

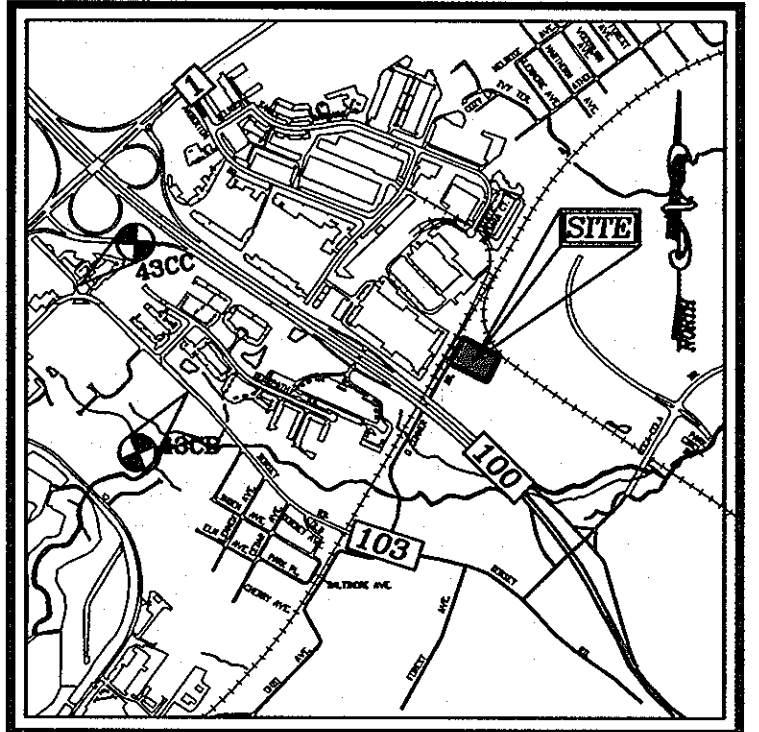
GENERAL NOTES

1. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
2. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN TOPOGRAPHIC SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED DECEMBER 14, 2011. OFFSITE TOPOGRAPHY FROM HOWARD COUNTY GIS.
3. THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED DECEMBER 27, 2011.
4. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 43CB AND 43CC WERE USED FOR THIS PROJECT.
5. THE SUBJECT PROPERTY IS ZONED "M-2" IN ACCORDANCE WITH THE 2/2/04 COMPREHENSIVE ZONING PLAN AND THE COMP. LITE ZONING REGULATIONS EFFECTIVE 7/28/06.
6. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
7. WATER FOR THIS PROJECT IS A PUBLIC EXTENSIONS OF CONTRACT NO. 44-1490.
8. SEWER FOR THIS PROJECT IS A PUBLIC EXTENSIONS OF CONTRACT NO. 10-1907.
9. EXISTING UTILITIES LOCATED FROM HOWARD COUNTY GIS, TOPOGRAPHIC SURVEY AND AS-BUILT DRAWINGS. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
10. NO FLOODPLAIN IS LOCATED ONSITE.
11. NO STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE LOCATED ONSITE.
12. FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT SHALL BE ADDRESSED BY A FOREST CONSERVATION PLAN SUBMITTED WITH A SUBDIVISION OR SITE DEVELOPMENT PLAN.
13. THERE ARE NO WETLANDS OR STREAMS ONSITE.
14. GEOTECHNICAL INVESTIGATIONS, AS REQUIRED, SHALL COMPLETED AS PART OF THE SITE DEVELOPMENT PLAN PACKAGE.
15. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
16. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. MICRO-SCALE PRACTICES INCLUDE MICRO-BIORETENTION, BIO-SWALES, AN INFILTRATION TRENCH AND DRY WELLS. THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
17. APPROVAL OF THIS ENVIRONMENTAL CONCEPT PLAN (ECP) DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR RED-LINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR RED-LINE REVISION PROCESS. THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS (INCLUDING COMMENTS THAT MAY ALTER THE OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.

