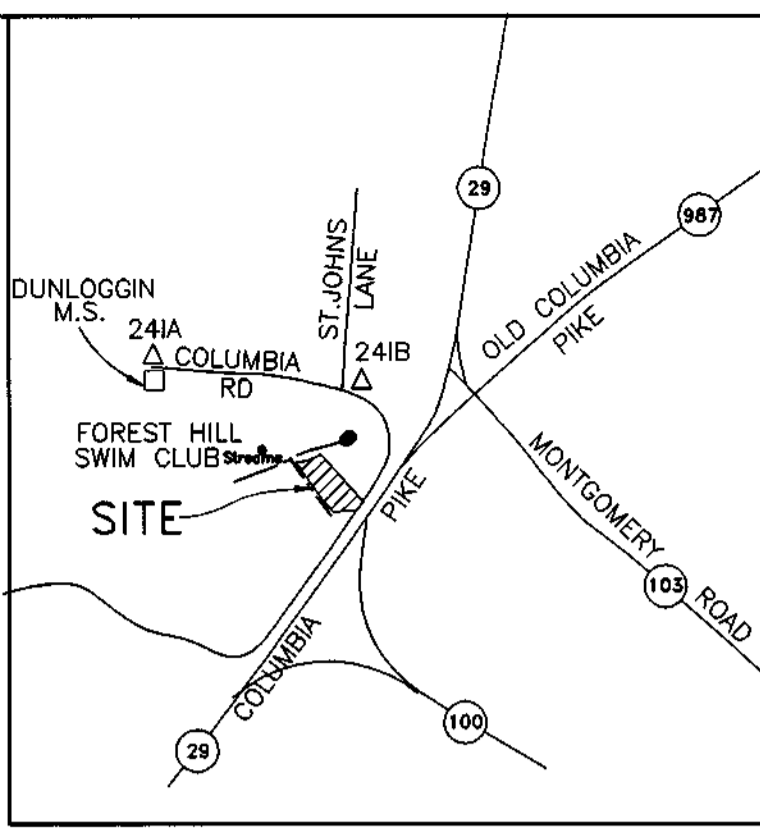


POND INFORMATION
 HAZARD CLASSIFICATION "A"
 DRY POND WITH EXTENDED DETENTION
 100 YR. WSE 352.81
 10 YR. WSE 351.98
 2 YR. WSE 350.98

GENERAL NOTES

- All aspects of the project are in conformance with the latest Howard County standards unless waivers have been approved.
- Coordinates shown herein are based on NAD83 and NAVD29 Maryland Coordinate Systems as projected by Howard County Geodetic Control Stations No. 241A and 241B.
- Station No. 241A - N 579167.019 E 1360260.231 Elev. 357.856
- Station No. 241B - N 578753.509 E 1362302.943 Elev. 391.278
- Subject property is zoned R-20.
- Public water and sewer will be provided for this project and the drainage area is the (Little Patuxent River).
- Existing utilities were located by field survey performed by O'Connell & Lawrence, Inc. and from county records.
- Topography shown herein is field run by O'Connell & Lawrence, Inc. Dated April, 1997. Contour interval is 2 feet.
- Stormwater Management shall be provided for this project as indicated on plans.
- BRL indicates building restriction line.
- All areas are "more or less".
- Traffic study complied by Wells & Associates LLC. Dated August 1998.
- No clearing, grading or construction is permitted within the wetlands, wetland buffer or streambuffer.
- Wetlands delineation study provided by The Land Planning & Design Group.
- Forest Stand Delineation was performed by The Land Planning & Design Group.
- Design manual waiver request for stopping sight distance was approved on October 18, 1999.
- The approval stipulated that required sight distance easements shall be obtained prior to approval of the road construction plans.



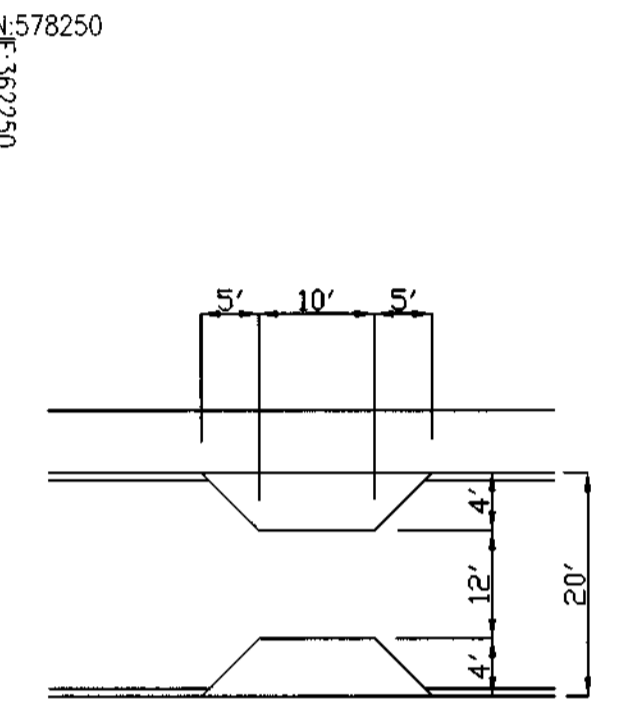
VICINITY MAP

SCALE: 1"=2000'
 Copyright ADC The Map People
 Permitted Use No. 20196639

SHEET INDEX	
NO.	DESCRIPTION
1	PRELIMINARY EQUIVALENT SKETCH PLAN
2	DRAINAGE AREA PLAN
3	PROFILES AND DETAILS
4	FOREST STAND DELINEATION
5	FOREST CONSERVATION AND LANDSCAPE PLAN
6	DETAIL SHEET
7	GRADING AND SEDIMENT EROSION CONTROL PLAN
8	PRELIMINARY WATER AND SEWER PLAN

COORDINATE CHART

NO.	NORTHING	EASTING
446	577740.4079	361692.9475
1431	578282.9099	361307.6858
1432	578300.4995	361454.1732
1433	578338.7314	361556.7177
1436	578382.4107	361643.4497
1438	577758.5944	362202.1612
1439	577730.7538	362183.5833
1440	577644.5698	362111.1505
1441	577643.8189	362068.1272
1445	577619.6208	361802.2265



SITE DATA TABULATIONS

GENERAL SITE DATA

- PRESENT ZONING: R-20
- PROPOSED USE OF SITE: 13 SFD HOMES / PUBLIC PRIVATE
- PROPOSED WATER AND SEWER SYSTEMS: PUBLIC PRIVATE

AREA TABULATION N 578,000

1. TOTAL AREA OF SITE	7.28 AC.±
2. AREA OF 100 YEAR FLOODPLAIN	N/A
3. AREA OF STEEP SLOPES (25% OR GREATER)	0.11 AC.±
4. NET AREA OF SITE	7.28 AC.±
5. APPROXIMATE LIMIT OF DISTURBANCE	6.10 AC.±
6. AREA OF PROPOSED BUILDABLE LOTS	4.25 AC.±
7. AREA OF PROPOSED OPEN SPACE LOTS	2.98 AC.±
8. AREA OF PROPOSED PRESERVATION PARCELS	N/A
9. AREA OF BULK PARCELS	N/A
10. AREA OF PROPOSED PUBLIC ROADS	0.65 AC.±

OPEN SPACE DATA

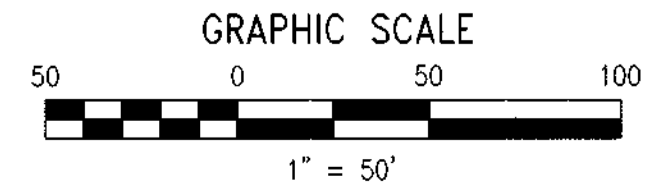
1. MINIMUM RESIDENTIAL LOT SIZE SELECTED	14,000 SQ. FT.
2. OPEN SPACE REQUIRED	2.18 AC.± (30%)
3. TOTAL OPEN SPACE PROVIDED ON THIS SUBMISSION	2.98 AC.±
4. AREA OF RECREATION OPEN SPACE REQUIRED	N/A
5. AREA OF RECREATION OPEN SPACE PROVIDED ON THIS SUBMISSION	N/A

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR & SPOT ELEVATION
- EXISTING TREE LINE
- PROPOSED TREE LINE
- UN-MITIGATED 65dBA NOISE LINE
- MITIGATED 65 dBA NOISE LINE
- NOISE BARRIER
- WALKOUT BASEMENT
- SOIL BORING
- UTILITY EASEMENT
- > 25% SLOPE
- 15% to 25% SLOPE
- SOIL DIVIDE
- SOIL TYPE

G1B2 SOIL TYPE

OWNER/DEVELOPER
 MICHAEL T. ROSE LAND, INC.
 MR. ROBERT KAUFMAN
 13920 BALTIMORE BLVD.
 LAUREL, MARYLAND 20707
 (301)953-3110

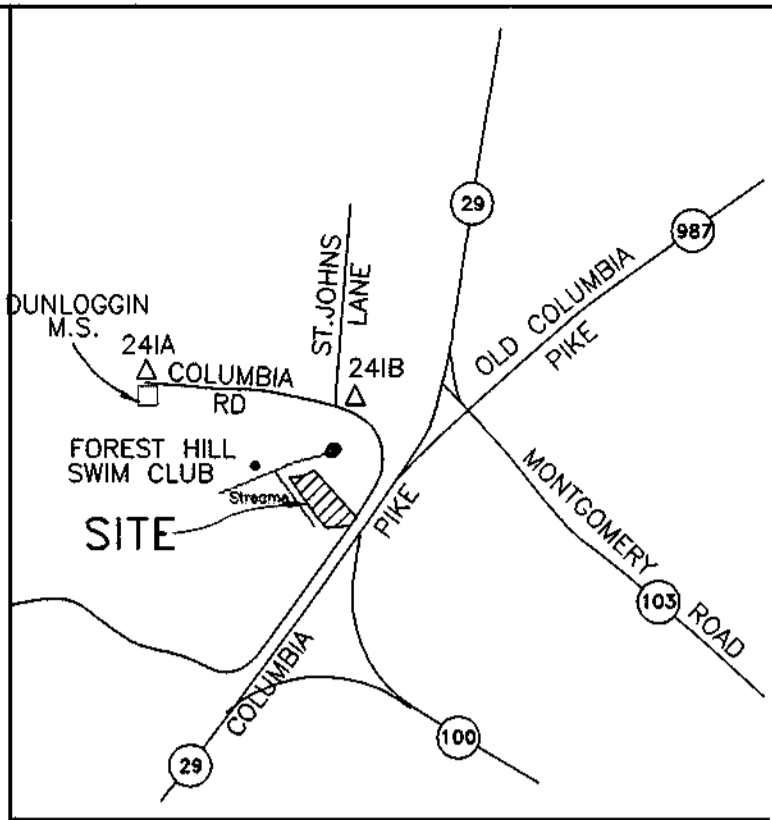


TENTATIVELY APPROVED
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 HOWARD COUNTY
 PLANNING DIRECTOR 2/16/01
 DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 SHARKEY PROPERTY
 TAX MAP: 24 PARCEL: 301
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

