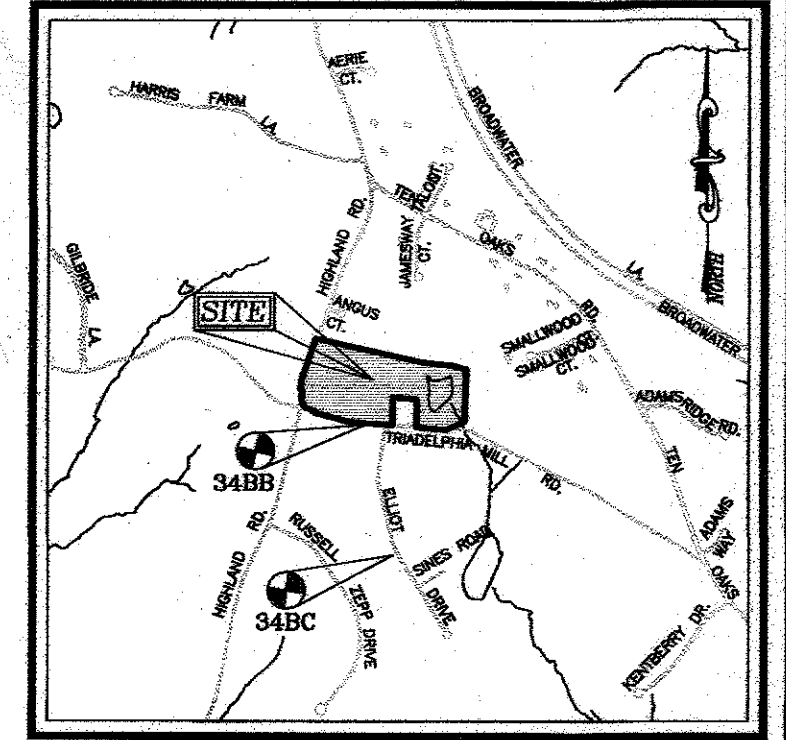


GENERAL NOTES

- COORDINATES BASED ON NAD 83/91, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY, GEODETIC CONTROL STATIONS NO. 348B & 348C. 348B N 565,999.2315 E 1,319,560.9729 348C N 562,549.8006 E 1,319,251.6194
- THIS PLAN IS BASED ON A FIELD RUN BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED NOVEMBER 2013.
- RE: BENEFITS BUILDING RESTRICTION LINE.
- DENOTES WHEN THE MARKER "TOP MARK 21204" SET
- DENOTES IRON PIPE OR IRON BAR FOUND.
- DENOTES AN ANGULAR CHANGE IN BEARING OF BOUNDARY OR RIGHT-OF-WAY.
- DENOTES STONE OR MONUMENT FOUND.
- AREAS SHOWN HEREON ARE MORE OR LESS:
- THE SUBJECT PROPERTY IS ZONED RR-DEO IN ACCORDANCE WITH THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- BUILDABLE PRESERVATION PARCEL 'A' IS INTENDED TO PROTECT THE EXISTING POND, STREAM AND WETLANDS AND ASSOCIATED BUFFERS, AND ESTABLISH FOREST CONSERVATION (AFFORESTATION).
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO ENSURE SAFE ACCESS FOR THE EMERGENCY VEHICLES FOR THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE).
 - B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.).
 - C. GEOMETRY - MAXIMUM 1% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS.
 - D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (425,000 LB).
 - E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT OF DEPTH OVER DRIVEWAY SURFACE.
 - F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- NO GRADING, REQUIRE VEGETATIVE COVER OR TREES, PLANTS AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED FOREST CONSERVATION AREAS, FLOODPLAIN AREAS, WETLANDS, STREAM(S) OR THEIR REQUIRED BUFFERS.
- THE EXISTING DWELLING AND ACCESSORY STRUCTURES ON THE SITE WILL BE ABANDONED AND REMOVED PRIOR TO RECORDING OF THIS PLAN.
- THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS OR CEMETERIES LOCATED ON THE SUBJECT PROPERTY.
- NO STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE LOCATED ON-SITE.
- THIS PROPERTY IS NOT LOCATED WITHIN THE METROPOLITAN DISTRICT.
- WATER AND SEWER FOR THIS PROJECT WILL BE PRIVATE WELLS & SEPTIC SYSTEMS. A REVISED PERCOLATION CERTIFICATION PLAN WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. DATED MAY 2016 AND SIGNED BY THE HEALTH OFFICER ON 5/21/16.
- ALL SEWER DISPOSAL AREAS SHOWN HEREON MATCH THE SEWER PERM. CERT. (SEE ALSO NOTES 38-41)
- ALL EXISTING WELLS AND ON-SITE SEWER DISPOSAL COMPONENTS MUST BE PROPERLY ABANDONED AND NOTIFICATION OF SUCH SUBMITTED TO THE HEALTH DEPARTMENT PRIOR TO HEALTH DEPT. SIGNATURE OF THIS RECORD PLAN. ALL WELLS MUST BE DRAINED PRIOR TO THE HEALTH DEPARTMENT SIGNATURE OF THIS RECORD PLAN.
- STORMWATER MANAGEMENT TO BE PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING: ROOFTOP & NON-ROOFTOP DISCONNECTS, RAIN BARRELS, RAIN GARDENS, AND GRASS SWALES. ALL PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED.
- THIS PROJECT IS SUBJECT TO COMPLIANCE WITH THE AMENDED-FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- WETLANDS AND STREAMS SHOWN HEREON ARE BASED ON A FIELD INVESTIGATION PREPARED BY BRAY HILL, LLC DATED JANUARY 2006. THERE ARE NO PROPOSED DISTURBANCES TO THE EXISTING STREAMS, WETLANDS OR ASSOCIATED BUFFERS, THEREFORE NO PERMITS WERE NOT REQUIRED.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. A FINANCIAL SURETY FOR THE PERMETER LANDSCAPING IN THE AMOUNT OF \$25,000.00 FOR THE REQUIRED 50 STREET TREES (17,700), 51 EVERGREENS (7,650) AND 5 SHRUBS (150) FOR TRASH PAD SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS PLAN. BGEA HAS REVIEWED AND APPROVED THE PROPOSED TRASH PAD SCREENING AND PERMETER TREE PLANTINGS.
- IN ACCORDANCE WITH SECTION 16.124(E) STREET TREES ARE NOT REQUIRED ALONG TRIADELPHIA MILL ROAD OR HIGHLAND ROAD AS NO IMPROVEMENTS ARE PROPOSED.
- FOREST STAND REGULATION AND SPECIMEN TREES ARE SHOWN HEREON PER PLAN BY CAPRIA DEVELOPMENT DESIGN, INC. DATED OCTOBER 6, 2006. NO SPECIMEN TREES ARE PROPOSED TO BE REMOVED AS PART OF THIS PROJECT PROPOSAL.
- FOREST CONSERVATION EASEMENT HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. THE TOTAL FOREST CONSERVATION OBLIGATION FOR THIS PROJECT WILL BE FULFILLED BY ON-SITE AFFORESTATION OF 5.03 ACRES, WHICH IS SUFFICIENT TO MEET THE BREAK-EVEN POINT OF 5.03 ACRES OF REQUIRED AFFORESTATION. FINANCIAL SURETY IN THE AMOUNT OF \$ 109,504 (219,008 x 0.50) WILL BE POSTED AS PART OF DEPARTMENT OF PUBLIC WORKS DEVELOPER'S AGREEMENT.
- TRIADELPHIA MILL ROAD IS NOT A SCENIC ROAD.
- TRIADELPHIA MILL ROAD IS CLASSIFIED AS A MINOR COLLECTOR AND HIGHLAND ROAD IS CLASSIFIED AS A MAJOR COLLECTOR.
- DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES AND FOREST CONSERVATION (DESIGNATED AS "FOREST CONSERVATION AREA"), LOCATED IN, ON, OVER AND THROUGH THE LOTS. ANY COVENANCES OF THE AFFORSAID LOTS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEEDS CONVEYING SAID LOTS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, AND IN THE CASE OF THE FOREST CONSERVATION EASEMENTS, UPON COMPLETION OF THE DEVELOPER'S OBLIGATIONS UNDER THE FOREST CONSERVATION INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY THE DEVELOPER AND THE COUNTY, AND RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED(S) OF EASEMENTS IN THE LAND RECORDS OF HOWARD COUNTY.
