

- EXISTING LEGEND**
- EXISTING PROPERTY LINE
 - - - EXISTING EASEMENT
 - - - EXISTING SETBACK
 - ▭ EXISTING BUILDING
 - 210 EXISTING MAJOR CONTOUR
 - 209 EXISTING MINOR CONTOUR
 - EXISTING CURB
 - EXISTING CURB & GUTTER
 - EXISTING ROADWAY
 - EXISTING PAVEMENT
 - ▭ EXISTING ASPHALT PAVING
 - ▭ EXISTING CONCRETE PAVING
 - ▭ EXISTING GRAVEL
 - ✕ EXISTING FENCELINE
 - EXISTING SIGN
 - ⊕ EXISTING ELECTRIC HANDBOX
 - ⊕ EXISTING ELECTRIC MANHOLE
 - O— EXISTING OVERHEAD ELECTRIC
 - U— EXISTING UNDERGROUND ELECTRIC
 - COND— EXISTING UNDERGROUND CONDUIT
 - UG— EXISTING DUCTBANK
 - FO— EXISTING FIBER OPTIC
 - G— EXISTING GAS LINE
 - GV#— EXISTING GAS VALVE
 - SS— EXISTING SANITARY LINE
 - ⊕ EXISTING SANITARY MANHOLE
 - EXISTING SANITARY CLEANOUT
 - ⊕ EXISTING STORMDRAIN LINE
 - ⊕ EXISTING STORMDRAIN INLET
 - ⊕ EXISTING STORMDRAIN MANHOLE
 - UGT— EXISTING TELEPHONE
 - ⊕ EXISTING TELEPHONE MANHOLE
 - ⊕ EXISTING TELEPHONE PEDESTAL
 - ⊕ EXISTING UTILITY POLE
 - ⊕ EXISTING LIGHT POLE
 - W— EXISTING WATER LINE
 - WM— EXISTING WATER METER
 - WV— EXISTING WATER VALVE
 - ⊕ EXISTING WATER MANHOLE
 - ⊕ EXISTING FIRE HYDRANT
 - S— EXISTING STREAM/WATERBODY
 - EXISTING STREAM BUFFER
 - EXISTING WETLAND
 - EXISTING WETLAND BUFFER
 - ▭ EXISTING WETLANDS HATCH
 - ▭ EXISTING FLOODPLAIN
 - EXISTING SOILS
 - EXISTING TREELINE
 - ⊕ EXISTING DECIDUOUS TREE
 - ⊕ EXISTING EVERGREEN TREE
 - ⊕ EXISTING SHRUB
 - ▭ EXISTING FOREST EASEMENT
 - ▭ STEEP SLOPES: 15%-20%
 - ▭ STEEP SLOPES: 20%+

APPROVED:
DEPARTMENT OF PLANNING AND ZONING
[Signature]
3-18-20
DATE
3/10/2020
DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

EXISTING SITE PLAN
SCALE: 1"=40'
GRAPHIC SCALE IN FEET

MCA ARCHITECTURE

Marshall Craft Associates, Inc.
2031 Clipper Park Road, Suite 105
Baltimore, Maryland 21211
410.532.3131 | www.mca.design

CIVIL ENGINEERING
CARROLL ENGINEERING, INC.
215 SCHILLING CIR., SUITE 102
HUNT VALLEY, MD 21031
410.785.7423

LANDSCAPE DESIGN
SITE RESOURCES, INC.
14315 JARRETTSVILLE PIKE
PHOENIX, MD 21131
410.883.3388

STRUCTURAL ENGINEERING
CARROLL ENGINEERING, INC.
215 SCHILLING CIR., SUITE 102
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410.785.7423

MEP ENGINEERING
LEACH WALLACE ASSOC., INC.
6522 MEADOWRIDGE RD #1
ELK RIDGE, MD 21075
410.579.8100

SEAL: **NOT FOR CONSTRUCTION**

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 14446 EXP. DATE: 5-25-21

SHEPPARD PRATT HEALTH SYSTEM
MEDICAL OFFICE BUILDING
6550 MEADOWRIDGE ROAD
ELK RIDGE, MARYLAND 21075
HOWARD COUNTY

ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
MEDICAL OFFICE BUILDING	6550 MEADOWRIDGE ROAD (DISCOVERY DRIVE)

