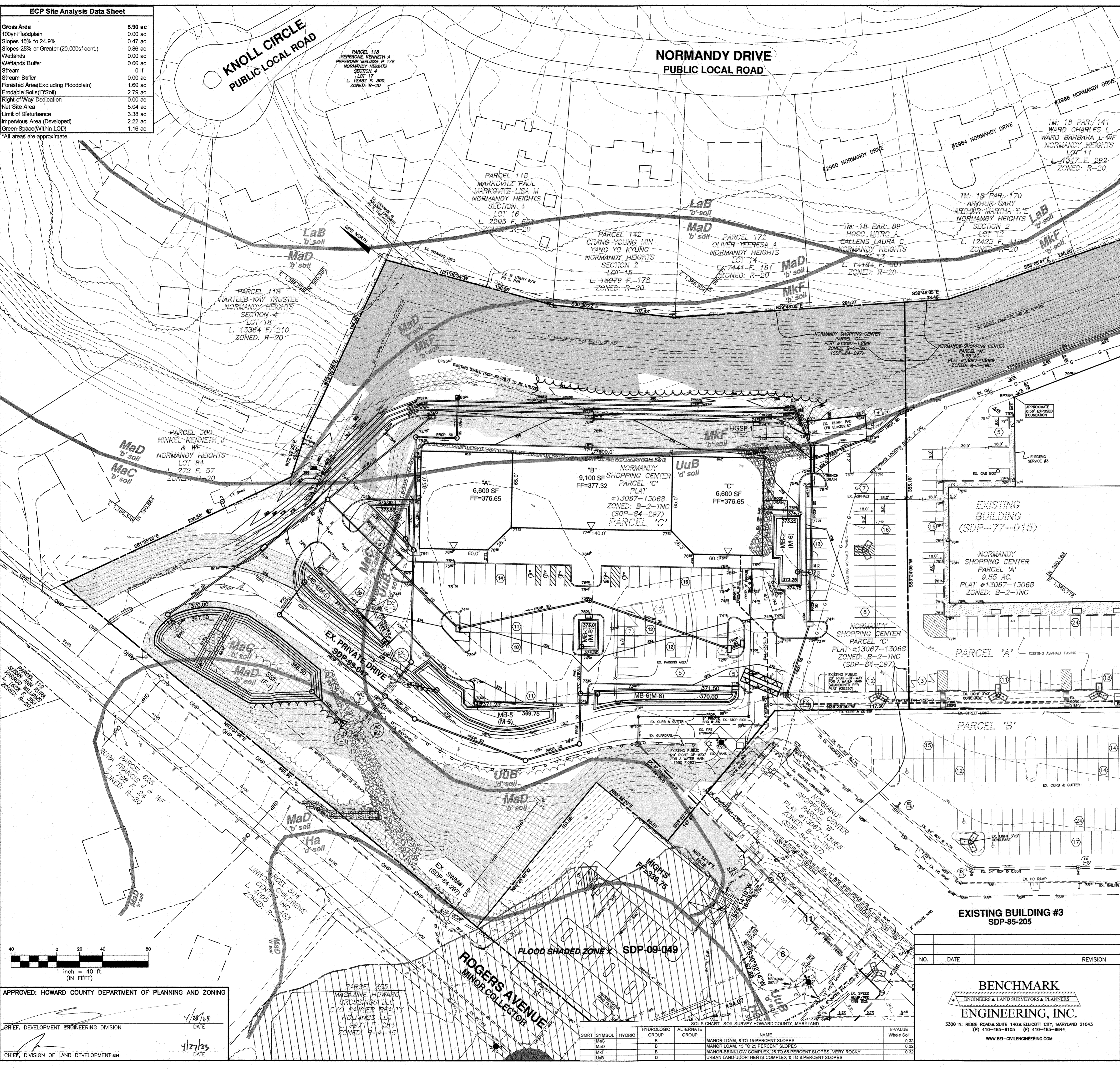


ECP Site Analysis Data Sheet

| | |
|--|---------|
| Gross Area | 5.90 ac |
| 100yr Floodplain | 0.00 ac |
| Slopes 15% to 24.9% | 0.47 ac |
| Slopes 25% or Greater (20,000sf cont.) | 0.86 ac |
| Wetlands | 0.00 ac |
| Wetlands Buffer | 0.00 ac |
| Stream | 0.11 ac |
| Stream Buffer | 0.00 ac |
| Forested Area(Excluding Floodplain) | 1.60 ac |
| Erodible Soils(D'Soil) | 2.79 ac |
| Right-of-Way Dedication | 0.00 ac |
| Net Site Area | 5.04 ac |
| Limit of Disturbance | 3.38 ac |
| Impervious Area (Developed) | 2.22 ac |
| Green Space(Within LOD) | 1.16 ac |