- THE ARTICLES OF INCORPORATION FOR THE HOVA'S LANDING HOME OWNERS ASSOCIATION WERE FILED WITH THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON FEBRUARY 14, 2014, RECEIPT NO. D15692049.
- TRASH AND RECYCLING COLLECTION WILL BE AT TRIADELPHIA MILL ROAD WITHIN 5' OF THE EDGE OF THE COUNTY ROADWAY.
- THIS AREA DESIGNATES A PRIVATE SEWER EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWER DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENFORCEMENT INTO THE PRIVATE SEWERAGE EASEMENT.
- THIS PLAN IS SUBJECT TO A DESIGN MANUAL W/AVER OF DESIGN MANUAL VOLUME III, SECTION 2.6.A. TO ALLOW MORE THAN 6 USERS TO SHARE A SINGLE USE-IN-COMMON DRIVEWAY. ON OCTOBER 10, 2013, THE CHIEF OF THE DEVELOPMENT ENGINEERING DIVISION APPROVED THE REQUEST BASED UPON JUSTIFICATION PROVIDED IN THE WAIVER REQUEST LETTER AND THE FACT THAT THE GRADING OF SAID REQUEST WILL NOT IMPACT THE COUNTY'S EXISTING AND FUTURE INFRA-STRUCTURE SYSTEMS.
- REFERENCE WAIVER PETITION WP-13-194, SECTION 16.144(0)(3), APPROVED JUNE 5, 2012. REGARDING THE SUBMISSION OF REVISED PLANS WITHIN 45 DAYS OF REQUEST OR THE FINAL PLAN FOR F-08-101/DUNFARMIN ESTATES SHALL BECOME VOID SUBJECT TO THE FOLLOWING CONDITIONS:
 - THIS DEPARTMENT WILL GRANT A 6 MONTH EXTENSION FROM THE JUNE 30, 2013, DEADLINE BY WHICH TO SUBMIT REVISED PLANS TO OR BEFORE JANUARY 6, 2014.
 - COMPLIANCE WITH THE ATTACHED COMMENTS FROM THE DEVELOPMENT ENGINEERING DIVISION DATED JULY 9, 2013. THIS SUBDIVISION MUST BE REDESIGNED TO MEET NEW STORMWATER MANAGEMENT REQUIREMENTS.
- THE PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON MARCH 5, 2012.
 - THE ENVIRONMENTAL CONCEPT PLAN (ECP12-048) WAS APPROVED ON JUNE 7, 2012.
 - THE PRELIMINARY EQUIVALENT SKETCH PLAN (SP13-003) WAS APPROVED ON APRIL 10, 2013. HOUSING ALLOCATIONS WERE RECEIVED ON JUNE 12, 2013.
- IN ACCORDANCE WITH THE DENSITY EXCHANGE CHART, 3 DEOS REQUIRED FOR THIS PROJECT ARE TO BE PROVIDED FROM TAX MAP 13, PARCEL 110 (MUSQUEL PROPERTY) PRIOR TO RECORDATION OF THIS PLAN.
- BUILDABLE PRESERVATION PARCEL 'A' WILL BE PRIVATELY OWNED WITH THE HOMEOWNERS ASSOCIATION AND HOWARD COUNTY, MD AS THE EASEMENT HOLDERS.
- THE USE-IN-COMMON MAINTENANCE AGREEMENTS FOR LOTS 1-5, LOTS 1-3, AND LOTS 4 & 5 SHALL BE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MD SIMULTANEOUSLY WITH THIS PLAN.
- BUILDABLE PRESERVATION PARCEL 'A' IS INTENDED TO PROTECT THE EXISTING POND, STREAM AND WETLANDS AND ASSOCIATED BUFFERS, AND ESTABLISH FOREST CONSERVATION (AFFORESTATION).
- REFERENCE WAIVER PETITION WP-16-131, SECTION 16.144(0), APPROVED JUNE 6, 2016. REGARDING THE SUBMISSION OF THE FINAL PLAN ORIGINAL WITHIN 180 DAYS OF APPROVAL OF THE PLAN AND FOR THE COMPLETION OF THE DEVELOPER AGREEMENT. SUBJECT TO THE FOLLOWING CONDITIONS:
 - COMPLIANCE WITH THE SUBMISSION REVIEW COMMITTEE COMMENTS
 - EIGHT PAPER COPIES OF REVISED PHASE 1 SUBMITTED BY JULY 6, 2016
 - ORIGINAL FINAL PLAN SUBMITTED FOR SIGNATURE APPROVAL AND RECORDATION BY SEPTEMBER 4, 2016
 - A RED-LINE REVISION PLAN TO THE ROAD CONSTRUCTION DRAWINGS FOR PLAN CHANGES
 - THE WAIVER PETITION NUMBER AND ITS CONDITIONS ADDED TO ALL SUBDIVISION PLANS AND FINAL PLAT.
- MODERATE INCOME HOUSING UNITS ARE NOT REQUIRED BECAUSE THE PLAN IS GRANDFATHERED TO SP-08-14.
- PER SECTION 16.116(0) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, DELINEATION OF THE FLOODPLAIN IS NOT REQUIRED FOR RURAL CLUSTER SUBDIVISIONS WHERE THE FLOODPLAIN IS CONSIDERED NOT CRITICAL TO THE PROPOSED DEVELOPMENT AS DEFINED BY THE DESIGN MANUAL.
- FOR PRIVATE WELLS & SEPTIC SYSTEMS:
 - WHOLE HOUSE REVERSE OSMOSIS WATER TREATMENT SYSTEMS ARE REQUIRED FOR THE WELLS SERVING LOTS 4 AND 5 DUE TO ELEVATED LEVELS OF SODIUM, CHLORIDES, AND TOTAL DISSOLVED SOLIDS PRESENT IN THE WELL WATER. OTHER TREATMENT TECHNOLOGIES MAY ALSO BE REQUIRED INCLUDING: SEMI-MEMBRANE FILTRATION, UF FILTRATION, SOFTENING BY ION EXCHANGE, MANGANESE AND IRON REMOVAL BY AERATION, AND SEDIMENT FEED SYSTEMS, BOOSTER PUMPS, PH ADJUSTMENT AND/OR ULTRA VIOLET LIGHT.
 - LOT 4 MAY NOT HAVE MORE THAN 5 BEDROOMS.
 - LOT 5 MAY NOT HAVE MORE THAN 4 BEDROOMS.
 - THE SEPTIC TRENCHES FOR LOTS 4 AND 5 MUST BE EQUAL IN LENGTH, OR LOW PRESSURE Dosed.
- NON-BUILDABLE BULK PARCEL B MAY NOT BE FURTHER SUBDIVIDED OR CONVERTED TO A BUILDABLE LOT UNLESS SUITABLE SEWER DISPOSAL AREAS AND WELL SITES ARE APPROVED BY THE HEALTH DEPARTMENT. PREVIOUS WELL LOCATIONS ON THE PARCEL CONTAINED ELEVATED LEVELS OF SODIUM, CHLORIDE, AND TOTAL DISSOLVED SOLIDS AND HAD YIELDS LESS THAN 1 GALLON PER MINUTE.
- MEE HAS APPROVED THE WELL ON LOT 1 TO BE DOWNSTREAM OF THE SEWER DISPOSAL AREAS ON LOTS 1, 2, PARCEL A, AND NEIGHBORING LOT, DUNFARMIN ESTATES LOT 20, SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE SEWER DISPOSAL SYSTEMS FOR LOTS 1, 2, AND PARCEL A MUST UTILIZE BEST AVAILABLE TECHNOLOGY FOR NITROGEN REDUCTION.



