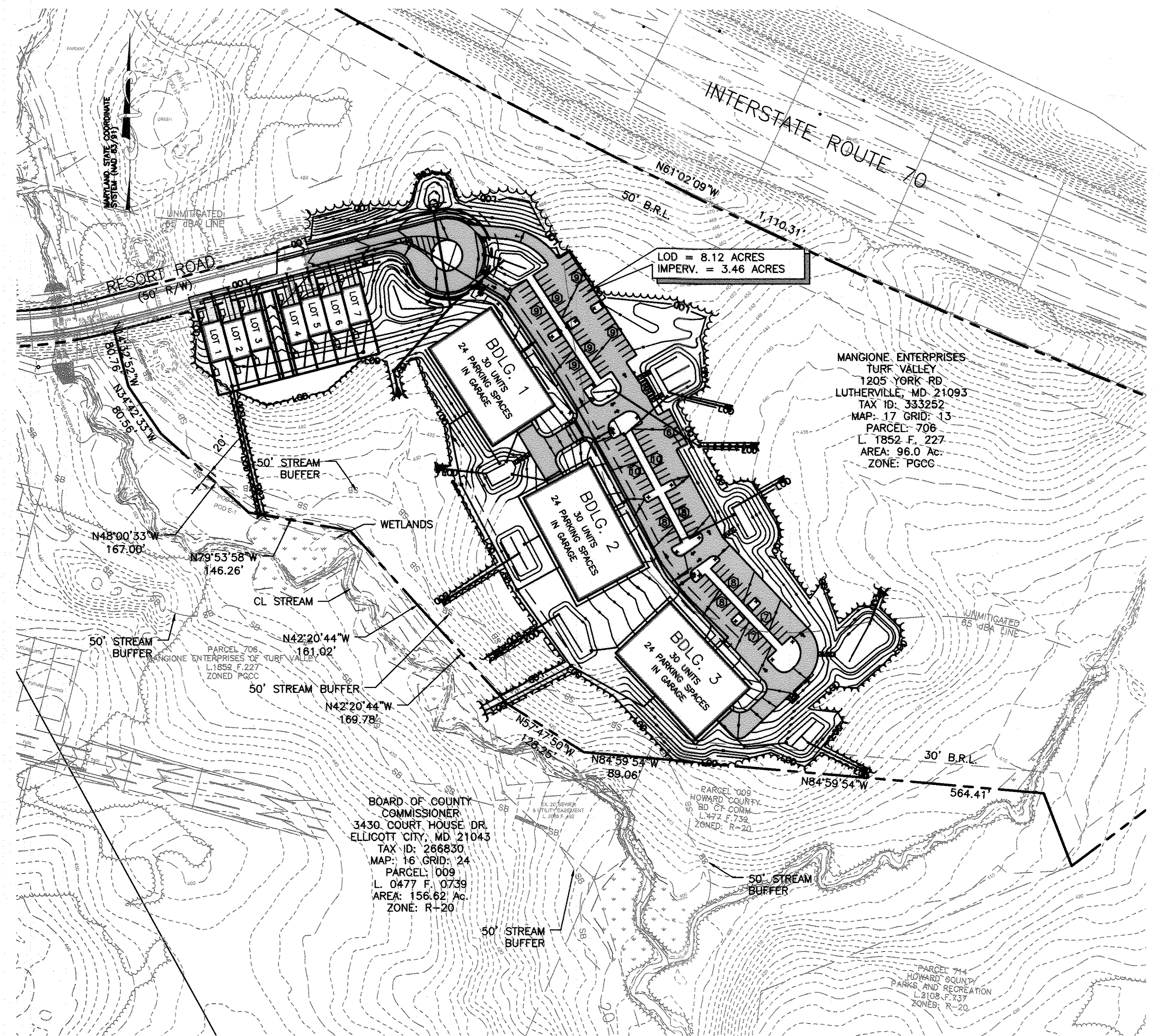
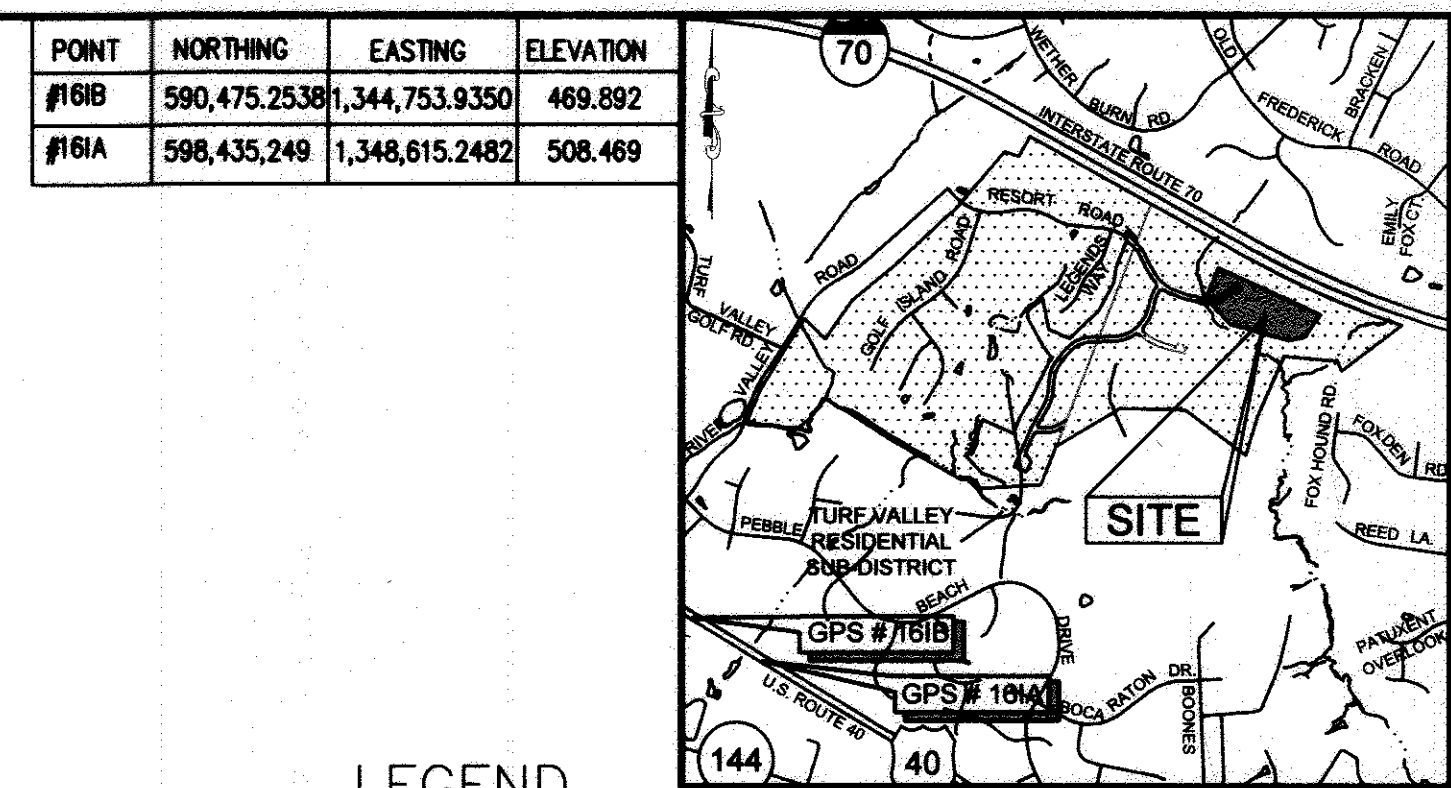


GENERAL NOTES

- OWNER / APPLICANT: COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
LUTHERVILLE-TIMONIUM, MD 21093
535524
- TAX ACCOUNT NO.: TAX MAP 10, GRID 10, PARCEL 401
- ZONING: PGCC
- EXISTING USE: VACANT
- PROPOSED USE: RESIDENTIAL
- AREA OF SITE: 41.33 ACRES
- THE BLUFFS AT TURF VALLEY (S-11-002) CONSTITUTED 114 UNITS WHICH MET THE SKETCH PLAN MILESTONE DATES OF 7/1/10 THRU 3/31/11 FOR 114 UNITS FOR YEAR 2013 ALLOCATION AS ESTABLISHED BY THE PHASING PLAN DATED 4/29/08. THIS PLAN PROPOSES 97 UNITS/LOTS. THE 17 REMAINING UNITS FROM S-11-002 ARE BEING TRANSFERRED TO VILLAGES AT TURF VALLEY PHASE 3 (F-08-085) TO REPLACE SOME OF THE 35 UNITS WHICH TRANSFERRED TO VILLAGES AT TURF VALLEY PHASE 5.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- WAIVER PETITION WP-16-142 WAS APPROVED ON JUNE 21, 2016, SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE PETITIONER SHALL SUBMIT TO THE DEPARTMENT OF PLANNING AND ZONING A PRELIMINARY PLAN OR A PRELIMINARY EQUIVALENT SKETCH PLAN IN ACCORDANCE WITH APPROVED SKETCH PLAN S-11-002 AND THE REQUIREMENTS OF SECTION 16.146 OF THE HOWARD COUNTY CODE WITHIN 21 DAYS OF WAIVER APPROVAL (ON OR BEFORE JULY 12, 2016). IF THE SUBMISSION IS NOT MADE BY THE ESTABLISHED DEADLINE THE PLAN SHALL BE VOIDED AND THE APPLICATION FOR PLAN APPROVAL CONSIDERED WITHDRAWN IN ACCORDANCE WITH SUBSECTION 16.144(C)(1)(C).
 - THE PETITIONER IS ADVISED THAT THE GRANTING OF 114 HOUSING UNIT ALLOCATIONS TO S-11-002 WAS RESCINDED UPON VOIDING OF THE PLAN DUE TO THE MISSED MILESTONE DEADLINE; THEREFORE, UPON REACTIVATION ALLOCATIONS MUST AGAIN BE GRANTED AND THE OPEN/CLOSED SCHOOLS TEST REPEATED. ACCORDING TO THE DPZ RESEARCH DIVISION THE PLAN WILL RECEIVE 114 ALLOCATIONS FOR THE CURRENT 2018 ALLOCATION YEAR, THE GROWTH AND REVITALIZATION - ELLICOTT CITY PLANNING AREA. IT WILL TAKE THE OPEN/CLOSED SCHOOLS TEST AND PASS FOR THE MAJOR WOODS SCHOOL DISTRICT / THE NORTHERN SCHOOL REGION AND THE MOUNT VIEW MIDDLE SCHOOL DISTRICT GIVEN THAT THE APFO TESTS WILL PASS/ THE PLAN WILL BE ACCEPTED FOR PROCESSING FOR THIS 114-UNIT PHASE.
 - THE PETITIONER IS STRONGLY ADVISED THAT ADDITIONAL REQUESTS FOR WAIVERS OF SUBSECTION 16.144(R)(1)(I) WITH RESPECT TO S-11-002 MAY BE DENIED.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AVAILABLE RECORD PLANS AND GIS TOPOGRAPHY.
- THE EXISTING TOPOGRAPHY SHOWN IS TAKEN FROM AN AERIAL TOPOGRAPHIC SURVEY (WITH MAXIMUM 2 FOOT) CONTOUR INTERVALS PREPARED BY WINGS AERIAL MAPPING CO., INC. FLOWN ON OR ABOUT JANUARY 2006. TOPOGRAPHY WITHIN THE STREAM CHANNEL IS BASED ON FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. IN MAY 2015.
- THERE ARE NO WETLANDS OR STREAMS ON THIS SITE WHICH WILL BE AFFECTED BY THE PROPOSED CONSTRUCTION.
- THE FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY BENCHMARK ENGINEERING, DATED SEPTEMBER 2016, AND IS AWAITING APPROVAL. THE 100-YEAR FLOODPLAIN LIMITS HAVE BEEN SHOWN ON THE PLANS AS PER THE FLOODPLAIN STUDY.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AS WELL AS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (800-257-7777) AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/ BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- OBSTRUCTIONS SUCH AS PAVING, TREES, UNDERGROUND UTILITIES, ETC. SHOWN ON THESE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY BRING IT TO THE ATTENTION OF THE ENGINEER PRIOR TO STARTING ANY WORK.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- WATER IS PUBLIC CONNECTED TO PROJECT #24-4354-D
- SEWER IS PUBLIC CONNECTED TO PROJECT #24-1890-D
- CONTRACTOR SHALL NOT PROCEED WITH ANY DEMOLITION WORK UNTIL ALL UTILITY DISCONNECTIONS ARE COMPLETED AND VERIFIED IN WRITING.
- EXISTING CONCRETE SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL BUILDING INFORMATION.
- TRAFFIC CONTROL DEVICES: A) THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED. B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES. C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD). D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- TRENCH BACKFILL IN GRASS AREAS SHALL BE COMPACTED TO A MINIMUM 90% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH A.A.S.H.T.O. VERIFY DESIGNATION T-180, METHOD C. TRENCH BACKFILL IN STRUCTURAL AND PAVEMENT AREAS SHALL BE PLACED IN EIGHT INCH LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557). IN PAVED AREAS, FILL BELOW THE TOP 12 INCHES SHOULD BE COMPACTED TO 97%.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES, I.E. MANHOLE FRAMES AND COVERS, ETC. WITHIN THE LIMITS OF THE CONTRACT TO PROPOSED GRADES AS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURES AT ALL TIMES.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES.
- ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- STORMWATER MANAGEMENT QUANTITY AND QUALITY HAS BEEN PROVIDED IN ACCORDANCE WITH THE 2010 MARYLAND STORMWATER MANAGEMENT ORDINANCE AND REVISED 2010 STORMWATER MANAGEMENT DESIGN MANUAL. THERE ARE (5) PRACTICE F-6 BIORETENTION FACILITIES AND (5) M-6 MICRO-BIORETENTION FACILITIES. ALL PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED IN THEIR ENTIRETY.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 161B AND 161A WERE USED FOR THIS PROJECT.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- ALL PROPOSED BUILDING WHO'S WILL BE METERED INSIDE BUILDINGS.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- A NOISE STUDY WAS PREPARED FOR THIS PROJECT BY HUSH ACOUSTICS APPROVED DATED JANUARY 10, 2017.
- A GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED FOR BY HILLIS-CARNES DATED APRIL 26, 2016.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY TRAFFIC GROUP, DATED JANUARY 07, 2005 AND WAS APPROVED UNDER THE 4TH AMENDED COMPREHENSIVE SKETCH PLAN ON APRIL 27, 2006.
- TRASH SERVICE TO BE PUBLIC.
- IMPACTS TO STREAM BUFFERS AND WETLAND BUFFERS RESULTING FROM INSTALLATION OF UNDERGROUND UTILITIES AND CONSTRUCTION OF STORMWATER MANAGEMENT FACILITY OUTFALL STRUCTURES ARE CONSIDERED NECESSARY BY THE DEPARTMENT OF PLANNING AND ZONING IN ACCORDANCE WITH SUBSECTION 16.116(C) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS."