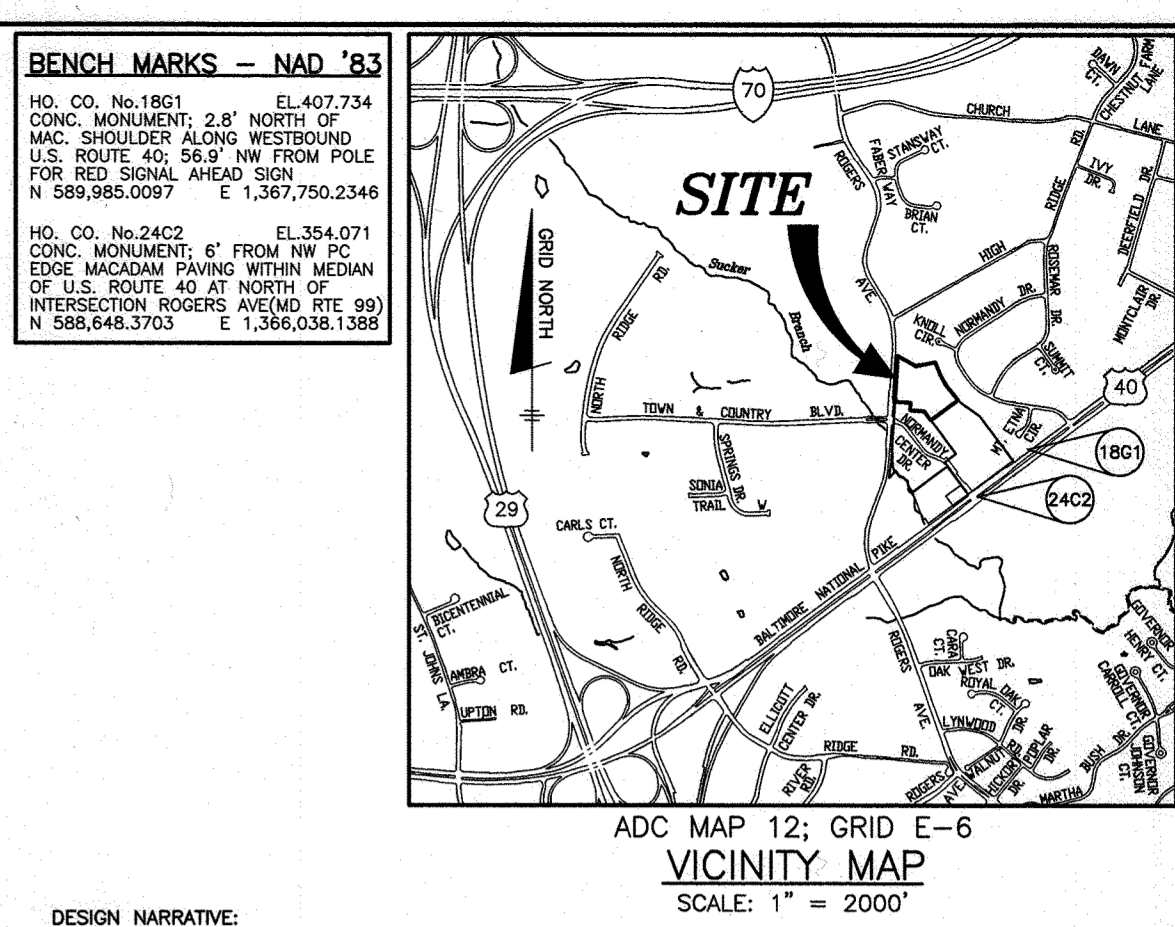
*All areas are approximate.



LEGEND

AbC

| |
|---|
| SOILS |
| PARCEL BOUNDARY |
| EX. CONTOURS |
| EX. TREETLINE |
| EX. WATER LINE |
| EX. SEWER LINE |
| EX. GAS LINE |
| EX. STORM DRAIN |
| EX. OVERHEAD POWER LINES |
| EX. POWER POLE |
| PARKING SPACE COUNT |
| PROP. CONTOURS |
| PROP. TREETLINE |
| PROP. WATER LINE |
| PROP. SEWER LINE |
| PROPOSED STORM DRAIN |
| EXISTING LIGHT POLES |
| EX. STEEP SLOPES 25% OR GREATER (LESS THAN 20,000SF CONTIGUOUS) |
| EX. STEEP SLOPES 25% OR GREATER (MORE THAN 20,000SF CONTIGUOUS) |
| EX. STEEP SLOPES 15% TO 24.9% (LESS THAN 20,000SF CONTIGUOUS) |



DESIGN NARRATIVE:

THERE ARE NO WETLANDS, STREAMS, THEIR REQUIRED BUFFERS, OR 100-YEAR FLOODPLAIN LOCATED ON THIS PROPERTY. THIS SITE HAS STEEP SLOPES GREATER THAN 20 PERCENT CONTIGUOUS ON THE SITE. THE UPPER PORTION OF THE PROPERTY IS FORESTED AND THERE ARE NO SPECIMEN TREES ON THE PROPERTY. A MINIMAL AMOUNT OF TREES WILL BE REMOVED AS PART OF THE DEVELOPMENT. THE ACTUAL AREA OF FOREST TO BE REMOVED AND STEEP SLOPES DISTURBED WILL BE DETERMINED AS THE DESIGN AND PLANS PROGRESS.

EXISTING FLOW PATTERNS SHALL BE MAINTAINED. THE PROPOSED OVERALL DRAINAGE PATTERNS SHALL MIMIC THE EXISTING CONDITION DRAINAGE PATTERN OF NORTHEAST TO SOUTHWEST FLOW. THE CURRENT DRAINAGE DIVIDES TO EXISTING ON-SITE SWIM AREAS ARE MAINTAINED AS PRACTICALLY FEASIBLE IN THE DEVELOPED CONDITION. TO ACHIEVE THIS, CHAPTER 5 BMP'S ARE USED TO THE MAXIMUM EXTENT POSSIBLE. WHERE SITE CONDITIONS AND TOPOGRAPHY ALLOW, THIS IS PROPOSED TO BE ACHIEVED VIA MCR-BIORETENTION PRACTICES, CHAPTER 3 PRACTICES WERE THEN PROPOSED BASED ON SEDIMENT AND EROSION CONTROL, WHERE APPLICABLE.

IMPERVIOUS AREAS ARE BEING MINIMIZED AND WILL ONLY CONSIST OF THE PROPOSED BUILDING ROOFTOP AND PARKING AREAS.

SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE 2011 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. OFF-SITE CLEAN WATER SHALL BE DIVERTED AROUND THE SITE. THE ENTIRE PERIMETER OF THE LIMIT OF DISTURBANCE SHALL INCLUDE CONTROLS SUCH AS SILT FENCE, SUPER SILT FENCE, DIVERSION FENCING AND/OR DIKES BASED ON TOPOGRAPHY. THERE ARE NO IMPACTS TO THE STORMWATER MANAGEMENT DESIGN BASED ON SEDIMENT AND EROSION CONTROL.