ENVIRONMENTAL CONCEPT PLAN

AMERICAN PAVING FABRICS
 # 6910 O CONNER DRIVE
 L. 4724 / F. 102
 1 ST ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 4
LAYOUT PLAN	2 OF 4
GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN	3 OF 4
SWM NOTES AND DETAILS	4 OF 4



VICINITY MAP
 SCALE: 1"=2000'
 ADC MAP COORDINATE: PG. 5055 A1

BENCHMARKS
 HOWARD COUNTY BENCHMARK - 43CB (CONC. MONUMENT)
 N 552084.2453 E 1382282.4118 ELEV. 144.401
 LOCATION: RT 103 - DORSEY ROAD 700 FEET WEST OF MAGNOLIA AVENUE, 46.7 FEET EAST OF C&P POLE # 19
 HOWARD COUNTY BENCHMARK - 43CC (CONC. MONUMENT)
 N 553201.4676 E 1381152.8123 ELEV. 163.666
 LOCATION: RT 103 - DORSEY ROAD EAST OF BINDER LANE, 56.6 FEET EAST OF B&R POLE 132777

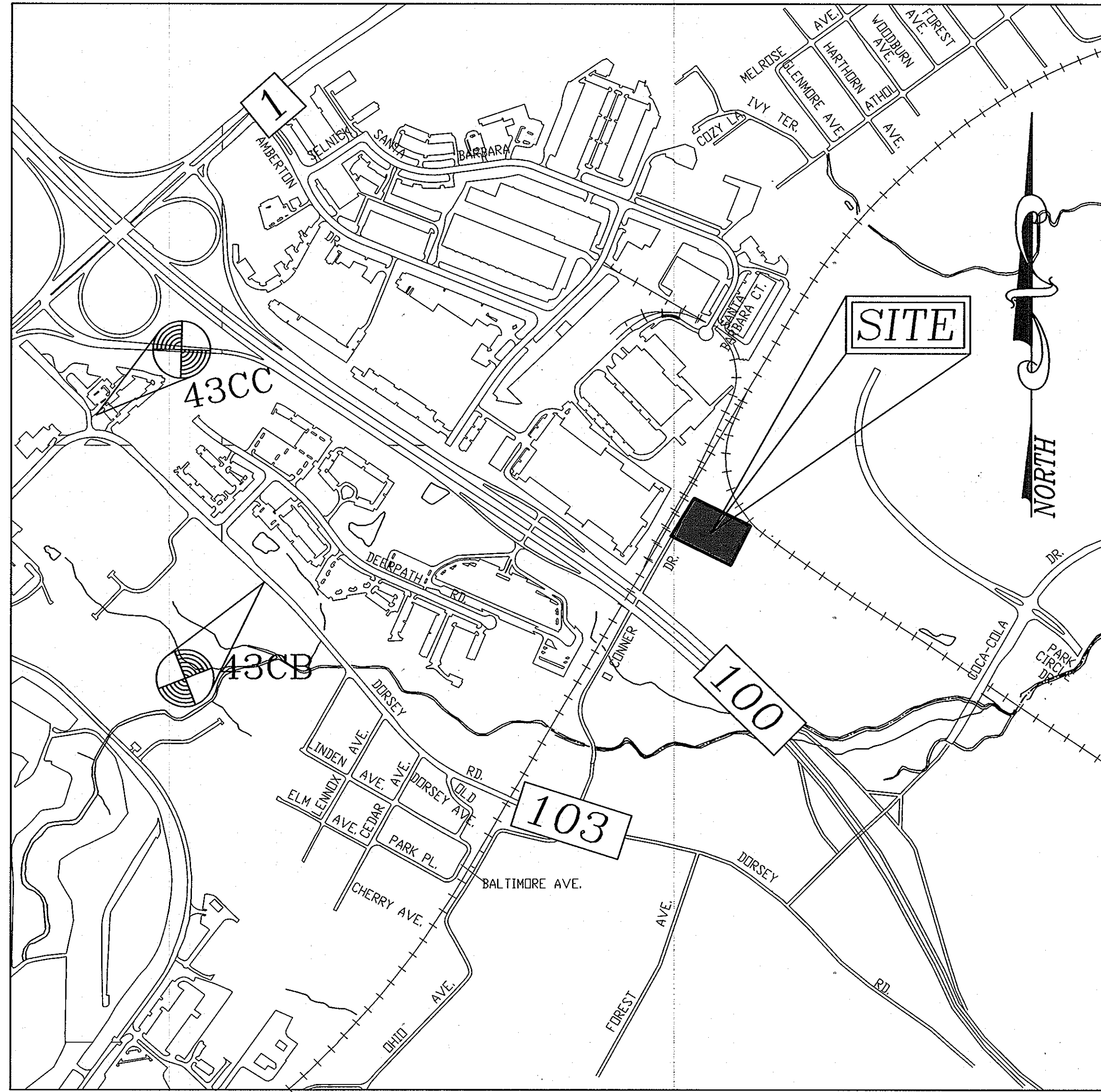
LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	CENTERLINE OF EXISTING STREAM