PRELIMINARY EQUIVALENT SKETCH PLAN
RAVENWOOD AT TURF VALLEY
SECOND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- BUILDING OUTLINE
- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED IMPERIOUS PAVEMENT
- LOD - LIMIT OF DISTURBANCE
- GnB - SOILS LINE
- MaC - SOILS LINE
- SB - 50' STEAM BUFFER

SITE DATA TABULATION

- GENERAL SITE DATA:**
 - CURRENT ZONING: PGCC
 - LOCATION: TAX MAP: 17, GRID: 13, PARCEL: 706
 - ELECTION DISTRICT: 2
 - LIBER/FOLIO: 1852/227
 - ADC MAP/GRID: 20 A4
 - APPLICABLE DPZ FILE REFERENCES: F-16-04, S-86-013, S-11-002, WP-12-010, WP-16-142
 - PROPOSED USE OF SITE: RESIDENTIAL
 - PROPOSED WATER AND SEWER SYSTEMS: PUBLIC
- AREA TABULATION:**

	TOTAL
a. TOTAL AREA OF SITE:	41.33 AC.
b. APPROXIMATE AREA OF 100 YEAR FLOODPLAIN:	N/A
c. APPROX. AREA OF STEEP SLOPES (25% OR MORE):	N/A
d. NET AREA OF THE SITE:	41.33 AC.
e. AREA OF PLAN SUBMISSION:	8.12 AC.
f. AREA OF PROPOSED BUILDABLE LOTS:	7.68 AC.
g. AREA OF PROPOSED PUBLIC ROAD RIGHT OF WAY:	0.39 AC.
h. APPROXIMATE AREA OF LIMIT OF DISTURBANCE:	8.12 AC.
- UNIT/LOT TABULATION:**

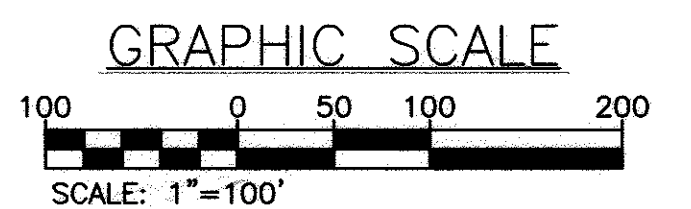
a. TOTAL NUMBER OF TOWNHOUSE LOTS PROPOSED ON THIS SUBMISSION:	7 LOTS
b. TOTAL NUMBER OF CONDO UNITS:	90 UNITS
c. TOTAL NUMBER OF OPEN SPACE LOTS PROPOSED:	0
d. TOTAL NUMBER OF NON-CREDITED OPEN SPACES:	N/A

PARKING TABULATION

REQUIRED	PROVIDED
2 SPACES PER UNIT: 90 UNITS X 2.3 SPACES = 207	26 SPACES X 3 BLDGS. = 78
2 SPACES PER TOWNHOUSE: 7 UNITS X 2.3 SPACES = 17	REGULAR PARKING SPACES: 140
TOTAL REQUIRED: 224 SPACES	HANDICAP SPACES: 8
	TOTAL PROVIDED: 226 SPACES

INDEX OF DRAWINGS

1	C-0.01	TITLE SHEET
2	C-0.02	EXISTING CONDITIONS PLAN
3	C-1.00	OVERALL SITE PLAN
4	C-1.01	DETAILED SITE PAGE 1
5	C-1.02	DETAILED SITE PAGE 2
6	C-1.03	LANDSCAPING PLAN
7	C-1.04	LANDSCAPING DETAILS
8	C-1.05	SITE DETAILS
9	C-1.06	SITE DETAILS
10	C-2.00	STORMWATER MANAGEMENT PLAN
11	C-2.01	OVERALL DRAINAGE AREA MAPS
12	C-2.02	INLET DRAINAGE AREA MAP
13	C-4.00	ROAD PROFILE



OWNER
COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
LUTHERVILLE-TIMONIUM, MD 21093
(410)-825-8400

ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
KCI TECHNOLOGIES
11850 WEST MARKET PLACE, SUITE A
FOLSON, MD 20759
TELEPHONE: (410) 792-8086
FAX: (410) 792-7419

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO.	DATE	REVISIONS DESCRIPTION	BY	DATE
	2-02-2017			

SCALE: 1"=100'

DESIGNED BY: NAB
DRAWN BY: BRA

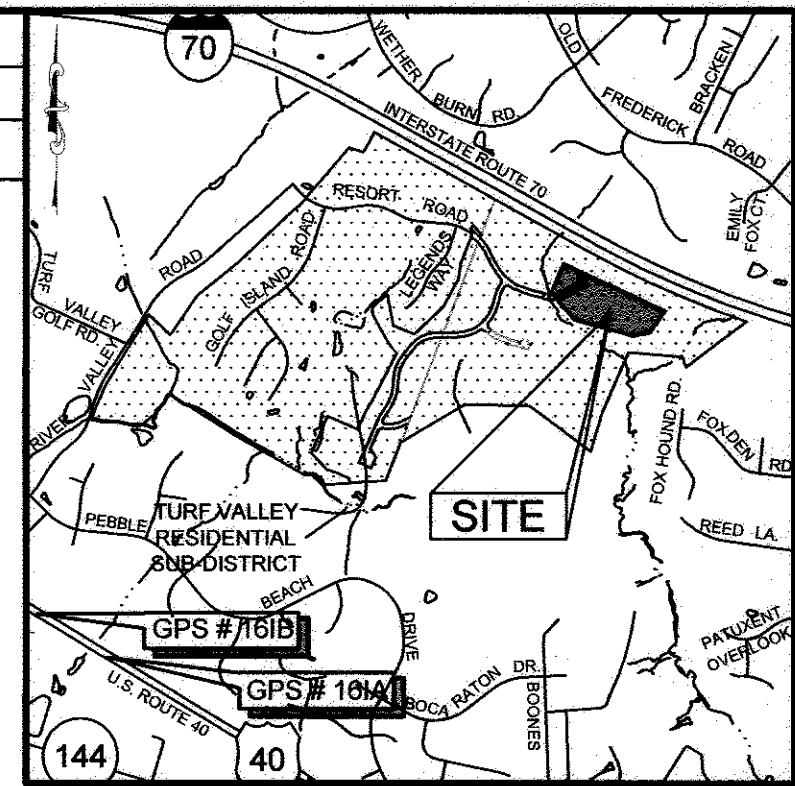
RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN

TITLE SHEET
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2017

DRAWING NO. C-0.01
SHEET 1 OF 13
KCI JOB NUMBER 131600843

POINT	NORTHING	EASTING	ELEVATION
#16B	590,475.2538	1,344,753.9350	469.892
#16A	598,435.249	1,348,615.2482	508.469



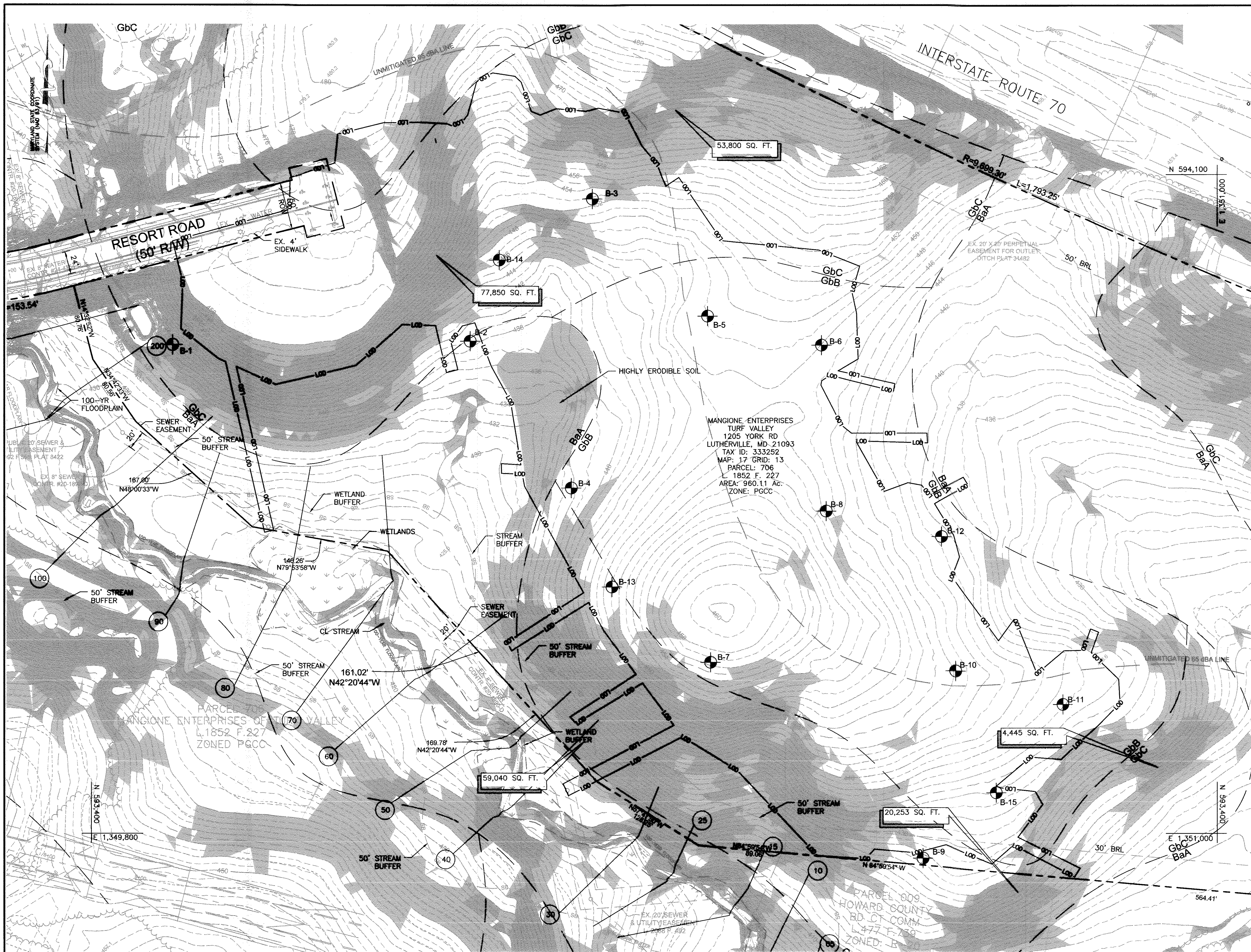
VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 20, GRID A4

LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - 260 EXISTING CONTOUR
- - - EXISTING TREELINE
- - - EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- BaA SOILS LINE
- GbC SOILS LINE
- LOD LIMIT OF DISTURBANCE
- SB 50' STREAM BUFFER
- ▭ WETLANDS
- ⊕ BORING LOCATION
- STEEP SLOPES/HIGHLY ERODIBLE SOILS (GREATER THAN 20% SLOPES)
- HIGHLY ERODIBLE SOILS
- 10 FLOODPLAIN CROSS SECTIONS (SEE FLOODPLAIN REPORT)

SOILS TABLE

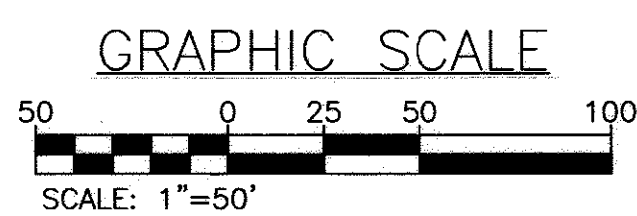
SYMBOL	DESCRIPTION	HYDROLOGIC SOILS GROUP	K-VALUE
BaA	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	D	0.43
GbC	GLADSTONE LOAM, 8 TO 15 PERCENT SLOPES	B	0.28
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT	B	0.28



EXISTING CONDITIONS

SCALE: 1"=50'

NOTE:
TOTAL AREA INSIDE LOD = 8.12 AC.
TOTAL IMPERVIOUS AREA = 0.05 AC.
TOTAL OPEN SPACE/PERVIOUS AREA = 8.07 AC.



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
DATE: 3-29-17

OWNER
COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
LUTHERVILLE-TIMONIUM,
MD 21093
(410)-825-8400

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PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
KCI
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11850 WEST MARKET PLACE,
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APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS			
NO.	DATE	DESCRIPTION	BY

DATE: 2-02-2017
SCALE: 1"=50'
DESIGNED BY: NAB
DRAWN BY: BRA

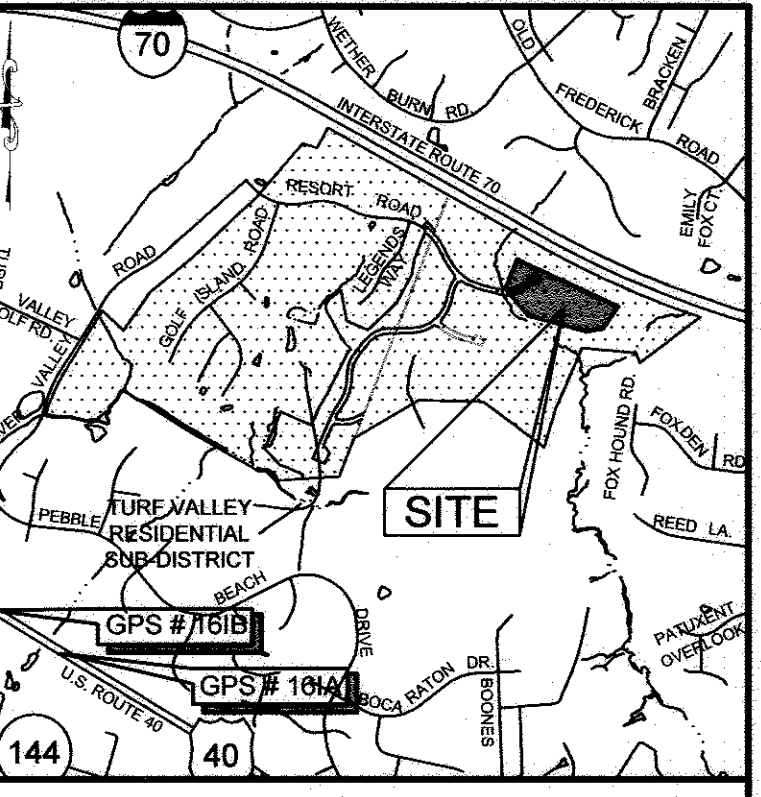
RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
EXISTING CONDITIONS

ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
HOWARD COUNTY, MARYLAND

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DRAWING NO. C-0.02
SHEET 2 OF 13
KCI JOB NUMBER 131600843

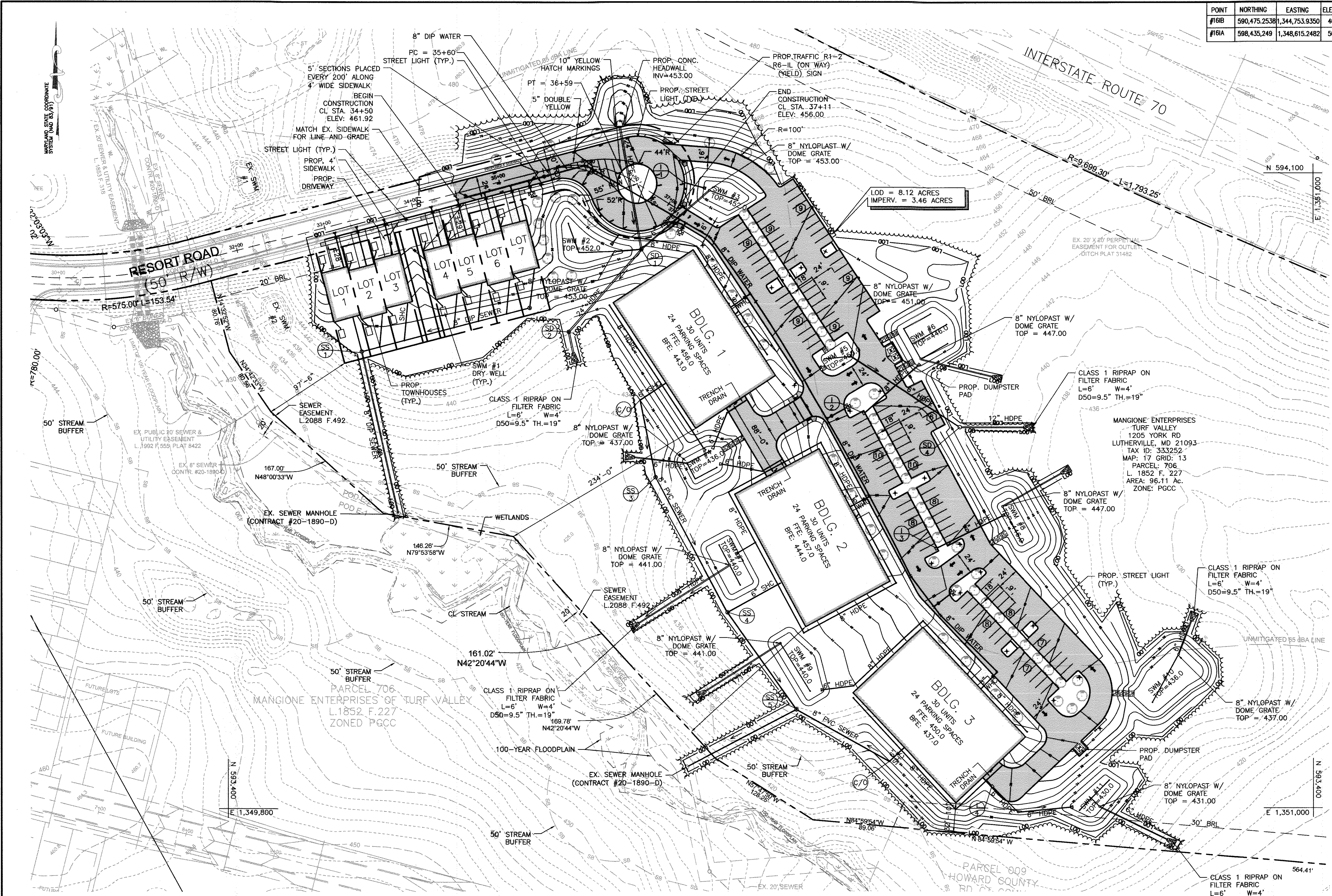
POINT	NORTHING	EASTING	ELEVATION
#161B	590,475.25381	1,344,753.9350	469.892
#161A	598,435.249	1,348,615.2482	508.469



VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 20, GRID A4

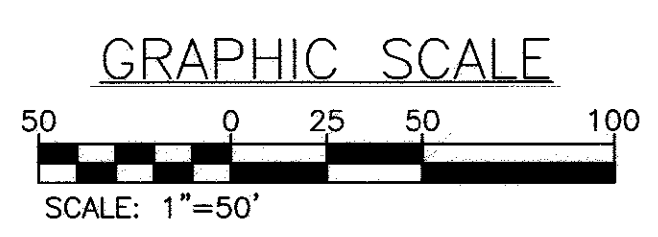
LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EXISTING BUILDING LINE
- 260 --- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- PROPOSED IMPERIOUS PAVEMENT
- LOD --- LIMIT OF DISTURBANCE
- GNB --- SOILS LINE
- MaC ---
- SB --- 50' STREAM BUFFER
- ⊕ PROP. STREET LIGHT



SITE PLAN
SCALE: 1"=50'

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
DATE: 3-29-17



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APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
CHIEF, DIVISION OF LAND-DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS		DATE
NO.	DESCRIPTION	BY

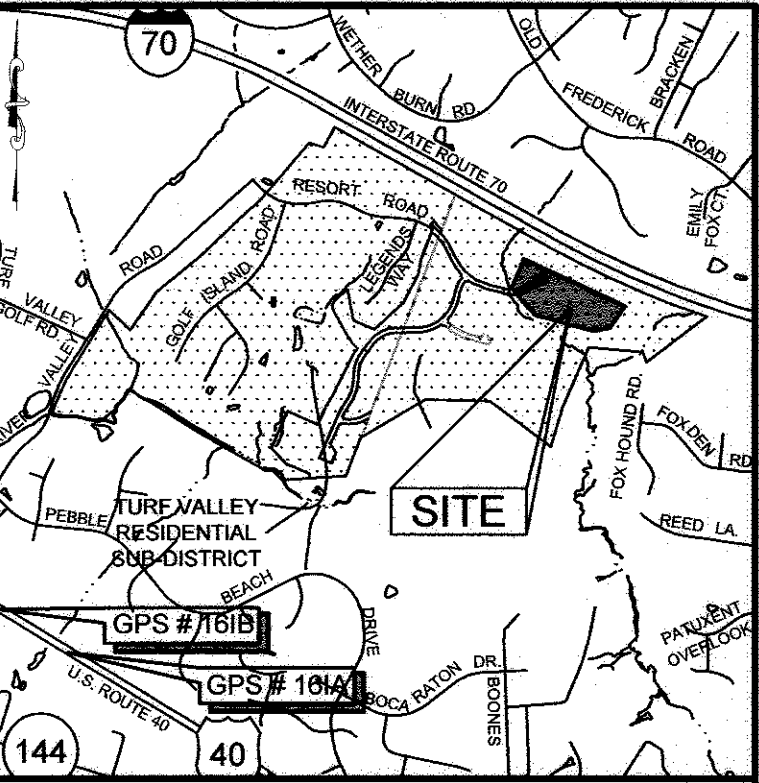
RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
OVERALL SITE PLAN
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
HOWARD COUNTY, MARYLAND

