

**GENERAL NOTES:**

**OWNER:** WILLIAM & MATTREY VERDECCHIA  
 817 STREPPER ST  
 BALTIMORE, MD 21224  
 (240) 731-9666  
 DEED REF: 274598  
 FLAT REF: 12/21/17  
 TAX MAP: 17 GRID: 20 PARCEL: 0174 LOT: 2  
 SITE ADDRESS: 10080 REED LANE  
 ELLICOTT CITY, MD 21042

**SETBACKS:**  
 MIN. LOT AREA: NA  
 MIN. LOT WIDTH: 60 FT.  
 FRONT YARD: 50 FT.  
 SIDE YARD: 10 FT.  
 REAR YARD: 30 FT.  
 BLDG. HEIGHT: 40 FT.

**PROPOSED:**  
 0.99 ACRES  
 175.66 FT.  
 85.7 FT.  
 48.3 FT.  
 100.2 FT.  
 TBD

- EXISTING ZONING: R-20
- SITE ANALYSIS DATA:
  - TOTAL AREA OF SITE: 0.99 AC.
  - EXISTING IMPERVIOUS AREA: 0.00 AC.
  - EXISTING GREEN AREA: 0.99 AC.
  - EXISTING FORESTED AREA: 0.45 AC.
  - EXISTING SITE USE: VACANT
- AREA OF PLAN SUBMISSION: 43,124 SQ.F.T.
  - LIMIT OF DISTURBANCE: 29,000 SQ.F.T.
  - IMPERVIOUS AREA: 5,403 SQ.F.T.
  - REVEGETATED AREA: 3,000 SQ.F.T.
  - PROPOSED USE: NEW RESIDENTIAL HOUSE
- PREVIOUS SUBMITTALS:
  - THE BETTY L. JONES PROPERTY - PLAT F-96-132
- APPROVAL OF THIS ECP DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION OR SITE DEVELOPMENT PLAN, BUILDING, AND/OR GRADING PERMIT.
- NO WETLANDS, STREAMS, FLOODPLAIN, STEEP SLOPES, ERODIBLE SOILS, OR ASSOCIATED BUFFERS EXIST WHICH MAY AFFECT THE CONSTRUCTION OF THE PROPOSED BUILDING AND ITS AFFURTANCES. THE SITE IS NOT WITHIN THE FULTREE BRANCH WATERSHED.
- 10080 REED LANE IS LOCATED WITHIN THE METROPOLITAN DISTRICT; THEREFORE, ROAD FRONTAGE IMPROVEMENTS SHALL BE ADDRESSED AT SITE DEVELOPMENT.
- EXISTING SITE WAS VACANT
- A MINIMUM OF 6" OF TOPSOIL WILL BE APPLIED TO ALL DISTURBED AREAS OF THIS PROJECT.
- HOWARD COUNTY IS GRANTED ACCESS TO ANY ON LOT SWM FACILITIES FOR INSPECTION IN THE EVENT OF A MALFUNCTION.
- NO PERSON SHALL PLACE ANY OBSTRUCTION IN AN EASEMENT ASSOCIATED WITH A FEDERAL OR STATE REGULATED RESOURCE WITHOUT PRIOR WRITTEN AUTHORIZATION BY THE APPROPRIATE REGULATORY AUTHORITY.
- THE MUNICIPALITY, ITS AGENTS AND EMPLOYEES SHALL HAVE THE RIGHT TO ENTER ANY PROPERTY WHERE STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL FACILITIES ARE LOCATED FOR THE PURPOSE OF INSPECTING AND, IF NECESSARY, IN THE EVENT THE RESPONSIBLE PARTIES FAIL TO DO SO, MAINTAINING OR REPAIRING SAID FACILITIES.
- STORMWATER MANAGEMENT WILL BE PROVIDED VIA A MICRO-BIO RETENTION POND (M-G).
- LANDSCAPING TO BE PROVIDED DURING THE SITE DEVELOPMENT PLAN
- FOREST CONSERVATION HAS BEEN APPROVED UNDER PLAT F-96-132.



