

SHEET INDEX

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2	PUBLIC WATER AND SEWER PLAN AND PROFILES

# COLUMBIA VILLAGE OF OWEN BROWN

## LOT: A-4

# PUBLIC WATER EXTENSION

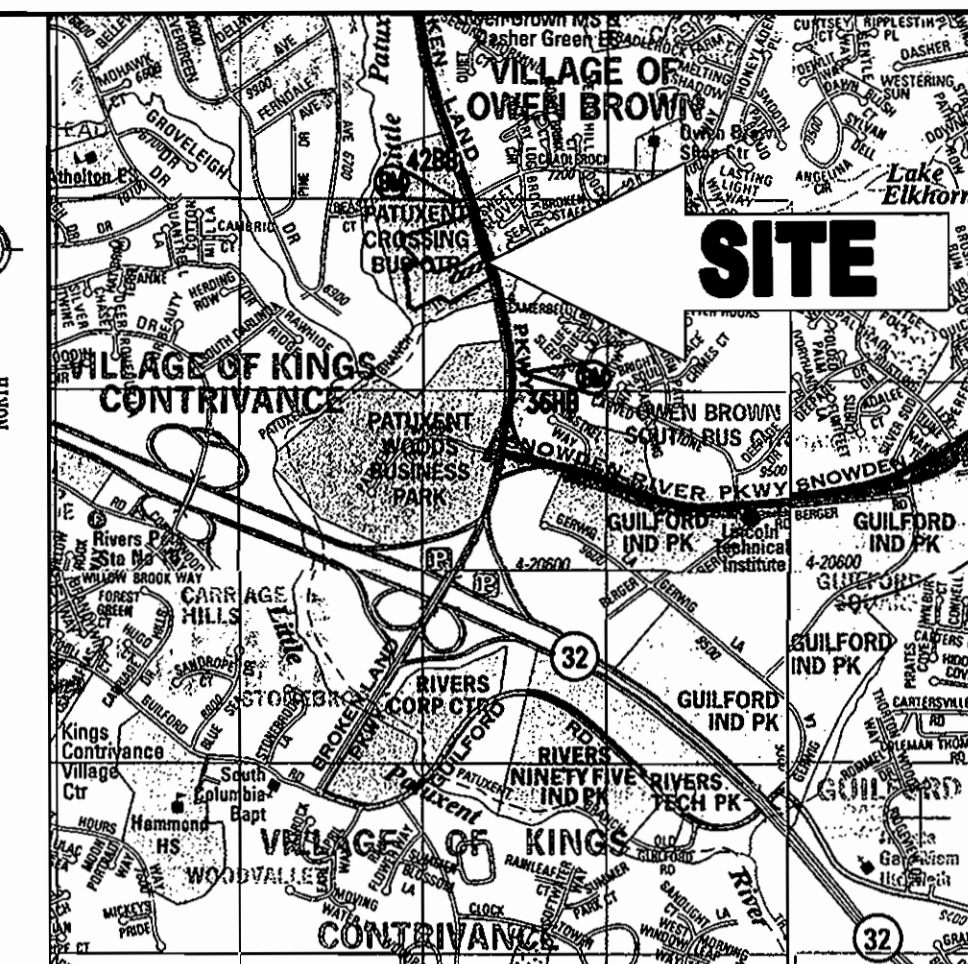
## THE GOLDSTAR REAL ESTATE GROUP

### SECTION 3, AREA 1

## TAX MAP 42, GRID 3, PARCEL 392,

## HOWARD COUNTY, MARYLAND

## CONTRACT NUMBER 44-4605-D



LOCATION MAP  
 COPYRIGHT ADC THE MAP PEOPLE  
 PERMIT USE NO. 20602153-5  
 SCALE: 1"=2000'

