

**GENERAL NOTES**

1. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
2. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A TOPOGRAPHIC SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., PERFORMED ON APRIL 4, 2022. OFFSITE TOPOGRAPHY FROM HOWARD COUNTY GIS.
3. THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED APRIL 4, 2022.
4. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 25DM16 AND 25DM12 WERE USED FOR THIS PROJECT. HORIZONTAL DATUM (BEARINGS AND COORDINATES AS SHOWN HEREON) ARE BASED ON THE MARYLAND COORDINATE SYSTEM NAD 83.
5. THE SUBJECT PROPERTY IS ZONED "M-1". THIS SITE IS A SUBJECT OF ZONING VIOLATION CB210583. THIS PLAN WAS RETROACTIVELY PREPARED TO ADDRESS STORM WATER MANAGEMENT AND SEDIMENT CONTROL DESIGN FOR DEVELOPING WITHOUT REQUIRED PERMITS.
6. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
7. WATER SERVICE TO BE PUBLIC. CONNECTION TO BE PROVIDED TO THE MISSION ROAD BY PUBLIC EASEMENT.
8. SEWER SERVICE TO BE PUBLIC. CONNECTION TO BE PROVIDED TO THE MISSION ROAD BY PUBLIC EASEMENT.
9. MISSION ROAD IS A MINOR COLLECTOR.
10. THIS PROJECT IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
11. THERE ARE NO FLOODPLAINS ON THE PROPERTY.
12. THERE ARE NO STEEP SLOPES WITH A CONTIGUOUS AREA OF 20,000 SF LOCATED ON THE PROPERTY.
13. THERE ARE NO WETLANDS, STREAMS OR BUFFERS LOCATED WITHIN THE PROJECT BOUNDARY.
14. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS OR CEMETERIES ON THIS PROPERTY. THE SITE IS NOT LISTED ON THE HISTORIC SITES INVENTORY.
15. THERE ARE NO SPECIMEN TREES ON THE SITE.
16. THE FOREST CONSERVATION OBLIGATION WILL BE ADDRESSED WITH THE SITE DEVELOPMENT PLAN.
17. A GEOTECHNICAL STUDY WILL BE PROPOSED IN CONJUNCTION WITH THE SITE DEVELOPMENT PLAN.
18. THE FOREST CONSERVATION PLAN AND ASSOCIATED FOREST STAND DELINEATION WILL BE REVIEWED FOR COMPLIANCE WITH THE FOREST CONSERVATION ACT AT THE SUBDIVISION PLAN, SITE DEVELOPMENT PLAN OR GRADING PERMIT STAGES. UNDER COUNTY LAW, ONLY A MD LICENSED FORESTER, MD LICENSED LANDSCAPE ARCHITECT OR AN ISA CERTIFIED ARBORIST WHO IS ALSO A STATE QUALIFIED PROFESSIONAL MAY PREPARE FOREST STAND DELINEATIONS, FOREST CONSERVATION PLANS OR OTHER REQUIRED COUNTY FOREST CONSERVATION PROGRAM DOCUMENTS.  
A SIMPLIFIED FOREST STAND DELINEATION PLAN AND ASSOCIATED LETTER DATED DECEMBER 22, 2021 WAS COMPILED BY MS. MYRA BROSIUS ISA CERTIFIED ARBORIST #MA5411A, MD DNR QUALIFIED PROFESSIONAL OF ECO-SCIENCE PROFESSIONALS INC.  
-NO FOREST OR SPECIMEN TREES ARE LOCATED ONSITE.
19. PROPOSED LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 134.0 OF THE HOWARD COUNTY ZONING REGULATIONS. ALL LIGHTING WILL BE DIRECTED DOWN AND AWAY FROM ADJACENT PROPERTIES AND ROADS.
20. EXISTING USE: UNDEVELOPED\*  
\* ALL DEVELOPMENT SHOWN ON THE EXISTING PLAN IS NOT CONSIDERED EXISTING SINCE THIS PROPERTY IS UNDER VIOLATION CB 210583.
21. PROPOSED USE: WAREHOUSE AND GARAGE.  
MAXIMUM HEIGHT: 22 FEET, AREA TOTAL: 6,400 SF
22. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA SYSTEM. THE MICRO-SCALE PRACTICE USED IS MICRO-BIORETENTION (M-6). THESE FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
23. APPROVAL OF THIS ENVIRONMENTAL CONCEPT PLAN (ECP) DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR RED-LINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR RED-LINE REVISION PROCESS. THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS (INCLUDING COMMENTS THAT MAY ALTER THE OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.
24. APPROVAL OF THIS ENVIRONMENTAL CONCEPT PLAN (ECP) BY THE HOWARD SOIL CONSERVATION DISTRICT DOES NOT GRANT APPROVAL OF THE PROPOSED SEDIMENT CONTROL SCHEME. THE FINAL PLAN SHALL INCLUDE A SEQUENCE OF CONSTRUCTION WHICH SHALL DETAIL SEDIMENT & EROSION CONTROLS AND PHASING AND ADDRESS THE PROJECT TEMPORARY STORMWATER MANAGEMENT REQUIREMENTS.

**ENVIRONMENTAL SITE DESIGN NARRATIVE:**

IN ACCORDANCE WITH CHECKLIST ITEM III.K.

1. THE SUBJECT PROPERTY IS LOCATED AT THE SOUTHWEST QUADRANT ROUTE 100 BETWEEN I-95 AND WASHINGTON BLVD (US1). SITE ADDRESS: 8570 MISSION RD, JESSUP, MD 20794.
2. THE SITE IS CURRENTLY A SUBJECT OF A ZONING VIOLATION CB-210583. NO DRAMATIC DISTURBANCE TO THE NATURAL DRAINAGE PATTERNS ARE PROPOSED. PLEASE REFER TO PROPOSED CONCEPTUAL GRADING.

