ENVIRONMENTAL CONCEPT PLAN

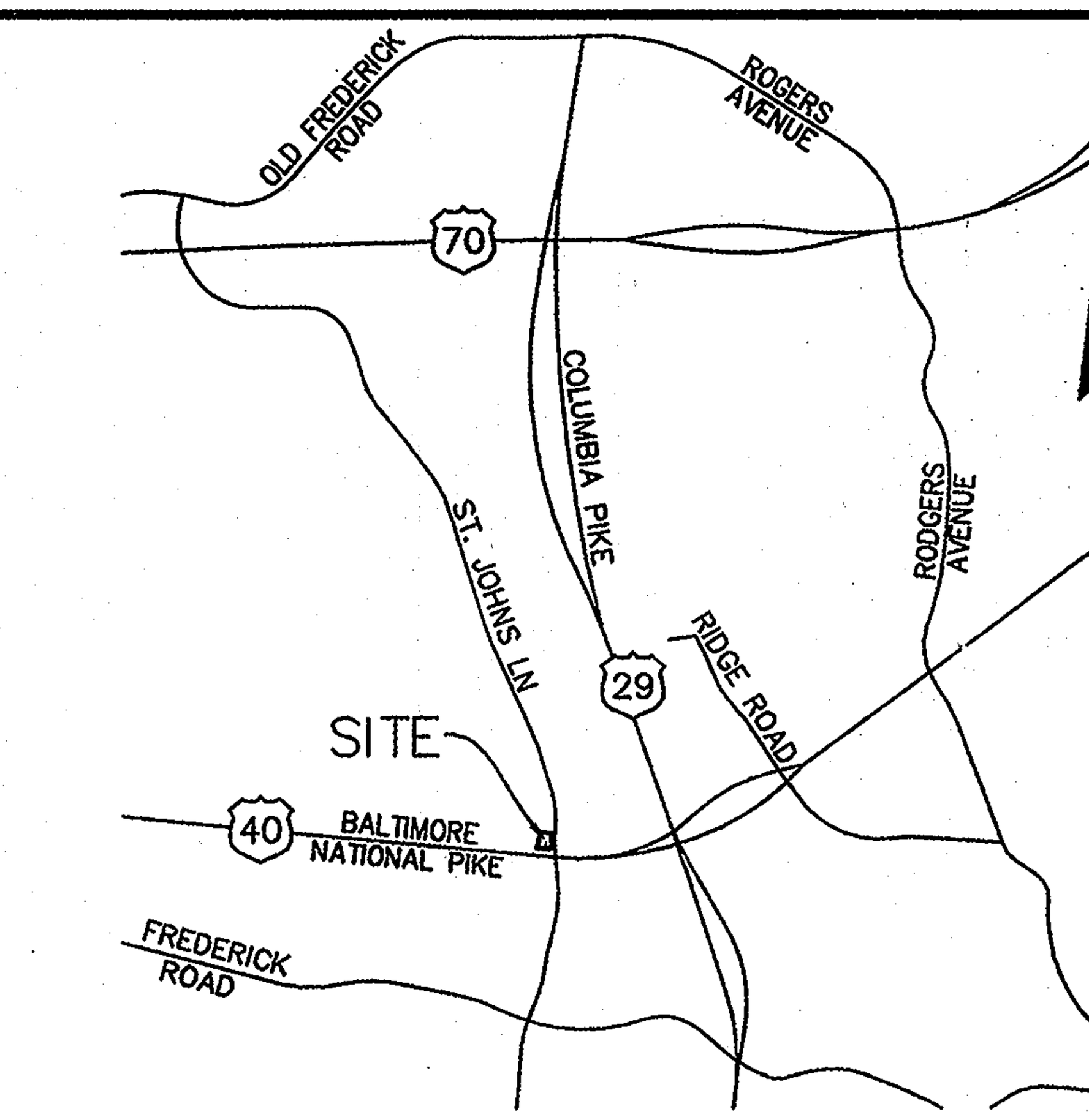
CHIPOTLE MEXICAN GRILL #1759

TAX MAP 24, GRID 4, PARCEL 1027, PARCEL A1

ELECTION DISTRICT 2

9120 BALTIMORE NATIONAL PIKE

ELLICOTT CITY, HOWARD COUNTY, MARYLAND 21042



VICINITY MAP

SCALE: 1" = 2,000'

HOWARD COUNTY GEODETIC CONTROL
MONUMENT NOs 24BB & 24CA
ADC MAP 4815, GRID H6

NOTES

1. THE SURVEYED PROPERTY DELINEATED HEREON IS LOCATED ON HOWARD COUNTY, MARYLAND, TAX ASSESSMENT MAP NUMBER 24, GRID 4, PARCEL 1027, LOT OR PARCEL A1, AND IS ZONED B-2, GENERAL BUSINESS DISTRICT.

2. THE SURVEYED PROPERTY IS NOW IN THE NAME OF MYERS REALTY, LLC AND IS RECORDED IN LIBER 13138 AT FOLIO 231 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND IS SHOWN ON PLAT BOOK 18 AT FOLIO 90. THE ADC MAP IS MAP 4815, GRID H6.

3. BOUNDARY INFORMATION AS SHOWN HEREON IS COMPILED FROM EXISTING LAND RECORDS OF HOWARD COUNTY, AND A FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. ON JUNE 17, 2011.

4. THE HORIZONTAL AND VERTICAL DATUM AS REFERENCED HEREON WAS ESTABLISHED BY GPS RTK DIFFERENTIAL METHODS. THE HORIZONTAL DATUM IS REFERENCED TO THE MARYLAND COORDINATE SYSTEM, NAD83, AND IS REFERENCED IN U.S. SURVEY FEET AND THE VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
THE HOWARD COUNTY MONUMENTS USED TO ESTABLISH THE HORIZONTAL AND VERTICAL DATUM WERE:
(I) MONUMENT 24CA
(II) MONUMENT 24BB
THE COMBINED SCALE FACTOR IS 1.00002569 FOR GRID TO GROUND CONVERSION. THE BASE POINT FOR THE PROJECT IS IDENTIFIED WITH COORDINATES OF N: 586506.2243 E: 1361634.2707, ELEV: 398.251 AND THIS COORDINATE IS THE SAME FOR BOTH GRID AND GROUND.

5. THE SURVEYED PROPERTY AS SHOWN HEREON IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF RECORD AND THOSE RECORDED HEREWITH, BOWMAN CONSULTING GROUP, LTD. WAS PROVIDED A COMMITMENT FOR TITLE INSURANCE FROM CHICAGO TITLE INSURANCE COMPANY, AND SCHEDULE B – SECTION II IS ADDRESSED IN THE TITLE COMMITMENT REVIEW.

6. THE SURVEYED PROPERTY SHOWN HEREON LIES IN ZONE "C" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR HOWARD COUNTY, MARYLAND, COMMUNITY-PANEL NUMBER 24044 0023 B, DATED DECEMBER 4. 1986.

7. THE TOPOGRAPHICAL FEATURES AS SHOWN HEREON WERE COMPILED FROM CONVENTIONAL AND DIFFERENTIAL RTK SURVEY METHODS.

8. THE NEW METES AND BOUNDS DESCRIPTION OF THE SURVEYED PROPERTY AS SHOWN HEREON WAS WRITTEN SINCE THE REQUESTED HORIZONTAL REFERENCE DATUM IS DIFFERENT THAN THE PLATTED METES AND BOUNDS OF RECORD WHICH ARE 7'56'30" CLOCKWISE FROM THE REFERENCE DATUM.

