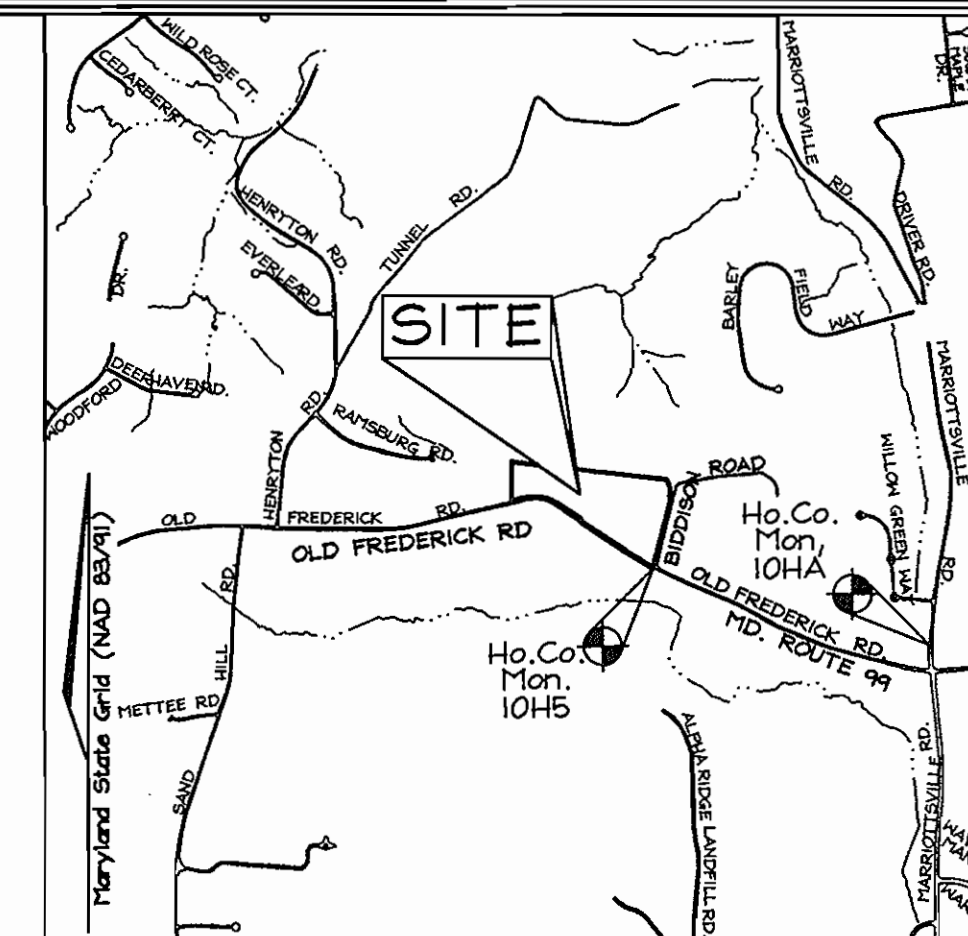


PUBLIC WATER PLAN PARK RIDGE ESTATES

HOWARD COUNTY, MARYLAND
CONTRACT NO. 44-4339-D



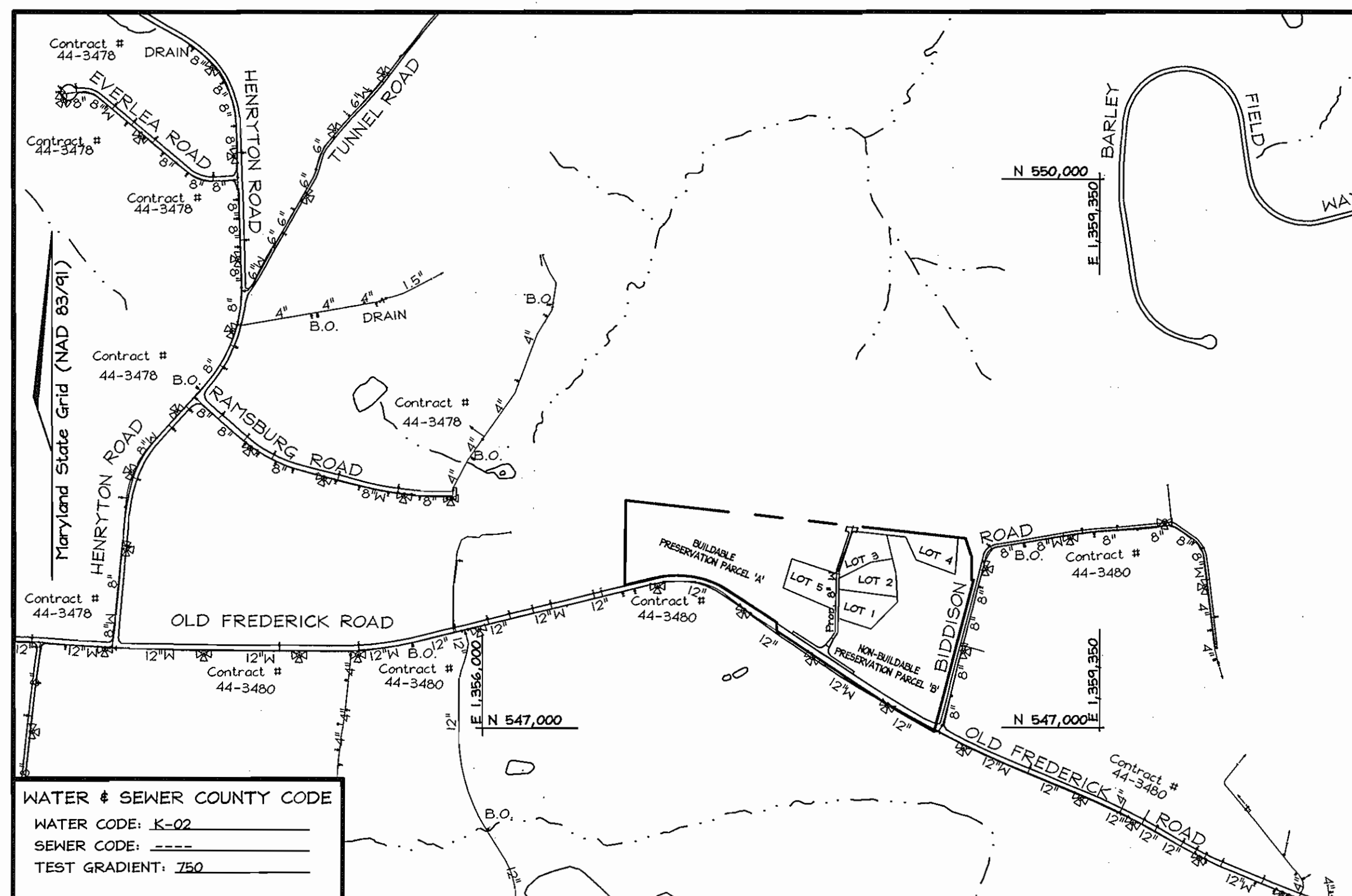
VICINITY MAP
SCALE: 1"=2000'
ADC MAP 5; GRID 13 JHK

BENCHMARKS

Sta. 10HA	N 601,206.587	E 1,340,912.325	El.: 484.068
Sta. 10H5	N 601,201.805	E 1,339,637.662	El.: 522.770

SHEET INDEX

DESCRIPTION	SHEET No.
Cover Sheet	1 of 3
Public Water Plan View Sheet	2 of 3
Public Water Profile Sheet	3 of 3



WATER & SEWER COUNTY CODE
WATER CODE: K-02
SEWER CODE: ----
TEST GRADIENT: 750

TYPE OF BUILDING: RESIDENTIAL
NO. OF LOTS/PARCELS: 6
NO. OF WATER HOUSE CONNECTIONS: 6
NO. OF SEWER HOUSE CONNECTIONS: 0
DRAINAGE AREA: LITTLE PATUXENT
TREATMENT PLANT: PATUXENT

LOCATION PLAN
SCALE: 1"= 600'

WATER QUANTITIES

ITEMS	QUANTITIES ESTIMATED	AS-BUILT		
		QUANTITIES	TYPE	MANUFACTURER/SUPPLIER
4" WATER	441 L.F.			
8" WATER	310 L.F.			
1" WHC	92 L.F.			
FIRE HYDRANT w/ 6" Valve	1 Ea.			
4" CAP & BUTTRESS	1 Ea.			
1/16" HB	1 Ea.			
1/32" HB	3 Ea.			
12"x8" TAPPING SLEEVE AND VALVE	1 Ea.			
Meter Boxes	6 Ea.			