NO STEEP SLOPES, WETLANDS AND STREAMS OR THEIR BUFFERS OR ERODIBLE SOILS EXIST ON THE PROJECT SITE.

3. THE CONCEPTUAL REDUCTION IN IMPERVIOUS AREA THROUGH BETTER SITE DESIGN IS ACHIEVED THROUGH THE ENVIRONMENTAL SITE DESIGN (ESD) FOR THE PROJECT. THE ESD CONCEPT INCLUDES THE USE OF MICRO-SCALE PRACTICES TO INCLUDE A BIORETENTION FACILITY AND A MICRO-BIORETENTION FACILITY.

4. SEDIMENT CONTROL FOR THIS SITE PLAN WILL BE PROVIDED THROUGH THE USE OF SUPER SILT FENCE PERIMETER CONTROLS AND SEDIMENT TRAP TO BE CONVERTED TO THE BIORETENTION FACILITY. SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH CURRENT REQUIREMENTS AND SHALL BE APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT DURING THE FUTURE SITE DEVELOPMENT PLAN PHASE OF THE PROJECT.

5. STORMWATER MANAGEMENT FOR THE NEW DEVELOPMENT SHALL BE MET THROUGH THE MICRO-SCALE PRACTICE OF TWO (2) MICRO-BIORETENTION (M-6). THE PROPOSED MICRO-BIORETENTION FACILITIES HAS BEEN MAXIMIZED TO THE MAXIMUM EXTENT PRACTICAL (MEP). THE RAINFALL TARGET (PE) FOR THIS NEW DEVELOPMENT PROJECT IS 2.0" (HSG=B, TABLE 5.3).

	REQUIRED	PROVIDED
TOTAL RUNOFF VOLUME	4,153 CF	4,683 CF
RECHARGE VOLUME	540 CF	938 CF
Pe	2 IN	2.4 IN

6. AT THIS CONCEPT STAGE OF DEVELOPMENT, NO DESIGN MANUAL WAIVER OR ALTERNATIVE COMPLIANCE IS REQUIRED FOR ENVIRONMENTAL DISTURBANCE OR THE STORMWATER MANAGEMENT DESIGN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

\_\_\_\_\_  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 1/16/25

\_\_\_\_\_  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 1/16/25

**NOTE:**

THE SITE IS NOT WITHIN THE PLUM TREE BRANCH WATERSHED AND, THEREFORE, REQUIRES NO ADDITIONAL STORMWATER MITIGATION MEASURES.

**PARKING TABULATION**

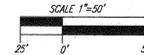
REQUIRED PER CODE  
PROPOSED 4 BAY WAREHOUSE

5,400 SF WAREHOUSE @ 0.75 SPACES PER 1,000 SF + 1 SPACE PER BAY = 9  
TOTAL SPACES REQUIRED (PER CODE): 9 SPACES  
TOTAL SPACES PROVIDED: 11 SPACES + 3 BUS SPACES

HANDICAP PARKING REQUIREMENT:  
1 FOR 1-25 REGULAR SPACES  
HANDICAP PARKING PROVIDED: 1 SPACE

**LOCATION MAP**

SCALE: 1"=50'