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
CORRIDOR 95 BUSINESS PARK	N/A	N/A
PLAT OR L/F	GRID# ZONING TAX ELEC	GENSUS TRACT
22384/22385	0023 M-1 0007	6012.03

OWNER/DEVELOPER
SHEPPARD PRATT HEALTH SYSTEM INC.
6501 N CHARLES STREET
BALTIMORE, MARYLAND 21285-6815
TEL: 410-938-3242

REVISIONS:	DATE:	COMMENTS:

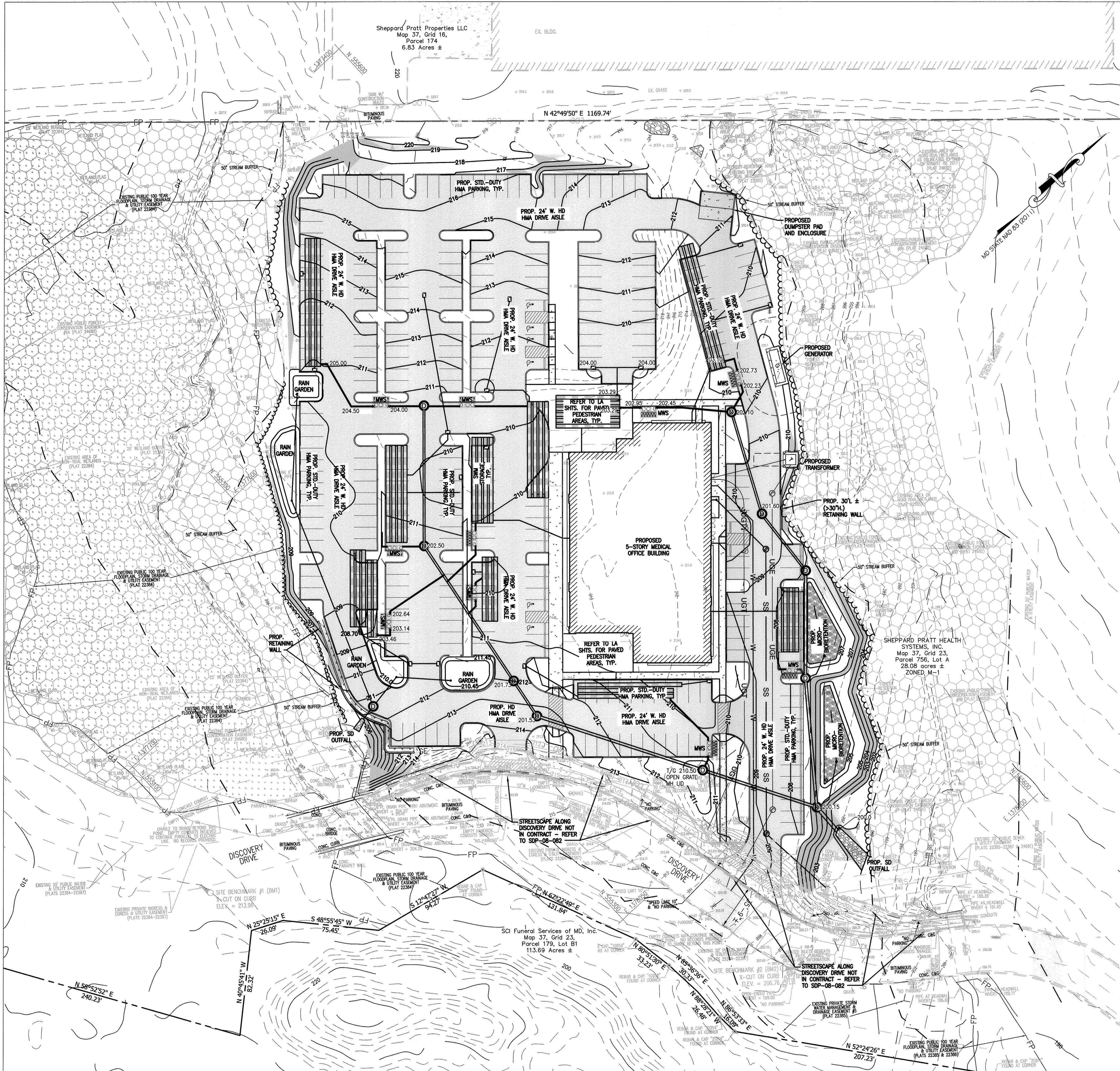
MCA JOB NO:	PROJECT/MANAGER:	SHEET BY:
19002.01	DWM	DWM

SHEET SET AND SHEET ISSUE DATE: ECP 01/19/2020

EXISTING CONDITIONS PLAN

2

SHEET NO.