**PROPOSED BUILDING FRONT ELEVATION PLAN**  
 SCALE: N.T.S.

MICRO-BIO (M-G)	DA (S.F.)	IMPERVIOUS (%)	Pe (IN.)	Pe (N.)	ESDv PROVIDED (C.F.)	ESDv REQUIRED (C.F.)
1.00	8603	27	2.60	2.52	535 (USE 532)	

ROOF DRAIN NO.	AREA TREATED (S.F.)	Pe (IN.)	ESDv REQUIRED/PROVIDED (C.F.)	ESDv = Pe x Rv x A / 12
1	604	1.00		47.5

DISCONNECT AREA	AREA TREATED (S.F.)	Pe (IN.)	ESDv REQUIRED/PROVIDED (C.F.)	ESDv = Pe x Rv x A / 12
DRIVEWAY	900	1.00		71.3

**BREAKDOWN OF SITE FEATURES**

CUT/FILL CALC.	CUT: 507 C.Y. FILL: 561 C.Y. 74 C.Y. (IMPORT)
DRIVEWAY PAVING	2,295 SQ. FT.
DRIVEWAY PAVING (GRAVEL)	NA
CONCRETE DRIVEWAY APPROX	NA
6" FVC ROOF MANIFOLD	NA
4" FVC HOUSE MANIFOLD	NA
6" FVC ROOF LEADER	320 L.F.
MICRO-BIORETENTION	1 EACH
SEPTIC SYSTEM (ON LOT)	NO
WELL (ON LOT)	NO
TRENCH DRAIN	NA
INLETS	NA
LEAF GUARDS	YES
C.O. # VENTS	YES
ROCK CONSTRUCTION ENTRANCE	1
CONCRETE WASHOUT	1
SILT FENCE	380 L.F.
ORANGE CONSTRUCTION FENCE	100 L.F.
AMENDED SOILS	NA
PROPANE TANK (ON LOT)	YES
LANDSCAPE RETAINING WALL	NA

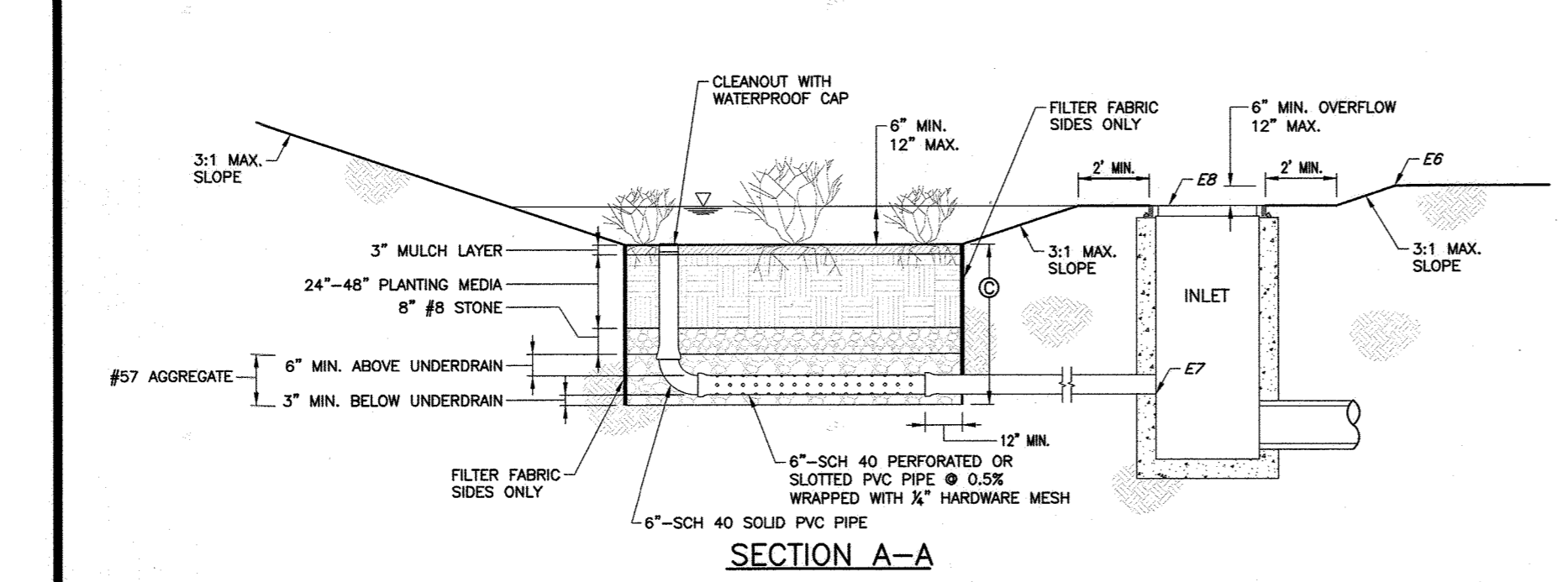
**BREAKDOWN OF IMPERVIOUS AREA OUTSIDE OF ROW**

