

GENERAL NOTES

- The existing topography shown is taken from a field run survey, conducted April 1, 2010, by Leon A. Podolak and Associates, LLC and is based on the Howard County Survey Control Stations 0044 and 34CC. Off-site topography is taken from the Howard County GIS information.
- Existing utilities shown are based on a field run survey and 'As-Built' information obtained from Howard County records.
- The Traffic Study for this project was prepared by the Mars Group dated June 2010 and has not been approved.
- The subject property is Zoned B-2 per the February 2, 2004 Comprehensive Zoning Plan, and per the Comp. Lite Zoning Regulation amendments effective on 7/28/06.
- Existing Use: Restaurant
Proposed Use: Restaurant and Retail
- Parking Requirements:
Restaurant: 14 parking spaces per 1,000 square feet of floor area
Retail: 5 parking spaces per 1,000 square feet of floor area
Parking Required:
(3,500 sq. ft.)(14 space/1,000 sq.ft.) + (6,680 sq.ft.)(5 space/1,000 sq.ft.)
Required Parking = 83 spaces
Parking Provided: 99 standard and 4 handicap spaces = 103 parking spaces
- Bulk Regulations:
Maximum Building Height = 40 feet
Building Setbacks: From Public Street Right-of-Way = 30 feet
Except for Parking Uses = 10 feet
From Residential Districts = 30 feet
- Refuse shall be disposed of daily in trash receptacles. Trash removal will be privately contracted.
- Lighting shall be shielded and directed so that it does not shine directly onto any adjacent properties. It shall not illuminate residential properties and shall not produce glare which could cause a hazard for motor vehicle operations in the vicinity of the site. Lighting shall comply with Section 134 of the Howard County Zoning Regulations.
- Utilities: Water- (H.C. CONTRACT#20-3340) Sewer- an existing 8" Sanitary Sewer Line runs along MD. Rte. 108 Storm Drain- an existing 18" BCCMP runs along the northeastern property line and discharges into an existing storm drainage infiltration basin to the rear of the property shown hereon.
- Election District: 5
- The property shown hereon is owned by:
Pizza Hut of Maryland, Inc. by deed dated December 22, 1986 and recorded among the Land Records of Howard County in Liber CMP 1608, Folio 215.
- Tax Map: 34 Block: 6 Parcel: 27 Tax Account Number: 05-355656
- Property is located in Clarksville.
- There is no 100-Year Flood Plain located on site per FEMA FIRM Map no. 240044 0032 B dated Dec. 4, 1986.
- All construction shall be in accordance with the latest standards and specifications of Howard County and MSHA standards and specifications, if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at 410-313-1880 at least five (5) working days prior to start of work.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Traffic control devices, markings, and signage shall be in accordance with the latest edition of the Manual of Uniform Traffic Control devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- There are no known burial grounds located on-site.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County monument nos. 0044 and 34CC were used for this project.
- There are no floodplains, streams, or wetlands or their buffers present on this site, as certified by Eco-Science Professionals, dated April 27, 2010.
- This plan is subject to the Amended 5th Edition of the Subdivision and Land Development Regulations per Council Bill 45-2003 and the Amended Zoning Regulations per Council Bill 75-2003.
- Related D.P.Z. file applications: SDP-89-21 and WP-11-010
- Financial surety for the required landscaping will be posted as part of the Developer's Agreement. A Landscape Plan will be submitted with the Site Development Plan.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the required wetlands, streams or their buffers, forest conservation easement areas and 100 year floodplain.
- Earth fills for roads, embankments, and structures shall be in accordance with Section 204 EMBANKMENT AND SUBGRADE of the MD SHA Standard Specifications. Compaction below top one foot of fill shall not be less than 92.0% of maximum dry density using AASHTO T-180 method. Compaction of top one foot of fill shall not be less than 97.0% of maximum dry density using the same method.
- Locations of existing utilities are shown only as notification to Contractor of the presence of underground utilities. Carroll County and the design engineer do not warrant or guarantee correctness or completeness of information given. Contractor shall be responsible for verifying existence and location of all utilities to his own satisfaction prior to beginning work. Phone Miss Utility @ 1-800-257-7777. Any damage to existing utilities incurred due to Contractor's operation shall be repaired immediately at Contractor's expense.
- In case of discrepancy between sealed and figured dimensions, figured dimensions shall govern.
- Failure to mention specifically the provision of any item(s), or performance of any work or procedure which would normally be required to complete the project, shall not relieve the Contractor of his responsibility to provide such item(s) or to perform such work or procedure.
- Pipe elevations shown on storm drain profiles are invert elevations unless otherwise noted.
- Developer is responsible in all regards for relocation of any existing utilities.
- A Petition (WP-11-010) requesting that Section 16.1201(n) of the Howard County Code (Subtitle 12) and the Subdivision and Land Regulations be waived, so that the limits of disturbance (LOD) can be used as the net tract area for the purpose of calculating Forest Conservation requirements, was conditionally granted by the Director of the Department of Planning and Zoning on August 19, 2010. Approval of the waiver petition is subject to the following two conditions:
a.) Compliance with all comments related to ECP-11-009.
b.) That a fee-in-lieu be paid to the Department of Planning & Zoning in conjunction with the processing of a Site Development Plan for the proposed Retail / Office building.

ENVIRONMENTAL CONCEPT PLAN

for a RETAIL/OFFICE BUILDING on the

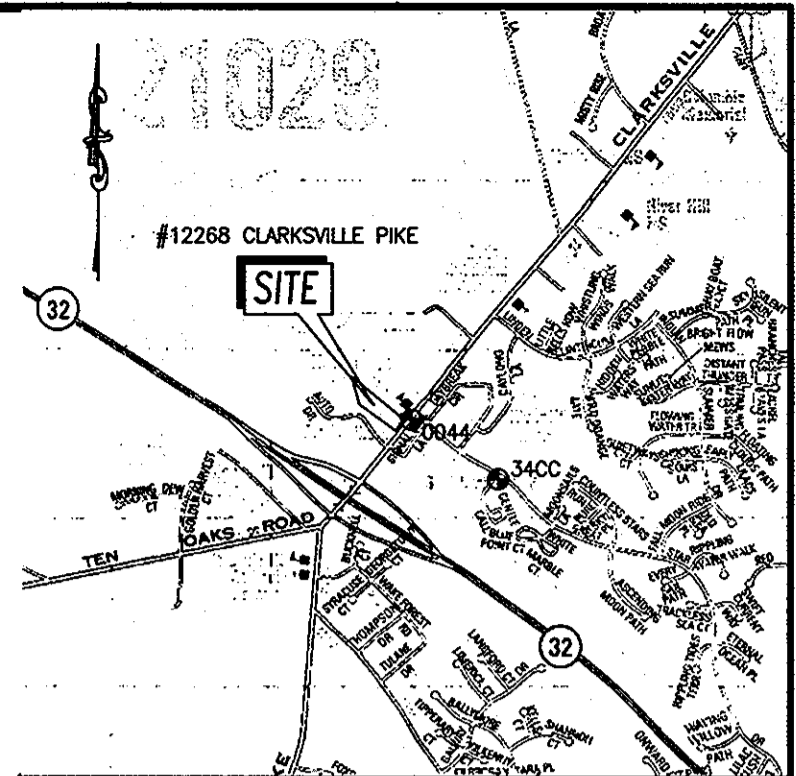
PIZZA HUT PROPERTY

#12268 CLARKSVILLE PIKE

TAX MAP: 34 BLOCK: 6 PARCEL: 27

CLARKSVILLE

HOWARD COUNTY, MARYLAND



VICINITY MAP
Scale 1" = 2000'

HOWARD COUNTY ADC MAP: 14 GRID: E-7
COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE NUMBER 21096444

BENCHMARK INFORMATION

HOWARD COUNTY GEODETIC SURVEY CONTROL
Datum (NAD 1983 Adj 07 - NAVD88)
NOTE: SEE SHEET 2 FOR BENCHMARK PLAN VIEW LOCATIONS.

BM1 - REBAR & CAP (PODOLAK TRAVERSE)
N 562139.7904 E 1329519.8764 ELEV. 494.68
REBAR & CAP set flush with the ground at the location shown on sheet 2.

BM2 - REBAR & CAP (PODOLAK TRAVERSE)
N 562228.8312 E 1329204.8680 ELEV. 482.96
REBAR & CAP set flush with the ground at the location shown on sheet 2.

HOWARD COUNTY GEODETIC SURVEY CONTROL MONUMENTS USED TO ESTABLISH ON-SITE CONTROL SHOWN ON SHEET 2.

DISK '0044' N 562176.4869 E 1329641.8452 ELEV. 484.477
A Howard County control station, being a concrete monument set flush with the ground on the east most side of Md. Rte. 108 at its intersection with Great Star Drive, 112ft. north from utility pole BGE#531720.

DISK '34CC' N 561680.0747 E 1330244.4382 ELEV. 488.416
A Howard County control station, being a concrete monument set flush with the ground on the south most side of Great Star Drive near the entrance to the 'Fiddlers Subdivision' 3.3ft. south of the existing face of curb and 27.5ft. west of an existing fire hydrant.

Topography shown on these plans was field run on April 1, 2010 by Leon A. Podolak & Associates, L.L.C. and is based on the 1988 NAVD as established by the Howard County Survey Control.

****NOTE: ALL COORDINATE VALUES SHOWN ON THESE PLANS ARE BASED ON THE STATE GRID NORTH AS ESTABLISHED BY THE HOWARD COUNTY SURVEY CONTROL NETWORK. SEE ABOVE FOR BENCHMARK INFORMATION ESTABLISHED FOR THIS CONSTRUCTION SITE. COORDINATE VALUES ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR FOR STAKEOUT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF PLAN AND PROFILE DIMENSIONS PRIOR TO FINAL CONSTRUCTION OF EACH ITEM.**

INDEX OF DRAWINGS

- SHEET 1 TITLE SHEET
- SHEET 2 SITE OVERVIEW
- SHEET 3 SITE GRADING DETAIL
- SHEET 4 STORM WATER MANAGEMENT DETAILS and SPECIFICATIONS
- SHEET 5 EROSION and SEDIMENT CONTROL PLAN
- SHEET 6 FOREST CONSERVATION PLAN

ENVIRONMENTAL SITE DESIGN:

This project located at 12268 Clarksville Pike, consists of the development of a 6680 square foot commercial building in the B-2 (Business General) zoning district in Clarksville, Maryland. The 2.21 acre parcel was improved with a 3500 square foot restaurant and an abundance of parking, in accordance with Howard County Site Development Plan SDP-89-21. Storm water management (SWM) for this development is provided by a 10,000 cubic foot Infiltration Basin, located at the northern most portion on the property. A Waiver Petition (WP-11-010) seeking to define the net tract area for this development on the basis of the limits of disturbance has been filed.

Development of the remainder of the property consists of a mixed use commercial building, parking for 26 vehicles, and a loading area in the rear of the building. Stormwater management for this project is provided by a series of Best Management Practices (BMPs) which under this Environmental Site Design (ESD) will infiltrate and attenuate runoff so that discharge from the property will be no greater than a undeveloped site, which is completely wooded.

The area of development was subdivided into six distinct drainage areas, each less than 7,500 square feet in area. Drainage Area A, consists exclusively of the runoff from the roof of the proposed building, and will be captured and directed to a Drywell (Howard County Standard Detail D-9.01). Drainage Area B drains the loading area and a portion of the access road around the side of the building. A porous concrete pavement section with a 12 inch thick stone base was designed to store and infiltrate the runoff from this area. Drainage Area C, which consists primarily of the remainder of the access road around the side of the building, was designed to drain to a Micro BioRetention Facility, located in a parking lot island. Storm water management for the Drainage Areas D, E & F will be provided by sheet flow to pervious pavers which will comprise the parking spaces. Calculations for the design of these SWM devices, or BMPs as it were, is provided herein.