VICINITY MAP
SCALE 1"=2000'
ADC MAP : 13 K-6

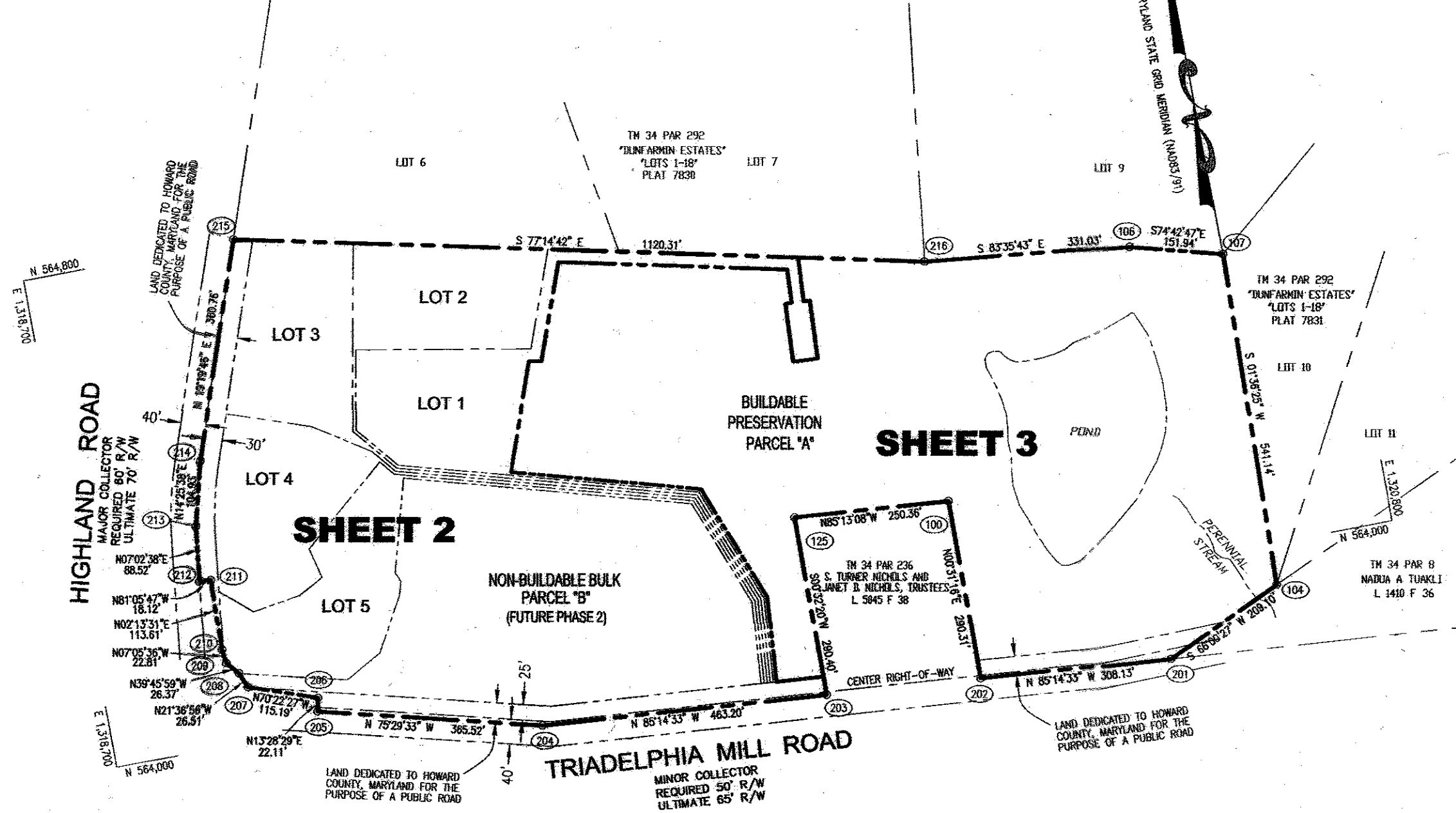
DENSITY EXCHANGE CHART

TOTAL GROSS AREA OF SUBDIVISION	25.81 ACRES
AREA OF 100 YEAR FLOODPLAIN	0.68 ACRES
AREA OF 25% SLOPES (OUTSIDE FLOODPLAIN)	0.00 ACRES
NET TRACT AREA	25.13 ACRES
MAXIMUM NUMBER OF LOTS ALLOWED	25.13 / 2 = 12
NUMBER OF RESIDENTIAL UNITS ALLOWED BY RIGHT	25.81 / 4.25 = 6
NUMBER OF RESIDENTIAL UNITS PROPOSED	6 (PHASE 1) + 3 (PHASE 2) = 9 TOTAL
NUMBER OF DEO UNITS REQUIRED	* 3
SENDING PARCEL INFORMATION	TAX MAP 13, GRID 12, PARCEL 110 2804 DANEY ROAD, WOODBINE, MD FOURTH ELECTION DISTRICT

* ADDITIONAL DEO UNITS WILL BE REQUIRED FOR PHASE 2.

COORDINATE TABLE

NO.	NORTH	EAST
100	564184.7604	1320101.3205
104	563933.9346	1320596.7820
106	564514.9228	1320463.5956
107	564474.8641	1320611.9578
125	564185.6273	1319851.8300
201	563848.9106	1320405.7487
202	563874.4658	1320098.6803
203	563895.2444	1319649.0981
204	563933.6602	1319387.4988
205	564025.2235	1319033.6381
206	564046.7226	1319038.7896
207	564085.4120	1318930.2913
208	564110.0576	1318920.5256
209	564130.3272	1318903.6578
210	564152.9626	1318900.8411
211	564266.4870	1318905.2527
212	564289.2907	1318887.3558
213	564357.1460	1318898.2115
214	564458.7671	1318924.3547
215	564799.1916	1319043.7654
216	564551.8489	1320136.4300



AREA TABULATION CHART

	SHEET 2	SHEET 3	TOTAL
NUMBER OF BUILDABLE LOTS	5	0	5
NUMBER OF BUILDABLE PRESERVATION PARCELS	0	1	1
NUMBER OF NON-BUILDABLE BULK PARCELS	1	0	1
NUMBER OF OPEN SPACE LOTS	0	0	0
TOTAL LOTS AND/OR PARCELS TO BE RECORDED	6	1	7
AREA OF BUILDABLE LOTS	6.9560 AC	0.0000 AC	6.9560 AC
AREA OF BUILDABLE PRESERVATION PARCELS	0.0000 AC	13.1894 AC	13.1894 AC
AREA OF NON-BUILDABLE BULK PARCELS	4.4022 AC	0.0000 AC	4.4022 AC
AREA OF OPEN SPACE LOTS	0.0000 AC	0.0000 AC	0.0000 AC
TOTAL AREA OF LOTS AND/OR PARCELS	11.3582 AC	13.1894 AC	24.5476 AC
AREA OF ROADWAY WIDENING TO BE RECORDED	0.9926 AC	0.2668 AC	1.2594 AC
TOTAL AREA OF SUBDIVISION TO BE RECORDED	12.3510 AC	13.4562 AC	25.8072 AC

DEVELOPER
LAND DESIGN & DEVELOPMENT, INC.
8318 FOREST STREET, SUITE 200
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REUWER
(443) 367-0422

OWNER
MARTY A. HOWARD
P.O. BOX 740
CLARKSVILLE, MD 21029

THE REQUIREMENTS 3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OF MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAN AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

Thomas M. Hoffmann 7-20-16