NOTE
 THIS PLAN BEGINS THE PERMIT PROCESS IN AN EFFORT TO COMPLY WITH THE REQUIREMENTS OF HOWARD COUNTY DEPARTMENT OF INSPECTIONS LICENSING & PERMITS (DILP) CIVIL CITATION NUMBERS:
 1233132184: FAILURE TO OBTAIN REQUIRED PERMITS AND INSPECTIONS FOR CONSTRUCTION OF A BUILDING AT 6910 O'CONNOR DRIVE
 2233131674: NOT OBTAIN THE REQUIRED PERMITS AND INSPECTIONS ACCORDING TO IBC SECTION 105.110
 6233129872: INSTALLED PLUMBING WITHOUT PERMITS OR INSPECTIONS INCLUDED BUT NOT LIMITED TO BATHROOMS AND SANITARY SEWER

ENVIRONMENTAL SITE DESIGN NARRATIVE:

- IN ACCORDANCE WITH CHECKLIST ITEM III.K.
1. THERE ARE NO NATURAL AREAS ON THE PROJECT SITE. NO DISTURBANCE TO A STREAM OR WETLAND OR THEIR WOODED RESOURCES IS PROPOSED.
 2. NO DRAMATIC DISTURBANCE TO THE NATURAL DRAINAGE PATTERNS ARE PROPOSED, PLEASE REFER TO THE PROPOSED GRADING, SHEET 2 & 3.
 3. THE CONCEPTUAL DESIGN SHOWN HEREON PROVIDES THE "REDUCTION IN IMPERVIOUS AREA THROUGH BETTER SITE DESIGN, ALTERNATIVE SURFACES AND NON-STRUCTURAL PRACTICES" TO THE EXTENT PRACTICABLE. THE SITE DESIGN INCORPORATES THE USE OF ALTERNATIVE SURFACES IN PERIMETER PARKING AREAS. OTHER PRACTICES, THOUGH NOT NON-STRUCTURAL INCLUDE THE USE OF MICRO-SCALE PRACTICES (MICRO-BIORETENTION, BIO-SWALES, DRY WELLS AND RAIN BARRELS) TO ACHIEVE THE REQUIRED ESDV.
 EXISTING IMPERVIOUS AREAS (GRAVEL) SHALL BE CONVERTED TO THE PROPOSED "GREEN" AREAS.
 4. SEDIMENT CONTROL FOR THIS SPECIFIC SITE PLAN WILL BE PROVIDED THROUGH THE USE A PROPOSED SILT FENCE PERIMETER CONTROLS AROUND THE PROPOSED DISTURBED AREAS. SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH CURRENT REQUIREMENTS AND SHALL BE APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
 5. STORMWATER MANAGEMENT FOR THE PROJECT SHALL BE MET FOR THE REQUIRED P = 1.9" THROUGH THE USE OF MICRO-BIORETENTION FACILITIES, BIO-SWALES, ALTERNATIVE SURFACES, DRY WELLS AND RAIN GARDENS. THE RESULTS OF THE ENVIRONMENTAL SITE DESIGN FOR THIS PROJECT WILL REFLECT "WOODS IN GOOD CONDITION" TO THE MAXIMUM EXTENT PRACTICABLE.
- III.K.6.
 AT THIS CONCEPT STAGE OF DEVELOPMENT:
 - A ZONING VARIANCE FOR THE BUILDING NEAREST TO O CONNER DRIVE SHALL BE SUBMITTED UNDER THE FUTURE SITE PLAN STAGE.
 - NO WAIVER PETITIONS FOR ENVIRONMENTAL DISTURBANCE OR ENCROACHMENTS ARE REQUIRED.