GENERAL NOTES

- PART I - GENERAL**
- Approximate locations of existing mains are shown. The contractor shall take all necessary precautions to protect existing mains and services and maintain uninterrupted supply. Any damage incurred shall be repaired immediately to the satisfaction of the Engineer at the Contractor's expense.
 - Topographic field surveys were performed on July, 2005 by Jack C. Meltema.
 - The coordinates shown on the drawings are based on Maryland State Reference System NAD 83/91 as projected by Howard County Geodetic Control Stations No.10HA and No. 10H5. (see vicinity map)
 - All vertical controls are based on NAVD'83. Vertical controls provided on the drawings are 10HA and 10H5 (see vicinity map).
 - All pipe elevations shown are invert elevations unless otherwise noted on the plans.
 - Clear all utilities by a minimum of 12 inches. Clear all poles by 5'-0" minimum or tunnel as required unless otherwise noted. The owner has contacted the utility companies and has made arrangements for bracing of poles as shown on the drawings. In the event the contractor's work requires the bracing of additional poles, any cost incurred by the owner for the bracing of additional poles or damages shall be deducted from moneys owned by the contractor. The contractor shall coordinate with the utility companies to schedule the bracing of the poles.
 - For details not shown on the drawing, and for materials and construction methods, use Howard County Design Manual, Volume IV, Standard Specifications and Details for Construction (latest Edition). The contractor shall have a copy of Volume IV on the job.
 - Where test pits have been made on existing utilities, they are noted by the symbol [] at the locations of the test pits. A note or notes containing the results of the test pits are included on the drawings. Existing utilities in the vicinity of the proposed work for which test pits have not been dug shall be located by the contractor two weeks in advance of construction operations at his own expense.
 - The contractor shall notify the following utility companies or agencies at least five working days before starting work shown on these plans:

AT & T	1,800.252.1133
BGE (Construction Services)	410.850.4620
BGE (Emergency)	410.688.1400
Bureau of Utilities	410.313.4900
Colonial Pipeline Company	410.798.1390
Miss Utility	1,800.257.7777
Verizon	1,800.743.0033/410.224.9210
State Highway Administration	410.531.5533
 - Trees and shrubs are to be protected from damage to the maximum extent. Trees and shrubs located within the construction strip are not to be removed or damaged by the Contractor.
 - The Contractor shall remove trees, stumps and roots along line of excavation. Payment for such removal shall be included in the unit price bid for the construction of the main.
 - The Contractor shall notify the Bureau of Highways, Howard County, at 410.313.7450 at least five working days before any open cutting or boring/jacking of any county road for laying water/sewer mains or house connections. The approval of these drawings will constitute compliance with DPX requirements per Section 18.11(a) of the Howard County Code.
 - Previous Howard County file number: SP-06-04.

PART II - WATER

- All water mains to be D.I.P. Class 52 unless otherwise noted.
- Tops of all water mains to have a minimum of 3'-6" of cover unless otherwise noted.
- Valves adjacent to trees shall be strapped to trees.
- All fittings shall be buttressed or anchored with concrete in accordance with the Standard Details unless otherwise provided for on the drawings.
- Fire Hydrants shall be set to the bury line elevations shown on the drawings. All Fire Hydrants shall be restrained and buttressed with concrete in accordance with Standard Details. The soil around Fire Hydrant shall be compacted in accordance with Section 1000 and 1005 of the Standard Specifications.
- The Contractor shall not operate any water main valves on the existing water system.
- All water house connections shall be for outside meter settings.

OWNER/DEVELOPER
Maryland Financial and Real Estate Trust, LLC
c/o Matt Decker
305 N. Rolling Road
Catonsville, MD 21228
Tel: 443-621-0933

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 219 OF THE STANDARD SPECIFICATIONS AND WITH ROAD CONSTRUCTION PLANS F-07-070

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. F-07-070

Jim M... 7/12/10
SOIL CONSERVATION DISTRICT

7/12/10
DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

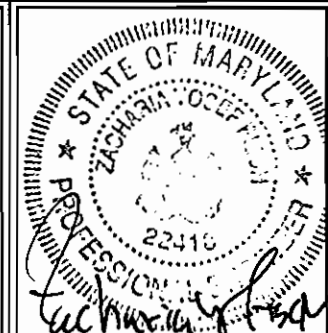
John P. ... 7/12/10
SOIL CONSERVATION DISTRICT