A Waiver Petition (WP-11-010) to allow the limit of disturbance (LOD) to be used as the net tract area for the purpose of Forest Conservation calculations has been approved. Approval is subject to compliance with the following comments associated with this ECP review and that a fee in lieu of providing Forest Conservation will be based on the LOD, which is 0.78 acres, be paid to this Department with the submission of the site development plan (SDP) originals.

SYMBOLS LEGEND

- INDICATES EXISTING CONCRETE CURB AND GUTTER
- M.B.L. INDICATES MINIMUM BUILDING SETBACK LINE
- INDICATES PROPOSED BITUMINOUS CONCRETE PAVEMENT
- INDICATES PROPOSED PERMEABLE PAVEMENT (SEE DETAIL ON SHEET 4)
- INDICATES PROPOSED CONCRETE SIDEWALK & SURFACE AS PER HOWARD CO. DETAIL R-3.05
- INDICATES PROPOSED PERVIOUS CONCRETE SURFACE
- INDICATES PROPOSED PARALLEL SIDEWALK RAMP
- INDICATES PROPOSED SANITARY SEWER MANHOLE
- INDICATES PROPOSED GRADING CONTOUR LINE (SEE SITE GRADING DETAIL ON SHEET 4)
- INDICATES PROPOSED SPOT GRADE ELEVATION
- INDICATES EXISTING GROUND CONTOUR LINE
- INDICATES STORM WATER MANAGEMENT DRYWELL (HOWARD CO. DETAIL D-9.01)
- INDICATES PROPOSED TOP OF CURB ELEVATION
- INDICATES PROPOSED CLEANOUT ASSEMBLY AS PER HOWARD COUNTY DETAILS


SITE ANALYSIS DATA SHEET	
PROJECT AREA:	PARCEL 27 = 2,2139 ACS.± 96,437 SQ.FT.
LIMIT OF DISTURBED AREA:	30,750 SQ.FT. (0.71 AC.±)
PRESENT ZONING:	B-2 (GENERAL BUSINESS DISTRICT)
PROPOSED USE:	RESTAURANT and RETAIL / OFFICE
FLOOR AREA:	EXISTING RESTAURANT- 3,500 SQ.FT. PROPOSED RETAIL BUILDING- 6,680 SQ.FT.
PARKING SPACES REQUIRED:	83 (SEE GENERAL NOTE 6 ON THIS SHEET)
PARKING SPACES PROVIDED:	103 (INCLUDING 4 HANDICAP SPACES)
BUILDING COVERAGE OF SITE:	0.23 AC.± (10.56% OF GROSS AREA)
APPLICABLE DPZ FILE REFERENCES:	SDP-89-21 and WP-11-010

OWNER / DEVELOPER

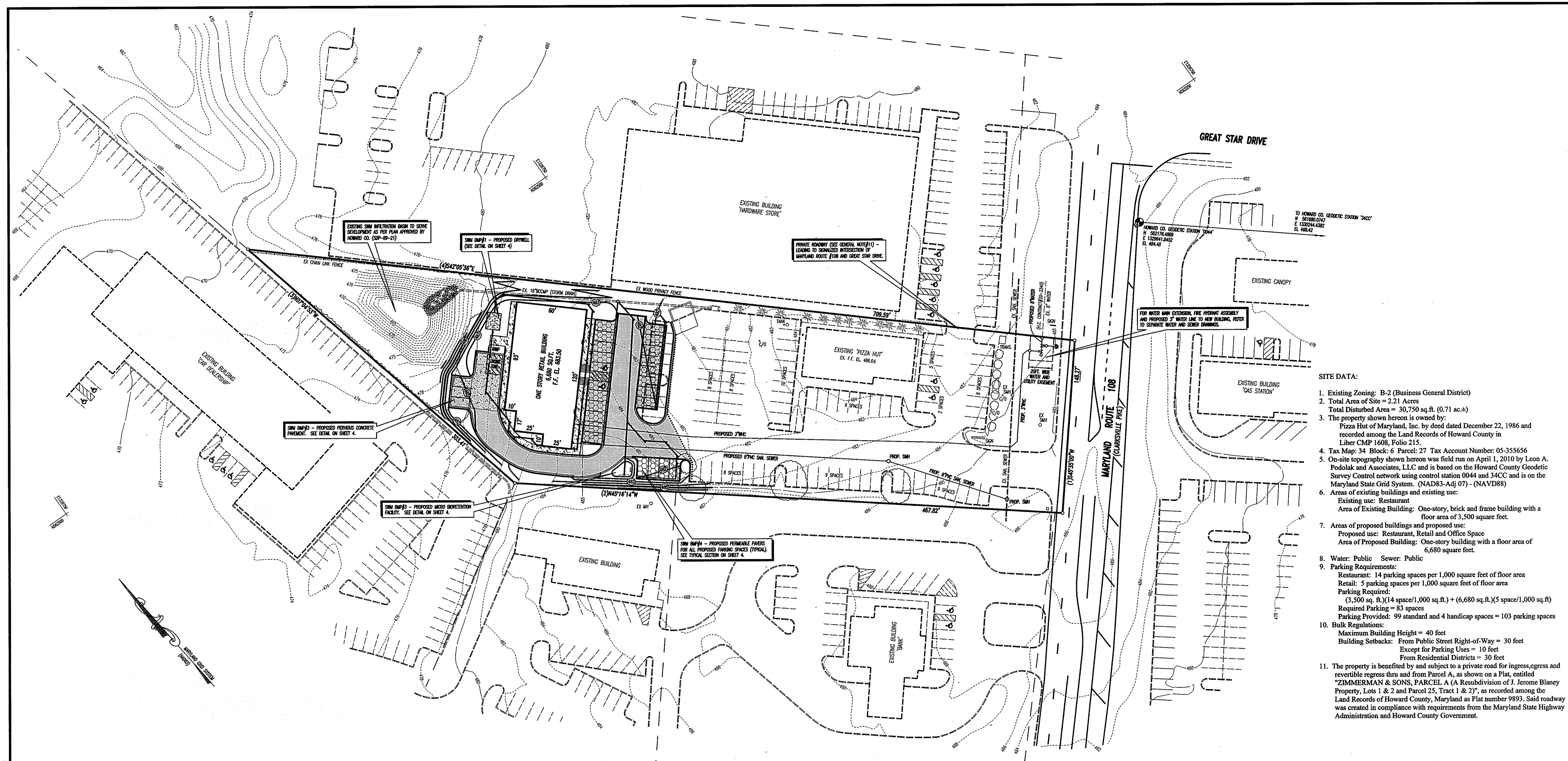
PIZZA HUT OF MARYLAND, INC.
7070 OAKLAND MILLS ROAD
COLUMBIA, MARYLAND 21046
PHONE: (410) 720-6336

TITLE SHEET

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±
5TH ELECTION DISTRICT
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

SHEET 1 OF 6	LEON A. PODOLAK AND ASSOCIATES, L.L.C.	 SURVEYING and CIVIL ENGINEERING 147 East Main St. (P.O. Box 286) Westminster, Maryland 21157 (410) 848-2229 - (410) 876-1226 Date: July 21, 2010 Scale: 1"=40' Drawing No.
	HOWARD COUNTY - Development Engineering Division Chief: <i>John J. J. J.</i> Date: 10/14/10 HOWARD COUNTY - Division of Land Development Chief: <i>Robert S. Deane</i> Date: 10/12/10	

I:\TheProfessional\shred\shred\Job Files\Plan\12268 Clarksville, PA\SITE PLAN\CONCEPT PLAN 2.dwg 10-6-2010



PLAN VIEW
SCALE: 1"=40'

- SITE DATA:**
- Existing Zoning: B-2 (Business General District)
 - Total Area of Site = 2.21 Acres
Total Disturbed Area = 30,750 sq. ft. (0.71 ac.±)
 - The property shown hereon is owned by:
Pizza Hut of Maryland, Inc. by deed dated December 22, 1986 and recorded among the Land Records of Howard County in Liber CMP 1608, Folio 215.
 - Tax Map: 34 Block: 6 Parcel: 27 Tax Account Number: 05-355656
 - On-site topography shown hereon was field run on April 1, 2010 by Leon A. Podolak and Associates, LLC and is based on the Howard County Geodetic Survey Control network using control station 0044 and 34CC and is on the Maryland State Grid System. (NAD83-Adj 07) - (NAVD88)
 - Areas of existing buildings and existing use:
Existing use: Restaurant
Area of Existing Building: One-story, brick and frame building with a floor area of 3,500 square feet.
 - Areas of proposed buildings and proposed use:
Proposed use: Restaurant, Retail and Office Space
Area of Proposed Building: One-story building with a floor area of 6,680 square feet.
 - Water: Public Sewer: Public
 - Parking Requirements:
Restaurant: 14 parking spaces per 1,000 square feet of floor area
Retail: 5 parking spaces per 1,000 square feet of floor area
Parking Required:
(3,500 sq. ft.)(14 space/1,000 sq.ft.) + (6,680 sq.ft.)(5 space/1,000 sq.ft.)
Required Parking = 83 spaces
Parking Provided: 99 standard and 4 handicap spaces = 103 parking spaces
 - Bulk Regulations:
Maximum Building Height = 40 feet
Building Setbacks: From Public Street Right-of-Way = 30 feet
Except for Parking Uses = 10 feet
From Residential Districts = 30 feet
 - The property is benefited by and subject to a private road for ingress and egress and reversible regress thru and from Parcel A, as shown on a Plat, entitled "ZIMMERMAN & SONS, PARCEL A (A Subdivision of J. Jerome Blaney Property, Lots 1 & 2 and Parcel 25, Tract 1 & 2)", as recorded among the Land Records of Howard County, Maryland as Plat number 9893. Said roadway was created in compliance with requirements from the Maryland State Highway Administration and Howard County Government.

SYMBOLS LEGEND

- INDICATES EXISTING CONCRETE CURB AND GUTTER
- M.B.L. INDICATES MINIMUM BUILDING SETBACK LINE
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- INDICATES PROPOSED TOP OF CURB ELEVATION
- C/O INDICATES PROPOSED CLEANOUT ASSEMBLY AS PER HOWARD COUNTY DETAILS

SITE OVERVIEW

OWNER / DEVELOPER
PIZZA HUT OF MARYLAND, INC.
7070 OAKLAND MILLS ROAD
COLUMBIA, MARYLAND 21046
PHONE: (410) 720-6336

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±
5TH ELECTION DISTRICT
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

LEON A. PODOLAK and ASSOCIATES, L.L.C.

HOWARD COUNTY - Development Engineering Division
Chief: *John Deveraux* Date: 10/14/10
HOWARD COUNTY - Division of Land Development
Chief: *Kirsten Lane* Date: 10/12/10

SHEET
2
OF
6



SURVEYING and CIVIL ENGINEERING
117 East Main St. (P.O. Box 286) Westminster, Maryland 21157
(410) 848-2229 - (410) 876-1228
Leon A. Podolak
Peter L. Podolak
Professional Engineer Reg. No. 19561

Date	Revision
9-14-10	1
10-6-10	2

Date: July 21, 2010
Scale: 1"=40'
Drawing No. _____

TEMPORARY SEEDING NOTES

Scope: Planting short term (no more than 1 year) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to the "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" Published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service, and the State Soil Conservation Committee.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See G-20 Sec. 1-C.

Fertilizer shall consist of a mixture of 10-10-10 and be applied at a rate of 600 lb per acre (15 lb per 1000 sq.ft.) and will meet the requirements in G-20 Sec. 1-B.

Lime shall be applied at a rate of 2 tons per acre (100 lb per 1000 sq.ft.) and shall meet the requirements in G-20 Sec. 1-B.

Seed tags shall be made available to the inspector to verify the type and rate of seed used. The seed must meet the requirements in G-20 Sec. 1-C.

Mulching will be applied immediately after seeding and will need to meet the requirements in G-20 Sec. 1-F, G, & H.

Seeding mixtures shall be selected from or will be equal to those on Table 26.

Temporary Seeding Summary

Table with 5 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths. Row 1: 2, Barley or Rye plus Foxtail Millet, 150, 3/15 to 11/15, 1"

PERMANENT SEEDING NOTES

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 1 year.