THOMAS M. HOFFMANN, JR. DATE
PROPERTY LINE SURVEYOR, MD REG. NO. 267

Marty Anthony Howard 7/27/16
MARTY ANTHONY HOWARD DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

Robert H. Vogel 10/13/2016
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

JP 10-19-16
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Robert H. Vogel 10-21-16
DIRECTOR DATE

OWNER'S CERTIFICATE

I, MARTY ANTHONY HOWARD, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, ADOPT THIS FINAL PLAT OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS:

- THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS OR STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON;
- THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE OF THE BEDS OF THE STREETS AND/OR ROADS, THE FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE;
- THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE;
- THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY.

WITNESS OUR HANDS THIS 27 DAY OF JULY 2016

Marty Anthony Howard
MARTY ANTHONY HOWARD

Megan Ruppieri
WITNESS

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY SAMUEL T. NICHOLS, JR. & JANET D. NICHOLS AND JAMES S. NICHOLS & G. DALE NICHOLS TO MARTY ANTHONY HOWARD BY DEED DATED FEBRUARY 16, 1994 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 3172 FOLIO 336.

I ALSO CERTIFY ALL MONUMENTS ARE IN OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE SUBDIVISION BY HOWARD COUNTY AS SHOWN, IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED AND BOUNDARY SURVEY IS IN ACCORDANCE WITH THE HOWARD COUNTY SUBDIVISION REGULATIONS.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 267, EXPIRATION DATE JULY 28, 2018.

Thomas M. Hoffmann 7-20-16
THOMAS M. HOFFMANN, JR. DATE
PROPERTY LINE SURVEYOR, MD REG. NO. 267

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLCOTT CITY, MD 21043
TEL: 410-461-7666
FAX: 410-461-8961

RECORDED AS PLAT NO. 23952 ON 10/28/16
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

PLAT OF SUBDIVISION
JACK'S LANDING, PHASE 1
LOTS 1-5, BUILDABLE PRESERVATION PARCEL A,
AND NON-BUILDABLE BULK PARCEL B.

A SUBDIVISION OF TAX MAP 34 PARCEL 414 (L 3172 F 336)

ZONED: RR-DEO

DPZ REF'S: F-08-101, SP-06-14, BA-89-45E, WP 13-184, WP-10-25,
WP-11-093, WP-12-096, WP-13-112, WP-13-184, WP-16-131

TAX MAP 34 GRID 3 PARCEL 414
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 200' GRAPHIC SCALE JULY 20, 2016