7/12/10
DATE

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND

FSH Associates
Engineers Planners Surveyors
8333 Howard Lane Ellicott City, MD 21075
Tel: 410-567-5200 Fax: 410-796-1562
E-mail: info@fsher.com



DESIGN BY: MLT

DRAWN BY: GW/RT/DN

CHECKED BY: ZYF

DATE: June 27, 2007

FINAL
WATER PLAN
COVER SHEET

PARK RIDGE ESTATES
LOTS 1 THRU 5, BUILDABLE PRESERVATION PARCEL "A",
AND NON-BUILDABLE PRESERVATION PARCEL "B"
CONTRACT NO. 44-4339-D
Zoned: RC-DEO

SCALE
AS
SHOWN

SHEET NO.
1 of 3

TAX MAP #10 GRID #21
3RD ELECTION DISTRICT

PARCEL 24
HOWARD COUNTY, MARYLAND

600' SCALE MAP NO.: 10 BLOCK NO.: 21

BY NO. REVISION DATE

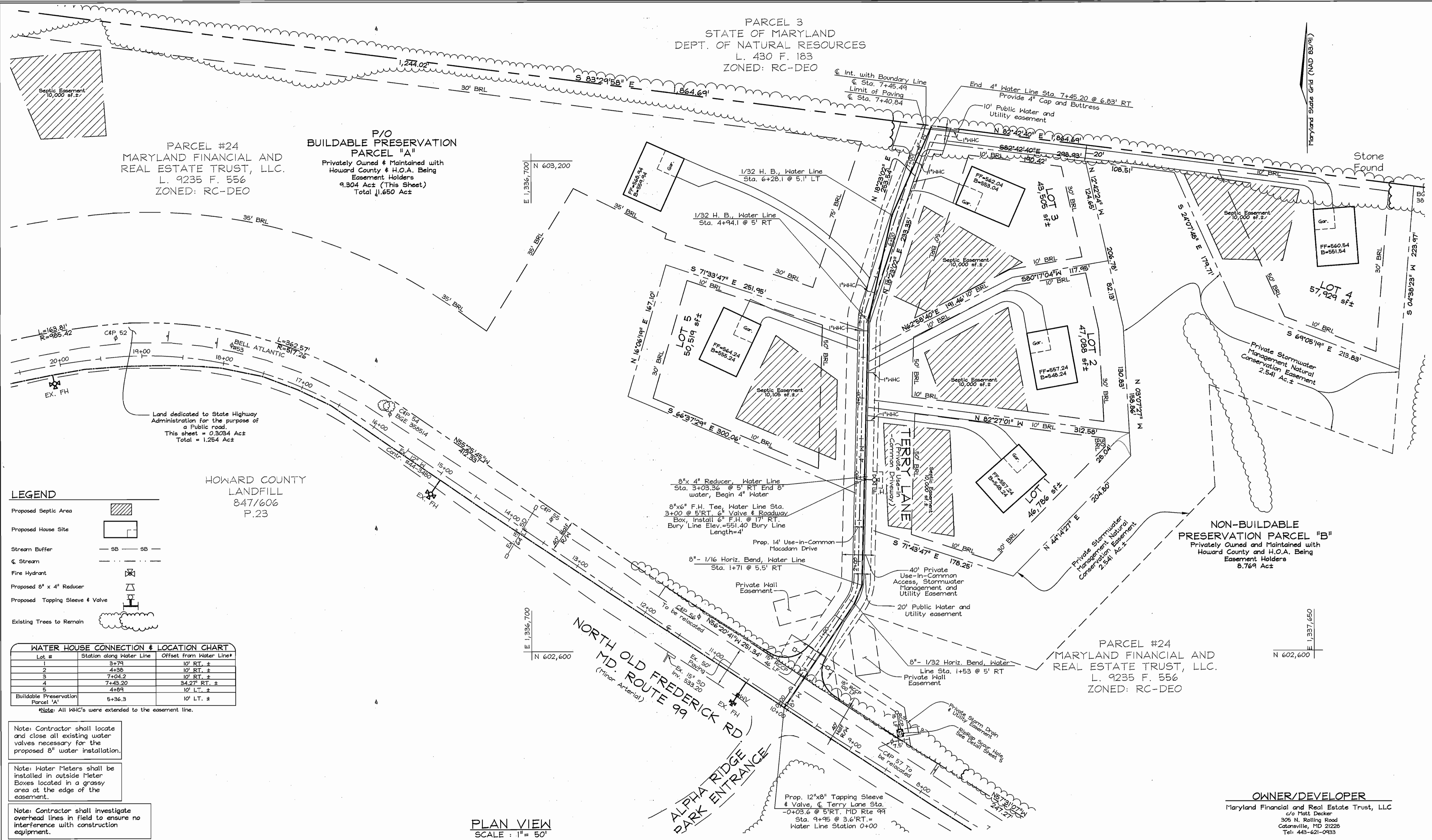
Ruth B... 7-6-07
CHIEF, BUREAU OF UTILITIES DATE