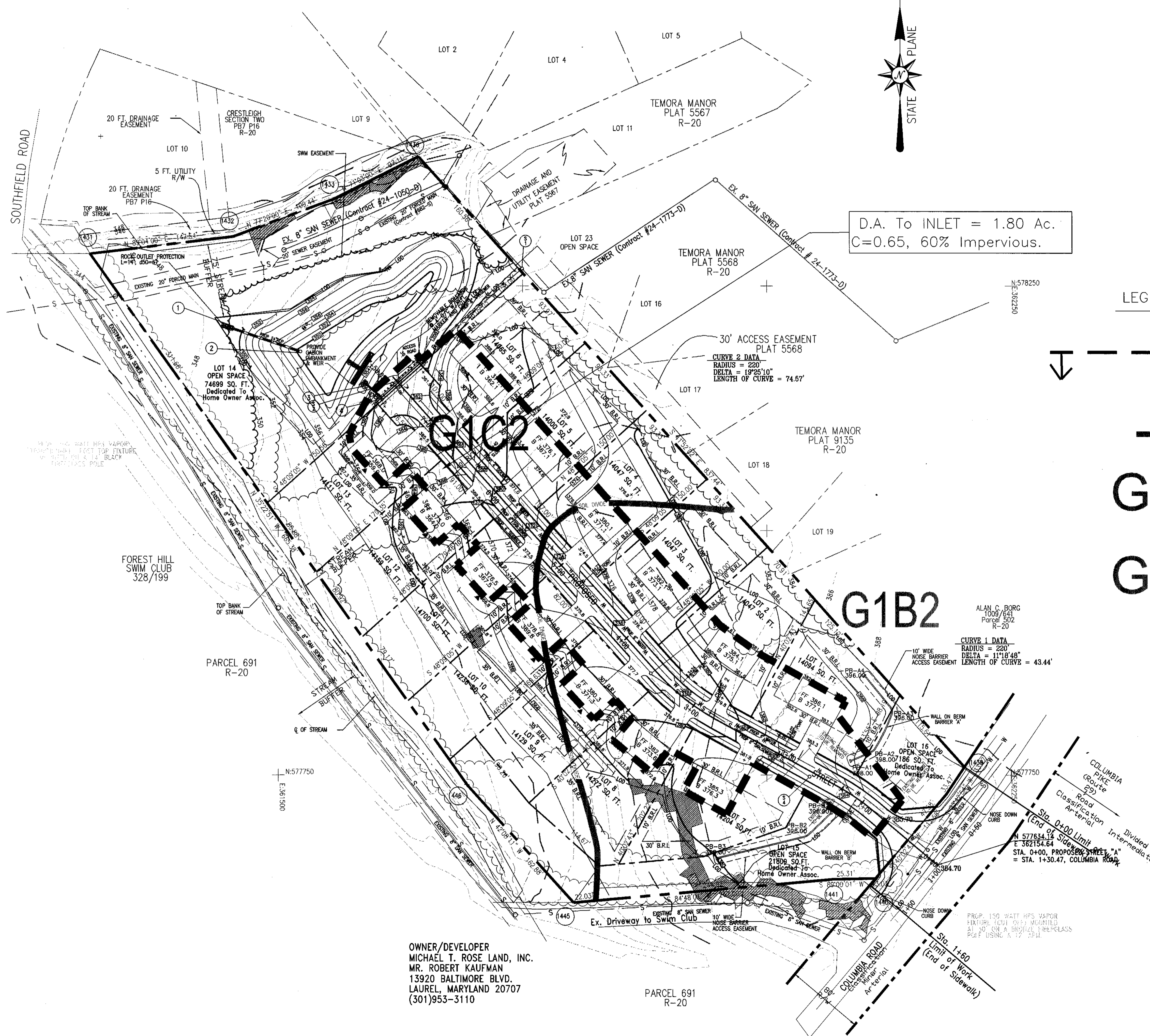
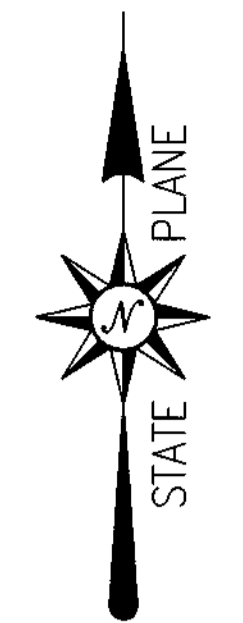
O'CONNELL & LAWRENCE, INC.
 SURVEYORS, ENGINEERS & LAND PLANNERS
 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832
 Tel: (301) 924-4570 • Fax: (301) 924-5872

DES. BY	OWN. BY	CKD. BY	DATE	SCALE	PROJECT/JOB NO.	SHEET NO.
CKL	JJG	BCS	08/25/00	1"=50'	347-001	1 OF 8



VICINITY MAP

SCALE: 1"=2000'
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D.A. To INLET = 1.80 Ac.
 C=0.65, 60% Impervious.

LEGEND:

- DRAINAGE DIVIDES
- SOIL DIVIDE
- G1B2** GLENEG LOAM, 8 TO 15% SLOPES, MODERATELY ERODED
- G1C2** GLENEG LOAM, 8 TO 15% SLOPES, MODERATELY ERODED

150 WATT HPS VAPOR FIXTURE (01) OFF 1 MOUNTED AT 50' ON A BRASS/ALUMINUM POLE USING A 7' DIA.

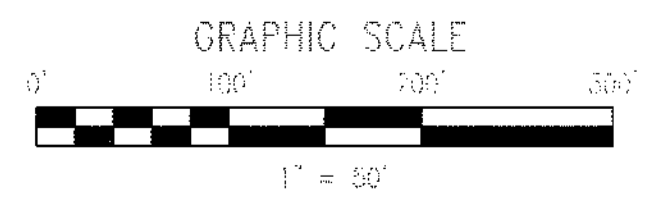
FOREST HILL SWIM CLUB 328/199

PARCEL 691 R-20

N:577750
 E:361500

OWNER/DEVELOPER
 MICHAEL T. ROSE LAND, INC.
 MR. ROBERT KAUFMAN
 13920 BALTIMORE BLVD.
 LAUREL, MARYLAND 20707
 (301)953-3110

PARCEL 691 R-20



ALAN C. BORG
 1009/641
 Parcel 502
 R-20

CURVE 1 DATA
 RADIUS = 220'
 DELTA = 11°18'48"
 LENGTH OF CURVE = 43.44'

Sta. 0+00 Limit
 (End of Side Street, "A")
 STA. 0+00, PROPOSED STREET, "A"
 = STA. 1+30.47, COLUMBIA ROAD

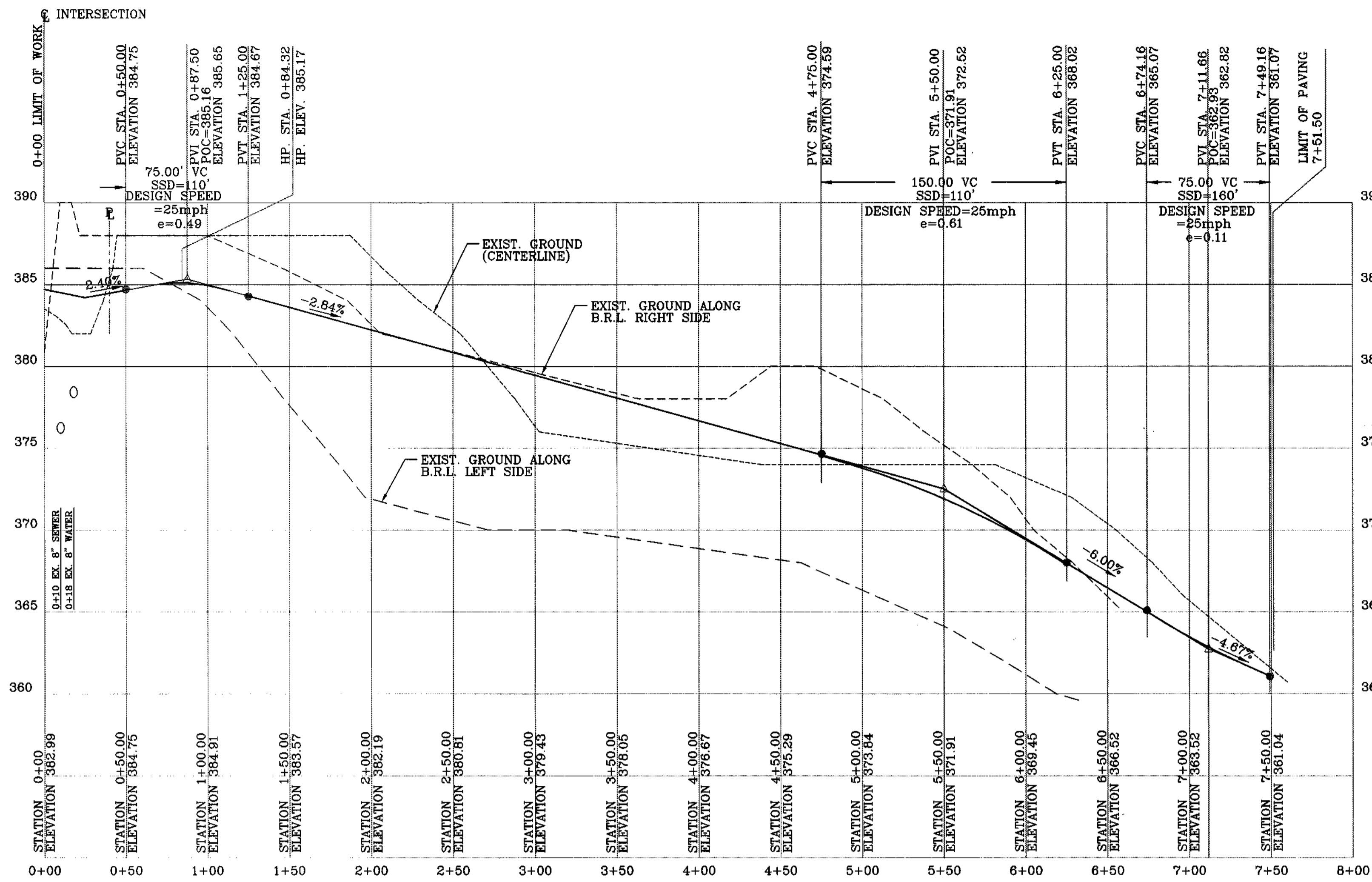


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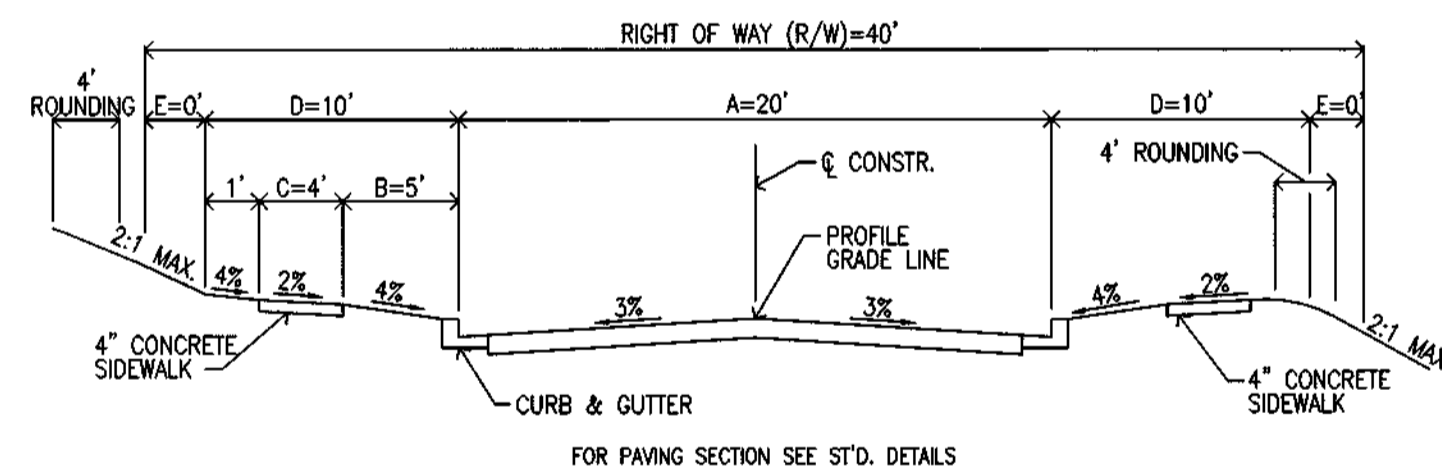
**DRAINAGE AREA PLAN
 SHARKEY PROPERTY**
 TAX MAP: 24 PARCEL: 301
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