THE 6 PROPOSED (M-6) MCR BIO-RETENTION, AND THE 1 PROPOSED (F-2) UNDERGROUND SAND FILTER, AND 1 (F-1) SURFACE SAND FILTER SHALL ADEQUATELY TREAT THE PROPOSED IMPERVIOUS AREAS. ALL PRACTICES SHALL DISCHARGE AT EXISTING LOCATIONS THAT ARE NOT DETRIMENTAL TO THE ADJACENT PROPERTIES.

PRE-TREATMENT FOR SSF-1 SURFACE SAND FILTER (F-1) IS ADDRESSED BY PROVIDING 25% STORAGE OF THE ESDV IN A FOREBAY PER CHAPTER 3 DETAIL. AN ADEQUATE STRUCTURAL DESIGN SHALL BE UTILIZED TO TREAT THE INITIAL 1" RUN-OFF, IF REQUIRED AT FINAL DESIGN.

PRE-TREATMENT FOR UGSF-1 UNDERGROUND SAND FILTER (F-2) IS ADDRESSED BY PROVIDING 25% STORAGE OF THE ESDV IN A SEDIMENTATION CHAMBER PER CHAPTER 3 DETAIL. AN ADEQUATE STRUCTURAL DESIGN SHALL BE UTILIZED TO TREAT THE INITIAL 1" RUN-OFF, IF REQUIRED AT FINAL DESIGN.

IT IS UNDERSTOOD THAT THE ESD-BMP SWM PROJECT WILL REQUIRE FURTHER ANALYSIS AT THE NEXT /DESIGN PLAN STAGE. AT FUTURE STAGES OF THE PROJECT, ADDITIONAL TREATMENT PRACTICES MAY BE INVESTIGATED AND UTILIZED, IF POSSIBLE.

FULL TREATMENT OF THE ESDV IS BEING PROVIDED THEREFORE THIS PROJECT CAN BE CONSIDERED TO BE TREATED TO THE MAXIMUM EXTENT PRACTICAL.

ESD STORMWATER MANAGEMENT INFORMATION

| Parcel | MDE | Practice | BMP | Ownership | Maintenance |
|--------|-------|-------------------------|--------|-----------|-------------|
| C | (M-6) | Micro-Bio-retention | MB-1 | Private | Private |
| C | (M-6) | Micro-Bio-retention | MB-2 | Private | Private |
| C | (M-6) | Micro-Bio-retention | MB-3 | Private | Private |
| C | (M-6) | Micro-Bio-retention | MB-4 | Private | Private |
| C | (M-6) | Micro-Bio-retention | MB-5 | Private | Private |
| C | (M-6) | Micro-Bio-retention | MB-6 | Private | Private |
| C | (F-1) | Surface Sand Filter | SSF-1 | Private | Private |
| C | (F-2) | Underground Sand Filter | UGSF-1 | Private | Private |

- GENERAL NOTES**
- SUBJECT PROPERTY ZONED B-2-TNC PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
 - THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 - PROJECT BOUNDARY IS BASED ON AN ALTA SURVEY PREPARED BY BENCHMARK ENGINEERING, INC. IN JANUARY, 2018. TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM FIELD RUN TOPOGRAPHIC SURVEYS AT 2' INTERVALS PREPARED BY BENCHMARK ENGINEERING, INC., ON OR ABOUT JULY, 2022, SUPPLEMENTED WITH HOWARD COUNTY DIGITAL GIS INFORMATION.
 - PER THE ACCOMPANYING LETTER PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. THERE ARE NO WETLANDS, STREAMS, OR ACCOMPANYING BUFFERS WITHIN THE PROPOSED L.O.D. FOR THIS PROJECT. ACCORDING TO ON-SITE OBSERVATION AND AVAILABLE DATA, THERE ARE 25% OR GREATER STEEP SLOPES WITH MORE THAN 20,000 SF OF CONTIGUOUS AREA LOCATED WITHIN THE PROJECT LIMIT OF DISTURBANCE.
 - THE FOREST STAND DELINEATION REPORT AND THE WETLANDS CERTIFICATION LETTER WERE PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED JANUARY, 2023.
 - TO THE BEST OF OUR KNOWLEDGE, INFORMATION, AND BELIEF, THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES LOCATED ON THIS SITE.
 - EXISTING UTILITIES SHOWN WERE LOCATED BY RECORD DRAWINGS AND FIELD LOCATIONS.
 - THIS SITE IS WITHIN THE METROPOLITAN DISTRICT.
 - APPROVAL OF THIS ENVIRONMENTAL CONCEPT PLAN (ECP) DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION AND/OR SITE DEVELOPMENT PLAN.
 - REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SITE DEVELOPMENT PLAN STAGE. THEREFORE, THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED COMMENTS (INCLUDING THOSE THAT MAY ALTER OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES.
 - APPLICABLE DPZ PRACTICE REFERENCES: SDP-99-047, SDP-84-297
 - THE SEDIMENT AND EROSION CONTROL SHOWN ON THESE PLANS IS A SCHEMATIC CONCEPTUAL DESIGN. A MORE DETAILED DESIGN COMPLETE WITH SEQUENCE OF CONSTRUCTION, NOTICES AND DETAILS SHALL BE PROVIDED ON THE SUBSEQUENT SITE DEVELOPMENT PLAN.
 - THERE ARE NO EXISTING STRUCTURES LOCATED WITHIN THE ANTICIPATED LIMIT OF DISTURBANCE FOR THIS PROJECT.
 - THE NORMANDY SHOPPING CENTER PROJECT IS SUBJECT TO THE FOREST CONSERVATION REQUIREMENTS. FOREST CONSERVATION CHECKLIST AND PLAN SHALL BE PART OF THE FINAL PLAN SUBMITTAL.
 - THE STORMWATER MANAGEMENT SYSTEM SHOWN ON THIS PLAN IS AN APPROXIMATION OF THE SIZE, SHAPE, AND LOCATION. IT IS UNDERSTOOD THAT THIS SYSTEM HAS NOT BEEN DESIGNED AND THE ACTUAL DESIGN MAY CHANGE, ALTERING THE NUMBER OF UNITS ALLOCATED FOR THIS DEVELOPMENT.
 - IT IS ANTICIPATED THAT A FUTURE ALTERNATIVE COMPLIANCE MAY BE REQUIRED FOR DISTURBANCE TO STEEP SLOPES FOR RETAINING WALL CONSTRUCTION.
 - A FIRE HYDRANT WILL NEED TO BE WITHIN 100' OF THE FDC.

