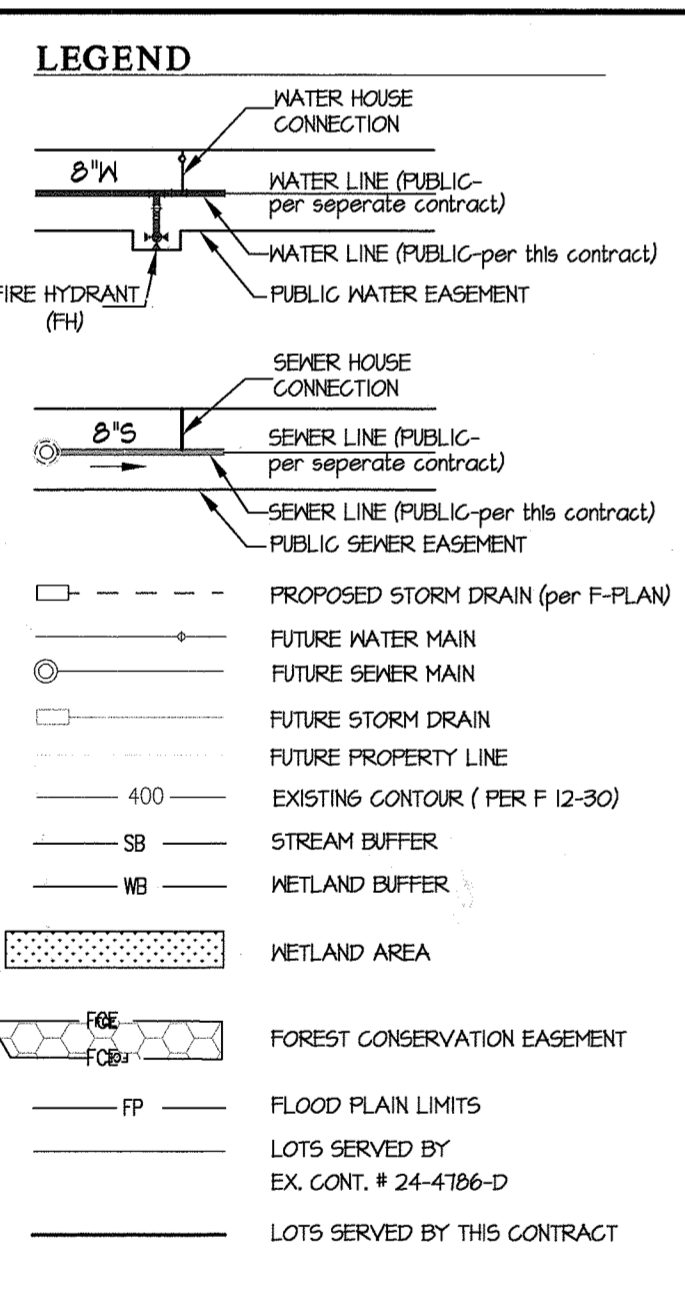


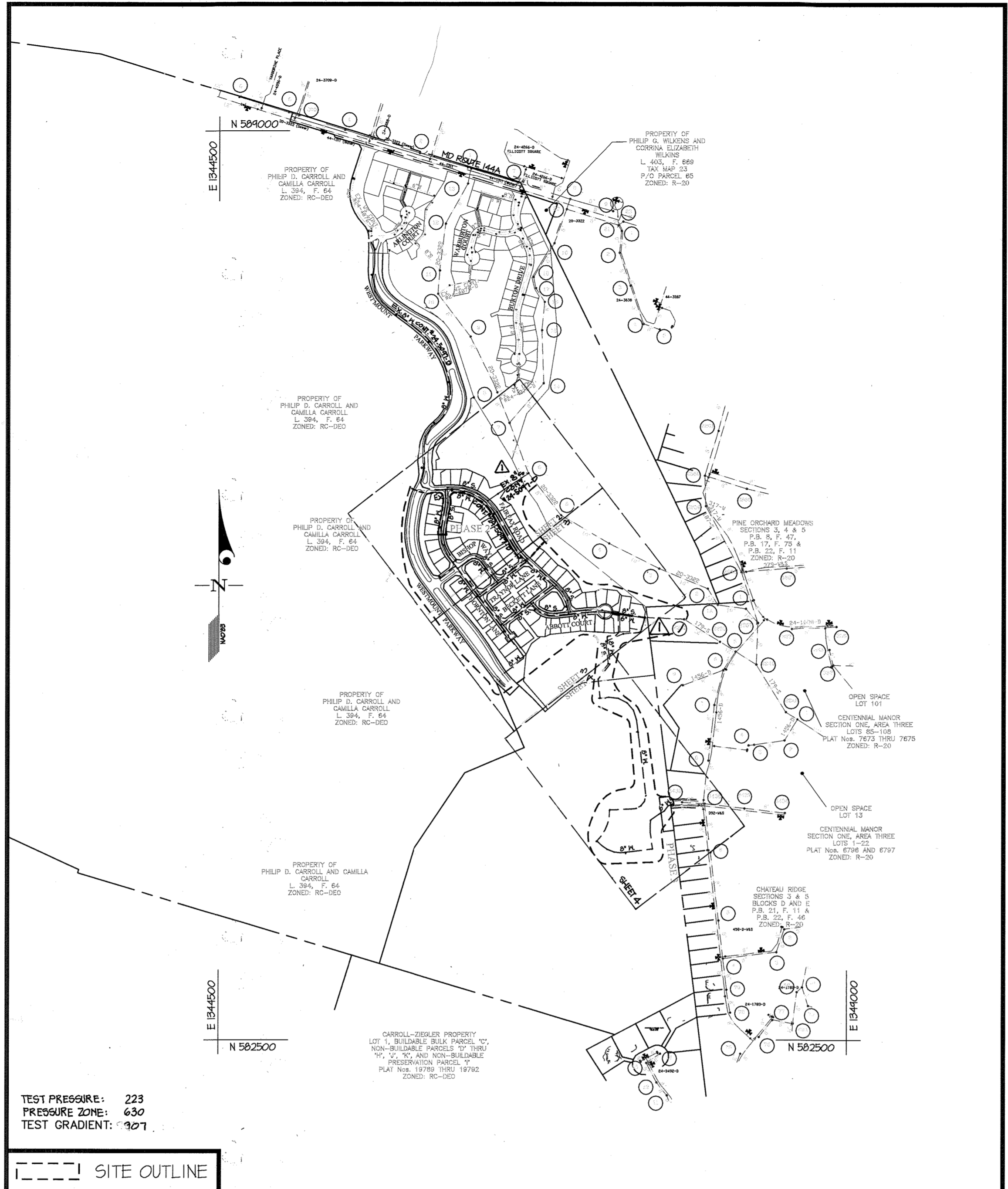
QUANTITIES				
ITEMS	QUANTITIES ESTIMATED	AS-BUILT		
		QUANTITIES	TYPE	MANUFACTURER/SUPPLIER
8" WATER MAIN (CL. 54 D.I.P.)	6,663 L.F.	6,663	CL. 54 D.I.P.	US Pipe / L.B. Water
6" WATER MAIN (CL. 54 D.I.P.)	506 L.F.	506	CL. 54 D.I.P.	US Pipe / L.B. Water
1-1/2" MHC	54 EA.	54	Copper	Cambridge / L.B. Water
1" METER VAULT	54 EA.	54	Concrete	Horne
8"x8" TEE	14 EA.	14	DIP	Star Pipe / L.B. Water
8"x6" TEE	1 EA.	1	DIP	Star Pipe / L.B. Water
FIRE HYDRANT	9 EA.	9	DIP	Star Pipe / L.B. Water
8"x6" FHT	9 EA.	9	DIP	Star Pipe / L.B. Water
8" 1/8" HB	13 EA.	13	DIP	Star Pipe / L.B. Water
8" 1/16" HB	13 EA.	13	DIP	Star Pipe / L.B. Water
8" 1/32" HB	11 EA.	11	DIP	Star Pipe / L.B. Water
6" 1/8" HB	1 EA.	1	DIP	Star Pipe / L.B. Water
6" 1/16" HB	1 EA.	1	DIP	Star Pipe / L.B. Water
6" 1/32" HB	0 EA.	0	DIP	Star Pipe / L.B. Water
8"x6" REDUCER	2 EA.	2	DIP	Star Pipe / L.B. Water
8" VALVE	27 EA.	27	DIP	Star Pipe / L.B. Water
6" VALVE	2 EA.	2	DIP	Star Pipe / L.B. Water
8" 1/2" V.B.	2 EA.	2	DIP	Star Pipe / L.B. Water
8" SEWER MAIN (SDR-35 PVC)	2,218 L.F.	2,218	SDR-35 PVC	National Pipe / L.B. Water
8" SEWER MAIN (CL. 52 D.I.P.)	1,585 L.F.	1,585	CL. 52 D.I.P.	US Pipe / L.B. Water
4" MANHOLES	28 EA.	28	Concrete	Contractors Precast
4" SHC	1,324 L.F.	1,324	DIP/PVC	US Pipe / National / L.B. Water
4" CLEANOUT	54 EA.	54	Concrete	Horne
RIVER CROSSING	1 EA.	1		

NAME OF UTILITY CONTRACTOR: **UUI**

SURVEY AND DRAFTING DIV. CHECKBOX: AS-BUILT DATE:



- SHEET INDEX**
- COVER SHEET
 - WATER AND SEWER PLAN
 - WATER AND SEWER PLAN
 - WATER AND SEWER PLAN
 - AS-BUILT + SHC INFORMATION
 - WATER AND SEWER PROFILES
 - WATER AND SEWER PROFILES
 - WATER AND SEWER PROFILES



LOCATION PLAN SCALE: 1"=600'

CONTRACT No. 24-4877-D

WESTMOUNT

PUBLIC WATER AND SEWER PLANS

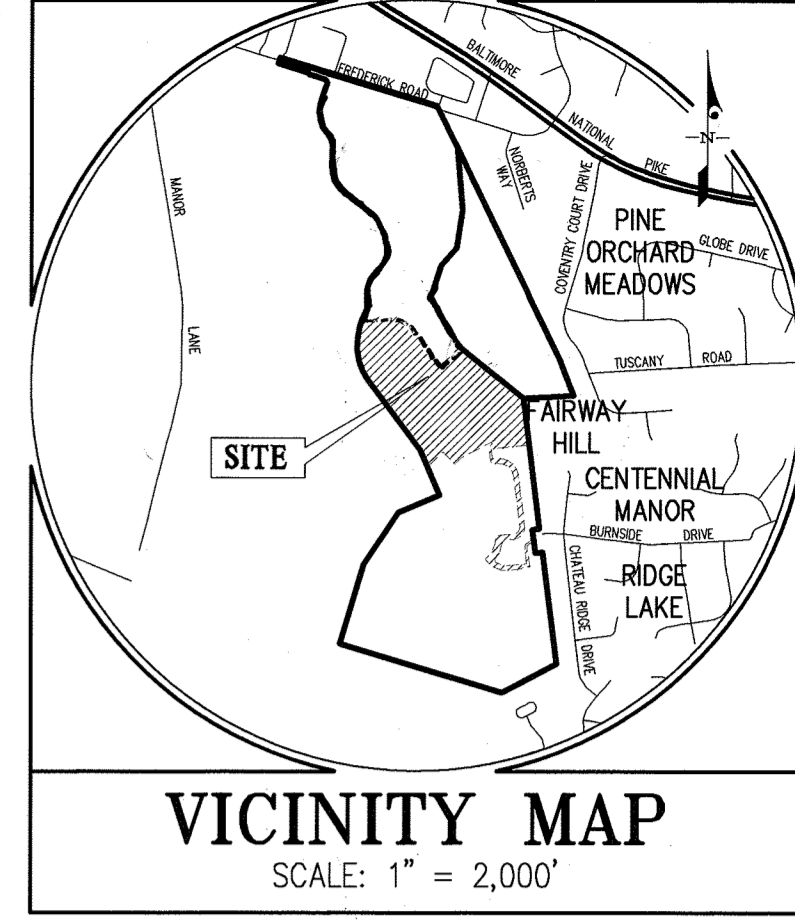
LOTS 90 THRU 124, LOTS 138 THRU 143, LOTS 146 THRU 153
OPEN SPACE LOTS 154 THRU 171
and NON-BUILDABLE BULK PARCEL 'D'

HOWARD COUNTY, MARYLAND

DEPARTMENT OF PUBLIC WORKS

TYPE OF BUILDING	RESIDENTIAL
NUMBER OF UNITS	47 54
NUMBER OF S.H.C.'s	47 54
NUMBER OF W.H.C.'s	54 52 SINGLE*
AREA OF COMMERCIAL LOT/PARCEL	0.0 AC.
SEWER WATERSHED	MIDDLE PATUXENT
PUMPING STATION	N/A

*Three of the W.H.C.'s are for service to Open Space Lots 166, 167 & 169.



BENCHMARKS

161A: NORTHING: 585,524.418	23CA: NORTHING: 588,035.663
EASTING: 1346,343.626	EASTING: 1348,369.546
ELEVATION: 462.42	ELEVATION: 482.20

ADC MAP COORDINATES: MAP 11 GRID E6 4 ET F6 4 FT

- GENERAL NOTES**
- Approximate locations of existing mains are shown. The contractor shall take all necessary precautions to protect existing mains and services and maintain uninterrupted service. Any damage incurred shall be repaired immediately to the satisfaction of the Engineer at the contractor's expense.
 - Topographic field surveys were performed on March, 1941 by BDI and then updated by grade checks performed by Gutschick, Little & Weber, PA on or about June, 2001.
 - Horizontal and Vertical Survey Controls: The coordinates shown on the drawings are based on Maryland State Reference System NAD 83/11 as projected by Howard County Geodetic Control Stations No. 46B and No. 41EA. All vertical controls are based on NAVD 83. Vertical controls provided on the drawings are standard discs on concrete monuments.
 - All pipe elevations shown are invert elevations unless otherwise noted on the plans.
 - Clear all utilities by a minimum of 12 inches. Clear all poles by 5'-0" minimum or tunnel as required unless otherwise noted. The owner has contacted the utility companies and has made arrangements for bracing of poles as shown on the drawings. In the event the contractor's work requires the bracing of additional poles, any cost incurred by the owner for the bracing of additional poles or damages shall be deducted from monies owed the contractor. The contractor shall coordinate with the utility companies to schedule the bracing of the poles.
 - For details not shown on the drawing and for materials and construction methods, use Howard County Design Manual, Volume IV, Standard Specifications and Details for Construction (Latest Edition). The contractor shall have a copy of Volume IV on the job.
 - Where test pits have been made on existing utilities, they are noted by the symbol \oplus at the locations of the test pits. A note or notes containing the results of the test pit or pits is included on the drawings. Existing utilities in the vicinity of the proposed work for which test pits have not been dug shall be located by the contractor two weeks in advance of construction operations at his own expense.
 - The contractor shall notify the following utility companies or agencies at least five working days before starting work shown on these plans:

AT&T	1-800-252-1133
BGE (Construction Services)	410-631-8713
BGE (Emergency)	410-685-0123
Bureau of Utilities	410-313-4400
Colonial Pipeline Co.	410-795-1940
Miss Utility	1-800-251-7771
State Highway Administration	410-531-5533
Verizon	1-800-143-0033
 - Trees and shrubs are to be protected from damage to the maximum extent. Trees and shrubs located within the construction strip are not to be removed or damaged by the contractor.
 - The contractor shall remove trees, stumps and roots along the line of excavation. Payment for such removal shall be included in the unit price bid for construction of the main.
 - The contractor shall notify the Bureau of Highways, Howard County, at (410)-313-7450 at least five working days before open cutting or boring/jacking of any County road for laying water/sewer mains or house connections. The approval of these drawings will constitute compliance with DPM requirements per Section 18.14(a) of the Howard County Code.

