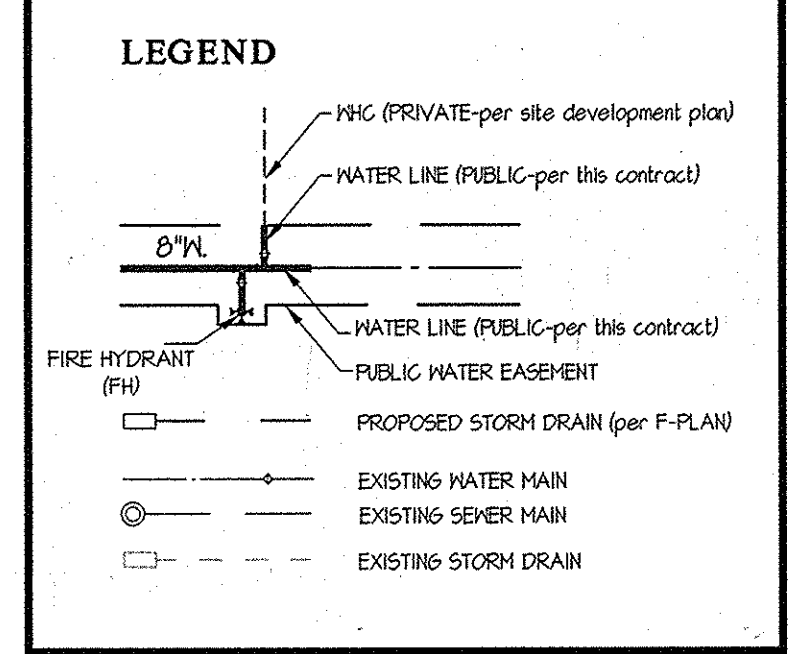


QUANTITIES				
ITEMS	QUANTITIES ESTIMATED	AS-BUILT		
		QUANTITIES	TYPE	MANUFACTURER/SUPPLIER
8" WATER MAIN D.I.P. (61.54)	229 LF.	210 LF.	Tyton Joint	Griffin Pipe Products
6" Water Main D.I.P. (61.64)	14 L.F.	14 L.F.	Tyton Joint	US Pipe
8" VALVE	1 EA.	1 EA.	MJ	Tyler Union
8" T.	1 EA.	1 EA.	MJ	Tyler Union
8" VALVE	1 EA.	1 EA.	RW Gate	American Flow Control
8" CAP	1 EA.	1 EA.	MJ	Tyler Union
6" VALVE	1 EA.	1 EA.	RW Gate	American Flow Control
FIRE HYDRANT	1 EA.	1 EA.	B 84 B	American Flow Control

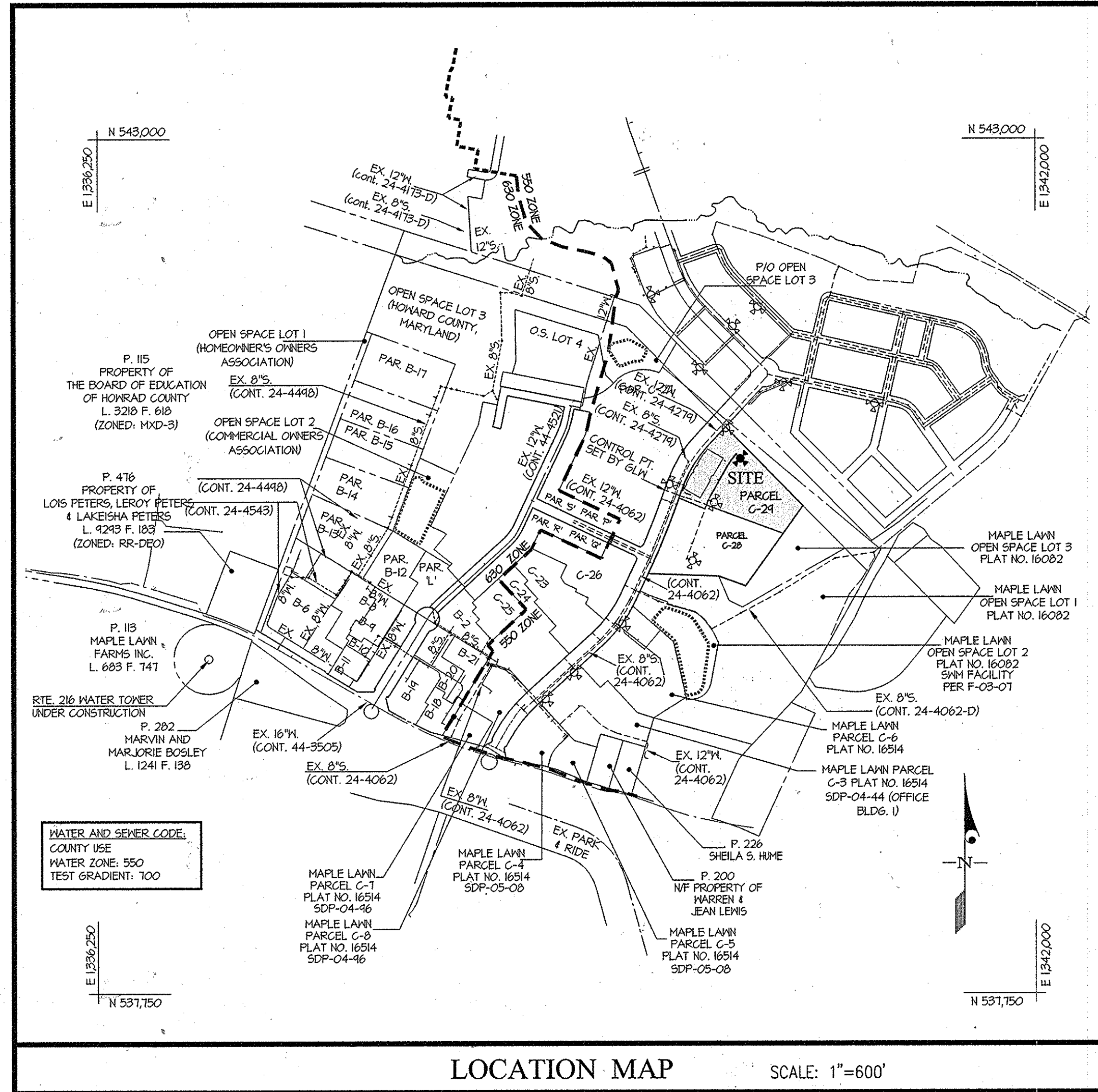
NAME OF UTILITY CONTRACTOR: Consolidated Construction Services