SHEET 1 OF 4

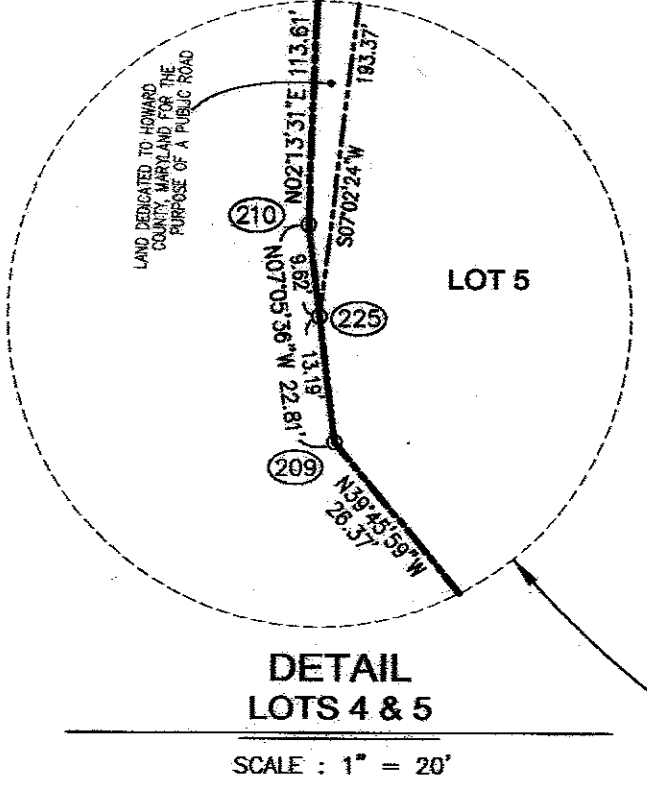
F-08-101

K:\PROJECTS\13-31 SURVEY\DWG\RECORD PLAT\REPLAT1.DWG

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	TAN	CHORD
C-1	530.00'	114.63'	12°23'31"	57.54'	513'14"09"W 114.41'

MINIMUM LOT SIZE CHART			
LOT NO.	GROSS AREA	PIPE STEM AREA	MINIMUM LOT SIZE
1	69,250 SF	19,527 SF	49,723 SF
2	59,686 SF	5,227 SF	50,435 SF
3	59,686 SF	4,341 SF	55,345 SF
4	59,993 SF	4,214 SF	55,779 SF
5	58,413 SF	3,951 SF	54,462 SF

COORDINATE TABLE		
NO.	NORTH	EAST
203	563895.2444	1319849.0981
204	563933.6602	1319387.4988
205	564025.2235	1319033.6381
206	564046.7226	1319038.7896
207	564085.4120	1318930.2913
208	564110.9576	1318920.5266
209	564130.3272	1318903.6578
210	564152.9628	1318900.8411
211	564266.4870	1318905.2527
212	564269.2907	1318887.3558
213	564357.1460	1318898.2115
214	564458.7671	1318924.3547
215	564799.1916	1319043.7654
217	564597.0939	1319936.5550
218	564344.7352	1319414.1780
219	564259.5199	1319710.8514
220	564068.9601	1319783.6346
221	563931.3592	1319772.1827
222	563924.9347	1319849.3774
223	563961.7992	1319406.4297
224	564083.9229	1318934.4670
225	564143.4162	1318902.0290
226	564335.3290	1318925.7290
227	564446.6952	1318951.9234
228	564793.3761	1319073.8736
466	564526.2951	1319942.5570
467	564430.4432	1319937.2547
468	564432.6757	1319897.3170
469	564527.5276	1319902.6193
470	564663.3176	1319553.4168
471	564510.8293	1319496.9781
472	564514.5794	1319477.0402



HIGHLAND ROAD
MAJOR COLLECTOR
(ULTIMATE 60' R/W REQUIRED
(VEHICULAR IMPRESS/ACCESS IS RESTRICTED))

TM 34 PAR 292
LOT 6
"DUNFARMIN ESTATES"
PLAT 9358
ZONE RR-DEO

TM 34 PAR 292
LOT 7
"DUNFARMIN ESTATES"
PLAT 9358
ZONE RR-DEO

TM 34 PAR 236
S. TURNER NICHOLS AND
JANET D. NICHOLS, TRUSTEES
L 5045 F 38

TRIADELPHIA MILL ROAD
MINOR COLLECTOR
(ULTIMATE 65' R/W REQUIRED)

NON-BUILDABLE BULK
PARCEL B
191,762 SF OR 4.4022 AC
(FUTURE PHASE 2)

LAND DEDICATED TO
HOWARD COUNTY, MARYLAND
FOR THE PURPOSE OF A PUBLIC ROAD
25,863 SF OR 0.5937 AC THIS PART
43,246 SF OR 0.9928 AC THIS SHEET

LEGEND

- SEPTIC RESERVE AREA
- 24' PRIVATE USE-IN-COMMON ACCESS EASEMENT TO BENEFIT LOTS 1-3 AND LOTS 4 & 5
- 40' PRIVATE USE-IN-COMMON ACCESS EASEMENT TO BENEFIT LOTS 1-5 & FUTURE LOTS SUBDIVIDED FROM NON-BUILDABLE BULK PARCEL B

AREA TABULATION CHART (THIS SHEET)

NUMBER OF BUILDABLE LOTS	5
NUMBER OF BUILDABLE PRESERVATION PARCELS	0
NUMBER OF NON-BUILDABLE BULK PARCELS	1
NUMBER OF OPEN SPACE LOTS	0
TOTAL LOTS AND/OR PARCELS TO BE RECORDED	6
AREA OF BUILDABLE LOTS	6.9560 AC
AREA OF BUILDABLE PRESERVATION PARCELS	0.0000 AC
AREA OF NON-BUILDABLE BULK PARCELS	4.4022 AC
AREA OF OPEN SPACE LOTS	0.0000 AC
TOTAL AREA OF LOTS AND/OR PARCELS	11.3582 AC
AREA OF ROADWAY WIDENING TO BE RECORDED	0.9928 AC
TOTAL AREA OF SUBDIVISION TO BE RECORDED	12.3510 AC

OWNER
MARTY A. HOWARD
P.O. BOX 740
CLARKSVILLE, MD 21029

DEVELOPER
LAND DESIGN & DEVELOPMENT, INC.
8318 FOREST STREET, SUITE 200
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REUWER
(443) 367-0422

THE REQUIREMENTS 3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OF MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

Thomas M. Hoffman, Jr. 7-20-16
THOMAS M. HOFFMAN, JR. DATE
PROPERTY LINE SURVEYOR, MD REG. NO. 267
Marty Anthony Howard 7/27/16
MARTY ANTHONY HOWARD DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.
Maura Roseman 10/13/2016
HOWARD COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chad Chubb 10-19-16
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Kent Schuchman 10-28-16
DIRECTOR DATE

OWNER'S CERTIFICATE
I, MARTY ANTHONY HOWARD, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, ADOPT THIS FINAL PLAT OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS:
1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS OR STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; 2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE OF THE BEDS OF THE STREETS AND/OR ROADS, THE FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; 3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; 4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY.
WITNESS OUR HANDS THIS 27 DAY OF JULY 2016
Marty Anthony Howard
MARTY ANTHONY HOWARD
Megan Ruppier
WITNESS