LOCATION MAP
 SCALE: 1" = 600'

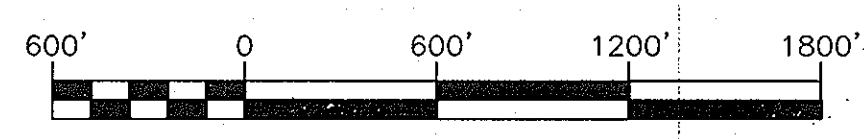
SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
F ₀	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D
RuB	RUSSETT AND BELTSVILLE SANDY SILT LOAM, 2 TO 5 PERCENT SLOPES	C

NOTE: BASED ON WEB SOIL SURVEY - HOWARD COUNTY

SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA:	127,500 S.F. OR 2.927 AC.
B. AREA OF PLAN SUBMISSION:	127,500 S.F. OR 2.927 AC.
C. AREA OF WETLANDS:	0 S.F. OR 0.00 AC.
D. AREA OF FLOODPLAIN:	0 S.F. OR 0.00 AC.
E. AREA OF FOREST:	0 S.F. OR 0.00 AC.
F. AREA OF STEEP SLOPES (15% & GREATER):	0 S.F. OR 0.00 AC.
G. ERODIBLE SOILS:	N/A
H. LIMIT OF DISTURBED AREA:	0.60 AC. (PROPOSED SWM IMPROVEMENTS)
I. PROPOSED USES FOR SITE AND STRUCTURES:	COMMERCIAL CONTRACTOR OFFICE & STORAGE YARD
J. GREEN OPEN AREA:	0.00 AC.
K. PROPOSED IMPERVIOUS AREA:	2.9 AC. (EXISTING GRAVEL AREAS ASSUMED IMPERVIOUS)
L. PRESENT ZONING DESIGNATION:	M-2
M. OPEN SPACE REQUIRED:	N/A
N. TOTAL NUMBER OF UNITS ALLOWED:	N/A
O. TOTAL NUMBER OF UNITS PROPOSED:	N/A
P. DPZ FILE REFERENCES:	SDP 88-70



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 6/8/12
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/8/12
 CHIEF, DIVISION OF LAND DEVELOPMENT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/ AREA	LOT/ PARCEL			
AMERICAN PAVING FABRICS		PARCEL 1			
PLAT REF.	BLOCK NO	ZONE	TAX MAP	ELECT DIST.	CENSUS TR.
N/A	1	M-2	44	1ST	XXXXXXXX