9. THE LOCATION OF ALL VISIBLE BUILDINGS. STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SURVEYED PROPERTY, WHICH HAS BEEN CAREFULLY ESTABLISHED BY THE CLASSIFICATION AND SPECIFICATIONS FOR CADASTRAL SURVEYS ARE CORRECTLY SHOWN.

10. ALL EASEMENTS AND RIGHT-OF-WAY APPARENT FROM A CAREFUL PHYSICAL INSPECTION OF THE SURVEYED PROPERTY, OR AS IDENTIFIED IN SCHEDULE B – SECTION II OF THE COMMITMENT FOR TITLE INSURANCE OR HAVE OTHERWISE BEEN ADVISED ARE CORRECTLY SHOWN.

11. THERE ARE NO VISIBLE ENCROACHMENTS ON ADJOINING PREMISES, STRE[illegible] OR EASEMENTS, BY VISIBLE BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, NOR VISIBLE ENCROACHM[illegible]TS ON SAID PROPERTY BY VISIBLE STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREM[illegible]S EXCEPT AS SHOWN.

12. BALTIMORE NATIONAL PIKE (U.S. ROUTE 40) IS MAINTAINED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION AND ST JOHNS LANE IS MAINTAINED BY THE HOWARD COUNTY BUREAU OF HIGHWAYS.

13. THE CURRENT RECORD INSTRUMENT (LIBER 13138, FOLIO 231) OF THE "SURVEYED PROPERTY" INCLUDES AN AREA DEDICATED TO PUBLIC USE SHOWN IN PLAT BOOK 18, PAGE 90, WHICH APPEARS TO BE CONVEYED IN FEE SIMPLE TO THE STATE OF MARYLAND PER LIBER 780, FOLIO 407.

14. APPROVAL OF THIS ECP DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION PLAN/PLAT AND/OR RED-LINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN STAGES AND/OR RED-LINE REVISION PROCESS. THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS (INCLUDING COMMENTS THAT MAY ALTER THE OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.

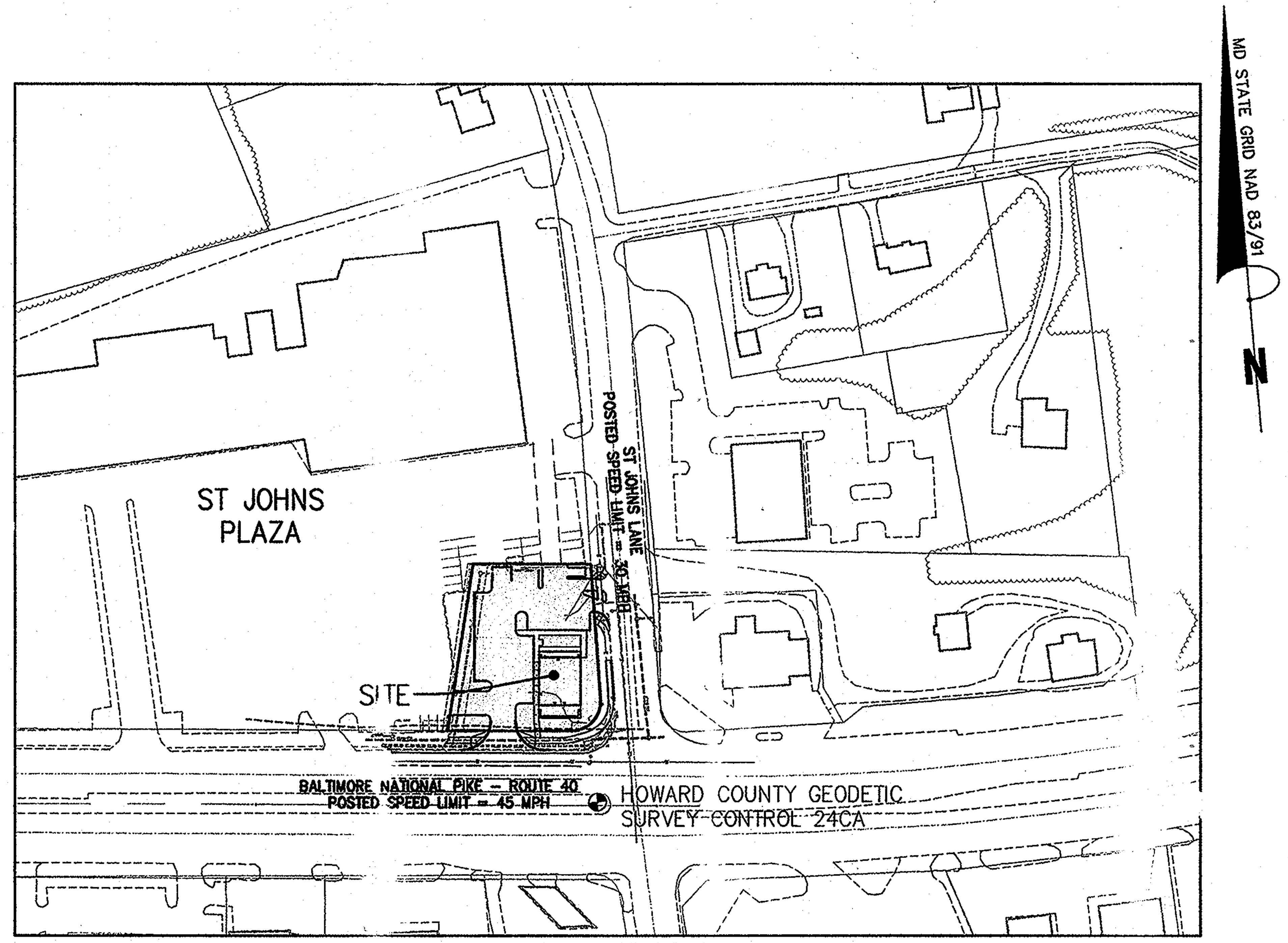
15. IN 1991 THE EXISTING SERVICE STATION UNDERWENT MAJOR RENOVATION AND FOUR EPOXY COATED STEEL UNDERGROUND STORAGE TANKS (ONE-6,000 GALLON, ONE-8,000 GALLON, ONE-10,000 GALLON AND ONE-550 GALLON) WERE REMOVED. A UNDERGROUND STORAGE TANK CLOSURE REPORT WAS PREPARED BY RALSTON AND ASSOCIATES, INC. DATED FEBRUARY 1991. IN 2006 THE EXISTING SERVICE STATION WAS DECOMMISSIONED AND FOUR 10,000 GALLON GASOLINE TANKS, ONE 550 GALLON HEATING TANK, ONE 1,000 GALLON WASTE OIL TANK, FOUR DISPENSERS, PRODUCT LINES AND ONE HYDRAULIC LIFT WERE REMOVED. AN UNDERGROUND STORAGE TANK CLOSURE REPORT WAS PREPARED BY ENVIRONMENTAL ALLIANCE, INC. DATED MARCH 10, 2006. ALL DOCUMENTATION FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT ARE INCLUDED IN THE REPORTS.