- EXISTING LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK
 - EXISTING BUILDING
 - 210--- EXISTING MAJOR CONTOUR
 - 209--- EXISTING MINOR CONTOUR
 - EXISTING CURB
 - EXISTING CURB & GUTTER
 - EXISTING ROADWAY
 - EXISTING PAVEMENT
 - EXISTING ASPHALT PAVING
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 - EXISTING WATER VALVE
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 - EXISTING STREAM/WATERBODY
 - EXISTING STREAM BUFFER
 - EXISTING WETLAND
 - EXISTING WETLAND BUFFER
 - EXISTING WETLANDS HATCH
 - EXISTING FLOODPLAIN
- PROPOSED LEGEND**
- 210--- PROPOSED BUILDING
 - 210--- PROPOSED MAJOR CONTOUR
 - 207.40--- PROPOSED SPOT ELEVATION
 - PROPOSED CURB
 - PROPOSED CURB & GUTTER
 - PROPOSED ROADWAY
 - PROPOSED SIDEWALK
 - PROPOSED CONCRETE WALK
 - PROPOSED CONCRETE DRIVE
 - PROPOSED ASPHALT PAVING
 - PROPOSED MICRO-BIORETENTION AREA
 - PROPOSED ELECTRIC MANHOLE
 - EXISTING UNDERGROUND ELECTRIC
 - PROPOSED GAS LINE
 - PROPOSED GAS VALVE
 - PROPOSED SANITARY LINE
 - PROPOSED SANITARY MANHOLE
 - PROPOSED STORMDRAIN LINE
 - PROPOSED STORMDRAIN INLET
 - PROPOSED STORMDRAIN MANHOLE
 - PROPOSED TELEPHONE
 - PROPOSED WATER LINE
 - PROPOSED BIOCLEAN MODULAR WETLANDS SYSTEM (SWM)
 - PROPOSED TREELINE
 - PROPOSED STEEP SLOPES 15-20%
 - PROPOSED STEEP SLOPES 20%<

HYDROLOGIC SOIL GROUPS		
SYMBOL	DESCRIPTION	HSG
AwB	Alloway Silt Loam	D
ChB	Chillum-Russett Loams	C
FaaA	Fallsington Sandy Loams	C/D
LeC	Legore Silt Loam	C

APPROVED:
DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 3/12/20
3/10/2020
CHIEF, DIVISION OF LAND DEVELOPMENT

ENVIRONMENTAL CONCEPT PLAN
SCALE: 1"=40'
GRAPHIC SCALE IN FEET
0 20 40 80

HOWARD COUNTY REFERENCE DRAWINGS:
WATER: CONTRACT 14-4576-D
SEWER: CONTRACT 14-4576-D
F-18-106
F-10-013
SDP-08-082
SDP-18-033
ECP-18-018

MCA ARCHITECTURE

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MEP ENGINEERING
LEACH WALLACE ASSOC. INC.
6522 MEADOWRIDGE RD #1
ELKRIDGE, MD 21075
410.579.8100

NOT FOR CONSTRUCTION

STATE OF MARYLAND
JUDITH A. CARROLL
REGISTERED PROFESSIONAL ENGINEER
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 14446 EXP. DATE: 5-25-21

Sheppard Pratt HEALTH SYSTEM

SHEPPARD PRATT HEALTH SYSTEM
MEDICAL OFFICE BUILDING
6550 MEADOWRIDGE ROAD
ELKRIDGE, MARYLAND 21075
HOWARD COUNTY

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
MEDICAL OFFICE BUILDING	6550 MEADOWRIDGE ROAD (DISCOVERY DRIVE)

SUBDIVISION NAME: CORRIDOR 95 BUSINESS PARK
SECTION/AREA: N/A
LOT/PARCEL NO.: 4705
PLAT/ OR L/T: 22384/22385
GRID: 0203
ZONING: M-1
TAX MAP# 0207
ELECT DIST# 6012.03
GENUS TRACT 6012.03