Standards: The following notes shall conform to the "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" Published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service, and the State Soil Conservation Committee.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See G-20 Sec. 1-C.

For sites over 5 ac. soil tests will be performed to determine the exact mixture and application rates for both lime and fertilizer. Soil tests will be prepared by the University of Maryland or a recognized commercial laboratory. If the existing soil does not meet the minimum conditions as stated in G-20 Sec. 1-C-i, then topsoil will need to be obtained that meets these conditions and applied so as to meet the requirements in G-21.

For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply.

Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates:

Table with 2 columns: Application Rate, Seeding Dates. Row 1: N=90 lb per acre (2 lb per 1000 sq.ft.), P205= 175 lb per acre (4 lb per 1000 sq.ft.), K20= 175 lb per acre (4 lb per 1000 sq.ft.)

Fertilizer shall meet the requirements in G-20 Sec. 1-B.

Lime shall be applied at a rate of 2 tons per acre (100 lb per 1000 sq.ft.) and shall meet the requirements in G-20 Sec. 1-B.

Seed tags shall be made available to the inspector to verify the type and rate of seed used. The seed must meet the requirements in G-20 Sec. 1-C.

Mulching will be applied immediately after seeding and will need to meet the requirements in G-20 Sec. 1-F, G, & H.

Refer to G-20 Sec. 1-E for Methods of Seeding specifications.

Refer to G-20 Sec. 4 for Sod specifications.

Refer to G-20 Sec. 5 for Turfgrass Establishment specifications.

Seeding mixtures shall be selected from or will be equal to those on Table 25.

Permanent Seeding Summary

Table with 5 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths. Row 1: 3, Tall Fescue (85%), Permanent Ryegrass (10%), Kentucky Bluegrass (5%), 125, 3/1 to 5/15, 1"

PLAN VIEW

SCALE: 1"=20'

SYMBOLS LEGEND

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M.B.L. INDICATES MINIMUM BUILDING SETBACK LINE
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INDICATES PROPOSED TOP OF CURB ELEVATION
INDICATES PROPOSED CLEANOUT ASSEMBLY AS PER HOWARD COUNTY DETAILS
LOD --- INDICATES LIMITS OF DISTURBANCE

SITE GRADING DETAIL

OWNER / DEVELOPER

PIZZA HUT OF MARYLAND, INC. 7070 OAKLAND MILLS ROAD COLUMBIA, MARYLAND 21046 PHONE: (410) 720-6336

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.± ECP-11-009

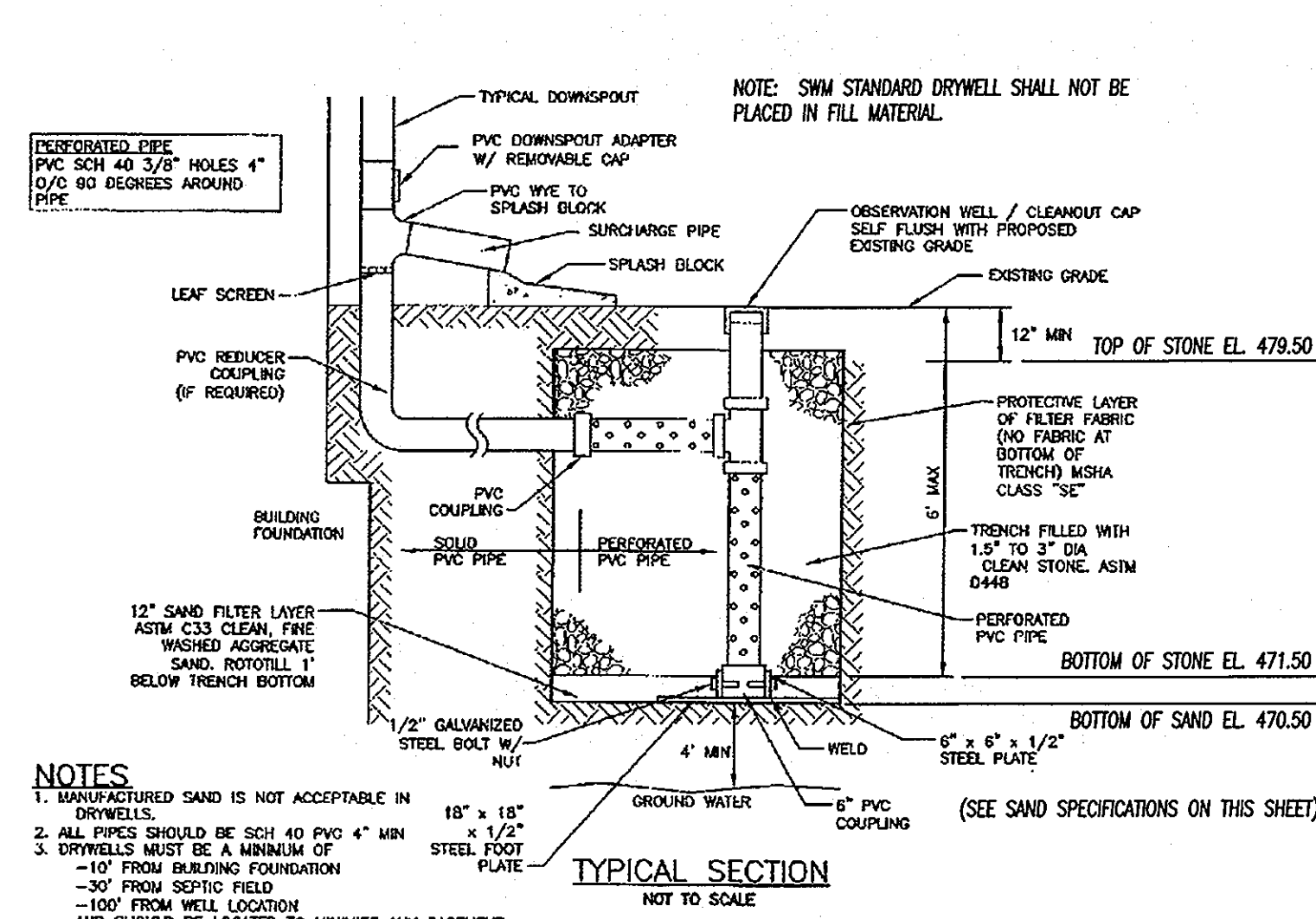
5TH ELECTION DISTRICT TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

#12268 CLARKSVILLE PIKE - ZONED: B-2

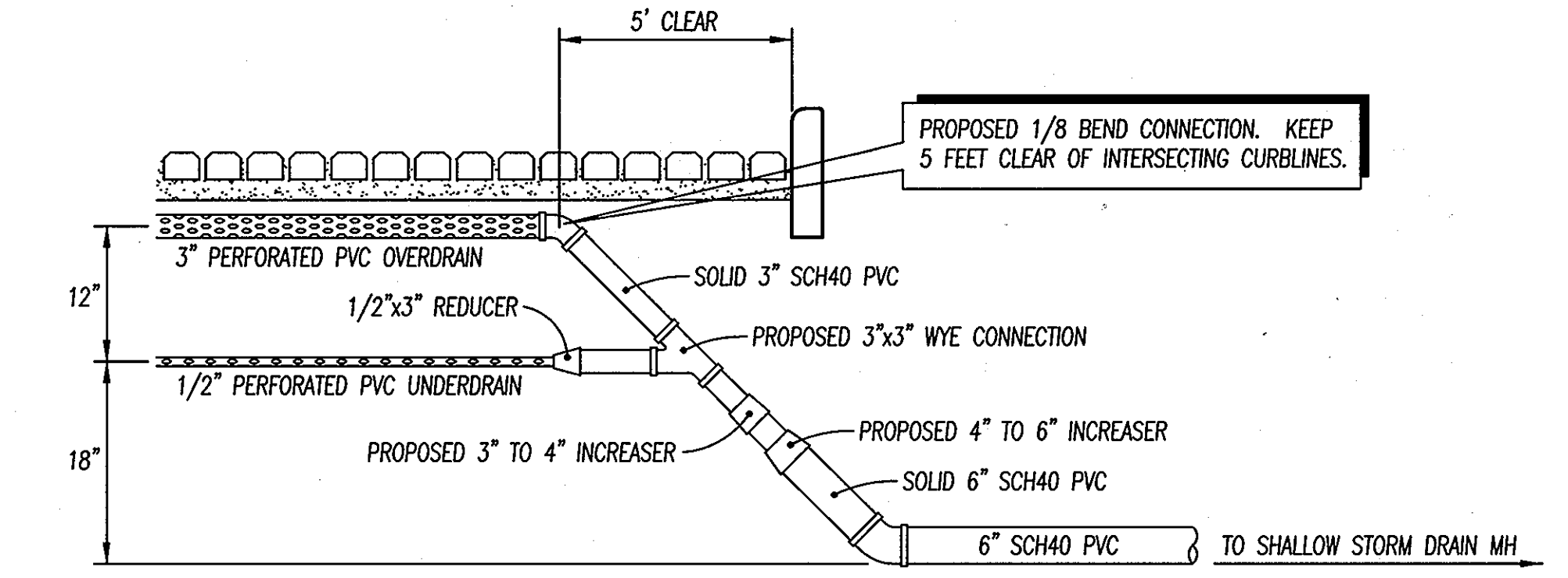
LEON A. PODOLAK and ASSOCIATES, L.L.C.

Professional Engineer stamps and signatures for Peter L. Podolak, including date July 21, 2010 and scale 1"=20'.

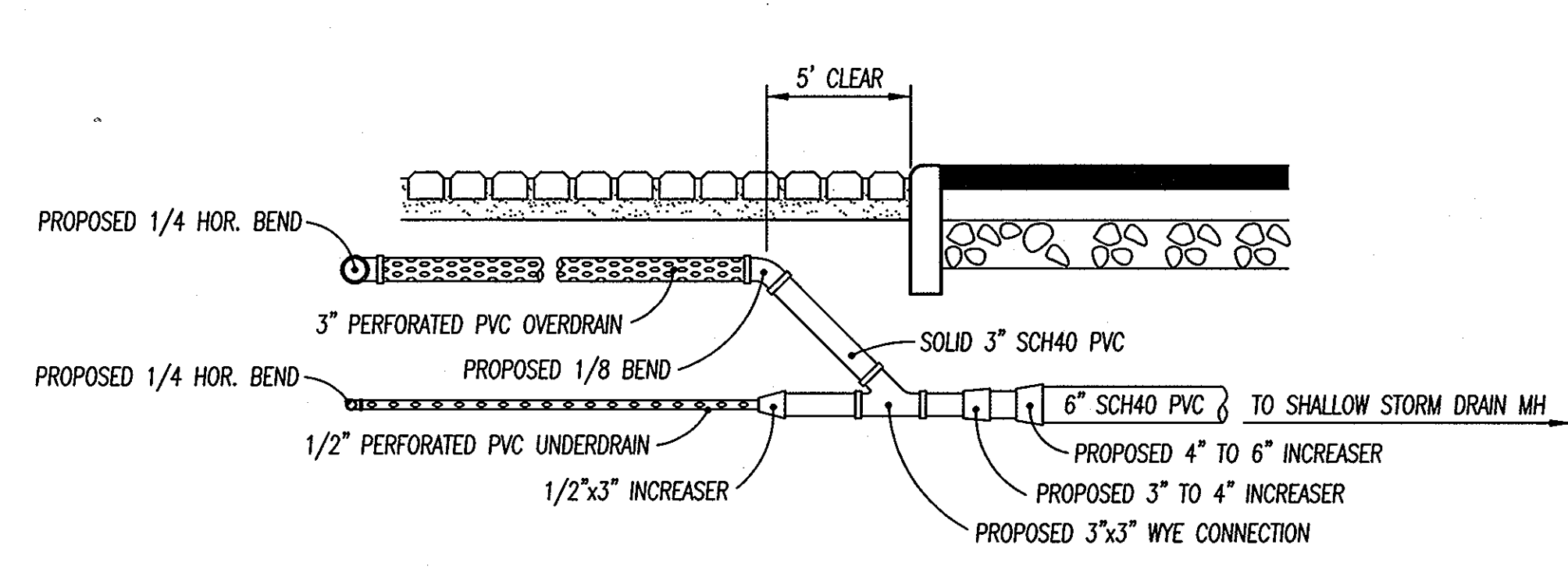
HOWARD COUNTY - Development Engineering Division and Division of Land Development stamps and signatures.