O'CONNELL & LAWRENCE, INC.
 SURVEYORS, ENGINEERS & LAND PLANNERS
 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832
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DES. BY CKL	DWN. BY JJG	CKD. BY BCS	DATE 11/10/99	SCALE 1"=50'	PROJECT/JOB NO. 315-001	SHEET NO. 2 OF 8
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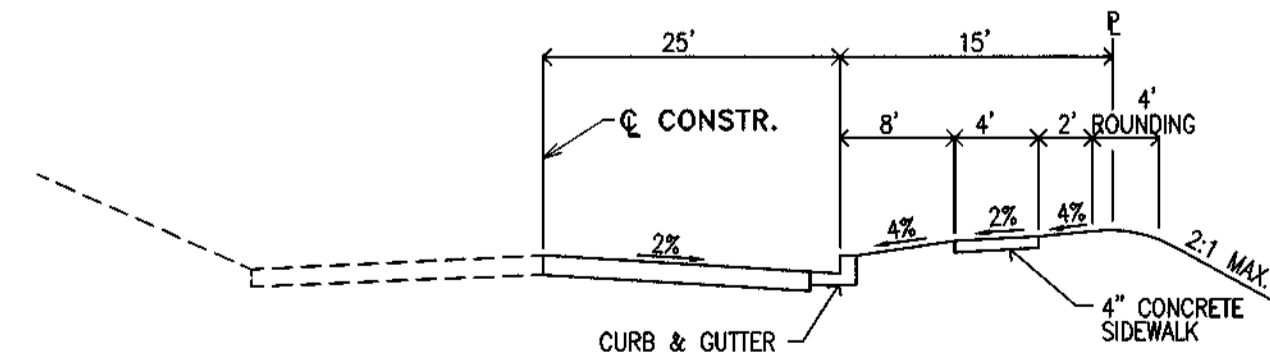


PROFILE GRADE LINE ALONG CENTERLINE OF PROPOSED STREET "A"
 SCALE: HOR. 1"=50'
 VER. 1"=5'



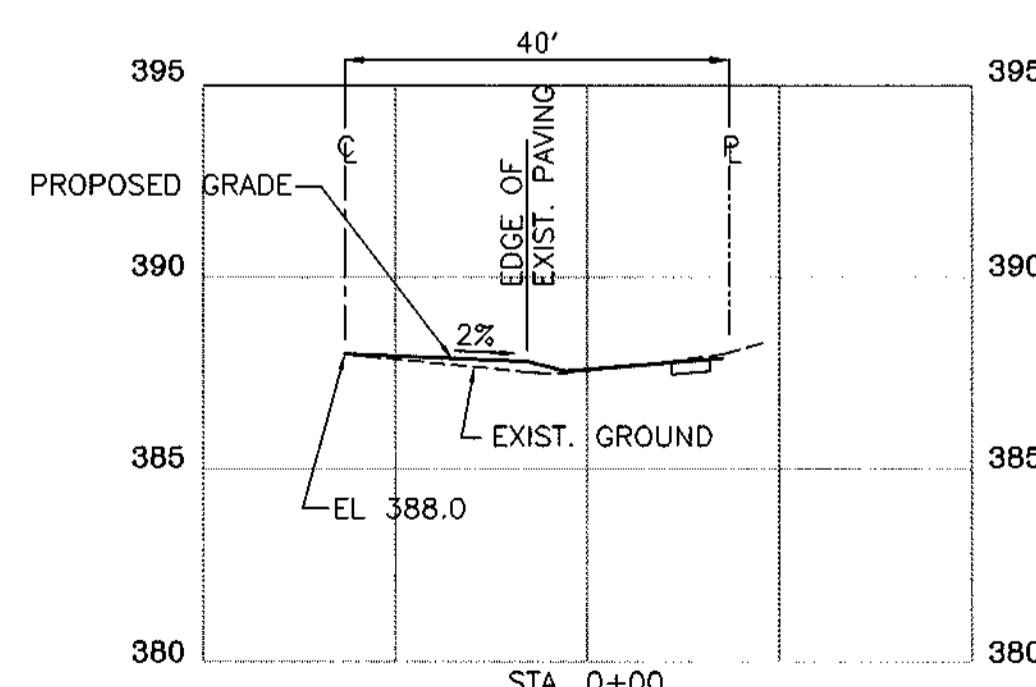
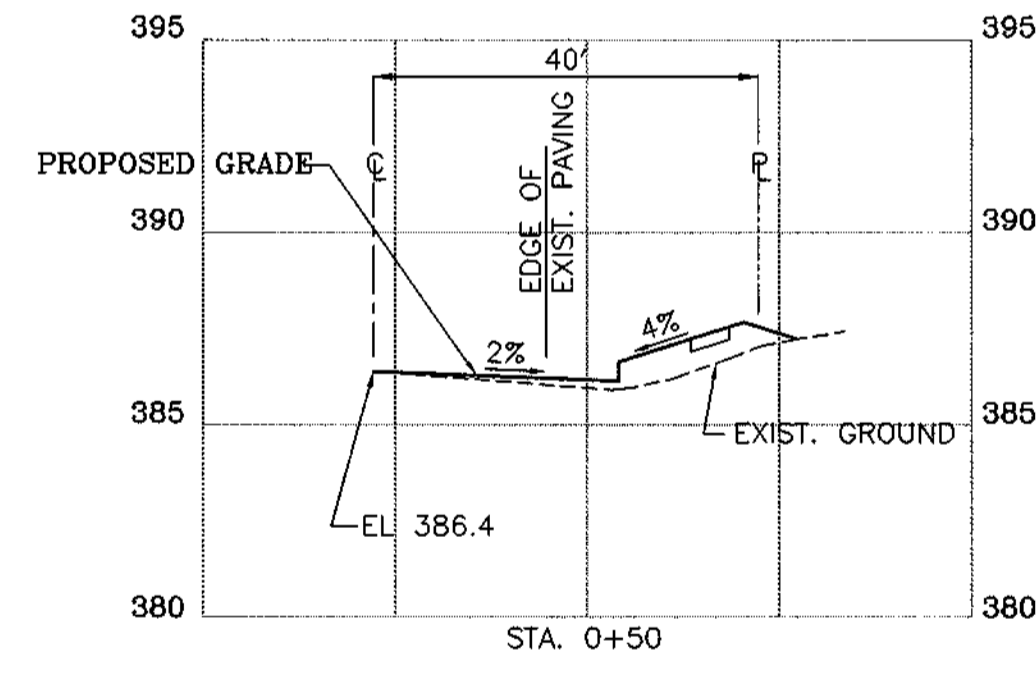
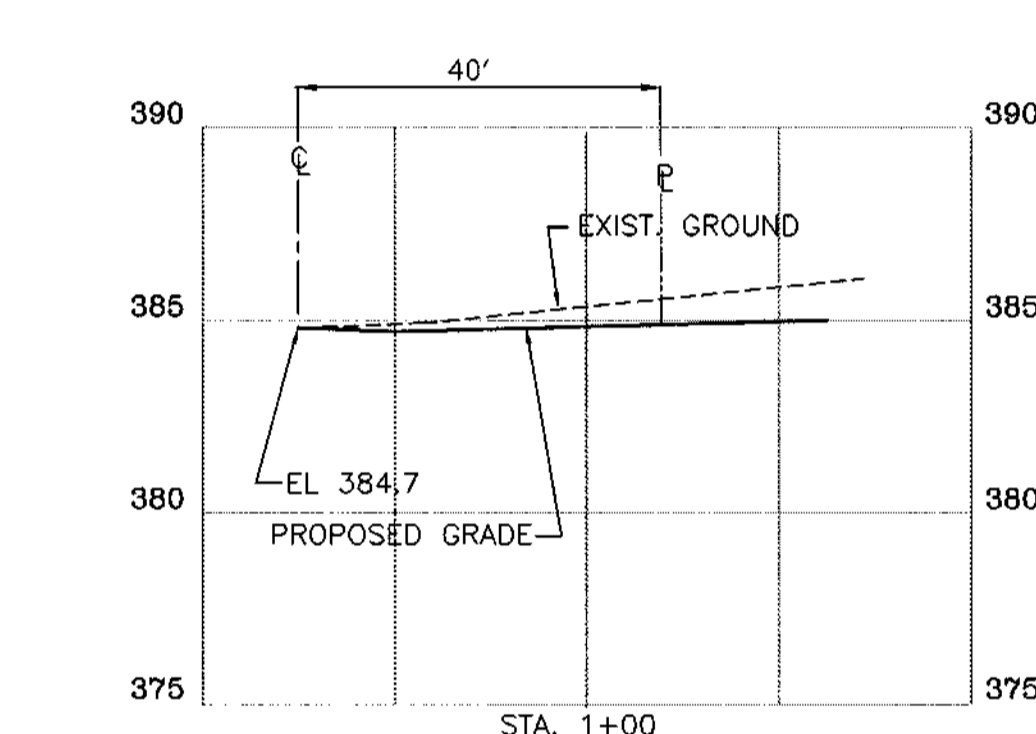
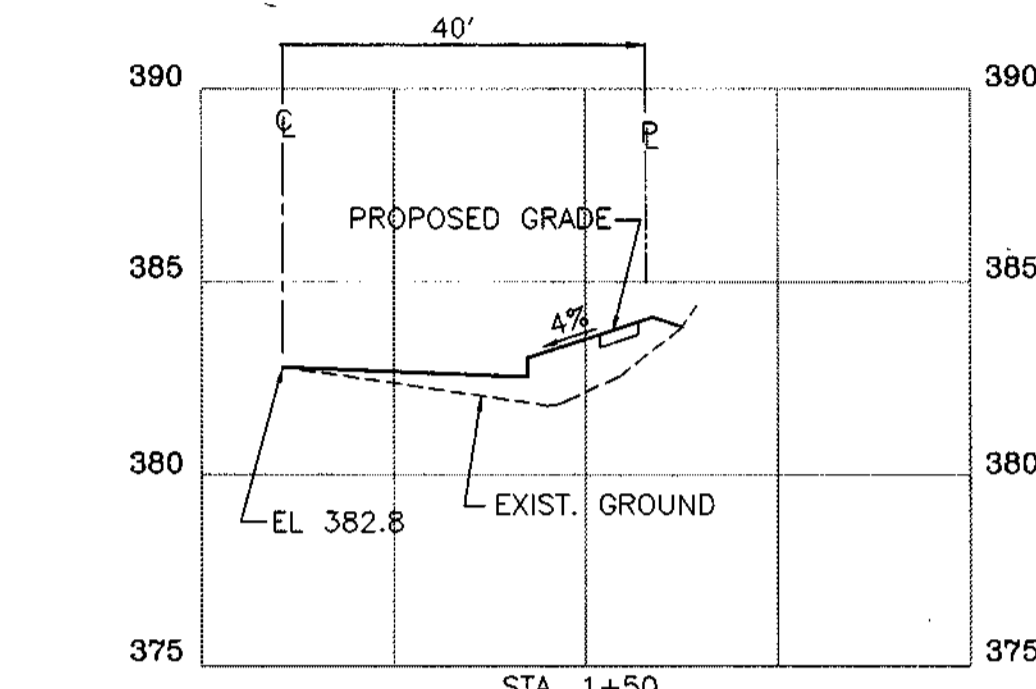
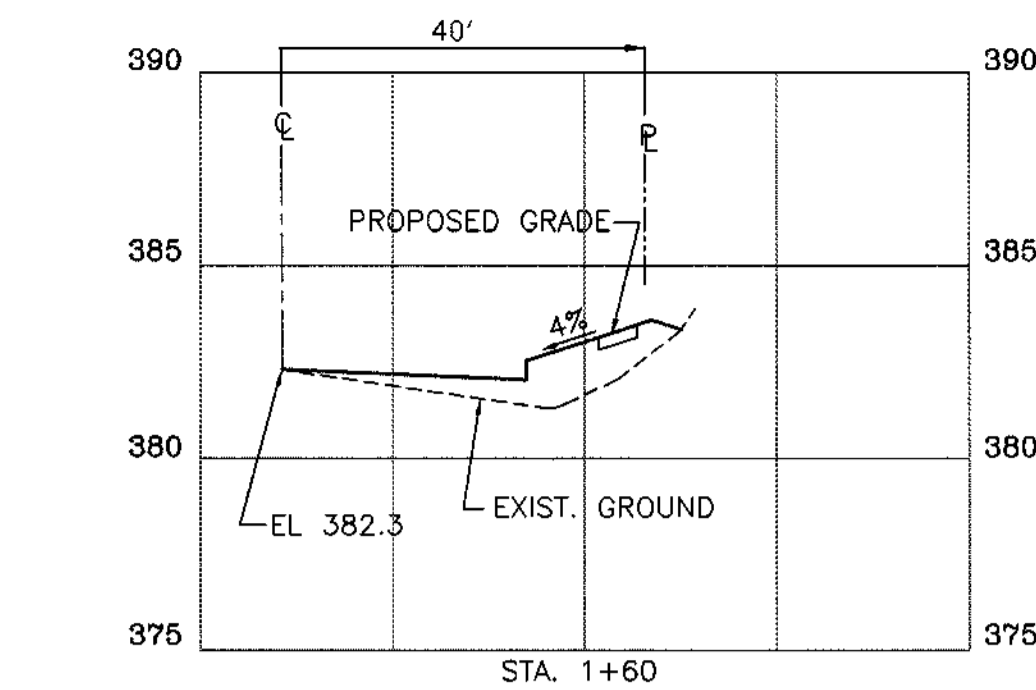
TYPICAL SECTION FOR PROPOSED STREET "A"
 PUBLIC ACCESS PLACE

N.T.S.
 STA. 0+40 TO STA. 7+30
 CLASSIFICATION: PUBLIC ACCESS PLACE - PUBLIC R/W=40'
 DESIGN SPEED = 15 mph
 Per Howard Co. Design Manual Vol. II, Fig. 2.09



TYPICAL SECTION FOR EXISTING COLUMBIA ROAD IMPROVEMENT, R/W=80'
 N.T.S.