- Part II. WATER**
- All water mains shall be D.I.P. Class 54 unless otherwise noted.
 - Tops of all water mains shall have a minimum of 3'-6" of cover unless otherwise noted.
 - Valves adjacent to trees shall be strapped to trees.
 - Tracer wires and continuity test stations shall be installed on all DIP and PVC water mains in accordance with the Howard County Design Manual.
 - Fire hydrants shall be set to the long line elevations shown on the drawings. All fire hydrants shall be installed in accordance with Standard Details. The soil around the fire hydrant shall be compacted in accordance with Section 1000 and Section 1005 of the Standard Specifications.
 - The contractor shall not operate any water main valves on the existing water system.
 - Tracer wires and continuity test stations shall be installed on all DIP and PVC water mains in accordance with the Howard County Design Manual.
 - For PVC water mains, all records for the Quality Control and Qualification Test Requirements noted in Section 51 of the ANPA Standard C400 for PVC pressure pipe shall be submitted with the pipe material certifications or shop drawings prior to approval of the material for use. The test results shall be for the pipe to be installed under this contract. All PVC pipe shall contain markings to allow cross referencing of the pipe supplied to the test records received.
 - Unless otherwise noted on the plans or in the specifications sacrificial anodes shall be installed on all valves and metallic fittings used with PVC water mains in accordance with Volume IV, Standard Specifications and Details for Construction, Seventeen (17) pound Magnesium anodes shall be installed on all valves and ductile iron fittings including restraints and hangers. Twelve (12) pound Zinc anodes shall be installed on all stainless steel fittings and saddles used with PVC mains. All "tees" used with PVC mains shall be ductile iron.
 - Proper Assembly of Gasketed PVC Pipe Joints: The manufacturer's insertion line of gasketed PVC pipe joints indicates the maximum depth of insertion of the spigot into the bell. After assembly of the joint, the insertion line shall remain visible. Dual insertion lines on gasketed PVC pipe indicate the maximum and minimum depth of insertion of the spigot into the bell. The contractor shall not over insert or over home the spigot into the bell of PVC pipe.
 - All changes in horizontal or vertical direction of PVC water pipe shall be made with standard bends, 5-degree sweeps or high deflection (HD) couplings. No bending of the pipe or deflecting of PVC pipe joints is permitted. Where high deflection couplings or 5-degree sweeps are permitted, the contractor shall provide one full pipe length (20-foot long) on either side of the high deflection coupling or 5-degree sweep. The contractor shall use a vibratory plate compactor or other approved means to thoroughly compact the #51 stone on both sides of the high deflection coupling or 5-degree sweep, taking care not to use compaction equipment directly over the fitting. PVC high deflection couplings shall be limited to a total deflection of 3-degrees (1/2-degree on either end of the coupling). They shall be rated for a minimum 200 psi meeting the requirements of ANPA C400, shall have a minimum lay length of 9-inches and shall have center stops. PVC high deflection couplings shall be CertainTeed PVC High Deflection (HD) Stop Couplings or equal. Five degree sweeps shall be bell by spigot, rated for a minimum 225 psi, DR18 meeting the requirements of ANPA C400 and shall be Multi Fittings (pep) Blue Brute DR18 or equal.
 - When PVC high deflection couplings or PVC 5-degree sweeps are used to facilitate changes in horizontal or vertical alignments of ANPA C-400 PVC pipelines, the contractor shall install devices for the prevention of over-insertion of the PVC pipe spigots or plain ends into the push on bell joint on both sides of the high deflection couplings and 5 degree sweeps. Bell stops shall be placed at the proper insertion line for the fitting. The bell stop shall be manufactured of ductile iron and incorporate an expansion retention spring to allow for pipe expansion and contraction. The bell stops shall be Series 5000 Mega-Stop, as manufactured by EBAA Iron, Inc. or approved equal.
 - For single family dwellings, the fire sprinkler code requires a minimum 1-1/2" MHC with a 1" meter, outside setting.

- Part III. SEWER**
- All sewer mains shall be D.I.P. or P.V.C. unless otherwise noted.
 - All manholes shall be 4'-0" inside diameter unless otherwise noted.
 - Force mains shall be D.I.P. only.
 - Manholes shown with 12" and 16" walls are for brick manholes only.
 - Manholes designated R.T. in plan and profile shall have watertight frame and cover, Standard Detail 6552. Where watertight manhole frames and covers are used, set top of frame 1'-6" above finished grade unless otherwise noted on the drawings.
 - House(s) with the symbol "C.N.S." indicates that the cellar cannot be served.

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH F-16-046, SECTION 308 OF THE SPECIFICATIONS AT FINAL ROAD PLAN STAGE.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

APPROVED: *John R. Roberts* 10/29/16
DATE: 10/29/16
HOWARD S.C.D.

NOTE:
THE PURPOSE OF REVISION 1 IS TO REVISE LOT PROPERTY LINES TO IMPROVE CONSTRUCTION. MANY ITEMS WERE REVISED TO ACCOUNT FOR THIS CHANGE INCLUDING EASEMENTS, GRADING, FOREST CONSERVATION, AND UTILITY LOCATIONS. ADDITIONAL REVISIONS WERE MADE TO THE WATER AND SEWER MAINS TO IMPROVE COVER AT A STREAM CROSSING, REDUCE COVER WHERE THE MAIN IS DEEP, ENSURE A LINE OF INFLUENCE WILL NOT IMPACT FUTURE CONSTRUCTION, OR PROVIDE A MORE EFFICIENT DESIGN.

PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
100 WEST PENNSYLVANIA AVENUE
SUITE 301
TOWSON, MARYLAND 21284
443-367-0422
ATTN: CAMILLA CARROLL

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

Steve C. Green 10/14/16
DATE: 10/14/16
CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY, MARYLAND

John C. Green 11/14/16
DATE: 11/14/16
CHIEF, DEVELOPMENT ENGINEERING DIVISION

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. JRD DRN. JRD CHK. DEV

DATE SEPT., 2016

G.L.W. No. 13013

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXP. DATE: MAY 26, 2018

John C. Green

Gr	△	REMOVED A PORTION OF PUBLIC WATER PROPOSED UNDER THIS CONTRACT AND ADDED IT TO CONT. #24-4877-D.	12-18-19
Gr	△	REV. QUANTITIES FOR W.H.C.'s TO 09 LOTS 166, 167 & 169	11-13-19
Gr	△	REVISED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT FROM PROPOSED UNDER HEA CONTRACT 24-5047-D TO 24-5047-D	7-09-19
Gr	△	REVISED QUANTITIES DUE TO RELOCATION OF R.H. 42A	10-19-21-18
Gr	△	REV. SEWER MAIN AND QUANTITIES TABLE	10-19-18
BY	NO	REVISION	DATE

COVER SHEET

600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

WESTMOUNT
CONTRACT NO. 24-4877-D
PHASE 2
LOTS 90 THRU 124, LOTS 138 THRU 143, LOTS 146 THRU 153
AND NON-BUILDABLE BULK PARCEL 'D'
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 2

SCALE AS SHOWN
SHEET 1 OF 9

FIRE HYDRANT TEE INFORMATION

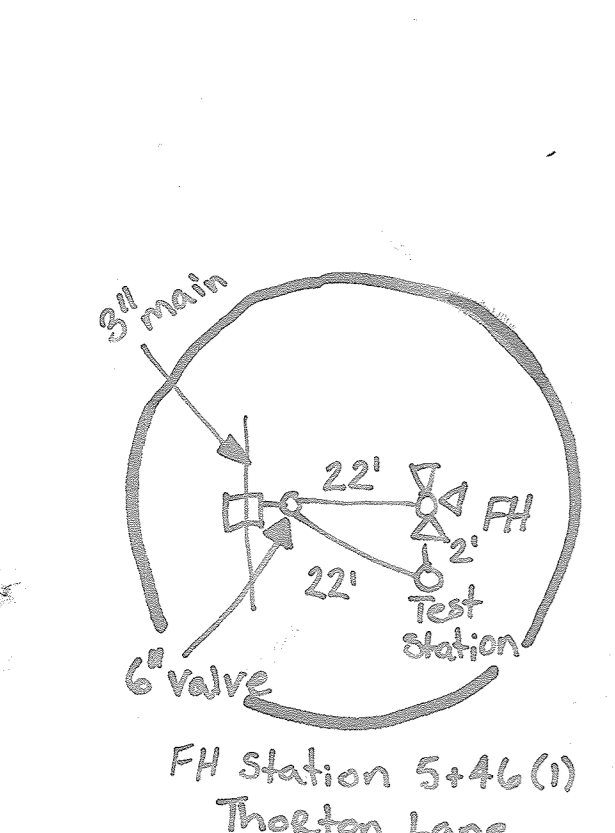
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(J)	N 585,874 E 1346,415
(S)	N 585,804 E 1346,087

SEWER MANHOLE INFORMATION

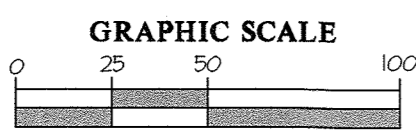
MH	LOCATION
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46	N 586,034 E 1346,116
47	N 585,967 E 1346,154
52	N 585,440 E 1346,378
53	N 585,956 E 1346,341
55	N 585,778 E 1346,298

FITTING CHART

STATION	FITTING	LOCATION
WATER MAIN 'B'		
0+00.00	8"x8" TEE	N 586,435 E 1346,122
3+03.35	1/16" HB	N 586,055 E 1346,047
4+84.23	1/32" HB	N 585,963 E 1346,134
5+18.91	8"x6" TEE	N 585,888 E 1346,147
6+00.88	8"x8" TEE	N 585,870 E 1346,210
WATER MAIN 'C'		
0+00.00	8"x8" TEE	N 585,870 E 1346,210
0+47.00	1/32" HB	N 585,924 E 1346,287
1+23.53	1/16" HB	N 585,941 E 1346,311
1+50.06	1/16" HB	N 585,943 E 1346,337
1+76.60	1/16" HB	N 585,934 E 1346,362
2+03.13	1/32" HB	N 585,917 E 1346,382
WATER MAIN 'H'		
0+00.00	8"x6" TEE	N 585,888 E 1346,147
1+47.94	6" CAP/BUTTRISS	N 585,748 E 1346,074



- NOTES:
- ALL SHCS SHOWN SERVING NUMBERED LOTS ARE 4".
 - SEWER MAINS WILL BE PUBLIC 8" PVC SDR-35, UNLESS OTHERWISE LABELED AS 8" S. DIP, THEY WILL BE DIP CLASS 52. SEE PROFILE SHEETS 5-4 FOR MORE DETAIL.
 - ALL MANHOLES WILL BE STANDARD 4'-0" (6 5/12).
 - OUTSIDE METERS WILL BE PER HOWARD CO. DETAIL W 3.32 FOR THIN CONNECTIONS AND DETAIL W 3.29 FOR SINGLE CONNECTIONS.
 - ALL SHCS SERVING NUMBERED LOTS ARE 1 1/2" WITH A 1" METER OUTSIDE SETTING.
 - WATER MAIN IS 8" DIP UNLESS OTHERWISE NOTED AS 6" DIP. BOTH WILL BE CLASS 54.
 - REFER TO ROAD CONSTRUCTION PLANS (P-16-046) OR PROFILE SHEETS 5-4 FOR PROPOSED STORM DRAIN INFORMATION.
 - SEE P-16-046 FOR ALL STORM DRAIN SEDIMENT CONTROL, STORMWATER MANAGEMENT, AND OTHER ROAD CONSTRUCTION RELATED INFORMATION.
 - SEE CONT. #24-5097-D FOR 8" AND 8 1/2" WHICH PROVIDES SERVICE TO LOTS 81 THRU 84, LOTS 125 THRU 131, AND LOTS 144 AND 145.
 - EXISTING VALVE TO BE CLOSED BY DPM FOR CONSTRUCTION.