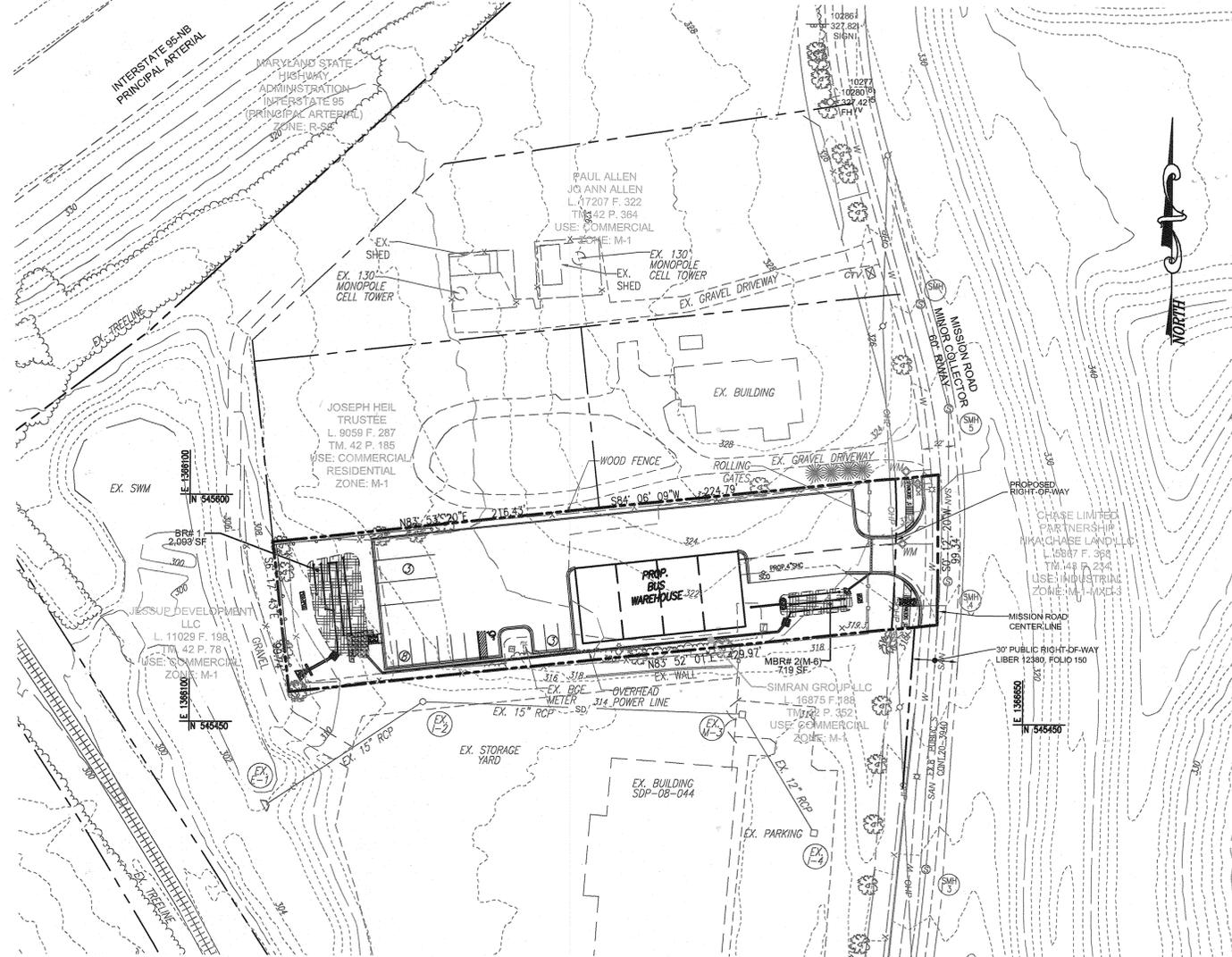
# ENVIRONMENTAL CONCEPT PLAN

# MISSION ROAD

PARCEL 352

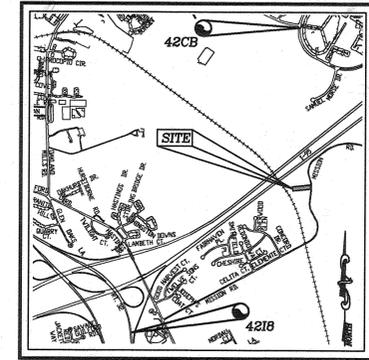
## 8570 MISSION RD, JESSUP 20794

## HOWARD COUNTY, MD



**BENCHMARKS**

HOWARD COUNTY BENCHMARK  
4218 N 542,107.856 E 1,362,386.084 NAVD88 ELEV. 301.485  
HOWARD COUNTY BENCHMARK  
42CB N 549,320.827 E 1,366,327.333 NAVD88 ELEV. 335.482



**VICINITY MAP**  
SCALE: 1"=2000'  
ADC MAP/GRID NO. 5054/A4

**SHEET INDEX**

DESCRIPTION	SHEET NO.
COVER SHEET AND LOCATION MAP	1 OF 5
EXISTING CONDITIONS PLAN	2 OF 5
LAYOUT PLAN	3 OF 5
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN	4 OF 5
STORMWATER MANAGEMENT DRAINAGE AREA MAP, NOTES & DETAILS	5 OF 5

**LEGEND:**

	EXISTING CONTOUR		PROPOSED CONTOUR
	PROPERTY LINE		PROPOSED SPOT ELEVATION
	ADJACENT PROPERTY LINE		PROPOSED TREELINE
	RIGHT-OF-WAY LINE		PROPOSED CONCRETE
	EXISTING EDGE OF PAVING		PROPOSED CONC. SIDEWALK
	EXISTING TREES		PROPOSED BITUMINOUS CONC. PAVEMENT
	EXISTING TREELINE		PROPOSED MICRO-BIORETENTION
	WROUGHT IRON FENCE		PROPOSED STORM DRAIN
	CHAIN LINK FENCE		PROPOSED STORM DRAIN INLET
	POWER LINE STAKED ABOVE GROUND		
	OVERHEAD POWER LINES		
	UNDERGROUND WATER LINE		
	UNDERGROUND SANITATION LINE		
	SHRUB LINE		
	TREE LINE		
	SIGN		
	TELECOMMUNICATION PEDESTAL		
	COMMUNICATION VAULT		
	ELECTRIC TRANSFORMER W/ CONCRETE PAD		
	ELECTRIC METER		
	LIGHT POLE WITH CONCRETE BASE		
	WATER METER		
	FIRE HYDRANT		
	WATER VALVE		
	SEWER MANHOLE		