ESD STORMWATER MANAGEMENT SUMMARY TABLE

| Drainage Area | MDE | Practice | BMP | No. Used | DA (sf) | Imp Area (sf) | % Imp | Rv | Pe Required | Pe Provided | ESDv (cf) | ESDv Provided | ESDv Required | ESDv Provided | Ownership | | | |
|---|---------|-------------------------|--------|----------|---------|---------------|-------|------|-------------|-------------|-----------|---------------|---------------|---------------|-----------|-----|---------|---------|
| SWM#1 | (M-6) | Micro-Bio-retention | MB-1 | 1 | 4,853 | 3,420 | 70% | 1.8 | 97.1 | 328.4 | 775 | 0.68 | 1.8 | 0 | Private | | | |
| USWIM#2 | (M-6) | Micro-Bio-retention | MB-2 | 1 | 12,000 | 9,683 | 81% | 0.78 | 1.9 | 240.0 | 927.3 | PASS | 1397 | 1,637 | 2.1 | 0 | Private | |
| SWM#1 | (M-6) | Micro-Bio-retention | MB-3 | 1 | 3,597 | 2,647 | 74% | 0.71 | 1.8 | 71.9 | 240.9 | PASS | 394 | 426 | 2.0 | 0 | Private | |
| SWM#1 | (M-6) | Micro-Bio-retention | MB-4 | 1 | 6,887 | 4,697 | 68% | 0.66 | 2.0 | 137.7 | 463.0 | PASS | 762 | 961 | 2.5 | 0 | Private | |
| SWM#1 | (M-6) | Micro-Bio-retention | MB-5 | 1 | 18,206 | 14,262 | 78% | 0.78 | 1.8 | 364.1 | 1303.2 | PASS | 2092 | 2,457 | 2.1 | 0 | Private | |
| SWM#1 | (M-6) | Micro-Bio-retention | MB-6 | 1 | 9,993 | 7,715 | 77% | 0.74 | 1.8 | 199.9 | 670.0 | PASS | 1116 | 1,374 | 2.2 | 0 | Private | |
| SWM#1 | (F-1) | Surface Sand Filter | SSF-1 | 1 | 38,862 | 32,970 | 85% | 0.79 | 2.2 | 4354.1 | 13960.5 | PASS | 5805 | 17,031 | 6.5 | 227 | 981 | Private |
| SWM#1 | (F-2) | Underground Sand Filter | UGSF-1 | 1 | 10,271 | 8,690 | 86% | 0.83 | 2.0 | 1060 | 1090 | PASS | 1414 | 1594 | 2.2 | 0 | Private | |
| Totals per Individual Drainage Areas | | | | | | | | | | | | | | | | | | |
| Totals per Overall Site | | | | | | | | | | | | | | | | | | |
| B | 105,669 | 84,230 | 80% | 0.60 | 15436 | 26699 | 3.8 | 973 | 981 | | | | | | | | | |
| | 137,293 | 90,891 | 66% | 0.65 | 1.8 | 13300 | 26699 | | 561 | | | | | | | | | |

Notes:
1. The Pe required column is based on total site Pe calculation. The Rv is based on individual drainage area percent impervious (per DED).
2. Total Site Pe and Total Site ESDv numbers are based on the LOD within the Effective Area.
3. Note there is some impervious area at the site access/entrances that cannot be treated on-site due to existing topography elevation discrepancies. ESDv requirement is compensated within the ESD-SWM facilities.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

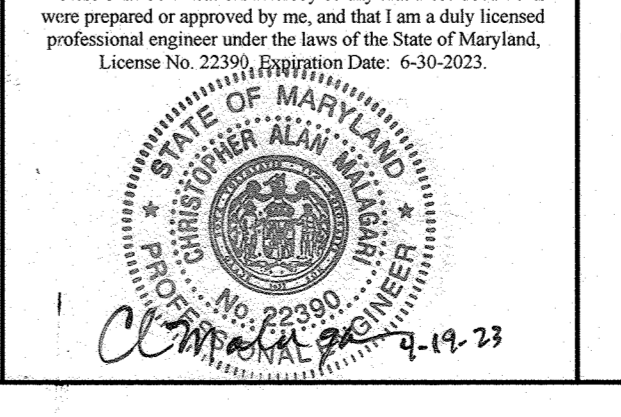
CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 4/27/23

CHIEF, DIVISION OF LAND DEVELOPMENT

BENCHMARK ENGINEERING, INC.

3300 N. RIDGE ROAD & SUITE 140 A ELLICOTT CITY, MARYLAND 21043
(P) 410-465-8105 (F) 410-465-6644
WWW.BE-CVLENGINEERING.COM



OWNER/DEVELOPER:
THE NORMANDY VENTURE LIMITED PARTNERSHIP
8480 BALTIMORE NATIONAL PIKE SUITE 415
ELLICOTT CITY, MARYLAND 21043
410-465-4244

