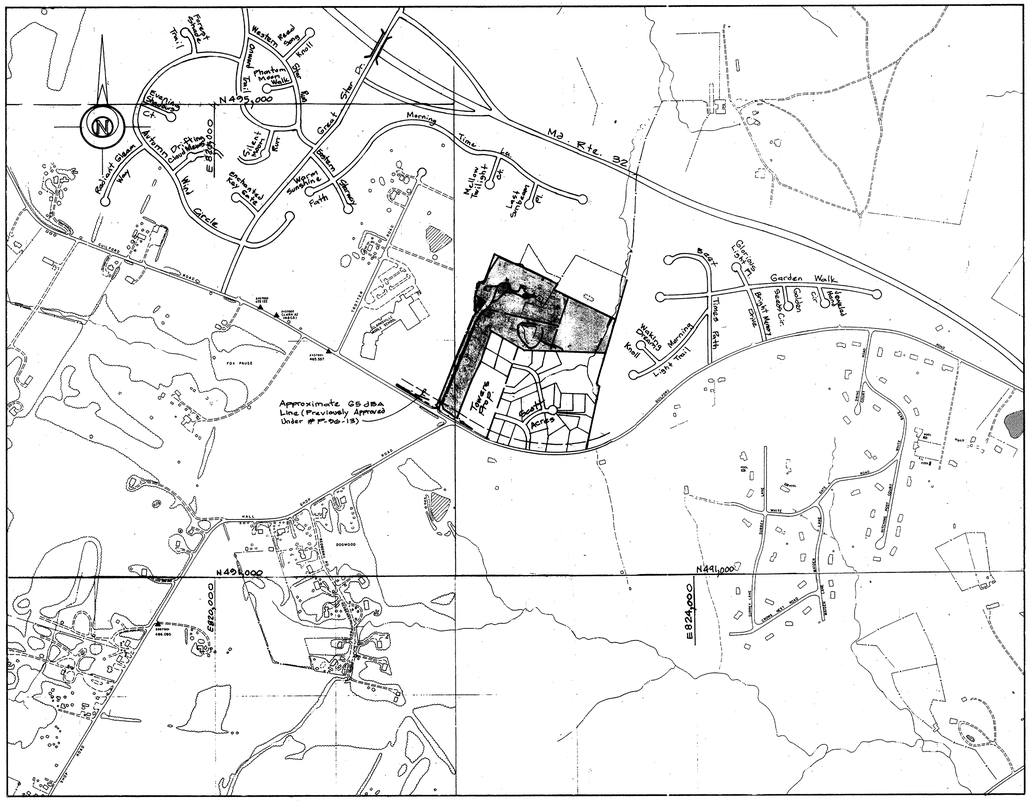
SHEET INDEX	
No.	TITLE
1	Cover Sheet
2	Preliminary Equivalent Sketch Plan
3	Preliminary Equivalent Sketch Plan
4	Preliminary Grading Plan And Landscape Obligations
5	Preliminary Grading Plan And Landscape Obligations

Legend

20' Type 'A' Landscape Edge	20' LE
Existing Contours	460
Propsed Contours	460
C/L Existing Stream	
Wetland Swale	WS
25' Wetland Buffer	WB
75' Stream Buffer	SB
Floodplain Limits	FP
Proposed Curb & Gutter	
Proposed Storm Drain	15" RCP
Building Restriction Line	BRL
Proposed Dwelling W/ Front Orientation	
Proposed Street Lights	Pendant Type W/ 12' Arm (30' High); Traditionaire Type (14' High)
Proposed Driveways	
Existing Woodsline	
SOIL BORING HOLE	B-1
Landscape Perimeter Number	1
Silt Fence	SF
Super Silt Fence	SSF
Temporary Contours	
Proposed Forest Conservation Easement/Planting Area	

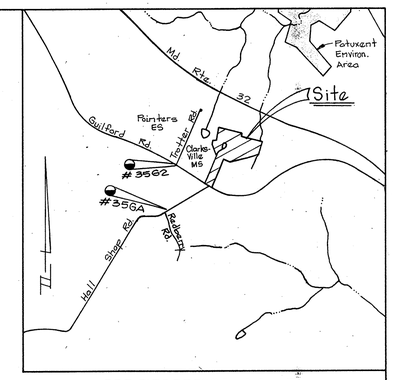


LOCATION MAP
Scale: 1" = 600'