NO.	REVISION	DATE

ENVIRONMENTAL CONCEPT PLAN
 COVER SHEET
AMERICAN PAVING FABRICS
 # 6910 O CONNER DRIVE
 L. 4724 / F. 102

1ST ELECTION DISTRICT
 TAX MAP: 44 GRD: 1
 DPZ REF'S: SDP 88-70

ZONED: M-2
 PARCEL: 1
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-8961

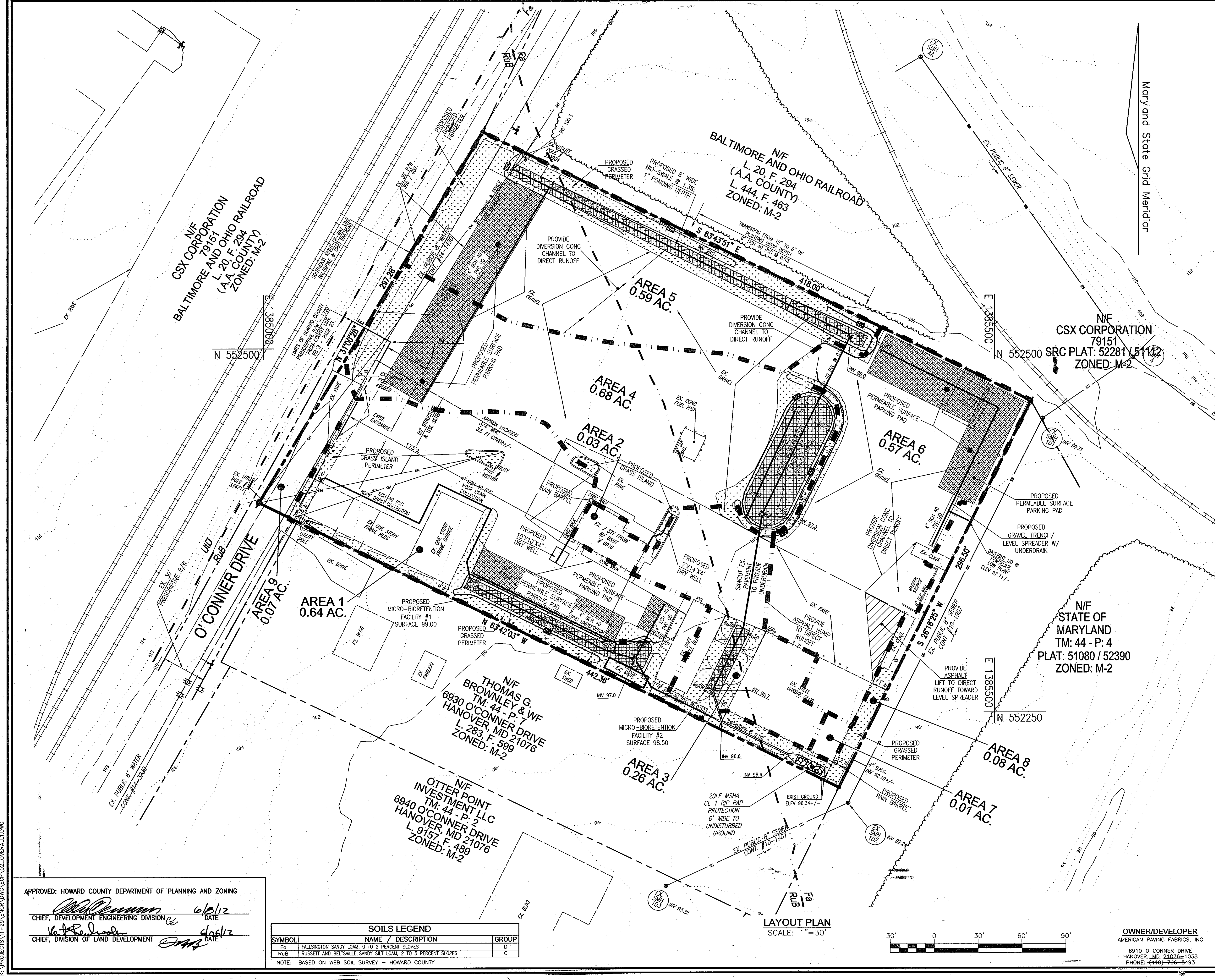
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
 EXPIRATION DATE: 09-27-2012

DESIGN BY: EDS
 DRAWN BY: EDS
 CHECKED BY: RHV
 DATE: APRIL 2012
 SCALE: AS SHOWN
 W.O. NO.: 11-29

OWNER/DEVELOPER
 AMERICAN PAVING FABRICS, INC.
 6910 O CONNER DRIVE
 HANOVER, MD 21076-1038
 PHONE: (410) 796-5493

1 SHEET OF 4

K:\PROJECTS\11-29 ENGR\DWG\ECPP\01 COVER.DWG



LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING MAILBOX
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING SANITARY LINE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED STORM DRAIN
[Symbol]	PROPOSED STORM DRAIN INLETS
[Symbol]	EXISTING TREELINE
[Symbol]	SOILS BOUNDARY
[Symbol]	FA
[Symbol]	RuB
[Symbol]	MICRO-BIORETENTION FACILITY
[Symbol]	DRY WELL
[Symbol]	PERMEABLE SURFACE PARKING PAD
[Symbol]	BIO SWALE
[Symbol]	DRAINAGE DIVIDE
[Symbol]	PROPOSED CONVERTED GRASSED / VEGETATED AREA

NO.	REVISION	DATE

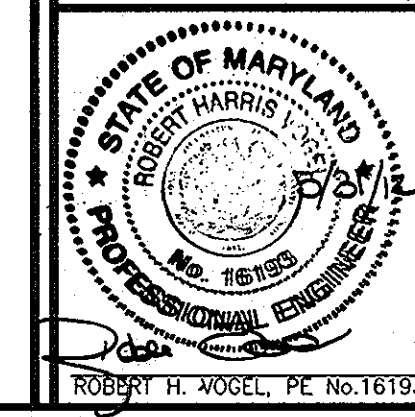
ENVIRONMENTAL CONCEPT PLAN
LAYOUT PLAN
AMERICAN PAVING FABRICS
 # 6910 O'CONNOR DRIVE
 L. 4724 / F. 102

1ST ELECTION DISTRICT
 TAX MAP: 44 GRID: 1
 DPZ REF'S: SDP 88-70

ROBERT H. VOGEL
ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: EDS.
 DRAWN BY: EDS.
 CHECKED BY: RHY.
 DATE: APRIL 2012
 SCALE: AS SHOWN
 W.O. NO.: 11-29