COMMERCIAL
NORMANDY SHOPPING CENTER
PARCEL C

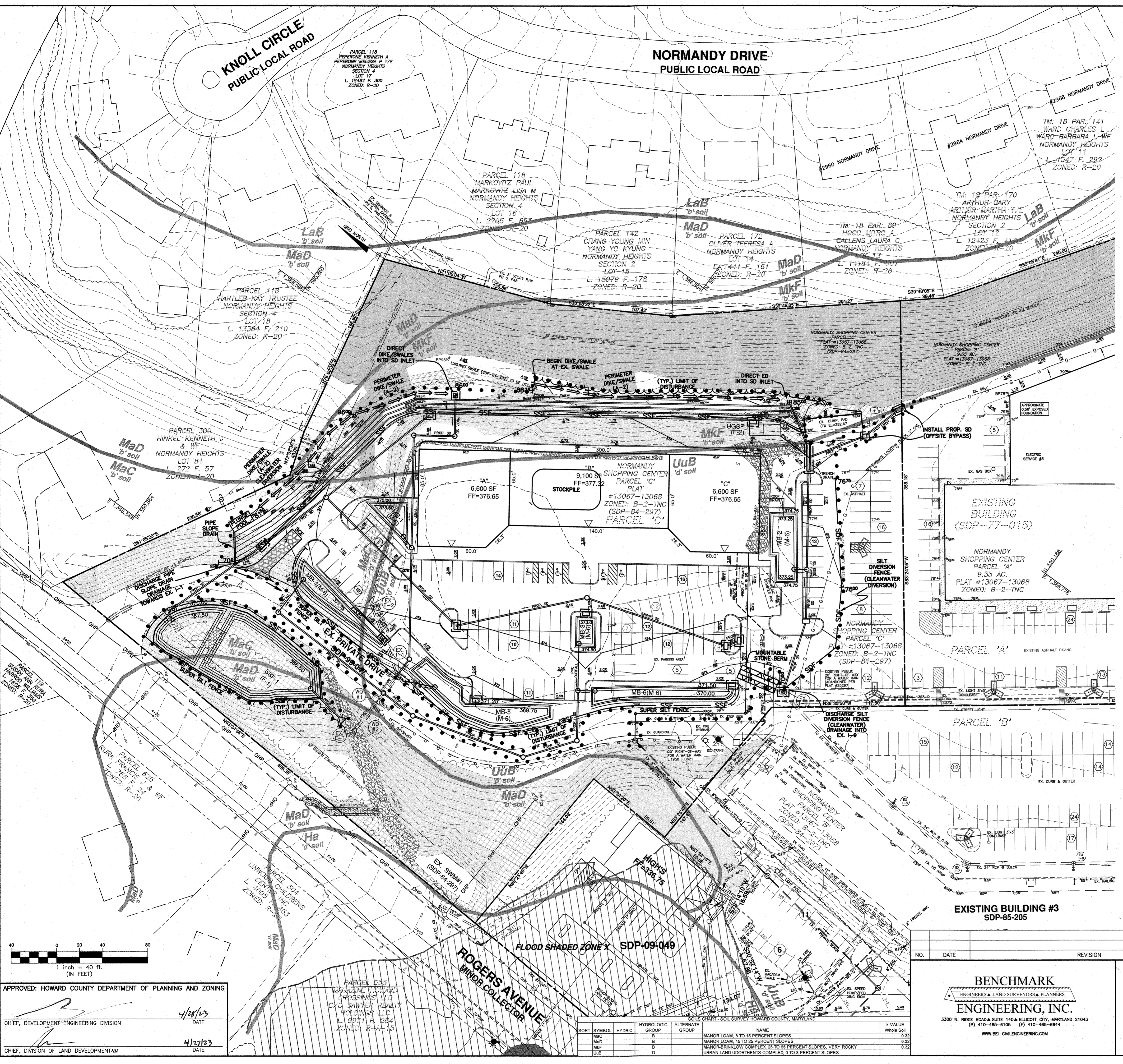
TAX MAP: 18 - GRID: 19 - PARCEL: 75
ELECTION DISTRICT NO. 2 - HOWARD COUNTY, MARYLAND
ZONED: B-2-TNC

ENVIRONMENTAL CONCEPT PLAN
ENVIRONMENTAL CONCEPT PLAN

DATE: APRIL, 2023
SCALE: AS SHOWN

BEI PROJECT NO. 3125
SHEET 1 OF 4

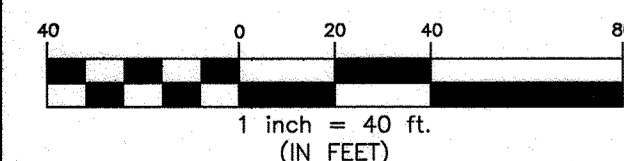
ECP-23-029



LEGEND

AbC

| | |
|----------|---|
| [Symbol] | SOILS |
| [Symbol] | PARCEL BOUNDARY |
| [Symbol] | EX. CONTOURS |
| [Symbol] | EX. TREELINE |
| [Symbol] | EX. WATER LINE |
| [Symbol] | EX. SEWER LINE |
| [Symbol] | EX. GAS LINE |
| [Symbol] | EX. STORM DRAIN |
| [Symbol] | EX. OVERHEAD POWER LINES |
| [Symbol] | EX. POWER POLE |
| [Symbol] | PARKING SPACE COUNT |
| [Symbol] | PROP. CONTOURS |
| [Symbol] | PROP. TREELINE |
| [Symbol] | PROP. WATER LINE |
| [Symbol] | PROP. SEWER LINE |
| [Symbol] | PROPOSED STORM DRAIN |
| [Symbol] | EXISTING LIGHT POLES |
| [Symbol] | EX. STEEP SLOPES 25% OR GREATER (LESS THAN 20,000SF CONTIGUOUS) |
| [Symbol] | EX. STEEP SLOPES 15% TO 24.9% (LESS THAN 20,000SF CONTIGUOUS) |
| [Symbol] | DRAINAGE DIVIDE |
| [Symbol] | ESD-SWM DRAINAGE AREA |
| [Symbol] | LIMIT OF DISTURBANCE |
| [Symbol] | SILT FENCE |
| [Symbol] | SUPER SILT FENCE |
| [Symbol] | SILT DIVERSION FENCE (PAVEMENT) |
| [Symbol] | PIPE SLOPE DRAIN |
| [Symbol] | PERIMETER EARTH DIKE/SWALE |
| [Symbol] | PLUNGE POOL |
| [Symbol] | STABILIZED CONSTRUCTION ENTRANCE |
| [Symbol] | STOCKPILE |
| [Symbol] | MOUNTABLE STONE BERM |
| [Symbol] | INLET PROTECTION |



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

4/28/23 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

4/27/23 DATE

NO. DATE REVISION

BENCHMARK ENGINEERING, INC.