**BENCHMARKS**

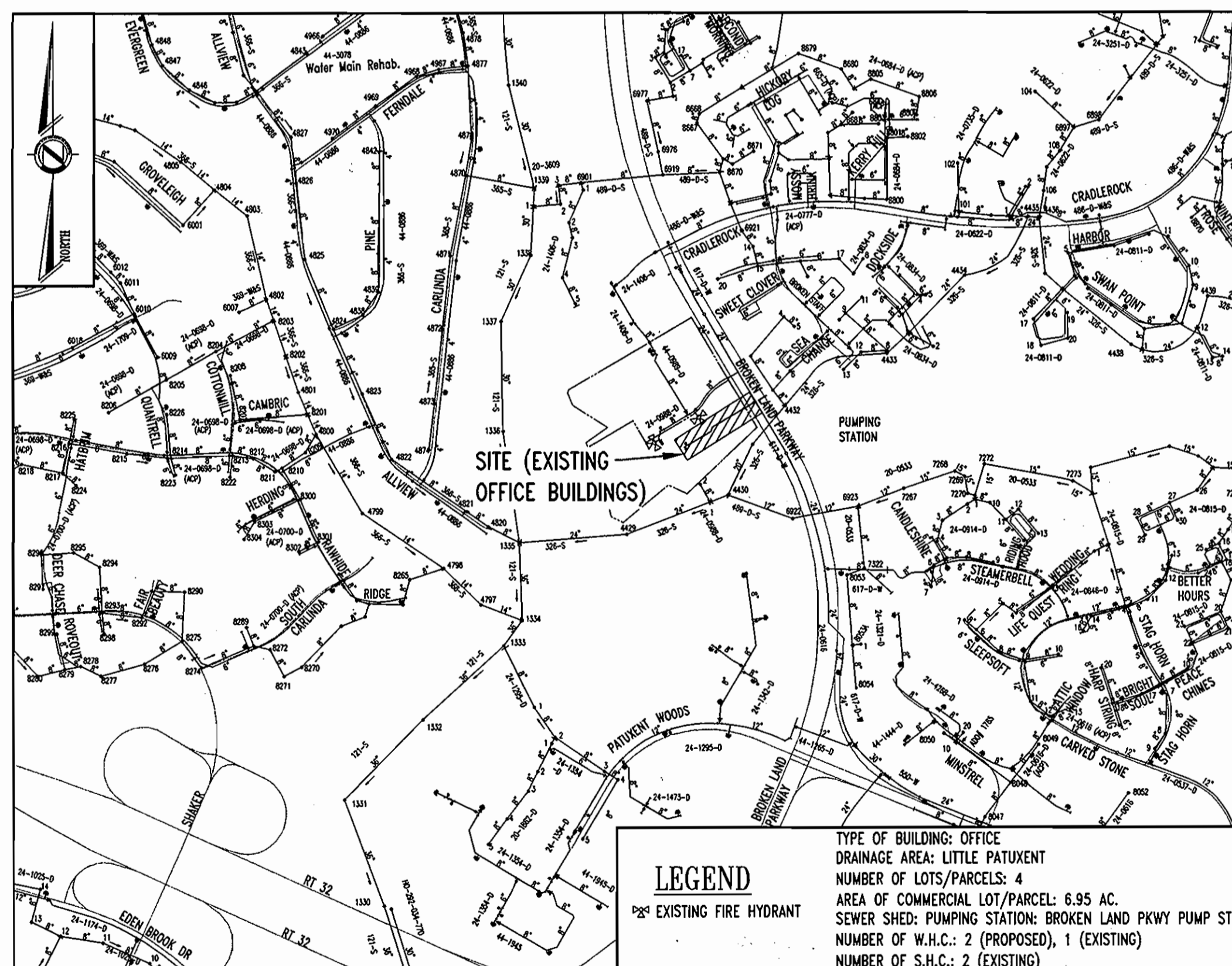
GEODETIC SURVEY CONTROL #36HB  
 N 552,978.341  
 E 1,354,677.928  
 ELEV. = 313.489  
 HOWARD COUNTY ALUMINIUM DISK SET ON A CONCRETE MONUMENT ON BROKEN LAND PARKWAY (SBL) AND CRADLEROCK ROAD (S).

GEODETIC SURVEY CONTROL #42BB  
 N 551,394.116  
 E 1,355,639.427  
 ELEV. = 305.739  
 HOWARD COUNTY ALUMINIUM DISK SET ON A CONCRETE MONUMENT ON BROKEN LAND PARKWAY (NBL) NEAR LAKE ELKHORN.

**GENERAL NOTES**

- APPROXIMATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- THE TOPOGRAPHY SHOWN IS BASED ON A SURVEY BY BOHLER ENGINEERING, P.C. ENTITLED "PARTIAL BOUNDARY AND TOPOGRAPHICAL SURVEY, CBE, PARCEL A-4, COLUMBIA VILLAGE OF OWEN BROWN, PLAT NUMBER 5201, COLUMBIA, 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND 21046" DATED 09/30/08.
- HORIZONTAL AND VERTICAL SURVEY CONTROLS:
  - THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD '83/'91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 42BB AND NO. 36HB. ALL VERTICAL CONTROLS ARE ON NAVD '88.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
- CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON THE DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR THE BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED TO THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
- FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
- WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL AT THE LOCATIONS OF THE TEST PITS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
 

AT&T	800-252-1133
BCE (CONSTRUCTION SERVICES)	410-850-4620
BCE (UNDERGROUND DAMAGE CONTROL)	410-787-9068
BUREAU OF UTILITIES	410-313-4900
COLONIAL PIPELINE COMPANY	410-795-1390
MISS UTILITY	800-257-7777
STATE HIGHWAY ADMINISTRATION	410-531-5533
VERIZON	410-224-9210
- TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT 410-313-7450 AT LEAST FIVE WORKING DAYS BEFORE OPEN CUTTING OR BORING/JACKING OF ANY COUNTY ROAD FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(A) OF THE HOWARD COUNTY CODE.