7/12/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

PARCEL 3
STATE OF MARYLAND
DEPT. OF NATURAL RESOURCES
L. 430 F. 183
ZONED: RC-DEO

PARCEL #24
MARYLAND FINANCIAL AND
REAL ESTATE TRUST, LLC.
L. 9235 F. 556
ZONED: RC-DEO

P/O
BUILDABLE PRESERVATION
PARCEL "A"
Privately Owned & Maintained with
Howard County & H.O.A. Being
Easement Holders
9.304 Ac (This Sheet)
Total 11.650 Ac



LEGEND

- Proposed Septic Area
- Proposed House Site
- Stream Buffer
- Stream
- Fine Hydrant
- Proposed 8" x 4" Reducer
- Proposed Tapping Sleeve & Valve
- Existing Trees to Remain

WATER HOUSE CONNECTION & LOCATION CHART

Lot #	Station along Water Line	Offset from Water Line*
1	3+79	10' RT. ±
2	4+38	10' RT. ±
3	7+04.2	10' RT. ±
4	7+43.20	34.27' RT. ±
5	4+89	10' LT. ±
Buildable Preservation Parcel "A"	5+36.3	10' LT. ±

*Note: All WHC's were extended to the easement line.

Note: Contractor shall locate and close all existing water valves necessary for the proposed 8" water installation.

Note: Water Meters shall be installed in outside Meter Boxes located in a grassy area at the edge of the easement.

Note: Contractor shall investigate overhead lines in field to ensure no interference with construction equipment.

HOWARD COUNTY
LANDFILL
847/606
P.23

PLAN VIEW
SCALE: 1" = 50'

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Maryland Financial and Real Estate Trust, LLC
c/o Matt Decker
305 N. Rolling Road
Catoonsville, MD 21228
Tel: 443-621-0933