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY SAMUEL T. NICHOLS, JR. & JANET D. NICHOLS AND JAMES S. NICHOLS & G. DALE NICHOLS TO MARTY ANTHONY HOWARD BY DEED DATED FEBRUARY 16, 1994 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 3172 FOLIO 336.
I ALSO CERTIFY ALL MONUMENTS ARE IN OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN, IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED AND BOUNDARY SURVEY IS IN ACCORDANCE WITH THE HOWARD COUNTY SUBDIVISION REGULATIONS.
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 267, EXPIRATION DATE JULY 28, 2018.
Thomas M. Hoffman, Jr. 7-20-16
THOMAS M. HOFFMAN, JR. DATE
PROPERTY LINE SURVEYOR, MD REG. NO. 267
STATE OF MARYLAND
THOMAS M. HOFFMAN, JR.
PROPERTY LINE SURVEYOR
NO. 267

RECORDED AS PLAT NO. 23953 ON 10/28/16
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
PLAT OF SUBDIVISION
JACK'S LANDING, PHASE 1
LOTS 1-5, BUILDABLE PRESERVATION PARCEL A,
AND NON-BUILDABLE BULK PARCEL B
A SUBDIVISION OF TAX MAP 34 PARCEL 414 (L 3172 F 336)
ZONED: RR-DEO
DPZ REF'S: F-08-101, SP-06-14, BA-89-45E, WP-13-184, WP-10-25,
WP-11-093, WP-12-096, WP-13-112
TAX MAP 34 GRID 3 PARCEL 414
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 100' JULY 20, 2016
SHEET 2 OF 4
F-08-101

K:\PROJECTS\13-31\SURVEY\DWG\RECORD PLAT\PLAT2.dwg

WETLANDS AREA LINE TABLE

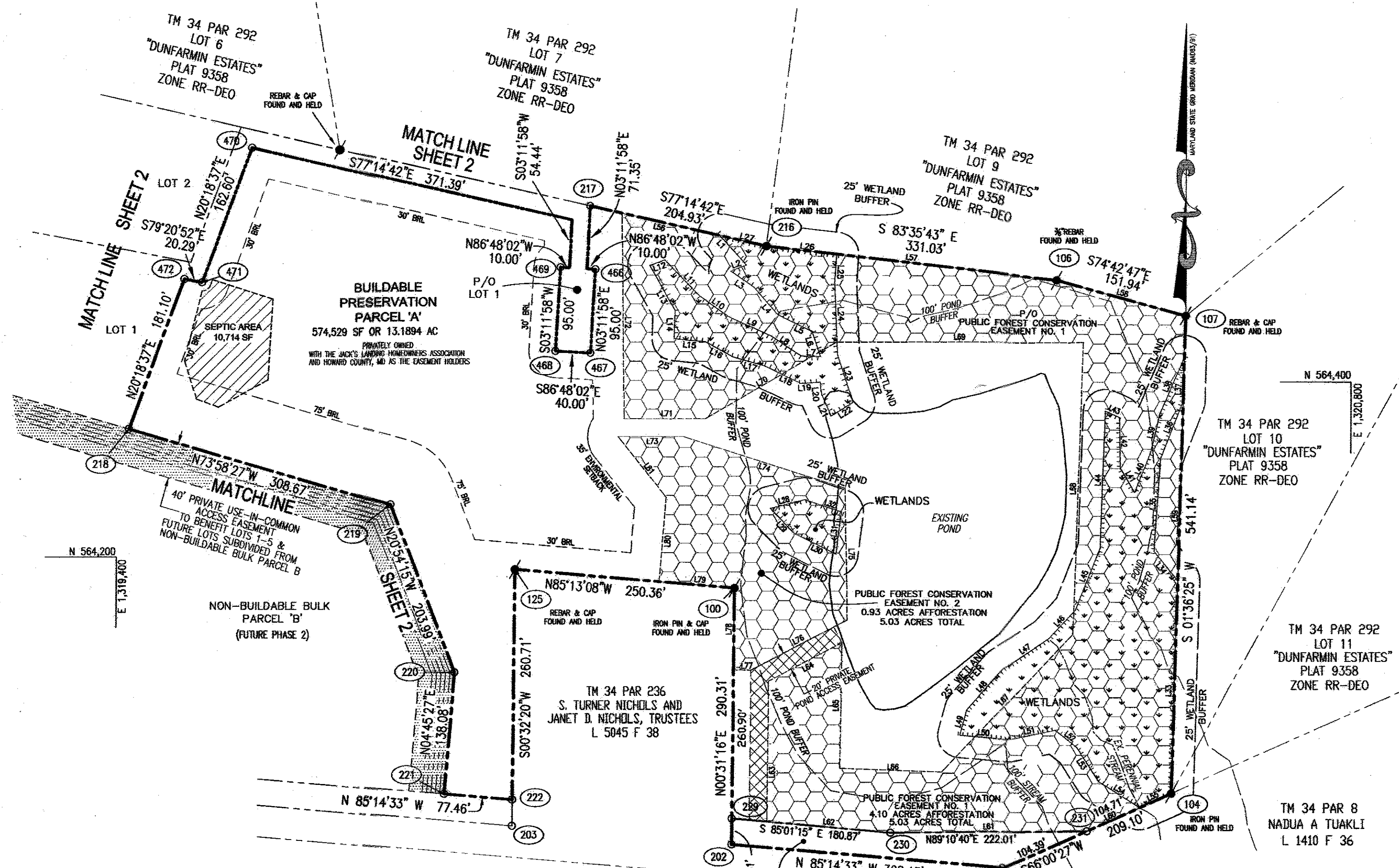
LINE	BEARING	DISTANCE
L1	S42°09'33"E	45.06'
L2	S68°37'23"W	19.11'
L3	S55°38'15"E	32.15'
L4	S41°04'01"E	41.19'
L5	S64°20'51"E	43.82'
L6	S18°33'04"E	29.92'
L7	N89°28'03"W	21.32'
L8	N56°52'56"W	42.47'
L9	N65°44'45"W	53.25'
L10	N54°29'15"W	40.30'
L11	N44°07'40"W	56.19'
L12	S71°04'51"W	18.10'
L13	S29°29'38"E	59.02'
L14	S01°33'58"W	31.86'
L15	S84°12'10"E	35.48'
L16	S61°40'49"E	36.28'
L17	S74°36'25"E	35.89'
L18	S64°48'42"E	47.08'
L19	N86°13'24"E	71.92'
L20	S04°40'02"E	14.02'
L21	S24°22'51"E	26.77'
L22	N57°36'58"E	29.32'
L23	N16°06'44"W	56.92'
L24	N02°28'27"W	81.94'
L25	N03°43'04"E	31.69'
L26	N63°34'58"W	80.56'
L27	N77°14'44"W	54.13'
L28	S76°06'27"W	40.77'
L29	S44°10'38"E	38.76'
L30	S63°07'51"E	53.45'
L31	N07°37'59"E	48.49'
L32	N71°46'24"W	43.75'
L33	N01°36'57"E	241.24'
L34	N38°54'14"W	42.66'
L35	N04°01'44"E	105.72'
L36	N21°12'13"E	69.42'
L37	N01°36'28"E	49.14'
L38	S23°28'02"W	70.43'
L39	S12°58'53"W	42.82'
L40	S21°42'31"W	49.88'
L41	N30°04'28"W	32.45'
L42	N01°14'34"W	56.53'
L43	N66°08'37"W	17.48'
L44	S01°59'47"W	154.06'
L45	S21°38'33"W	76.51'
L46	S42°45'55"W	43.39'
L47	S55°40'32"W	62.98'
L48	S40°55'37"W	62.34'
L49	S19°03'43"W	29.44'
L50	S85°15'04"E	53.12'
L51	N78°21'18"E	55.44'
L52	S51°39'02"E	31.80'
L53	S32°56'45"E	46.01'
L54	S57°49'37"E	54.61'
L55	N65°00'25"E	39.25'