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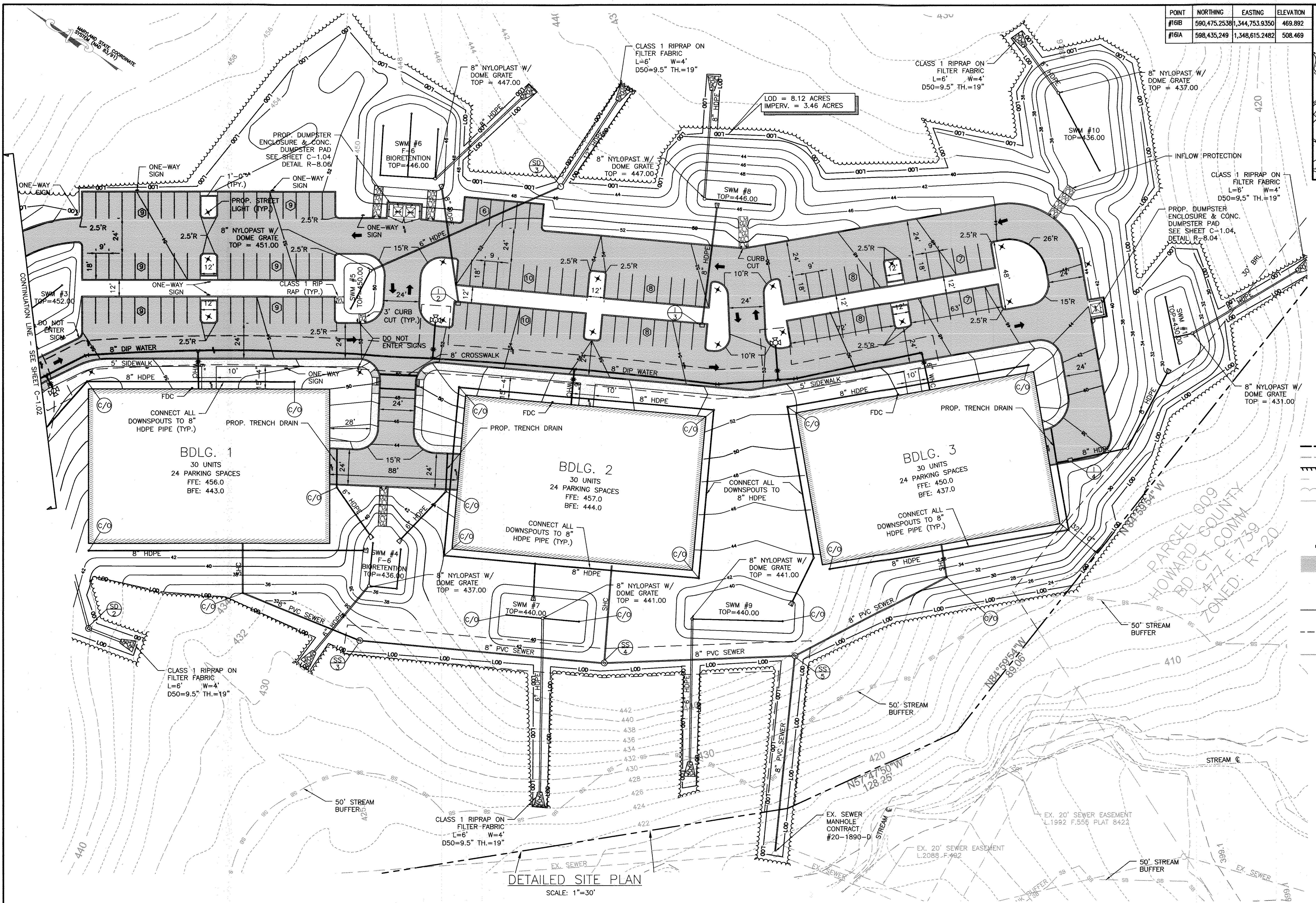
SEAL: [Professional Engineer Seal]

DRAWING NO. C-1.00
SHEET 3 OF 13
KCI JOB NUMBER 131600843

POINT	NORTHING	EASTING	ELEVATION
#161B	590,475.2538	1,344,753.9350	469.892
#161A	598,435.249	1,348,615.2482	508.469



VICINITY MAP
SCALE: 1" = 200'
ADC MAP 20, GRID A4

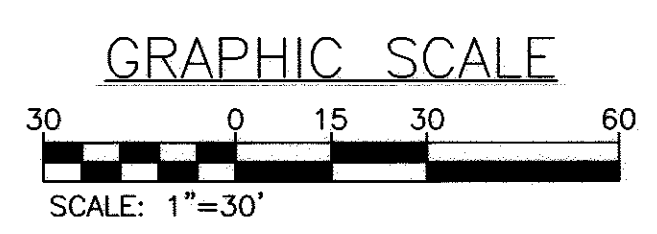


LEGEND

- PROPERTY LINE
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- - - EXISTING BUILDING LINE
- - - 260 EXISTING CONTOUR
- - - EXISTING TREELINE
- - - EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- ⊙ + PROPOSED STREET LIGHT
- PROPOSED IMPERIOUS PAVEMENT
- PROPOSED CONCRETE WALK
- LOD LIMIT OF DISTURBANCE
- - - GNB SOILS LINE
- - - MaC SOILS LINE
- - - SB 50' STREAM BUFFER

DETAILED SITE PLAN
SCALE: 1"=30'

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
DATE: 3-29-17
PLANNING DIRECTOR



OWNER
COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
LUTHERVILLE-TIMONIUM, MD 21093
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ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
KCI TECHNOLOGIES
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FAX: (410) 792-7419

APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS		DATE
NO.	DESCRIPTION	BY

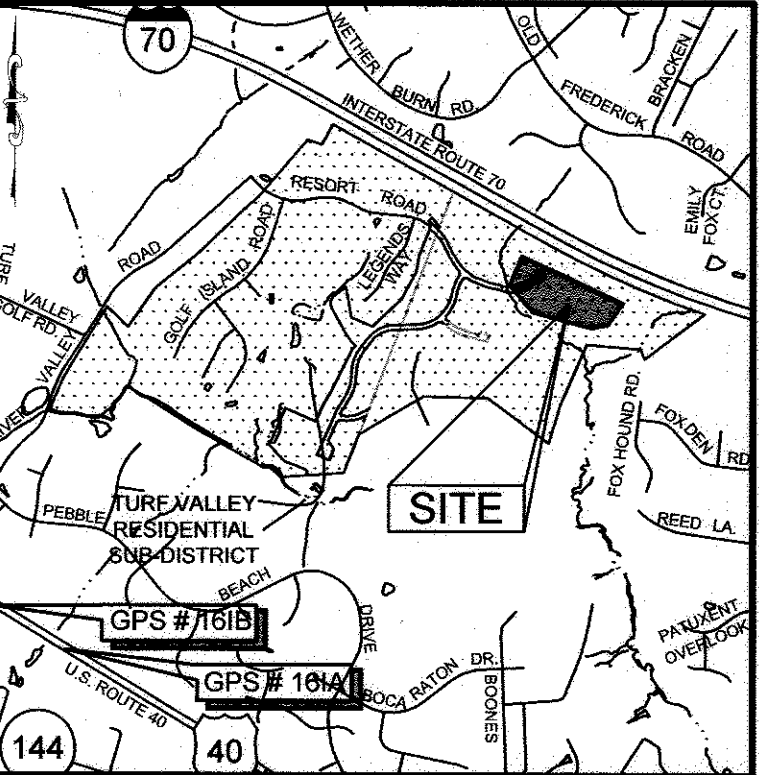
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DESIGNED BY: NAB
DRAWN BY: BRA

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
DETAILED SITE PLAN
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401 HOWARD COUNTY, MARYLAND
SECOND ELECTION DISTRICT