VICINITY MAP  
 SCALE: 1"=600'

**QUANTITIES**

ITEMS	QUANTITIES ESTIMATED	QUANTITIES	AS-BUILT TYPE	MANUFACTURER / SUPPLIER
4" D.I.P. WATER	10 LF			
8" D.I.P. WATER	294 LF			
4" VALVE	2 EA			
8" VALVE	1 EA			
2" PLUG	2 EA			
4" PLUG	2 EA			
8" CAP & BUTTRESS	1 EA			
8"x8"x4" TEE	2 EA			
24" TAPPING SLEEVE	1 EA			

NAME OF UTILITY CONTRACTOR: \_\_\_\_\_

Sediment control measures for this contract will be implemented in accordance with Section 219 of the Specifications and as shown on Sheet 3

CHECKBOX  
 AS-BUILT DATE: \_\_\_\_\_

SURVEY AND DRAFTING DIVISION

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 4/9/09  
 HOWARD SOIL CONSERVATION DISTRICT

**OWNER/DEVELOPER**  
 COLUMBIA LAKEVIEW REAL ESTATE LLC  
 C/O THE GOLDSTAR REAL ESTATE GROUP  
 463C MONTGOMERY AVE, SUITE 500  
 BETHESDA, MD 20814  
 CONTACT: COLLEEN MONT  
 PHONE: 301-657-8848

**WATER NOTES**

- ALL WATER MAINS SHALL BE D.I.P. CLASS 54 UNLESS OTHERWISE NOTED.
- TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 3'-6" OF COVER UNLESS OTHERWISE NOTED.
- VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
- ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH THE STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
- FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND 1005 OF THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
- ALL WATER HOUSE CONNECTIONS SHALL BE FOR INSIDE METER SETTING UNLESS OTHERWISE NOTED ON PLANS OR IN SPECIFICATIONS.

**PROFESSIONAL CERTIFICATION**

I, JOSEPH J. UCCIFERRO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36064, EXPIRATION DATE: 6/26/10



DEPARTMENT OF PUBLIC WORKS  
 HOWARD COUNTY, MARYLAND

*[Signature]* 4/23/09  
 CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING & ZONING  
 HOWARD COUNTY, MARYLAND

*[Signature]* 4/16/09  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

**BOHLER ENGINEERING**

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL ENGINEERS  
 LANDSCAPE ARCHITECTS