- NOTES**
- MANUFACTURED SAND IS NOT ACCEPTABLE IN DRYWELLS.
 - ALL PIPES SHOULD BE SCH 40 PVC 4" MIN.
 - DRYWELLS MUST BE A MINIMUM OF 10' FROM BUILDING FOUNDATION -30' FROM SEPTIC FIELD -100' FROM WELL LOCATION AND SHOULD BE LOCATED TO MINIMIZE ANY BASEMENT SEEPAGE.
 - MINIMUM NUMBER OF PERFORATIONS SHALL BE 5 TIMES PIPE AREA.
 - TRENCH MAY NOT BE INSTALLED IN FILL.



OVERDRAIN & UNDERDRAIN PIPING CONNECTION DETAIL FOR PARKING AREAS IN FRONT OF PROPOSED BUILDING
NOT TO SCALE



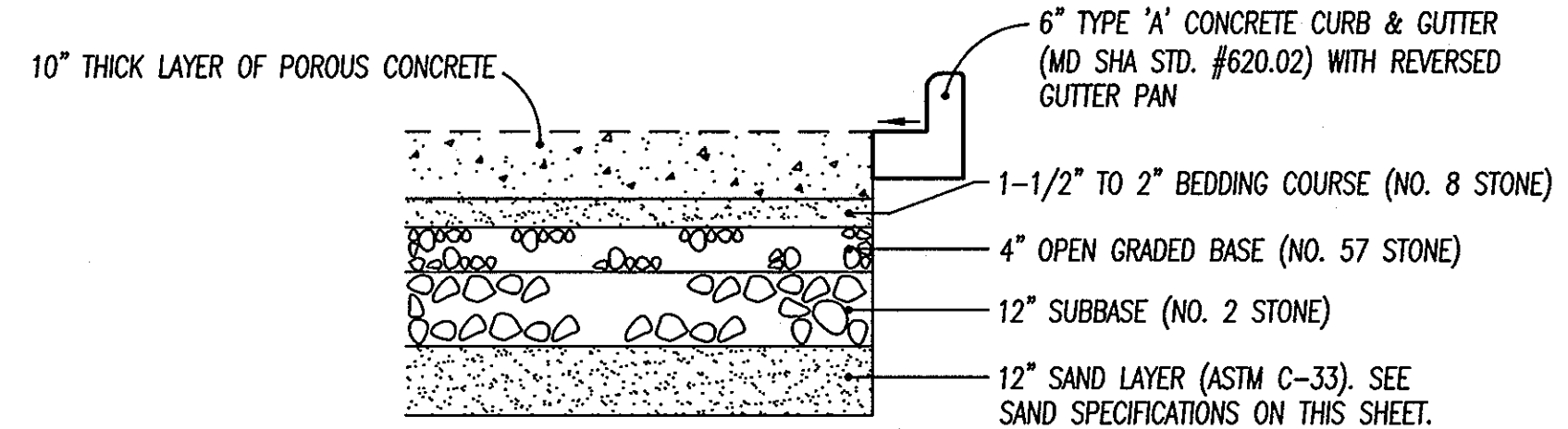
OVERDRAIN & UNDERDRAIN PIPING CONNECTION DETAIL FOR FOUR PARKING SPACES ALONG SOUTHWESTERN PROPERTY LINE
NOT TO SCALE

STORM WATER MANAGEMENT BMP#1 DRYWELL DETAIL
HOWARD COUNTY DETAIL NO. D-9-01
NOT TO SCALE

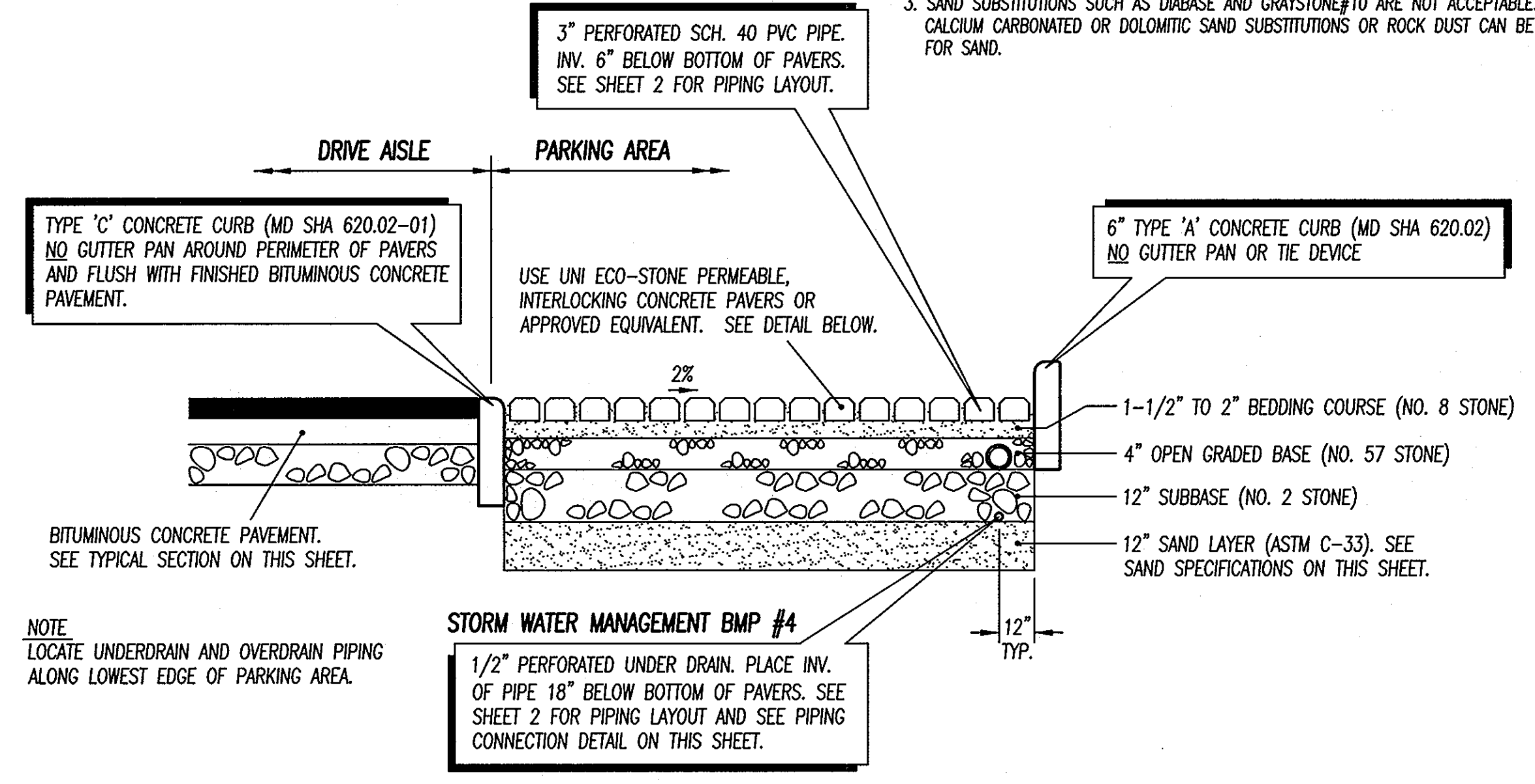
- SAND SPECIFICATIONS:**
- SAND SHALL BE ASTM-C33 AND HAVE AN EFFECTIVE SIZE BETWEEN 0.25MM AND 0.50MM WITH A UNIFORMITY COEFFICIENT OF 3.5 OR LESS.
 - IF IT IS NOT POSSIBLE TO PROVIDE A SAND MEETING THIS SPECIFICATION, THEN AN ALTERNATIVE OR NON-CONVENTIONAL SAND, MEETING THE FOLLOWING SPECIFICATION CAN BE USED PROVIDED THAT THE CONTRACTOR PROVIDES THE ENGINEER WITH A SIEVE ANALYSIS. THE SAND FILL SHALL CONTAIN 20 PERCENT OR LESS MATERIAL LARGER THAN 2.0mm, SHALL CONTAIN 5 PERCENT OR LESS MATERIAL FINER THAN 0.053mm AND SHALL MEET ONE OF THE FOLLOWING SPECIFICATIONS:
 - ASTM C-33 SPECIFICATION
 - SHALL HAVE AN EFFECTIVE DIAMETER (0.15mm D_{10} <math>< 0.30mm</math>) BETWEEN 0.15mm AND 0.30mm (INCLUSIVE) WITH A COEFFICIENT OF UNIFORMITY BETWEEN 4 AND 6. (
 - SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE#10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS OR ROCK DUST CAN BE USED FOR SAND.

- PVC PIPE SPECIFICATIONS**
- PERFORATED PVC PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3034-80. SCHEDULE 40 PVC PIPE MAY BE PERFORATED ON SITE BY DRILLING 1/2" DIAMETER HOLES SPACED AT 6" ON CENTERS AROUND PERIMETER OF PIPE. ALL BURRS MUST BE REMOVED FROM INTERIOR OF DRILLED PIPE PRIOR TO INSTALLATION. A PVC COUPLING SHALL BE PROVIDED WHERE PERFORATED DRAIN PIPE AND SOLID DRAIN PIPE CONNECT.

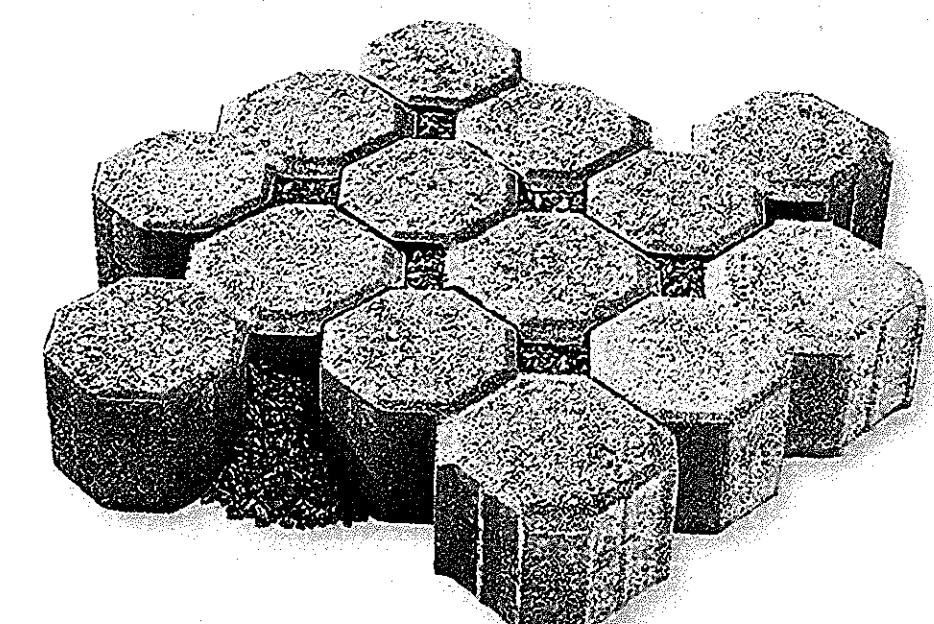
- NOTES**
- STEEL ENCAPSULATED LADDER RUNGS AS PER MD. SHA 381.92 SHALL BE PROVIDED FOR ALL STRUCTURES, INCLUDING YARD INLETS.
 - SHA NO. 57 STONE AGGREGATE SHALL BE USED FOR THE BASE OF ALL STRUCTURES.
 - FILTER CLOTH SHALL MEET OR EXCEED THE FOLLOWING PHYSICAL PROPERTIES:
 - Permeability (ASTM D49185) = 0.1sec⁻¹(MIN)
 - Opening Size (ASTM D4751-87) = 60 (U.S. sieve size) (MAX)
 - Flowrate (ASTM D4451-85) = 10 gal/min/ft (MIN)
 - Mullen Burst (ASTM D3786) = 200 psi (MIN)
 - ALL STONE AGGREGATE SHALL BE WASHED AND FREE OF DUST, DIRT AND FINE MATERIAL.