SURVEY AND DRAFTING DIV. CHECKBOX: AS-BUILT DATE:



SHEET INDEX

1 - TITLE SHEET
2 - WATER EXTENSION PLAN & PROFILE



CONTRACT No. 44-4828-D
MAPLE LAWN FARMS
BUSINESS DISTRICT AREA 2
PARCEL "C-29"
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 308 OF THE SPECIFICATIONS & WITH SITE DRAWINGS SDP-14-007. DRAWINGS FOR SEDIMENT & EROSION CONTROL.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John R. Roberts*
 HOWARD S.C.D. DATE: 4/15/14

DEPARTMENT OF PUBLIC WORKS
 HOWARD COUNTY, MARYLAND
 CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY, MARYLAND
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-8186

DATE MARCH, 2014
 G.L.W. No. 13012
 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2014

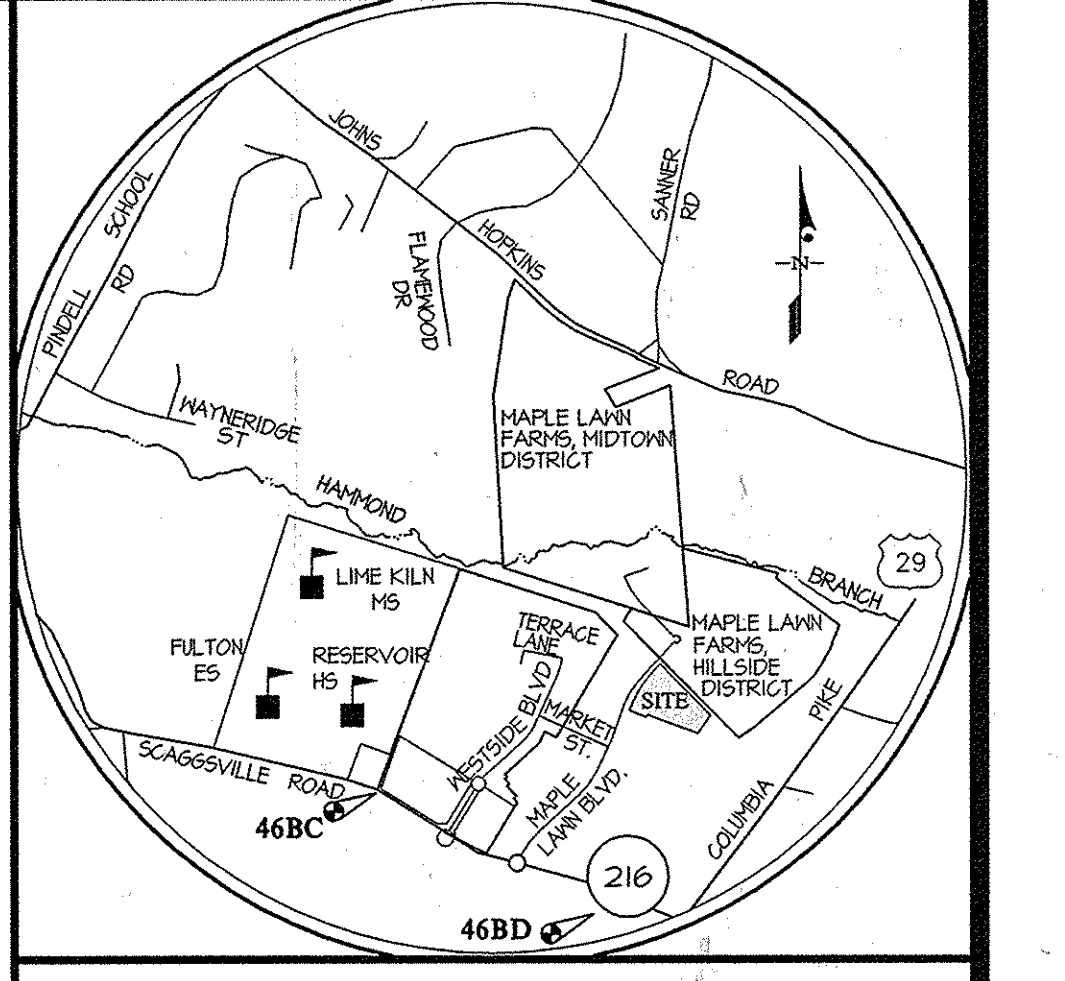
AS BUILT'S
 REVISION
 DATE: 10/14/16

TITLE SHEET
 600' SCALE MAP NO. 46 - BLOCK NO. 4

MAPLE LAWN FARMS
 CONTRACT No. 44-4828-D
 BUSINESS DISTRICT - AREA 2
 PARCEL "C-29" (OFFICE BUILDING) (No. 8)
 PLAT No. 22052 (Bn 22054)
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5

SCALE AS SHOWN
 SHEET 1 OF 2

TYPE OF BUILDING: OFFICE BUILDING WITH RETAIL
 NUMBER OF UNITS: 1
 NUMBER OF S.H.C.'s: 0
 NUMBER OF W.H.C.'s: 1
 AREA OF COMMERCIAL LOT/PARCEL: 5.7 ACRES
 SEWER SHED: LITTLE PATRICK
 PUMPING STATION: LITTLE PATRICK WHP