HOUSE	2,958 SQ. FT.
WALKWAY	150 SQ. FT.
PORCH	150 SQ. FT.
DRIVEWAY (PAVED)	2,295 SQ. FT.
DRIVEWAY (GRAVEL)	NA
DECK (FUTURE)	NA
PATIO (LOWER LEVEL)	NA
<b>TOTAL</b>	<b>5,403 SQ. FT.</b>

WATER LATERAL	± 130 LF (PUBLIC MAIN TO HOUSE)
SEWER LATERAL	± 100 LF (PUBLIC MAIN TO HOUSE)
ELECTRIC SERVICE	(TO BE DESIGNED BY BGE)
GAS SERVICE	NOT IN AREA
PHONE	± 150 LF
TW/INTERNET	NA
ENVELOPE SIZE	± 0.52 ACRES
BASEMENT TYPE	DEFAULT
BASEMENT HEIGHT	9'-2.5" FFF TO FFB
BASEMENT ENTRY LOC.	WALK OUT
DRIVEWAY LOCATION	RIGHT
DRIVEWAY TYPE	SIDE LOAD
UTILITY LOCATION	TBD
DRIVEWAY LAMP POST	TBD

**NOTES**

- FACILITY SHALL BE A MINIMUM OF 10FT FROM ANY BUILDING.
- FACILITY SHALL BE INSTALLED IN EXCAVATED VIRGIN SOIL (NOT FILL).
- FACILITY SHALL BE MINIMUM 4" ABOVE THE SEASONAL HIGH WATER TABLE.
- REGULAR INSPECTIONS SHALL BE REQUIRED DURING FOLLOWING STAGES OF THE CONSTRUCTION:
  - DURING EXCAVATION TO SUBGRADE AND PLACEMENT AND BACKFILL OF UNDERDRAIN SYSTEMS.
  - DURING PLACEMENT OF PLANTING MEDIA.
  - DURING CONSTRUCTION OF APPURTENANT CONVEYANCE.
  - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.
- E1 TO E8 AS-BUILT SPOT ELEVATION LOCATIONS.
- THIS STANDARD IS A REFERENCE TO SHOW THE ELEMENTS AND MINIMUM DIMENSIONS FOR A MICRO-BIORETENTION FACILITY. EACH FACILITY SHALL BE DESIGNED AND APPROVED ON A SITE SPECIFIC BASIS. THIS DETAIL PROVIDES BLANK SPACES TO INFORM WHERE AS-BUILT INFORMATION IS REQUIRED FOR SWM CLOSEOUT.