SWM BMP #2 POROUS CONCRETE PAVEMENT DETAIL
NOT TO SCALE



STORM WATER MANAGEMENT BMP #4 TYPICAL SECTION SECTION of PERMEABLE PAVERS for PARKING AREAS
NOT TO SCALE



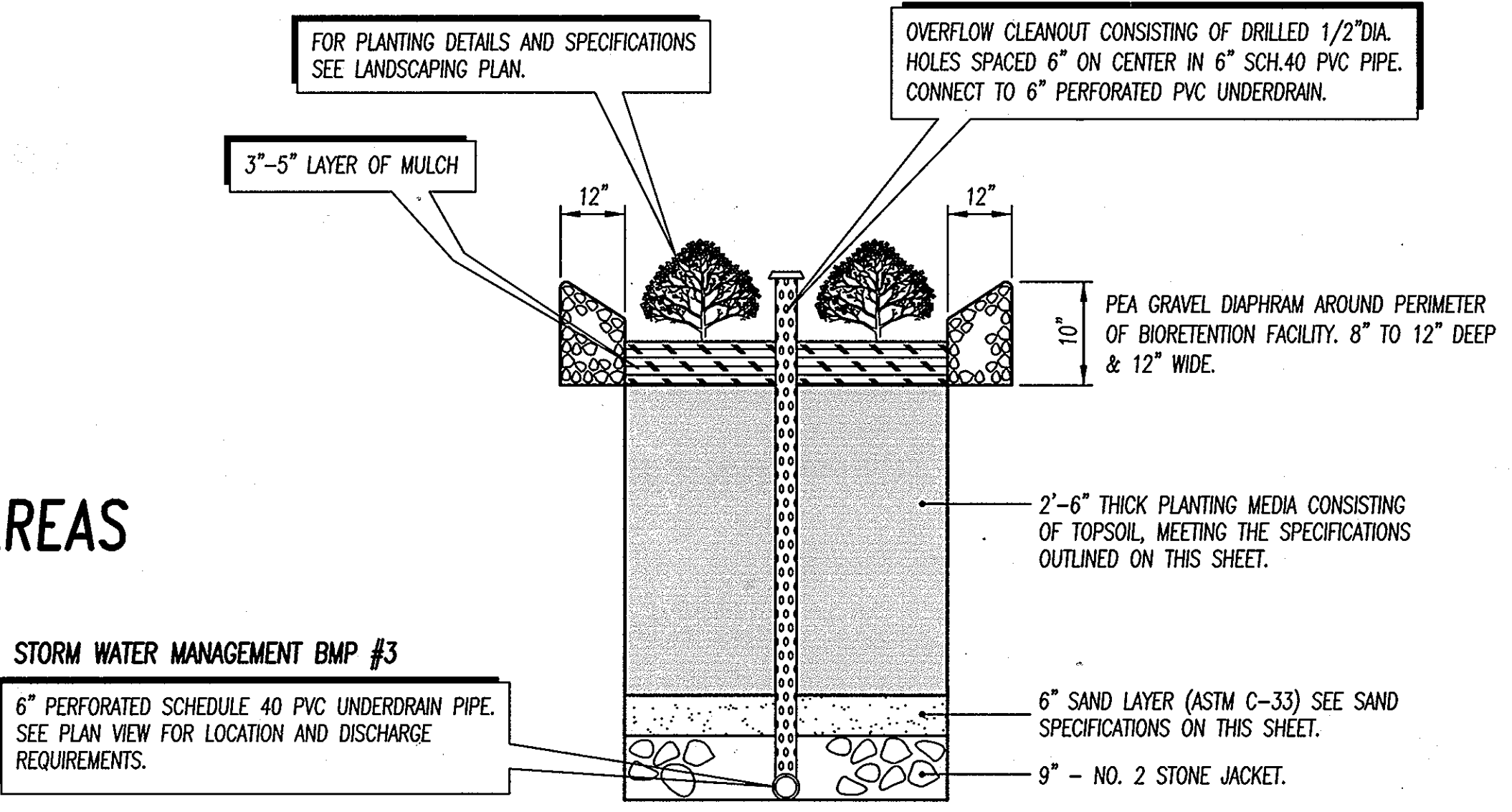
Physical Characteristics

Height/Thickness	3 1/8" = 80mm
Width	4 1/2" = 115mm
Length	9" = 230mm
Pavers per sq ft	= 3.55
Percentage of drainage void area per sq ft	= 12.18%

Composition and Manufacture

Minimum compressive strength - 8000psi
Maximum water absorption - 5%
Meets or exceeds ASTM C-936 and freeze-thaw testing per section 8 of ASTM C-67.

BALCON/BETCO
2630 Conway Road, Crofton, MD 21114
(410) 721-1900 / FAX (410) 793-0657
800-580-5838
Baltimore (410) 793-0638
Metro Washington, DC (301) 261-0200
http://www.balcon.biz/



STORM WATER MANAGEMENT BMP #3 MICRO BIO-RETENTION FACILITY DETAIL
NOT TO SCALE

STORM WATER MANAGEMENT DETAILS and SPECIFICATIONS

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.± ECP-11-009
5TH ELECTION DISTRICT
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

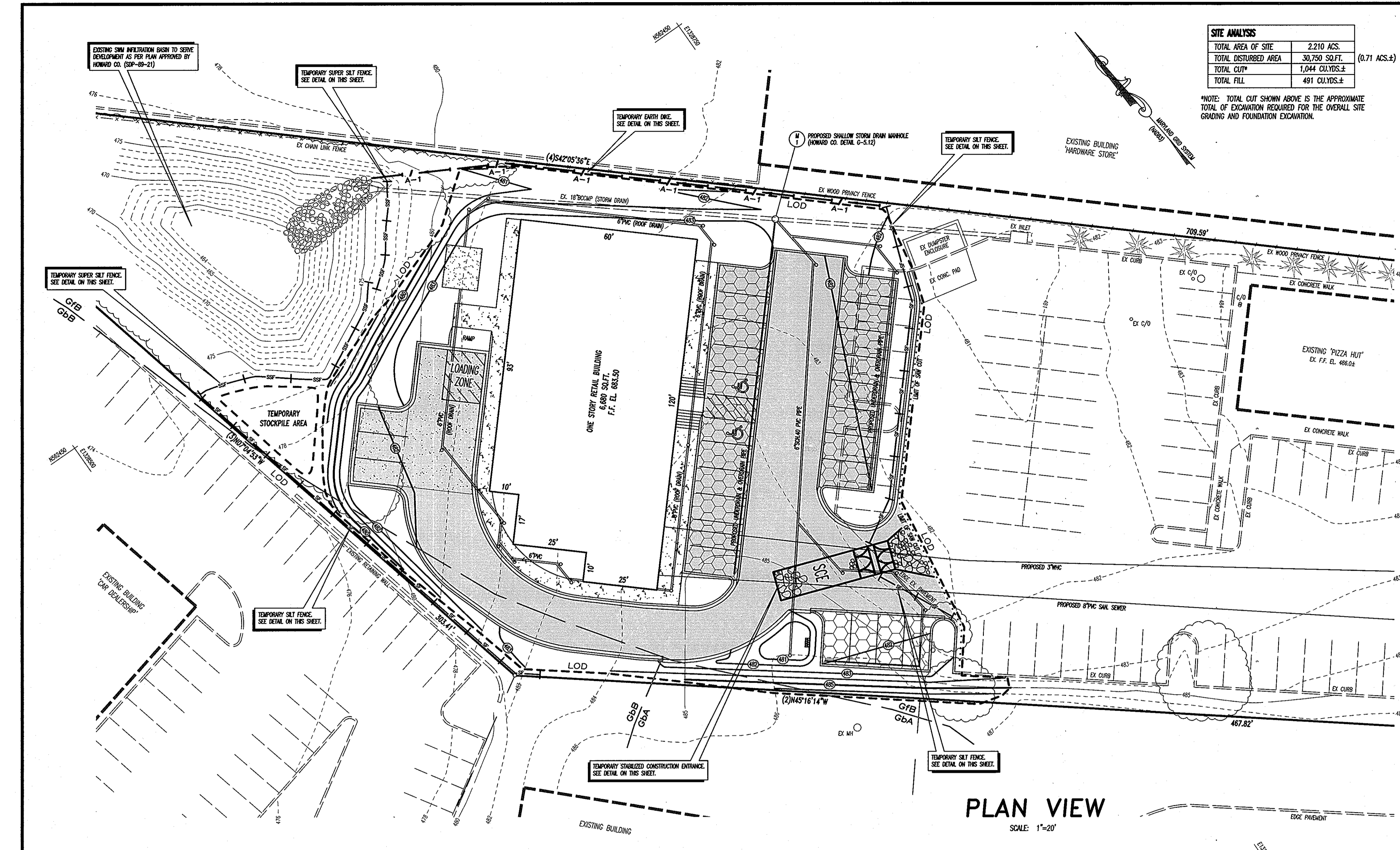
LEON A. PODOLAK and ASSOCIATES, L.L.C.

SURVEYING and CIVIL ENGINEERING
147 East Main St. (P.O. Box 266) Westminster, Maryland 21157
(410) 848-2229 - (410) 876-1228

Date: July 21, 2010
Scale: 1"=20'
Drawing No.:

HOWARD COUNTY - Development Engineering Division
Chief: [Signature] Date 10/14/10
HOWARD COUNTY - Division of Land Development
Chief: [Signature] Date 10/16/10