BENCHMARKS

46BC	46BD
ELEV. = 421.6	ELEV. = 431.7
N = 5394251.3 E = 1331205.71	N = 538658.76 E = 1334461.55
STANDARD DISC ON CONCRETE MONUMENT	STANDARD DISC ON CONCRETE MONUMENT

- GENERAL NOTES**
 Revised - October 2013
- Part I**
- Approximate locations of existing mains are shown. The contractor shall take all necessary precautions to protect existing mains and services and maintain uninterrupted service. Any damage incurred shall be repaired immediately to the satisfaction of the Engineer at the contractor's expense.
 - Topographic field surveys were performed on August 4, 2011 and updated on March 21, 2013 by Leo M. Rader.
 - Horizontal and Vertical Survey Controls:
 The coordinates shown on the drawings are based on Maryland State Reference System NAD 83/91 as projected by Howard County Geodetic Control Stations No. 46BC and No. 46BD.
 All vertical controls are based on NAVD 83. Vertical control provided on the drawings is a mag spike set in the pavement by Gutschick, Little & Weber, P.A.. The coordinate value for the control post is N 540236.37 E 1334138.00 and has an elevation of 426.88.
 All pipe elevations shown are invert elevations unless otherwise noted on the plans.
 - Clear all utilities by a minimum of 12 inches. Clear all poles by 5'-0" minimum or tunnel as required unless otherwise noted. The owner has contacted the utility companies and has made arrangements for bracing of poles as shown on the drawings. In the event the contractor's work requires the bracing of additional poles, any cost incurred by the owner for the bracing of additional poles or damages shall be deducted from monies owed the contractor. The contractor shall coordinate with the utility companies to schedule the bracing of the poles.
 - For details not shown on the drawing and for materials and construction methods use Howard County Design Manual, Volume IV, Standard Specifications and Details for Construction (Latest Edition). The contractor shall have a copy of Volume IV on the job.
 - Where test pits have been made on existing utilities, they are noted by the symbol \oplus at the locations of the test pits. A note on the drawings indicating the results of the test pit or pits is included on the drawings. Existing utilities in the vicinity of the proposed work for which test pits have not been dug shall be located by the contractor two weeks in advance of construction operations at his own expense.
 - The contractor shall notify the following utility companies or agencies at least five working days before starting work shown on these plans:
 ATTN: AT&T.....1-800-252-1133
 BGE (Construction Services).....410-637-9718
 BGE (Emergency).....410-685-0123
 Bureau of Utilities.....410-313-4400
 Colonial Pipeline Co.....410-755-5900
 Miss Utility.....1-800-251-7111
 State Highway Administration.....410-531-5533
 Verizon.....1-800-743-0033
 - Trees and shrubs are to be protected from damage to the maximum extent. Trees and shrubs located within the construction strip are not to be removed or damaged by the contractor.
 - The contractor shall remove trees, stumps and roots along the line of excavation. Payment for such removal shall be included in the unit price bid for construction of the main.
 - The contractor shall notify the Bureau of Highways, Howard County, at (410)-313-7450 at least five working days before opening or boring/jacking of any County road for laying water/sewer mains or house connections. The approval of these drawings will constitute compliance with DPM requirements per Section 10.11(a) of the Howard County Code.
- Part II WATER**
- All water mains shall be D.I.P. Class 54 unless otherwise noted.
 - Tops of all water mains shall have a minimum of 3'-6" of cover unless otherwise noted.
 - Valves adjacent to trees shall be strapped to trees.
 - All fittings shall be buttressed or anchored with concrete in accordance with Standard Details unless otherwise provided for on the drawings.
 - Fire hydrants shall be set to the bury line elevations shown on the drawings. All fire hydrants shall be installed in accordance with Standard Details. The soil around the fire hydrant shall be compacted in accordance with Section 1000 and Section 1005 of the Standard Specifications.
 - The contractor shall not operate any water main valves on the existing water system.
 - Tracer wires and continuity test stations shall be installed on all DIP and PVC water mains in accordance with the Howard County Design Manual.
 - For PVC water mains, all records for the Quality Control and Qualification Test Requirements noted in Section 51 of the ANPA Standard C400 for PVC pressure pipe shall be submitted with the pipe material certifications or shop drawings prior to approval of the material for use. The test records shall be for the pipe to be installed under this contract. All PVC pipe shall contain markings to allow cross referencing of the pipe supplied to the test records received.
 - Unless otherwise noted on the plans or in the specifications sufficient anodes shall be installed on all valves and metallic fittings used with PVC water mains in accordance with Volume IV, Standard Specifications and Details for Construction. Seventeen (17) pound Magnesium anodes shall be installed on all valves and ductile iron fittings including restrainers and harnesses. Twelve (12) pound Zinc anodes shall be installed on all stainless steel fittings and saddles used with PVC mains. All steel used with PVC mains shall be ductile iron.
 - Proper Assembly of Gasketed PVC Pipe Joints. The manufacturer's insertion line of gasketed PVC pipe joints indicates the maximum depth of insertion of the spigot into the bell. After assembly of the joint, the insertion line shall remain visible. Dual insertion lines on gasketed PVC pipe indicate the maximum and minimum depth of insertion of the spigot into the bell. The contractor shall not over insert or over home the spigot into the bell of PVC pipe.
 - All changes in horizontal or vertical direction of PVC water pipe shall be made with standard bends, 5-degree sweeps or high deflection (HD) couplings. No bending of the pipe or deflecting of PVC pipe joints is permitted. Where high deflection couplings or 5-degree sweeps are permitted, the contractor shall provide one full pipe length (20-foot long) on either side of the high deflection coupling or 5-degree sweep. The contractor shall use a vibratory plate compactor or other approved means to thoroughly compact the #51 stone on both sides of the high deflection coupling or 5-degree sweep, taking care not to use compaction equipment directly over the fitting.
 PVC high deflection couplings shall be limited to a total deflection of 3-degrees (1 1/2-degree on either end of the coupling) shall be rated for a minimum 200 psi meeting the requirements of ANPA C400, shall have a minimum full length of 4-inches and shall have center stops. PVC High deflection couplings shall be CertainTeed PVC High Deflector (HD) Stop Couplings or equal. Five degree sweeps shall be bell by spigot, rated for a minimum 225 psi, DR18 meeting the requirements of ANPA C400 and shall be Multi-Fittings (ipex) Blue Brute DR18 or equal.
 - When PVC high deflection couplings or PVC 5-degree sweeps are used to facilitate changes in horizontal or vertical alignments of ANPA C-400 PVC pipelines, the contractor shall install devices for the prevention of over-insertion of the PVC pipe spigots or plain ends into the push on bell joint on both sides of the high deflection couplings and 5 degree sweeps. Bell stops shall be placed at the proper insertion line for the fitting. The bell stop shall be manufactured of ductile iron and incorporate an expansion retention spring to allow for pipe expansion and contraction. The bell stops shall be Series 5000 Mega-Stop, as manufactured by EBAA Iron, Inc. or approved equal.
- Part III SEWER**
- All sewer mains shall be D.I.P. or P.V.C. unless otherwise noted.
 - All manholes shall be 4'-0" inside diameter unless otherwise noted.
 - Force mains shall be D.I.P. only.
 - Manholes shown with 12" and 16" walls are for brick manholes only.
 - Manholes designated MIT, in plan and profile shall have watertight frame and cover, Standard Detail 6552. Where watertight manhole frames and covers are used, set top of frame 1'-0" above finished grade unless otherwise noted on the drawings.
 - House(s) with the symbol "C.N.S." indicates that the cellar cannot be served.