3300 N. RIDGE ROAD SUITE 140 A ELLICOTT CITY, MARYLAND 21043
(P) 410-465-8105 (F) 410-465-8644
WWW.BE-CVLENGINEERING.COM

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 22390, Expiration Date: 6-30-2023.

OWNER/DEVELOPER:

THE NORMANDY VENTURE LIMITED PARTNERSHIP
8480 BALTIMORE NATIONAL PIKE SUITE 415
ELLICOTT CITY, MARYLAND 21043
410-465-4244

COMMERCIAL

NORMANDY SHOPPING CENTER PARCEL C

TAX MAP: 18 - GRID: 19 - PARCEL: 75
ELECTION DISTRICT NO. 2 - HOWARD COUNTY, MARYLAND
ZONED: B-2-TNC

ENVIRONMENTAL CONCEPT PLAN
SEDIMENT AND EROSION
CONTROL PLAN

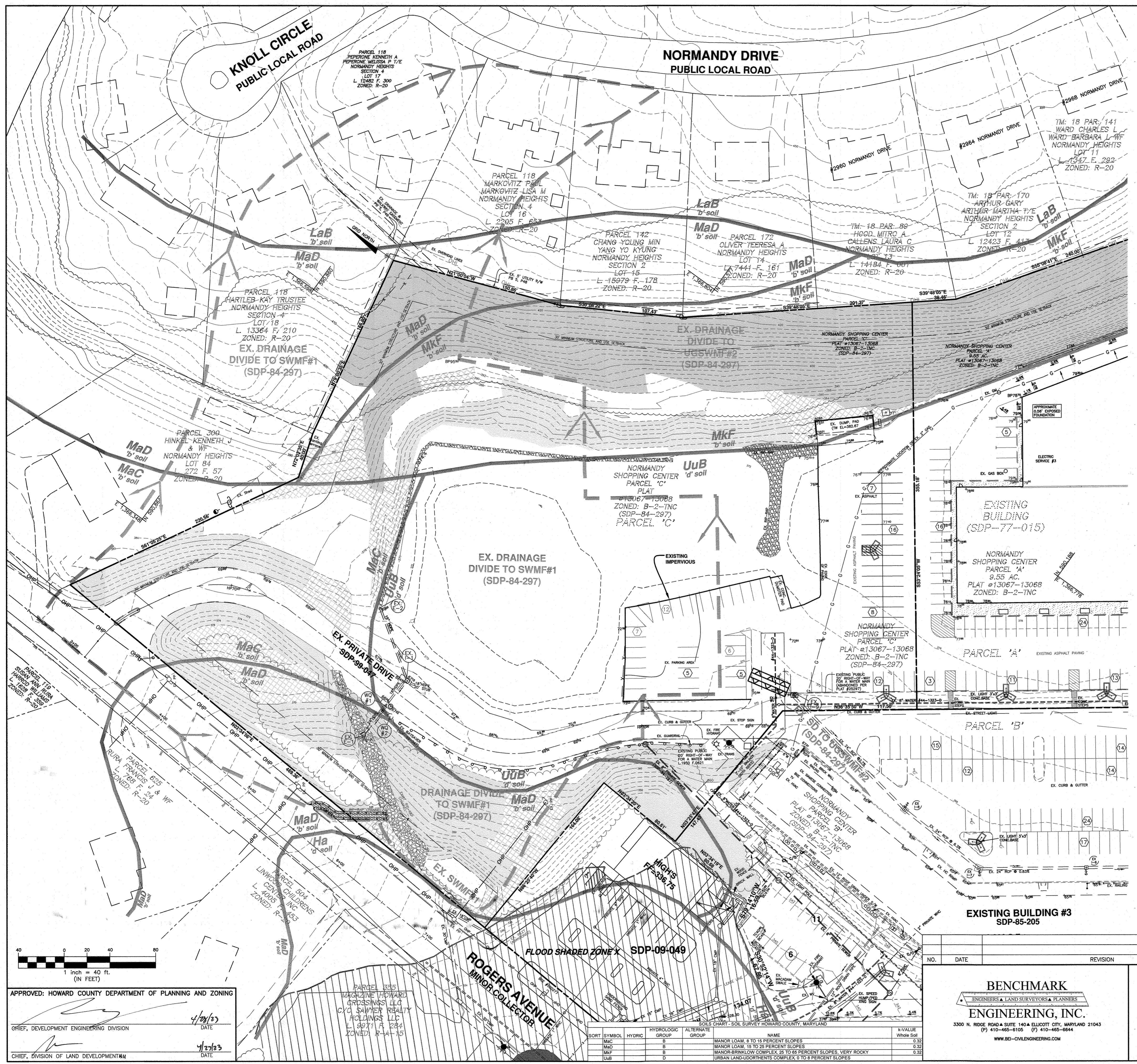
DATE: APRIL, 2023 BEI PROJECT NO. 3125
SCALE: AS SHOWN SHEET 2 OF 4

ECP-23-029

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND

| SOIL | SYMBOL | HYDROIC | HYDROLOGIC GROUP | ALTERNATE GROUP | NAME | K-VALUE |
|------|--------|---------|------------------|-----------------|---|---------|
| MaD | B | | B | | MANOR LOAM, 8 TO 15 PERCENT SLOPES | 0.32 |
| MaD | B | | B | | MANOR LOAM, 15 TO 25 PERCENT SLOPES | 0.32 |
| MkF | D | | D | | MANOR-BRINKLOW COMPLEX, 25 TO 35 PERCENT SLOPES, VERY ROCKY | 0.32 |
| UuB | D | | D | | URBAN LANDSCAPE COMPLEX, 0 TO 6 PERCENT SLOPES | 0.32 |