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2017

DRAWING NO. C-1.01
SHEET 4 OF 13
KCI JOB NUMBER 131600843
DATE: 2/1/17

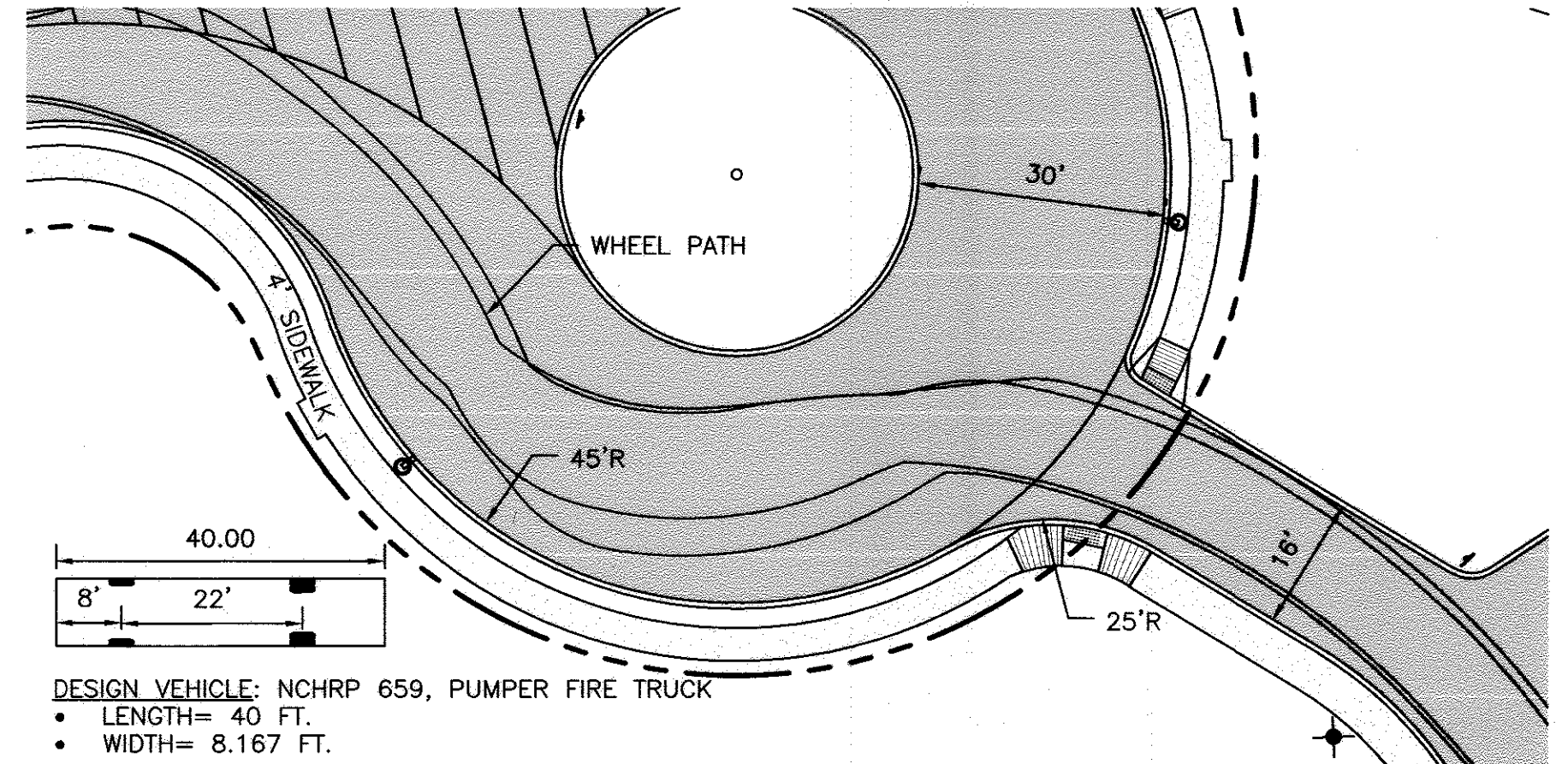
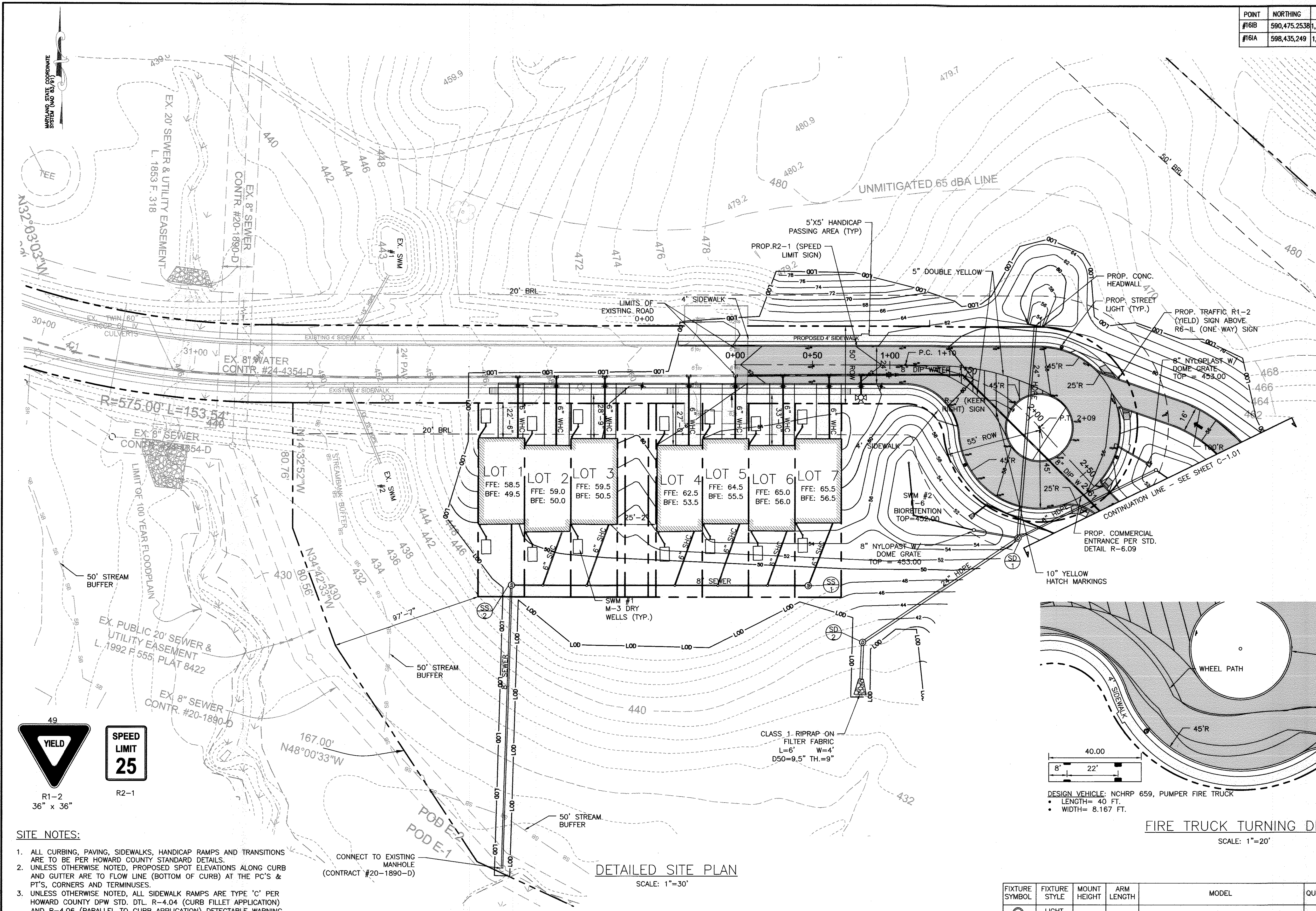
POINT	NORTHING	EASTING	ELEVATION
#161B	590,475.2538	1,344,753.9350	469.892
#161A	598,435,249	1,348,615.2482	508.469



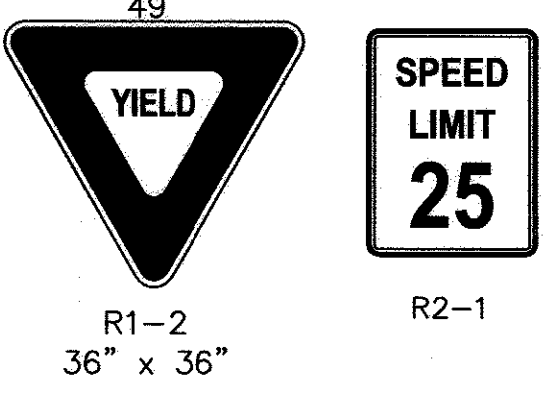
VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 20, GRID A4

LEGEND

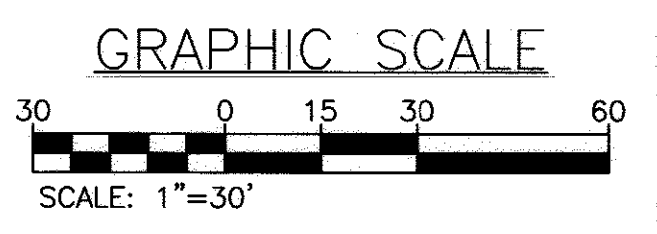
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- ⊙ PROPOSED STREET LIGHT
- PROPOSED IMPERIOUS PAVEMENT
- PROPOSED CONCRETE WALK
- LOD --- LIMIT OF DISTURBANCE
- G_nB --- SOILS LINE
- ⬇ PROPOSED TRAFFIC SIGN
- SB --- 50' STREAM BUFFER



FIRE TRUCK TURNING DETAIL
SCALE: 1"=20'



- SITE NOTES:**
- ALL CURBING, PAVING, SIDEWALKS, HANDICAP RAMPS AND TRANSITIONS ARE TO BE PER HOWARD COUNTY STANDARD DETAILS.
 - UNLESS OTHERWISE NOTED, PROPOSED SPOT ELEVATIONS ALONG CURB AND GUTTER ARE TO FLOW LINE (BOTTOM OF CURB) AT THE PC'S & PT'S, CORNERS AND TERMINUSES.
 - UNLESS OTHERWISE NOTED, ALL SIDEWALK RAMPS ARE TYPE 'C' PER HOWARD COUNTY DPW STD. DTL. R-4.04 (CURB FILLET APPLICATION) AND R-4.06 (PARALLEL TO CURB APPLICATION) DETECTABLE WARNING TRUNCATED DOMES ARE PER HOWARD COUNTY DPW STD. DTL. R-4.07.
 - ALL ON-SITE STORM DRAIN SYSTEMS ARE PRIVATELY MAINTAINED. ALL ON-SITE SEWERS ARE PRIVATELY MAINTAINED.
 - ALL CURB RADII ARE MEASURED FROM FACE OF CURB AT FLOW LINE. ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (CURB, BLDG, ETC.) UNLESS OTHERWISE NOTED.



FIXTURE SYMBOL	FIXTURE STYLE	MOUNT HEIGHT	ARM LENGTH	MODEL	QUANTITY
⊙	LIGHT POLE	30'-0"	6'-0"	LED-150, 30' BRONZE FIBERGLASS POLE	3
⬇	LIGHT POLE	14'-0"	-	LED-100 COLONIAL POST-TOP FIXTURE MOUNTED ON 14' FIBERGLASS POLE	2

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2017

OWNER
COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
LUTHERVILLE-TIMONIUM,
MD 21093
(410)-825-8400

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
KCI
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11850 WEST MARKET PLACE,
SUITE A
FULTON, MD 20759
TELEPHONE: (410) 792-8086
FAX: (410) 792-7419

APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO.	DATE	REVISIONS DESCRIPTION	BY

DATE: 2-02-2017
SCALE: 1"=30'
DESIGNED BY: NAB
DRAWN BY: BRA

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
DETAILED SITE PLAN

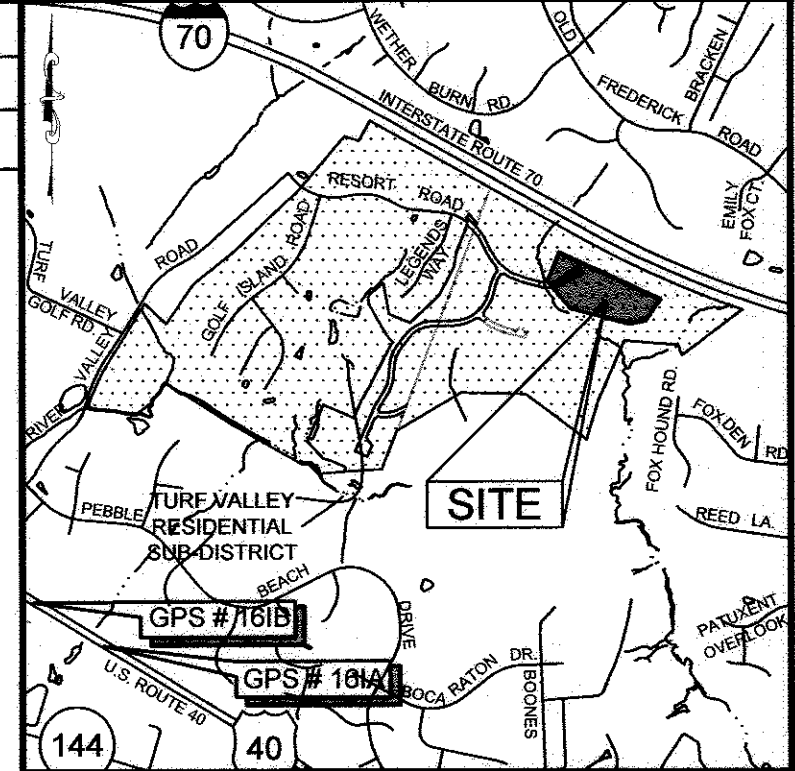
ZONING: PGCC
TAX ACCOUNT # 533524
TAX MAP: 10 GRID: 10 PARCEL: 401
HOWARD COUNTY, MARYLAND

SEAL: [Professional Engineer Seal]
DRAWING NO.: C-1.02
SHEET 5 OF 13
KCI JOB NUMBER: 131600843