WATER HOUSE CONNECTION AS-BUILT LOCATION TABLE			
O.B. #	ADDRESS	LOCATION DIMENSION #1	LOCATION DIMENSION #2
08	8115 MAPLE LAWN BOULEVARD		

FIRE HYDRANT TEE INFORMATION		
FHT	LOCATION	
	N 541,048	E 1340,176

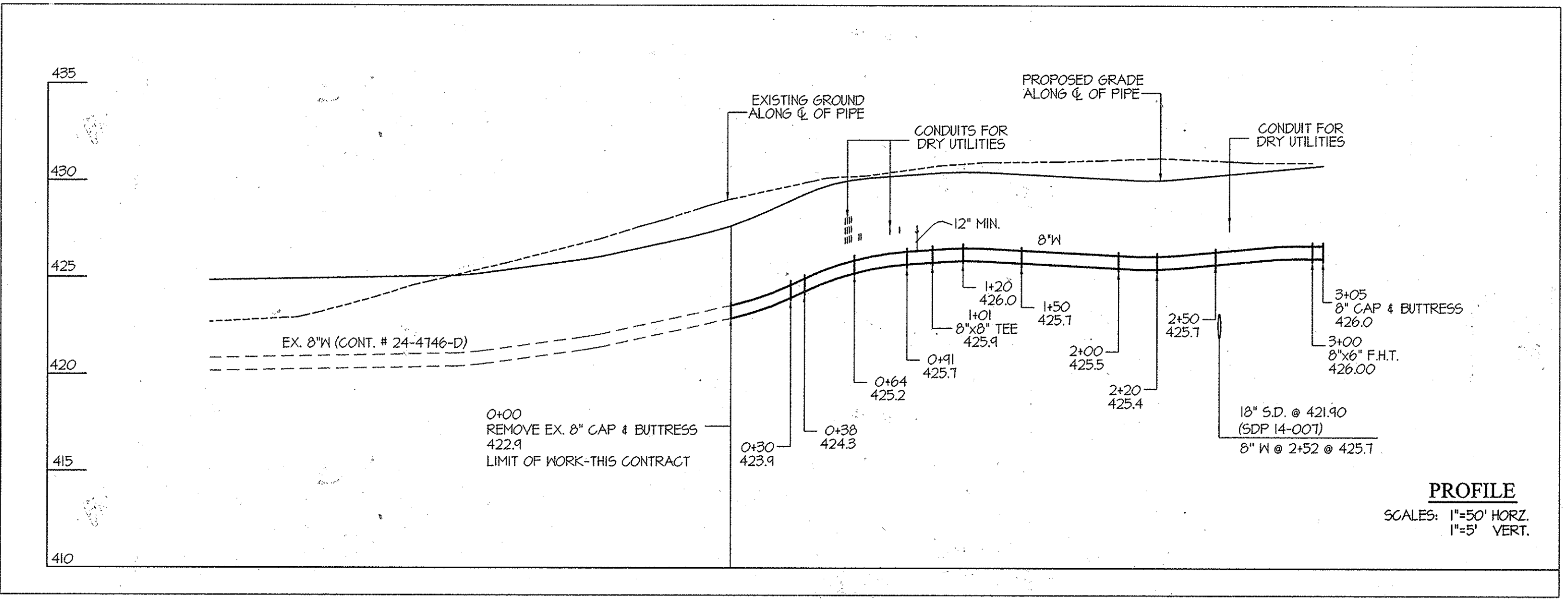
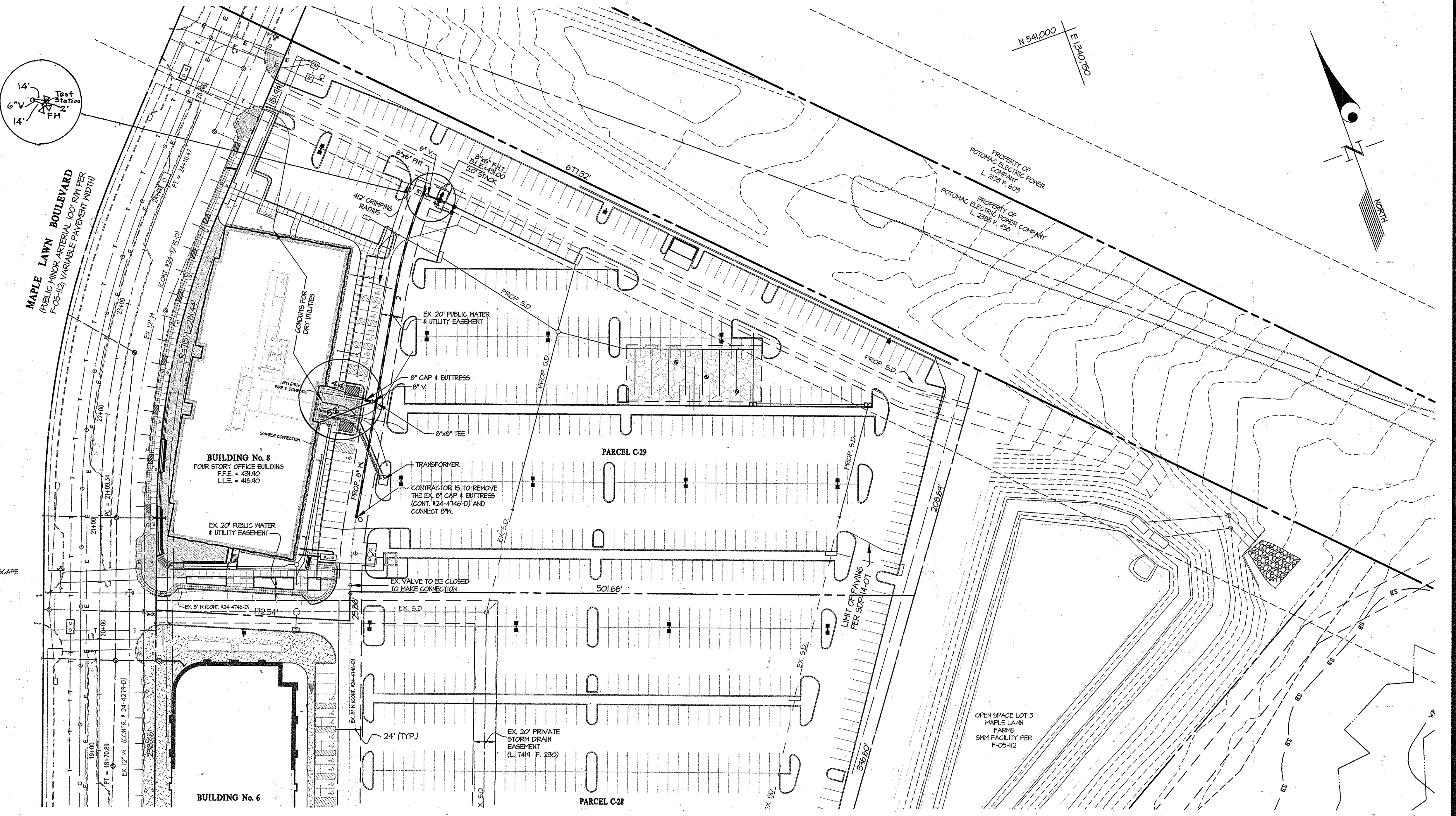
FITTING CHART			
STATION	FITTING	NAD '83/'91 COORDINATES	
1+19	8" x 8" T.	N 540,911	E 1340,064
3+00	8" x 6" F.H.T.	N 541,058	E 1340,164
3+05	8" CAP & BUTTRESS	N 541,062	E 1340,167