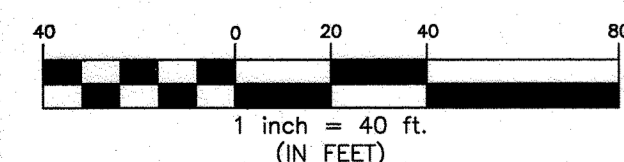
J:\3125 Normandy Parcel C.dwg\COMPARE FS TOPO MCR Redline.dwg, 4/18/2023 6:13:50 PM, MRiedel



LEGEND

AbC

| | |
|-----|---|
| --- | SOILS |
| --- | PARCEL BOUNDARY |
| --- | EX. CONTOURS |
| --- | EX. TREELINE |
| --- | EX. WATER LINE |
| --- | EX. SEWER LINE |
| --- | EX. GAS LINE |
| --- | EX. STORM DRAIN |
| --- | EX. OVERHEAD POWER LINES |
| --- | EX. POWER POLE |
| --- | PARKING SPACE COUNT |
| --- | PROP. CONTOURS |
| --- | PROP. TREELINE |
| --- | PROP. WATER LINE |
| --- | PROP. SEWER LINE |
| --- | PROPOSED STORM DRAIN |
| --- | EXISTING LIGHT POLES |
| --- | EX. STEEP SLOPES 25% OR GREATER (LESS THAN 20,000SF CONTIGUOUS) |
| --- | EX. STEEP SLOPES 25% OR GREATER (MORE THAN 20,000SF CONTIGUOUS) |
| --- | EX. STEEP SLOPES 15% TO 24.9% (LESS THAN 20,000SF CONTIGUOUS) |



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 4/28/23 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 4/27/23 DATE

PARCEL 835
 MACAZINE EDWARD
 GROSSMAN LLC
 C/O SAWYER REALTY
 HOLDINGS LLC
 13371 A 224
 ZONED: R-14-15

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND

| SOIL SYMBOL | HYDRIC | HYDROLOGIC GROUP | ALTERNATE GROUP | NAME | K-VALUE |
|-------------|--------|------------------|-----------------|---|---------|
| MaD | B | B | | MANOR LOAM, 8 TO 15 PERCENT SLOPES | 0.33 |
| MaC | B | B | | MANOR LOAM, 15 TO 25 PERCENT SLOPES | 0.32 |
| MkF | D | D | | MANOR BRINKLOW COMPLEX, 25 TO 65 PERCENT SLOPES, VERY ROCKY | 0.32 |
| UuB | D | D | | URBAN LANDSCAPMENTS COMPLEX, 6 TO 8 PERCENT SLOPES | 0.32 |

BENCHMARK ENGINEERING, INC.

3300 N. RIDGE ROAD SUITE 140A ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 (F) 410-465-6644
 WWW.BE-CIVLENGINEERING.COM

Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 22200. Expiration Date: 6-30-2023.

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 CHRISTOPHER ALAN BENCHMARTIN
 No. 22200
 4-19-23

| NO. | DATE | REVISION |
|-----|------|----------|
| | | |

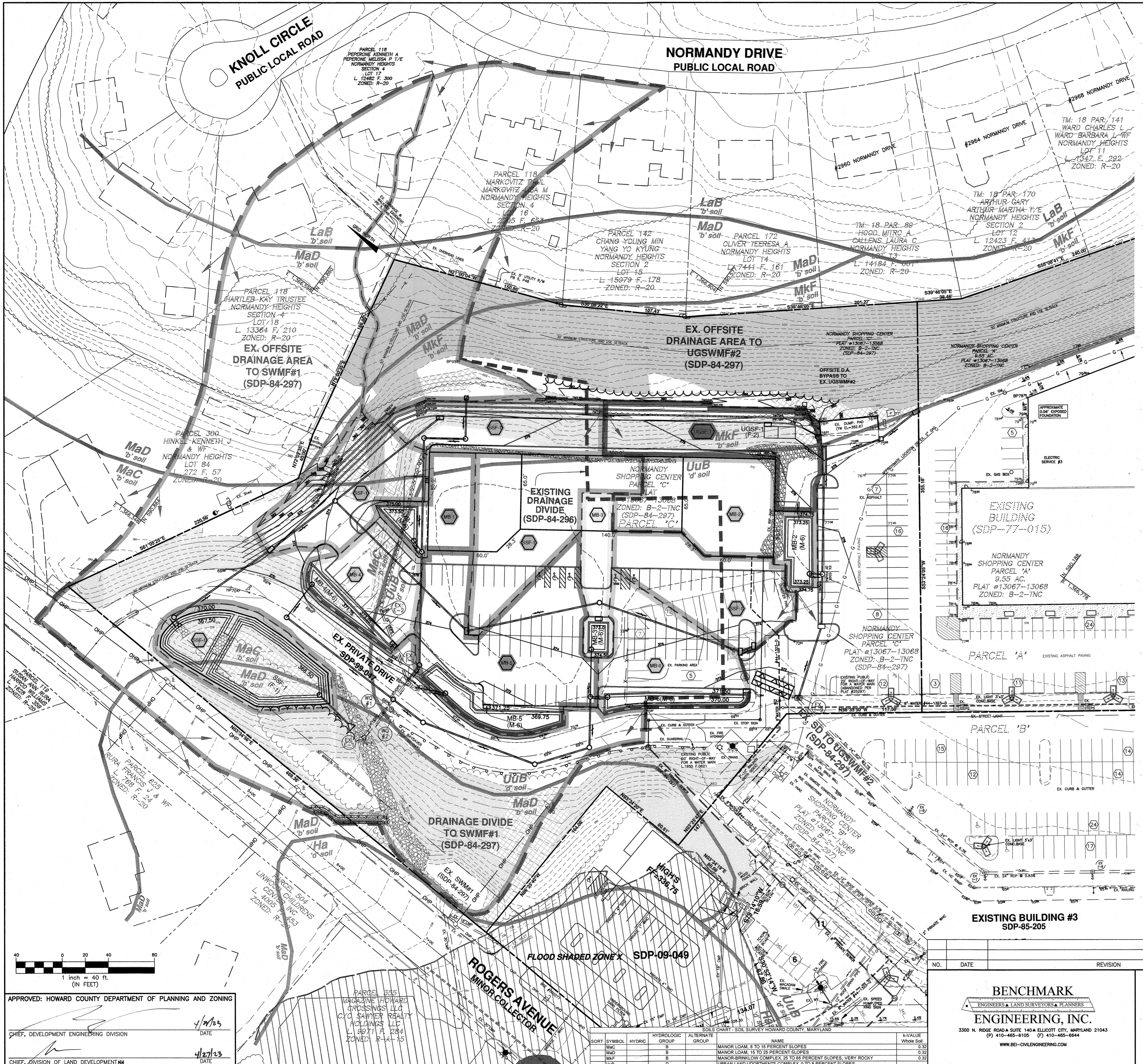
OWNER/DEVELOPER:
 THE NORMANDY VENTURE LIMITED PARTNERSHIP
 8480 BALTIMORE NATIONAL PIKE SUITE 415
 ELLICOTT CITY, MARYLAND 21043
 410-465-4244