MATCHLINE FOR CONTINUATION SEE SHEET 3

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

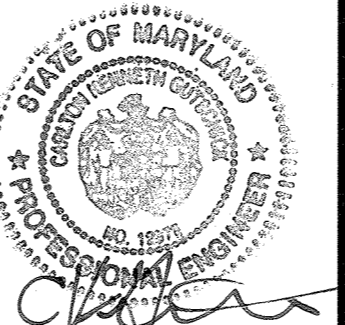
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY, MARYLAND

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE: JULY, 2019
G.L.W. No. 13013

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2020

DES. JRD DRN. JRD CHK. DEV



NO.	REVISION	DATE
34	PROVIDED WHC TO LOT 169. ADDED BACK-FLOW PREVENTER	12-18-19
DEV	REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT. NOW PROPOSED UNDER NEW CONTRACT 24-5097-D	07/08/19
BY	NO	

WATER and SEWER PLAN

600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

WESTMOUNT
CONTRACT NO. 24-4877-D
PHASE 2
LOTS 90 THRU 124, LOTS 138 THRU 144, LOTS 146 THRU 153, AND NON-BUILDABLE BULK PARCEL 'D'
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT NO. 2

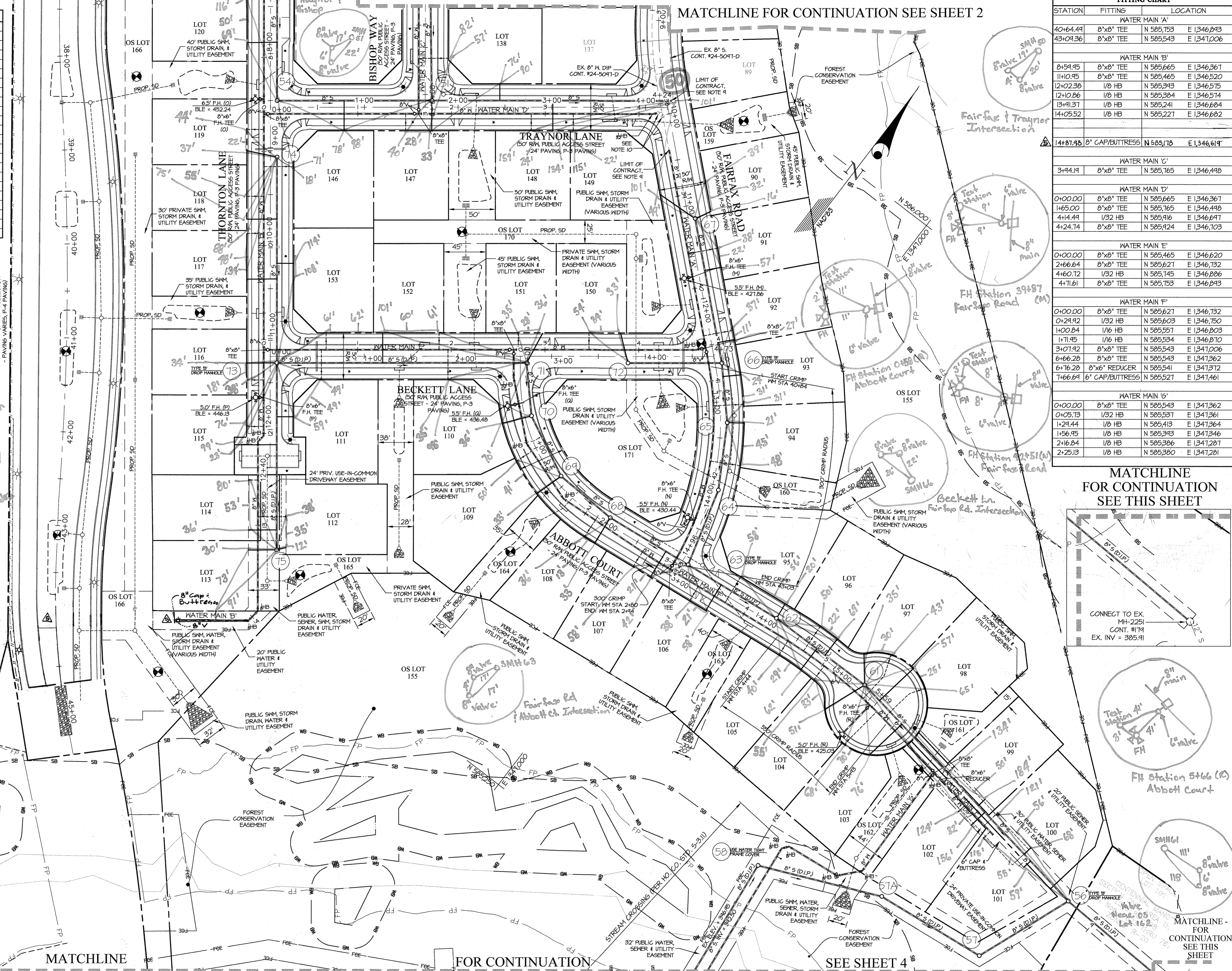
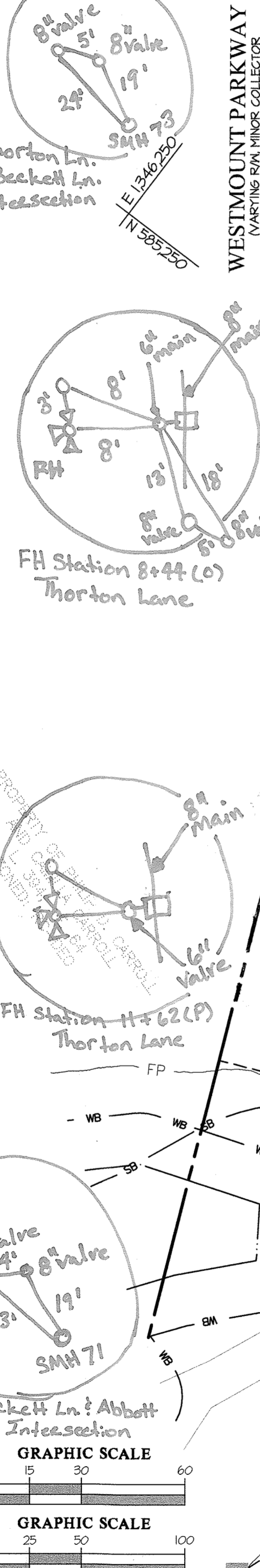
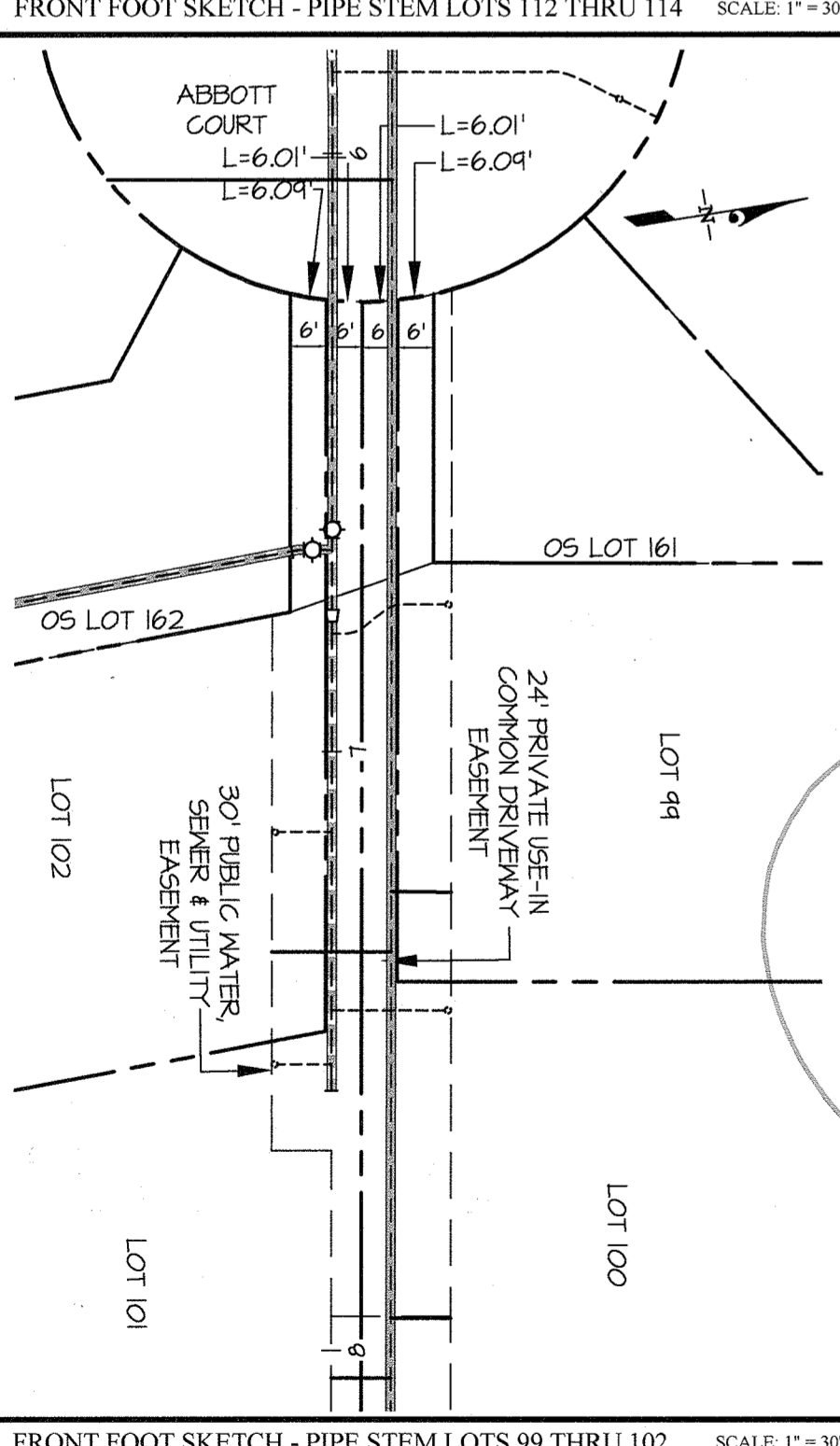
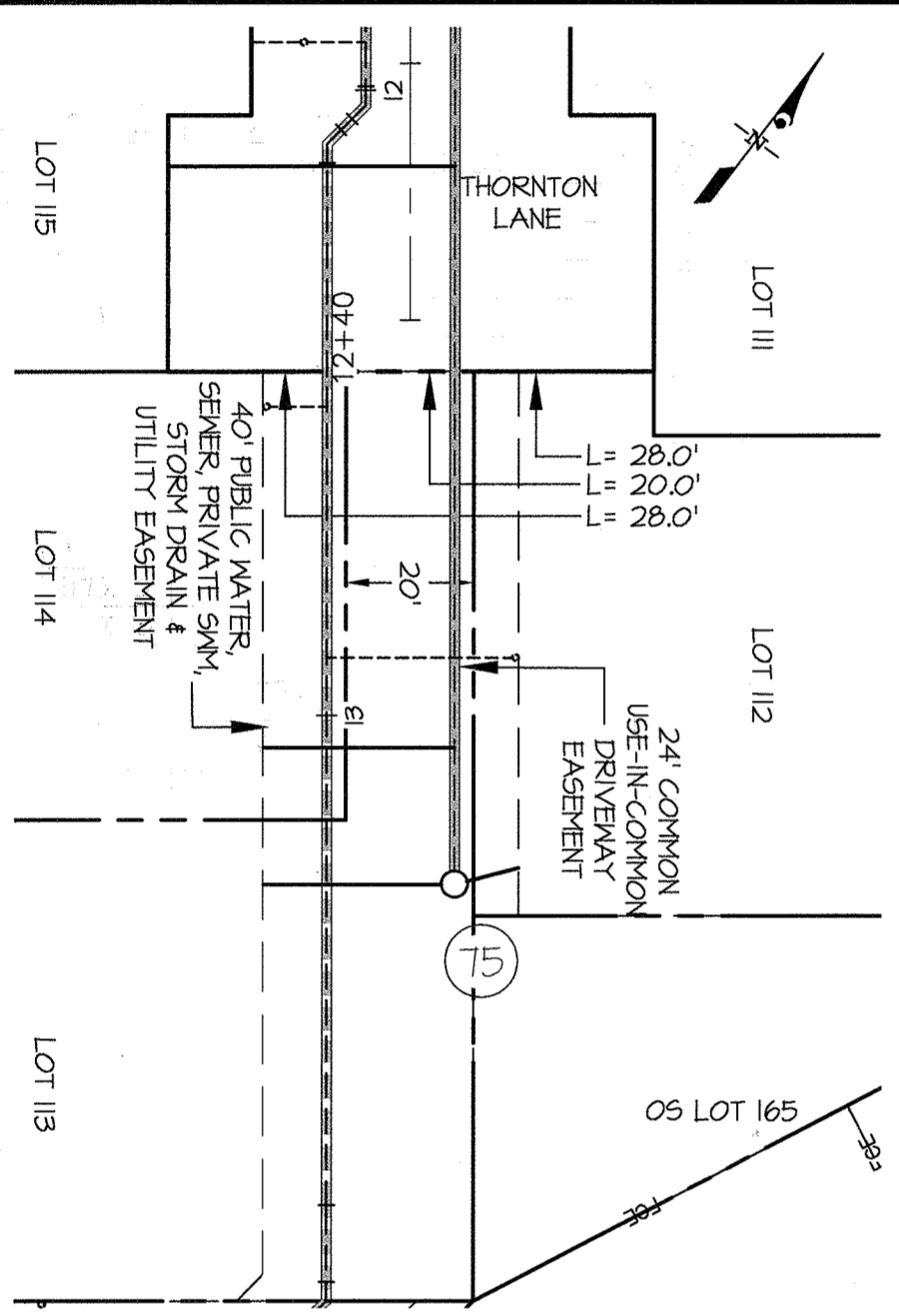
SCALE
1" = 50'
SHEET
2 OF 9

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FIRE HYDRANT TEE INFORMATION	
FHT	LOCATION
(M)	N 585,805 E 1346,836
(N)	N 585,548 E 1346,987
(O)	N 585,671 E 1346,358
(P)	N 585,420 E 1346,544
(Q)	N 585,585 E 1346,711
(R)	N 585,558 E 1347,263
(T)	N 585,080 E 1346,513