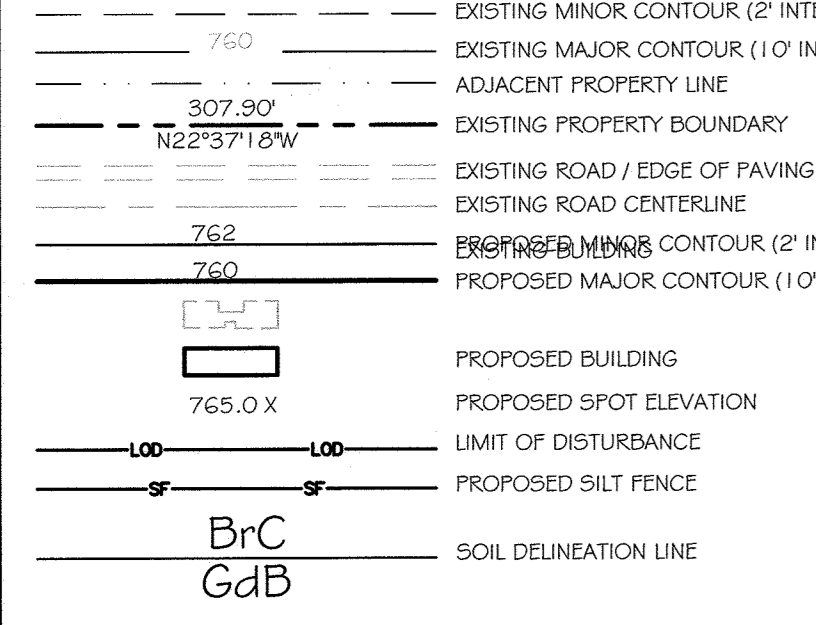


Howard County, Maryland  
 Department of Public Works  
 Approved: *Priscilla R. Smith*  
 Chief, Bureau of Engineering

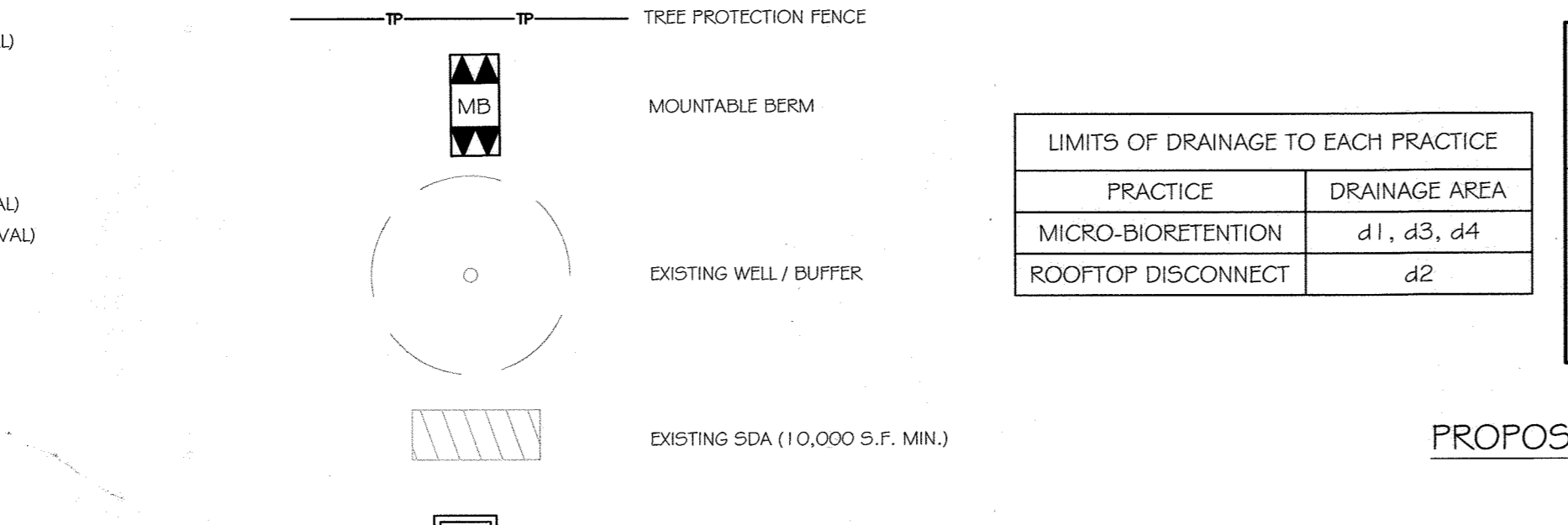
**MICRO-BIORETENTION FACILITY**  
 Private For Reference