**OWNER/DEVELOPER**

SIMRAN GROUP, LLC  
10427 SNOW POINT DRIVE  
BETHESDA, MD 20814  
PHONE: (410) 504-9416

NO.	REVISION	DATE

**ENVIRONMENTAL CONCEPT PLAN**

**COVER SHEET & LOCATION MAP**

**MISSION ROAD**

8570 MISSION ROAD  
DEED L.16875 F.188

TAX MAP 42 BLOCK 18 6TH ELECTION DISTRICT ZONED M-1 PARCEL 352 HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

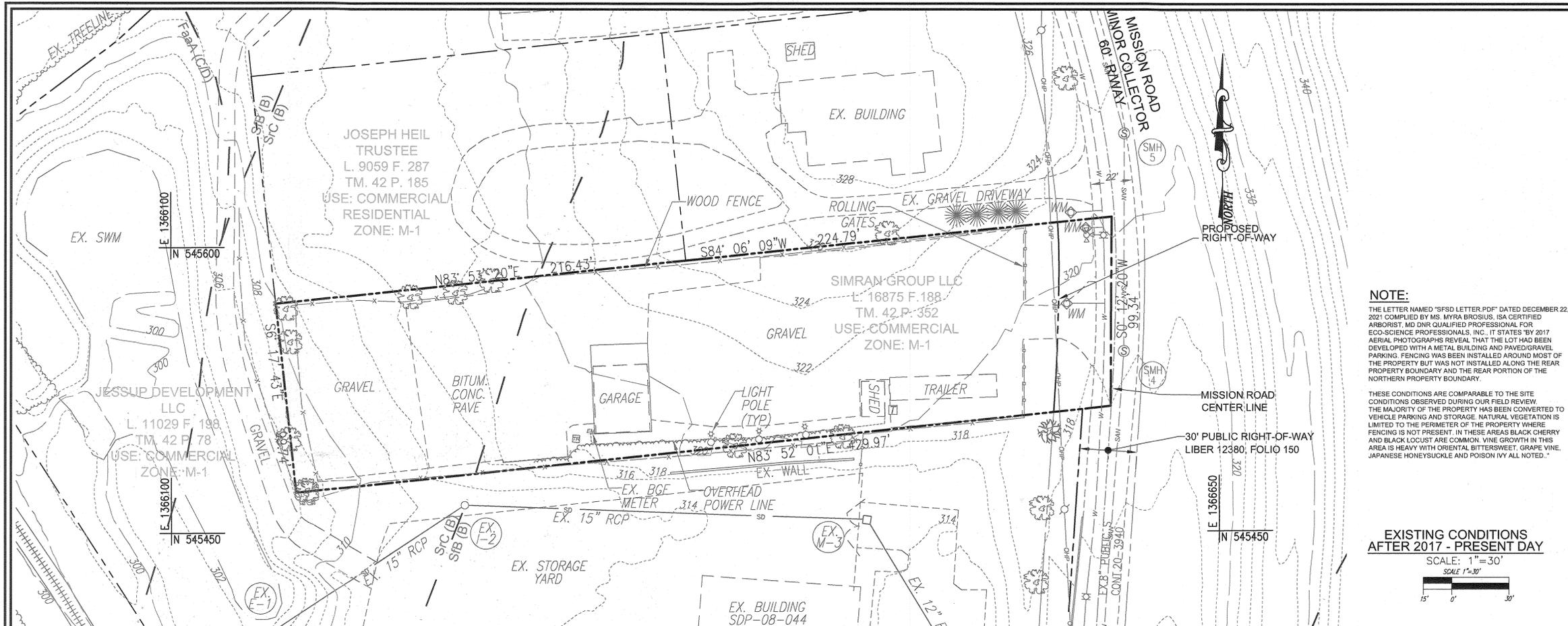
**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: RHV  
DRAWN BY: IMH/ONB  
CHECKED BY: RHV  
DATE: SEPTEMBER 2022  
SCALE: AS SHOWN  
W.O. NO.: 49568

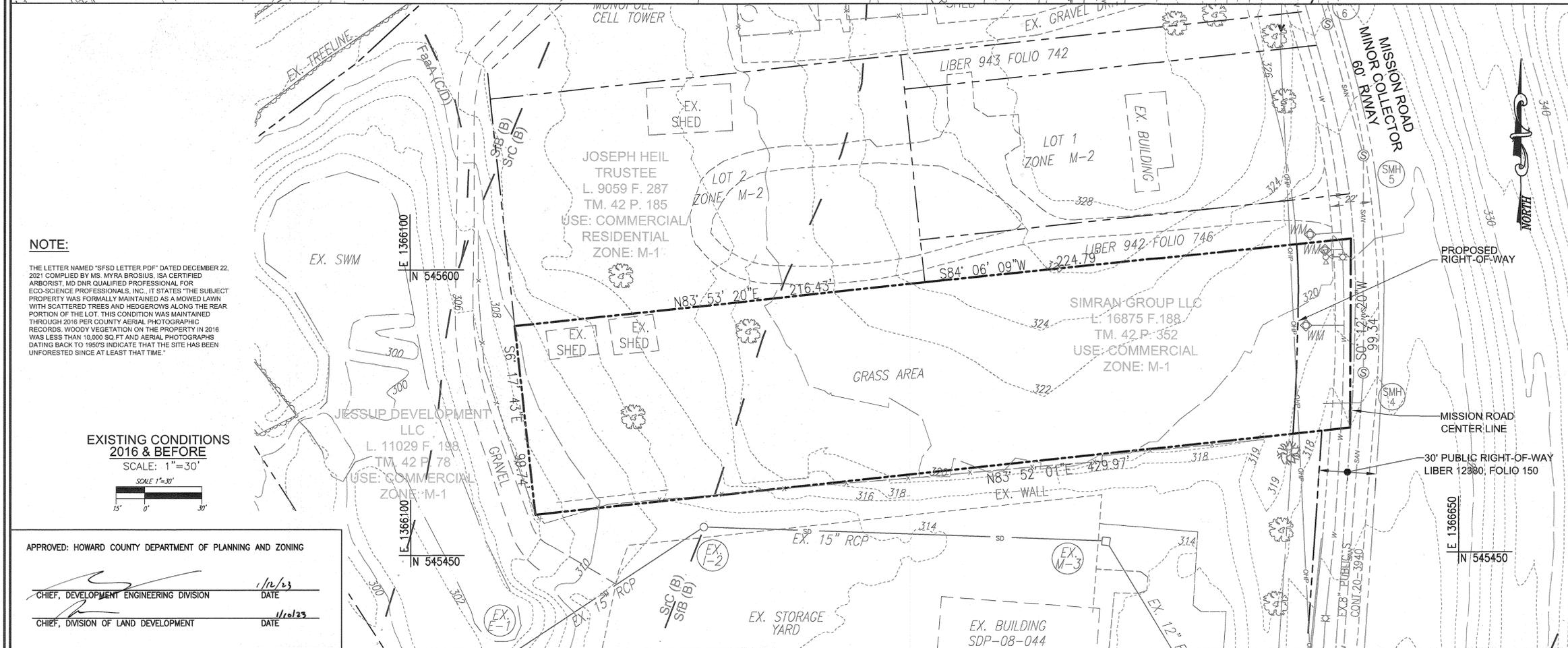
PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-30-2025