CRIMPING RADII INFORMATION			
STATION	FITTING	NAD '83/'91 COORDINATES	
2+06	P.C.	N 540,986	E 1340,112
3+05	P.T.	N 541,062	E 1340,167

NOTE:
HOWARD COUNTY IS NOT RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF HARDSCAPE OR LANDSCAPE MATERIAL IF THE PUBLIC MAIN NEEDS TO BE MAINTAINED.

MAPLE LAWN FARMS
BUSINESS DISTRICT - AREA 2
PARCEL C-27
F 12-015

PLAN
1"=50'



PROFILE
SCALE: 1"=50' HORIZ.
1"=5' VERT.

OWNER: MAPLE LAWN CC STATUTORY TRUST C/O GREENBAUM AND ROSE 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MARYLAND 21208 ATTN: MARK BENNET 410-484-8400	DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DRIVE BALTIMORE, MARYLAND 21244 ATTN: ANDREW ROUD 410-788-0100
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DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

Steve Con
CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY, MARYLAND

Chad Edwards
CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 4-17-14

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE: MARCH, 2014
G.L.W. No. 13012

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXP. DATE: MAY 26, 2014

[Signature]
3-24-14



BY	NO	AS BUILTS	REVISION	DATE
				10/14/16

WATER EXTENSION PLAN
600' SCALE MAP NO. 46 BLOCK NO. 4

MAPLE LAWN FARMS
CONTRACT No. 44-4828-D
BUSINESS DISTRICT - AREA 2
PARCEL 'C' - 29' (OFFICE BUILDING No. 8)
PLAT Nos. 22052 thru 22054
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 5

SCALE AS SHOWN
SHEET 2 OF 2

L:\CADD\DRAWINGS\6809\3012\PLANS BY GUY\WATER\3012-W PLAN & PROFILES.DWG PLOTTED: 3/24/2014 7:36 AM, LAST SAVED: 3/24/2014 7:01 AM, PLOTTED BY: Doug Vance BY

DESIGN NARRATIVE:

The Effective Site Area was analyzed as woods in good condition and a target RCN was determined. The Effective Site Area is comprised of the area of the site which will be developed and excludes protected environmental areas which will be preserved. A target rainfall depth treatment (P_e) was determined based on the measured impervious areas and 1650 soil types. The target P_e for this site is 1.20 inches. The target P_e was treated using Environmental Site Design practices as outlined in Chapter 5 of the 2000 Maryland Stormwater Design Manual, as amended by Maryland's Stormwater Management Act of 2007. The selected methods include non-rooftop disconnections (N-2) and dry wells (N-5).

This site contains no environmental features. To protect natural resource areas, it is important to delay runoff of stormwater runoff from new impervious areas to avoid increasing peak runoff, and to adequately treat the stormwater to avoid damage to sensitive species. The design incorporates larger lots with minimum width driveways in order to create the least possible stormwater runoff, and provide runoff release in multiple locations to maintain several sufficient water courses.