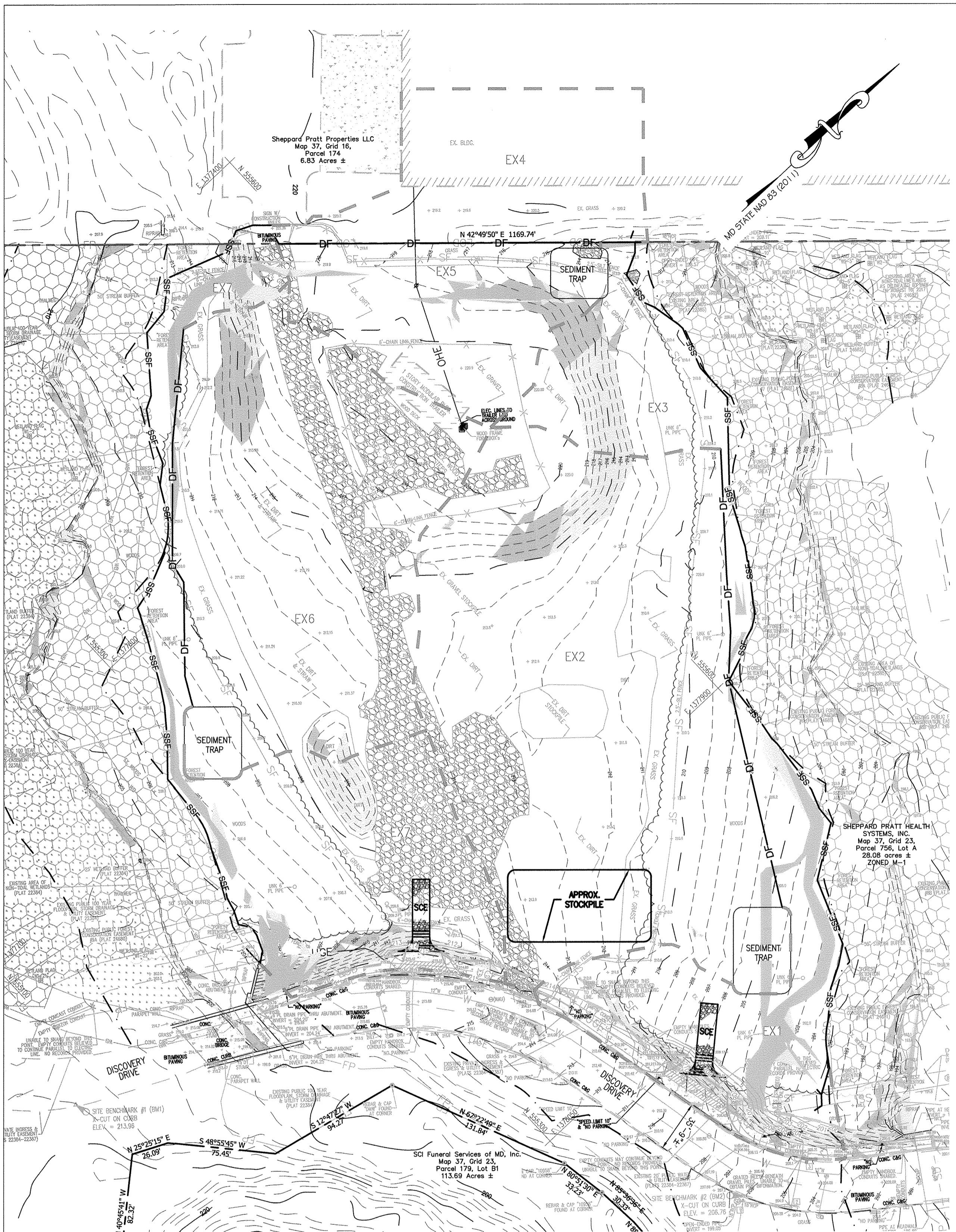
OWNER/DEVELOPER
SHEPPARD PRATT HEALTH SYSTEM INC.
6501 N CHARLES STREET
BALTIMORE, MARYLAND 21285-6815
TEL: 410-938-3242

REVISIONS:

DATE	COMMENTS

MCA JOB NO: 19002.01
PROJ MANAGER: DVM
SHEET BY: DVM
SHEET SET AND SHEET ISSUE DATE: ECP 01/19/2020

ENVIRONMENTAL CONCEPT PLAN
SHEET NO. 3

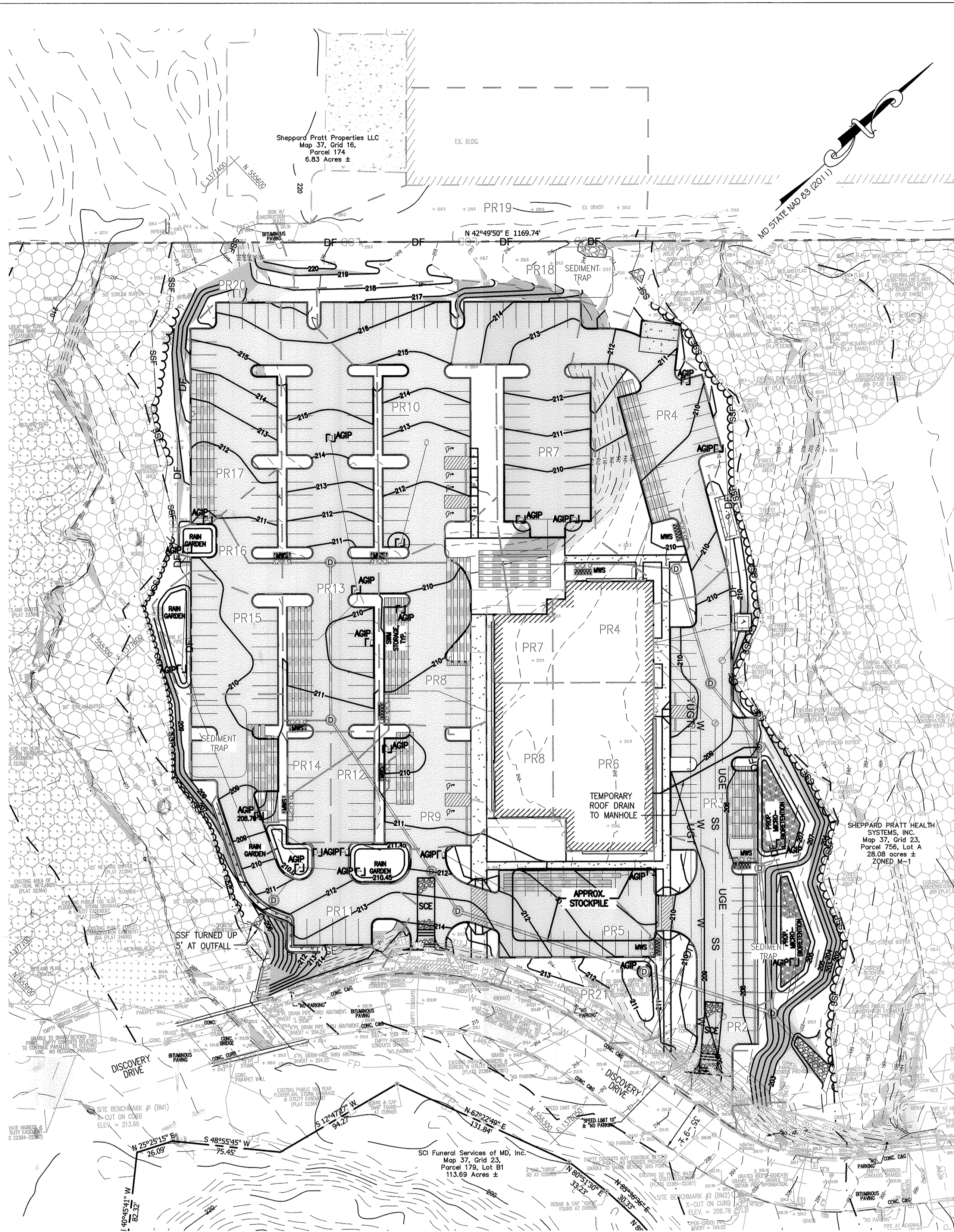


EXISTING EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=50'
GRAPHIC SCALE IN FEET

EXISTING DRAINAGE AREA TABLE		
DA	AREA (SF/ACRES)	ESC DEVICE
EX1	24237/0.56	SUPER SILT FENCE
EX2	75823/1.74	DIVERSION FENCE & SEDIMENT TRAP
EX3	14189/0.33	SUPER SILT FENCE
EX4	20190/0.46	DIVERSION FENCE
EX5	19298/0.44	SEDIMENT TRAP
EX6	51827/1.19	DIVERSION FENCE & SEDIMENT TRAP
EX7	27707/0.64	SUPER SILT FENCE