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED OR APPROVED BY ME, AND
 THAT I AM A DULY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE STATE
 OF MARYLAND, LICENSE NO. 16193
 EXPIRATION DATE: 09-27-2012



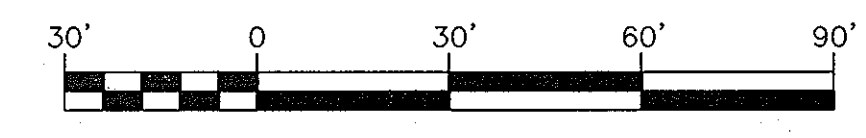
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT

SOILS LEGEND
 SCALE: 1"=30'

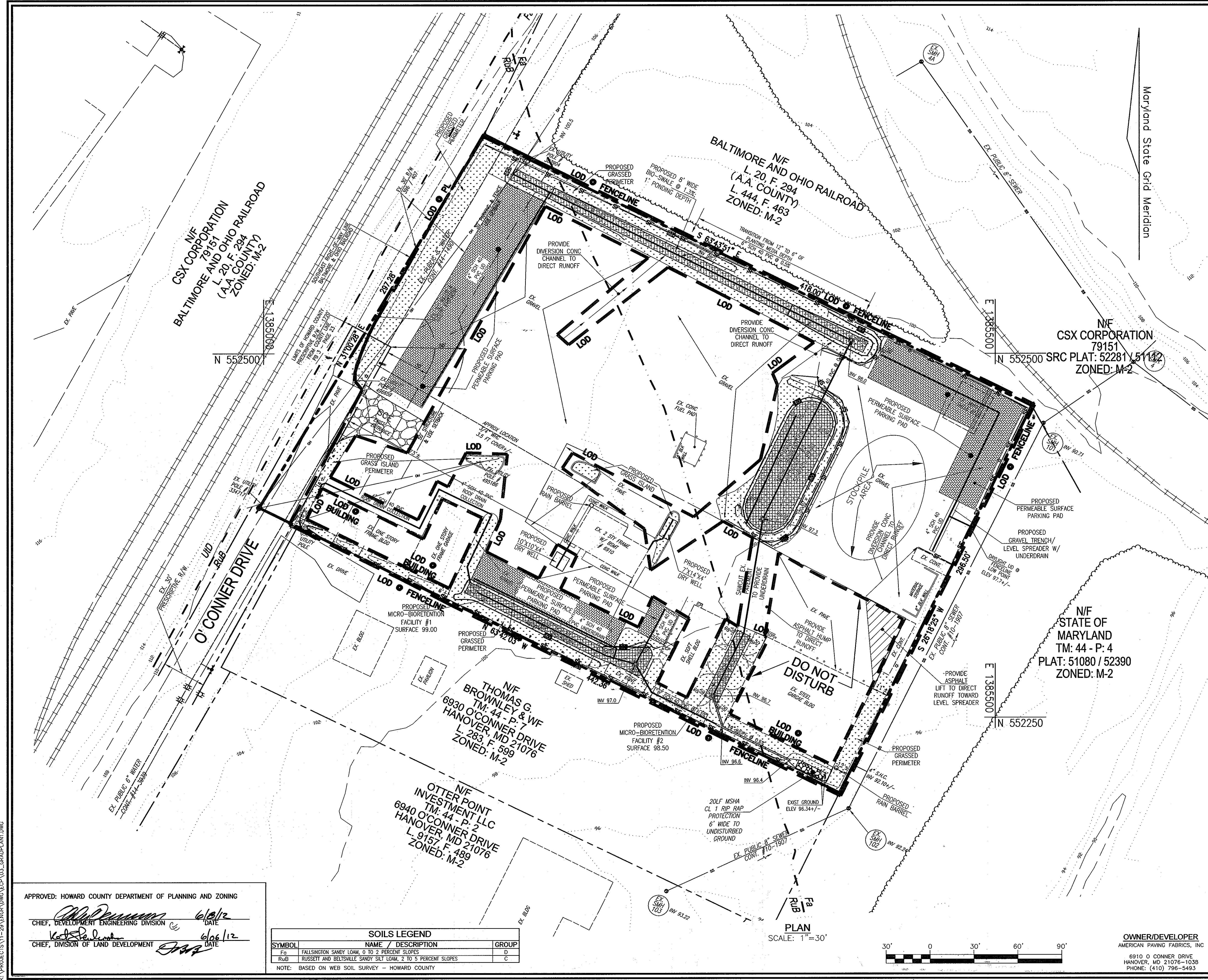
SYMBOL	NAME / DESCRIPTION	GROUP
Fa	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D
RuB	RUSSETT AND BELTSVILLE SANDY SILT LOAM, 2 TO 5 PERCENT SLOPES	C