HOWARD COUNTY GENERAL NOTES

1. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
2. THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH ONE (1) FOOT CONTOUR INTERVALS PREPARED BY BOWMAN CONSULTING, DATED JULY 6, 2011.
3. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 24BB AND 24CA WERE USED FOR THIS PROJECT.
4. WATER IS PUBLIC: WATER CONTRACT NO. 772-W
5. SEWER IS PUBLIC: SEWER CONTRACT NO. 31-S
6. EXISTING UTILITIES ARE TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PERFORMED BY BOWMAN CONSULTING, DATED JULY 6, 2011.
7. PROJECT BACKGROUND INFORMATION:

SUBDIVISION NAME:	ST JOHNS PLAZA
TAX MAP:	24
GRID:	4
PARCEL:	1027
LOT/PARCEL:	A1
ZONING:	B-2
RECORDED:	LIBER 13138, FOLIO 231
ELECTION DISTRICT:	#2
TOTAL TRACT AREA:	23,297 SF OR 0.5348 AC

8. THIS SITE IS EXEMPT FROM FOREST CONSERVATION BECAUSE IT'S A SINGLE LOT LESS THAN 40,000 SQUARE FEET IN AREA.
9. THE FOLLOWING MINIMUM STRUCTURE AND USE SETBACK REQUIREMENTS SHALL BE OBSERVED, PER THE B-2 ZONING DISTRICT: 30 FEET FROM PUBLIC STREET RIGHT OF WAY. 10 FEET FOR PARKING USES. A VARIANCE (BA-11-029V) TO REDUCE THE STRUCTURE AND PARKING USE SETBACKS AND TO REDUCE THE NUMBER OF REQUIRED PARKING SPACES HAS BEEN FILED WITH THE DEPARTMENT OF PLANNING AND ZONING.



LOCATION MAP

SCALE: 1" = 100'

SITE ANALYSIS

SITE AREA:	23,297 SF OR 0.5348 AC
WETLAND AREA:	0 SF
FLOODPLAIN AREA:	0 SF
FORESTED AREA:	0 SF
STEEP SLOPES AREA:	0 SF
ERODIBLE SOILS AREA:	0 SF
LIMITS OF DISTURBANCE:	28,844 SF OR 0.6622 AC
PROPOSED SITE USE:	COMMERCIAL/RESTAURANT
GREEN OPEN AREA:	6,400 SF OR 0.1469 AC
PROPOSED IMPERVIOUS AREA:	16,897 SF OR 0.3879 AC

SHEET INDEX

DESIGN NARRATIVE

THE SITE IS LOCATED AT THE INTERSECTION OF BALTIMORE NATIONAL PIKE AND SAINT JOHNS LANE IN ELLICOTT CITY MARYLAND. THE EXISTING SITE DOES NOT CONTAIN NATURAL RESOURCES THAT REQUIRE PROTECTING SUCH AS VEGETATIVE COVER, INTERMITTENT STREAMS, SPRINGS, SEEPS, ENHANCED STREAM BUFFERS, AND HIGHLY ERODIBLE SOILS. THE EXISTING DRAINAGE DIVIDES AND NATURAL FLOW PATTERNS ARE MAINTAINED THROUGHOUT THE DEVELOPMENT, AS SHOWN ON THE DRAINAGE DIVIDES PLAN. THE EXISTING SITE CONTAINS 22,534 SQUARE FEET OF IMPERVIOUS AREA CONSISTING OF A BUILDING, GRAVEL AREA AND PARKING LOT. THE PROPOSED IMPROVEMENTS REDUCE THE IMPERVIOUS COVERAGE TO 16,897 SQUARE FEET THROUGH THE ADDITION OF GRASSED ISLANDS. EROSION AND SEDIMENT CONTROL FOR THE SITE IS BEING PROVIDED THROUGH THE USE OF SILT FENCE, INLET PROTECTION AND A TEMPORARY CONSTRUCTION ENTRANCE. THE EXISTING SITE IS A VACANT GAS STATION WHICH IS CONSIDERED A "HOT SPOT" IN THE MDE STORMWATER DESIGN MANUAL. THE MANUAL ADVISES AGAINST THE USE OF INFILTRATION PRACTICES SUCH AS MICRO-BIORETENTION, PERMEABLE PAVEMENT, GRASSED FILTER STRIPS ETC. THEREFORE IN ORDER TO SATISFY THE ESD TARGETS FOR REDEVELOPMENT A FILTERRA TREE BOX FILTER HAS BEEN SELECTED.

CIVIL ENGINEER

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SUITE 300
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CHERYL HEIDORN
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COLUMBUS, OH 43215

STEPHAN SAHAYDA
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SSAHAYDA@REDARCHITECTS.COM

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEERING DIVISION CHIEF — DATE 3/23/12

DIVISION OF LAND DEVELOPMENT CHIEF — DATE 3/22/12

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, PARCEL A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL

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COVER SHEET

ENVIRONMENTAL CONCEPT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ELLICOTT CITY

ELECTION DISTRICT #2 — ELLICOTT CITY, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — LEE A. GUDORP — NO. 40288 — PROFESSIONAL ENGINEER — 3-14-12

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40288 EXPIRATION DATE: 05/12/2013

PLAN STATUS	
2/9/12	ECP SUBMITTAL
3/14/12	ECP APPROVAL
DATE	DESCRIPTION

SH/SB	SH	LG
DESIGN	DRAWN	CHKD

SCALE H: AS SHOWN V:

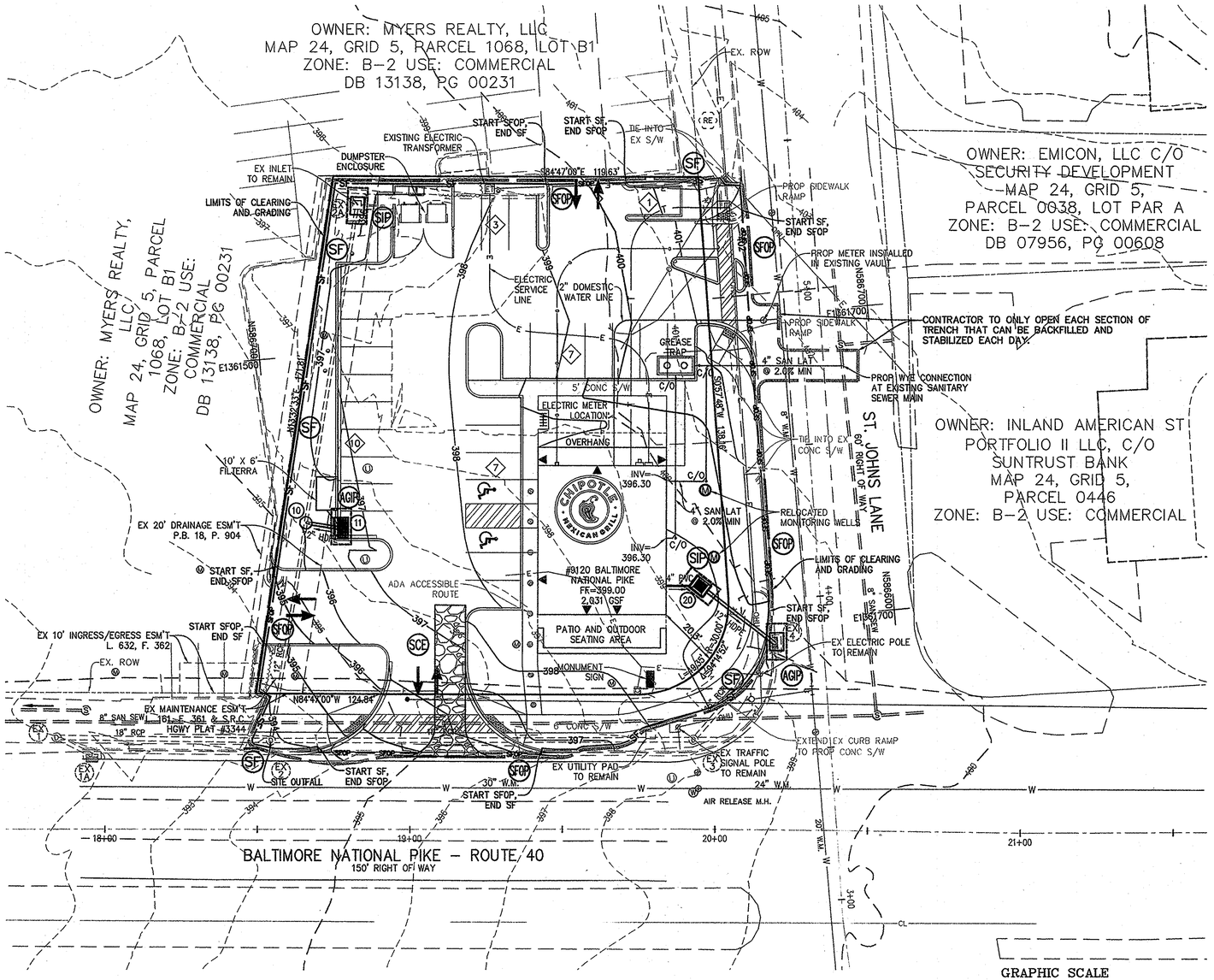
JOB No. 6533-02-001

DATE : MARCH, 2012

FILE No. 6533-D-CP-003

ECP-12-034

CAD FILE NAME: [illegible] - Chipotle Ellicott City\6533-02-001 [illegible] - Ellicott\Engineering\Engineering Plans\ENVIRONMENTAL CONCEPT PLAN\6533-D-CP-003.dwg



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

STOCKPILE NOTE:

1. THERE ARE NO STOCKPILE AREAS ANTICIPATED DUE TO CONSTRAINTS OF THE SITE. ALL MATERIAL WILL BE HAULED OFFSITE EACH DAY TO A LOCATION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN.

EROSION AND SEDIMENT CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL
DETAIL 22	SILT FENCE	SF	—SF—
DETAIL E-2	SILT FENCE ON PAVEMENT	SFOP	—SFOP—
DETAIL 23A	STORM DRAIN INLET PROTECTION	SIP	
DETAIL 23B	AT GRADE INLET PROTECTION	AGIP	
DETAIL 24	TEMPORARY STONE CONSTRUCTION ENTRANCE	SCE	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEERING DIVISION CHIEF — DATE 3/23/12

DIVISION OF LAND DEVELOPMENT CHIEF — DATE 3/22/12

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, PARCEL A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL

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EROSION AND SEDIMENT CONTROL PLAN

ENVIRONMENTAL CONCEPT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ELLICOTT CITY

ELLICOTT CITY, HOWARD COUNTY, MARYLAND

ELECTION DISTRICT #2

STATE OF MARYLAND
LEE A. GUBOFF
NO. 40288
3-14-12
PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40288 EXPIRATION DATE: 05/12/2013

PLAN STATUS	
2/9/12	ECP SUBMITTAL
3/14/12	ECP APPROVAL

DATE	DESCRIPTION	
SH/SB DESIGN	SH DRAWN	LG CHKD

SCALE H: 1"=20' V: 1"=2'

JOB No. 6533-02-001

DATE : MARCH, 2012

FILE No. 6533-D-CP-003

SHEET 2 OF 5

ECP-12-034

CAD FILE NAME: P:\6533 - Chipotle Ellicott City\6533-02-001 (ENG) - Ellicott\Engineering\Engineering Plans\ENVIRONMENTAL CONCEPT PLAN\6533-D-CP-003-ES1.dwg

EROSION & SEDIMENT CONTROL GENERAL NOTES

1. CONTRACTOR SHALL EVALUATE THE SITE TO DETERMINE EXTENSIVE CUT AND FILL AREAS, AND SHALL WORK THOSE AREAS TO MINIMIZE THE EXTENT OF HEAVY EQUIPMENT WORK. CONTRACTOR SHALL STRIVE TO BRING AREAS TO GRADE (ROUGH OR FINISH) AND TO STABILIZE, BY TEMPORARY OR PERMANENT VEGETATION, THESE DISTURBED AREAS PRIOR TO BEGINNING WORK IN ANOTHER AREA.
2. FILL AREAS SHALL BE COMPACTED COMPLETELY PRIOR TO THE END OF EACH WORK DAY. FILL SLOPE SURFACES SHALL BE LEFT ROUGHENED TO REDUCE SHEET EROSION OF THE SLOPES. CONTRACTOR SHALL REDIRECT CONCENTRATED RUNOFF, BY EARTH BERMS OR OTHER DEVICES, AROUND ACTIVELY DISTURBED AREAS TO STABILIZE OUTLETS.
3. THE FOLLOWING EROSION & SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED WITH THIS SITE PLAN:
4. CONSTRUCTION ENTRANCE WITH VEHICLE WASH RACK TO BE USED BY ALL CONSTRUCTION VEHICLES FOR ACCESS INTO AND OUT OF THE SITE. ALL CONSTRUCTION VEHICLES SHALL BE WASHED CLEAN OF MUD AND DEBRIS PRIOR TO ENTERING THE PUBLIC ROADWAY.
5. REINFORCED SILT FENCE AND REINFORCED SILT FENCE ON ASPHALT SHALL BE USED AS PERIMETER CONTROLS TO PREVENT SEDIMENT RUNOFF FROM FLOWING INTO THE PUBLIC RIGHT-OF-WAYS. REINFORCED SILT FENCE AND REINFORCED SILT FENCE ON ASPHALT E SHALL BE INSTALLED AS INDICATED ON THE E&S CONTROL PLANS MADE PART OF THIS SITE PLAN.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CARRIED OUT AND MAINTAINED ACCORDING TO THE 1994 MARYLAND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

SEQUENCE OF CONSTRUCTION

1. NOTIFY THE DEPARTMENT OF INSPECTIONS AND PERMITS (410-313-1855) AT LEAST 48 HOURS BEFORE COMMENCING WORK. WORK MAY NOT COMMENCE UNTIL THE PERMITEE OR THE RESPONSIBLE PERSONNEL HAVE MET ON SITE WITH THE SEDIMENT CONTROL INSPECTOR TO REVIEW THE APPROVED PLANS.
2. CLEAR THE MINIMUM AREA NECESSARY TO INSTALL SEDIMENT CONTROLS.
3. ONCE SEDIMENT CONTROLS HAVE BEEN INSTALLED, CONTACT THE INSPECTOR FOR APPROVAL OF SEDIMENT CONTROL INSTALLATION PRIOR TO COMMENCING WORK.
4. PERFORM DEMOLITION OF EXISTING FEATURES AS SHOWN ON THE DEMOLITION PLAN.
5. INSTALL SANITARY SEWER, WATER LINE AND STORM DRAINAGE UTILITIES. THE CONTRACTOR SHALL ONLY DISTURB TRENCHING AREAS THAT CAN BE COMPLETED AND STABILIZED IN ONE DAY.
6. CONSTRUCT BUILDING AND ASSOCIATED ARCHITECTURAL FEATURES
7. INSTALL CURB AND GUTTER, SIDEWALKS AND PAVE SITE
8. INSTALL LANDSCAPING AND SEEDING/SOD.
9. AFTER THE SITE IS 95% STABILIZED, EITHER VEGETATIVELY OR MECHANICALLY, REMOVE SEDIMENT CONTROLS WITH THE INSPECTOR'S APPROVAL.