STA. 0+00 TO STA. 1+80
 Per Howard Co. Design Manual Vol. III, Fig. 2.11
 CLASSIFICATION = Minor Arterial
 DESIGN SPEED = 40 mph



CROSS SECTIONS
 SCALE: HOR. 1"=20'
 VER. 1"=5'

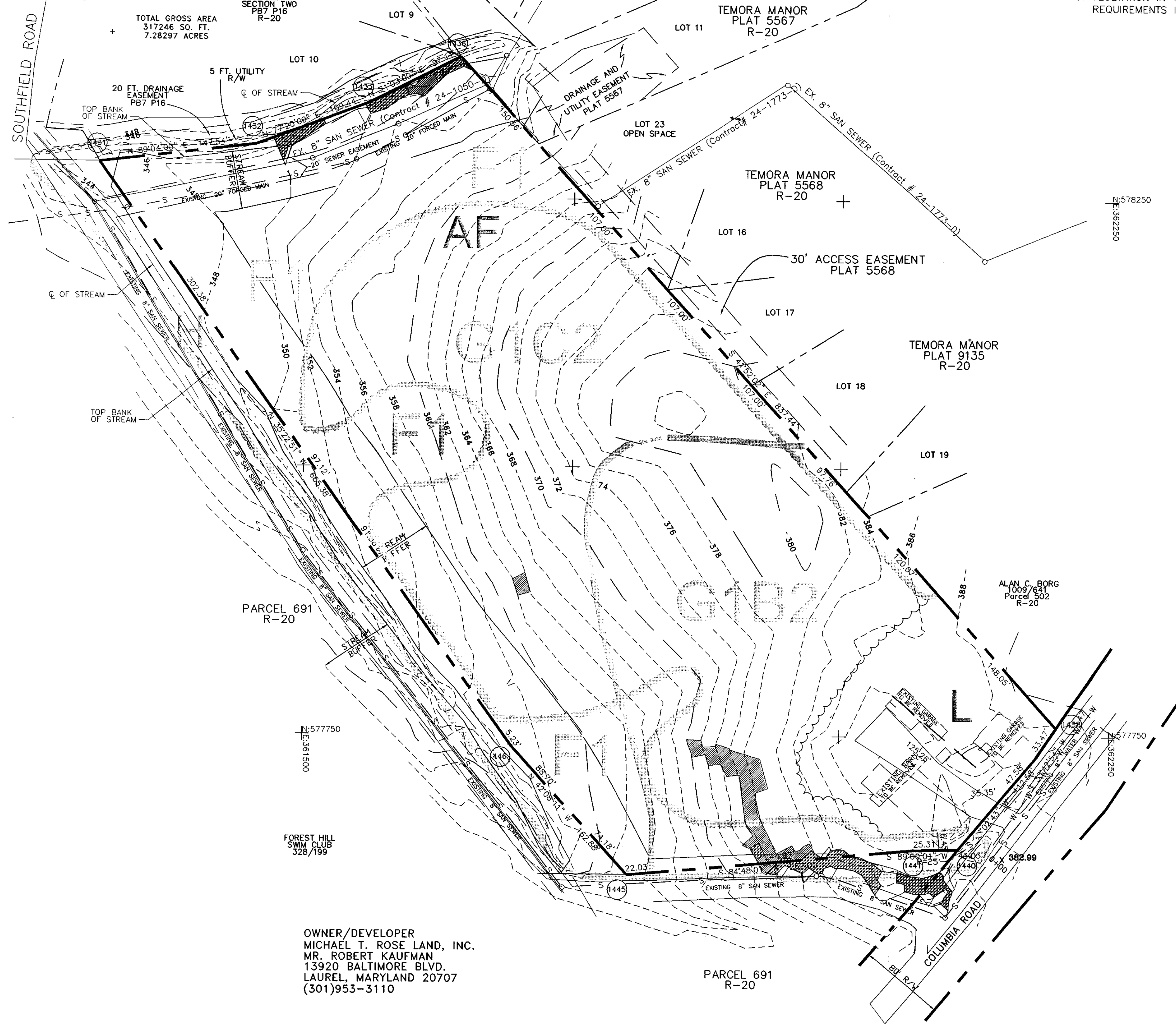


TENTATIVELY APPROVED
 DEPT. OF PLANNING AND ZONING OF
 HOWARD COUNTY
 PLANNING DIRECTOR, 2/19/01
 DATE

PROFILES AND DETAILS
 SHARKEY PROPERTY
 TAX MAP: 24 PARCEL: 301
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

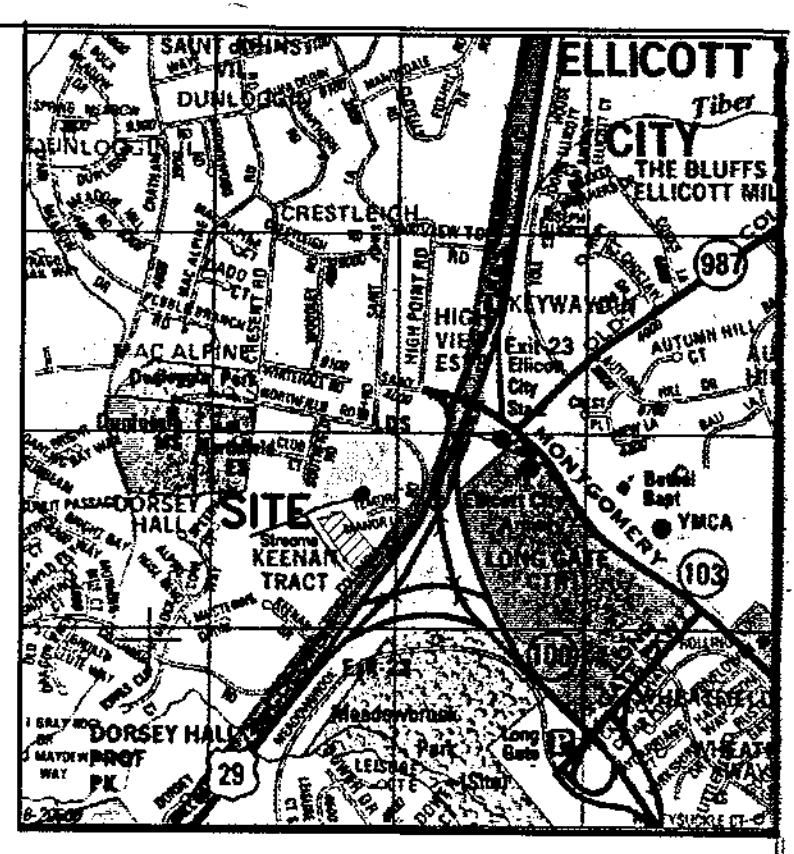
O'CONNELL & LAWRENCE, INC.
 SURVEYORS, ENGINEERS & LAND PLANNERS
 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832
 Tel: (301) 924-4570 • Fax: (301) 924-5872

DES. BY CKL	DWN. BY JUG	CKD. BY BCS	DATE: 08/23/00	SCALE 1"=50'	PROJECT/JOB NO. 347-001	SHEET NO. 3 OF 8
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GENERAL NOTES

1. TOTAL AREA OF PROPERTY: 7.28 ACRES
2. PROPERTY ZONED R-20.
3. SOIL MAP : HOWARD COUNTY SOIL SURVEY PAGE -20
4. DEED REFERENCE: LIBER 0829 FOLIO 141
5. PUBLIC WATER AND SEWER TO BE UTILIZED.
6. 100 YEAR FLOOD PLAN DOES NOT EXIST ON THE SITE
7. TOPOGRAPHIC SURVEY PROVIDED BY: O'CONNELL AND LAWRENCE INC. SEPT 1997.
8. EXISTING FOREST AREA ON SITE: 1.9 ACRES
9. VEGETATION IN THE ABANDONED FIELD (AF) MAY BE USED FOR CREDIT FOR LANDSCAPING REQUIREMENTS IF ACCEPTED BY THE DEPARTMENT OF PLANNING AND ZONING.



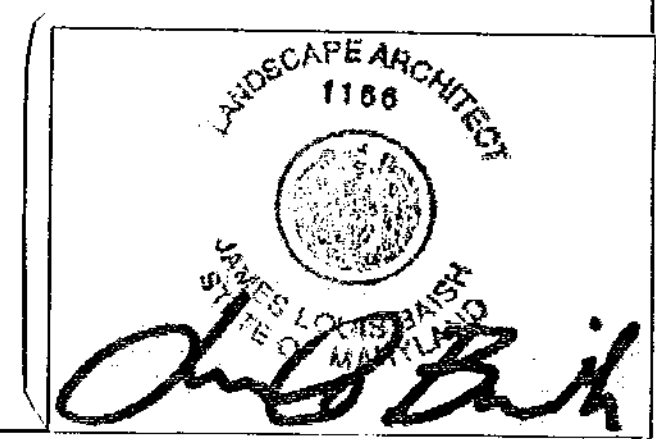
VICINITY MAP

SCALE: 1"=2000'
 Copyright ADC The Map People
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LEGEND

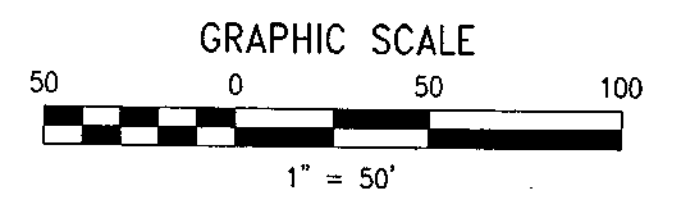
- AF = ABANDONED FIELD
- L = LAWN
- H = HEDGEROW
- [Hatched Box] > 25% SLOPE
- [Hatched Box] 15% to 25% SLOPE
- [Dotted Box] EXISTING FOREST
- [Wavy Line] SOIL DIVIDE
- G1B2 SOIL TYPE

TENTATIVELY APPROVED
 DEPT. OF PLANNING AND
 ZONING OF
 HOWARD COUNTY
 PLANNING DIRECTOR, *[Signature]* DATE 2/14/00



FOREST STAND DELINEATION PLAN
 SHARKEY PROPERTY
 TAX MAP: 24 PARCEL: 301
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

O'CONNELL & LAWRENCE, INC.
 SURVEYORS, ENGINEERS & LAND PLANNERS
 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832
 Tel: (301) 924-4570 • Fax: (301) 924-5872



OWNER/DEVELOPER
 MICHAEL T. ROSE LAND, INC.
 MR. ROBERT KAUFMAN
 13920 BALTIMORE BLVD.
 LAUREL, MARYLAND 20707
 (301)953-3110