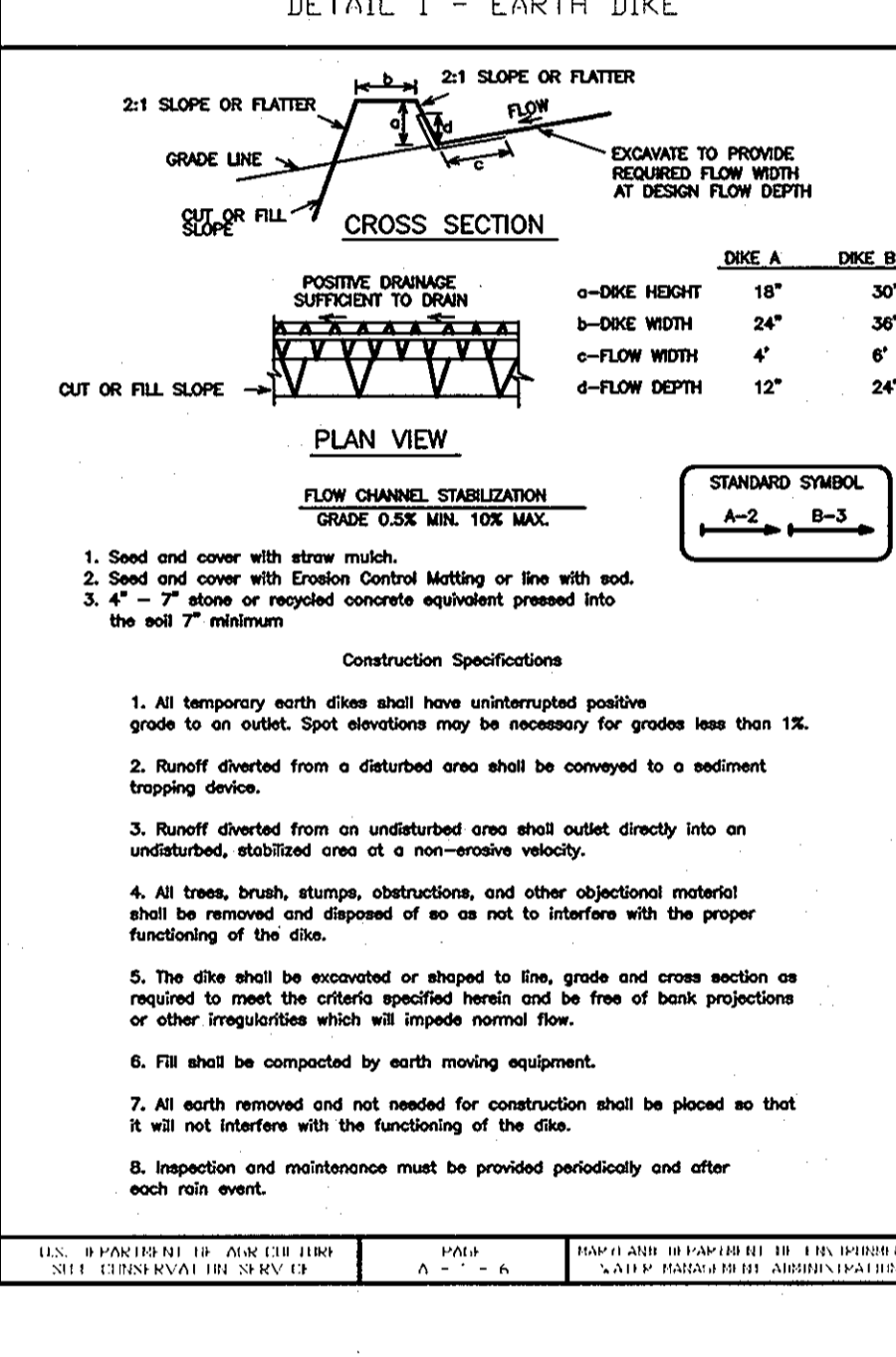
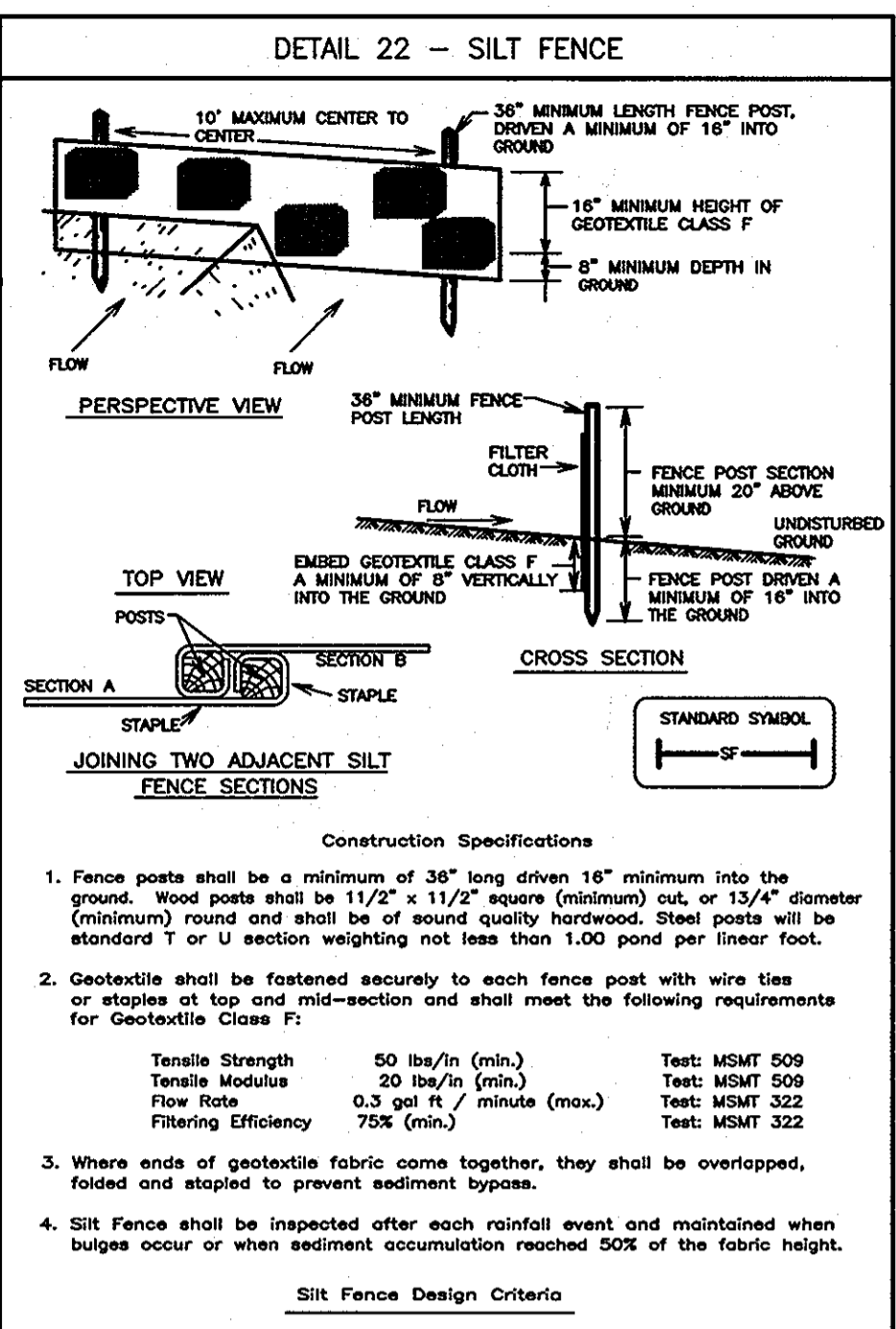
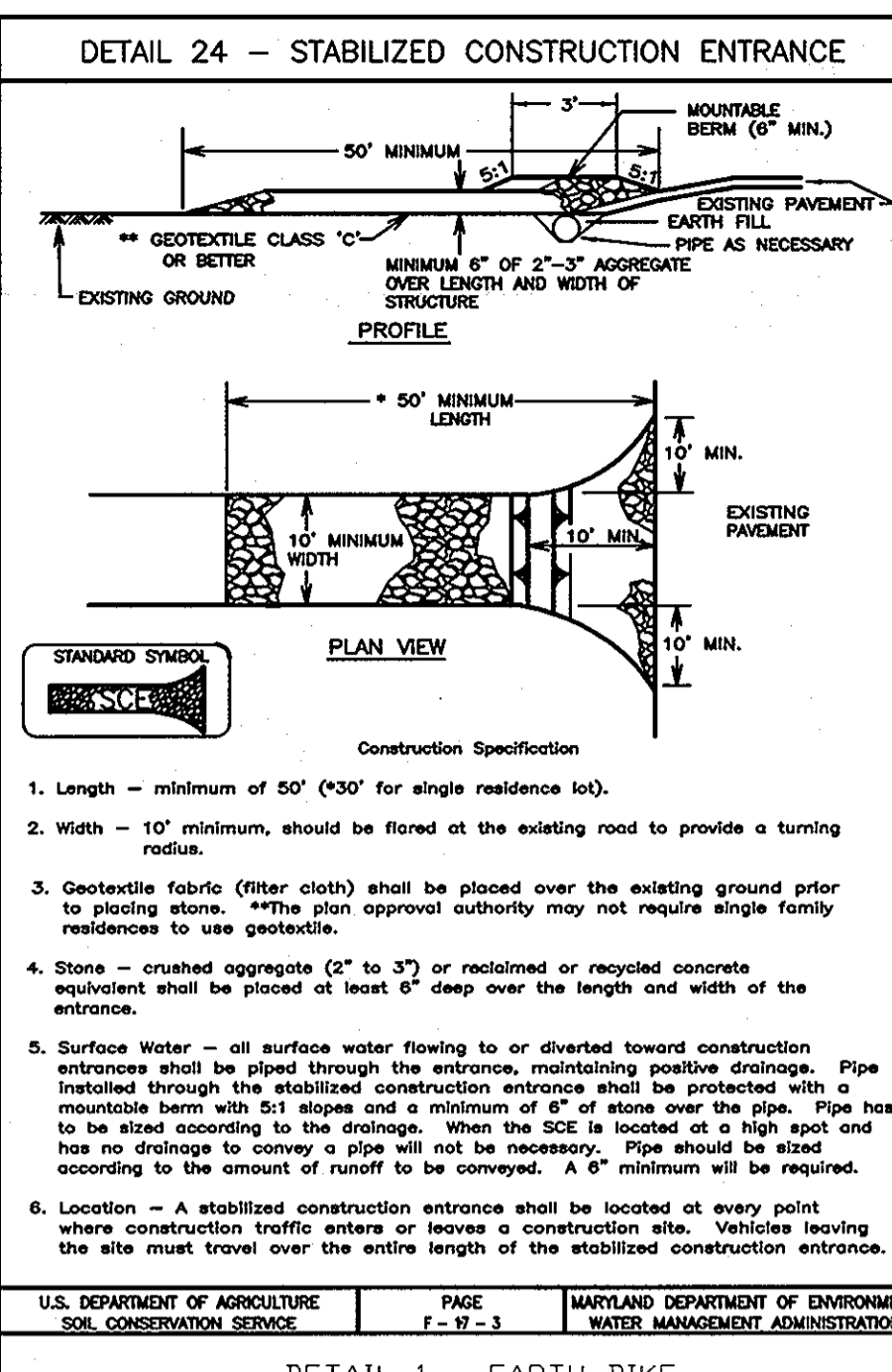
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SITE ANALYSIS

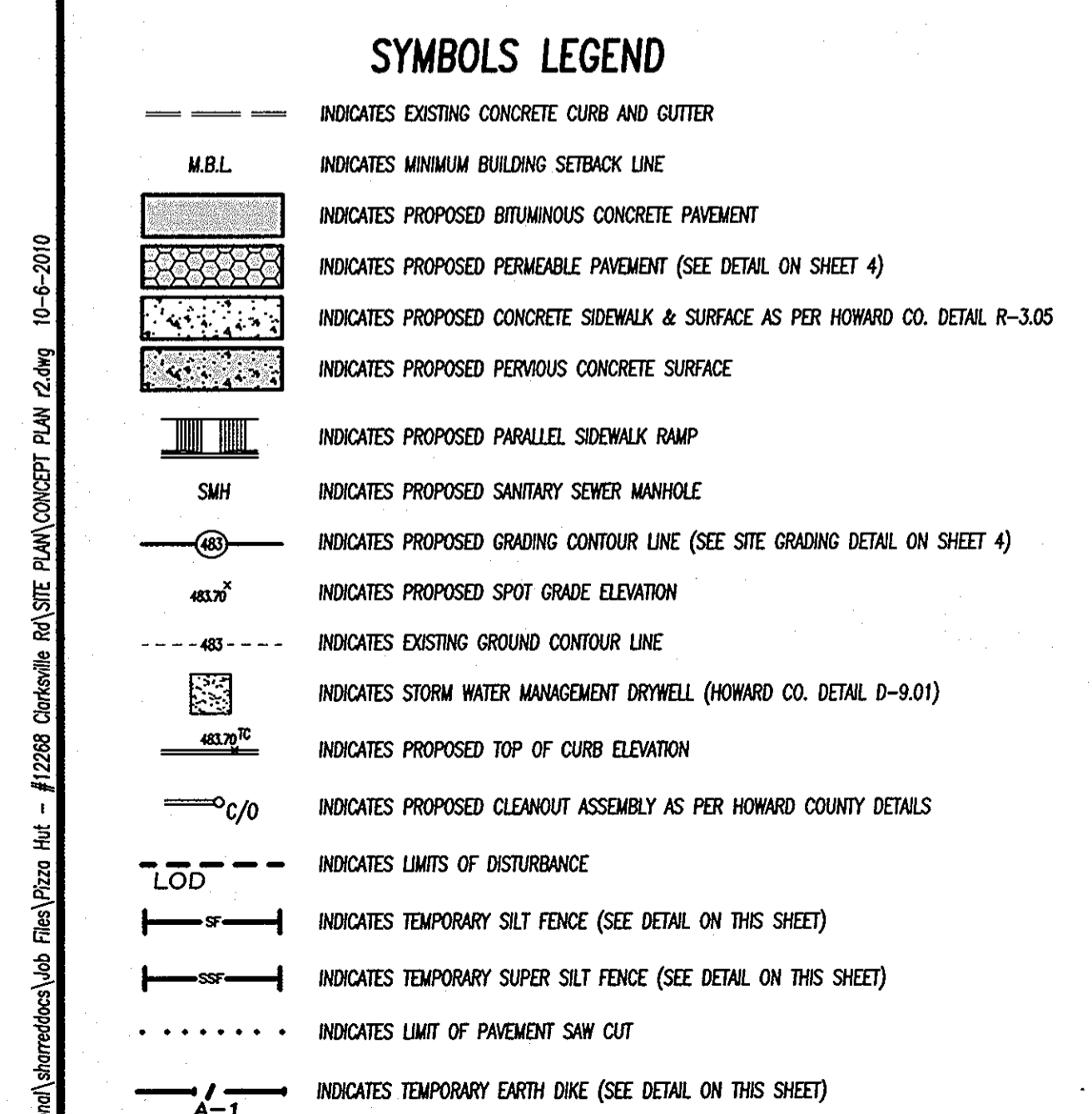
TOTAL AREA OF SITE	2,210 ACS.
TOTAL DISTURBED AREA	30,750 SQ.FT. (0.71 ACS.±)
TOTAL CUT*	1,044 CU.YDS.±
TOTAL FILL	491 CU.YDS.±