EROSION & SEDIMENT CONTROL MAINTENANCE NOTES

1. IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED DAILY BY THE SITE SUPERINTENDENT. THE CERTIFIED LAND DISTURBER FOR THE SITE IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES. THE FOLLOWING INSPECTIONS AND MAINTENANCE TASKS ARE PARTICULARLY IMPORTANT AND SHALL BE PERFORMED AS INDICATED:
2. THE CONSTRUCTION ENTRANCE AND WASH RACK SHALL BE INSPECTED WEEKLY. IN CASE THE GRAVEL OR PORTABLE SEDIMENT TANK IS CLOGGED WITH SEDIMENT BUILDUP AND IS NO LONGER FUNCTIONAL, THE GRAVEL SHALL BE REMOVED, CLEANED AND REPLACED AND THE SEDIMENT TANK CLEANED.
3. THE SILT FENCE AND SUPER SILT FENCE BARRIERS SHALL BE INSPECTED DAILY FOR TEARS, UNDERMINING AND FABRIC DETERIORATION., ANY DAMAGE SHALL BE REPAIRED BY THE CLOSE OF THE BUSINESS DAY.
4. THE SILT FENCE AND SUPER SILT FENCE SHALL BE INSPECTED WEEKLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 16 INCHES. THE SEDIMENT SHALL BE SPREAD ON-SITE IN PROTECTED AREAS.
5. SEEDED AREAS SHALL BE INSPECTED DAILY DURING THE ESTABLISHMENT PERIOD TO ENSURE SEED GERMINATION. AFTER ESTABLISHMENT OF GOOD STAND OF VEGETATION IN THE SEEDED AREAS, INSPECTIONS SHALL BE CONDUCTED ON A WEEKLY BASIS TO ENSURE THE THE SEEDED AREAS ARE NOT DAMAGED. ANY AREAS WHERE THE VEGETATION DIED, OR WAS OTHERWISE DAMAGED SHALL BE RESEEDED IMMEDIATELY.
6. INLET PROTECTION SHALL BE INSPECTED WEEKLY IN CASE THE GRAVEL OR WIRE MESH IS CLOGGED WITH SEDIMENT BUILDUP AND IS NO LONGER FUNCTIONAL, THE GRAVEL SHALL BE REMOVED, CLEANED AND REPLACED.
7. PROVISION FOR DUST CONTROL SHALL BE MADE IN ACCORDANCE WITH STD. AND SPEC. H-30-1 OF THE 1994 MARYLAND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
8. AFTER ALL CONSTRUCTION OPERATIONS HAVE ENDED AND ALL DISTURBED AREAS ARE STABILIZED, MECHANICAL SEDIMENT CONTROLS SHALL BE REMOVED AND GROUND SHALL BE RESTORED, INCLUDING ESTABLISHMENT OF VEGETATION, TO ITS NATURAL OR PROPOSED CONDITION.
9. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE DETAILS OF TEMPORARY OR PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL SURFACES OF PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1). WITHIN FOURTEEN (14 DAYS FOLLOWING FINAL GRADING, ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT WILL BE PERMANENTLY STABILIZED BY SEEDING OR MULCH. PERMANENT MULCH CAN INCLUDE BUT IS NOT LIMITED TO STONE, GRAVEL BLACKTOP OR CONCRETE SURFACING. IF CONSTRUCTION IS TEMPORARILY STOPPED ON A PROJECT SITE FOR MORE THAN FOURTEEN (14) DAYS, ALL DISTURBED AND GRADED AREAS WILL BE STABILIZED. THE REQUIREMENTS OF THIS SUBPARAGRAPH DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE, OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED OR TO INTERIOR AREAS OF A SURFACE MINE SITE WHERE STABILIZATION MATERIAL WOULD CONTAMINATE THE RECOVERABLE RESOURCE. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THE STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
   TOTAL AREA OF SITE 0.535 ACRES
   AREA DISTURBED 0.662 ACRES
   AREA TO BE ROOFED OR PAVED 0.3879 ACRES
   AREA TO BE VEGETATIVELY STABILIZED 0.1469 ACRES
   TOTAL CUT ___TBD___CU. YDS.
   TOTAL FILL ___TBD___ CU. YDS.
   OFFSITE WASTE/BORROW AREA LOCATION: _____TBD_____
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

1. Preferred -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.)
2. Acceptable -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding -- For the periods March 1 -- April 30, and August 1 -- October 15, seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 -- July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs/acre (.05 lbs/100() sq. ft.) of weeping lovegrass. During the period of October 16 -- February 28, protect site by:

Option 1 -- Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring.
Option 2 --Use sod. Option 3 --- Seer: with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance -- Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES.

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

Seedbed preparation: -- Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: -- Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

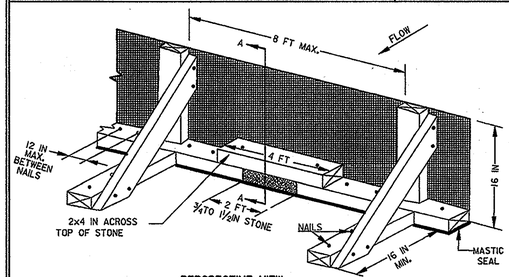
Seeding: -- For periods March 1 -- April 30 and from August 15 -- October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.). For the period May 1 -- August 14, seed with 3 lbs/acre of weeping lovegrass (.07 lbs/1000 sq. ft.). Fo- the period November 16 -- February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: -- Apply 1-1/2 to 2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

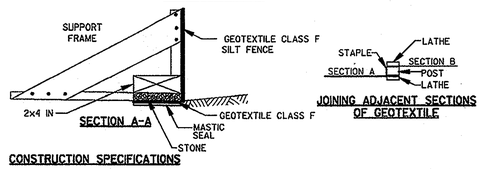
Refer to the *1994 MARAND STANDARDS AND SPECIFICATIONS FOR SOL EROSION AND SEDIMENT CONTROL* for additional rates and methods not covered.

DETAIL E-2 SILT FENCE ON PAVEMENT

STANDARD SYMBOL: SFOP



PERSPECTIVE VIEW



SECTION A-A

JOINING ADJACENT SECTIONS OF GEOTEXTILE

CONSTRUCTION SPECIFICATIONS

1. USE FINISHED LUMBER 2x4 INCH MINIMUM.
2. PROVIDE A MASTIC SEAL TO PREVENT SEDIMENT-LADEN WATER FROM ESCAPING UNTREATED BENEATH SILT FENCE INSTALLATION.
3. KEEP SILT FENCE TAUT AND SECURELY STAPLED TO FACE OF UPRIGHT SUPPORTS.
4. SECURE BOARDS TO PAVEMENT WITH 20d NAILS 4 INCH MINIMUM IN LENGTH.
5. MEET THE REQUIREMENTS FOR GEOTEXTILE CLASS F AS DESCRIBED IN SECTION H-1 MATERIAL SPECIFICATIONS IN THESE STANDARDS AND SPECIFICATIONS.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE		MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
	E.7	DRAFT October 15, 2009

SILT FENCE

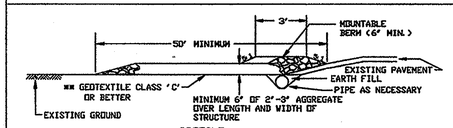
Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