COORDINATE TABLE

NO.	NORTH	EAST
100	564164.7604	1320101.3205
104	563933.9346	1320096.7820
108	564514.9228	1320485.3956
107	564474.8641	1320611.9578
110	564681.3165	1319652.8444
125	564185.6273	1319851.8300
201	563848.9106	1320405.7487
202	563874.4658	1320098.6803
203	563895.2444	1319849.0981
216	564551.8489	1320136.4300
217	564597.0939	1319936.5550
218	564344.7352	1319414.1780
219	564259.5199	1319710.8514
220	564068.9601	1319783.6346
221	563931.3592	1319772.1827
222	563924.9347	1319849.3774
229	563903.8698	1320098.9477
230	563888.1717	1320279.1317
231	563891.3576	1320501.1194
466	564525.2951	1319842.8670
467	564430.4432	1319837.2547
468	564432.6757	1319887.3170
469	564527.5276	1319902.6193
470	564683.3176	1319553.4166
471	564510.8293	1319496.9781
472	564514.5794	1319477.0402

PUBLIC FOREST CONSERVATION EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
L56	S77°17'15"E	167.74'
L57	S83°33'37"E	331.02'
L58	S74°41'44"E	152.00'
L59	S01°36'37"W	540.91'
L60	S85°57'15"W	104.74'
L61	S89°10'40"W	222.01'
L62	N85°01'15"W	140.98'
L63	N00°31'32"E	158.98'
L64	N62°25'31"E	94.28'
L65	S00°56'17"W	142.07'
L66	S86°03'14"E	115.68'
L67	N43°18'12"E	215.72'
L68	N01°37'36"E	330.21'
L69	S89°47'24"W	278.47'
L70	S59°44'37"W	172.56'
L71	S89°52'12"W	91.93'
L72	N00°42'59"W	232.96'
L73	N89°52'34"E	74.06'
L74	S72°28'53"E	192.77'
L75	S00°57'57"E	149.31'
L76	S62°25'53"W	123.11'
L77	N89°58'36"W	19.80'
L78	N00°32'18"E	92.92'
L79	N85°11'41"E	85.90'
L80	N04°48'46"E	96.29'
L81	N38°51'17"W	87.40'



LEGEND

- PUBLIC FOREST CONSERVATION EASEMENT AFFORESTATION 5.03 ACRES
- WETLANDS
- 20' PRIVATE POND ACCESS EASEMENT
- 40' PRIVATE USE-IN-COMMON ACCESS EASEMENT TO BENEFIT LOTS 1-5 & FUTURE LOTS SUBDIVIDED FROM NON-BUILDABLE BULK PARCEL B
- SEPTIC RESERVE AREA

AREA TABULATION CHART (THIS SHEET)

NUMBER OF BUILDABLE LOTS	0
NUMBER OF BUILDABLE PRESERVATION PARCELS	1
NUMBER OF NON-BUILDABLE BULK PARCELS	0
NUMBER OF OPEN SPACE LOTS	0
TOTAL LOTS AND/OR PARCELS TO BE RECORDED	1
AREA OF BUILDABLE LOTS	0.0000 AC
AREA OF BUILDABLE PRESERVATION PARCELS	13.1894 AC
AREA OF NON-BUILDABLE BULK PARCELS	0.0000 AC
AREA OF OPEN SPACE LOTS	0.0000 AC
TOTAL AREA OF LOTS AND/OR PARCELS	13.1894 AC
AREA OF ROADWAY WIDENING TO BE RECORDED	0.2668 AC
TOTAL AREA OF SUBDIVISION TO BE RECORDED	13.4562 AC

OWNER
MARTY A. HOWARD
P.O. BOX 740
CLARKSVILLE, MD 21029

DEVELOPER
LAND DESIGN & DEVELOPMENT, INC.
8318 FOREST STREET, SUITE 200
ELLICOTT CITY, MD 21043
ATTN: MR. DONALD R. RUEWER
(443) 367-0422

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PROPERTY LINE SURVEYOR, MD REG. NO. 267
Marty Anthony Howard 7/27/16
MARTY ANTHONY HOWARD DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

Howard County Health Officer 10/13/2016
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division 10-19-16
CHIEF, DEVELOPMENT ENGINEERING DIVISION JP DATE
Director 10-21-16
DIRECTOR DATE

OWNER'S CERTIFICATE

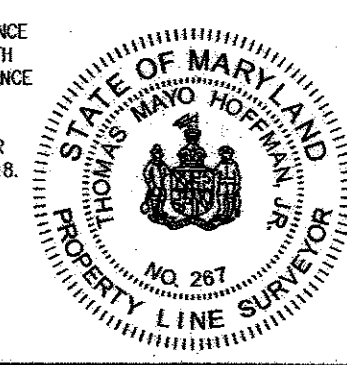
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WITNESS OUR HANDS THIS 27 DAY OF JULY 2016
Marty Anthony Howard
MARTY ANTHONY HOWARD
Megan Ruggieri
WITNESS

SURVEYOR'S CERTIFICATE

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Thomas M. Hoffman, Jr. 7-20-16
THOMAS M. HOFFMAN, JR. DATE
PROPERTY LINE SURVEYOR, MD REG. NO. 267



ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.6981

RECORDED AS PLAT NO. 23954 ON 10/28/16
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