APPROVED:
DEPARTMENT OF PLANNING AND ZONING
David Edwards
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 3/2/20
3/2/2020
CHIEF, DIVISION OF LAND DEVELOPMENT



PROPOSED EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=50'
GRAPHIC SCALE IN FEET

PROPOSED DRAINAGE AREA TABLE		
DA	AREA (SF/ACRES)	ESC DEVICE
PR2	15071.74/0.35	AGIP
PR3	13402.56/0.31	AGIP
PR4	19945.65/0.46	AGIP
PR5	15378.42/0.35	AGIP
PR6	6775.11/0.16	TEMPORARILY DRAINS TO PR3
PR7	19125.32/0.44	AGIP
PR8	15347.66/0.35	AGIP
PR9	6777.83/0.16	AGIP
PR10	15017.68/0.35	AGIP
PR11	11893.52/0.27	AGIP

PROPOSED DRAINAGE AREA TABLE		
DA	AREA (SF/ACRES)	ESC DEVICE
PR12	3484.72/0.08	AGIP
PR13	18742.64/0.43	AGIP
PR14	3256.33/0.07	AGIP
PR15	6230.48/0.14	SUPER SILT FENCE & AGIP
PR16	3967.54/0.09	SUPER SILT FENCE & AGIP
PR17	8611.70/0.20	AGIP
PR18	22639.85/0.52	SUPER SILT FENCE
PR19	20147.64/0.46	DIVERSION FENCE
PR20	11895.49/0.27	SUPER SILT FENCE
PR21	5262.74/0.12	AGIP

- EXISTING LEGEND**
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 - EXISTING PAVEMENT
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 - EXISTING CONCRETE PAVING
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 - EXISTING SIGN
 - EXISTING STREAM/WATERBODY
 - EXISTING STREAM BUFFER
 - EXISTING WETLAND
 - WB EXISTING WETLAND BUFFER
 - EXISTING WETLANDS HATCH
 - EXISTING FLOODPLAIN
 - EXISTING TREELINE
 - EXISTING DECIDUOUS TREE
 - EXISTING EVERGREEN TREE
 - EXISTING SHRUB
 - EXISTING FOREST EASEMENT
 - STEEP SLOPES: 15%-20%
 - STEEP SLOPES: 20%+
- PROPOSED LEGEND**
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 - 210 PROPOSED MAJOR CONTOUR
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 - PROPOSED STORMDRAIN INLET
 - PROPOSED STORMDRAIN MANHOLE
 - PROPOSED TELEPHONE
 - PROPOSED WATER LINE
 - PROPOSED BIOCLEAN MODULAR WETLANDS SYSTEM (SWM)
 - PROPOSED TREELINE
 - PROPOSED STEEP SLOPES 15-20%
 - PROPOSED STEEP SLOPES 20%<
- ESC LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - LIMIT OF DISTURBANCE
 - DIVERSION FENCE
 - SSF SUPER SILT FENCE
 - AT-GRADE INLET PROTECTION
 - DRAINAGE AREA DELINEATION

MCA ARCHITECTURE

Marshall Craft Associates, Inc.
2031 Clipper Park Road, Suite 105
Baltimore, Maryland 21211
410.532.3131 | www.mca.design

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LANDSCAPE DESIGN
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410.785.7423

MEP ENGINEERING
LEACH WALLACE ASSOC., INC.
6522 MEADOWBRIDGE RD #1
ELK RIDGE, MD 21075
410.578.8100

NOT FOR CONSTRUCTION

STATE OF MARYLAND
JUDITH A. CARROLL
REGISTERED PROFESSIONAL ENGINEER
LICENSE No.: 14446 EXP. DATE: 5-25-21

Sheppard Pratt
HEALTH SYSTEM

MEDICAL OFFICE BUILDING

6650 MEADOWBRIDGE ROAD
ELK RIDGE, MARYLAND 21075
HOWARD COUNTY

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
MEDICAL OFFICE BUILDING	6550 MEADOWBRIDGE ROAD (DISCOVERY DRIVE)

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
CORRIDOR 95 BUSINESS PARK	N/A	A/256
PLAT OR L/F	GRID #	ZONING
22384/22385	0023	M-1
	0037	1st ED.
		6012.03