BENCHMARKS:

1. Howard County Monument # 35G2
   Type: Stamped Concrete Monument
   NW. Corner of Intersection of
   Guilford Road & Trotter Road.
   Elev. 477.63

2. Howard County Monument # 35GA
   Type: Stamped Concrete Monument
   N Side of Hall Shop Road
   East Redberry Road.
   Elev. 482.11



VICINITY MAP
Scale: 1" = 2000'

General Notes

1. Existing Zoning: R-20 (Residential : Single) per 10/18/93 Comprehensive Zoning Plan.
2. Deed Reference: Lot 10 - Liber 4117 Folio 163
3. Plat Reference: Wilkinson Acres, Lot 5 - 5847
   Wilkinson Acres, Lot 10 - 7389
4. Gross Area of Tract: "Wilkinson Acres' Lots 5 & 10 = 17.208 Ac+-
5. Net Tract Area: 17.208 Ac+- (749,580 S.F.)
6. Number of Proposed Lots: 24
   a) Buildable: 21 lots (2 lots with existing dwellings, 19 new dwellings)
   b) Open Space: 3 lots
7. Area of Proposed Lots: 15.52 Ac+- (675,902 S.F.)
   a) Buildable: (19 Lots) 7.29 Ac+- (317,595 S.F.)
   b) Required Open Space: (Min.lot size 16,000 S.F./20% Req'd) 3.442 Ac+-
   c) Provided Credited Open Space: 3.68 Ac+- (160,357 S.F.)
   d) Provided Non-Credited Open Space: 0.144 Ac+- (6,275 S.F.)
   e) Required Recreation Open Space: (200 S.F./Prop. Unit) 4200 S.F.
   f) Provided Recreation Open Space: 11,125 S.F.
8. a) Area of Proposed Public Roads: 1.31 Ac+- (57,055 S.F.)
   b) Area of Proposed Private Roads: 0.382 Ac+- (16,623 S.F.)
9. This property is within the Metropolitan District. Public water and public sewer systems will be utilized for this development. Public sewer will be provided by extension of Contract # 34-3210-D and 34-3573-D. Public water will be provided by extension of Contract # 34-3573-D.
10. The existing utilities shown hereon are located from field surveys and construction drawings of record.
11. All aspects of this project are in conformance with the latest Howard County Standards unless waivers have been approved. Onsite roadways have been designed in conformance with the new Residential Street Design Criteria.
12. Stormwater management will be provided onsite for the portion of the site not already managed by the downstream regional facility on Scott Acres, approved under F-96-105. Quality and Quantity management will be provided by retention.
13. Project Backround:
    Location: Clarksville Tax Map: 35 Parcel: 354
    Zoning: R-20
    Total Tract Area: 17.208 Ac.
    Number of Proposed Lots: 24
14. This plan is based on information shown on Plat # 7389, prepared by RBA Group and Plat # 5847, prepared by the Reimer Group, Inc. Based on the Maryland State Grid System, Howard County Monument Stations 2437001 and 2337001 (NAD 83).
15. The onsite topography shown hereon was field run by LDE, Inc. Offsite topography was compiled from the Howard County Aerial Photogrammetry.
16. The floodplain shown was computed as part of subdivision plan F84-144 (Plat # 5847). As related to the proposed house elevations the floodplain was ruled "non-critical" under S-95-10.
17. The property owner has sent written confirmation to the Department of Planning and Zoning requesting that the special exception use of the historic resource H0210, the "E. Walter Scott Farmhouse" as an antique shop (BA91-24E) be discontinued.
18. The existing dwelling and associated garages on lot 19 will remain. The existing dwelling on lot 23 will remain.
19. The existing swimming pool on open space lot 24 shall be restored and used as an amenity by the community. The maintenance of the pool shall be the responsibility of the HOA.
20. The existing private water and sewerage facilities serving the dwellings located on lots 19 and 23 will be abandoned upon connection to public systems. Abandonment procedures in conformance with the Health Department Regulations will be followed. All known sewerage disposal easements of record have been shown.
21. The proposed Access Street shall be public. The proposed Access Place shall be private.
22. B.R.L. denotes building restriction line.
23. Traffic Study compiled by Lee Cunningham & Associates dated August, 1998.
24. Geotechnical Report compiled by Hillis-Carnes Engineering Associates, Inc. dated December, 1995.
25. Street lights will be provided on the final road construction drawings in accordance with the Design Manual.
26. Sediment and Erosion control measures are shown on the Preliminary Grading Plan.
27. Street trees will be provided on the Access Street and both Access Places in accordance with Section 16.124 of the Subdivision Regulations.
28. No dwelling units are proposed within the 65 dBA zone. Therefore no noise mitigation is proposed. Noise study approved under SP-99-04.
29. Stormwater management Ponds # 1 (Lot 20) and # 2 (Lot 10) shall be privately owned and maintained by the Home Owners Association. The HOA will perform routine maintenance and be responsible for yearly inspections, mowing once a year and correcting any structural problems that arise.
30. The required 4200 s.f. of recreation open space shall be provided on open space lot 24.
31. Open Space lots 10,20 & 24 shall be dedicated to the Home Owners Association.
32. A. Offstreet Parking Required: 0.5 spaces/ Residential Lot; 21 Lots = 11 spaces
    Offstreet Parking Provided: 11 spaces.
    B. Zoning Regulations, Section 133.D(2): For single family detached dwellings 2.0 spaces/ D.U. required.
    21 D.U. x 2 = 42 spaces. These spaces shall be provided on individual private driveways.
33. Sidewalks shall be provided along one side of the street in accordance with Section 16.134 of the Subdivision Regulations.