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

3-29-17
PLANNING DIRECTOR DATE

POINT	NORTHING	EASTING	ELEVATION
#16B	590,475.2538	1,344,753.9350	469.892
#16A	598,435,249	1,348,615.2482	508.469



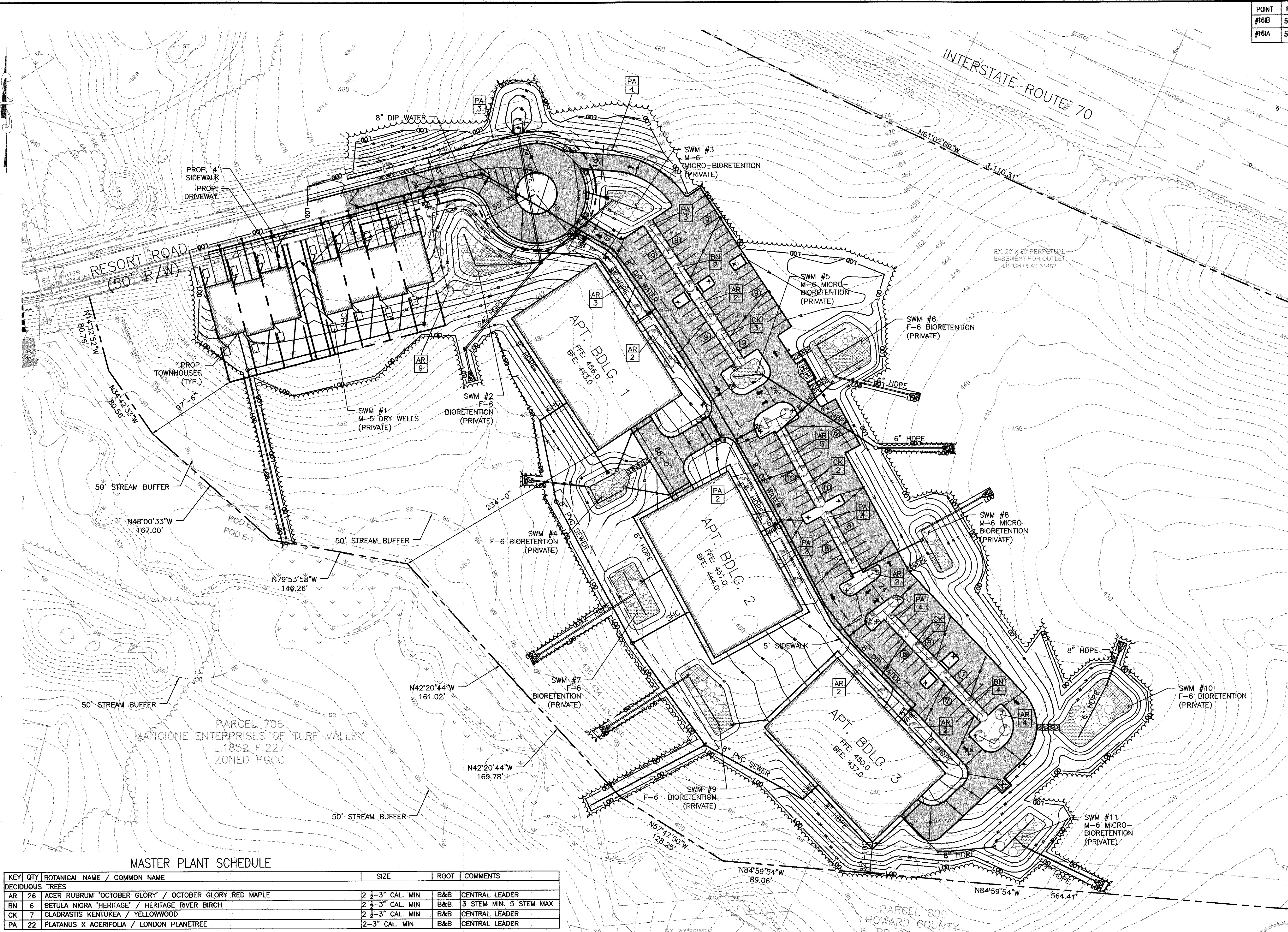
VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 20, GRID A4

LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- EXISTING BUILDING LINE
- - - 260 EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- PROPOSED IMPERIOUS PAVEMENT
- LOD LIMIT OF DISTURBANCE
- - - GNB SOILS LINE
- - - MaC
- SB 50' STREAM BUFFER
- ⊙ + PROPOSED STREET LIGHT

SITE NOTES:

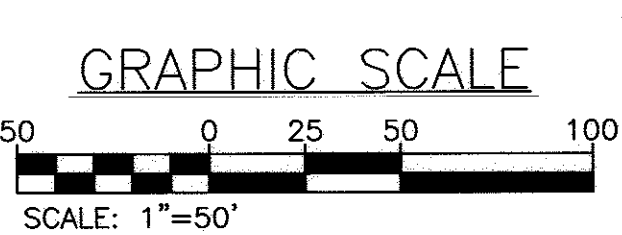
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MASTER PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME / COMMON NAME	SIZE	ROOT	COMMENTS
DECIDUOUS TREES					
AR	26	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL. MIN	B&B	CENTRAL LEADER
BN	6	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	2 1/2" - 3" CAL. MIN	B&B	3 STEM MIN. 5 STEM MAX
CK	7	CLADRASTIS KENTUCKEA / YELLOWWOOD	2 1/2" - 3" CAL. MIN	B&B	CENTRAL LEADER
PA	22	PLATANUS X ACERIFOLIA / LONDON PLANETREE	2-3" CAL. MIN	B&B	CENTRAL LEADER

SITE PLAN
SCALE: 1" = 50'



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
3-29-17
PLANNING DIRECTOR

OWNER
COMMERCIAL CONTRACTORS INC.
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APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS		DATE
NO.	DESCRIPTION	BY

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
LANDSCAPING PLAN
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 801
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

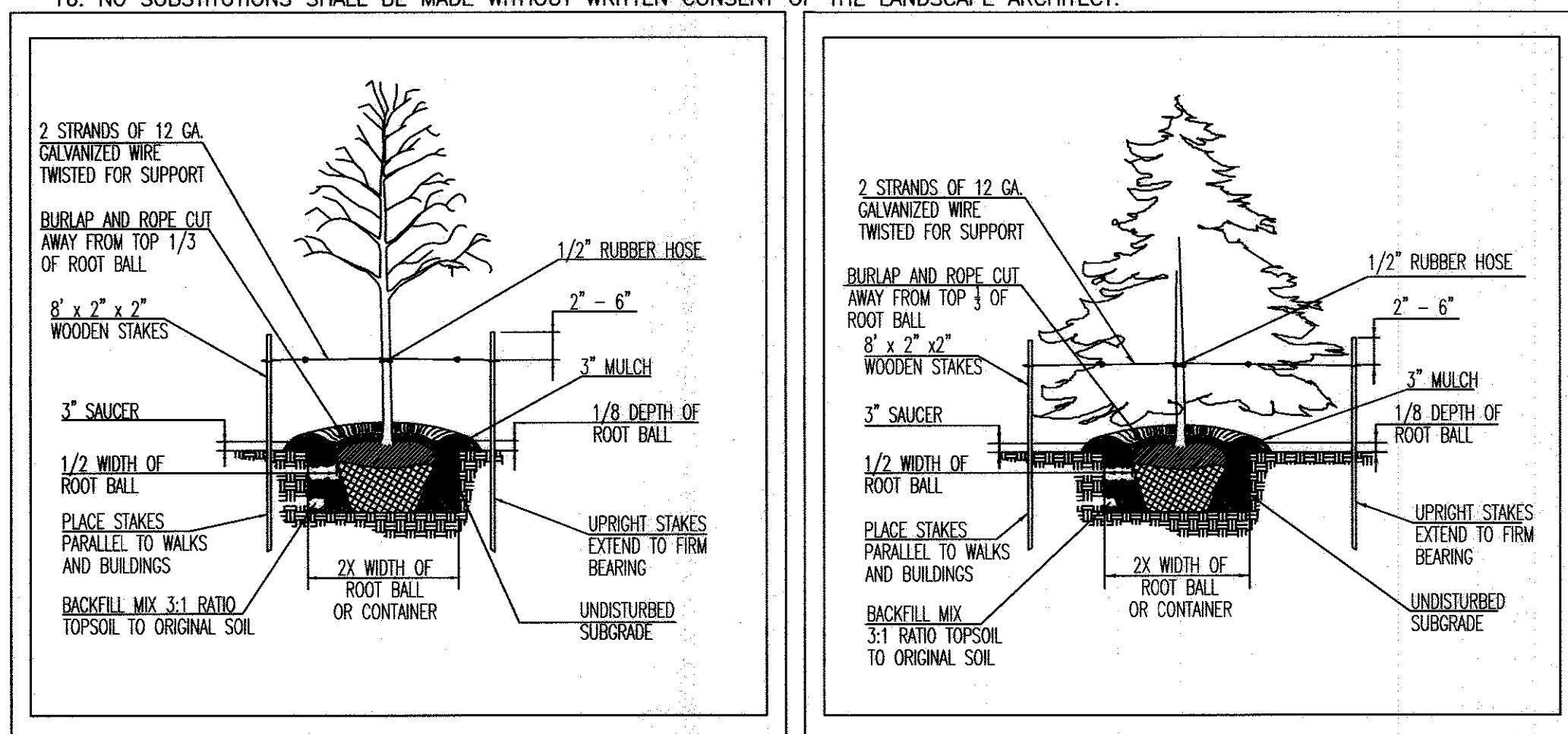
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SEAL OF MARYLAND PROFESSIONAL ENGINEER
DRAWING NO. C-1.03
SHEET 6 OF 13
KCI JOB NUMBER 131600843
2/1/17

GENERAL PLANTING NOTES

- THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OR LANDSCAPE ARCHITECT OF ANY DEVIATION FROM THE PLANS PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION OF THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER OR LANDSCAPE ARCHITECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER OR LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT WRITTEN PERMISSION OF THE ENGINEER OR LANDSCAPE ARCHITECT, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- IF A CONFLICT EXISTS BETWEEN DRAWINGS (AND/OR SPECIFICATIONS), THE MORE STRINGENT AND MORE COSTLY REQUIREMENT SHALL APPLY. ITEMS SHOWN ON THE DRAWINGS, BUT NOT SPECIFIED, SHALL APPLY AND BE FURNISHED AND INSTALLED BY THE CONTRACTOR. IF ANY ITEM IS SHOWN ON THE DRAWINGS, BUT NOT INCLUDED IN THE SPECIFICATIONS, PROVIDE ITEM OF QUALITY LEVEL CONSISTENT WITH THE GENERAL QUALITY LEVEL OF THE CONTRACT REQUIREMENTS. BRING CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS TO THE ATTENTION OF THE ENGINEER OR LANDSCAPE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT EXISTING OR PROPOSED DRAINAGE PATTERNS.
- DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE REMOVED DAILY FROM THE SITE. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE REFILLED WITH FERTILE, FRIABLE SOIL REPLACED AND COMPACTED SO AS TO REESTABLISH PROPER GRADE FOR NEW PLANTING.
- THE CONTRACTOR SHALL CONTACT "MISS UTILITY" FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE LANDSCAPE INSTALLATION.
- THE CONTRACTOR SHALL NOTIFY THE FACILITY MANAGER, OR OWNER, A MINIMUM OF THREE WORKING DAYS PRIOR TO PLANTING AND CONSTRUCTION FOR AS-BUILT DRAWINGS FOR UNDERGROUND UTILITIES AND IRRIGATION SYSTEM LINES, VALVES, LATERALS AND DRIP TUBING.
- THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. HAND EXCAVATE TO FULL DEPTH OF INSTALLATION OR UNTIL UTILITY IS FOUND.
- IF UTILITY LINES ARE ENCOUNTERED IN THE EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, LIGHTING, TRELLISES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONNEL OR PROPERTY WHICH MAY OCCUR AS A CONSEQUENCE OF THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL STAKE ALL INDIVIDUAL SPECIMEN MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. SHRUBS AND TREES SHALL BE STAKED WITH COLOR CODED WIRE SURVEY FLAGS. SURVEYOR GROUND PAINT SHALL BE USED TO MARK OUT GROUNDCOVER BEDS. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PLANTING.
- PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK", PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCES BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED. REFERENCE "ANSI Z60.1-2004" (OR MOST CURRENT DOCUMENT AVAILABLE AT WWW.ANLA.ORG).