*NOTE: TOTAL CUT SHOWN ABOVE IS THE APPROXIMATE TOTAL OF EXCAVATION REQUIRED FOR THE OVERALL SITE GRADING AND FOUNDATION EXCAVATION.



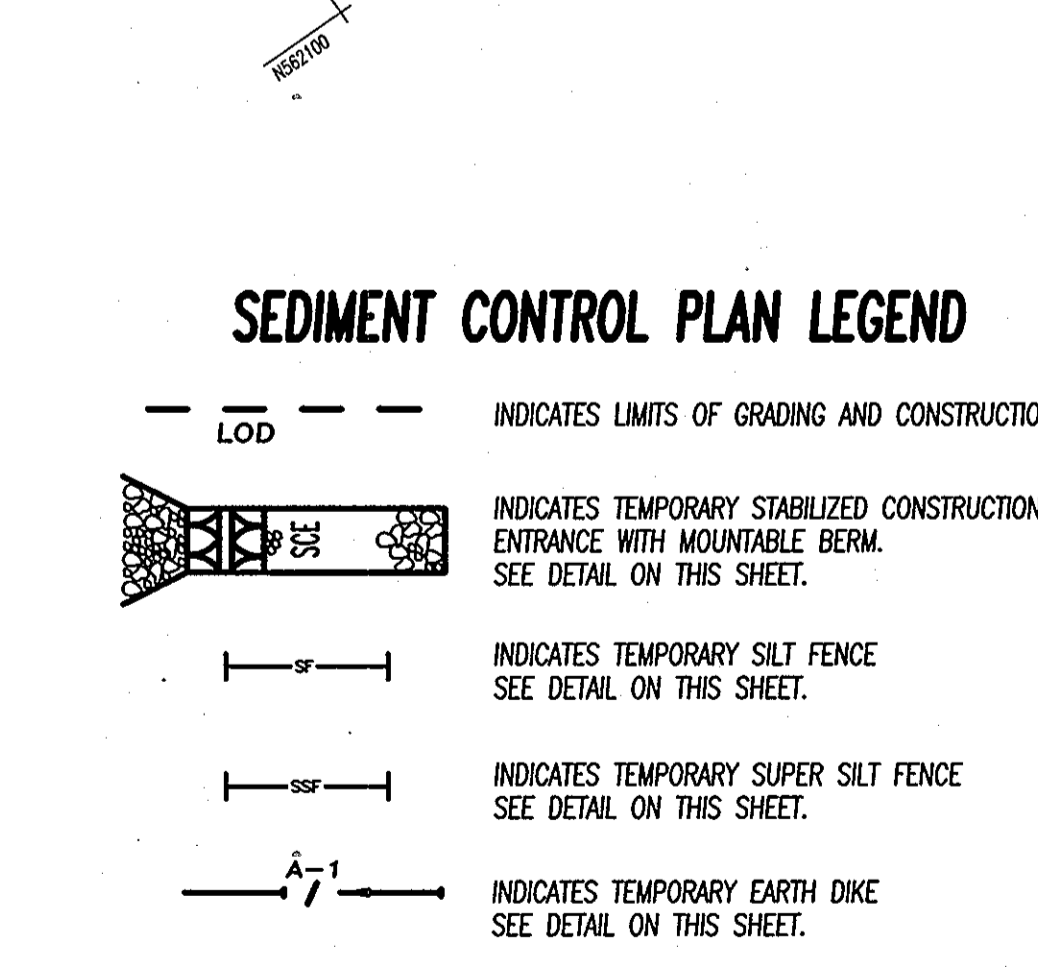
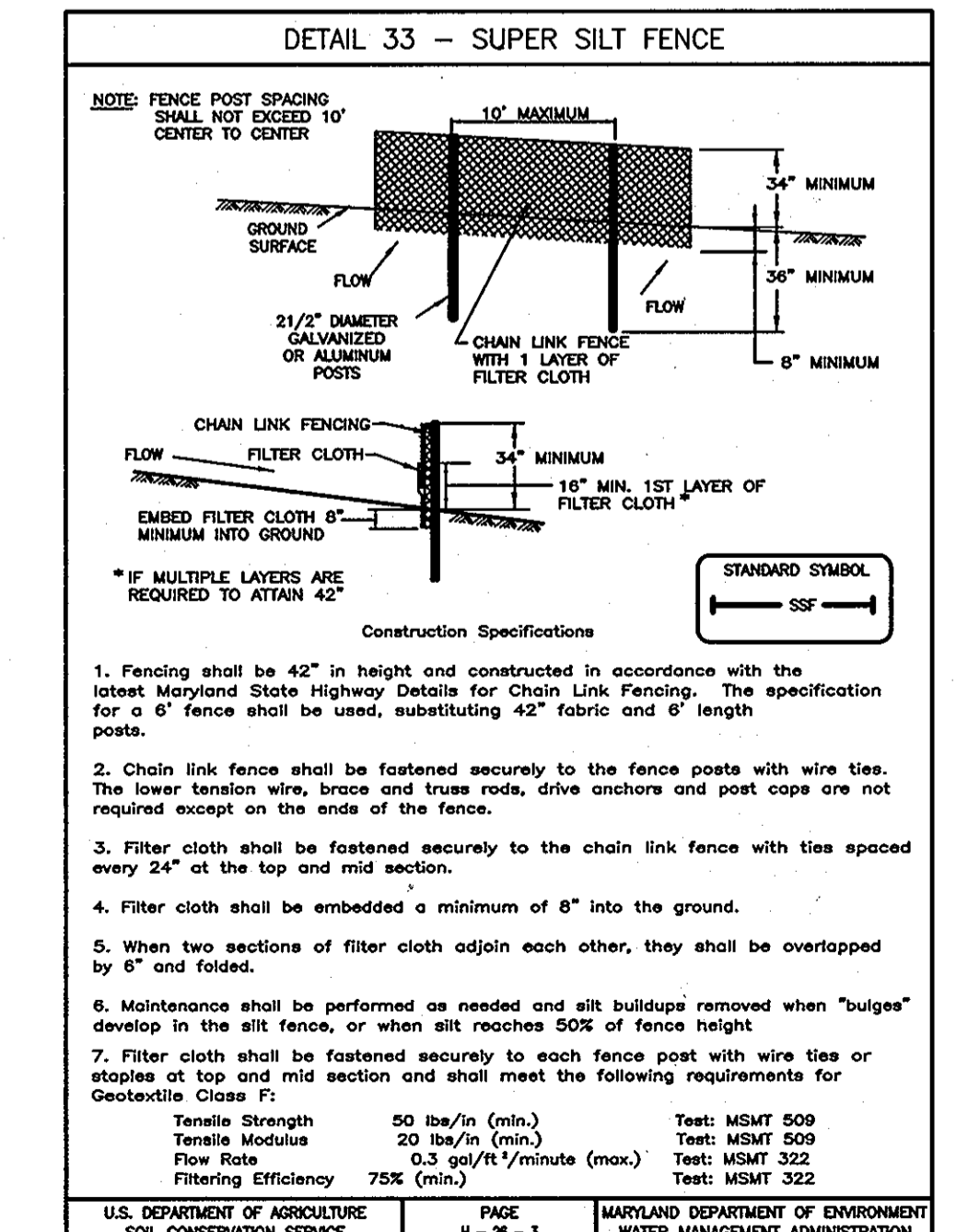
SEDIMENT AND EROSION CONTROL NOTES

- All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and the State Soil Conservation Committee (referenced as the 94 Standards and Specs.).
- Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 14 days (7 days for steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 1 year will need to be permanently vegetated.
- For specifications on permanent or temporary stabilization see G-20.
- Mulching can only be used on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see G-20 - Sec. 1, C, & H.
- For specifications on the stabilization of cut and fill slopes greater than 3 horizontal to 1 vertical, see G-20 - Sec. 1, I & J.
- The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the Soil Conservation District.
- Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
- No proposed slope shall be greater than 2:1.
- All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 94 Standards and Specs.
- The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
- The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the sediment control inspector.



REQUIRED SEQUENCE OF CONSTRUCTION

- Contact the Howard County Department of Public Works, Construction Inspection Division at 410-313-1855 at least three working days prior to commencing any work, to schedule pre-construction meeting. Also at this time contact the office of Leon A. Podolak and Associates 410-876-1226 (Engineer) to arrange for inspection of the construction of the storm water management facilities. Work with the Maryland State Highway Right-of-Way will require a utility permit from the district office.
- Clear and grub brush as necessary to install perimeter sediment control devices and topsoil stockpile. Install stabilized construction entrance, silt fence and straw bale dikes along the perimeter of the saw cut made into the existing pavement. Test pit for vertical and horizontal location of existing utilities, specifically for the storm drain pipe in the vicinity of proposed Storm Drain Manhole M-1; for the water main within the Right-of-Way of Maryland Rte. 188; and for the sanitary sewer for the placement of Sanitary Manhole SM-1.
- Upon approval of the Sediment Control Inspector, strip topsoil, stockpile at the northwestern portion of the property, and stabilize in accordance with temporary seeding specifications. Grade site to lines and elevations shown on plan. Excess borrow material shall be hauled from the site and disposed of properly. All fill material shall be compacted in 8 inch layers and to a dry density of 95 percent, as measured by ASTM Method P-99.
- Extend water main and install fire hydrant and related appurtenances as depicted on the plan. Install tapping sleeve, valve and roadway box and install building water connection. Repair trenching pavement in accordance with specifications depicted on plans.
- Install in-line manhole above existing sanitary sewer and install building sewer connection, including intermediate sanitary manhole. Repair trenching pavement in accordance with specifications depicted on plans.
- Final grade for building and install floor slab. Begin construction of building.
- At this time, contact the office of Leon A. Podolak and Associates at 410-876-1226 (Engineer) to arrange for inspection of the construction of the storm water management facilities. Install Storm Drain Manhole M-1 and install all piping and drainage to this manhole, including underdrain from BioRetention Facility and piping connections for pervious concrete paved parking areas. Do not install perforated underdrains or overdrains for parking areas at this time.
- Install roof drain piping and install concrete curbing. Excavate and install perforated underdrain for BioRetention Facility. Contact Engineer for As-Built verification of trench. Install steel plate and PVC coupling for Observation Well and install this perforated pipe and as depicted on plan. Line walls of excavation with approved filter fabric. But do not place filter cloth on bottom of drywell. Install sand layer and upon approval of the Engineer, place and compact stone within the trench assembly. Fold filter cloth over top of trench, making sure there is a minimum 2 foot overlap between adjacent rolls. Backfill over drywell in 8 inch lifts and compact to a dry density of 95 percent, as measured by ASTM Method T-99.
- Excavate for pervious areas and contact Engineer for As-Built verification of excavation. Upon Engineer's approval, install sand layer and perforated underdrain. Install stone subbase and perforated overdrain piping and connect to piping leading to Manhole M-1. Install graded base and bedding course and place pervious concrete pavers in place.
- Excavate for porous concrete pavement and contact engineer for As-Built verification of excavation. Upon engineer's approval, install and compact sand layer, stone subbase, graded base and bedding. Pour porous concrete in accordance with manufacturer's recommendations. Install stone base and bituminous concrete base course on all parking lot access aisles and that portion of the access road leading around the building which will not have a porous concrete surface. Install bituminous concrete surface course.
- Final grade all pervious areas and stabilize with 2 inches of topsoil, and seed in accordance with permanent seeding specifications. Landscape in accordance with approved landscaping plan and add mulch to BioRetention Area.
- Upon approval of the Howard County Sediment Control Inspector, remove all temporary sediment control devices.