MINIMUM LOT SIZE CHART			
LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
16	17,551 s.f.	1512 s.f.	16,039 s.f.
17	17,800 s.f.	1344 s.f.	16,456 s.f.
19	169,140 s.f.	3858 s.f.	165,282 s.f.

Preliminary Equivalent Sketch Plan

Quail Hill

Lots: 1 -24

Tax Map No.35 Parcel 354

5th Election District Howard County, Maryland

TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY

PLANNING DIRECTOR 7/6/99 DATE
JA

CURVE TABLE							
ROAD NAME	STATION TO STATION	RADIUS	DELTA	LENGTH	TANGENT	CHORD/DISTANCE	DEFLECTION ANGLE
Quail Hill Lane	0+71.48 - 2+54.26	150.00'	69°48' 52"	182.77'	104.67'	171.67'	30° / 30° R
	2+54.26 - 4+08.80	150.00'	59°01' 52"	154.54'	84.92'	147.80'	30° / 30° R
	9+45 - 11+32	110.00'	97°24' 10"	187.00'	125.22'	165.28'	N/A- 110' radii
	11+32 - 12+83	600.00'	14°25' 10"	151.00'	75.90'	150.60'	N/A- 600' radii
Scarlet Meadow Path	0+62 - 1+39	50.00'	88°14' 08"	77.00'	48.48'	69.61'	30°/ 30°R
	3+30 - 3+90	50.00'	68°45' 18"	60.00'	34.21'	56.46'	60°Single bend

NOTE: ALL CURVE DATA PERTAINS TO THE ROAD CENTERLINE.