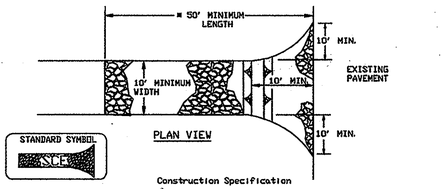
Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



PROFILE



PLAN VIEW

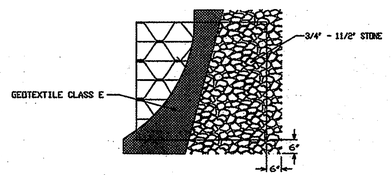
STANDARD SYMBOL: SCE

Construction Specification

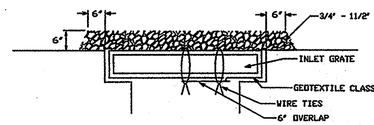
1. Length - minimum of 50' (*30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23B - AT GRADE INLET PROTECTION



PLAN/CUT AWAY VIEW



CROSS SECTION

STANDARD SYMBOL: AGIP

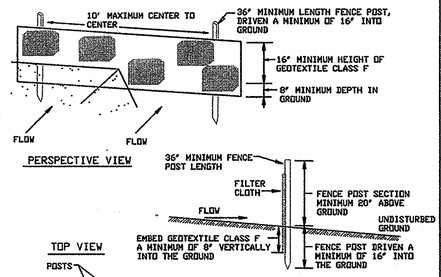
MAX. DRAINAGE AREA = 1/4 ACRE

Construction Specifications

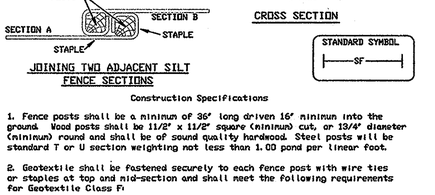
1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
2. Place 3/4" to 11/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 5A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

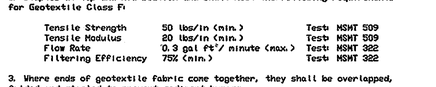
DETAIL 22 - SILT FENCE



PERSPECTIVE VIEW



TOP VIEW



JOINING TWO ADJACENT SILT FENCE SECTIONS

CROSS SECTION

STANDARD SYMBOL: SF

Construction Specifications

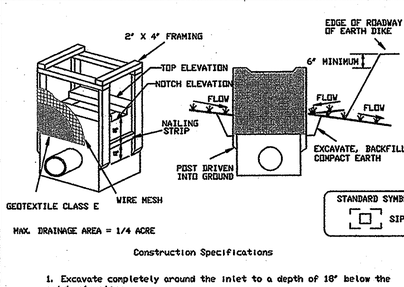
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 11/2" x 11/2" square (minimum) cut, or 13/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft²/ minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23A - STANDARD INLET PROTECTION



MAX. DRAINAGE AREA = 1/4 ACRE

STANDARD SYMBOL: SIP

Construction Specifications

1. Excavate completely around the inlet to a depth of 18" below the notch elevation.
2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
3. Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
4. Stretch the Geotextile Class E tightly over the wire mesh with the geotixtile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
5. Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
6. If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
7. The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEERING DIVISION CHIEF — DATE 3/22/12

DIVISION OF LAND DEVELOPMENT CHIEF — DATE 3/22/12

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-9764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, PARCEL A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL

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EROSION AND SEDIMENT CONTROL NOTES, NARRATIVE, AND DETAILS

ENVIRONMENTAL CONCEPT PLAN CHIPOTLE MEXICAN GRILL #1759: ELLICOTT CITY

ELLICOTT CITY, HOWARD COUNTY, MARYLAND

ELECTION DISTRICT #2

STATE OF MARYLAND — LEE A. GUDOFF — No. 40288 — PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40288 EXPIRATION DATE: 05/12/2013

PLAN STATUS	
2/9/12	ECP SUBMITTAL
3/14/12	ECP APPROVAL

DATE	DESCRIPTION

SH/SB DESIGN	SH DRAWN	LG CHKD
SCALE	H: 1"=20' V: 1"=2'	
JOB No. 6533-02-001		
DATE : MARCH, 2012		
FILE No. 6533-D-CP-003		
SHEET 3 OF 5		

ECP-12-034

CAD FILE NAME: PA6533 - Chipotle Ellicott City\A6533-00-001 (EMC) - Ellicott\Engineering\Engineering Plans\ENVIRONMENTAL CONCEPT PLAN\A6533-D-CP-003.EDD.dwg

LEGEND

- EXISTING CURB & GUTTER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER GRATE INLET
- EXISTING UTILITY MONITORING WELL
- 400 EXISTING MAJOR INTERVAL CONTOUR
- 398 EXISTING MINOR INTERVAL CONTOUR
- 400 PROPOSED MAJOR INTERVAL CONTOUR
- 398 PROPOSED MINOR INTERVAL CONTOUR
- 96.53 PROPOSED TOP OF CURB SPOT ELEVATION
- PROPOSED CONCRETE SIDEWALK
- PROPOSED TYPE A CURB & GUTTER
- PROPOSED TYPE A CURB
- 15" RCP PROPOSED STORM SEWER
- (20) PROPOSED STORM STRUCTURE NUMBER
- ◇9 PROPOSED PARKING SPACE NUMBER

SITE TABULATIONS:

SITE AREA:	23,297 S.F.
EXISTING USE:	VACANT
PROPOSED USE:	FAST FOOD RESTAURANT
TOTAL GFA OF RESTAURANT USE:	2,819 S.F.
PROPOSED BUILDING AREA:	2,031 S.F.
PROPOSED REAR ENCLOSURE:	253 S.F.
PROPOSED PATIO AREA:	535 S.F.
PROPOSED BUILDING HEIGHT:	1-STORY, 25-FEET MAX.
F.A.R.	0.12
PARKING REQUIRED: (14 SPACES PER 1,000 G.F.A.)	40 SPACES(1)
MODIFIED PARKING REQUESTED:	26 SPACES(1)
(PER PARKING NEEDS ASSESSMENT SUBMITTED UNDER SEPARATE COVER)	
PARKING PROVIDED:	28 SPACES