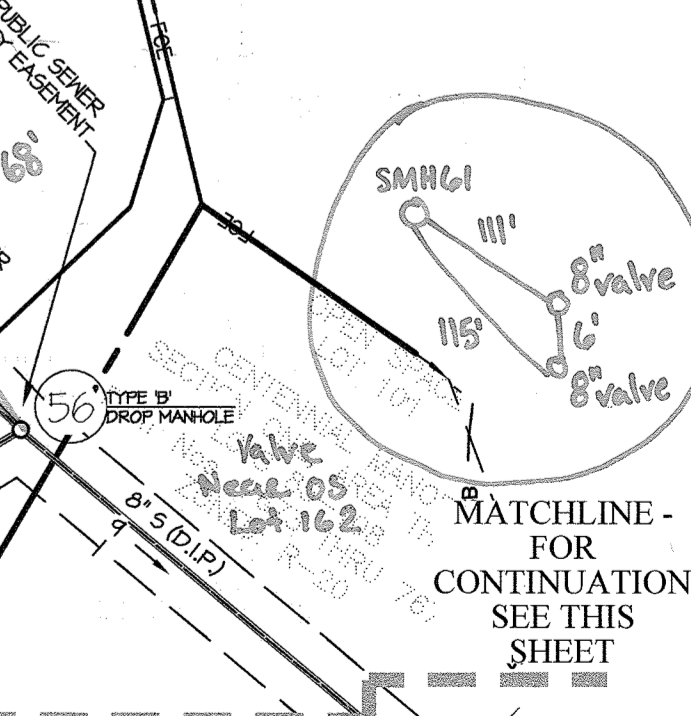
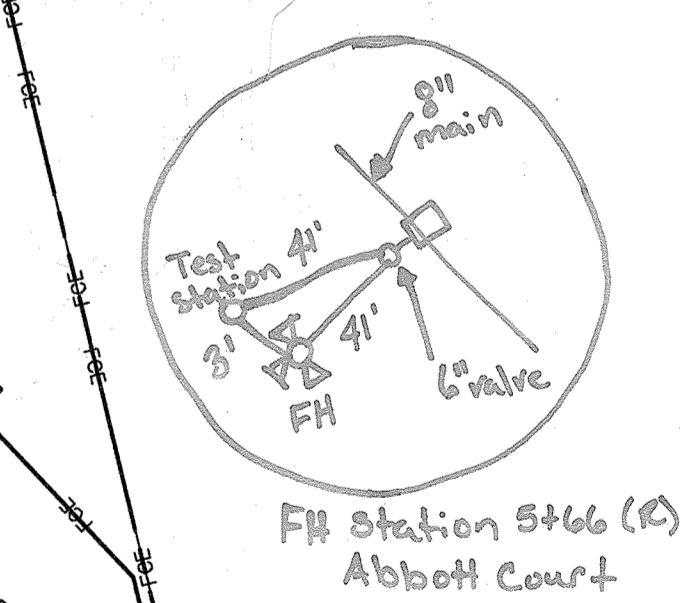
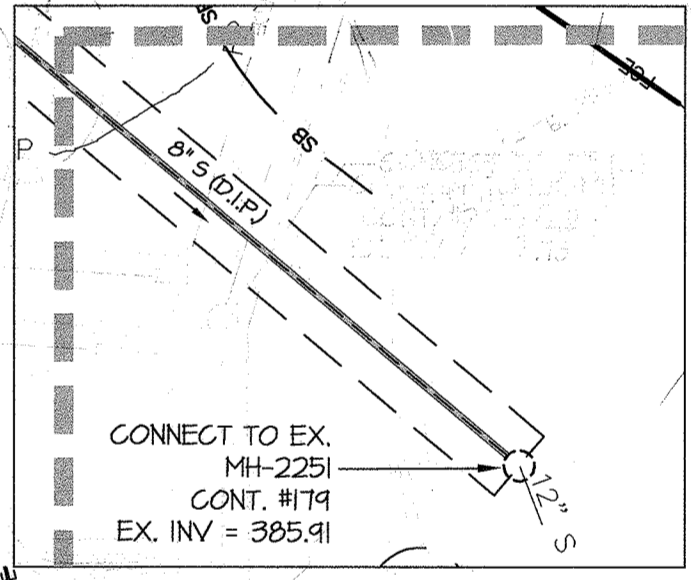
SEWER MANHOLE INFORMATION	
MH	LOCATION
51	N 585,184 E 1346,501
54	N 585,684 E 1346,370
56	N 585,521 E 1347,558
57	N 585,420 E 1347,542
57A	N 585,404 E 1347,341
58	N 585,350 E 1347,122
61	N 585,512 E 1347,246
62	N 585,571 E 1347,128
63	N 585,554 E 1347,018
64	N 585,641 E 1346,946
65	N 585,104 E 1346,960
66	N 585,136 E 1346,933
67	N 585,856 E 1346,800
68	N 585,548 E 1346,922
69	N 585,551 E 1346,854
70	N 585,583 E 1346,740
71	N 585,625 E 1346,751
72	N 585,667 E 1346,806
73	N 585,463 E 1346,551
74	N 585,636 E 1346,406
75	N 585,305 E 1346,660

- NOTES:
- ALL SHG'S SHOWN NUMBERED LOTS ARE 4'
 - SEWER MAINS WILL BE PUBLIC 8" PVC SDR-35, UNLESS OTHERWISE LABELED AS 8" S. DIP. THEY WILL BE DIP CLASS 52. SEE PROFILE SHEETS 5-4 FOR MORE DETAIL.
 - ALL MANHOLES WILL BE STANDARD 4'-0" (S 512).
 - OUTSIDE METERS WILL BE PER HOWARD CO. DETAIL N.332 FOR TWIN CONNECTIONS AND DETAIL N.328 FOR SINGLE CONNECTIONS.
 - ALL PKG'S SERVING NUMBERED LOTS ARE 1/2" WITH A 1" METER OUTSIDE SETTING.
 - WATER MAIN IS 8" DIP UNLESS OTHERWISE NOTED AS 6" DIP. BOTH WILL BE CLASS 54.
 - REFER TO ROAD CONSTRUCTION PLANS (R-16-046) OR PROFILE SHEETS 5-4 FOR PROPOSED STORM DRAIN INFORMATION.
 - SEE R-16-046 FOR ALL STORM DRAIN, SEDIMENT CONTROL, STORMWATER MANAGEMENT, AND OTHER ROAD CONSTRUCTION RELATED INFORMATION.
 - SEE CONT.#24-5041-D FOR 8" S AND 8" W WHICH PROVIDES SERVICE TO LOTS 81 THRU 84, LOTS 125 THRU 131, AND LOTS 144 AND 145.
 - EXISTING VALVE TO BE CLOSED BY DPM FOR CONSTRUCTION.



FITTING CHART			
STATION	FITTING	LOCATION	
WATER MAIN 'A'			
40+64.49	8"x8" TEE	N 585,153 E 1346,843	
43+09.36	8"x8" TEE	N 585,543 E 1347,006	
WATER MAIN 'B'			
8+54.95	8"x8" TEE	N 585,665 E 1346,361	
11+0.45	8"x8" TEE	N 585,465 E 1346,520	
12+02.38	1/8" HB	N 585,343 E 1346,575	
12+10.86	1/8" HB	N 585,384 E 1346,574	
13+41.37	1/8" HB	N 585,241 E 1346,684	
14+05.52	1/8" HB	N 585,221 E 1346,682	
WATER MAIN 'C'			
3+44.14	8"x8" TEE	N 585,165 E 1346,448	
WATER MAIN 'D'			
0+00.00	8"x8" TEE	N 585,665 E 1346,361	
1+65.00	8"x8" TEE	N 585,165 E 1346,448	
4+14.44	1/32" HB	N 585,145 E 1346,641	
4+24.74	8"x8" TEE	N 585,124 E 1346,103	
WATER MAIN 'E'			
0+00.00	8"x8" TEE	N 585,465 E 1346,620	
2+66.64	8"x8" TEE	N 585,627 E 1346,732	
4+60.12	1/32" HB	N 585,145 E 1346,641	
4+71.61	8"x8" TEE	N 585,153 E 1346,643	
WATER MAIN 'F'			
0+00.00	8"x8" TEE	N 585,627 E 1346,732	
0+24.92	1/32" HB	N 585,603 E 1346,750	
1+00.84	1/16" HB	N 585,551 E 1346,803	
1+71.45	1/16" HB	N 585,554 E 1346,870	
3+01.42	8"x8" TEE	N 585,543 E 1347,006	
6+66.28	8"x8" TEE	N 585,543 E 1347,362	
6+16.28	8"x6" REDUCER	N 585,541 E 1347,372	
7+66.64	6" CAP/BUTRESS	N 585,521 E 1347,461	
WATER MAIN 'G'			
0+00.00	8"x8" TEE	N 585,543 E 1347,362	
0+05.73	1/32" HB	N 585,537 E 1347,361	
1+24.44	1/8" HB	N 585,413 E 1347,364	
1+56.45	1/8" HB	N 585,343 E 1347,346	
2+16.84	1/8" HB	N 585,386 E 1347,287	
2+25.13	1/8" HB	N 585,380 E 1347,281	

MATCHLINE FOR CONTINUATION SEE THIS SHEET



DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
7-31-19

DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY, MARYLAND
8-15-19

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE: JULY, 2019
G.L.W. No. 13013

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXP. DATE: MAY 26, 2020



NO.	REVISION	DATE
3+	REMOVED A PORTION OF PUBLIC WATER PROPOSED UNDER THIS CONTRACT & ADDED IT TO CONT. #24-4878-UPDATED CHARTS & NOTES ACCORDINGLY.	12-18-19
DEV	REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT NOW PROPOSED UNDER NEW CONTRACT #24-5041-D	07/09/19
BY	NO	REVISION

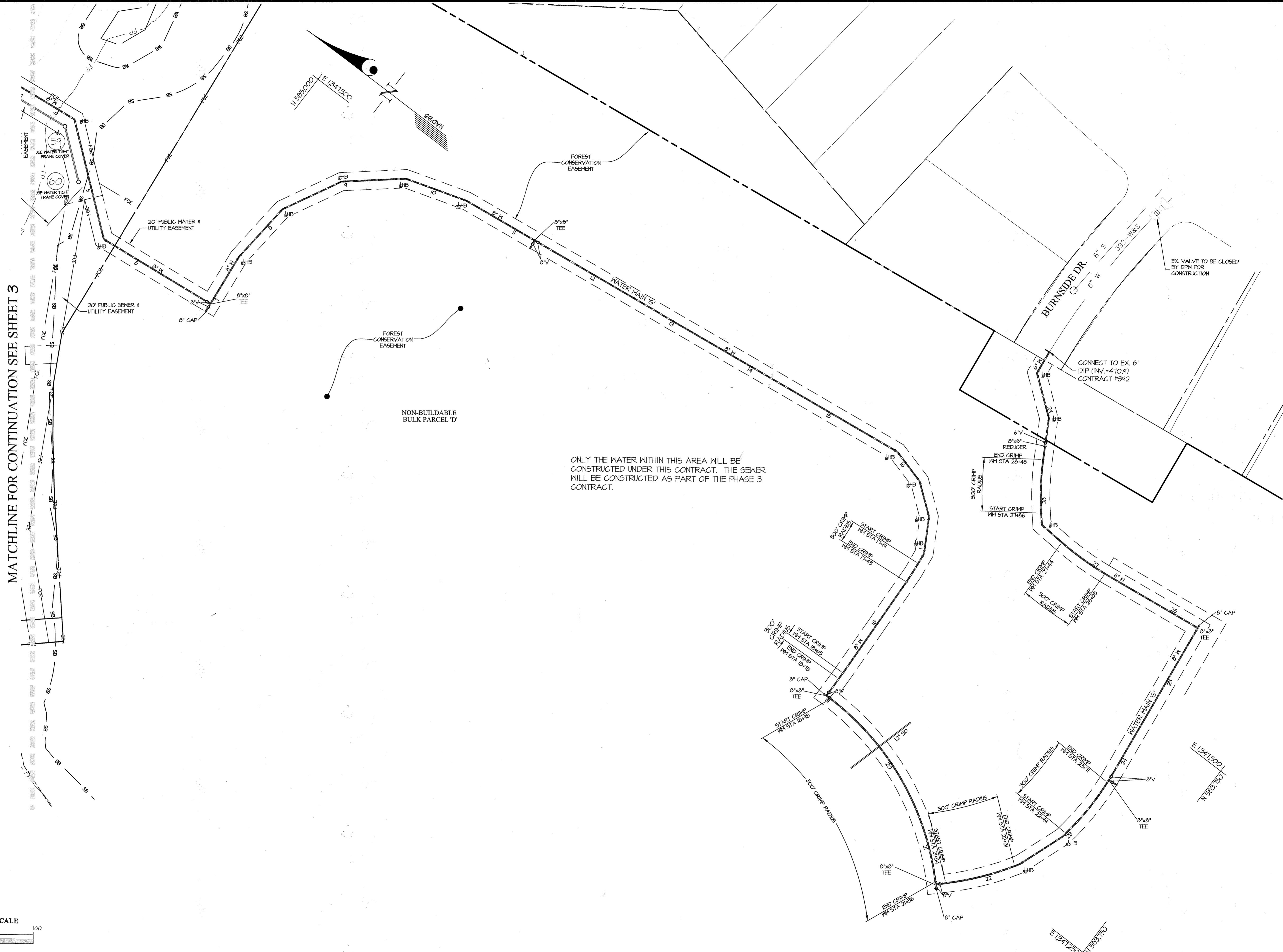
WATER and SEWER PLAN
600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

WESTMOUNT CONTRACT NO. 24-4877-D PHASE 2
LOTS 90 THRU 124, LOTS 138 THRU 144, LOTS 146 THRU 153, AND NON-BUILDABLE BULK PARCEL 'D'
HOWARD COUNTY, MARYLAND ELECTION DISTRICT No. 2
SCALE 1" = 50'
SHEET 3 OF 9

SEWER MANHOLE INFORMATION			
MH	LOCATION		
59	N 585,184	E 1,341,240	
60	N 585,140	E 1,341,251	

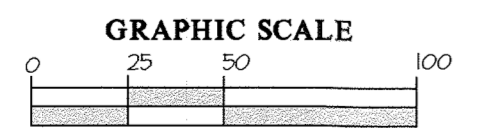
FITTING CHART			
STATION	FITTING	LOCATION	
4+20.15	1/8" HB	N 585,186	E 1,341,302
5+55.75	1/8" HB	N 585,080	E 1,341,218
6+42.90	8"x8" TEE	N 584,444	E 1,341,233
7+53.17	1/32" HB	N 584,450	E 1,341,242
8+24.14	1/16" HB	N 584,444	E 1,341,263
8+45.20	1/16" HB	N 584,411	E 1,341,426
9+66.21	1/16" HB	N 584,257	E 1,341,472
10+31.23	1/32" HB	N 584,184	E 1,341,443
11+23.47	8"x8" TEE	N 584,703	E 1,341,504
15+84.84	1/16" HB	N 584,246	E 1,341,562
16+25.45	1/16" HB	N 584,207	E 1,341,551
16+66.01	1/16" HB	N 584,175	E 1,341,526
17+06.58	1/16" HB	N 584,154	E 1,341,441
18+45.81	8"x8" TEE	N 584,145	E 1,341,302
21+42.45	8"x8" TEE	N 583,423	E 1,341,211
22+31.62	1/32" HB	N 583,863	E 1,341,284
22+43.56	1/32" HB	N 583,844	E 1,341,287
23+13.44	8"x8" TEE	N 583,842	E 1,341,417
25+61.46	8"x8" TEE	N 583,866	E 1,341,604
27+13.50	1/8" HB	N 584,071	E 1,341,545
28+41.10	1/16" HB	N 584,136	E 1,341,642
29+42.36	1/8" HB	N 584,177	E 1,341,724

MATCHLINE FOR CONTINUATION SEE SHEET 3



ONLY THE WATER WITHIN THIS AREA WILL BE CONSTRUCTED UNDER THIS CONTRACT. THE SEWER WILL BE CONSTRUCTED AS PART OF THE PHASE 3 CONTRACT.

- NOTES
- ALL S.W.'S SHOWN SERVING NUMBERED LOTS ARE 4".
 - SEWER MAINS WILL BE PUBLIC 8" PVC SDR-35 UNLESS OTHERWISE LABELED AS 8" S. DIP THEY WILL BE DIP CLASS 52. SEE PROFILE SHEETS 6-11 FOR MORE DETAIL.
 - ALL MANHOLES WILL BE STANDARD 4'-0" (6 512).
 - OUTSIDE METERS WILL BE PER HOWARD CO. DETAIL W 3.32 FOR TWIN CONNECTIONS AND DETAIL W 3.28 FOR SINGLE CONNECTIONS.
 - ALL M.W.'S SERVING NUMBERED LOTS ARE 1 1/2" WITH A 1" METER OUTSIDE SETTING.
 - WATER MAIN IS 8" DIP UNLESS OTHERWISE NOTED AS 6" DIP. BOTH WILL BE CLASS 54.
 - SEE P-16-046 FOR ALL STORM DRAIN, SEDIMENT CONTROL, STORMWATER MANAGEMENT, AND OTHER ROAD CONSTRUCTION RELATED INFORMATION.