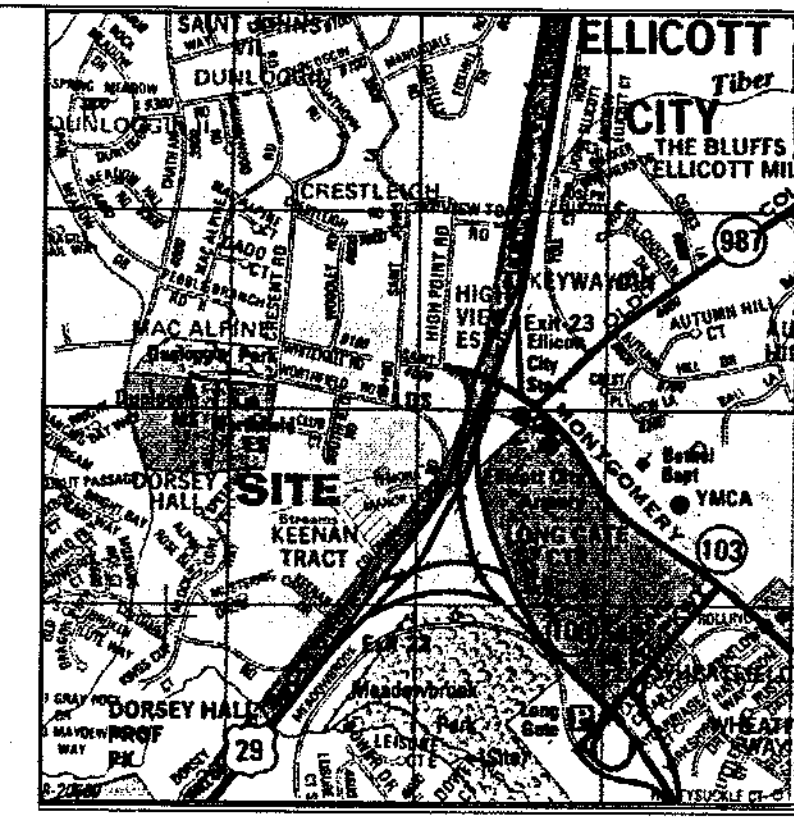
DES. BY JLB	DWN. BY JUG	CKD. BY JLB	DATE: 08/25/00	SCALE 1"=50'	PROJECT/JOB NO. 347-001	SHEET NO. 4 of 8
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CATEGORY	PERIMETER LANDSCAPE EDGE				
	ADJACENT TO PERIMETER PROP. I	ADJACENT TO PERIMETER PROP. II	ADJACENT TO PERIMETER PROP. III	ADJACENT TO PERIMETER PROP. IV	ADJACENT TO PERIMETER PROP. V
LANDSCAPE TYPE	180 L.F.	210 L.F.	280 L.F.	350 L.F.	420 L.F.
CREDIT FOR VEGETATION	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED	3	3	0	0	3
SHADE TREES	4	4	0	0	4
EVERGREEN TREES	0	0	0	0	0
NUMBER OF PLANTS PROVIDED	3	3	0	0	3
SHADE TREES	4	4	0	0	4
EVERGREEN TREES	0	0	0	0	0
OTHER TREES (2" CALIBER)	0	0	0	0	0
MINIMUM (2" CALIBER)	0	0	0	0	0

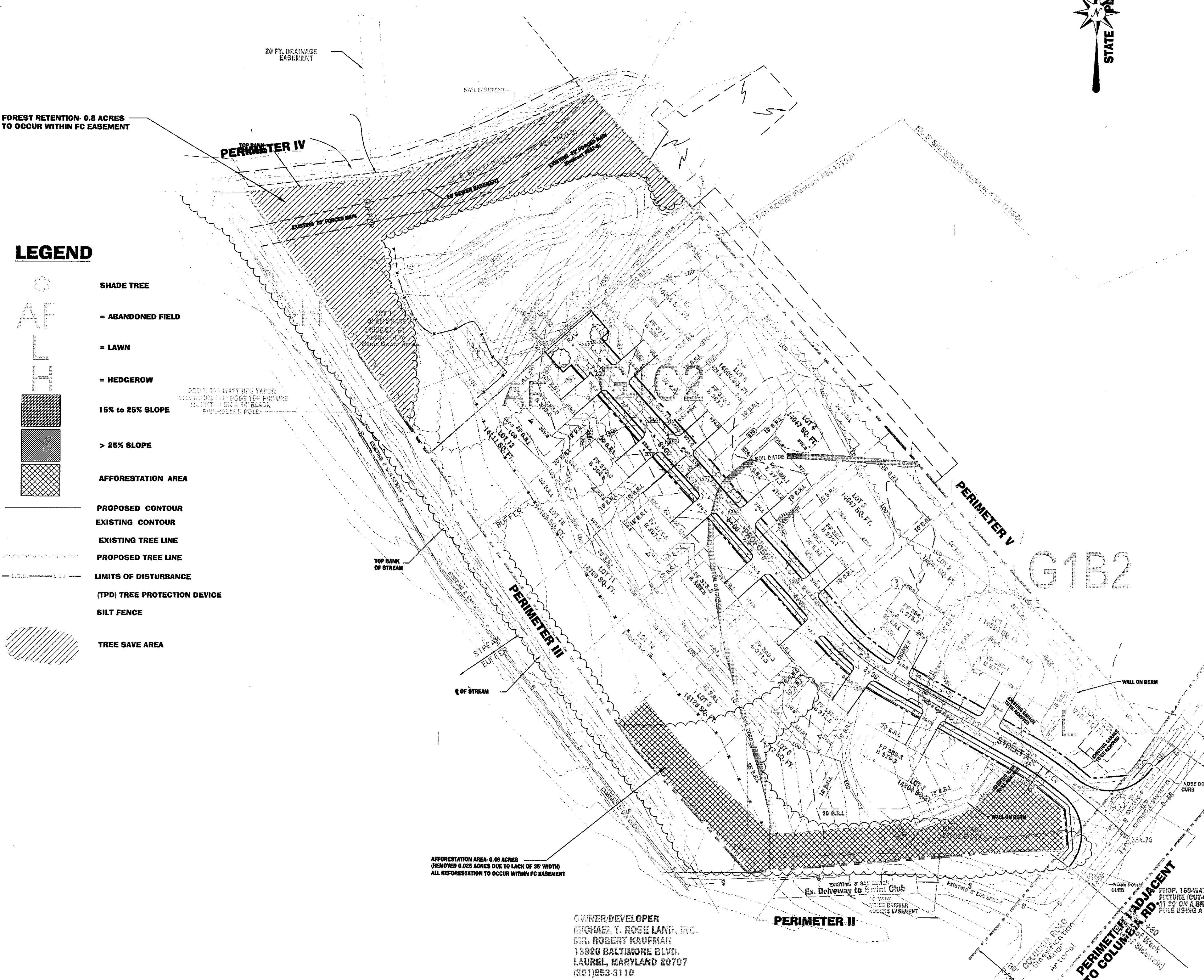
STREET TREE PLANTING SCHEDULE	
PROPOSED STREET 'A' & COLUMBIA	700
SHOULDER	10
LARGE STREET TREES	10
SMALL STREET TREES	10
CREDIT FOR OTHER LANDSCAPING	NO
CREDIT FOR OTHER LANDSCAPING	NO
NUMBER OF TREES PROVIDED	10
SHADE TREES	10
EVERGREEN TREES	0
OTHER TREES (2" CALIBER)	0

STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	700
NUMBER OF TREES REQUIRED	10
SHADE TREES	10
EVERGREEN TREES	0
CREDIT FOR OTHER LANDSCAPING	NO
CREDIT FOR OTHER LANDSCAPING	NO
NUMBER OF TREES PROVIDED	10
SHADE TREES	10
EVERGREEN TREES	0
OTHER TREES (2" CALIBER)	0

FOREST CONSERVATION WORKSHEET		ACRES (1/10 ACRE)
I. BASIC SITE DATA		
GROSS SITE AREA		7.3
AREA WITHIN 100 YEAR FLOODPLAIN AND EASEMENT		0.0
AREA WITHIN AGRICULTURAL USE OR PRESERVATION PARCEL		0.0
NET TRACT AREA		7.3
LAND USE CATEGORY		R-20
II. INFORMATION FOR CALCULATIONS		
A. NET TRACT AREA		7.3
B. REFORESTATION THRESHOLD 20% X A		1.5
C. AFFORESTATION MINIMUM 15% X A		1.1
D. EXISTING FOREST ON NET TRACT AREA		1.0
E. FOREST AREAS TO BE CLEARED		1.1
F. FOREST AREAS TO BE RETAINED		0.8
III. DETERMINING REQUIREMENTS: AFFORESTATION OR REFORESTATION		
1. Reforestation		
If existing forest areas equal or exceed the afforestation minimum (if D equals or is more than C), and clearing of forest areas is proposed, Reforestation requirement may apply.		
GO TO SECTION IV		
If existing forest exceed the afforestation minimum (if D equal or is more than C) and no clearing of existing forest resources is proposed, no reforestation is required. No further calculation are needed.		
2. Afforestation		
If existing forest areas are less than the afforestation minimum (if D is less than C), afforestation requirement apply.		
GO TO SECTION V		
IV. REFORESTATION CALCULATIONS		
A. NET TRACT AREA		7.3
B. REFORESTATION THRESHOLD (20% X A)		1.5
D. EXISTING FOREST ON NET TRACT AREA		1.0
E. FOREST AREAS TO BE CLEARED		1.1
F. FOREST AREAS TO BE RETAINED		0.8
G. FOREST AREAS CLEARED ABOVE REFORESTATION THRESHOLD		0.4
H. FOREST AREAS CLEARED BELOW REFORESTATION THRESHOLD		0.7
I. FOREST AREAS RETAINED ABOVE REFORESTATION THRESHOLD		N.A.
Select the alternative that applies:		
1. CLEARING ABOVE THE THRESHOLD ONLY		
REFORESTATION FOR CLEARING ABOVE THRESHOLD		N.A.
G X 1/4		N.A.
CREDIT FOR FOREST AREAS RETAINED ABOVE THRESHOLD I - RETENTION CREDIT		N.A.
TOTAL REFORESTATION REQUIRED		N.A.
G X 1/4 - I		N.A.
IF THE TOTAL REFORESTATION REQUIREMENT IS EQUAL TO OR LESS THAN 0 NO REFORESTATION REQUIRED.		
2. CLEARING BELOW THE THRESHOLD		
REFORESTATION FOR CLEARING ABOVE THRESHOLD		0.10
G X 1/4		1.40
H x 2		1.50
TOTAL REFORESTATION REQUIRED (G x 1/4) + (H x 2)		1.50
V. AFFORESTATION CALCULATIONS		
A. NET TRACT AREA		N/A
C. AFFORESTATION MINIMUM (15% X A)		N/A
D. EXISTING FOREST ON NET TRACT AREA		N/A
E. FOREST AREAS TO BE CLEARED		N/A
F. FOREST AREAS TO BE RETAINED		N/A
Select the alternative that applies:		
1. No clearing below Minimum		
If existing forest areas are less than the afforestation minimum (if D is less than C) and no clearing is proposed, the following calculations apply:		
TOTAL AFFORESTATION REQUIRED		N/A
C - D		N/A



VICINITY MAP
SCALE: 1"=2000'
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LEGEND

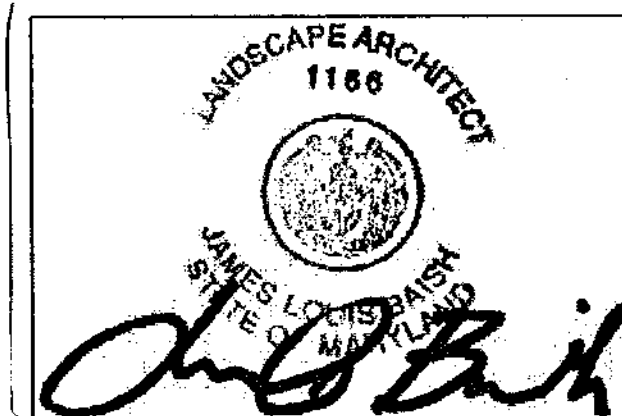
- SHADE TREE
- = ABANDONED FIELD
- = LAWN
- = HEDGEROW
- 15% to 25% SLOPE
- > 25% SLOPE
- AFFORESTATION AREA
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING TREE LINE
- PROPOSED TREE LINE
- LIMITS OF DISTURBANCE
- (TPD) TREE PROTECTION DEVICE
- SILT FENCE
- TREE SAVE AREA