OFFICES:  
 WARREN, NJ  
 SOUTHBOROUGH, MA  
 ALBANY, NY  
 PURCHASE, NY  
 RONCONDOVA, NY  
 CHALFONT, PA

STERLING, VA  
 BOWIE, MD  
 TOWSON, MD  
 WARRENTON, VA  
 FORT LAUDERDALE, FL  
 CENTER VALLEY, PA

JOSEPH J. UCCIFERRO

DES: C.W.A.	
DRN: P.A.B.	
CHK: J.J.U.	
PROJ #: MD082077	
DATE: 01/21/09	
REV.	DATE
	DESCRIPTION
	BY

TITLE SHEET

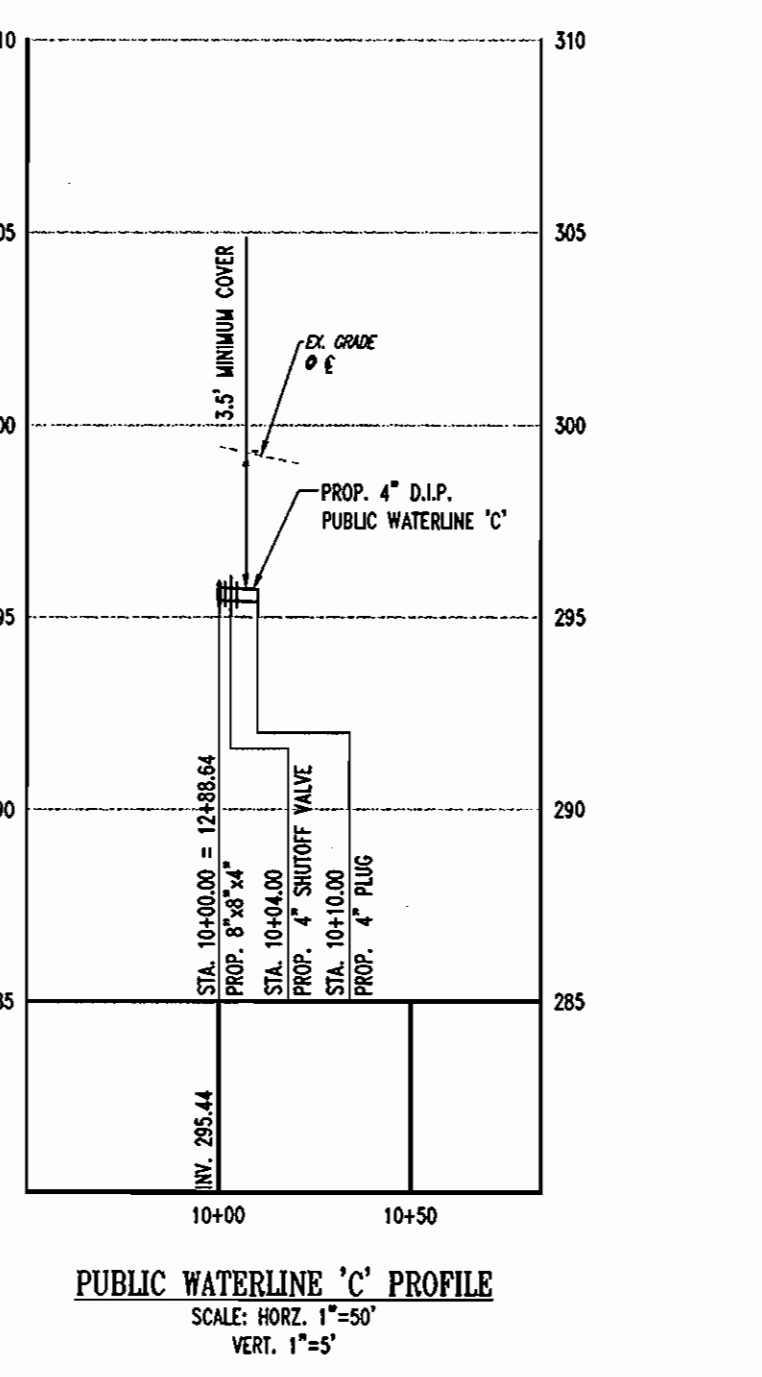
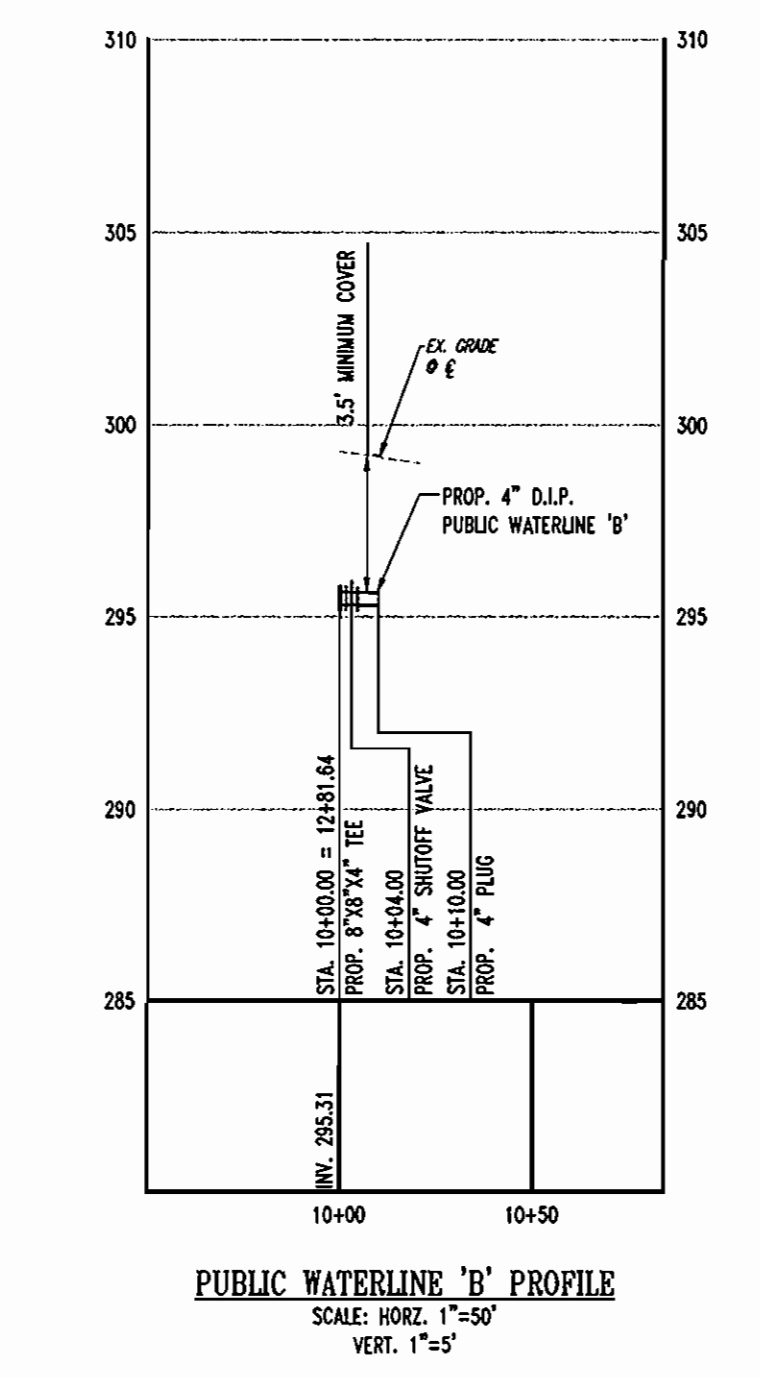
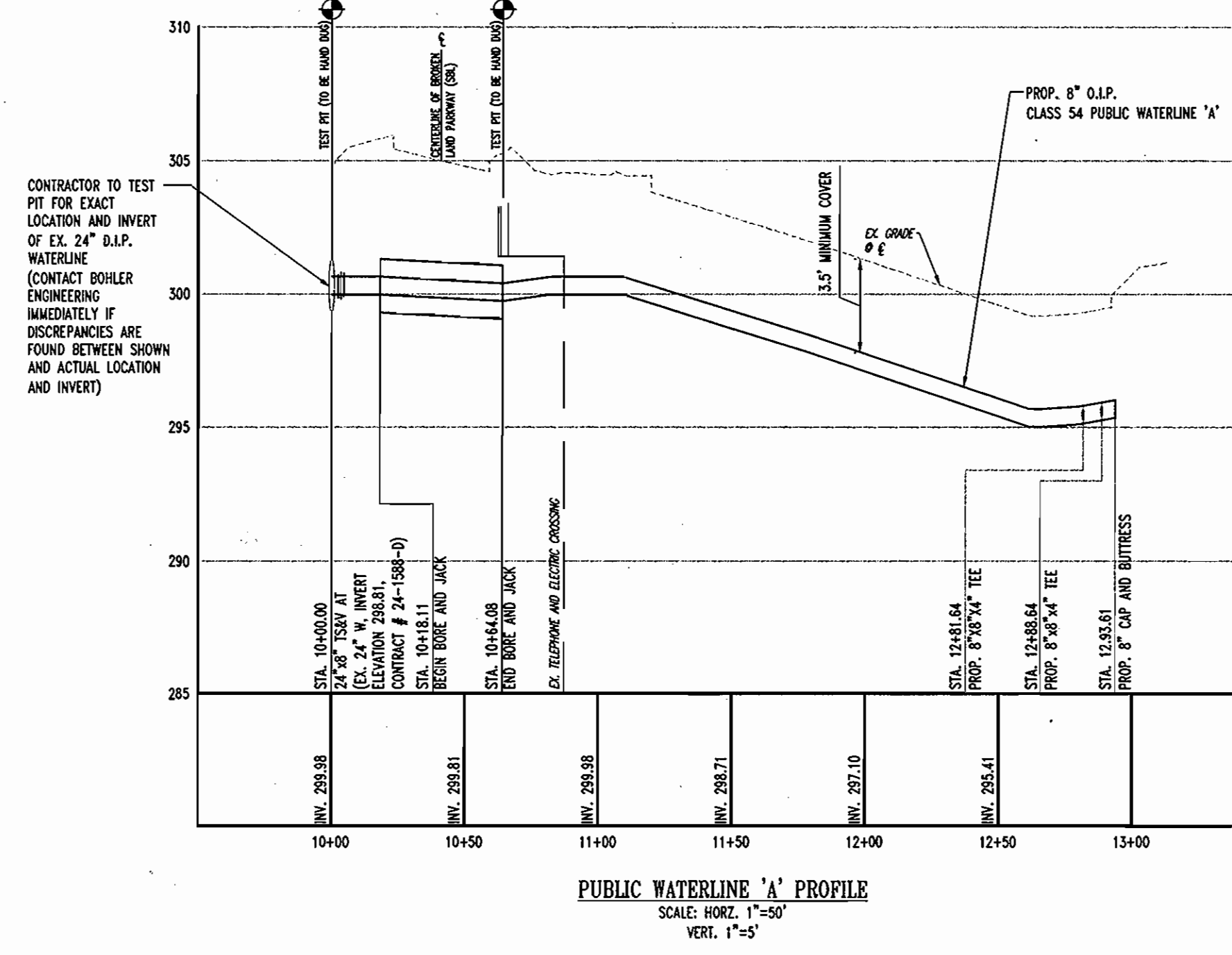
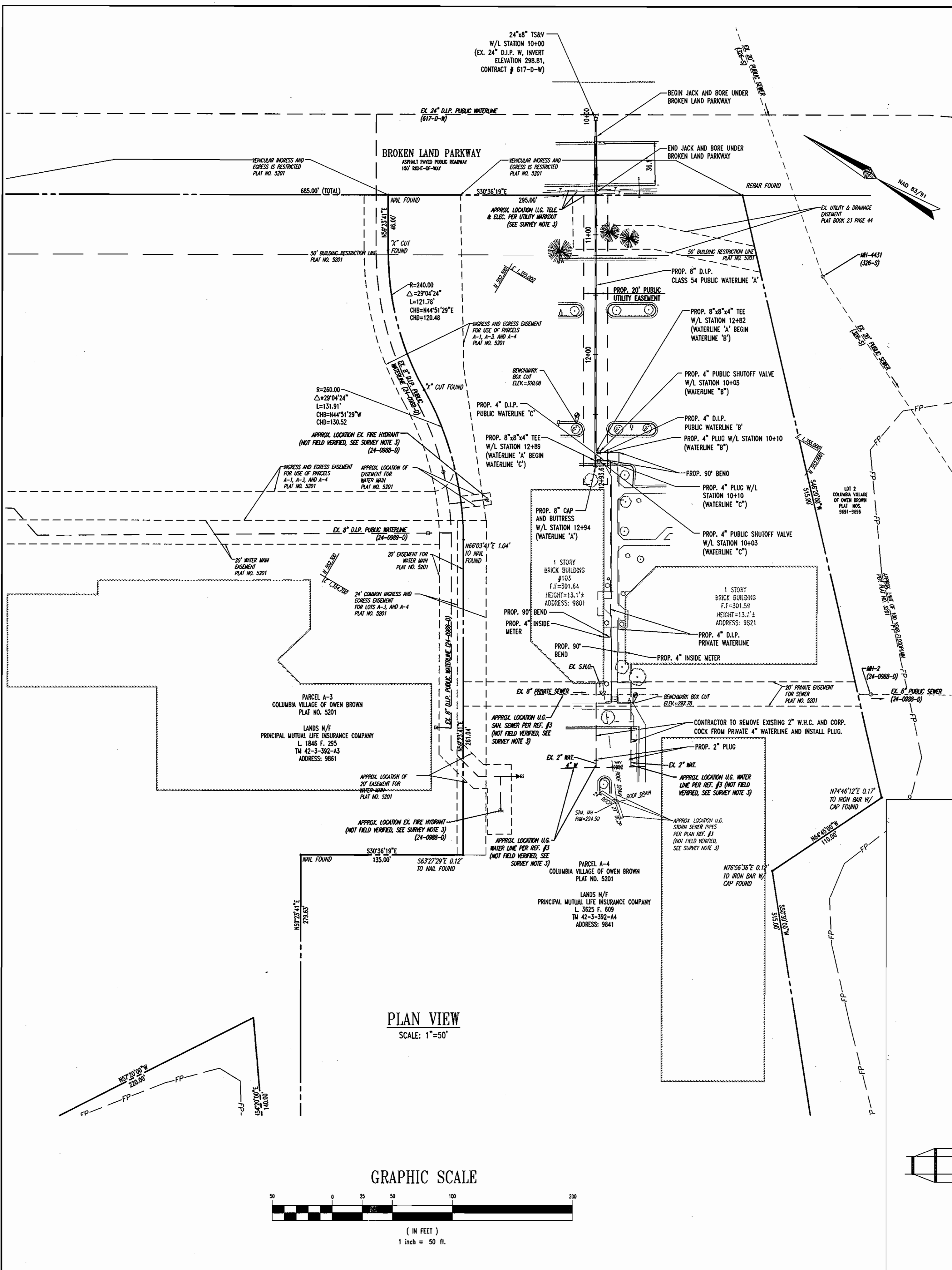
PARCEL NO. 392