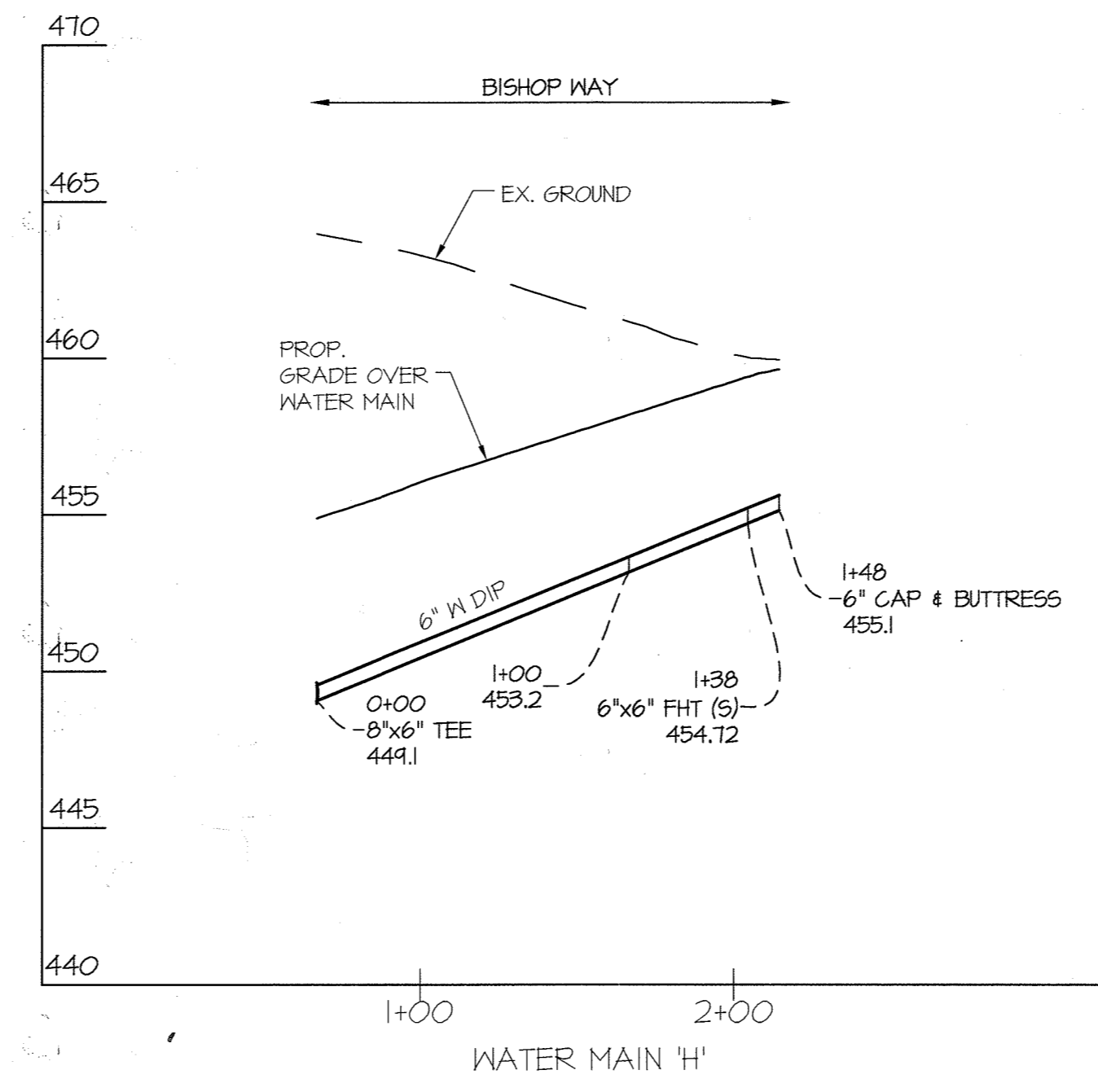
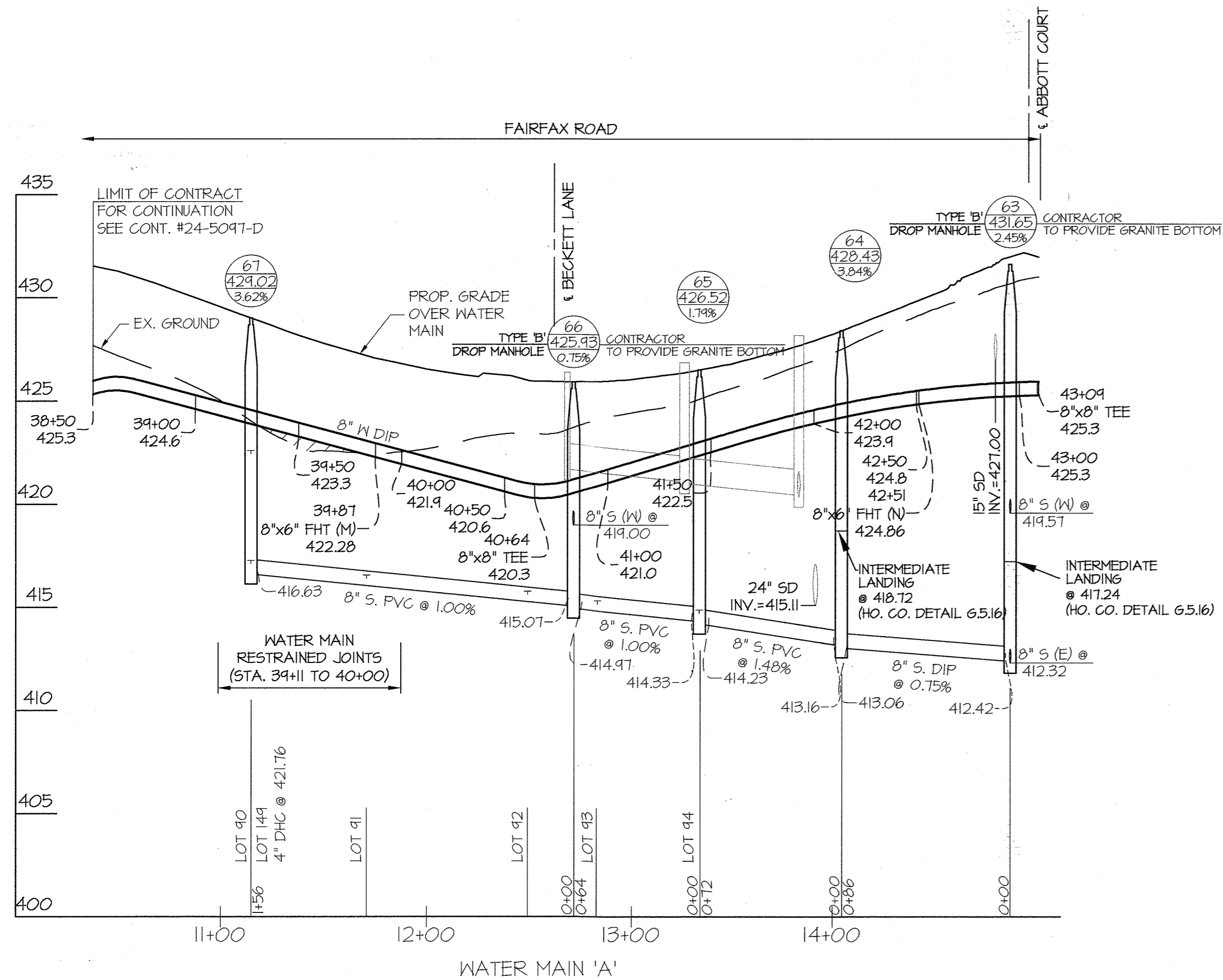


DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND <i>John C. Coen</i> CHIEF, BUREAU OF UTILITIES	DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY, MARYLAND <i>Paul Elbert</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20886 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186	DATE SEPT., 2016	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12975 EXP. DATE: MAY 26, 2018 <i>9/22/16</i>	3+. BY NO	REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT NOT PROPOSED UNDER NEHA CONTRACT 24-5697-D REVISION	7-09-19 DATE	600' SCALE MAP NO. 23 BLOCK NO. 6 & 12	WESTMOUNT CONTRACT No. 24-4877-D PHASE 2 LOTS 90 THRU 124, LOTS 138 THRU 143, LOTS 146 THRU 153 OPEN SPACE LOTS 154 THRU 171 AND NON-BUILDABLE BULK PARCEL 'D' HOWARD COUNTY, MARYLAND ELECTION DISTRICT No. 2	SCALE 1" = 50'
			G.L.W. No. 13013							DES. JRD DRN. JRD CHK. DEV

AS-BUILT INFORMATION											
LOT #	ADDRESS	WATER HOUSE CONNECTION AS BUILT		SEWER HOUSE CONNECTION AS BUILT		LOT #	ADDRESS	WATER HOUSE CONNECTION AS BUILT		SEWER HOUSE CONNECTION AS BUILT	
		LOCATION DIM. 1	LOCATION DIM. 2	LOCATION DIM. 1	LOCATION DIM. 2			LOCATION DIM. 1	LOCATION DIM. 2	LOCATION DIM. 1	LOCATION DIM. 2
90	FAIRFAX ROAD	32' to SMH 67	32' to SHC Lot 90	16' to SMH 67	32' to WHC Lot 90	122	THORNTON LANE	115' to SMH 47	92' to SHC Lot 122	33' to SMH 47	92' to WHC Lot 122
91	FAIRFAX ROAD	25' to SMH 67	22' to SHC Lot 91	57' to SMH 67	22' to WHC Lot 91	123	THORNTON LANE	50' to SMH 47	10' to SHC Lot 123	57' to SMH 46	10' to WHC Lot 123
92	FAIRFAX ROAD	37' to SMH 66	91' to SHC Lot 92	27' to SMH 66	71' to WHC Lot 92	124	THORNTON LANE	40' to SMH 46	10' to SHC Lot 124	51' to SMH 46	10' to WHC Lot 124
93	FAIRFAX ROAD	31' to SMH 65	31' to SHC Lot 93	25' to SMH 65	31' to WHC Lot 93	125	THORNTON LANE				
94	FAIRFAX ROAD	48' to SMH 65	45' to SHC Lot 94	21' to SMH 65	45' to WHC Lot 94	126	FAIRFAX ROAD				
95	ABBOTT COURT	50' to SMH 62	56' to SHC Lot 95	20' to SMH 62	56' to WHC Lot 95	130	FAIRFAX ROAD				
96	ABBOTT COURT	50' to SMH 62	22' to SHC Lot 96	49' to SMH 62	22' to WHC Lot 96	131	FAIRFAX ROAD				
97	ABBOTT COURT	45' to SMH 61	30' to SHC Lot 97	35' to SMH 61	30' to WHC Lot 97	132	FAIRFAX ROAD				
98	ABBOTT COURT	66' to SMH 61	25' to SHC Lot 98	57' to SMH 61	25' to WHC Lot 98	133	FAIRFAX ROAD				
99	ABBOTT COURT	134' to SMH 61	80' to SHC Lot 99	184' to SMH 61	50' to WHC Lot 99	134	FAIRFAX ROAD				
100	ABBOTT COURT	121' to SMH 56	56' to SHC Lot 100	68' to SMH 56	56' to WHC Lot 100	135	FAIRFAX ROAD				
101	ABBOTT COURT	115' to SMH 56	55' to SHC Lot 101	59' to SMH 56	55' to WHC Lot 101	136	FAIRFAX ROAD				
102	ABBOTT COURT	124' to SMH 67	32' to SHC Lot 102	156' to SMH 67	32' to WHC Lot 102	137	FAIRFAX ROAD				
103	ABBOTT COURT	68' to SMH 61	30' to SHC Lot 103	76' to SMH 61	30' to WHC Lot 103	138	BISHOP WAY	57' to SMH 51	82' to SHC Lot 138	57' to SMH 51	82' to WHC Lot 138
104	ABBOTT COURT	55' to SMH 61	33' to SHC Lot 104	57' to SMH 61	33' to WHC Lot 104	139	BISHOP WAY	67' to SMH 52	25' to SHC Lot 139	98' to SMH 52	25' to WHC Lot 139
105	ABBOTT COURT	40' to SMH 62	29' to SHC Lot 105	62' to SMH 62	29' to WHC Lot 105	140	BISHOP WAY	21' to SMH 52	12' to SHC Lot 140	19' to SMH 52	12' to WHC Lot 140
106	ABBOTT COURT	38' to SMH 63	21' to SHC Lot 106	56' to SMH 63	21' to WHC Lot 106	141	BISHOP WAY	33' to SMH 53	16' to SHC Lot 141	18' to SMH 53	16' to WHC Lot 141
107	ABBOTT COURT	50' to SMH 63	21' to SHC Lot 107	42' to SMH 63	21' to WHC Lot 107	142	THORNTON LANE	52' to SMH 47	17' to SHC Lot 142	45' to SMH 47	17' to WHC Lot 142
108	ABBOTT COURT	36' to SMH 68	13' to SHC Lot 108	33' to SMH 68	13' to WHC Lot 108	143	THORNTON LANE	37' to SMH 46	28' to SHC Lot 143	21' to SMH 46	28' to WHC Lot 143
109	ABBOTT COURT	50' to SMH 69	47' to SHC Lot 109	53' to SMH 69	47' to WHC Lot 109	144	TRAYNOR LANE	18' to SMH 74	77' to SMH 54	18' to SMH 51	78' to SMH 54
110	BECKETT LANE	98' to SMH 70	85' to SMH 71	36' to SMH 70	70' to SMH 71	147	TRAYNOR LANE	40' to SMH 51	25' to SHC Lot 147	33' to SMH 51	25' to WHC Lot 147
111	BECKETT LANE	49' from SMH 73	49' from SHC Lot 111	59' from SMH 73	49' from WHC Lot 111	148	TRAYNOR LANE	159' to SMH 50	22' to SHC Lot 148	134' to SMH 50	22' to WHC Lot 148
112	THORNTON LANE	38' from SMH 75	35' from SHC Lot 112	12' from SMH 75	35' from WHC Lot 112	144	TRAYNOR LANE	115' to SMH 50	22' to SHC Lot 149	49' to SMH 67	101' to SMH 50
113	THORNTON LANE	91' from SMH 75	73' from SHC Lot 113	30' from SMH 75	73' from WHC Lot 113	150	BECKETT LANE	54' to SMH 72	34' to SHC Lot 150	33' to SMH 72	34' to WHC Lot 150
114	THORNTON LANE	90' from SMH 75	53' from SHC Lot 114	30' from SMH 75	53' from WHC Lot 114	151	BECKETT LANE	35' to SMH 71	28' to SHC Lot 151	26' to SMH 71	28' to WHC Lot 151
115	THORNTON LANE	76' from SMH 75	23' from SHC Lot 115	97' from SMH 75	23' from WHC Lot 115	152	BECKETT LANE	61' to SMH 71	60' to SHC Lot 152	101' to SMH 71	60' to WHC Lot 152
116	THORNTON LANE	38' from SMH 73	16' from SHC Lot 116	37' from SMH 73	18' from WHC Lot 116	153	BECKETT LANE	61' to SMH 73	62' to SHC Lot 153	108' to SMH 73	114' to SMH 74
117	THORNTON LANE	88' from SMH 74	48' from SHC Lot 117	134' to SMH 74	48' from WHC Lot 117						
118	THORNTON LANE	55' to SMH 74	23' from SHC Lot 118	75' to SMH 74	23' from WHC Lot 118						
119	THORNTON LANE	44' to SMH 74	22' from SHC Lot 119	37' to SMH 74	22' from WHC Lot 119						
120	THORNTON LANE	116' to SMH 54	50' from SHC Lot 120	67' to SMH 54	50' from WHC Lot 120						
121	THORNTON LANE	44' to SMH 55	10' from SHC Lot 121	34' to SMH 55	10' from WHC Lot 121						

