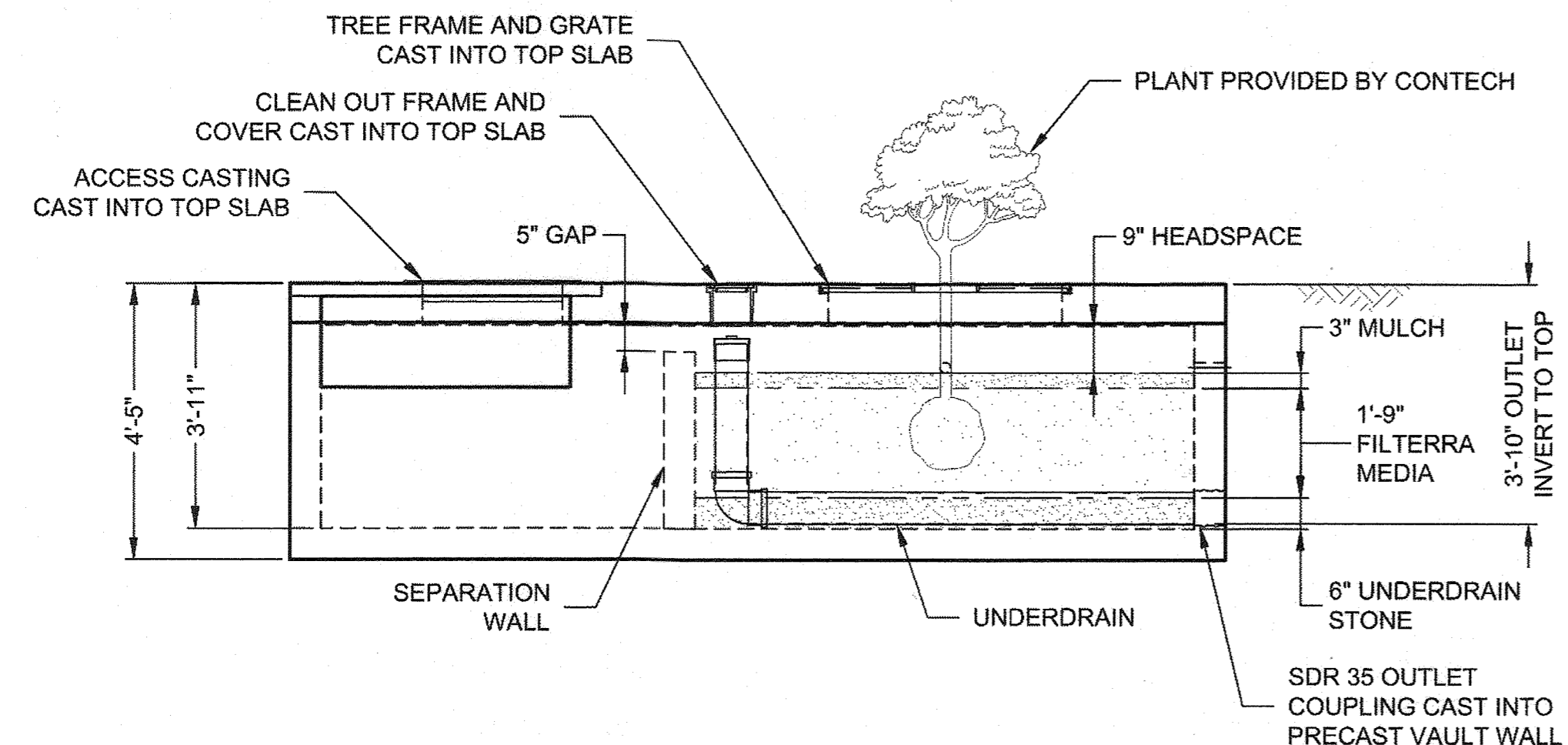


FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE

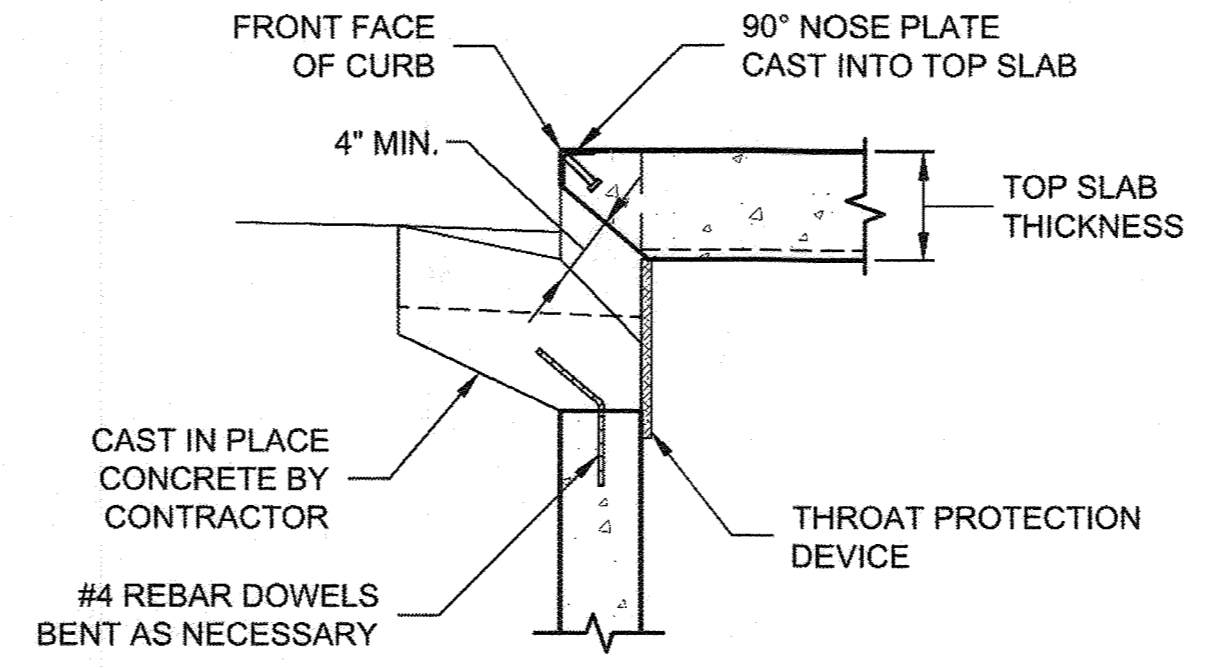


*CURB INLET OPENING LENGTH BY VAULT WIDTH:
4' VAULT WIDTH: 3'-0" CURB OPENING
6' VAULT WIDTH: 4'-0" CURB OPENING
7' VAULT WIDTH: 4'-0" CURB OPENING
8' VAULT WIDTH: 5'-0" CURB OPENING