REFERENCE: HOWARD COUNTY FOREST CONSERVATION MANUAL JANUARY 1, 1993

FOREST CONSERVATION NOTES:

- 1.04 ACRES TO BE ACQUIRED OFF-SITE
 - PLANTING RATE 1:1
 - RETENTION RATE 2:1
 - TO BE DETERMINED BY OWNER.
2. 0.46 ACRES REFORESTATION
 - 2" CALIBER @ 100 / ACRE
 - 0.46 X 100 = 46 TREES @ 2" CALIBER
 - SEE PLANT LIST FOR PLANT SPECIES AND QUANTITIES

TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF HOWARD COUNTY
[Signature] 2/14/01
PLANNING DIRECTOR DATE



FOREST CONSERVATION AND LANDSCAPE PLAN
SHARKEY PROPERTY
TAX MAP: 24 PARCEL: 301
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

O'CONNELL & LAWRENCE, INC.
SURVEYORS, ENGINEERS & LAND PLANNERS
17904 Georgia Avenue, Suite 302, Olney, Maryland 20832
Tel: (301) 924-4570 Fax: (301) 924-5872

DES. BY	DWN. BY	CKD. BY	DATE	SCALE	PROJECT/JOB NO.	SHEET NO.
JLB	JJG	JLB	08/25/00	1"=50'	347-001	5 of 8

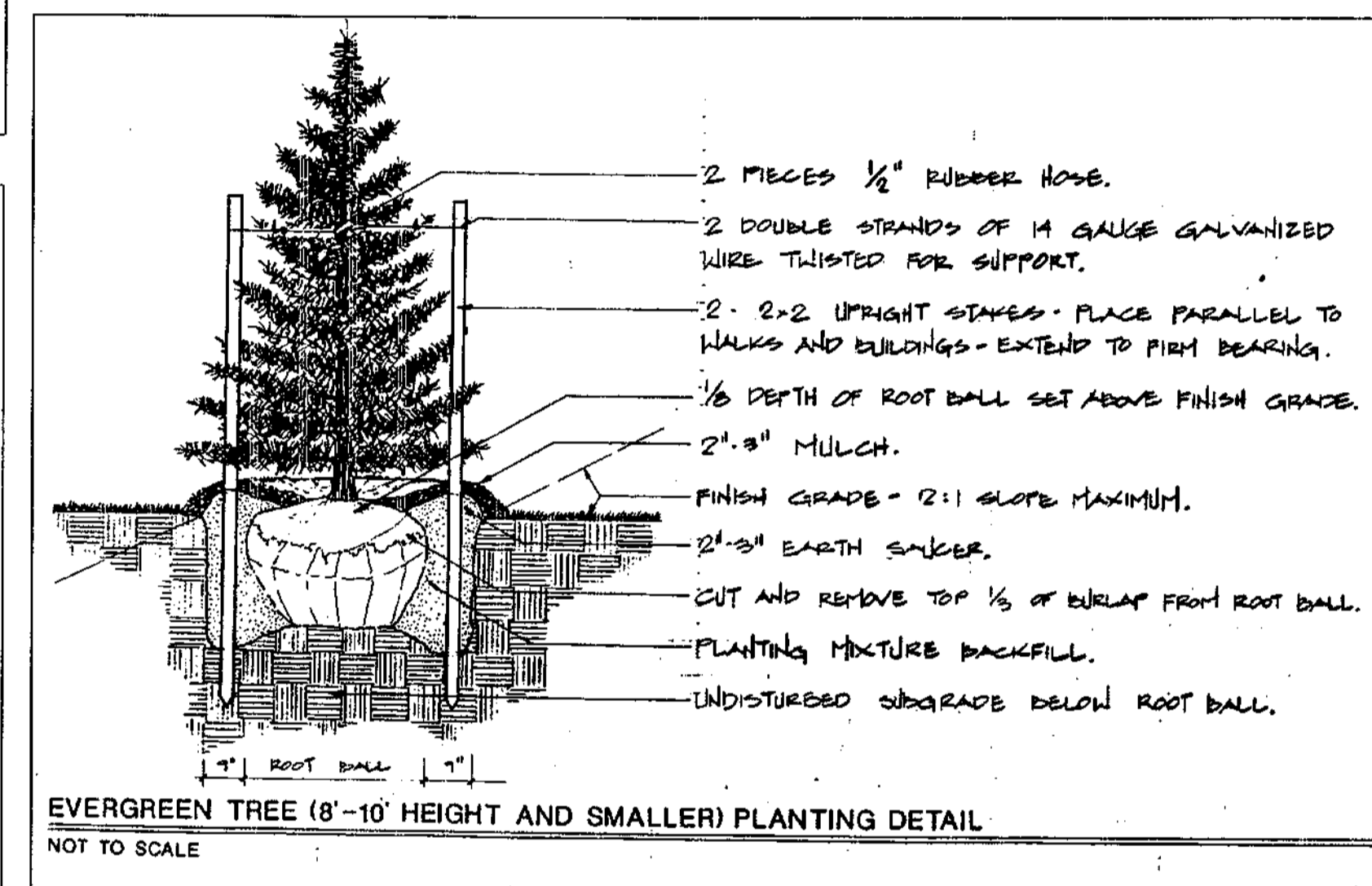
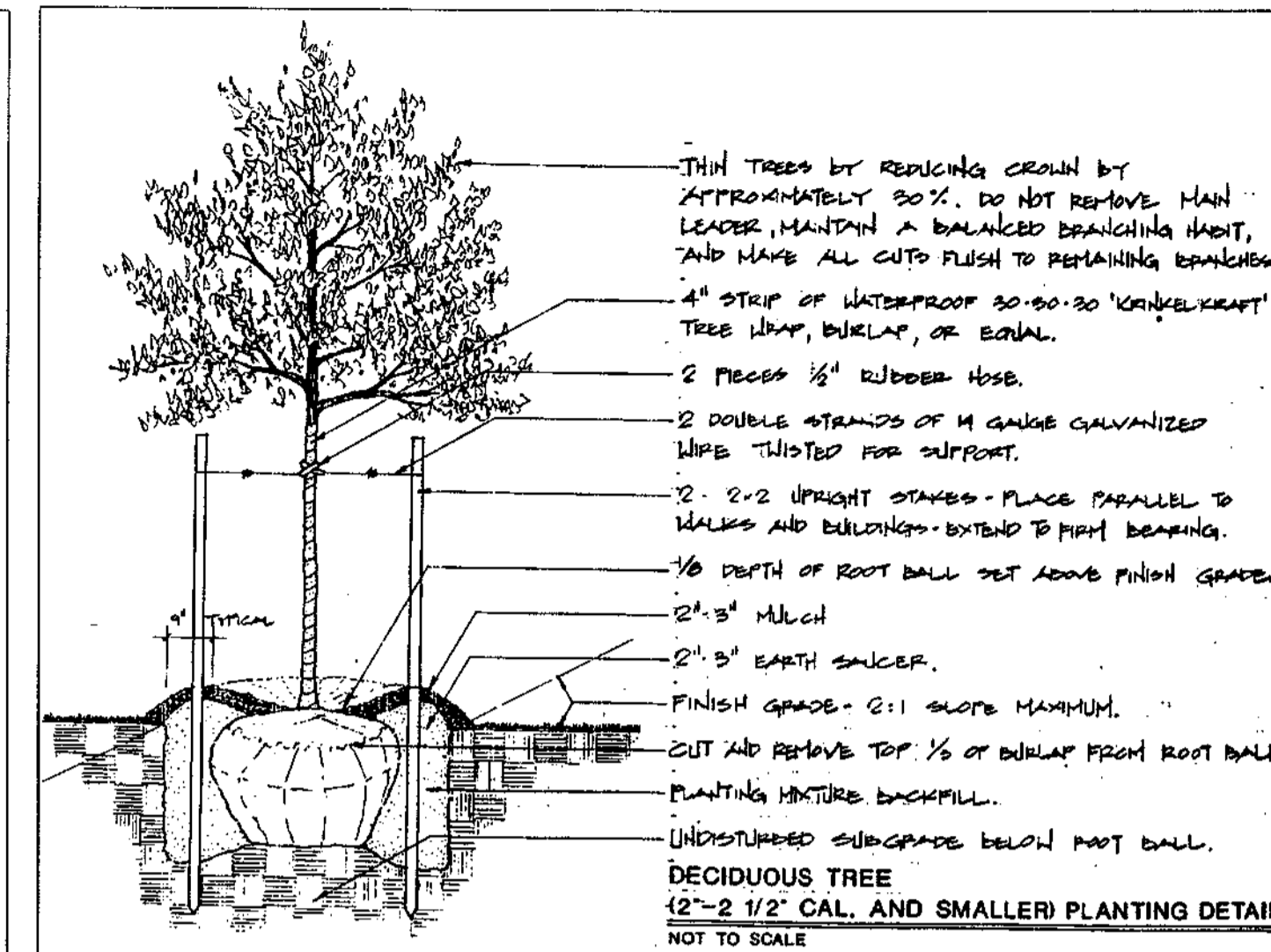
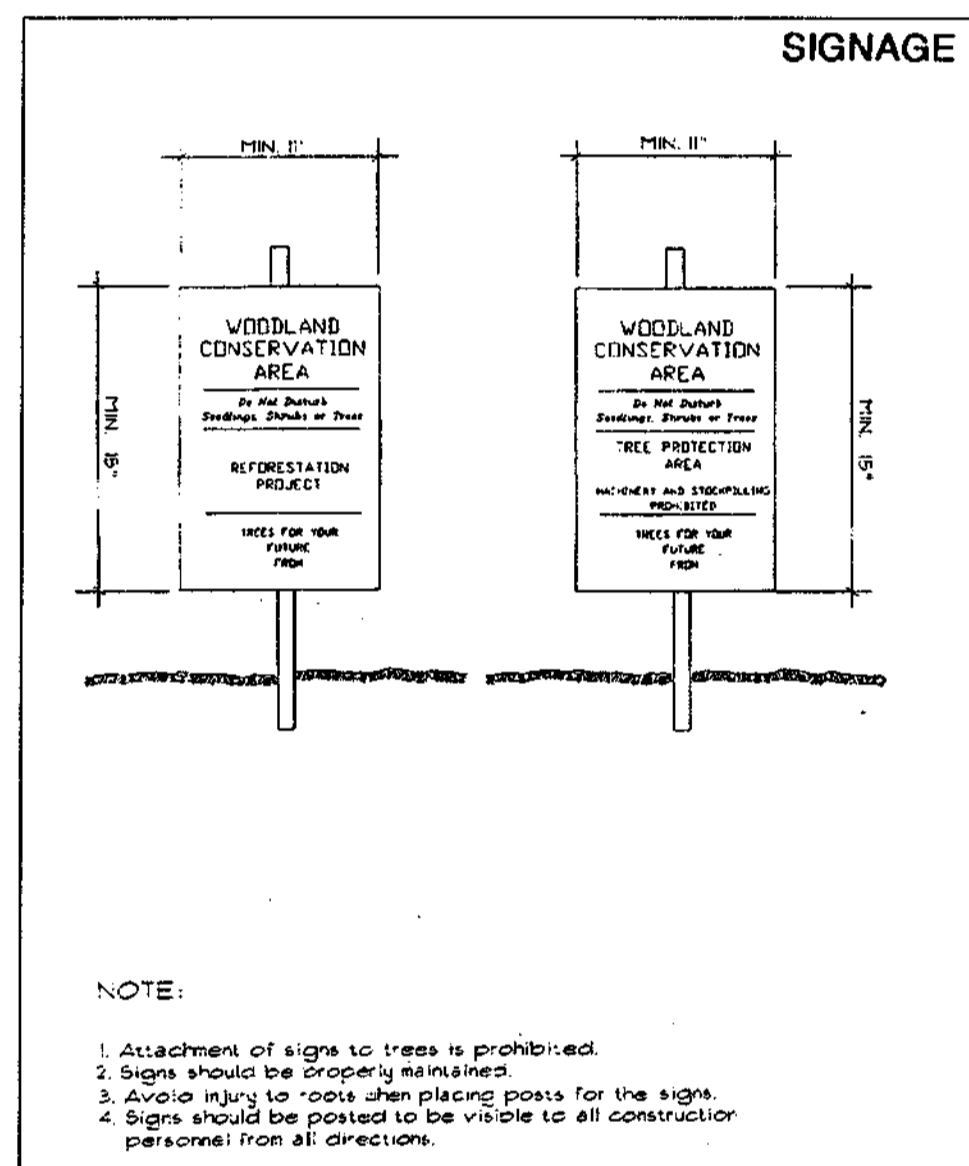
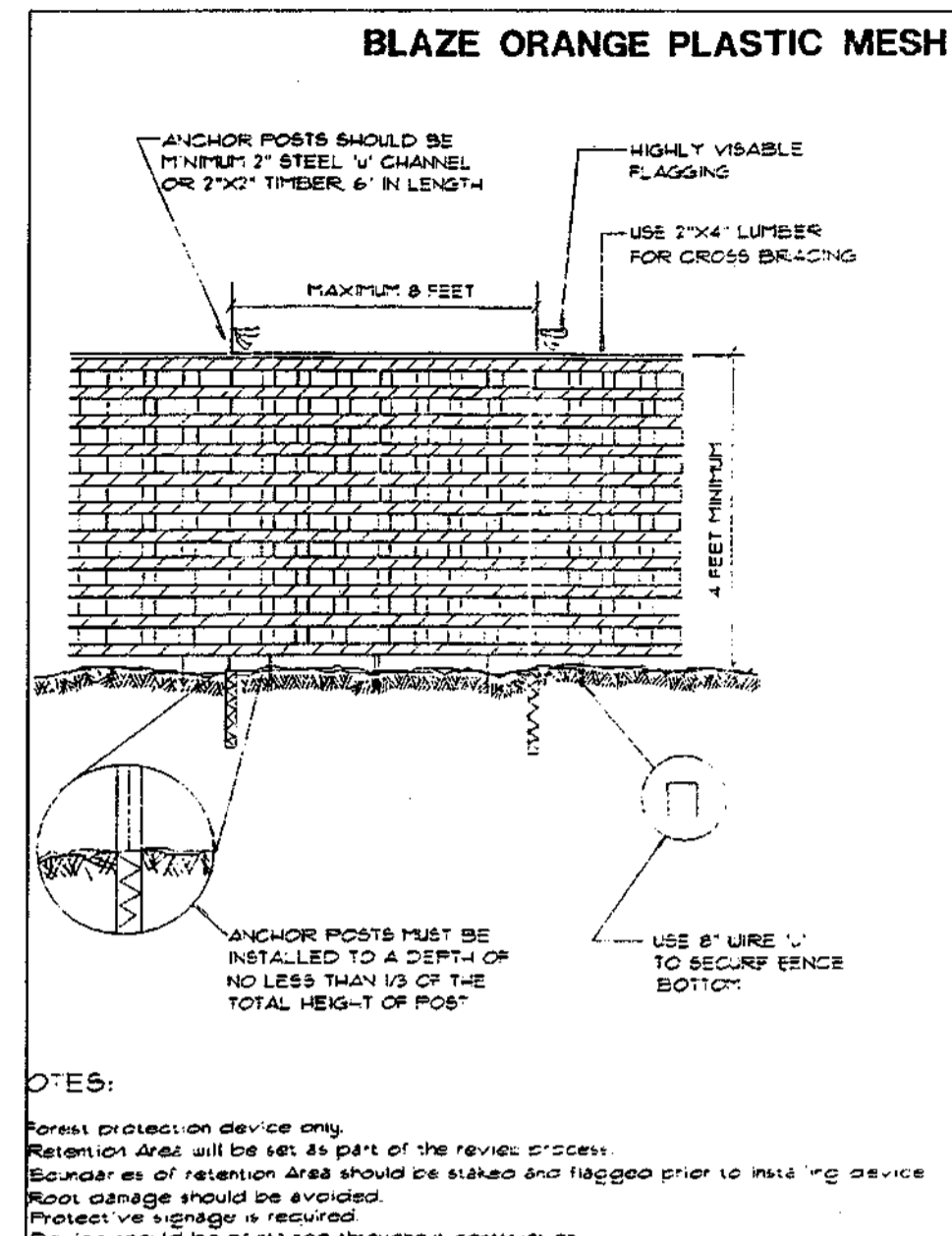
Qty	Botanical name	Common name	Size	Root	Remarks
5	Acer rubrum 'October Glory'	October Glory Red Maple	2" - 2 1/2" Cal.	B & B	Full & Uniform
4	Fraxinus pennsylvanica 'Marshall's Seedless'	Marshall's Seedless Ash	2" - 2 1/2" Cal.	B & B	Full & Uniform
5	Liquidambar styraciflua	Sweetgum	2" - 2 1/2" Cal.	B & B	Full & Uniform
5	Liriodendron tulipifera	Tuliptree	2" - 2 1/2" Cal.	B & B	Full & Uniform
4	Platanus occidentalis	American Sycamore	2" - 2 1/2" Cal.	B & B	Full & Uniform
4	Quercus phellos	Willow Oak	2" - 2 1/2" Cal.	B & B	Full & Uniform
5	Cercis canadensis	Eastern Redbud	8" - 10' Ht.	B & B	Tree Form
4	Cornus florida	Flowering Dogwood	8" - 10' Ht.	B & B	
5	Ilex opaca	American Holly	5' - 6' Ht.	B & B	
5	Pinus strobus	Eastern White Pine	5' - 7' Ht.	B & B	