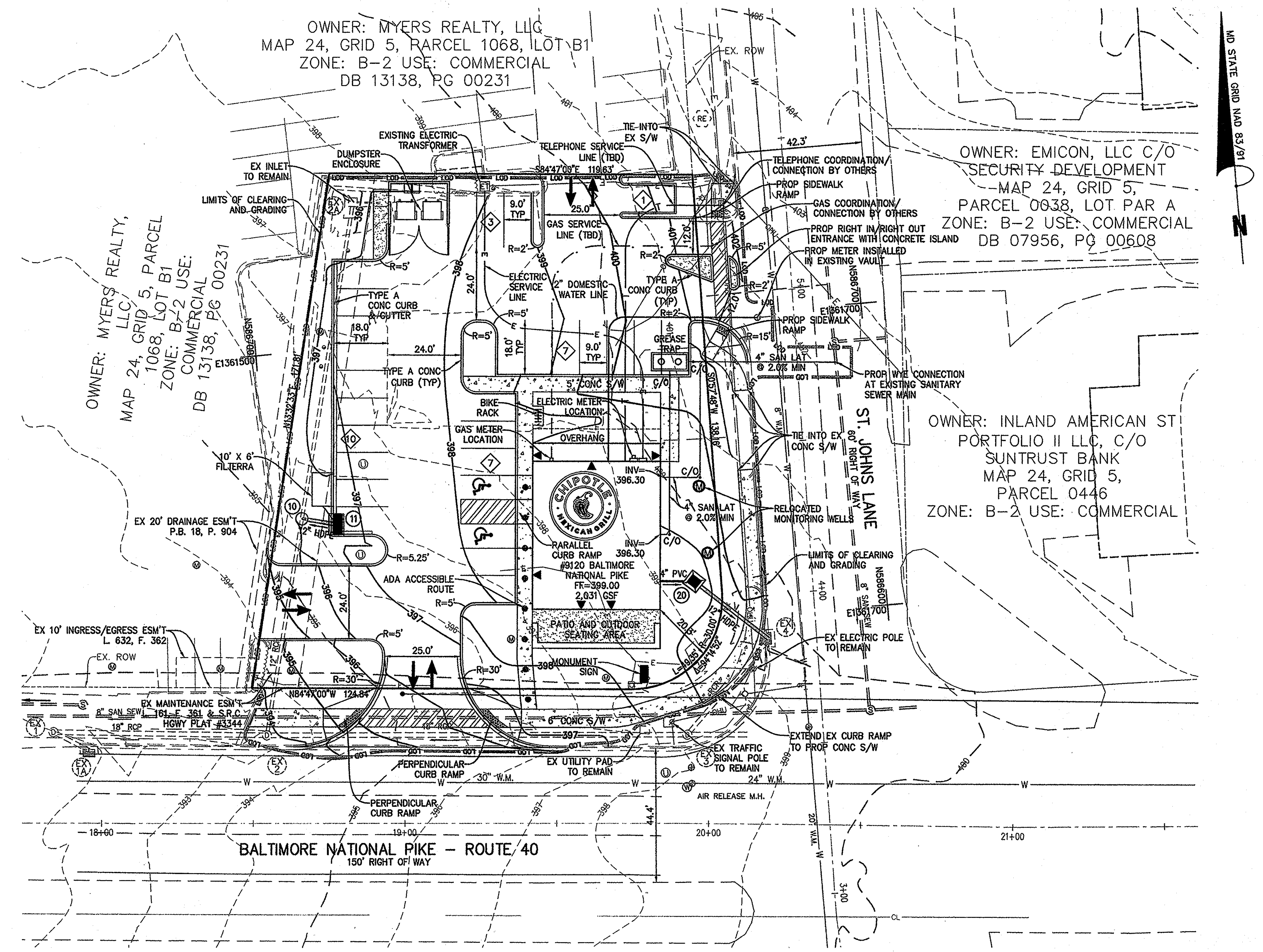
B-2 ZONING REQUIREMENTS:

MAXIMUM HEIGHT:	ALLOWED:	PROVIDED:
	40 FEET	30 FEET MAX.
SETBACKS:	REQUIRED:	PROVIDED:
FROM PUBLIC STREET RIGHT-OF-WAY:	30 FEET(2)	(AS SHOWN ON PLAN)
EXCEPT FOR PARKING USES:	10 FEET(3)	4 FEET
EXCEPT FOR DISPLAY OF FOR SALE PASSSENGER CARS, TRUCKS, ETC.:	N/A	N/A
FROM RESIDENTIAL DISTRICTS OTHER THAN STREET RIGHT OF WAY:	N/A	N/A

(1)MODIFICATIONS TO THE REQUIREMENTS IN Z.O. SECTION 133.D.4.K ARE HEREBY REQUESTED WITH VARIANCE TO REDUCE THE MINIMUM PARKING SPACES REQUIRED. (SEE PARKING NEEDS STUDY SUBMITTED UNDER SEPARATE COVER.)

(2)MODIFICATIONS TO THE REQUIREMENTS IN Z.O. SECTION 119.D.2.A ARE HEREBY REQUESTED WITH VARIANCE FOR BUILDING AND PATIO SETBACKS FROM ROUTE 40 AND ST. JOHNS LANE. (SEE THE JUSTIFICATION STATEMENT SUBMITTED UNDER SEPARATE COVER.)

(3)MODIFICATIONS TO THE REQUIREMENTS IN Z.O. SECTION 119.D.2.B ARE HEREBY REQUESTED WITH VARIANCE FOR PARKING SPACES SETBACK FROM ST. JOHNS LANE. (SEE THE JUSTIFICATION STATEMENT SUBMITTED UNDER SEPARATE COVER.)



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEERING DIVISION CHIEF — DATE 3/23/12

DIVISION OF LAND DEVELOPMENT CHIEF — DATE 3/22/12

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
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855 GRANDVIEW AVENUE SUITE 295
COLUMBUS, OHIO 43215
PHONE: 614.487.8770
FAX: 614.487.8777

GRADING PLAN

ENVIRONMENTAL CONCEPT PLAN CHIPOTLE MEXICAN GRILL #1759: ELLICOTT CITY

ELECTION DISTRICT #2 — ELLICOTT CITY, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — LEE A. GUDORP — NO. 40288 — PROFESSIONAL ENGINEER — 3-14-12

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40288 EXPIRATION DATE: 05/12/2013

PLAN STATUS	
2/9/12	ECP SUBMITTAL
3/14/12	ECP APPROVAL
DATE	DESCRIPTION

SH/SB DESIGN	SH DRAWN	LG CHKD
SCALE	H: 1"=20' V:	
JOB No. 6533-02-001		
DATE : MARCH, 2012		
FILE No. 6533-D-CP-003		

ECP-12-034

DESIGN NARRATIVE

THE SITE IS LOCATED AT THE INTERSECTION OF BALTIMORE NATIONAL PIKE AND SAINT JOHNS LANE IN ELLICOT CITY MARYLAND. THE EXISTING SITE DOES NOT CONTAIN NATURAL RESOURCES THAT REQUIRE PROTECTING SUCH AS VEGETATIVE COVER, INTERMITTENT STREAMS, SPRINGS, SEEPS, ENHANCED STREAM BUFFERS, AND HIGHLY ERODIBLE SOILS. THE EXISTING DRAINAGE DIVIDES AND NATURAL FLOW PATTERNS ARE MAINTAINED THROUGHOUT THE DEVELOPMENT, AS SHOWN ON THE DRAINAGE DIVIDES PLAN. THE EXISTING SITE CONTAINS 22,534 SQUARE FEET OF IMPERVIOUS AREA CONSISTING OF A BUILDING, GRAVEL AREA AND PARKING LOT. THE PROPOSED IMPROVEMENTS REDUCE THE IMPERVIOUS COVERAGE TO 16,897 SQUARE FEET THROUGH THE ADDITION OF GRASSED ISLANDS. EROSION AND SEDIMENT CONTROL FOR THE SITE IS BEING PROVIDED THROUGH THE USE OF SILT FENCE, INLET PROTECTION AND A TEMPORARY CONSTRUCTION ENTRANCE. THE EXISTING SITE IS A VACANT GAS STATION WHICH IS CONSIDERED A "HOT SPOT" IN THE MDE STORMWATER DESIGN MANUAL. THE MANUAL ADVISES AGAINST THE USE OF INFILTRATION PRACTICES SUCH AS MICRO-BIORETENTION, PERMEABLE PAVEMENT, GRASSED FILTER STRIPS ETC. THEREFORE IN ORDER TO SATISFY THE ESD TARGETS FOR REDEVELOPMENT A FILTERRA TREE BOX FILTER HAS BEEN SELECTED.