- LEGEND:**
- EXISTING CONTOUR
  - PROPERTY LINE
  - ADJACENT PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - EXISTING EDGE OF PAVING
  - ☀ EXISTING TREES
  - EXISTING TREELINE
  - WROUGHT IRON FENCE
  - CHAIN LINK FENCE
  - POWER LINE STAKED ABOVE GROUND
  - OHP OVERHEAD POWER LINES
  - W UNDERGROUND WATER LINE
  - SAN UNDERGROUND SANITATION LINE
  - SHRUB LINE
  - TREE LINE
  - SIGN
  - TELECOMMUNICATION PEDESTAL
  - COMMUNICATION VAULT
  - ELECTRIC TRANSFORMER W/ CONCRETE PAD
  - ELECTRIC METER
  - LIGHT POLE WITH CONCRETE BASE
  - WATER METER
  - FIRE HYDRANT
  - WATER VALVE
  - SEWER MANHOLE
  - GgC (B) SOIL TYPE
  - GnB (C)

**NOTE:**  
 THE LETTER NAMED "SFSD LETTER.PDF" DATED DECEMBER 22, 2021 COMPILED BY MS. MYRA BROSIUS, ISA CERTIFIED ARBORIST, MD DNR QUALIFIED PROFESSIONAL FOR ECO-SCIENCE PROFESSIONALS, INC., IT STATES "BY 2017 AERIAL PHOTOGRAPHS REVEAL THAT THE LOT HAD BEEN DEVELOPED WITH A METAL BUILDING AND PAVED/GRAVEL PARKING. FENCING WAS BEEN INSTALLED AROUND MOST OF THE PROPERTY BUT WAS NOT INSTALLED ALONG THE REAR PROPERTY BOUNDARY AND THE REAR PORTION OF THE NORTHERN PROPERTY BOUNDARY."  
 THESE CONDITIONS ARE COMPARABLE TO THE SITE CONDITIONS OBSERVED DURING OUR FIELD REVIEW. THE MAJORITY OF THE PROPERTY HAS BEEN CONVERTED TO VEHICLE PARKING AND STORAGE. NATURAL VEGETATION IS LIMITED TO THE PERIMETER OF THE PROPERTY WHERE FENCING IS NOT PRESENT. IN THESE AREAS BLACK CHERRY AND BLACK LOCUST ARE COMMON. VINE GROWTH IN THIS AREA IS HEAVY WITH ORIENTAL BITTERSWEET, GRAPE VINE, JAPANESE HONEYSUCKLE AND POISON IVY ALL NOTED."

**EXISTING CONDITIONS AFTER 2017 - PRESENT DAY**  
 SCALE: 1"=30'  
 SCALE 1"=30'  
 15' 0' 30'



**NOTE:**  
 THE LETTER NAMED "SFSD LETTER.PDF" DATED DECEMBER 22, 2021 COMPILED BY MS. MYRA BROSIUS, ISA CERTIFIED ARBORIST, MD DNR QUALIFIED PROFESSIONAL FOR ECO-SCIENCE PROFESSIONALS, INC., IT STATES "THE SUBJECT PROPERTY WAS FORMALLY MAINTAINED AS A MOWED LAWN WITH SCATTERED TREES AND HEDGEROWS ALONG THE REAR PORTION OF THE LOT. THIS CONDITION WAS MAINTAINED THROUGH 2016 PER COUNTY AERIAL PHOTOGRAPHIC RECORDS. WOODY VEGETATION ON THE PROPERTY IN 2016 WAS LESS THAN 10,000 SQ. FT. AND AERIAL PHOTOGRAPHS DATING BACK TO 1989S INDICATE THAT THE SITE HAS BEEN UNFORESTED SINCE AT LEAST THAT TIME."

**EXISTING CONDITIONS 2016 & BEFORE**  
 SCALE: 1"=30'  
 SCALE 1"=30'  
 15' 0' 30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 1/12/23  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 1/12/23