MINIMUM CELLAR ELEVATIONS (M.C.E.)																	
LOT	INV. @ MAIN/WH	DHC HT.	SHC SLOPE	SHC LENGTH (to R/W)	INV. @ R/W	M.C.E.	BF ELEV.*	FF ELEV.*	LOT	INV. @ MAIN/WH	DHC HT.	SHC SLOPE	SHC LENGTH (to R/W)	INV. @ R/W	M.C.E.	BF ELEV.*	FF ELEV.*
90	416.96	---	2%	16'	417.20	421.50	424.20	434.04	117	435.85	---	2%	32'	436.44	440.54	443.10	452.84
91	416.22	---	2%	18'	416.50	420.60	422.00	431.84	118	436.44	---	2%	32'	437.13	441.23	444.00	453.84
92	415.44	---	1.5%	18'	415.71	414.43	420.00	424.84	119	437.33	---	2%	31'	437.95	442.05	444.70	454.54
93	414.97	---	2%	19'	415.35	414.05	419.50	424.34	120	438.74	---	2%	32'	439.43	443.43	446.50	456.34
94	414.56	---	2%	16'	414.80	418.40	420.60	430.44	121	440.10	---	2%	31'	440.72	444.82	447.70	457.54
95	411.72	5.5'	2%	16'	417.54	421.64	423.70	433.54	122	438.13	4.0'	2%	30'	442.73	446.83	447.30	457.14
96	411.56	4.7'	2%	22'	416.70	421.00	421.60	431.44	123	436.40	3.6'	2%	34'	440.60	444.80	445.45	455.20
97	410.74	3.0'	2%	32'	414.30	418.70	419.20	424.04	124	434.73	3.4'	2%	35'	438.83	443.03	443.60	453.44
98	410.02	---	2%	50'	411.02	415.32	418.40	428.24	130	428.94	5.9'	2%	18'	435.25	438.85	434.31	444.21
99	407.05	5.1'	2%	10'	412.35	416.25	416.80	426.64	131	433.21	---	2%	19'	433.65	437.84	434.31	444.21
100	405.45	5.8'	2%	10'	411.45	414.85	415.40	425.24	140	434.81	---	2%	16'	435.13	439.43	442.50	452.34
101	405.23	4.9'	2%	10'	410.33	414.23	414.80	424.64	141	436.43	3.4'	2%	16'	440.65	444.95	445.50	455.34
102	406.83	5.1'	2%	20'	412.33	416.33	416.90	426.74	142	438.13	3.2'	2%	16'	441.65	446.05	446.60	456.44
103	404.75	3.0'	2%	44'	413.73	417.53	418.00	421.84	143	435.57	5.6'	2%	16'	441.44	445.44	446.00	455.84
104	410.74	4.0'	2%	53'	415.80	419.60	420.10	424.94	146	434.44	---	2%	32'	435.58	439.28	442.90	452.74
105	411.64	5.6'	2%	28'	417.80	422.00	422.50	432.34	147	431.74	3.4'	2%	30'	435.74	439.84	440.40	450.24
106	412.66	7.3'	2%	32'	420.60	424.70	425.24	435.13	148	426.10	---	2%	32'	426.82	430.82	433.10	442.94
107	420.06	---	2%	32'	420.70	424.80	426.90	436.74	149	416.96	4.8'	2%	43'	422.62	426.82	428.40	438.24
108	421.11	---	2%	30'	421.70	425.91	427.60	437.44	150	420.33	---	2%	33'	420.94	424.84	427.20	437.04
109	421.14	---	2%	30'	422.74	427.04	430.00	434.84	151	424.94	---	2%	32'	425.58	429.58	431.50	441.34
110	423.32	5.6'	2%	30'	424.52	433.42	436.50	446.34	152	426.52	5.6'	2%	32'	432.16	436.96	437.50	447.34
111	421.81	6.3'	2%	18'	424.53	433.53	434.10	448.94	153	436.00	---	2%	18'	436.36	440.76	442.40	452.24
112	420.63	---	2%	8'	428.74	433.14	435.00	444.84									
113	420.63	---	1.0%	28'	428.91	431.81	432.40	442.24									
114	420.30	---	2%	30'	428.90	433.10	435.20	445.04									
115	420.11	5.7'	2%	45'	434.71	438.51	439.10	448.94									
116	427.04	8.8'	2%	30'	436.44	440.14	440.66	450.50									

NOTES:
* BF ELEV. AND FF ELEV. ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. ENGINEER PREPARING THE SDP IS TO CONFIRM THAT THE FINAL BF ELEV. PROPOSED ON THE SDP IS AT OR ABOVE THE M.C.E.



RECEIVED
SEE THIS SIDE

NOTE: THE LOCATION OF THE SEWER HOUSE CONNECTIONS INDICATE THE INVERT AT THE EDGE OF THE RIGHT-OF-WAY OR EASEMENT LINE.

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
DATE: 7-31-19

DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY, MARYLAND
DATE: 8-15-19

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

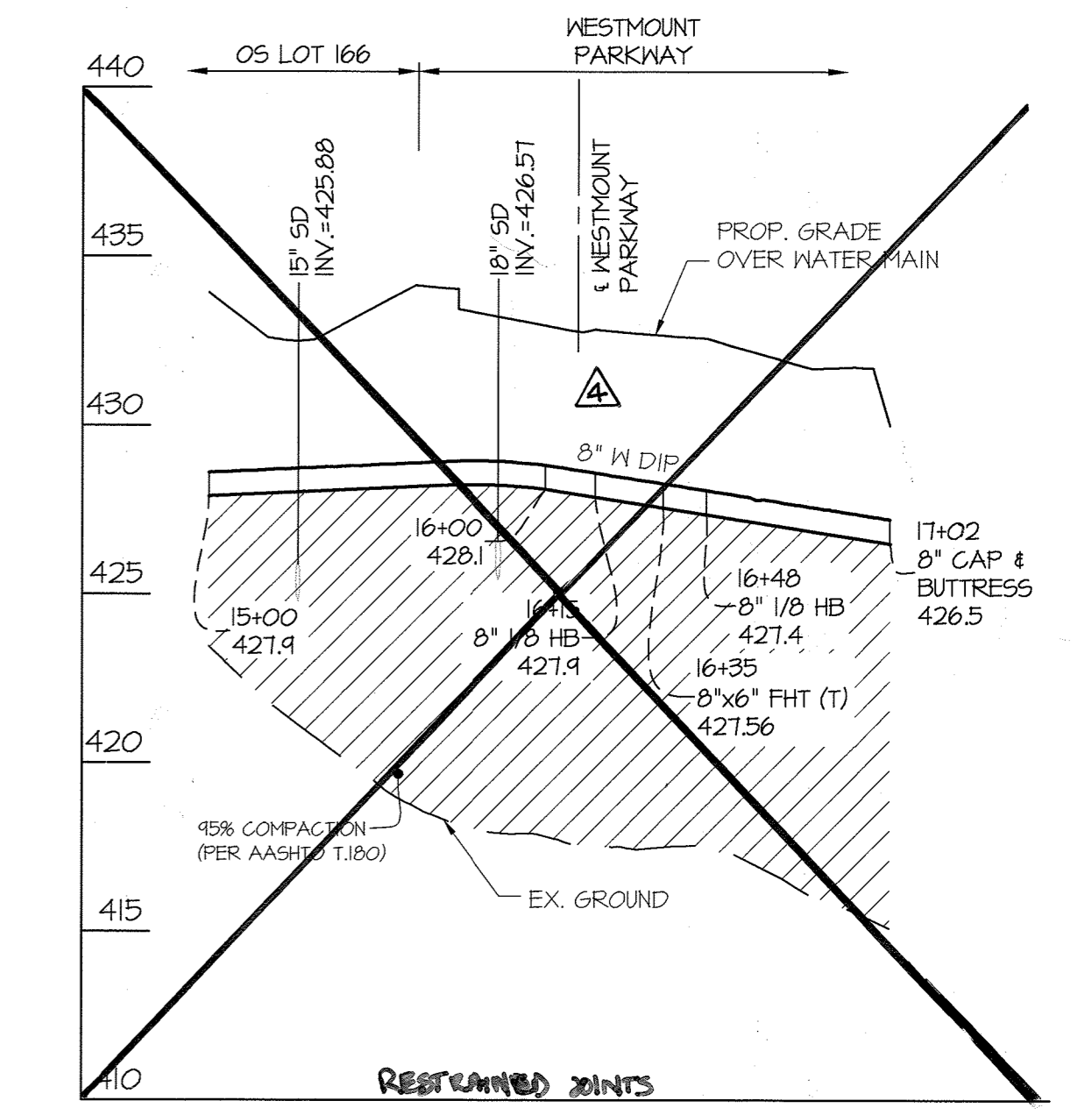
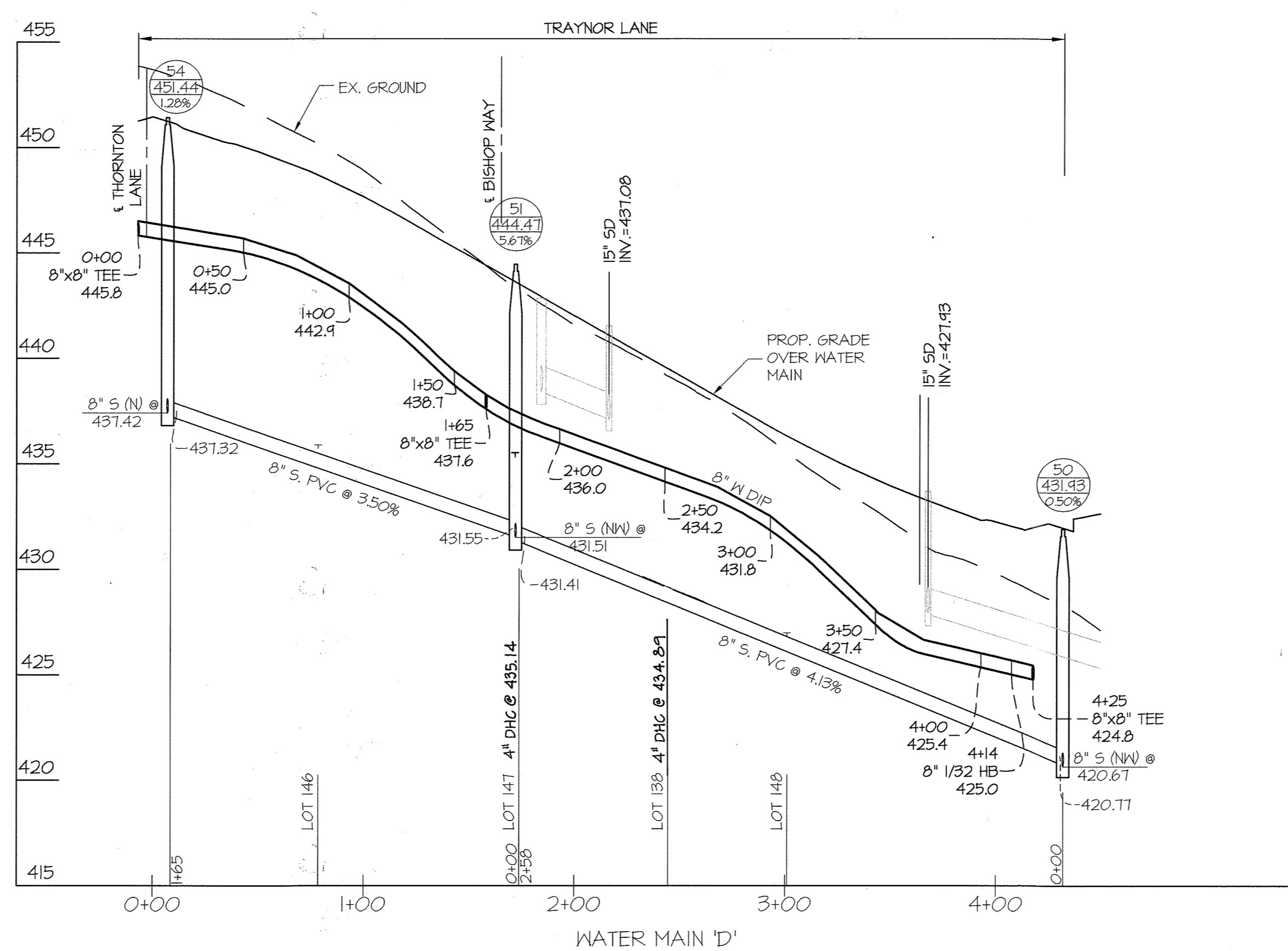
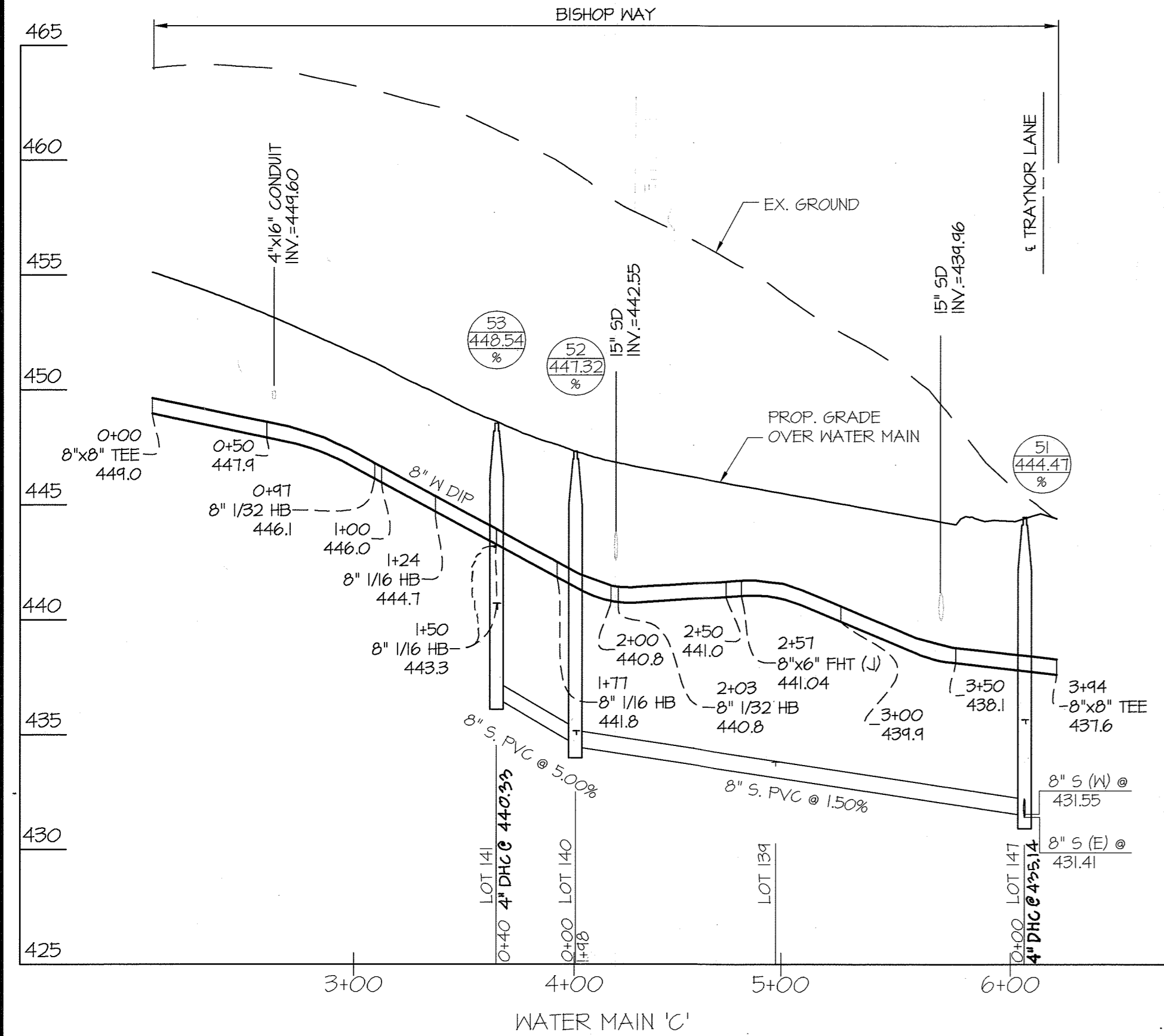
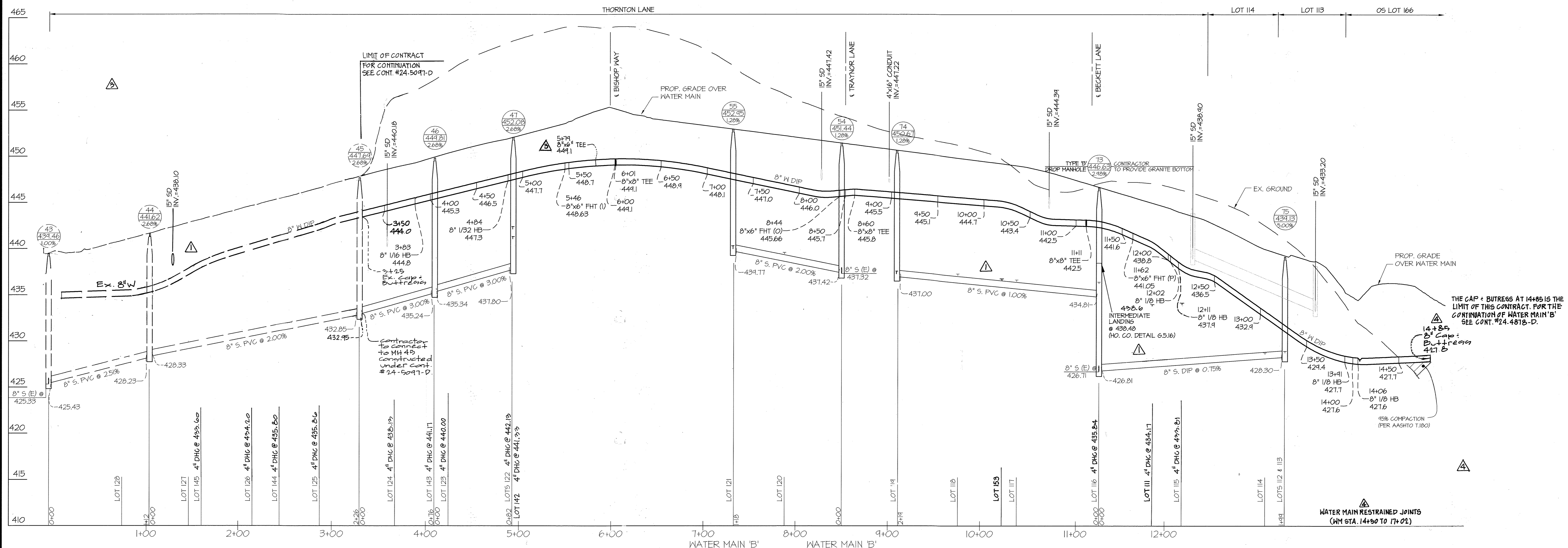
DATE: JULY, 2019
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXP. DATE: MAY 26, 2020