ESD VOLUME CALCULATIONS

SITE AREA = 23,297 SF OR 0.53 AC

EX. PERVIOUS AREA = 763 SF
EX. IMPERVIOUS AREA = 22,534 SF
i=97%

PROP. PERVIOUS AREA = 6,400 SF
PROP. IMPERVIOUS AREA = 16,897 SF
i=72%

SITE IS CONSIDERED REDEVELOPMENT SINCE THE EXISTING IMPERVIOUS COVER IS GREATER THAN 40%; THEREFORE 50% OF THE IMPERVIOUS AREA WILL BE TREATED.

P_E= 1.0"

DECREASE IN IMPERVIOUS AREA
22,534 SF – 16,897 SF = 5,637 SF

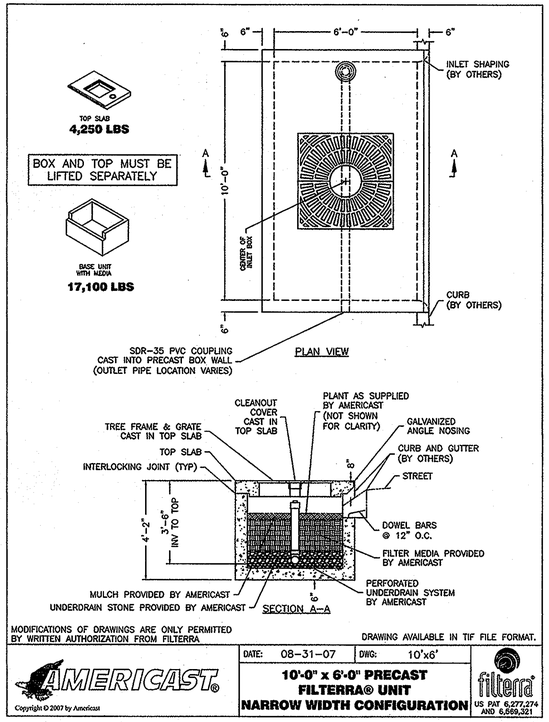
AREA = (50%)(22,534 SF) = 11,267 SF
AREA = 11,267 SF – 5,637 SF = 5,630 SF (0.13 AC)

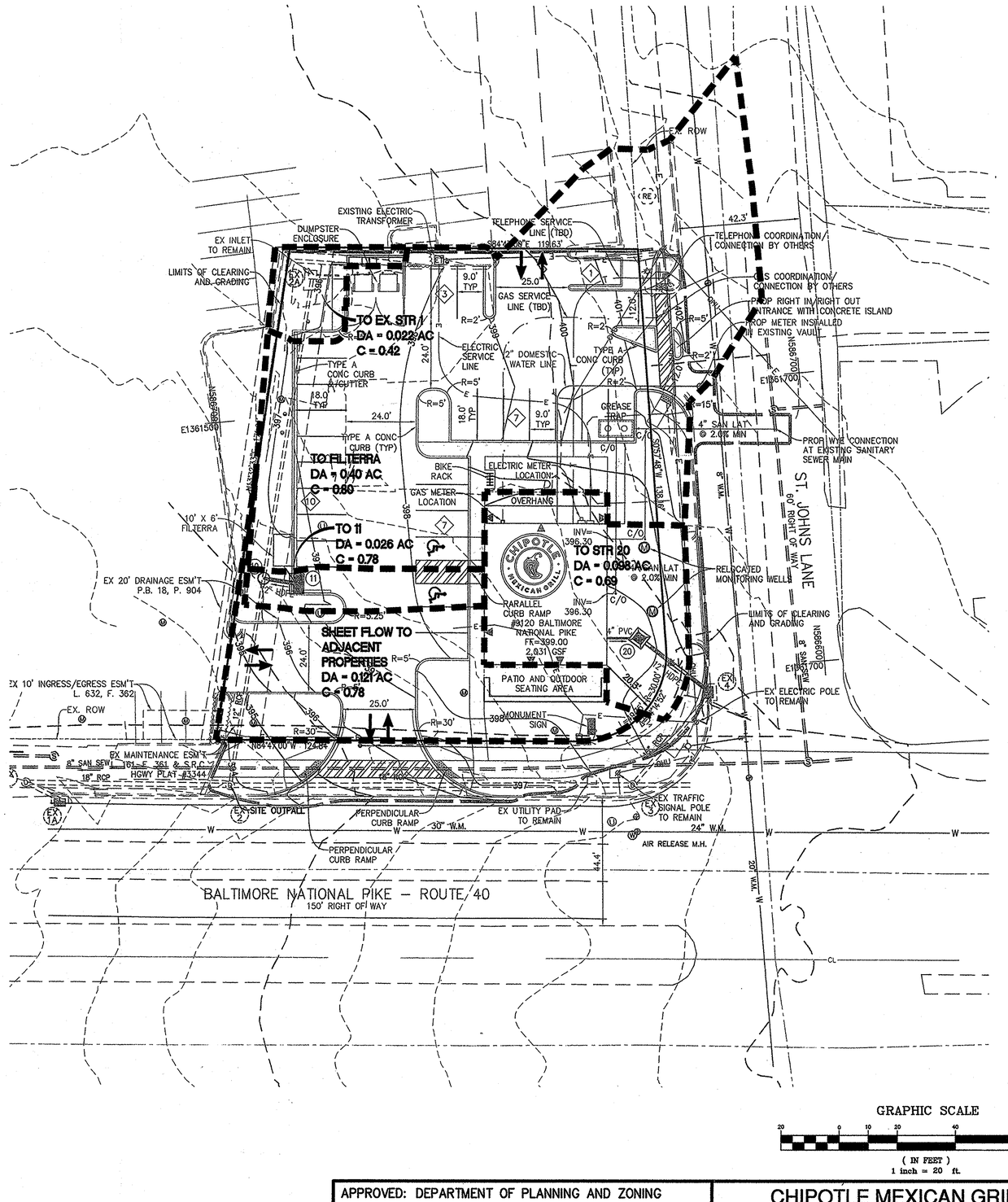
R_V= 0.05+0.009(I)
R_V= 0.05+0.009(72)
R_V= 0.698

$ESD_V = \frac{(P_E)(R_V)(A)}{12}$

ESD_V= 327 CF

TREATMENT PROVIDED BY 10 X 6 FILTERRA
AREA= 17,425 SF (0.40 AC)





APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEERING DIVISION CHIEF — DATE 3/23/12

DIVISION OF LAND DEVELOPMENT CHIEF — DATE 3/22/12

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
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DRAINAGE DIVIDES PLAN & ESD COMPUTATIONS

ENVIRONMENTAL CONCEPT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ELLICOTT CITY

ELLICOTT CITY, HOWARD COUNTY, MARYLAND

ELECTION DISTRICT #2

STATE OF MARYLAND
LEE A. GUDORF
NO. 40288
PROFESSIONAL ENGINEER
5-14-13

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40288 EXPIRATION DATE: 05/12/2013

PLAN STATUS	
2/9/12	ECP SUBMITTAL
3/14/12	ECP APPROVAL

DATE	DESCRIPTION

SH/SB DESIGN	SH DRAWN	LG CHKD

SCALE H: 1"=20' V:

JOB No. 6533-02-001

DATE : MARCH, 2012

FILE No. 6533-D-CP-003

SHEET 5 OF 5

ECP-12-034

CAD FILE NAME: P:\6533 - Chipotle Ellicott City\6533-02-001 (ENG) - Ellicott\Engineering\Engineering Plans\ENVIRONMENTAL CONCEPT PLAN\6533-D-CP-003-DDM.dwg