**OWNER/DEVELOPER**  
 SIMRAN GROUP, LLC  
 10427 SNOW POINT DRIVE  
 BETHESDA, MD 20814  
 PHONE: (410) 504-9416

NO.	REVISION	DATE

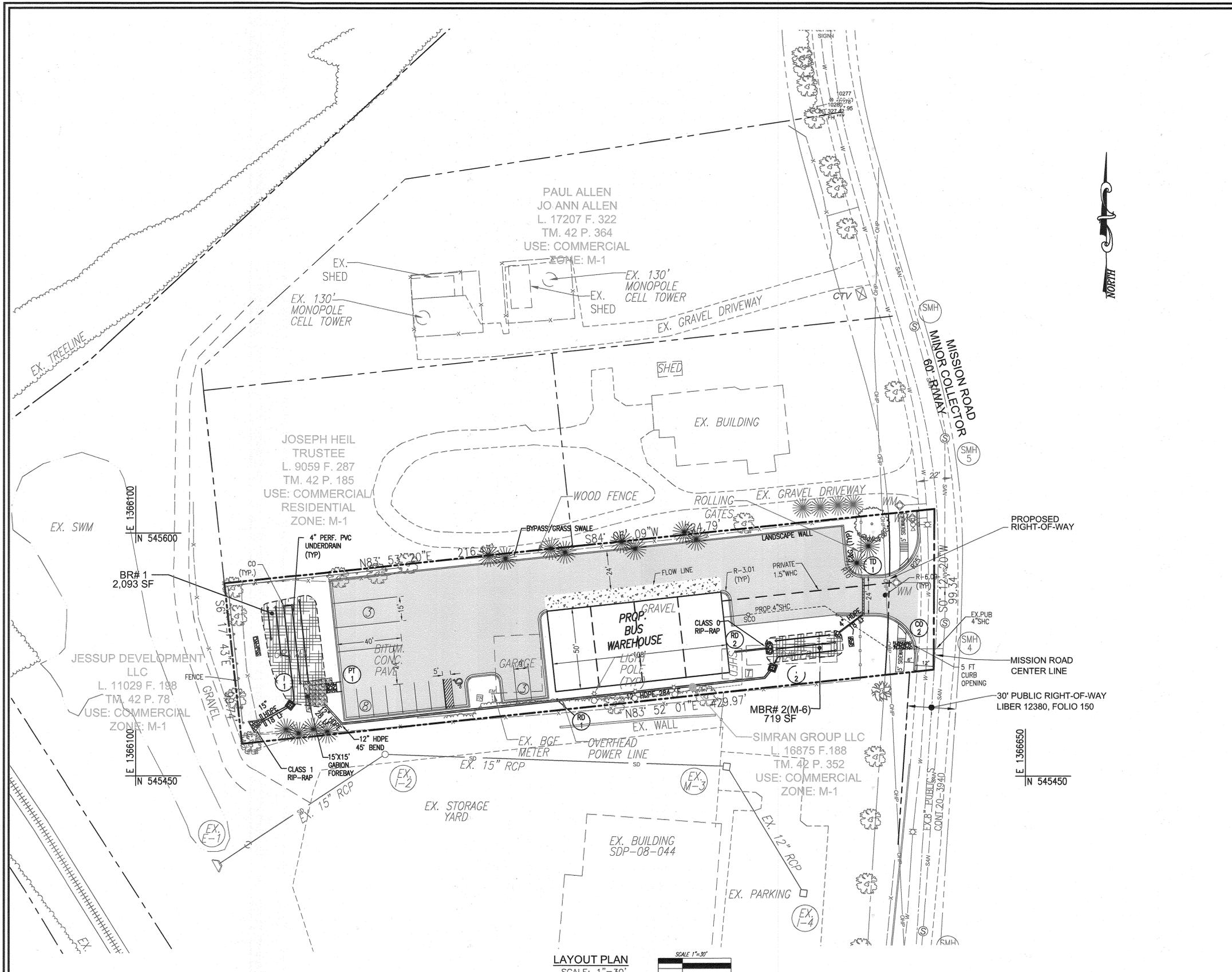
ENVIRONMENTAL CONCEPT PLAN  
 EXISTING CONDITIONS PLAN  
**MISSION ROAD**  
 8570 MISSION ROAD  
 DEED L. 16875 F. 188  
 TAX MAP 42 BLOCK 18 6TH ELECTION DISTRICT  
 ZONED M-1 PARCEL 352  
 HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
 TIMMONS GROUP  
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRES 09-27-2024

DESIGN BY: RHW  
 DRAWN BY: IMH/ONB  
 CHECKED BY: RHW  
 DATE: SEPTEMBER 2022  
 SCALE: AS SHOWN  
 W.O. NO.: 49568

ROBERT H. VOGEL, PE No. 16193



**LEGEND:**

	EXISTING CONTOUR		PROPOSED CONTOUR
	PROPERTY LINE		PROPOSED SPOT ELEVATION
	ADJACENT PROPERTY LINE		PROPOSED TREELINE
	RIGHT-OF-WAY LINE		PROPOSED CONCRETE
	EXISTING EDGE OF PAVING		PROPOSED CONC. SIDEWALK
	EXISTING TREES		PROPOSED BITUMINOUS CONC. PAVEMENT SEE DETAIL ON THIS SHEET
	EXISTING TREELINE		PROPOSED MICRO-BIORETENMENT
	WROUGHT IRON FENCE		PROPOSED STORM DRAIN
	CHAIN LINK FENCE		PROPOSED STORM DRAIN INLET
	POWER LINE STACKED ABOVE GROUND		CONCEPTUAL PROPOSED TREES
	OVERHEAD POWER LINES		
	UNDERGROUND WATER LINE		
	UNDERGROUND SANITATION LINE		
	SHRUB LINE		
	TREE LINE		
	SIGN		
	TELECOMMUNICATION PEDESTAL		
	COMMUNICATION VAULT		
	ELECTRIC TRANSFORMER W/ CONCRETE PAD		
	ELECTRIC METER		
	LIGHT POLE WITH CONCRETE BASE		
	WATER METER		
	FIRE HYDRANT		
	WATER VALVE		
	SEWER MANHOLE		

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	MIN. SUPERPAVE ASPHALT MIX WITH GRAB				
			3 TO <5	5 TO <7	7	3 TO <5	5 TO <7
P-1	PARKING DRIVE ASPHALT AND NON-RESIDENTIAL PARKING DRIVE ASPHALT	9.5 MM PG 64-22S, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5
		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA
		18.0 MM PG 64-22S, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	3.0
P-2	PARKING DRIVE ASPHALT AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY LOCAL ROADS ACCESS STREET	9.5 MM PG 64-22S, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5
		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA
		18.0 MM PG 64-22S, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0
P-3	PARKING DRIVE ASPHALT AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY LOCAL ROADS ACCESS STREET	9.5 MM PG 64-22S, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0
		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA
		18.0 MM PG 64-22S, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0
P-4	MINOR COLLECTORS NON-RESIDENTIAL MAJOR COLLECTORS	9.5 MM PG 64-22S, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5
		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (NA)	NA	NA	NA	NA	NA
		18.0 MM PG 64-22S, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0