STATE OF MARYLAND
BRUCE D. DOUGHTON
No. 19161
REGISTERED
PROFESSIONAL ENGINEER

Bruce Doughton
6/30/99

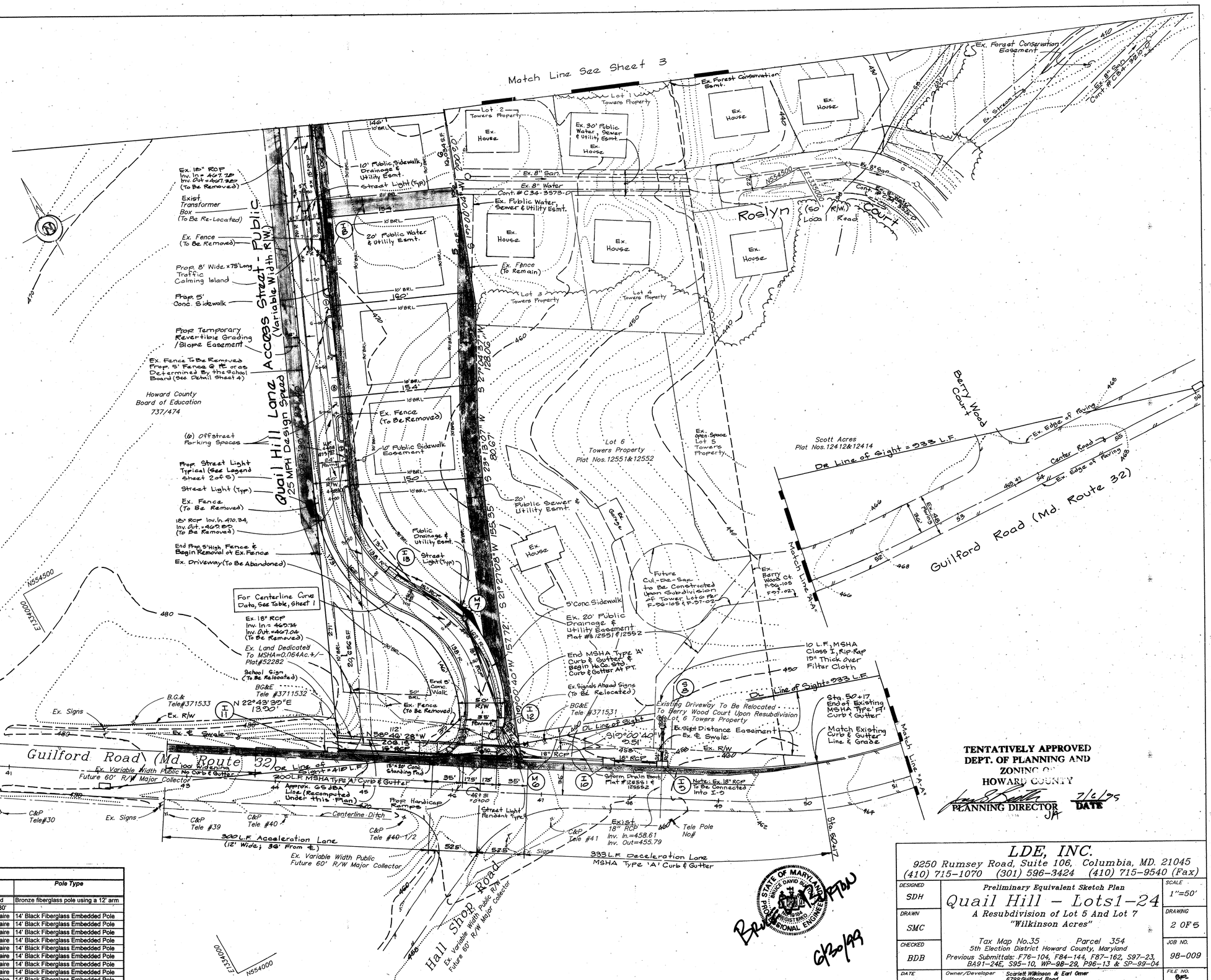
REVISIONS			
No.	Date:	By	Description:

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: BDH	Preliminary Equivalent Sketch Plan Quail Hill - Lots1-24 A Resubdivision of Lot 5 And Lot 7 "Wilkinson Acres"	SCALE: As Shown
DRAWN: SMC		DRAWING: 1 of 5
CHECKED: BDB	Tax Map No.35 Parcel 354 5th Election District Howard County, Maryland Previous Submittals: F76-104, F84-144, F87-162, S97-23, BA91-24E, S95-10, WP-98-29, P96-13 & SP-99-04	JOB NO. 98-009
DATE: 5/99 Rev. 6/99	Owner/Developer: Scarlett Wilkinson & Earl Omer 6799 Guilford Road Clarksville, Maryland 21029 Tele: 410-531-2626 or 410-987-0497	FILE NO. SP 99-04