PLAN VIEW

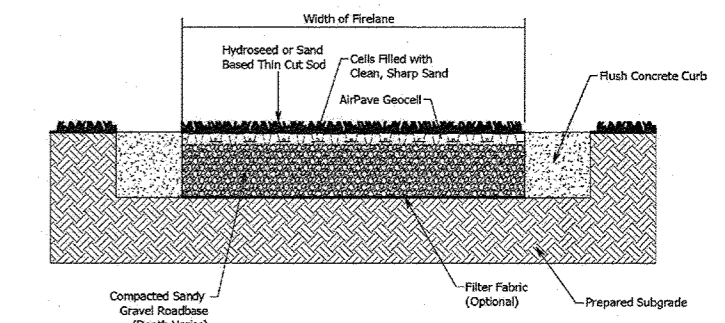


ELEVATION VIEW

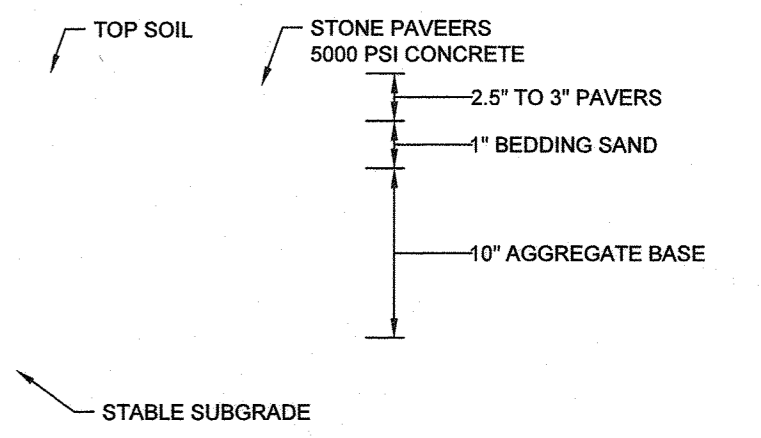


CURB INLET DETAIL
NOT TO SCALE

- NOTES:**
1. REQUIRED MINIMUM FILTERRA TREATMENT SURFACE AREA IS 91 SF/20,000 SF OF THE TOTAL DRAINAGE AREA PER MDE. STORAGE CAPACITY ASSUMES NO STORAGE IN MULCH, MEDIA AND STONE.
 2. ALL VEGETATION PROVIDED BY CONTECH.
 3. ADA COMPLIANT FULL GRATE COVERS WITH SHADE TOLERANT PLANT SPECIES AVAILABLE UPON REQUEST.
 4. ALL INFORMATION IS BASED ON STANDARD 3.83' RIM TO OUTLET INVERT DEPTH. CONTACT CONTECH FOR CUSTOM SIZING IF DEPTH IS NOT 3.83'. ACCEPTABLE DEPTH IS 3.33' MIN. TO 5.00' MAX. RIM TO INVERT OUT.
 5. PLEASE CONTACT YOUR CONTECH REPRESENTATIVE FOR SIZING RECOMMENDATIONS. www.conteches.com.



AIRPAVE TYPICAL FIRE LANE DETAIL
NOT TO SCALE



"FIRE LANE" - GRASS PAVEMENT
NTS

OWNER/DEVELOPER
KIRBY DEVELOPMENT, LLC
825 BAY RIDGE AVENUE
ANNAPOLIS, MD 21403
410-746-6669



CONTECH
ENGINEERED SOLUTIONS LLC
www.ContechES.com
7037 Ridge Road, Hanover, MD 21076
866-740-3318 410-796-5505 866-376-8511 FAX

FILTERRA SEDIMENTATION CHAMBER (FTSC)
CONFIGURATION DETAIL
MARYLAND

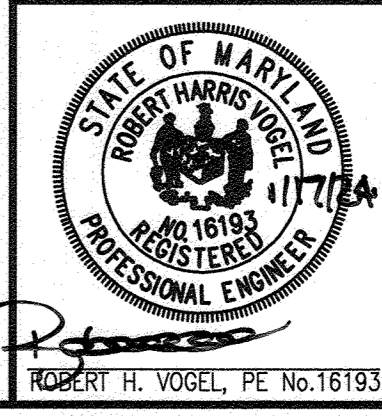
NO.	REVISION	DATE

ENVIRONMENTAL CONCEPT PLAN
STORMWATER MANAGEMENT
NOTES AND DETAILS
5497 WATERLOO ROAD
DEED L.21506 F.323

TAX MAP 31 BLOCK 19
3RD ELECTION DISTRICT

ZONED FOR
PARCEL 470
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 16193. EXPIRATION DATE: 09-27-2024.

DESIGN BY: RHV
DRAWN BY: IMH
CHECKED BY: RHV
DATE: NOVEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 51082

4 SHEET OF 4

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 2-7-24

ilzaty
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 1/24/24