**NOTES**

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 1.0 IN. BASE (0.2" MIN. TO 4.0" MAX.), 2.0 IN. SURFACE (1.5" MIN. TO 3.0" MAX.), AND 3.0 IN. SURFACE (1.5" MIN. TO 2.0" MAX.).
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
- THE INTERMEDIATE SURFACE COURSE LAYERS MUST BE PLACED WITH A MINIMUM OF 3% PERCENTAGE OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSEQUENT COMPLETION OF PAVEMENT AND BOND REDUCTION.
- IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYERS FOR COMMERCIAL/INDUSTRIAL ENTRANCE AREAS WITHIN THE COUNTY RIGHT-OF-WAY WHERE SIDEWALK LAYERS ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE SURFACE LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howard County, Maryland  
Department of Public Works  
Approved: *[Signature]*  
Chief, Bureau of Engineering

PAVING SECTIONS P-1 to P-4

Detail R-2.01

**OWNER/DEVELOPER**  
SIMRAN GROUP, LLC  
10427 SNOW POINT DRIVE  
BETHESDA, MD 20814  
PHONE: (410) 504-9416

NO.	REVISION	DATE

ENVIRONMENTAL CONCEPT PLAN  
LAYOUT PLAN

MISSION ROAD  
8570 MISSION ROAD  
DEED L.16875 F.188

TAX MAP 42 BLOCK 18  
6TH ELECTION DISTRICT

ZONED M-1  
PARCEL 352

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 08-27-2024.

DESIGN BY: RHV  
DRAWN BY: IMH/ONB  
CHECKED BY: RHV  
DATE: SEPTEMBER 2022  
SCALE: AS SHOWN  
W.O. NO.: 49568

ROBERT H. VOGEL, PE No.16193

3 SHEET OF 5

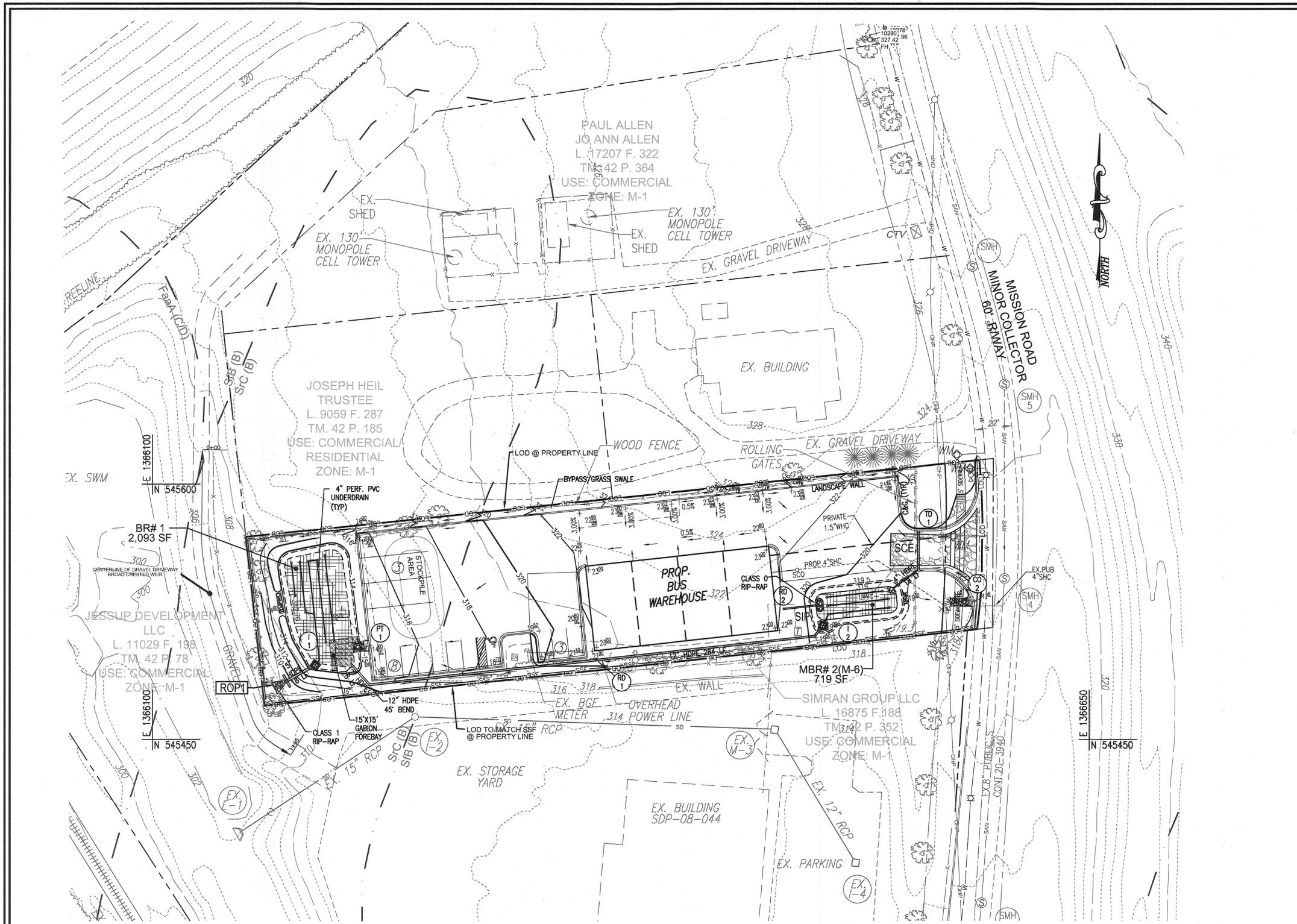
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 11/16/23