SP.99.04

/users/land/steve/scott/quailcov.S70



TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF HOWARD COUNTY

PLANNING DIRECTOR — DATE 7/6/99

STATE OF MARYLAND — BRUCE DAVID BRAMPTON — REGISTERED PROFESSIONAL ENGINEER

6/30/99

Street Light Legend

Street Name	Symbol	Centerline Station	Offset	Lamp Size	Fixture	Pole Type
Quail Hill Lane	see legend	0+49	32' Right	250w. HPS vapor	Pendant Mounted (cutoff) mounted at 30'	Bronze fiberglass pole using a 12' arm
Quail Hill Lane	see legend	1+95	22' Right	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Quail Hill Lane	see legend	3+72	19' Left	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Quail Hill Lane	see legend	7+19	0' (Median)	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Quail Hill Lane	see legend	9+75	15' Left	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Quail Hill Lane	see legend	10+97	15' Left	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Quail Hill Lane	see legend	13+40	22' Left	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Scarlet Meadow Path	see legend	0+86	12' Right	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Scarlet Meadow Path	see legend	3+66	10' Left	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole
Scarlet Meadow Path	see legend	6+33	9' Left	100w. HPS vapor	Post-Top:Traditionaire	14' Black Fiberglass Embedded Pole

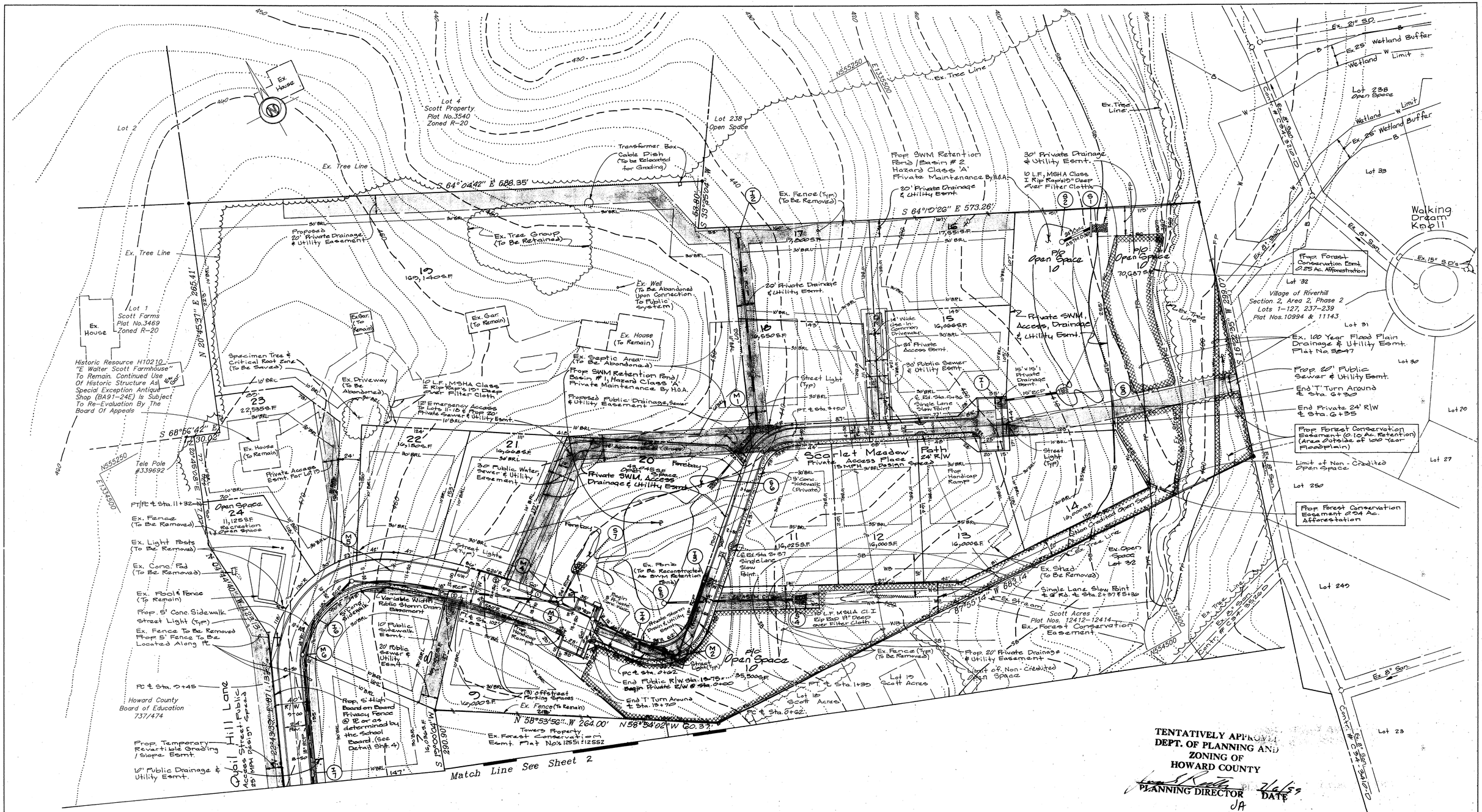
NOTE: The street lights on Scarlet Meadow Path will be private and will require a Private Area Lighting (PAL) agreement with BGE.