TYPE 1 TREE SPECIFICATIONS, MAJOR TREES				
SPECIES EXCEPTIONS OR MODIFICATIONS MUST BE APPROVED				
CALIPER	MINIMUM NUMBER OF BRANCHES OFF OF MAIN STEM	HEIGHT RANGE	WIDTH	CLEARANCE FROM GROUND TO FIRST BRANCH
1 IN.	8	8-10 FT.	3 TO 4 FT.	3 FT.
2 IN.	16	12-14 FT.	5 TO 6 FT.	4 FT.
2.5 IN.	18	12-14 FT.	6 TO 8 FT.	5 FT.
3 IN.	36	14-16 FT.	6 TO 8 FT.	5 FT.
4 IN.	45	16-18 FT.	8 TO 10 FT.	5 FT.
5 IN.	SUBJECT TO REVIEW AT PLACE OF GROWTH, OR PHOTOGRAPH			

- ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHER-PROOF LABELS, SECURELY ATTACHED BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE. CONTAINERIZED GROUND COVER SHALL BE PROVIDED IN SPECIFIED SIZE CONTAINERS, FULL GROWTH TO AT LEAST CONTAINER SIZE WITH FULLY DEVELOPED, BUT NOT POT BOUND ROOT SYSTEMS AND FREE OF INSECT OR FUNGUS INFESTATIONS.
- ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER IF IT DOES NOT MEET THE REQUIREMENTS OF THESE NOTES AND THE PROJECT SCOPE AND SEQUENCE. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

- ALL SHRUB AND GROUND COVER BEDS SHALL BE PLANTED IN CONTINUOUS PREPARED PLANTING BEDS.
- ALL SHRUB BEDS AND PERENNIALS SHALL BE MULCHED WITH SHREDDED AND FULLY COMPOSTED HARDWOOD MULCH FREE OF COLOR DYE AS DETAILED AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.
- INSTALLATION CONTRACTOR MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE SHALL INCLUDE WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUOUS MAINTENANCE, FOR AN ADDITIONAL COST, FOR A PERIOD OF ONE YEAR AFTER THE DATE OF THE "CERTIFICATE OF SUBSTANTIAL COMPLETION." THE CONTRACTOR WILL BE RESPONSIBLE FOR ITEMS LOST BY THEFT, "ACTS OF GOD," VANDALISM OR ANY CONDITION AFFECTING THE LANDSCAPE PRODUCT NOT SPECIFICALLY RELATED TO THE OWNER OR OTHER SITE CONTRACTOR DAMAGE UP TO DATE OF THE ISSUANCE OF A "CERTIFICATE OF SUBSTANTIAL COMPLETION."
- UPON COMPLETION OF ALL LANDSCAPING FOR EACH PHASE OF WORK, AN INSPECTION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL NOT KNOWINGLY INSTALL PLANTS IN SOIL OR DRAINAGE CONDITIONS THAT ARE NOT CONDUCTIVE TO PLANT SURVIVAL. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR SOIL TEXTURE MODIFICATIONS, SOIL PH MODIFIERS OR ADDITION OF MACRO AND MICRO NUTRIENTS WHICH MAY REQUIRE MODIFICATION OF THE SPECIFIED PLANTING MIX, SPECIFIED HEREIN.
- QUICK SOIL TESTING AND PLANTING MIX DESIGN CAN BE PROVIDED BY A & L LABORATORIES (800-264-4522), 2790 WHITTEN ROAD, MEMPHIS, TN 38133. PROVIDE SOIL PLANTING MIX FROM SPECS AND ASK FOR COMMENTS FOR ALTERING MIX, IF APPROPRIATE. MULTIPLE SAMPLES MIGHT BE REQUIRED FOR LARGE JOBS WITH VARYING SOIL CONDITIONS. PROVIDE ONE REPORT FOR EACH 10,000 SF OF LANDSCAPE. MINIMUM SOIL SAMPLES SHALL BE TAKEN AT 1 INCH AND 6 INCH DEPTHS FROM AT LEAST 4 LOCATIONS. THESE SAMPLES SHOULD THEN BE MIXED AND SUBMITTED TO THE LAB AS A SINGLE SAMPLE.
- PLANTING MIX - ADJUST AS RECOMMENDED BY THE SOIL LABORATORY.
 - PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL. MIX MINIMUM QUANTITIES OF 20 CUBIC YARDS OR SUFFICIENT MIX FOR ENTIRE JOB IF LESS THAN 20 CUBIC YARDS IS REQUIRED.
 - THOROUGHLY MIXED IN THE FOLLOWING PROPORTIONS FOR TREE AND SHRUB PLANTING MIX:
 - 0.5 CY EXISTING SOIL
 - 0.2 CY SHARP SAND
 - 0.3 CY WOOD RESIDUALS (MUST BE BROKEN DOWN BY AT LEAST TWO YEARS DECOMPOSITION)
 - 4.5 LBS TREBLE SUPERPHOSPHATE (0-46-0)
 - 5.0 LBS DOLOMITIC LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
 - FOR PLANTING BEDS, SHRUB AND GROUND COVER INCORPORATE THE FOLLOWING INGREDIENTS PER 20 SF AND INCORPORATE INTO TOP 8 INCHES OF EXISTING SOILS BY ROTOTILLING OR SIMILAR METHOD OF INCORPORATION.
 - 0.1 CY SHARP SAND
 - 0.2 CY ORGANIC MATERIAL
 - 4.5 LBS TREBLE SUPERPHOSPHATE (0-46-0)
 - 5.0 LBS DOLMONITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
 - IF SOIL TESTS RESULTS AND TESTING LAB RECOMMENDATIONS CONFLICT WITH THE SPECIFIED SOIL MIX THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REVIEW, ALTERATION APPROVAL.
 - THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT / OWNER A 1 CF SAMPLE OF SPECIFIED MIXES AND LAB REPORTS PRIOR TO USE.

24. WARRANTY: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWELVE MONTHS FROM THE DATE OF ACCEPTANCE IN WRITING BY THE OWNER OR BY ISSUANCE OF AN AIA STANDARD FORM "CERTIFICATE OF SUBSTANTIAL COMPLETION." THIS CERTIFICATE WILL BE ISSUED AFTER FINAL INSPECTION BY THE LANDSCAPE ARCHITECT. IF THE LANDSCAPE ARCHITECT IS SATISFIED THAT THE PROJECT IS SUBSTANTIALLY COMPLETE, THE CERTIFICATE WILL BE PREPARED WITH AN INSPECTION DATE AND CONDITIONS WHICH MUST BE SATISFIED IN A SPECIFIC PERIOD OF TIME (GENERALLY 30 DAYS). IF THESE CONDITIONS ARE NOT MET, THE CERTIFICATE MAY BE REVOKED AND A NEW INSPECTION WILL BE REQUIRED AND THE WARRANTY PERIOD SHALL BE EXTENDED ACCORDINGLY. OTHER INSPECTIONS MAY BE APPROPRIATE TO VERIFY COMPLIANCE WITH THE PUNCH LIST. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR A ONE-TIME REPLACEMENT ONLY. REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE AND QUALITY AS THE ORIGINAL SPECIES UNLESS OTHERWISE NEGOTIATED.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- LAWN AREAS SHALL BE MOWED TO A HEIGHT OF 2 TO 3 INCHES AND NOT ALLOWED TO REACH A HEIGHT OF 4 INCHES BEFORE MOWING.
- ALL CURBS AND WALKS SHALL BE EDGED AS NEEDED.
- ALL LAWN AREAS ADJACENT TO BUILDING FACES OR STRUCTURES SHALL BE TRIMMED.
- A SLOW RELEASE NITROGEN BALANCED FERTILIZER WITH A 2-1-1 RATIO SHALL BE APPLIED AT A RATE OF 2 POUNDS OF NITROGEN PER 1000 SQUARE FEET IN SEPTEMBER, OCTOBER, AND FEBRUARY.
- LIME SHALL BE APPLIED AT THE RATE DETERMINED BY A SOILS REPORT.
- IT IS RECOMMENDED THAT THE LAWN AREAS BE TREATED IN MID-MARCH TO EARLY APRIL WITH PRE-EMERGENT HERBICIDE (BETASAN) OR EQUAL APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE.
- A POST-EMERGENT HERBICIDE (TRIMEC) OR EQUAL IS RECOMMENDED TO BE SPRAYED ON LAWN AREAS IN THE LATE SPRING OR THE EARLY FALL. FOLLOW MANUFACTURER'S RATES AND RECOMMENDATIONS.
- INSECTICIDES AND FUNGICIDES ARE RECOMMENDED FOR INSECT AND DISEASE CONTROL.
- RE-SEED BARE AREAS OF LAWN AS NECESSARY. YEARLY AERATION IS RECOMMENDED.
- ALL TRASH, LITTER, AND DEBRIS SHALL BE REMOVED FROM LAWN AREAS, PARKING LOTS, AND SHRUB BEDS AS NEEDED.
- MULCH ALL SHRUB BEDS AND TREES YEARLY WITH 3 INCHES OF SHREDDED HARDWOOD BARK MULCH FREE OF COLOR DYE. BARK SHOULD BE PULLED AWAY FROM THE TRUNK / ROOT COLLAR.
- MULCH ALL PERENNIAL, ORNAMENTAL GRASS AND ANNUAL BEDS YEARLY WITH 2 INCHES OF SHREDDED HARDWOOD BARK MULCH FREE OF COLOR DYE.
- PERMIT SHRUBS AND TREES TO GROW AND ENLARGE TO THEIR DESIGN SIZE. CONSULT PROJECT LANDSCAPE ARCHITECT FOR DETAILS.
- PRUNE TREES IN ACCORDANCE WITH LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS.
- THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PUS OR THE REMOVAL OF ANY INSTALLED PUS IS A VIOLATION OF THIS CHAPTER.
- ACCEPTABLE PLANT SURVIVAL SHALL BE DEFINED AS NOT MORE THAN 1/3 MORTALITY. A 12 MONTH INSPECTION WILL BE PERFORMED BY THE COUNTY. NO INSPECTIONS SHALL BE FINALIZED FROM NOVEMBER 1ST TO MARCH 1ST.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
3-29-17
DATE

OWNER
COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
LUTHERVILLE-TIMONIUM,
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APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS		DATE
NO.	DESCRIPTION	BY