OWNER/DEVELOPER
SHEPPARD PRATT HEALTH SYSTEM INC.
6501 N CHARLES STREET
BALTIMORE, MARYLAND 21285-6815
TEL: 410-938-3242

REVISIONS:

DATE	COMMENTS

MCA JOB NO.: 19002.01
PROJ.MANAGER: DWMM
SHEET BY: DWMM
SHEET SET AND SHEET ISSUE DATE: 01/19/2020
ECP

SHEET NAME: **ECP EROSION & SEDIMENT CONTROL DA PLANS**

SHEET NO. **4**



- EXISTING LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK
 - EXISTING BUILDING
 - 210 EXISTING MAJOR CONTOUR
 - 209 EXISTING MINOR CONTOUR
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 - EXISTING UNDERGROUND CONDUIT
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 - EXISTING FIBER OPTIC
 - EXISTING GAS LINE
 - EXISTING GAS VALVE
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 - EXISTING SANITARY CLEANOUT
 - EXISTING STORMDRAIN LINE
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 - EXISTING STORMDRAIN MANHOLE
 - EXISTING TELEPHONE
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 - EXISTING STREAM BUFFER
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 - EXISTING FLOODPLAIN
- PROPOSED LEGEND**
- 210 PROPOSED MAJOR CONTOUR
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 - PROPOSED BIOCLEAN MODULAR WETLANDS SYSTEM (SWM)
 - PROPOSED TREELINE
 - PROPOSED STEEP SLOPES 15-20%
 - PROPOSED STEEP SLOPES 20%<

ESD/BMP TREATMENT SUMMARY			
MBR1, MICROBIORETENTION #1	DRAINAGE AREA = 15072 S.F.		
	IMP. AREA TREATED = 93278 S.F.	ESDv PROVIDED = 1303 c.f. (Req. = 1034 c.f.)	Rev PROVIDED = 512 c.f. (Req. 54 c.f.)
MBR2, MICROBIORETENTION #2	DRAINAGE AREA = 13403 S.F.		
	IMP. AREA TREATED = 10012 S.F.	ESDv PROVIDED = 1265 c.f. (Req. = 1101 c.f.)	Rev PROVIDED = 429 c.f. (Req. 57 c.f.)
MWS1, MODULAR WETLANDS SYSTEM #1	DRAINAGE AREA = 15304 S.F.		
	IMP. AREA TREATED = 13719 S.F.	ESDv PROVIDED = 2115 c.f. (Req. = 1481 c.f.)	Rev PROVIDED = 0 c.f. (Req. 77 c.f.)
MWS2, MODULAR WETLANDS SYSTEM #2	DRAINAGE AREA = 15682 S.F.		
	IMP. AREA TREATED = 12632 S.F.	ESDv PROVIDED = 1586 c.f. (Req. = 1489 c.f.)	Rev PROVIDED = 0 c.f. (Req. 77 c.f.)
MWS3, MODULAR WETLANDS SYSTEM #3	DRAINAGE AREA = 6775 S.F.		
	IMP. AREA TREATED = 6775 S.F.	ESDv PROVIDED = 1410 c.f. (Req. = 805 c.f.)	Rev PROVIDED = 0 c.f. (Req. 38 c.f.)
MWS4, MODULAR WETLANDS SYSTEM #4	DRAINAGE AREA = 15375 S.F.		
	IMP. AREA TREATED = 13955 S.F.	ESDv PROVIDED = 2115 c.f. (Req. = 1839 c.f.)	Rev PROVIDED = 0 c.f. (Req. 145 c.f.)
MWS5, MODULAR WETLANDS SYSTEM #5	DRAINAGE AREA = 19125 S.F.		
	IMP. AREA TREATED = 15461 S.F.	ESDv PROVIDED = 2115 c.f. (Req. = 1865 c.f.)	Rev PROVIDED = 0 c.f. (Req. 162 c.f.)
MWS6, MODULAR WETLANDS SYSTEM #6	DRAINAGE AREA = 6778 S.F.		
	IMP. AREA TREATED = 5630 S.F.	ESDv PROVIDED = 1058 c.f. (Req. = 678 c.f.)	Rev PROVIDED = 0 c.f. (Req. 59 c.f.)
MWS7, MODULAR WETLANDS SYSTEM #7	DRAINAGE AREA = 15018 S.F.		
	IMP. AREA TREATED = 11108 S.F.	ESDv PROVIDED = 1410 c.f. (Req. = 1352 c.f.)	Rev PROVIDED = 0 c.f. (Req. 117 c.f.)
MWS8, MODULAR WETLANDS SYSTEM #8	DRAINAGE AREA = 11894 S.F.		
	IMP. AREA TREATED = 10500 S.F.	ESDv PROVIDED = 1410 c.f. (Req. = 1264 c.f.)	Rev PROVIDED = 0 c.f. (Req. 110 c.f.)
MWS9, MODULAR WETLANDS SYSTEM #9	DRAINAGE AREA = 18753 S.F.		
	IMP. AREA TREATED = 15714 S.F.	ESDv PROVIDED = 2115 c.f. (Req. = 1899 c.f.)	Rev PROVIDED = 0 c.f. (Req. 165 c.f.)
MWS10, MODULAR WETLANDS SYSTEM #10	DRAINAGE AREA = 8612 S.F.		
	IMP. AREA TREATED = 7983 S.F.	ESDv PROVIDED = 1059 c.f. (Req. = 1054 c.f.)	Rev PROVIDED = 0 c.f. (Req. 83 c.f.)
RAIN GARDEN #1	DRAINAGE AREA = 3485 S.F.		
	IMP. AREA TREATED = 2287 S.F.	ESDv PROVIDED = 813 c.f. (Req. 340 c.f.)	Rev PROVIDED = 366 c.f. (Req. 13 c.f.)
RAIN GARDEN #2	DRAINAGE AREA = 3256 S.F.		
	IMP. AREA TREATED = 2270 S.F.	ESDv PROVIDED = 639 c.f. (Req. 332 c.f.)	Rev PROVIDED = 279 c.f. (Req. 13 c.f.)
RAIN GARDEN #3	DRAINAGE AREA = 6230 S.F.		
	IMP. AREA TREATED = 4404 S.F.	ESDv PROVIDED = 970 c.f. (Req. 716 c.f.)	Rev PROVIDED = 427 c.f. (Req. 25 c.f.)
RAIN GARDEN #4	DRAINAGE AREA = 3968 S.F.		
	IMP. AREA TREATED = 3108 S.F.	ESDv PROVIDED = 452 c.f. (Req. 452 c.f.)	Rev PROVIDED = 197 c.f. (Req. 18 c.f.)