Detail **D-9.03**

**DRAWING LEGEND**



**LIMITS OF DRAINAGE TO EACH PRACTICE**



**PROPOSED BUILDING DRAINAGE AREA PLAN**  
 SCALE: N.T.S.

**SOILS**

SYMBOL	DESCRIPTION	Kw
Gg(C)(B)	GLENELG LOAM, 8-15% SLOPES	0.24
Gn(B)(C)	GLENVILLE-BAILE SILT LOAM, 0-8% SLOPES	0.43

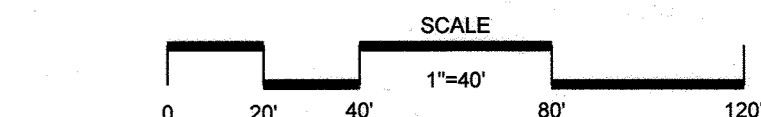
EXISTING NATURAL SENSITIVE RESOURCE	WATERSHEDS	FLOODPLAIN, RIPARIAN, NATURAL DRAINAGE WAYS	WETLANDS	WOODLANDS	STEEP SLOPES 15-25%	STEEP SLOPES 25%+	TOTAL AREA
							0.00 ACRES
							0.00 ACRES
							0.00 ACRES
							0.00 ACRES
							0.00 ACRES
							0.00 ACRES
							0.00 ACRES
							0.00 ACRES
							0.00 ACRES

**NATURAL RESOURCES INVENTORY**

FEDERAL REGULATED		STATE REGULATED		LOCAL REGULATED	
PRESENT? (Y/N)	FEATURE	LEGEND SYMBOL	PRESENT? (Y/N)	FEATURE	LEGEND SYMBOL
N	WETLANDS		N	TIDAL & NON-TIDAL WETLANDS	N
N	MAJOR WATERWAYS		N	WETLANDS OF SPECIAL STATE INTEREST	N
N	FLOODPLAINS		N	WETLANDS BUFFERS	N
			N	STREAM BUFFERS	N
			N	PERENNIAL STREAMS	N
			N	FLOODPLAINS	N
			Y	FORESTS	SEE LEGEND
			N	FOREST BUFFERS	N
			N	CRITICAL AREAS	N
			N	SOILS	SEE SOILS TABLE
			N	BEDROCK GEOLOGY	N
			Y	EXISTING DRAINAGE AREAS	SEE PLAN VIEW
			N	EXISTING SWM FACILITIES	N

**SWM SUMMARY TABLE**

LIMIT OF DISTURBANCE	29,000 S.F.
SITE AREA	43,124 S.F.
EX. IMPERVIOUS	0 SF
PR. IMPERVIOUS	5,403 S.F.
NEW INCREASE IN IMPERVIOUS	WATCHUNG SILT LOAM, 0-3% SLOPES
TARGET RCN	WATCHUNG SILT LOAM, 3-8% SLOPES
TARGET Pe	1.00'
ESDv REQUIRED	565 C.F.
ESDv PROVIDED	650 C.F.

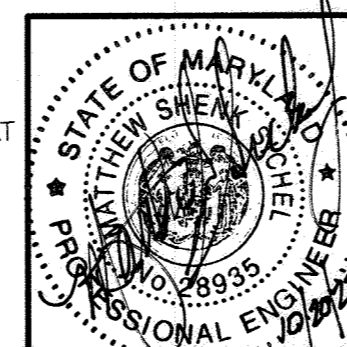


**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

*Chad...*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 10-27-22

*...*  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 10-27-22

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28935 EXPIRATION DATE: 01/15/2023 EMAIL: MATTHEW.SICHEL@KCI.COM



**KCI TECHNOLOGIES**  
 ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS  
 936 RIDGEBROOK ROAD  
 SPARKS, MARYLAND 21152  
 TELEPHONE: (410) 316-7800  
 FAX: (410) 316-7818

NO.	DATE	DESCRIPTION	BY

**WILLIAM & MATTREY VERDECCHIA**  
 PROPERTY ECP  
 10080 REED LANE  
 ELLICOTT CITY, MD 21042

DESIGNED BY: FFW  
 DRAWN BY: JDL

DATE: 10/19/2022  
 SCALE: 1"=40'

ZONING: R-20 TAX MAP: 17 GRID: 20 PARCEL: 0174 ELECTION DIST: 4-05

DRAWING NO: **ZhoRL1**  
 SHEET 1 OF 1  
 KCI JOB NUMBER: 271803754.96  
 ECP-22-038