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: SDH	Preliminary Equivalent Sketch Plan
DRAWN: SMC	**Quail Hill – Lots1–24**
CHECKED: BDB	A Resubdivision of Lot 5 And Lot 7 "Wilkinson Acres"
DATE: 5/99 Rev. 6/99	Tax Map No. 35 Parcel 354
	5th Election District Howard County, Maryland
	Previous Submittals: F76-104, F84-144, F87-162, S97-23, BA91-24E, S95-10, WP-98-29, P96-13 & SP-99-04
	Owner/Developer: Scarlet Wilkinson & Earl Omer, 6799 Guilford Road, Clarksville, Maryland 21029, Tele: 410-531-2626 or 410-987-0497
SCALE: 1"=50'	
DRAWING: 2 OF 5	
JOB NO.: 98-009	
FILE NO.: BP. 99-04	

SP.99.04

/users/land/ cowkey /quailtopoprel2.S70



TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF HOWARD COUNTY

PLANNING DIRECTOR — DATE 7/6/99

JA

NOTE: STORMWATER MANAGEMENT PONDS # 1 AND # 2 SHOWN HEREON SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY ROUTINE OR NON-ROUTINE MAINTENANCE FOR THESE FACILITIES.

STATE OF MARYLAND — BRUCE DAVID PAPPON — No. 10184 — REGISTERED PROFESSIONAL ENGINEER

6/30/99

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED BDB	Preliminary Equivalent Sketch Plan	SCALE 1"=50'
DRAWN SMC	Quail Hill - Lots1-24 A Resubdivision of Lot 5 And Lot 7 "Wilkinson Acres"	DRAWING 3 OF 5
CHECKED BDB	Tax Map No.35 Parcel 354 5th Election District Howard County, Maryland Previous Submittals: F76-104, F84-144, F87-162, S97-23, BA91-24E, S95-10, WP-98-29, P96-13 & SP-99-04	JOB NO. 98-009
DATE 5/99 Rev. 6/99	Owner/Developer: Scarlett Wilkinson & Earl Omer, 6799 Guilford Road, Clarksville, Maryland 21029, Tele: 410-531-2626 or 410-987-0497	FILE NO. SP 99-04

SP 99-04

/users/land/steve/scott/quailtopopr11.570

SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	B	A
Linear Feet of Roadway Frontage/Perimeter	* 111 L.F	4405 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	YES. 521 L.F EX VEG ① 787 L.F. PROP. FCE ②
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	YES 666 L.F. FENCE
Number of Plants Required Shade Trees Evergreen Trees Shrubs	(BASED ON 111 L.F) 1:50=3 1:40=3	(BASED ON 2431 LF) 1:60=41
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (2:1 substitution) Shrubs (10:1 substitution) (Describe plant substitution credits below if needed)	3 SHADE TREES 3 EVERGREENS NOTE: REQ'D PLANT MATERIALS WILL BE PROVIDED BY THE DEVELOPER AT FINAL PLAN STAGE.	41 SHADE TREES

Comments * TOTAL ROADWAY FRONTAGE PERIMETER = 206 L.F. MINUS ENT. R/W WIDTH OF 95 L.F. ① CREDIT FOR EX. VEG: PERIMETER 2 = 100'; PERIMETER 3 = 30'; PERIMETER 4 = 234'; PERIMETER 5 = 41'; ② CREDIT FOR PROPOSED FCE: PERIMETER 5 = 787 L.F.