APPROVED:
 DEPARTMENT OF PLANNING AND ZONING
 3-12-20
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE
 3/10/2020
 CHIEF, DIVISION OF LAND DEVELOPMENT

ENVIRONMENTAL CONCEPT STORMWATER MANAGEMENT PLAN
 SCALE: 1"=40'
 0 20 40 80
 GRAPHIC SCALE IN FEET

MCA ARCHITECTURE.
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 6522 MEADOWRIDGE RD #1
 ELK RIDGE, MD 21075
 410.579.8100

NOT FOR CONSTRUCTION

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 LICENSE No.: 14446 EXP. DATE: 5-25-21

Sheppard Pratt
 HEALTH SYSTEM

SHEPPARD PRATT HEALTH SYSTEM
MEDICAL OFFICE BUILDING
 6550 MEADOWRIDGE ROAD
 ELK RIDGE, MARYLAND 21075
 HOWARD COUNTY

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
MEDICAL OFFICE BUILDING	6550 MEADOWRIDGE ROAD (DISCOVERY DRIVE)

SUBMISSION NAME	SECTION/AREA	LOT/PARCEL NO.
CORRIDOR 95 BUSINESS PARK	N/A	A-0206
PLAT OR L/P	GRID#	ZONING
22384/22385	0223	M-1
	DEER	ELECT
	0037	HH ED.
		6012.03

OWNER/DEVELOPER
 SHEPPARD PRATT HEALTH SYSTEM INC.
 6501 N CHARLES STREET
 BALTIMORE, MARYLAND 21285-6815
 TEL: 410-938-3242

REVISIONS:

DATE:	COMMENTS:

MCA JOB NO.: 19002.01
 SHEET SET AND SHEET ISSUE DATE: ECP 01/19/2020

PROJ. MANAGER: SHEET BY:
 DWMM DWMM

ECP STORMWATER MANAGEMENT PLAN

SHEET NO. **5**

ECP-20-015