Conceptual treatment has been designed based on preliminary grading, the site topography and the house locations. Driveway runoff will be treated by sheet flow areas for non-rooftop disconnection. Non-rooftop disconnection of driveways will provide treatment of the 1.0" quality runoff. Rooftop runoff will be piped to on-site dry wells. Additional ESD volume will be provided in the dry wells. Multiple outfalls are provided to generally release runoff in natural drainage patterns for the site.

Sediment and erosion controls have been designed based on the 2011 Maryland Specifications for Soil Erosion and Sediment Control. Erosion control matting and silt fence will be used to prevent runoff containing unacceptable levels of TSS from leaving the site and entering the adjacent wetlands during the construction. It will be the obligation of the contractor to install, inspect and maintain these practices.

The target P_e for this site is 1.2 inches. All impervious areas are treated for 1.0" (water quality treatment) and 99% of the required ESD volume is being provided. By using Environmental Site Design practices as outlined in Chapter 5 of the 2000 Maryland Stormwater Design Manual as amended by Maryland Stormwater Management Act of 2007, full treatment of the target P_e of 1.2 will be achieved.

No Design Manual waivers are anticipated at this time. A Waiver Petition will be required to allow removal of specimen trees.

- SEQUENCE OF CONSTRUCTION - INDIVIDUAL HOUSE**
- DAY 1: OPEN GRADING PERMITS AND HOLD A PRE-CONSTRUCTION MEETING. STEP DURATION 1 DAY.
 - DAY 2: THE CONTRACTOR(S) IS TO IDENTIFY AND MARK ANY HAZARDOUS CONDITIONS THAT MAY EXIST ON-SITE, SUCH AS OVERHEAD POWERLINES, OLD WELLS, GAS LINES, ETC. STEP DURATION 1 DAY.
 - DAY 3-4: CLEAR AND GRUB AS NECESSARY FOR THE INSTALLATION OF PERMITS CONTROLS. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCES AND SILT FENCES. STEP DURATION 2 DAYS.
 - DAY 4-10: CLEAR AND GRUB REMAINDER OF SITE WITHIN INSTALLED PERMITS CONTROLS. GRADE SITE AND STABILIZE IN ACCORDANCE WITH PERMITS SEEDING NOTES. STEP DURATION 6 DAYS.
 - DAY 11: INSTALL EROSION CONTROL MATTING IN THE DITCHES AND SWALES. STEP DURATION 1 DAY.
 - DAY 12-60: CONSTRUCT HOUSE, INSTALL DRIVEWAY AND UTILITIES. SPOIL FROM THE TRENCHING OF THE DRIVEWAY IS TO BE PLACED ON THE UPRILL SIDE OF THE DRIVEWAY. STEP DURATION 49 DAYS.
 - DAY 61-63: INSTALL LANDSCAPING, FINE GRADE AND STABILIZE ANY REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMITS SEEDING NOTES. STEP DURATION 3 DAYS.
 - DAY 64-66: INSTALL STORMWATER MANAGEMENT MEASURES. NOTES. STEP DURATION 3 DAYS.
 - DAY 67-68: UPON APPROVAL OF HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES. PERMANENTLY STABILIZE AS REQUESTED. STEP DURATION 2 DAYS.

APPROVAL OF THIS ECP DOES NOT CONSTITUTE APPROVAL OF SUBSEQUENT OR ASSOCIATED SUBDIVISION PLANS, SITE DEVELOPMENT PLANS OR RED-LINE REVISIONS. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN, SITE DEVELOPMENT PLAN OR RED-LINE REVISION REVIEW STAGE. THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS (INCLUDING COMMENTS THAT MAY ALTER THE OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.