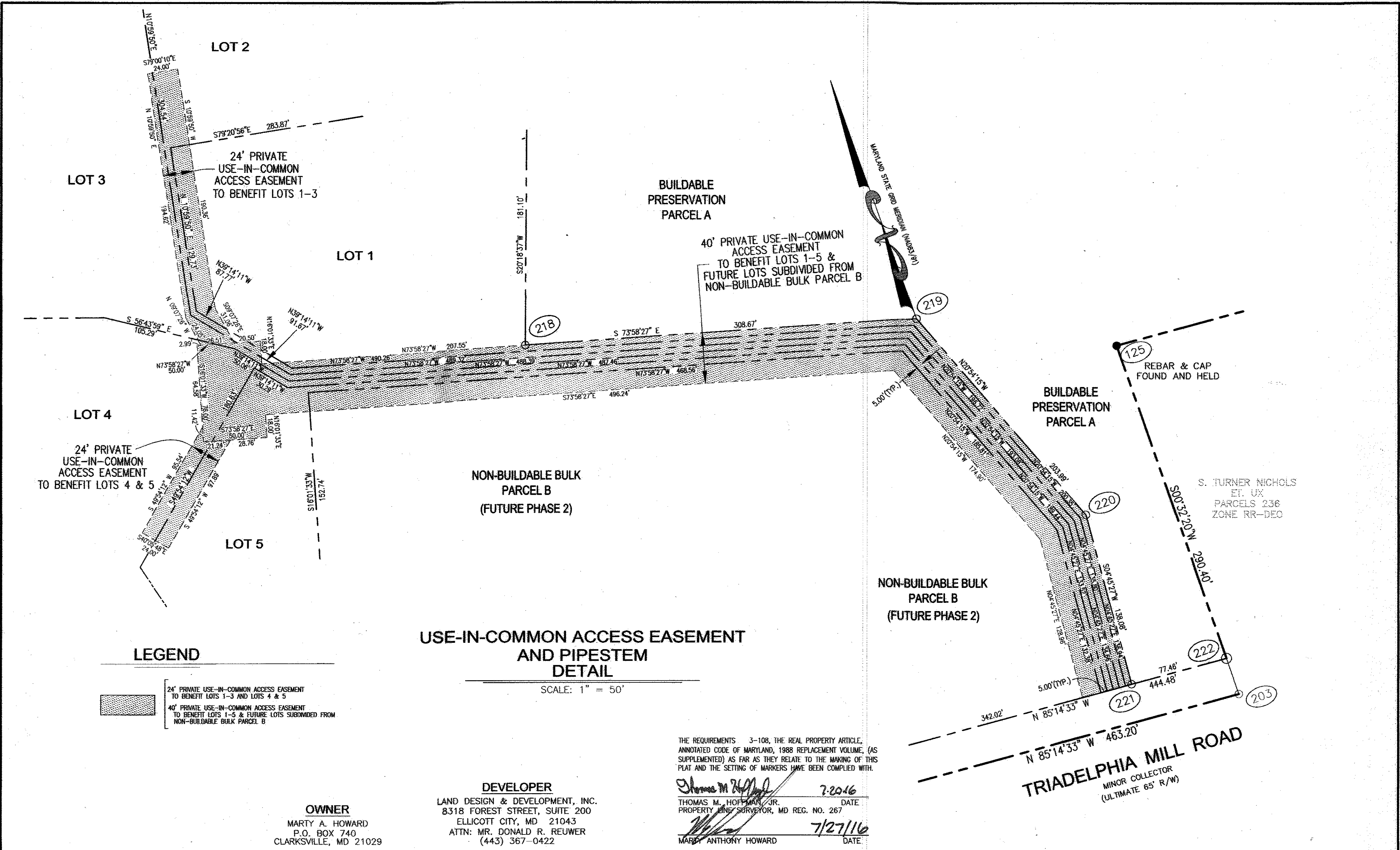
PLAT OF SUBDIVISION
JACK'S LANDING, PHASE 1
LOTS 1-5, BUILDABLE PRESERVATION PARCEL A, AND NON-BUILDABLE BULK PARCEL B
A SUBDIVISION OF TAX MAP 34 PARCEL 414 (L 3172 F 336)

ZONED: RR-DEO
DPZ REF'S: F-08-101, SP-06-14, BA-89-45E, WP 13-184, WP-10-25, WP-11-093, WP-12-096, WP-13-112
TAX MAP 34 GRID 3 PARCEL 414
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 100'
GRAPHIC SCALE
JULY 20, 2016

SHEET 3 OF 4

K:\PROJECTS\13-31\SURVEY\DWG\RECORD PLAT\PLAT3.DWG



LEGEND

- 24' PRIVATE USE-IN-COMMON ACCESS EASEMENT TO BENEFIT LOTS 1-3 AND LOTS 4 & 5
- 40' PRIVATE USE-IN-COMMON ACCESS EASEMENT TO BENEFIT LOTS 1-5 & FUTURE LOTS SUBDIVIDED FROM NON-BUILDABLE BULK PARCEL B

USE-IN-COMMON ACCESS EASEMENT AND PIPESTEM DETAIL

SCALE: 1" = 50'

OWNER
 MARTY A. HOWARD
 P.O. BOX 740
 CLARKSVILLE, MD 21029

DEVELOPER
 LAND DESIGN & DEVELOPMENT, INC.
 8318 FOREST STREET, SUITE 200
 ELLICOTT CITY, MD 21043
 ATTN: MR. DONALD R. REUWER
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APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT.

Debra Marie Rozema 10/13/2016
 HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Chuback 10-19-16
 CHIEF, DEVELOPMENT ENGINEERING DIVISION JP DATE

Keith Schuchman 10-21-16
 DIRECTOR DATE

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 8407 MAIN STREET TEL: 410-461-7666
 ELLICOTT CITY, MD 21043 FAX: 410-461-6961

RECORDED AS PLAT NO. 23955 ON 10/28/16
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

PLAT OF SUBDIVISION

JACK'S LANDING, PHASE 1
 LOTS 1-5, BUILDABLE PRESERVATION PARCEL A,
 AND NON-BUILDABLE BULK PARCEL B

A SUBDIVISION OF TAX MAP 34 PARCEL 414 (L 3172 F 336)

ZONED: RR-DEO

DPZ REF'S: F-08-101, SP-06-14, BA-89-45E, WP 13-184, WP-10-25, WP-11-093, WP-12-096, WP-13-112

TAX MAP 34 GRID 3 PARCEL 414
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 50' JULY 20, 2016

SHEET 4 OF 4

F-08-101

K:\PROJECTS\13-31 SURVEY DWG\RECORD PLAT\PLAT4.dwg