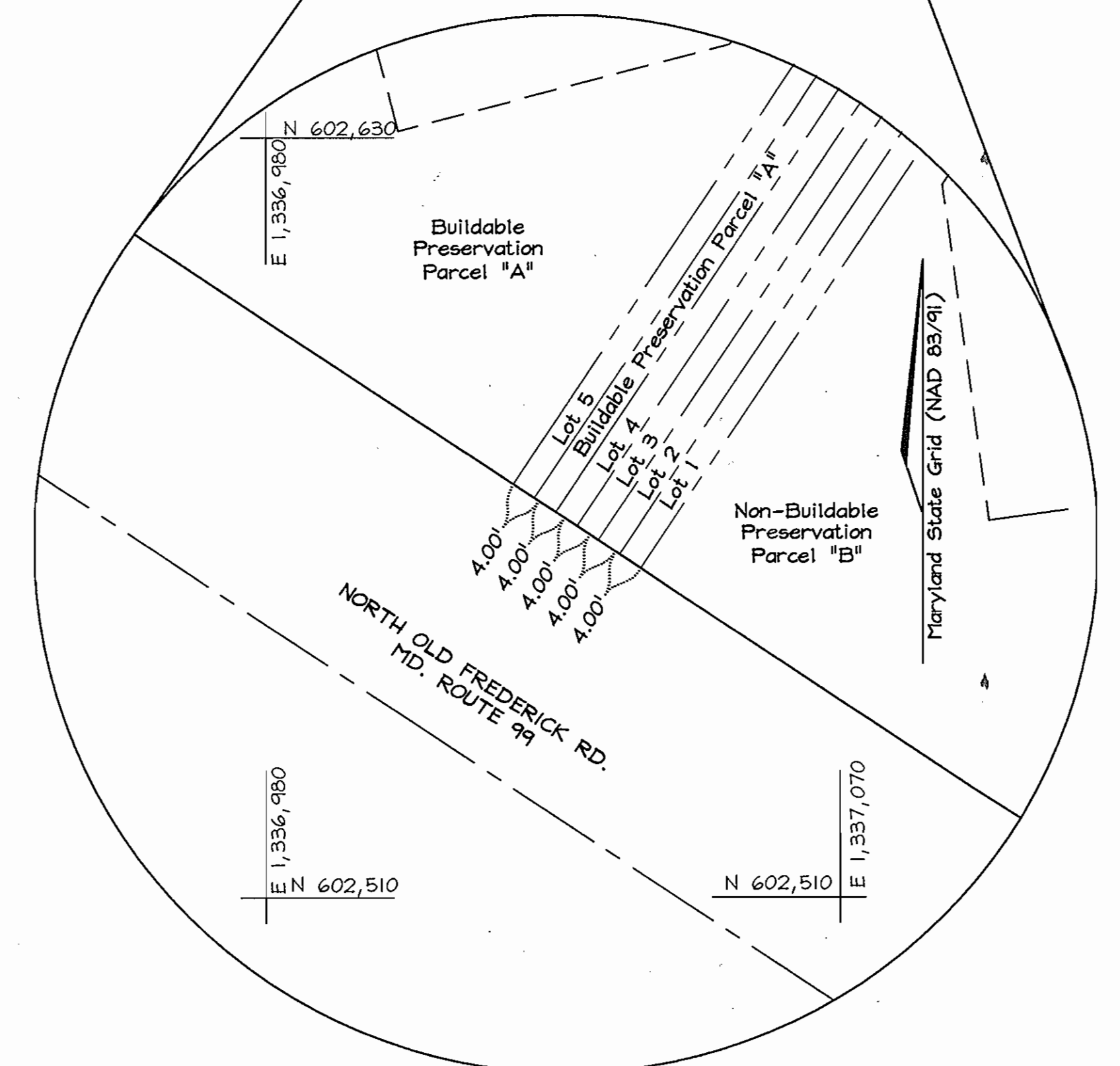
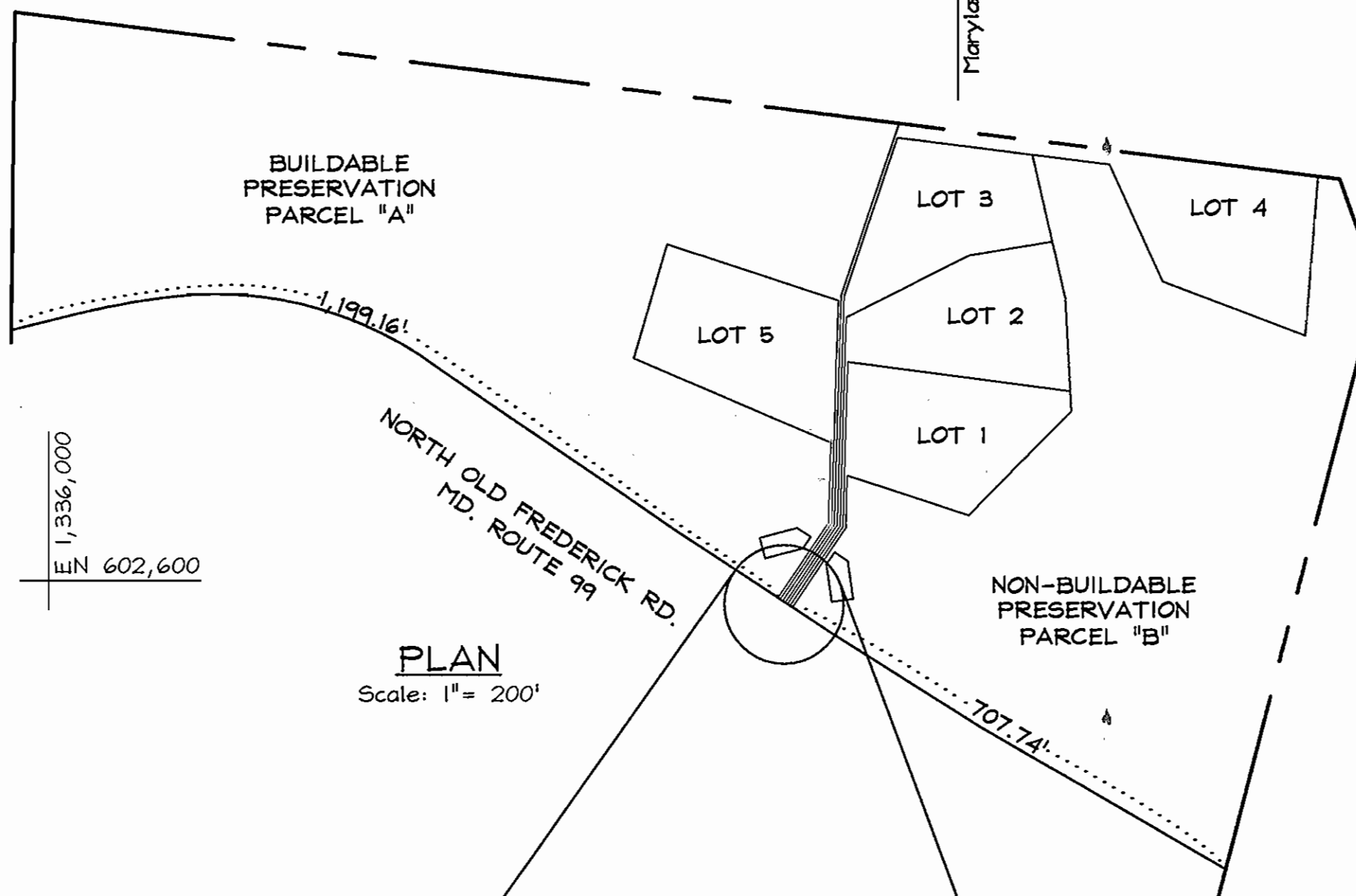
DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND DATE: 7-6-07 CHIEF, BUREAU OF UTILITIES	DEPARTMENT OF PLANNING & ZONING HOWARD COUNTY, MARYLAND DATE: 7/16/07 CHIEF, DEVELOPMENT ENGINEERING DIVISION	FSH Associates Engineers Planners Surveyors 6339 Howard Lane Elkridge, MD 21075 Tel: 410-567-5200 Fax: 410-796-1562 E-mail: info@fsher.com	DESIGN BY: MLT DRAWN BY: CW/RT/DN CHECKED BY: ZYF DATE: June 27, 2007	STATE OF MARYLAND PROFESSIONAL ENGINEER 22418	FINAL WATER PLAN PLAN 600' SCALE MAP NO.: 10 BLOCK NO.: 21	PARK RIDGE ESTATES LOTS 1 THRU 5, BUILDABLE PRESERVATION PARCEL "A", AND NON-BUILDABLE PRESERVATION PARCEL "B" CONTRACT NO. 44-4339-D Zoned: RC-DEO TAX MAP #10 GRID #21 3RD ELECTION DISTRICT PARCEL 24 HOWARD COUNTY, MARYLAND	SCALE 1" = 50' SHEET NO. 2 OF 3
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BUILDABLE LOTS/PARCELS FRONTAGE CHART