NOTE: BASED ON WEB SOIL SURVEY - HOWARD COUNTY

LAYOUT PLAN
 SCALE: 1"=30'



OWNER/DEVELOPER
 AMERICAN PAVING FABRICS, INC.
 6910 O'CONNOR DRIVE
 HANOVER, MD 21076-1038
 PHONE: (440) 796-5493



LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY LINE
- - - -	ADJACENT PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING MAILBOX
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	PROPOSED STORM DRAIN
---	PROPOSED UNDERDRAIN
---	PROPOSED STORM DRAIN INLETS
---	EXISTING TREE LINE
---	SOILS BOUNDARY
---	MICRO-BIORETENTION FACILITY
---	PERMEABLE SURFACE
---	BIO-SWALE
---	SILT FENCE
---	LIMIT OF DISTURBANCE

NOTE:
APPROVAL OF THIS ECP PLAN BY THE HOWARD SOIL CONSERVATION DISTRICT (HSCD) DOES NOT GRANT APPROVAL OF THE SHOWN CONCEPTUAL SEDIMENT CONTROLS.

- SEQUENCE OF CONSTRUCTION**
1. OBTAIN GRADING PERMIT.
 2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
 3. INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON PLAN AND IN ACCORDANCE WITH DETAILS.
 4. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED.
 5. CONSTRUCT STORMWATER MANAGEMENT FEATURES AS SHOWN & DETAILED HEREON.
 6. UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES.

NOTES
DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.
FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLIED WITH:
A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

NO.	REVISION	DATE

**ENVIRONMENTAL CONCEPT PLAN
GRADING AND SOIL EROSION
& SEDIMENT CONTROL PLAN**

AMERICAN PAVING FABRICS
6910 O'CONNOR DRIVE
L. 4724 / F. 102

1ST ELECTION DISTRICT
TAX MAP: 44. ORID: 1
DPT. REF: SUP. 88-70

ZONED: M-2
PARCEL: 1
HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL
ENGINEERING, INC.**
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2012

DESIGN BY: EDS.
DRAWN BY: EDS.
CHECKED BY: RHY.
DATE: APRIL 2012
SCALE: AS SHOWN
W.O. NO.: 11-29

3 OF 4

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

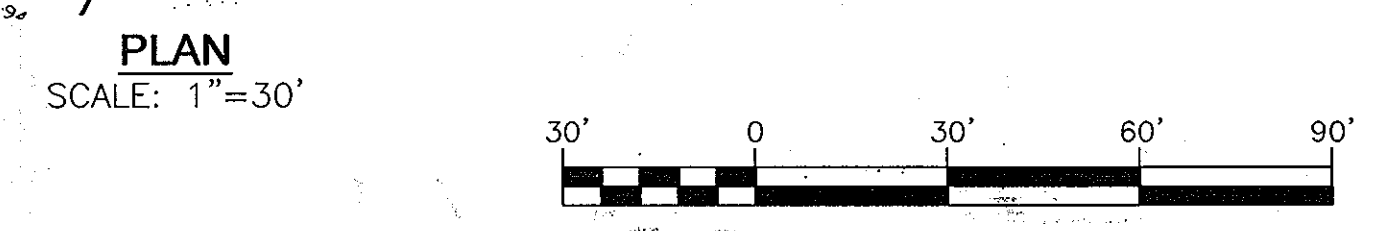
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

 CHIEF, DIVISION OF LAND DEVELOPMENT

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
Fa	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D
RuB	RUSSETT AND BELTSVILLE SANDY SILT LOAM, 2 TO 5 PERCENT SLOPES	C

NOTE: BASED ON WEB SOIL SURVEY - HOWARD COUNTY



K:\PROJECTS\11-29\ENGR\DWG\ECP\03_GradPlant.dwg