LANDSCAPE PERIMETER TABLE

PERIMETER NO.	LINEAR FOOTAGE	EDGE TYPE	ADJACENT LAND USE
1	111*	B	Public Roadway
2	1417	A	School Rec. fields/ SFD
3	1124*	A	SFD
4	44*	A	SFD
5	1007	A	SFD
6	813	A	SFD
TOTAL LENGTH:	**4516**		

* Total perimeter 1 length = 206 feet, minus the entrance R/W width of 95 feet = 111 feet; Perimeter 3 length= 1215, minus 91 L.F. SWM Pond # 2 buffer = 1123 feet; Perimeter 4 length=299 feet, minus 255 L.F. SWM Pond # 2 Buffer = 44 feet.

STORMWATER MANAGEMENT POND # 1 PERIMETER TABLE

PERIMETER NO.	LINEAR FOOTAGE	EDGE TYPE	ADJACENT LAND USE
1	177	B	Public Roadway
2	211	B	Public Roadway
3	190	B	SFD
4	248	B	Private/Public Roadway
TOTAL LENGTH:	**826**		

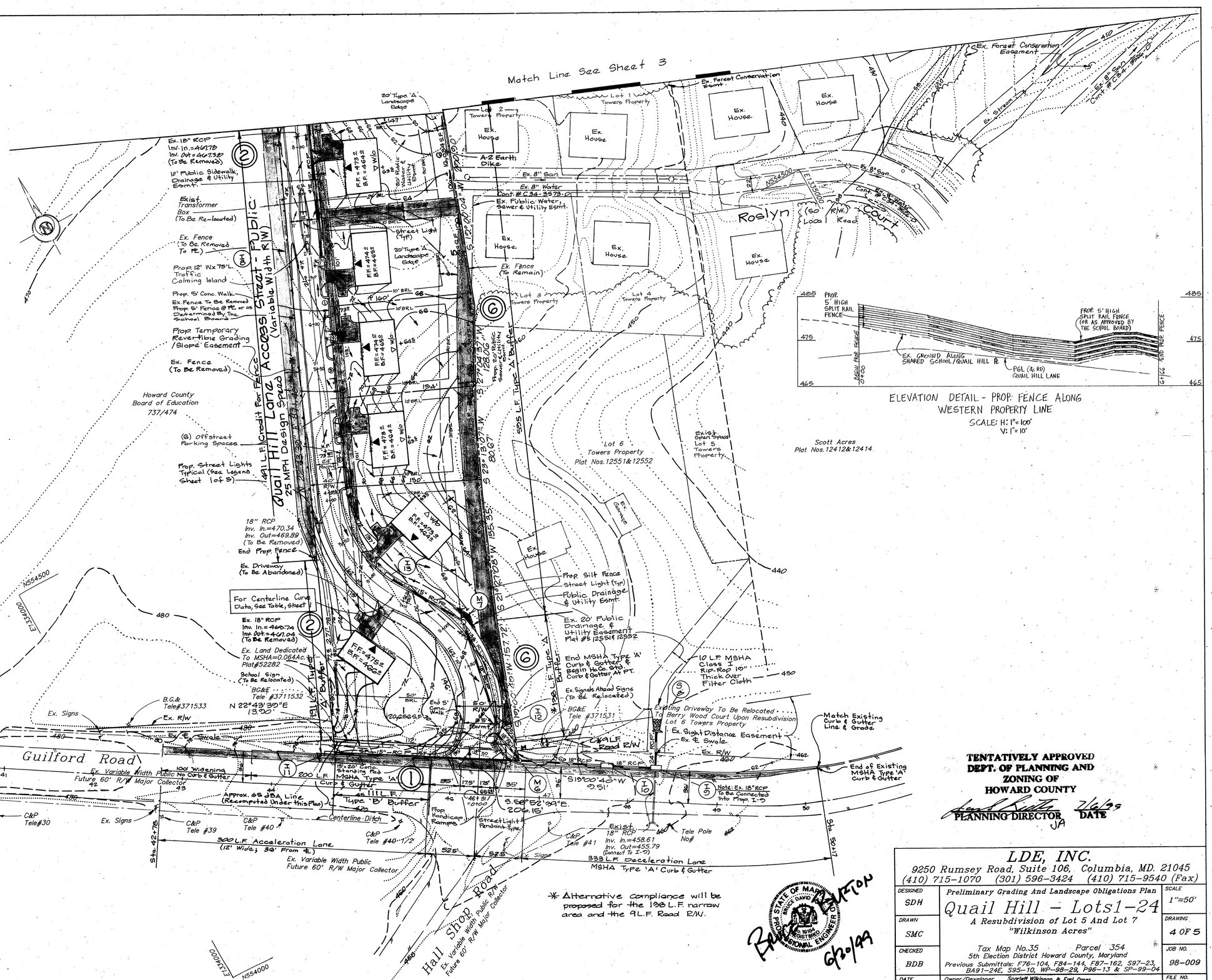
STORMWATER MANAGEMENT POND # 2 PERIMETER TABLE