600' SCALE MAP NO. 42 BLOCK N 3

COLUMBIA VILLAGE OF OWEN BROWN  
 THE GOLDSTAR REAL ESTATE GROUP  
 9841 BROKEN LAND PARKWAY  
 SECTION 3, AREA 1, PARCEL 392  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 CONTRACT NUMBER 44-4605-D

SCALE AS SHOWN

SHEET 1 OF 3



**SURVEY NOTES:**

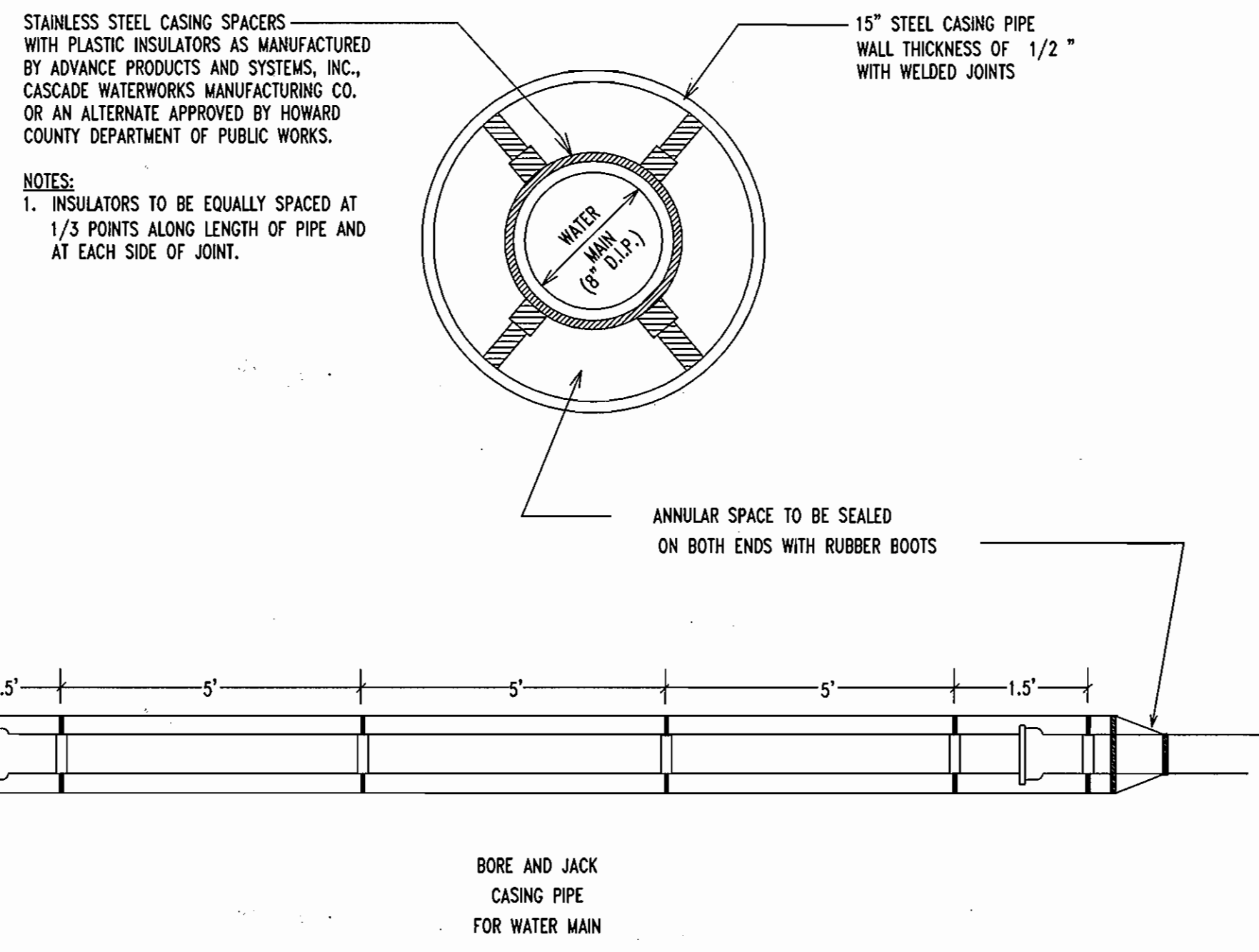
- PROPERTY IS KNOWN AS PARCEL A-4, COLUMBIA VILLAGE AT OWEN BROWN AS RECORDED IN PLAT NO. 5201 AND BEING THE LANDS OF PRINCIPAL MUTUAL LIFE INSURANCE COMPANY AS RECORDED IN LIBER 3625 FOLIO 609 AMONG THE LAND RECORDS OF HOWARD COUNTY, MD AND HAVING A TAX MAP NUMBER OF TM 42-3-392-A4.
- AREA = N/A
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BOHLER ENGINEERING AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATION AND MERIDIAN ARE BASED ON NAD83 AND NAVD83 BASED ON HOWARD COUNTY CONTROL MONUMENTS 368H, WITH A PUBLISHED ELEVATION OF 313.43 FEET AND 428B WITH A PUBLISHED ELEVATION OF 305.62 FEET.
- THE PROPERTY IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) PER PLAN REFERENCE #2.
- WATER, STORM AND SANITARY SEWER UTILITIES ARE SHOWN PER FIELD LOCATION OF ABOVE GROUND STRUCTURE AND PLANS REFERENCED HEREON. ELECTRIC AND TELEPHONE UNDERGROUND UTILITIES ARE SHOWN PER FIELD LOCATION OF UTILITY MARKOUT.