REFORESTATION NOTES:

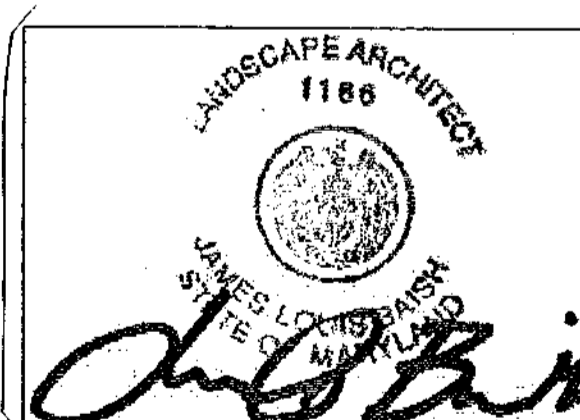
- The currently proposed reforestation area shall be composed of 46, 2" Caliper (0.46 Acre x 100 trees/acre) from the attached plant list, planted in an approximate 60% shade/ 40% understory mix, located randomly.
- The Contractor shall adhere to the maintenance calendar on the approved TCP/FCP. The Contractor shall guarantee a minimum of 70% survival of the plants for three years from the date of planting. Plants will be field checked at least 3 times during the first 2 years and 2 times during the third year, but not more than once per quarter, and records shall be kept of survival. Dead plants will be replaced with the same species and size, or larger as originally planted. The Contractor shall remove protective fencing and signage at the conclusion of the three-year maintenance period. Contractor will not be liable due to conditions beyond his control, or after the guarantee period.
- During extensive periods of drought, the Contractor shall be responsible for watering reforestation areas.
- Tree survival will be checked at the end of the guarantee period by the Contractor, recorded, and a copy of the records provided to the owner and the county.
- The Contractor shall repair any damage which is caused by them during planting and/or inspections. This includes, but is not limited to damage to fences, roads, paved paths, utilities, or other improvements on private or public property.

WOODLAND CONSERVATION NOTES:

- The Department of Environmental Resources Forests Resource Unit shall be contacted at (301)925-5820 prior to the start of any work.
- See Sharkey Property Forest Stand Delineation study for more detailed forest stand composition.
- Any debris within the Woodland Conservation or Tree Save areas shall be removed prior to the issuance of any grading permits. The method of debris removal shall not involve heavy machinery, and shall insure that disturbance is kept to a minimum.
- Limits of Disturbance will be set and then staked and flagged on site as indicated on this approved FCP.
- Disturbed edges of Woodland Conservation or Tree Save areas shall be mulched with 1 to 4 inches of wood chips for a distance of 20 feet inside of the limit of disturbance. Mulch shall be applied without the use of heavy equipment, and without causing damage within the areas. Mulch may be applied prior to the installation of tree protection devices.
- Roots of all trees within 20 feet of the Limits of Disturbance shall be cut along Limits of Disturbance to a depth of 2 feet using a vibratory plow (cable laying machine) or toothed-chain trencher, prior to installation of tree protection devices.
- Tree protection will be erected prior to any clearing or grading on the site. Tree protection devices shall be located at the Limits of Disturbance as shown on the TCP II.
- All Woodland Conservation areas on lots shall be shown as easements on the Final Plat of Subdivision.



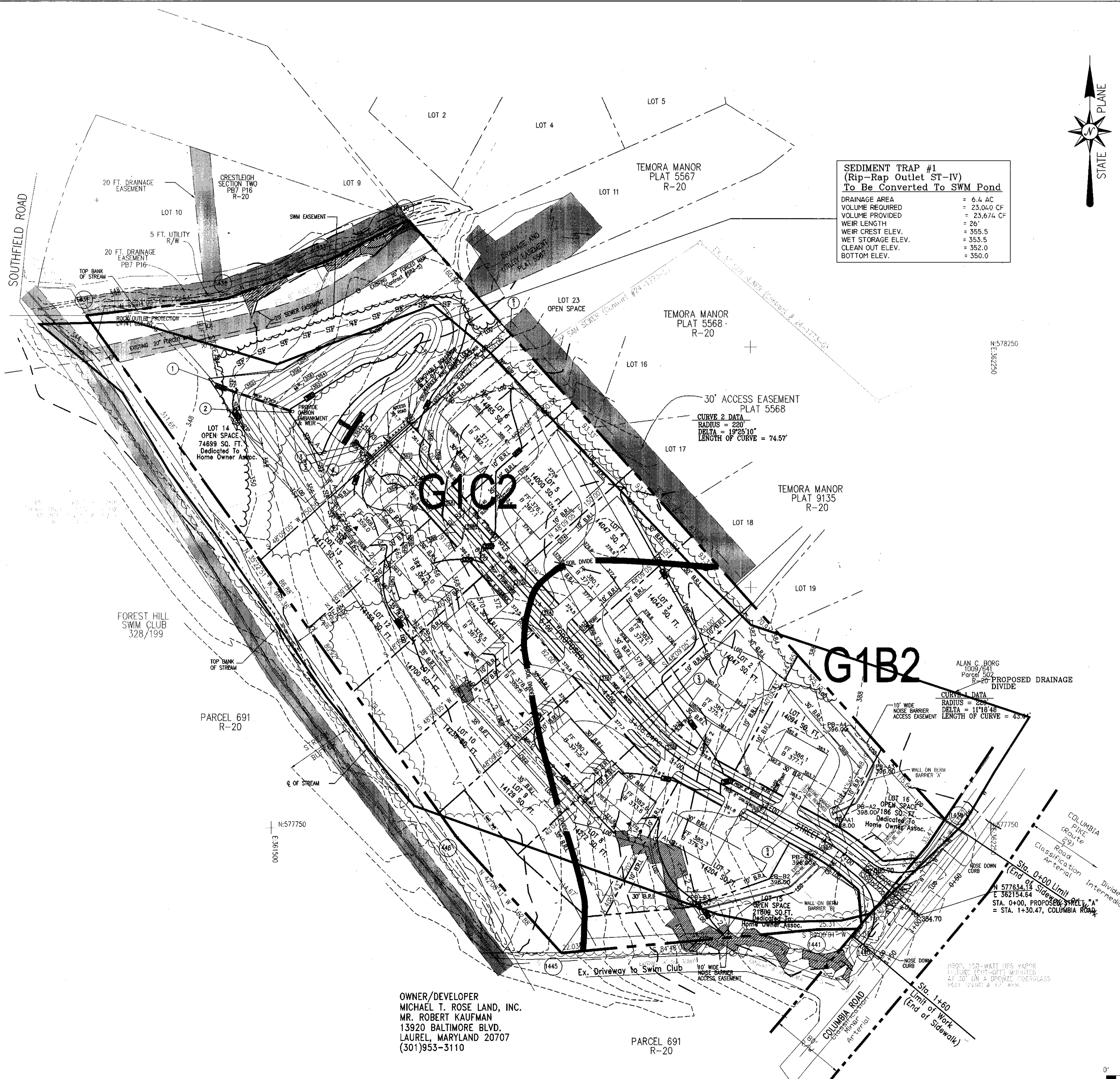
TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY
[Signature] 2/14/01
PLANNING DIRECTOR DATE