DEV: [mark]
BY: NO
REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT NOW PROCEEDED UNDER NEW CONTRACT 24-4877-D
DATE: 07/08/19

WATER and SEWER PROFILES
600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

WESTMOUNT CONTRACT No. 24-4877-D PHASE 2
LOTS 90 THRU 124, LOTS 138 THRU 144, LOTS 146 THRU 153, OPEN SPACE LOTS 154 THRU 171, AND NON-BUILDABLE BULK PARCEL 'D' HOWARD COUNTY, MARYLAND ELECTION DISTRICT No. 2

SCALE: 1"=50'(H), 1"=5'(V)
SHEET 5 OF 9



NOTE: THE LOCATION OF THE SEWER HOUSE CONNECTIONS INDICATE THE INVERT AT THE EDGE OF THE RIGHT-OF-WAY OR EASEMENT LINE.

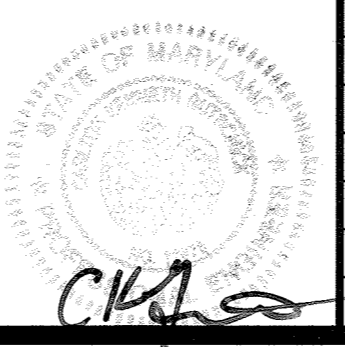
DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY, MARYLAND
CHIEF, DEVELOPMENT ENGINEERING DIVISION

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4188

DATE: SEPT. 2016
G.L.W. No. 13013

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 12975
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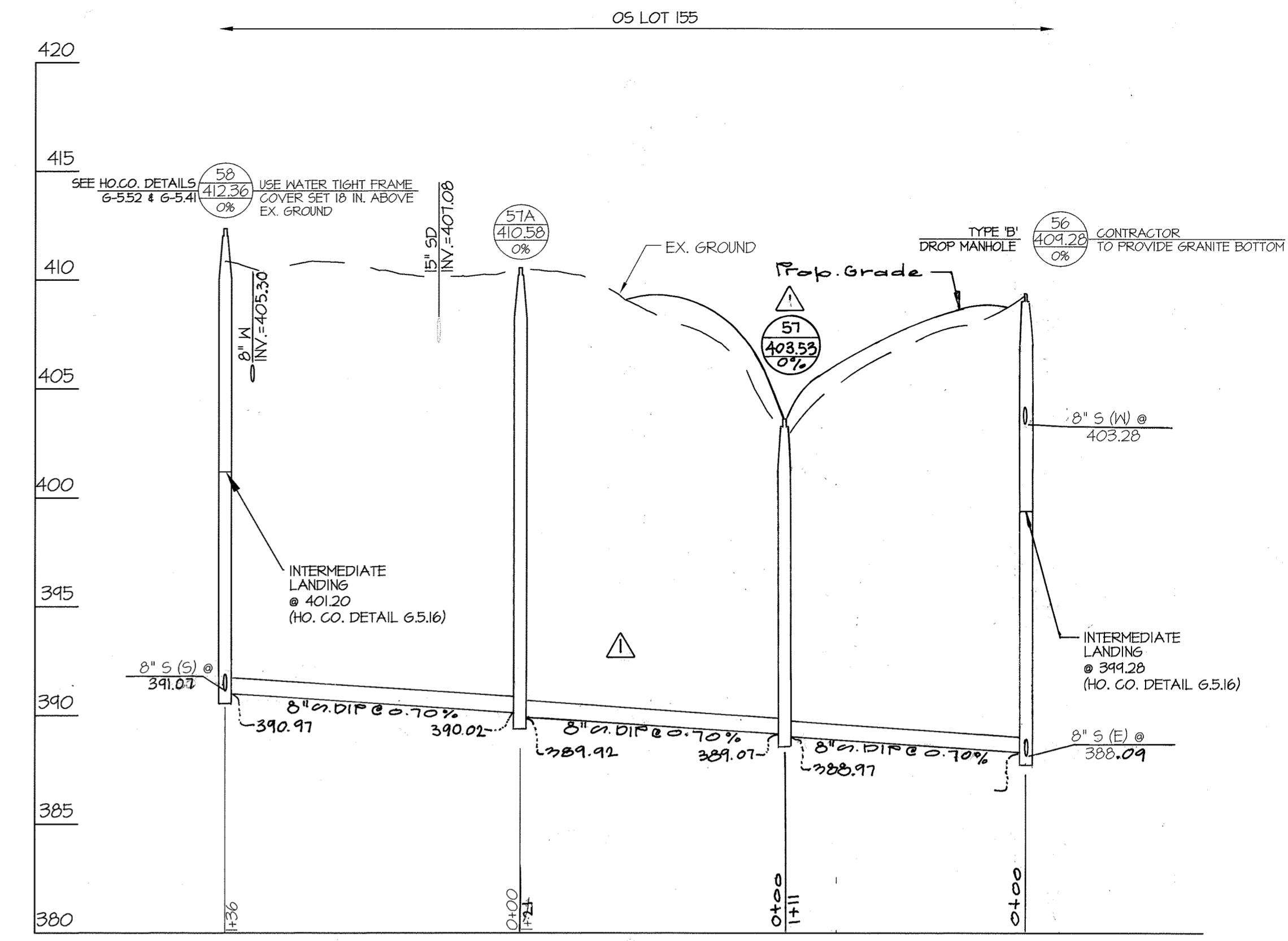
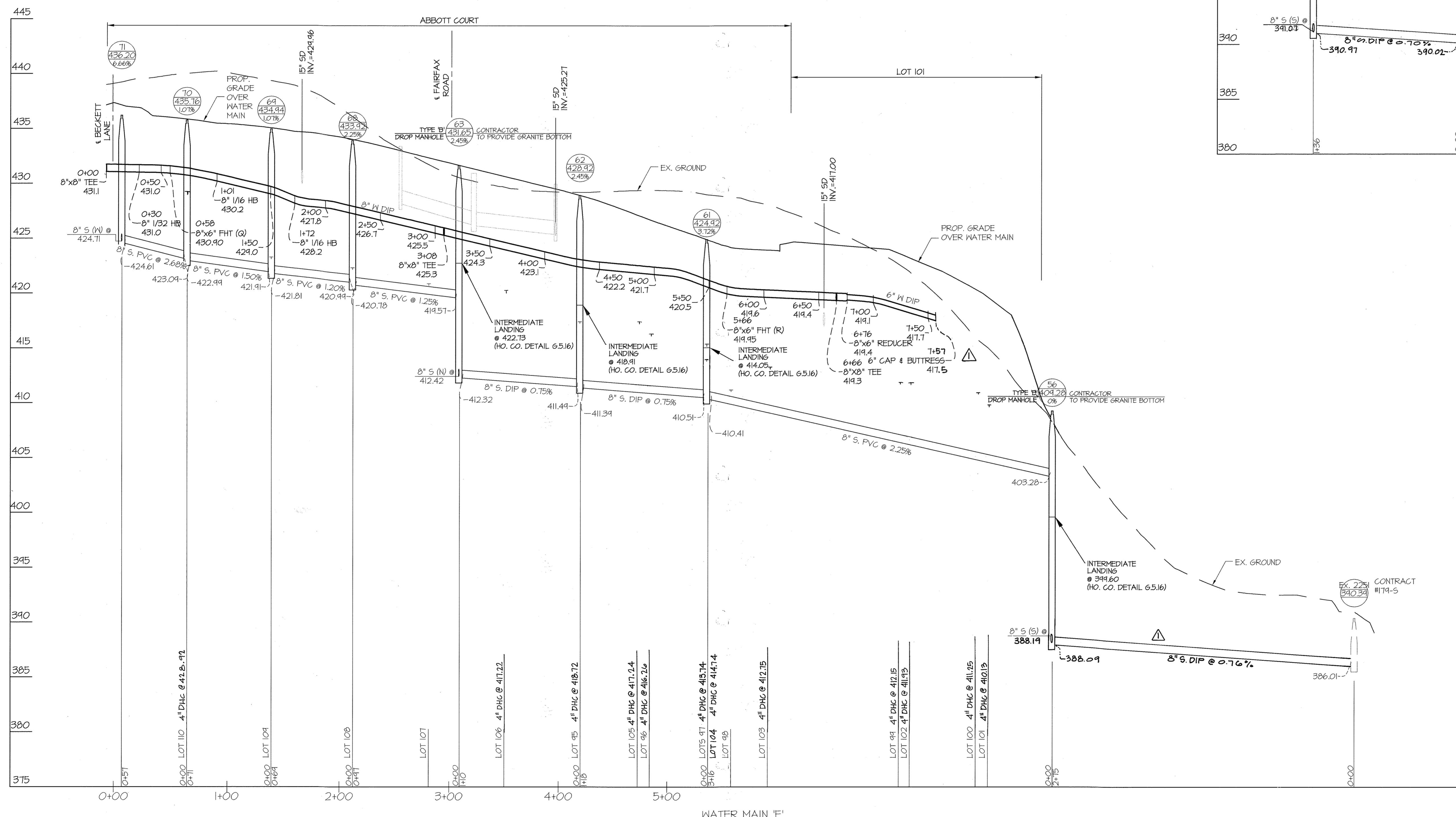


BY	NO	REVISION	DATE
Gr	1	REMOVED A PORTION OF PUBLIC WATER PROPOSED UNDER THIS CONTRACT AND ADDED IT TO CONT. #24.467B-D	12-18-19
Gr	2	REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT NOW PROPOSED UNDER NEW CONTRACT #24-5097-D	7-9-19
Gr	3	Rev sewer house connection to D crossing	12.19.18

WATER and SEWER PROFILES
600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

WESTMOUNT
CONTRACT No. 24-4877-D
PHASE 2
LOTS 90 THRU 124, LOTS 138 THRU 143, LOTS 146 THRU 159
OPEN SPACE LOTS 154 THRU 171
AND NON-BUILDABLE BULK PARCEL 'D'
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 2

SCALE: 1"=50'(H) 1"=5'(V)
SHEET 6 OF 9



NOTE:
THE LOCATION OF THE SEWER HOUSE CONNECTIONS INDICATE THE
INVERT AT THE EDGE OF THE RIGHT-OF-WAY OR EASEMENT LINE.