Lot #	Total Frontage along Public R/W
1	4.00'
2	4.00'
3	4.00'
4	4.00'
5	4.00'
Buildable Preservation Parcel 'A'	1,203.27'

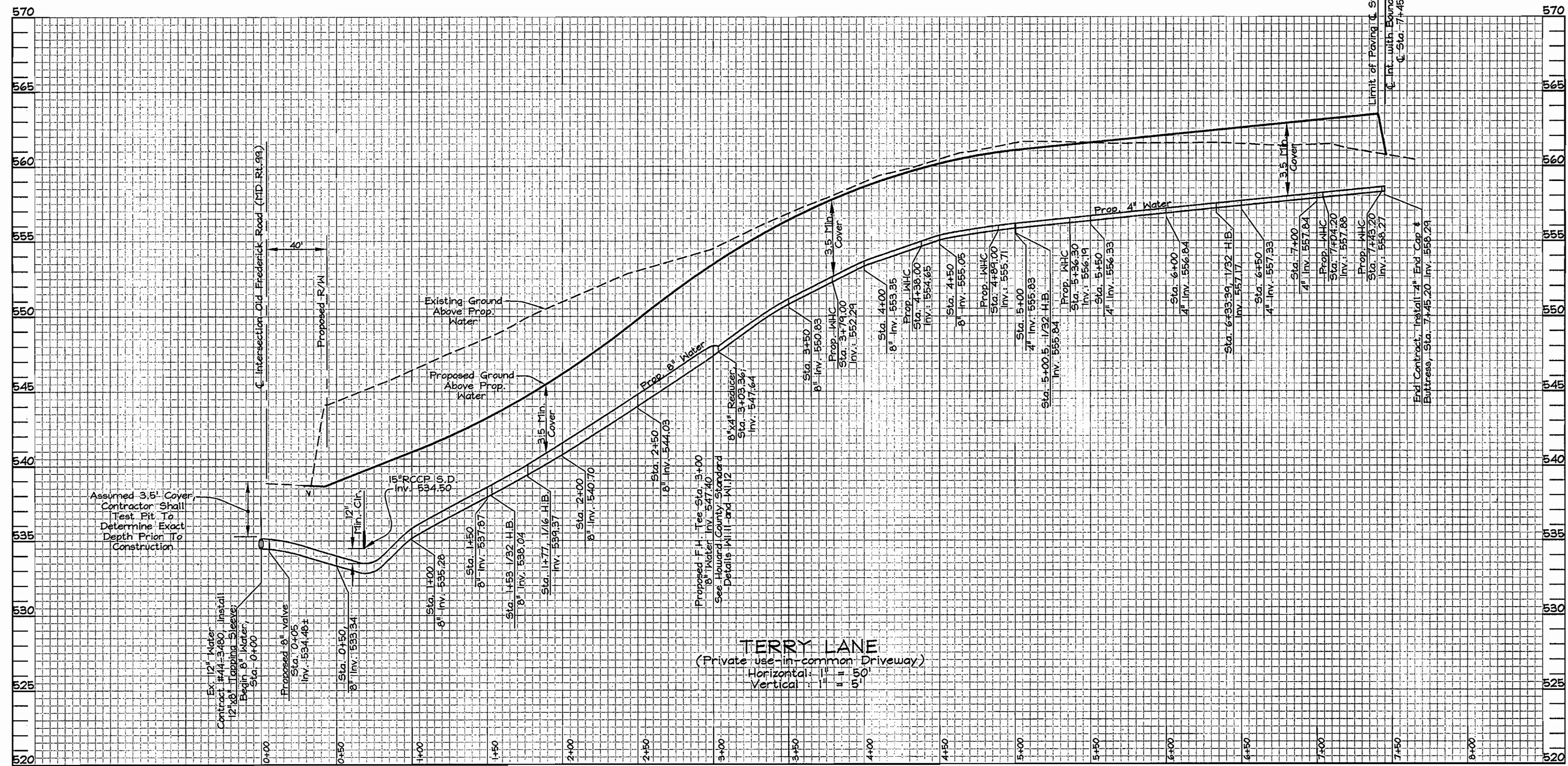
E 1,336,000
N 603,700

E 1,337,650
N 603,700



ENLARGEMENT PLAN
Scale: 1" = 20'

FRONT FOOT DIMENSION PLAN
As Shown



WATER PROFILE
SCALE: Horizontal - 1" = 50'
Vertical - 1" = 5'

OWNER/DEVELOPER
Maryland Financial and Real Estate Trust, LLC
c/o First Decker
305 N. Rolling Road
Catonsville, MD 21228
Tel: 443-621-0933

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
R.H.B. 7-6-07
CHIEF, BUREAU OF UTILITIES DATE

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND
[Signature] 7/6/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

FSH Associates
Engineers Planners Surveyors
6339 Howard Lane Elkridge, MD 21075
Tel: 410-967-5200 Fax: 410-796-1562
E-mail: info@fshet.com



DESIGN BY: MLT
DRAWN BY: CH/RT/DN
CHECKED BY: ZYF
DATE: June 27, 2007

BY NO.	REVISION	DATE

FINAL WATER PLAN PROFILE & DETAILS
600' SCALE MAP NO.: 10 BLOCK NO.: 21

PARK RIDGE ESTATES
LOTS 1 THRU 5, BUILDABLE PRESERVATION PARCEL "A",
AND NON-BUILDABLE PRESERVATION PARCEL "B"
CONTRACT NO. 44-4339-D
Zoned: RC-DEO
TAX MAP #10 GRID #21
3RD ELECTION DISTRICT
PARCEL 24
HOWARD COUNTY, MARYLAND

SCALE AS SHOWN
SHEET NO. 3 OF 3