DETAIL SHEET
SHARKEY PROPERTY
TAX MAP: 24 PARCEL: 301
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

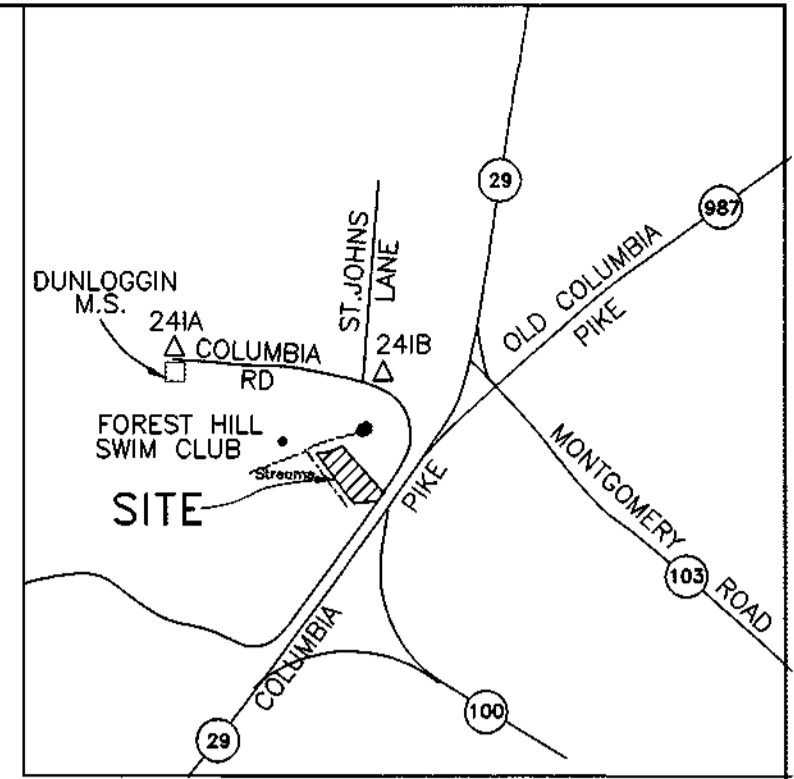
O'CONNELL & LAWRENCE, INC.
SURVEYORS, ENGINEERS & LAND PLANNERS
17204 Georgia Avenue, Suite 302, Clincy, Maryland 20882
Tel: (301) 824-4678 Fax: (301) 824-5872

DES. BY RJC	DWN. BY LJS	CKD. BY JLE	DATE: 01/16/01	SCALE: AS SHOWN	PROJECT/JOB NO: 347-001	SHEET NO. 6 of 8
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**SEDIMENT TRAP #1
(Rip-Rap Outlet ST-IV)
To Be Converted To SWM Pond**

DRAINAGE AREA	= 6.4 AC
VOLUME REQUIRED	= 23,040 CF
VOLUME PROVIDED	= 23,674 CF
WEIR LENGTH	= 26'
WEIR CREST ELEV.	= 355.5
WET STORAGE ELEV.	= 353.5
CLEAN OUT ELEV.	= 352.0
BOTTOM ELEV.	= 350.0



VICINITY MAP
SCALE: 1"=2000'
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LEGEND

- A-2— EARTH DIKE
- L.O.D.— LIMIT OF DISTURBANCE
- SF— SILT FENCE

OWNER/DEVELOPER
MICHAEL T. ROSE LAND, INC.
MR. ROBERT KAUFMAN
13920 BALTIMORE BLVD.
LAUREL, MARYLAND 20707
(301)953-3110

PARCEL 691
R-20

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HOWARD COUNTY

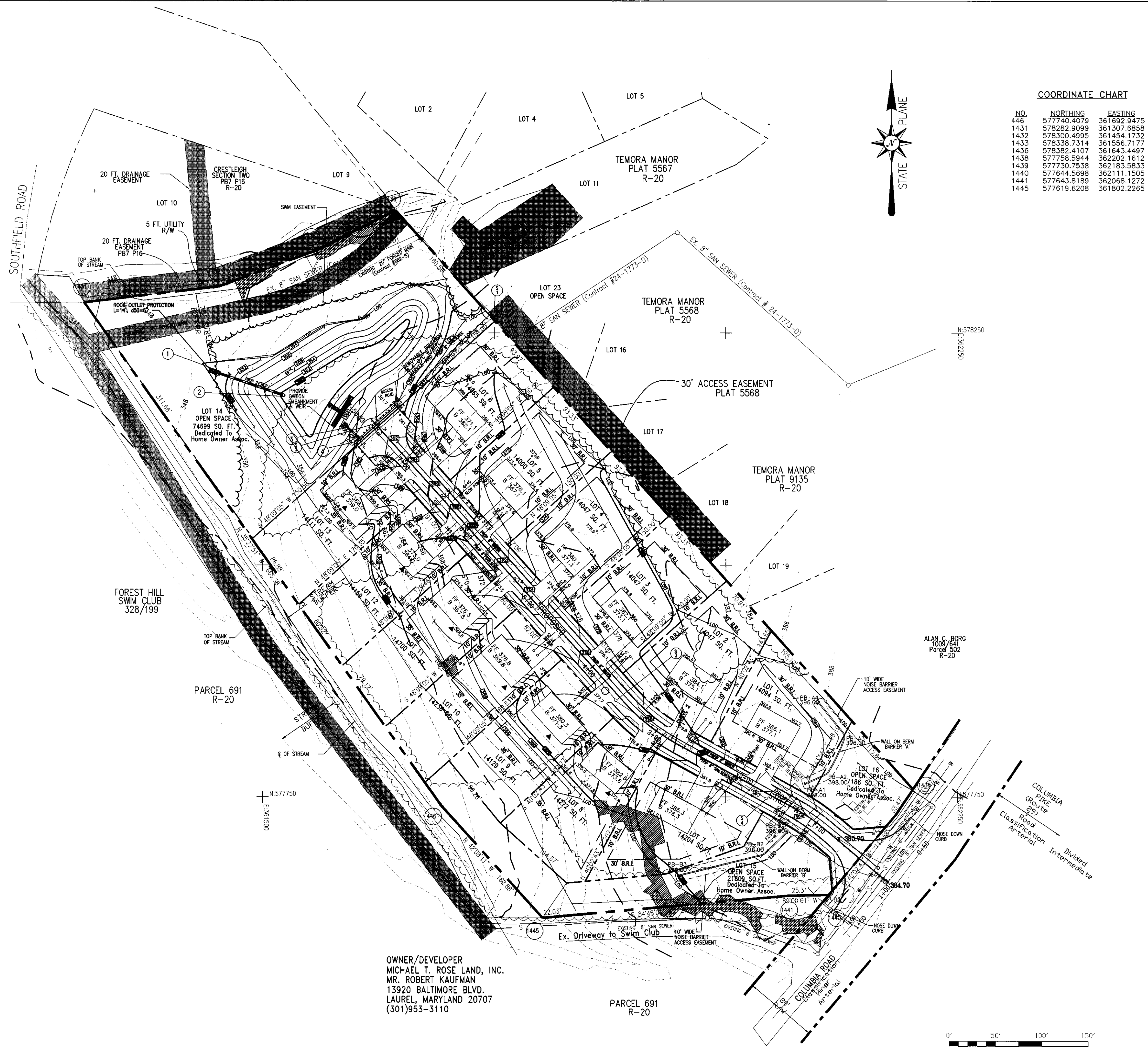
[Signature]
PLANNING DIRECTOR, DATE

**GRADING AND SEDIMENT
EROSION CONTROL PLAN
SHARKEY PROPERTY**
TAX MAP: 24 PARCEL: 301
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

O'CONNELL & LAWRENCE, INC.
SURVEYORS, ENGINEERS & LAND PLANNERS
17904 Georgia Avenue, Suite 302, Olney, Maryland 20832
Tel: (301) 924-4570 • Fax: (301) 924-5872

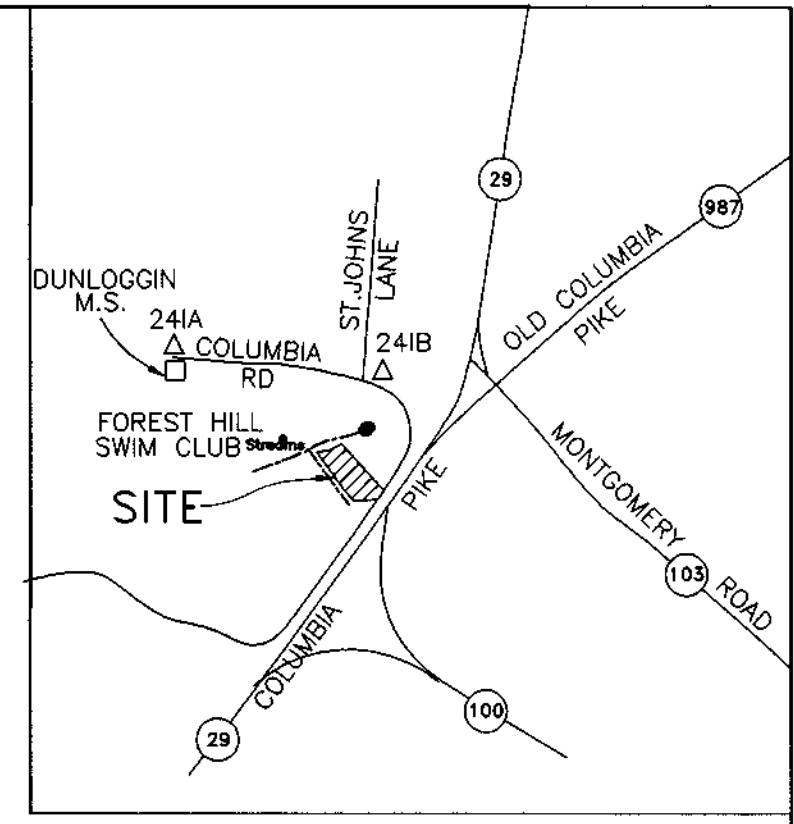


DES. BY CKL	DWN. BY JJG	CKD. BY BCS	DATE: 08/25/00	SCALE: 1"=50'	PROJECT/JOB NO. 347-001	SHEET NO. 7 OF 8
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COORDINATE CHART

NO.	NORTHING	EASTING
446	577740.4079	361692.9475
1431	578282.9099	361307.6858
1432	578300.4995	361454.1732
1433	578338.7314	361556.7177
1436	578382.4107	361643.4497
1438	577758.5944	362202.1612
1439	577730.7538	362183.5833
1440	577644.5698	362111.1505
1441	577643.8189	362068.1272
1445	577619.6208	361802.2265



VICINITY MAP

SCALE: 1"=2000'
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FOREST HILL SWIM CLUB
328/199

PARCEL 691
R-20

PARCEL 691
R-20

OWNER/DEVELOPER
 MICHAEL T. ROSE LAND, INC.
 MR. ROBERT KAUFMAN
 13920 BALTIMORE BLVD.
 LAUREL, MARYLAND 20707
 (301)953-3110

TENTATIVELY APPROVED
 DEPT. OF PLANNING AND
 ZONING OF
 HOWARD COUNTY

PLANNING DIRECTOR *[Signature]* DATE 2/18/01

PRELIMINARY WATER AND SEWER PLAN
SHARKEY PROPERTY
 TAX MAP: 24 PARCEL: 301
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

O'CONNELL & LAWRENCE, INC.
 SURVEYORS, ENGINEERS & LAND PLANNERS
 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832
 Tel: (301) 924-4570 • Fax: (301) 924-5872



DES. BY CKL	DWN. BY JJG	CKD. BY BCS	DATE: 8/25/00	SCALE: 1"=50'	PROJECT/JOB NO. 347-001	SHEET NO. 8 OF 8
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