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 11/16/23

LAYOUT PLAN  
SCALE: 1"=30'

SCALE 1"=30'  
15' 0' 30'



**LEGEND:**

	EXISTING CONTOUR		PROPOSED CONTOUR
	PROPERTY LINE		PROPOSED SPOT ELEVATION
	ADJACENT PROPERTY LINE		PROPOSED TREELINE
	RIGHT-OF-WAY LINE		PROPOSED MICRO-BIORETENTATION
	EXISTING EDGE OF PAVING		PROPOSED STORM DRAIN
	EXISTING TREES		PROPOSED STORM DRAIN ADC INLET
	EXISTING TREELINE		PROPOSED TREES
	WROUGHT IRON FENCE		STANDARD INLET PROTECTION
	CHAIN LINK FENCE		ROCK OUTLET PROTECTION
	POWER LINE STAKED ABOVE GROUND		SUPER SILT FENCE
	OVERHEAD POWER LINES		STABILIZED CONSTRUCTION ENTRANCE
	UNDERGROUND WATER LINE		LIMIT OF DISTURBED AREA
	UNDERGROUND SANITATION LINE		
	SHRUB LINE		
	TREE LINE		
	SIGN		
	TELECOMMUNICATION PEDESTAL		
	COMMUNICATION VAULT		
	ELECTRIC TRANSFORMER W/ CONCRETE PAD		
	ELECTRIC METER		
	LIGHT POLE WITH CONCRETE BASE		
	WATER METER		
	FIRE HYDRANT		
	GgC (B) SOIL TYPE		
	GbB (C) SOIL TYPE		

**HSCD NOTES:**

- APPROVAL OF THIS ENVIRONMENTAL CONCEPT PLAN (ECP) BY THE HOWARD SOIL CONSERVATION DISTRICT DOES NOT GRANT APPROVAL OF THE PROPOSED SEDIMENT CONTROL SCHEME.
1. THE FINAL OR SITE DEVELOPMENT PLAN SHALL INCLUDE A SEQUENCE OF CONSTRUCTION WHICH SHALL DETAIL SEDIMENT & EROSION CONTROLS AND PHASING.
  2. THE PROJECT SHALL ADDRESS ANY TEMPORARY STORMWATER MANAGEMENT REQUIREMENTS.
  3. THE FINAL OR SITE DEVELOPMENT PLAN SUBMISSION SHALL PROVIDE A DRAINAGE AREA MAP SPECIFIC TO CHOSEN SEDIMENT CONTROLS.
  4. THE FINAL OR SITE DEVELOPMENT PLAN SUBMISSION SHALL PROVIDE COMPUTATIONS TO VERIFY VELOCITIES ALONG DIKES, SWALES AND AT DIKES OUTLET LOCATIONS.

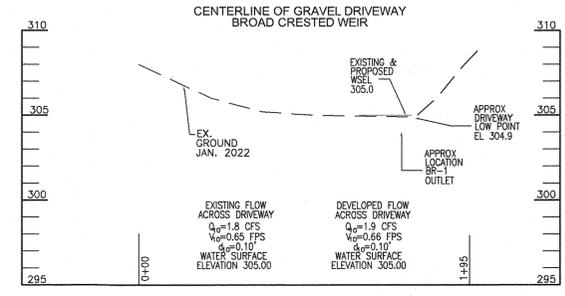
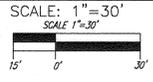
**NOTE:**  
EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

**NOTE:**  
LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

**NOTE:**  
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.  
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART  
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

**OWNER/DEVELOPER**  
SIMRAN GROUP, LLC  
10427 SNOW POINT DRIVE  
BETHESDA, MD 20814  
PHONE: (410) 504-9416

**GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN**



SCALE: HORIZONTAL - 1"=50'  
VERTICAL - 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 11/13/23

CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 11/14/23

**MAPPED SOILS TYPES - HOWARD COUNTY, MARYLAND**

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	Kw	RANGE*	BIOTIC ERODIBILITY
SB	SASSAPARAS GRAVELLY SANDY LOAM - 2 TO 5 PERCENT SLOPE	B	NO	0.32	NO	NO
SB	SASSAPARAS AND GROOM SOILS - 5 TO 10 PERCENT SLOPE	B	NO	0.32	NO	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY

**NOTE:**  
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

NO.	REVISION	DATE
ENVIRONMENTAL CONCEPT PLAN GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN		
MISSION ROAD 8570 MISSION ROAD DEED L.16875 F.188		
TAX MAP 42 BLOCK 18 6TH ELECTION DISTRICT	ZONED M-1 PARCEL 352 HOWARD COUNTY, MARYLAND	
<b>VOGEL ENGINEERING</b> ⊕ <b>TIMMONS GROUP</b> 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 P: 410.461.7666 F: 410.461.8961 www.timmons.com		
DESIGN BY: RHV		PROFESSIONAL CERTIFICATE
DRAWN BY: IMH/ONB		I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16183 EXPIRATION DATE: 09-27-2024
CHECKED BY: RHV		
DATE: SEPTEMBER 2022		
SCALE: AS SHOWN		
W.O. NO.: 49568		4 SHEET OF 5