**SURVEY REFERENCES:**

- THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION RECORDS FOR HOWARD COUNTY, MAP NUMBER 42-3-392-AA.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND (UNINCORPORATED AREAS), PANEL 39 OF 45", COMMUNITY-PANEL NUMBER 240044 0039 B, MAP EFFECTIVE DATE DECEMBER 4, 1986.
- MAP ENTITLED "AS-BUILT OF PLAN AND PROFILE OF WATER MAIN AND SANITARY SEWER, PARCEL A-2 VILLAGE OF OWEN BROWN, SECT. 3 AREA 1 - PHASE 1", PREPARED BY: HUDKINS ASSOCIATES, DATED: SEPT. 4, 1981.

**SEQUENCE OF CONSTRUCTION FOR ABANDONMENT OF EXISTING WATER CONNECTIONS:**

- CONTRACTOR TO INSTALL 8" D.I.P. WATERLINE.
- CONTRACTOR TO MAKE 4" WATERLINE CONNECTIONS TO ADDRESSES 9801 AND 9821.
- ONCE NEW WATER CONNECTIONS HAVE BEEN MADE, CONTRACTOR SHOULD LOCATE EX. 2" WATERLINES APPROXIMATELY FIVE (5) FEET FROM EX. 4" WATER MAIN AND PLUG.
- ONCE EX. 2" WATERLINES HAVE BEEN PLUGGED CONTRACTOR SHOULD REPLACE PAVEMENT TO EXISTING CONDITION.



**WATER HOUSE CONNECTION AS-BUILT LOCATION TABLE**

LOT #	ADDRESS	LOCATION DIMENSION 1	LOCATION DIMENSION 2
A-4	9841 BROKEN LAND PARKWAY		
A-4	9841 BROKEN LAND PARKWAY		

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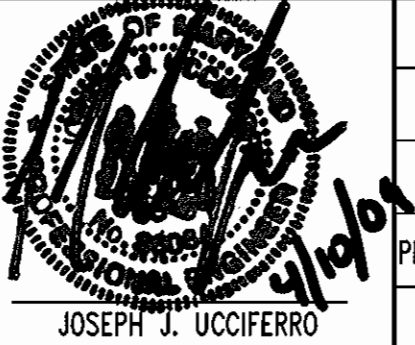


DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND  
S. C. Cline  
CHIEF, BUREAU OF UTILITIES  
DATE: 4/12/09

DEPARTMENT OF PLANNING & ZONING  
HOWARD COUNTY, MARYLAND  
John DeWanna  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 4/10/09

**BOHLER ENGINEERING**  
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DES: C.W.A.  
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REV.	DATE	DESCRIPTION	BY

**PUBLIC WATER AND SEWER PLAN AND PROFILES**  
PARCEL NO. 392  
60' SCALE MAP NO. 42 BLOCK NO. 3

COLUMBIA VILLAGE OF OWEN BROWN  
THE GOLDSTAR REAL ESTATE GROUP  
9841 BROKEN LAND PARKWAY  
SECTION 3, AREA 1, PARCEL 392  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CONTRACT NUMBER 44-4605-D

SCALE AS SHOWN  
SHEET 2 OF 3  
EP-09-21