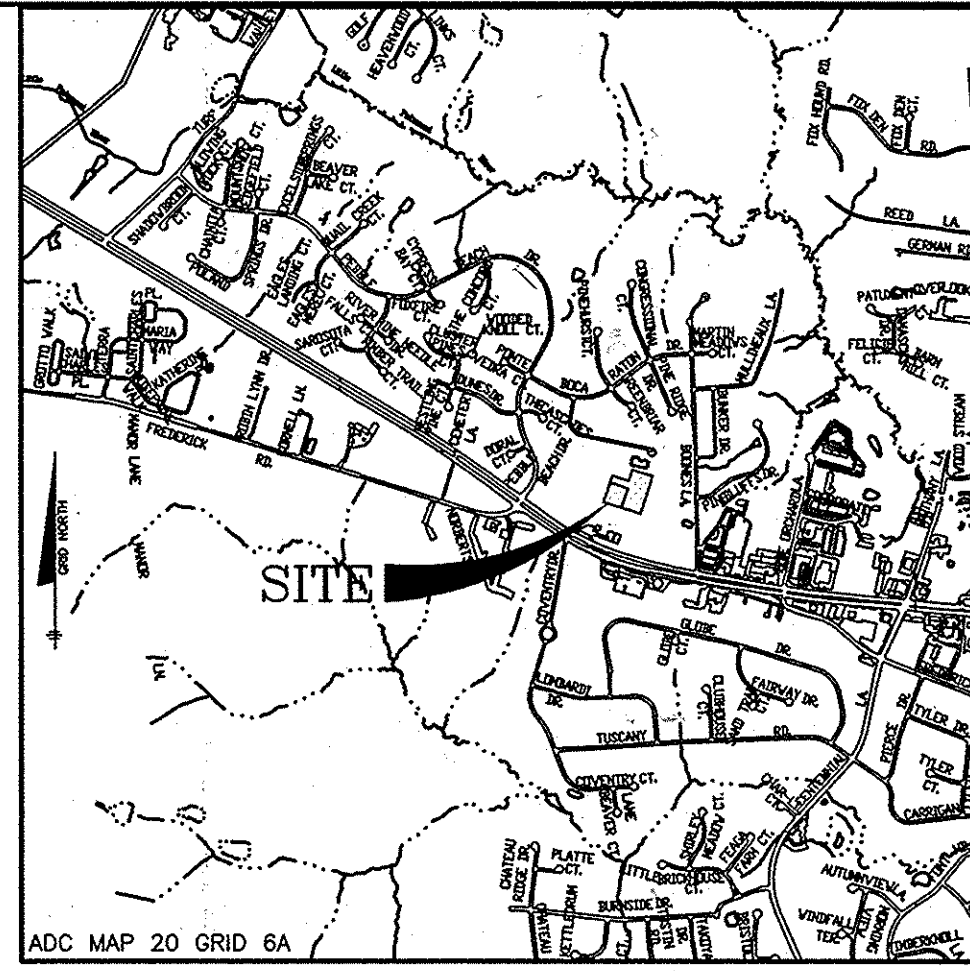
PROJECT BACKGROUND INFORMATION

PRESENT ZONING: R-20
 LOCATION: TAX MAP 24 - GRID 1 - PARCELS 2 AND 758
 APPLICABLE DPZ FILE REFERENCES: NCU-00-02, P-14-149
 DEED REFERENCES: P. 2 (L.1874/F.0170)
 P. 758 (L.8200/F.0625)
 PROPOSED USE OF SITE: RESIDENTIAL (SFD)
 PROPOSED WATER AND SEWER SYSTEMS: PUBLIC WATER & SEWER

SITE DATA ANALYSIS AND TABULATION

1) TOTAL PROJECT AREA.....	3.34 AC.±
2) AREA OF 100-YR. FLOODPLAIN.....	0.00 AC.
3) AREA OF STEEP SLOPES (15% OR GREATER).....	0.00 AC.
4) AREA OF EXISTING FOREST.....	0.00 AC.
5) AREA OF ERODIBLE SOILS.....	0.00 AC.
6) AREA OF WETLANDS (INCLUDING BUFFER).....	0.00 AC.
7) AREA OF STREAM BUFFER (OUTSIDE WETLANDS & BUFFER).....	0.00 AC.
8) NET AREA OF SITE(S).....	3.34 AC.±
9) NUMBER OF LOTS ALLOWED.....	2/AC.
10) NUMBER OF RESIDENTIAL LOTS PROPOSED.....	3
11) AREA OF PLAN SUBMISSION.....	3.34 AC.±
12) APPROXIMATE LIMIT OF DISTURBANCE.....	0.4 AC.±
13) PRESENT ZONING DESIGNATION.....	R-20
14) PROPOSED USES FOR THE SITE & STRUCTURES.....	RESIDENTIAL-SFD
15) MINIMUM LOT SIZE.....	20,000 SF
16) OPEN SPACE REQUIRED (20% OF 3.34 AC).....	0.67 AC.±
17) OPEN SPACE PROVIDED (CREDITED).....	0.00 AC.
18) OPEN SPACE PROVIDED (TOTAL).....	0.00 AC.
19) RECREATIONAL OPEN SPACE REQUIRED.....	N/A
20) RECREATIONAL OPEN SPACE PROVIDED.....	N/A
21) NUMBER OF PARKING SPACES REQUIRED.....	N/A
22) TOTAL NUMBER OF PARKING SPACES PROVIDED.....	N/A
23) BUILDING COVERAGE AREA (IMPERVIOUS).....	0.23 AC.(±7%)
24) TOTAL IMPERVIOUS AREA.....	0.77 AC.(±23%)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 10-14-15
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 10-16-15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