EROSION and SEDIMENT CONTROL PLAN

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.± ECP-11-009
5TH ELECTION DISTRICT
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

LEON A. PODOLAK and ASSOCIATES, L.L.C.

147 East Main St. (P.O. Box 266) Westminster, Maryland 21157
(410) 848-2229 - (410) 876-1226

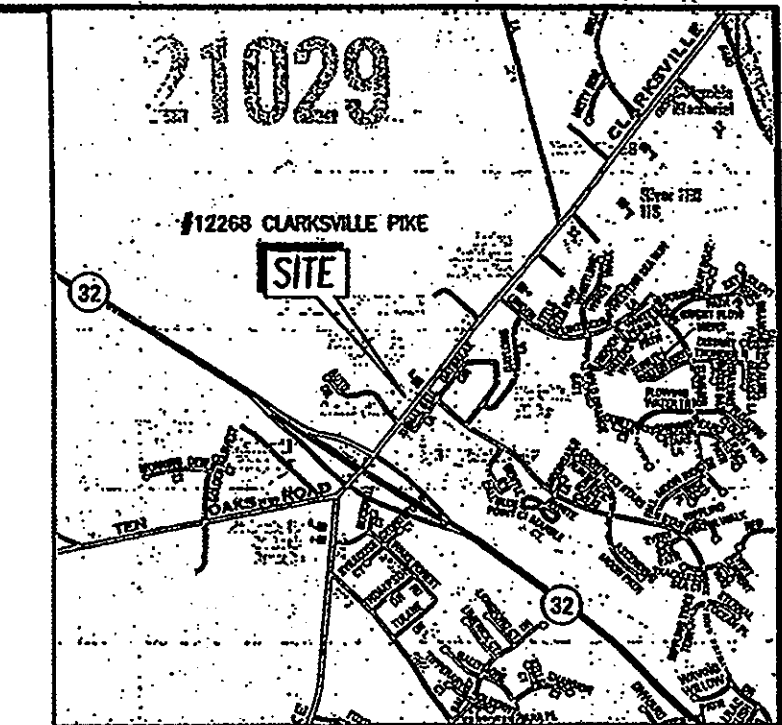
Surveying and CIVIL ENGINEERING
Date: July 21, 2010
Scale: 1"=20'
Drawing No.

HOWARD COUNTY - Development Engineering Division
Chief: [Signature] Date: 10/14/10

HOWARD COUNTY - Division of Land Development
Chief: [Signature] Date: 10/21/10

U.S. DEPARTMENT OF AGRICULTURE PAGE 1 MARYLAND DEPARTMENT OF ENVIRONMENT
SOIL CONSERVATION SERVICE F-19-3 WATER MANAGEMENT ADMINISTRATION

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VICINITY MAP
Scale 1" = 2000'

HOWARD COUNTY ADC MAP: 14 GRID: E-7
COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE NUMBER 21009444

SFSD NOTES

1. No forest is present on the subject property.
2. No wetlands, streams or buffers are present on the subject property.
3. No rare threatened or endangered species or typically appropriate habitat was observed on the project site.

FCP NOTES

1. No forest is present on the net tract area of the property. The FCA afforestation obligation will be met through the payment into the fee-in-lieu requirement.
2. Temporary protective fencing is not required for this project.
3. A Petition (WP-11-010) requesting that Section 16.1201(n) of the Howard County Code (Subtitle 12) and the Subdivision and Land Regulations be waived, so that the limits of disturbance (LOD) can be used as the net tract area for the purpose of calculating Forest Conservation requirements, was conditionally granted by the Director of the Department of Planning & Zoning on August 19, 2010. Approval of the Waiver Petition is subject to the following two conditions:
 - a.) Compliance with all comments related to ECP-11-009
 - b.) That a fee-in-lieu be paid to the Department of Planning & Zoning in conjunction with the processing of a Site Development Plan for the proposed Retail/Office building.

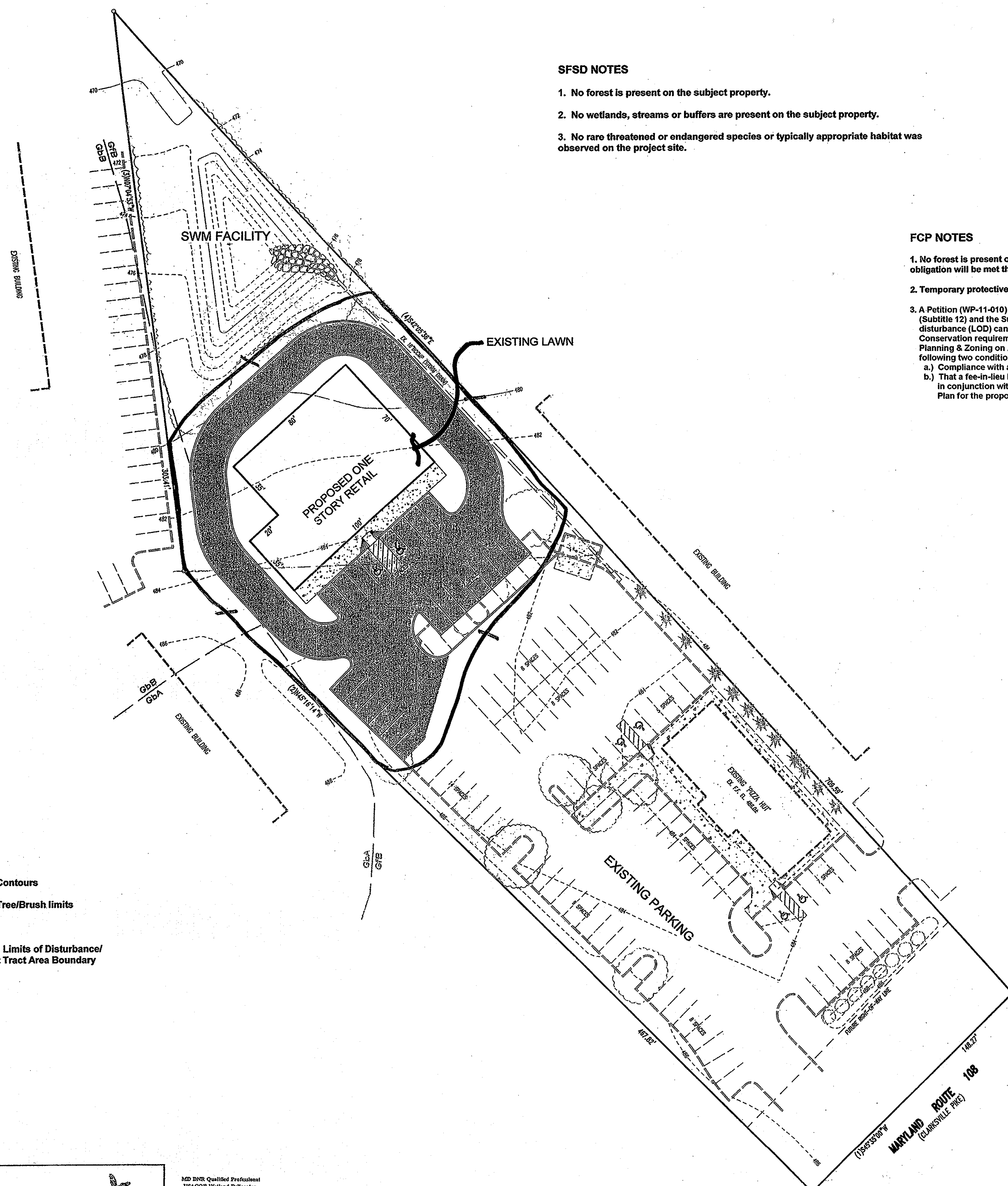
SITE DATA

1. Property Name: #12268 CLARKSVILLE PIKE
2. Tax Account #: 05-355656
3. Deed Reference: Liber: 1608 Folio: 215
4. Election District: 5
5. Tax Map: 34 Grid: 6 Parcel: 27
6. Water: Public Sewer: Public
7. Owners: PIZZA HUT OF MARYLAND, INC.
7070 OAKLAND MILLS ROAD
COLUMBIA, MARYLAND 21046
8. Applicant: PIZZA HUT OF MARYLAND, INC.
7070 OAKLAND MILLS ROAD
COLUMBIA, MARYLAND 21046
9. Surveyor: Leon A. Podolak & Associates, LLC
147 E. Main St., P.O. Box 266
Westminster, Maryland 21157
Phone: (410) 876-1226
10. Zoning: B-2 (BUSINESS GENERAL DISTRICT)
11. Site Area: 2.21 acs +/-

FOREST CONSERVATION WORKSHEET
Version 1.0

Project: Pizza Hunt Clarksville - LOD net tract area
Date: April 27, 2010

NET TRACT AREA		Acres			
A. Total tract area		2.2			
B. Area within 100 Year Floodplain		0			
C. Area of site outside proposed LOD		1.43			
D. Net Tract Area		0.78			
LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)					
ARA	MDR	IDA	HDR	MPD	CIA
				X	
E. Afforestation Threshold	(percentage)	0.15	0.1		
F. Conservation Threshold	(percentage)	0.15	0.1		
EXISTING FOREST COVER:					
G. Existing forest cover (excluding floodplain)		0			
H. Area of forest above afforestation threshold		0			
I. Area of forest above conservation threshold		0			
BREAK EVEN POINT:					
J. Forest retention above threshold with no mitigation		--			
		Break-Even Point			
K. Clearing permitted without mitigation		--			
PROPOSED FOREST CLEARING					
L. Total area of forest to be Cleared or Retained Outside FCE		0.0			
M. Total area of forest to be Retained in FCE		0.0			
PLANTING REQUIREMENTS					
N. Reforestation for clearing above Conservation Threshold		0			
P. Reforestation for clearing below Conservation Threshold		0			
Q. Credit for retention above conservation threshold		0			
R. Total reforestation required		0			
S. Total afforestation required		0.1			
T. Total reforestation and afforestation required		0.1			



Legend

- Existing Contours
- Existing Tree/Brush limits
- Soil Line
- Proposed Limits of Disturbance/ Net Tract Area Boundary

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 5006 Glen Arm, Maryland 21057
Telephone (410) 832-2480 Fax (410) 832-2488

MD DNR Qualified Professional
USACOB Wetland Designer
Certification # WDCP000001064422
J. Podolak
John A. Podolak

HOWARD COUNTY - Development Engineering Division
Chief: *[Signature]* Date: 10/14/10
HOWARD COUNTY - Division of Land Development
Chief: *[Signature]* Date: 10/14/10

ECP-11-009
Simplified Forest Stand Delineation & Forest Conservation Plan
12268 CLARKSVILLE PIKE
RETAIL BUILDING
Scale 1" = 30' April 29, 2010
SHEET 6 OF 6

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