COMMERCIAL
NORMANDY SHOPPING CENTER PARCEL C

TAX MAP: 18 - GRID: 19 - PARCEL: 75
 ELECTION DISTRICT NO. 2 - HOWARD COUNTY, MARYLAND
 ZONED: B-2-TNC

ENVIRONMENTAL CONCEPT PLAN
 EXISTING CONDITION
 SWM DRAINAGE AREA MAP

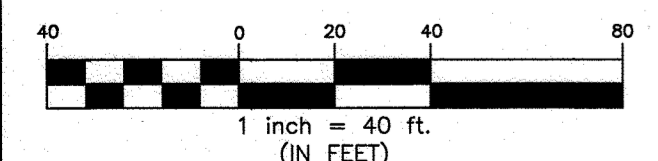
DATE: APRIL, 2023 BEI PROJECT NO. 3125
 SCALE: AS SHOWN SHEET 3 OF 4



LEGEND

AbC

| | |
|----------|---|
| [Symbol] | SOILS |
| [Symbol] | PARCEL BOUNDARY |
| [Symbol] | EX. CONTOURS |
| [Symbol] | EX. TREELINE |
| [Symbol] | EX. WATER LINE |
| [Symbol] | EX. SEWER LINE |
| [Symbol] | EX. GAS LINE |
| [Symbol] | EX. STORM DRAIN |
| [Symbol] | EX. OVERHEAD POWER LINES |
| [Symbol] | EX. POWER POLE |
| [Symbol] | PARKING SPACE COUNT |
| [Symbol] | PROP. CONTOURS |
| [Symbol] | PROP. TREELINE |
| [Symbol] | PROP. WATER LINE |
| [Symbol] | PROP. SEWER LINE |
| [Symbol] | PROPOSED STORM DRAIN |
| [Symbol] | EXISTING LIGHT POLES |
| [Symbol] | EX. STEEP SLOPES 25% OR GREATER (LESS THAN 20,000SF CONTIGUOUS) |
| [Symbol] | EX. STEEP SLOPES 25% OR GREATER (MORE THAN 20,000SF CONTIGUOUS) |
| [Symbol] | EX. STEEP SLOPES 15% TO 24.9% (LESS THAN 20,000SF CONTIGUOUS) |
| [Symbol] | DRAINAGE DIVIDE |
| [Symbol] | ESD-SWM DRAINAGE AREA (COLORS VARY) |



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 4/27/23
DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 4/27/23
DATE

PARCEL 335
MACKENZIE FOWLER
GRADSONS LLC
C/O SAMMY REALTY
AGLINES LLC
L 1871 F. 284
ZONED: R-4-15

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND

| SOIL | SYMBOL | HYDRIC | HYDROLOGIC GROUP | ALTERNATE GROUP | NAME | K-VALUE |
|------|--------|--------|------------------|-----------------|---|---------|
| MaD | B | | B | | MANOR LOAM, 5 TO 15 PERCENT SLOPES | 0.32 |
| MaD | B | | B | | MANOR LOAM, 15 TO 25 PERCENT SLOPES | 0.32 |
| MkF | D | | D | | MANOR-BRINKLOW COMPLEX, 25 TO 35 PERCENT SLOPES, VERY ROCKY | 0.32 |
| UuB | D | | D | | URBAN LANDS/URTHMENTS COMPLEX, 0 TO 8 PERCENT SLOPES | 0.32 |

| | | |
|-----|------|----------|
| NO. | DATE | REVISION |
| | | |

BENCHMARK ENGINEERING, INC.
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Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22390 Date: 6-30-2023

OWNER/DEVELOPER:
THE NORMANDY VENTURE LIMITED PARTNERSHIP
8480 BALTIMORE NATIONAL PIKE SUITE 415 ELLICOTT CITY, MARYLAND 21043 410-465-4244

COMMERCIAL
NORMANDY SHOPPING CENTER PARCEL C

TAX MAP: 18 - GRID: 19 - PARCEL: 75
ELECTION DISTRICT NO. 2 - HOWARD COUNTY, MARYLAND
ZONED: B-2-TNC

ENVIRONMENTAL CONCEPT PLAN
DEVELOPED CONDITION
SWM DRAINAGE AREA MAP

DATE: APRIL, 2023 BEI PROJECT NO. 3125
SCALE: AS SHOWN SHEET 4 OF 4

J:\3125 Normandy Parcel C\dwg\COMPARE FS TOPO MCR Redline.dwg, 4/18/2023 6:14:42 PM, MRiedel