PERIMETER NO.	LINEAR FOOTAGE	EDGE TYPE	ADJACENT LAND USE
1	123	B	SFD
2	255	B	Stream buffer, FCE
3	91	B	SFD
4	256	B	SFD/ Private Road
TOTAL LENGTH:	**725**		

SCHEDULE D
STORMWATER MANAGEMENT AREA LANDSCAPING

Linear Feet of Perimeter (Pond's #1 & #2)	1551 L.F
Number of Trees Required Shade Trees Evergreen Trees	① (1551 L.F - 255 L.F. = 1296 L.F. 1:50 / 26 SHADE TREES 1:40 / 32 EVERGREENS
Credit for Existing Vegetation (No, Yes and %)	YES - 255 L.F. EX. VEG/STREAM BUFFER BELOW POND #2 EMBANKMENT
Credit for Other Landscaping (No, Yes and %)	NO
Number of Trees Provided Shade Trees Evergreen Trees Other Trees (2:1 substitution)	26 SHADE TREES 32 EVERGREENS

① 255 L.F. CREDIT FOR EX. VEG.



TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF HOWARD COUNTY

PLANNING DIRECTOR — DATE 7/6/99

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED SDH	Preliminary Grading And Landscape Obligations Plan	SCALE 1"=50'
DRAWN SMC	Quail Hill - Lots1-24 A Resubdivision of Lot 5 And Lot 7 "Wilkinson Acres"	DRAWING 4 OF 5
CHECKED BDB	Tax Map No.35 Parcel 354 5th Election District Howard County, Maryland Previous Submittals: F76-104, F84-144, F87-162, S97-23, BA91-24E, SDP-10, WP-98-29, P96-13 & SP-99-04	JOB NO. 98-009
DATE 5/99 Rev. 6/99	Owner/Developer Scarlett Wilkinson & Earl Omer 6799 Guilford Road Clarksville, Maryland 21029 Tele: 410-531-2626 or 410-987-0497	FILE NO. SP-99-04

STATE OF MARYLAND — BRUCE DAVID HARRISON — No. 19184 — REGISTERED PROFESSIONAL ENGINEER

Revision 6/30/99

SP99.04

/users/ldn/ Donkey /quailtoppre12.570

TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY

PLANNING DIRECTOR 7/2/99 DATE

JA

(Seal: State of Maryland, Bruce David Burton, Registered Professional Engineer No. 19184) Bruce D. Burton 6/30/99

NOTE: STORMWATER MANAGEMENT PONDS # 1 AND # 2 SHOWN HEREON SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY ROUTINE OR NON-ROUTINE MAINTENANCE FOR THESE FACILITIES.

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/users/land/steve/scott/qualtopoprel1.S70