GENERAL NOTES

- SUBJECT PROPERTY IS ZONED R-20 PER THE 10-6-2030 COMPREHENSIVE ZONING PLAN.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, DATED OCTOBER 7, 2007.
- PROJECT LIMITS WILL BE BASED ON FIELD RUN BOUNDARY SURVEY PERFORMED BY BENCHMARK ENGINEERING INC. DATED FEBRUARY, 2014.
- EXISTING TOPOGRAPHY AND THIS PROJECT IS BASED ON A FIELD RUN TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. IN MARCH, 2014.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE COORDINATE SYSTEM.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM, OR OTHER REQUIRED BUFFERS UNLESS DEEMED NECESSARY BY THE DEPARTMENT OF PLANNING AND ZONING.
- THERE ARE NO STEEP SLOPES (25% OR GREATER) IN EXCESS 20,000 S.F. ON THIS SITE.
- THERE IS NO NEED FOR A PRELIMINARY FLOOD STUDY FOR THIS PROJECT.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES OR HISTORIC STRUCTURES LOCATED ON THIS SITE.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THIS SITE IS LOCATED WITHIN THE METROPOLITAN DISTRICT AND THE PLANNED SERVICE AREA. WATER AND SEWER WILL BE PUBLIC.
- THE FOREST CONSERVATION OBLIGATION FOR THIS PROJECT WILL BE MET VIA PAYMENT OF A FEE-IN-LIEU OF PROVIDING REFORESTATION.
- THE PREVIOUS DPZ FILES FOR THIS SITE ARE: NCU-00-02, WP-14-149.
- THERE IS NO FLOODPLAIN ON THIS PROPERTY. THE DRAINAGE AREA AT THE STUDY POINT IS LESS THAN 30 ACRES. THERE ARE NO WETLANDS OR STREAMS ON THIS PROPERTY AS INDICATED ON THIS PROJECT.
- THE EXISTING HOUSE AND POOL ON LOT 1 WILL REMAIN. THE EXISTING CHURCH BUILDING ON PROPOSED LOT 3 WILL REMAIN.
- LANDSCAPE PLAN WILL BE PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- APPROVAL OF THIS ECP DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBDIVISION AND/OR SITE DEVELOPMENT PLAN.
- REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBDIVISION AND/OR SITE DEVELOPMENT PLAN STAGES. THEREFORE, THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED COMMENTS (INCLUDING THOSE THAT MAY ALTER OVERALL SITE DESIGN) AS THIS PROJECT PROGRESSES.
- A WAIVER PETITION TO REMOVE SPECIMEN TREES WILL BE FILED UNDER SUBSEQUENT PLANS SUBMISSION.
- ON JUNE 20, 2014 THE PLANNING DIRECTOR APPROVED WAIVER WP-14-149 TO WAIVE SECTION 16.120(C)(2)(I) REQUIRING ALL SINGLE FAMILY DETACHED LOTS WHICH SHARE ACCESS TO HAVE SUFFICIENT PUBLIC ROAD ACCESS COLLECTIVELY TO MEET THE SHARED DRIVEWAY EASEMENT REQUIREMENTS OF THE DESIGN MANUAL (VOLUME II). THE WAIVER WAS GRANTED FOR THE PURPOSE OF BEING ABLE TO SUBDIVIDE PARCELS 2 & 758 INTO LOTS 1, 2 & 3. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 - NO FURTHER RE-SUBDIVISION OF LOTS 1, 2 & 3 WILL BE ALLOWED UNTIL PUBLIC ROAD FRONTAGE IS OBTAINED TO EITHER ROUTE 40 OR BOONES LANE IN ACCORDANCE WITH SECTION 16.120(C)(2)(I) OF THE SUBDIVISION REGULATIONS.
 - WRITTEN CONFIRMATION FROM THE DIVISION OF PUBLIC SERVICE AND ZONING DEMONSTRATION OF DPZ PRIOR TO THE SUBMISSION OF THE FINAL SUBDIVISION PLAN FOR LOTS 1, 2 & 3, TO ALLOW PARCEL 758 MAY BE REDUCED IN SIZE FROM 2.35 TO 2.03 ACRES AND THAT PROPOSED SETBACKS ON NEW LOT 3 MEET THE REQUIREMENTS FOR THE NON-CONFORMING USES AND STRUCTURES.
 - APPLICANT MUST PROVIDE A NEW MAINTENANCE AGREEMENT FOR NEW LOTS 1, 2 & 3, AS WELL AS ALL OTHER USERS OF THE 14' WIDE SHARED PRIVATE DRIVEWAY BETWEEN LOTS 1 & 3 TO USE THE EXISTING 20' WIDE SHARED DRIVEWAY WITHIN THE 50' WIDE R/W SOUTH OF THE PROPOSED LOTS. THE SHARED DRIVEWAY AGREEMENT WILL BE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY SIMULTANEOUSLY WITH THE SUBDIVISION PLAN. IF AN AGREEMENT BETWEEN ALL PARTIES CANNOT BE REACHED, THE PORTA'S SHALL BE SOLELY RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND ANY REQUIRED RE-PAVING OF THE 14' WIDE PRIVATE ROAD FROM THE NORTHERN LIMITS OF LOT 2 TO THE ROUTE 40 R/W.
 - DESIGN MANUAL WAIVERS ARE REQUIRED TO ALLOW THE PRIVATE DRIVEWAY TO REMAIN 14' WIDE AND TO ALLOW THE EXISTING 20' WIDE SHARED DRIVEWAY EASEMENT TO REMAIN WITHOUT WIDENING THE EASEMENT TO THE REQUIRED 24' WIDE MINIMUM USE-IN-COMMUNITY DRIVEWAY EASEMENT WIDTH.
 - APPROVAL OF A SITE DEVELOPMENT PLAN IS REQUIRED IN ORDER TO OBTAIN A BUILDING PERMIT FOR THE PROPOSED HOUSE ON NEW LOT 2.
 - APPLICANT NEEDS TO PROPOSE AND HAVE APPROVED A STREET NAME FOR THE 14' WIDE PRIVATE ROAD. THE APPLICANT SHALL COORDINATE THE PROPOSED STREET NAME WITH ALL CURRENT USERS OF THE PRIVATE ROAD, NAMING THE PRIVATE ROAD WILL MAKE IT EASIER FOR EMERGENCY VEHICLES TO IDENTIFY THE ROAD.

LEGEND

- SOILS CLASSIFICATION: GNB
- SOILS DELINEATION: -480-
- EXISTING CONTOURS: -999-
- PROPOSED CONTOURS: -999-
- EXISTING WOODS LINE: [Symbol]
- PROPOSED WOODS LINE: [Symbol]
- PROPOSED STRUCTURE: [Symbol]
- EXISTING WELL: [Symbol]
- DRY WELL: [Symbol]
- ROOFTOP DISCONNECTION PATH: [Symbol]
- NON-ROOFTOP DISCONNECTION: [Symbol]
- LIMIT OF DISTURBANCE: [Symbol]
- EFFECTIVE SITE AREA: [Symbol]
- DRAINAGE AREA: [Symbol]
- BORING LOCATION: [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE: [Symbol]
- SILT FENCE: [Symbol]
- EROSION CONTROL MATTING: [Symbol]

SHEET INDEX	
NO.	DESCRIPTION
1	COVER, GRADING, EXISTING CONDITIONS, SEDIMENT CONTROL AND SWM PLAN

BENCHMARK ENGINEERING, INC.
 ENGINEERS • LAND SURVEYORS • PLANNERS
 8480 BALTIMORE NATIONAL PIKE SUITE 315 • ELLICOTT CITY, MARYLAND 21043
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Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 45577, Expiration Date: 06-06-2016.

OWNER PARCEL 2:
 TROY B. & STEPHANIE R. PORTA
 10382 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042-2128

OWNER PARCEL 758:
 TSZ PROPERTIES, LLC
 10382 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042-2128

PROJECT: **PARCEL 2 AND 758**
 RESUBDIVISION - LOTS 1 THRU 3

LOCATION:
 TAX MAP 24, GRID 1, PARCELS 2 AND 758
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: COVER, GRADING, EXISTING CONDITIONS, SEDIMENT CONTROL AND SWM PLAN
ENVIRONMENTAL CONCEPT PLAN

DATE: APRIL, 2015
 AUGUST, 2015

PROJECT NO. 2617

DESIGN: JC DRAFT: EDD
 SCALE: 1" = 30'
 DRAWING 1 OF 1