DEPARTMENT OF
PUBLIC WORKS
HOWARD COUNTY, MARYLAND

John C. Coonan
CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF
PLANNING AND ZONING
HOWARD COUNTY, MARYLAND

David Edwards
CHIEF, DEVELOPMENT ENGINEERING DIVISION

11-14-16

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. JRD DRN. JRD CHK. DEV

DATE
SEPT.,
2016

G.L.W. No.
13013

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXP. DATE: MAY 26, 2018

John C. Coonan

BY	NO	REVISION	DATE
3+	1	REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT NOW PROPOSED UNDER NEH CONTRACT 24-5031-P	7-9-19
3+	2	Rev. water main length, M&S location - sewer inverts	12-19-15

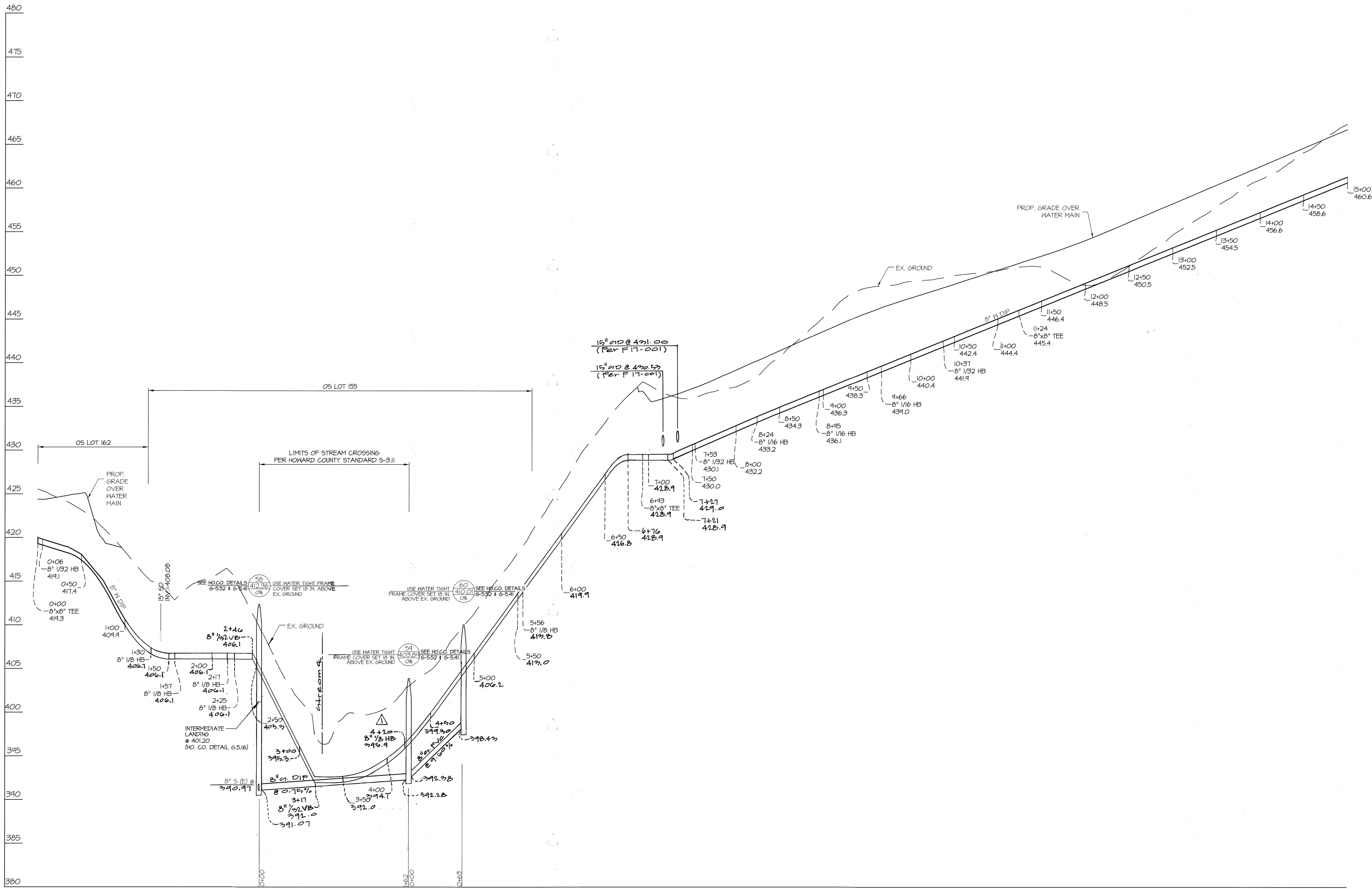
WATER and SEWER
PROFILES

600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

WESTMOUNT
CONTRACT No. 24-4877-D
PHASE 2
OPEN SPACE LOTS 154 THRU 171
AND NON-BUILDABLE BULK PARCEL 'D'
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 2

SCALE
1"=50'(H)
1"=5'(V)

SHEET
7 OF 9



NOTE:
THE LOCATION OF THE SEWER HOUSE CONNECTIONS INDICATE THE
INVERT AT THE EDGE OF THE RIGHT-OF-WAY OR EASEMENT LINE.

DEPARTMENT OF
PUBLIC WORKS
HOWARD COUNTY, MARYLAND

Steve C. Green
CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF
PLANNING AND ZONING
HOWARD COUNTY, MARYLAND

David E. Clark
CHIEF, DEVELOPMENT ENGINEERING DIVISION

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE
SEPT.,
2016

G.L.W. No.
13013

PROFESSIONAL CERTIFICATION
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WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXP. DATE: MAY 26, 2018

9/27/16



BY	NO	REVISION	DATE
3+	3+	REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT NOW PROPOSED UNDER NEW CONTRACT # 24-5297-D	7-9-19
3+	3+	Revised water & sewer stream crossing	10.08.18

WATER and SEWER
PROFILES

600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

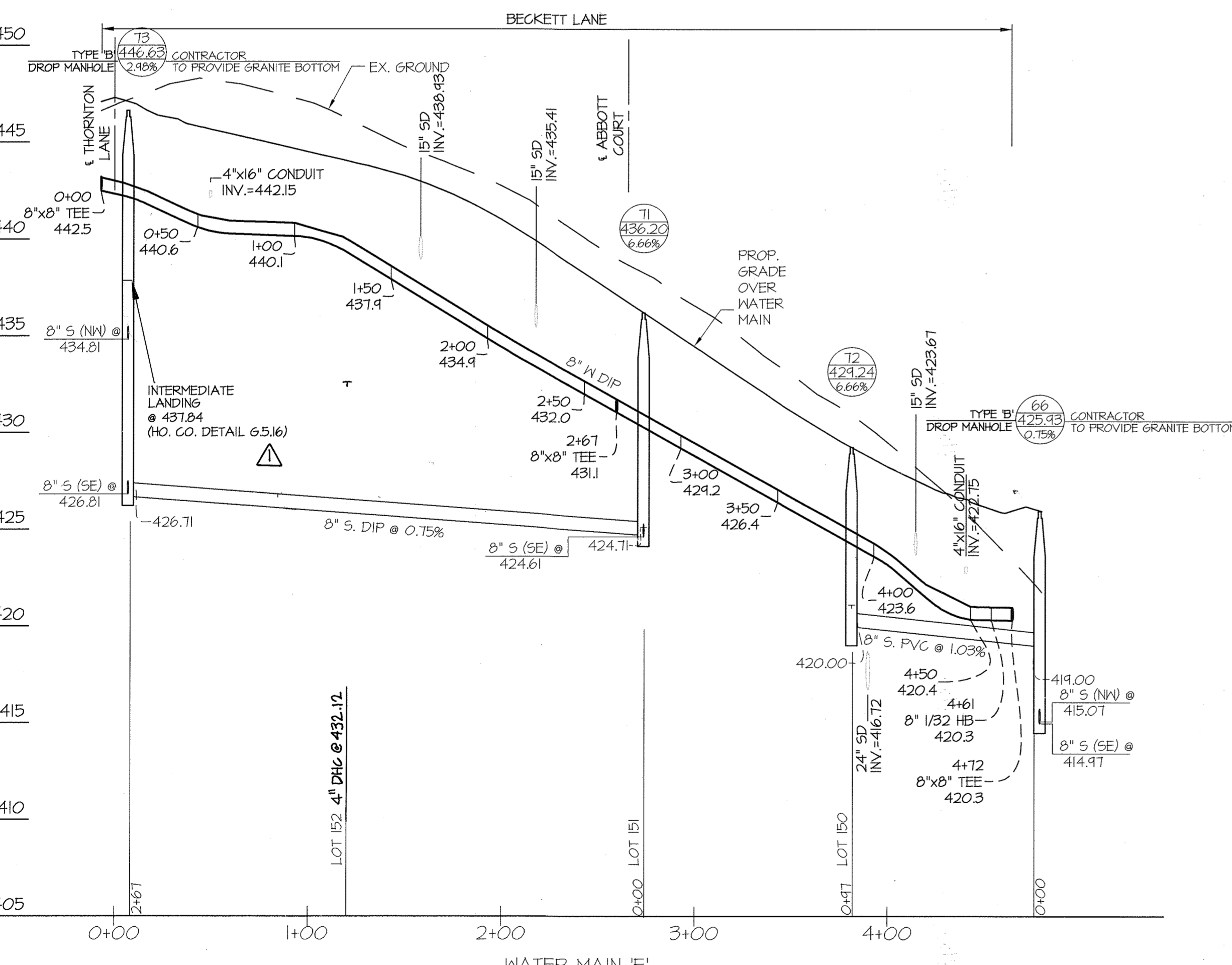
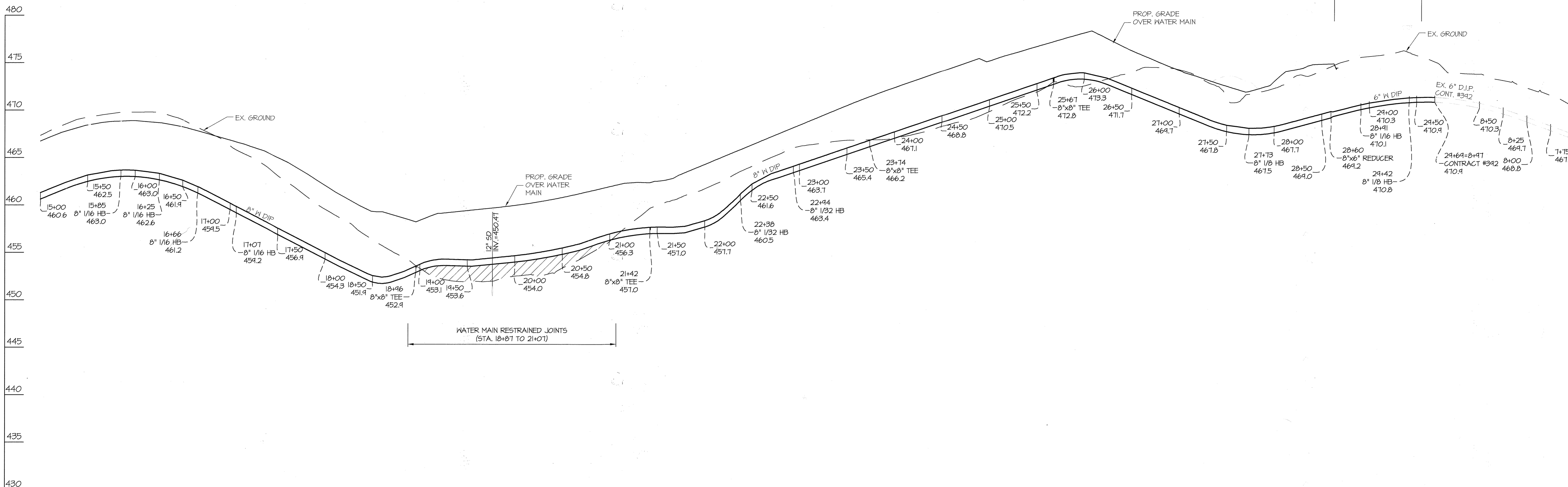
WESTMOUNT
CONTRACT No. 24-4877-D
PHASE 2
LOTS 90 THRU 124, LOTS 138 THRU 143, LOTS 146 THRU 153
OPEN SPACE LOTS 154 THRU 171
AND NON-BUILDABLE BULK PARCEL 'D'
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 2

SCALE
1"=50'(H)
1"=5'(V)

SHEET
8 of 9

NON-BUILDABLE BULK PARCEL 'D'

EX. NON-CREDIT OS LOT 2 BURNSIDE DRIVE



WATER MAIN 'G'

NOTE: THE LOCATION OF THE SEWER HOUSE CONNECTIONS INDICATE THE INVERT AT THE EDGE OF THE RIGHT-OF-WAY OR EASEMENT LINE.

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

Steve Coonan
CHIEF, BUREAU OF UTILITIES

DATE: 11.14.16

DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY, MARYLAND

Michael
CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 11.14.16

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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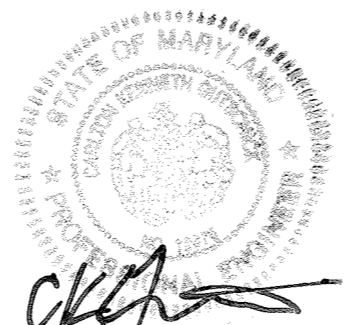
G.L.W. No. 13013

DES. JRD DRN. JRD CHK. DEV

DATE SEPT., 2016.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXP. DATE: MAY 25, 2018

CLW



BY	NO	REVISION	DATE
3+	1	REMOVED SECTIONS OF PUBLIC WATER AND SEWER FROM THIS CONTRACT NOW PROPOSED UNDER NEW CONTRACT 24-8097-D	7-9-19
3+	2	Rev. sewer house connection	10.19.18

WATER and SEWER PROFILES

600' SCALE MAP NO. 23 BLOCK NO. 6 & 12

WESTMOUNT
CONTRACT No. 24-4877-D
PHASE 2
LOTS 90 THRU 124, LOTS 138 THRU 143, LOTS 146 THRU 153
OPEN SPACE LOTS 154 THRU 171
AND NON-BUILDABLE BULK PARCEL 'D'
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 2

SCALE
1"=50'(H)
1"=5'(V)

SHEET
9 OF 9