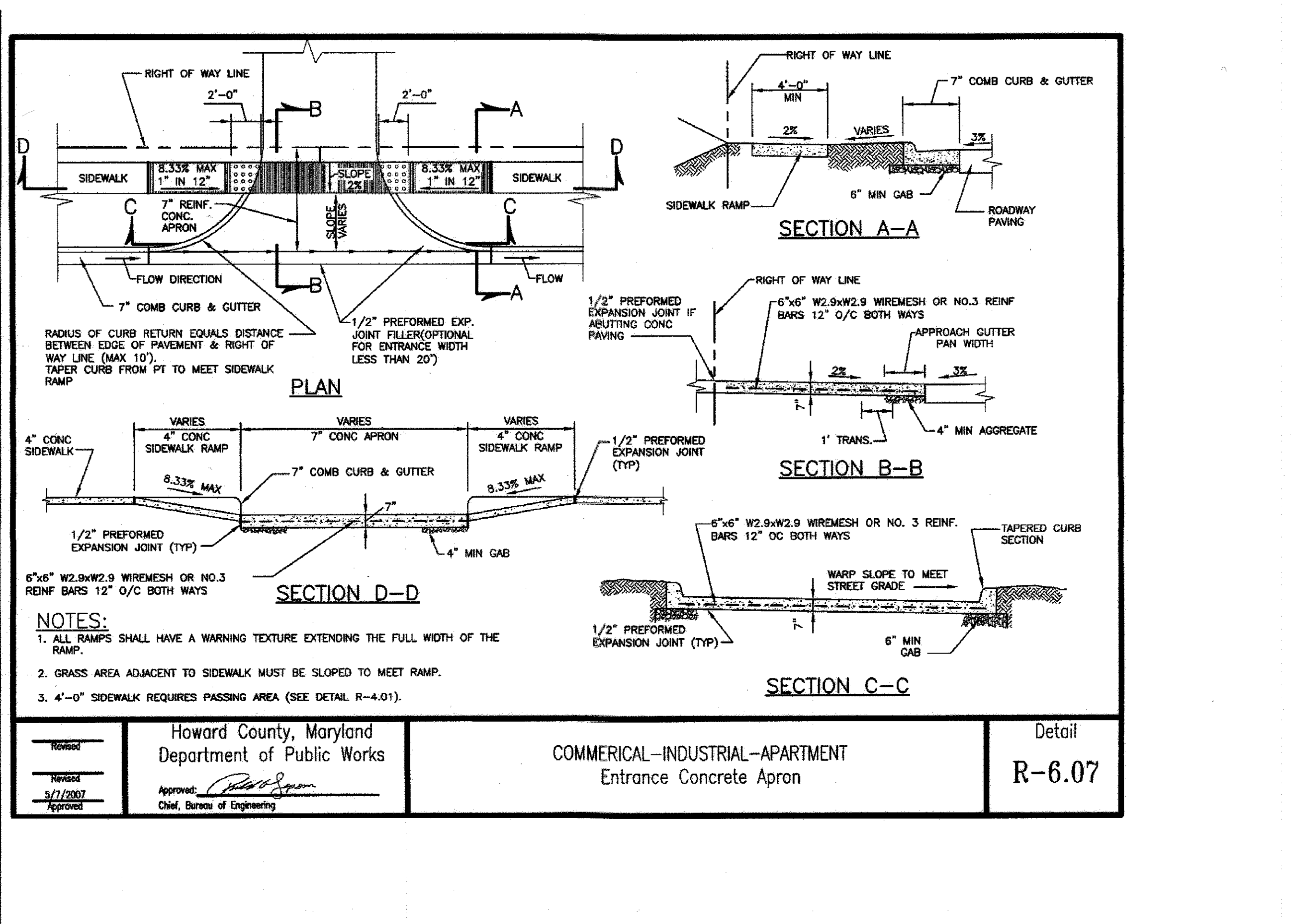
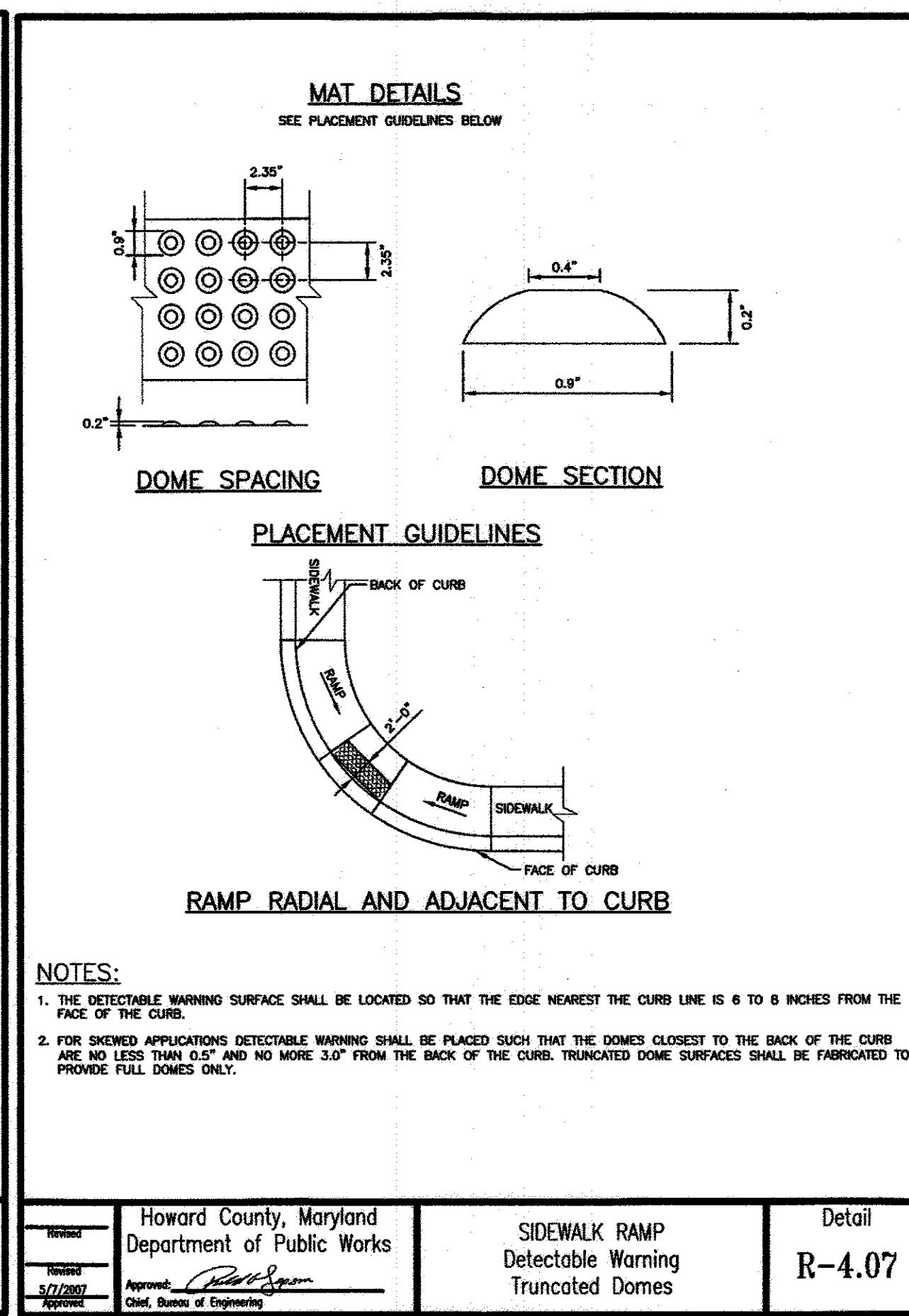
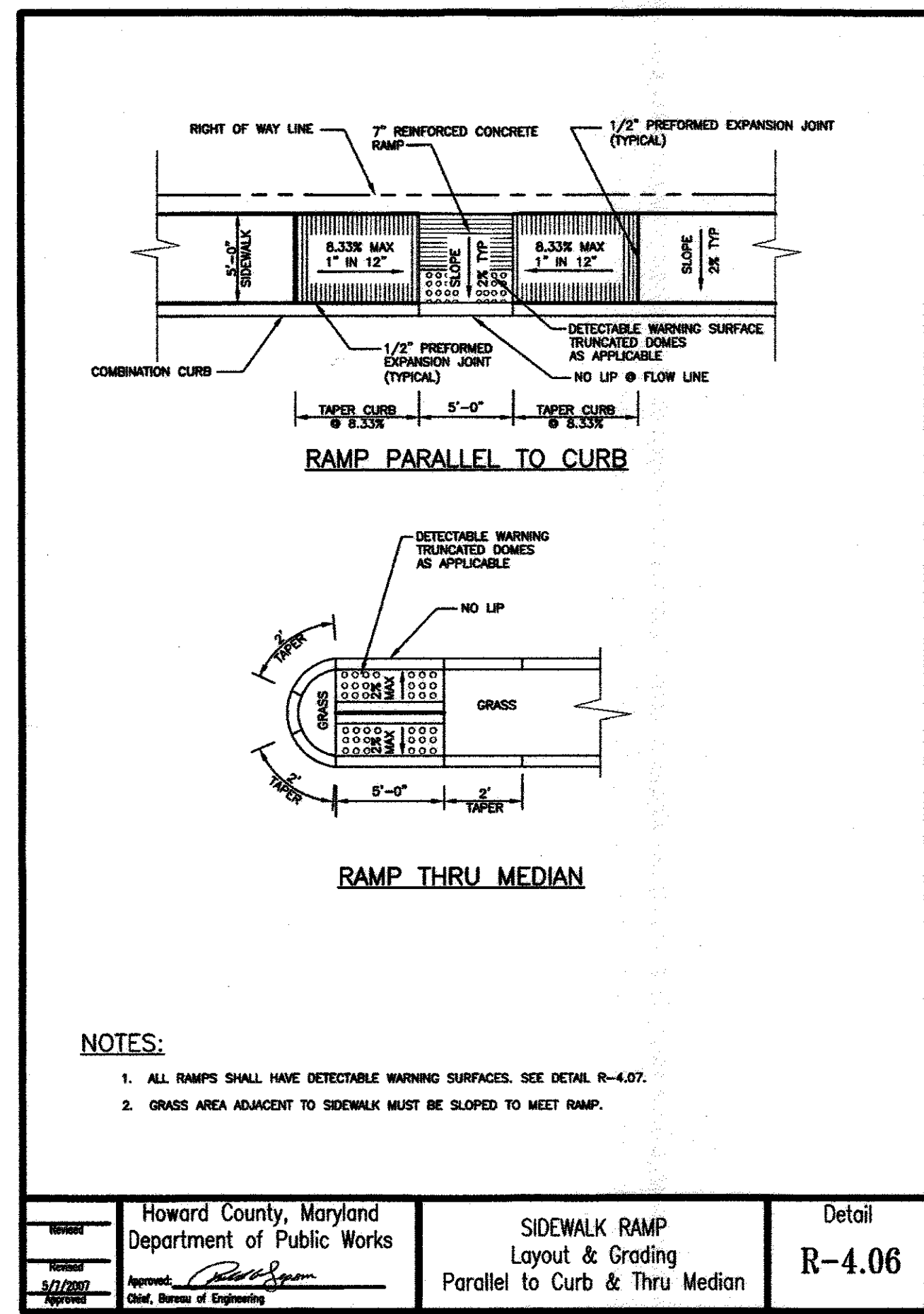
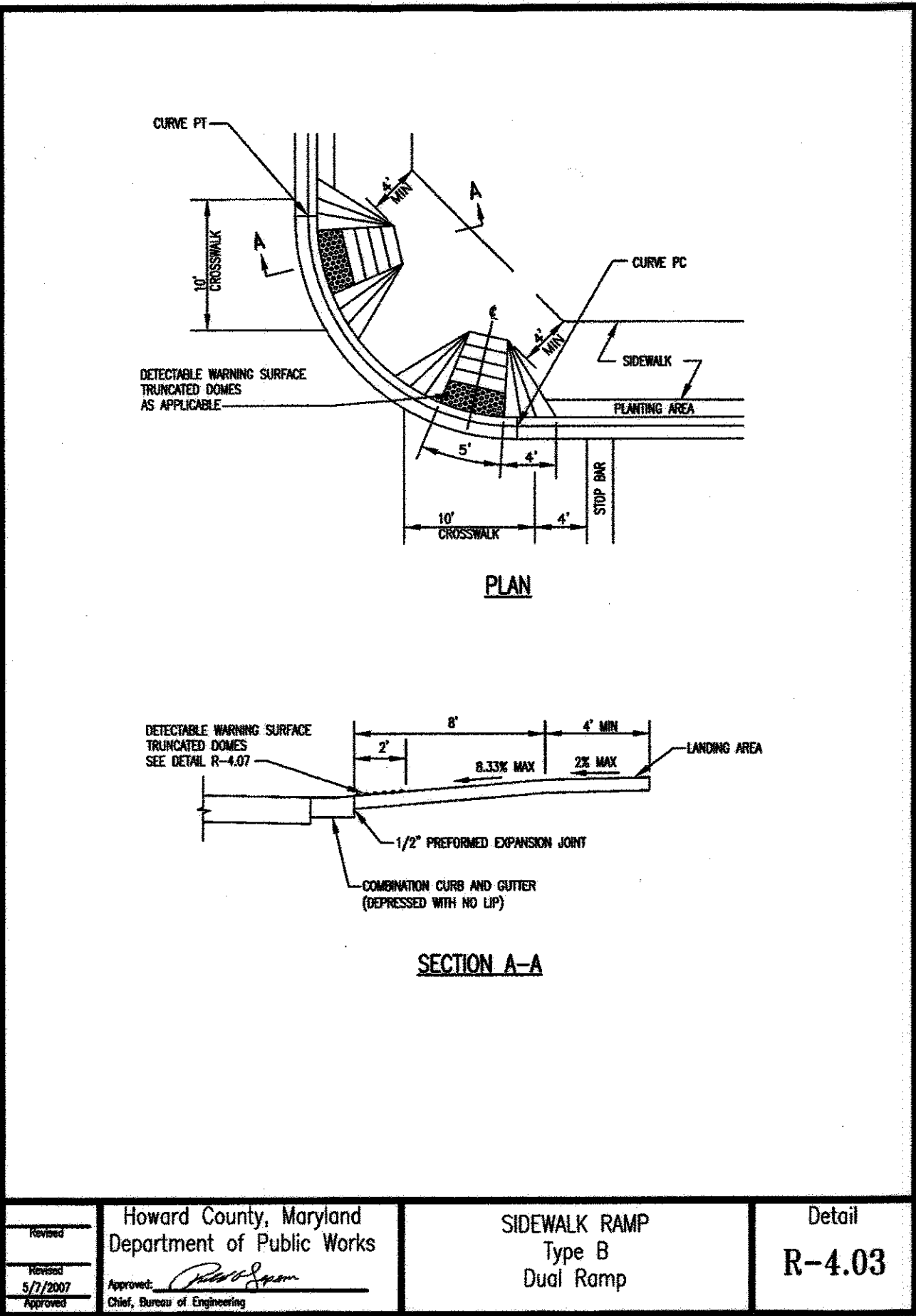
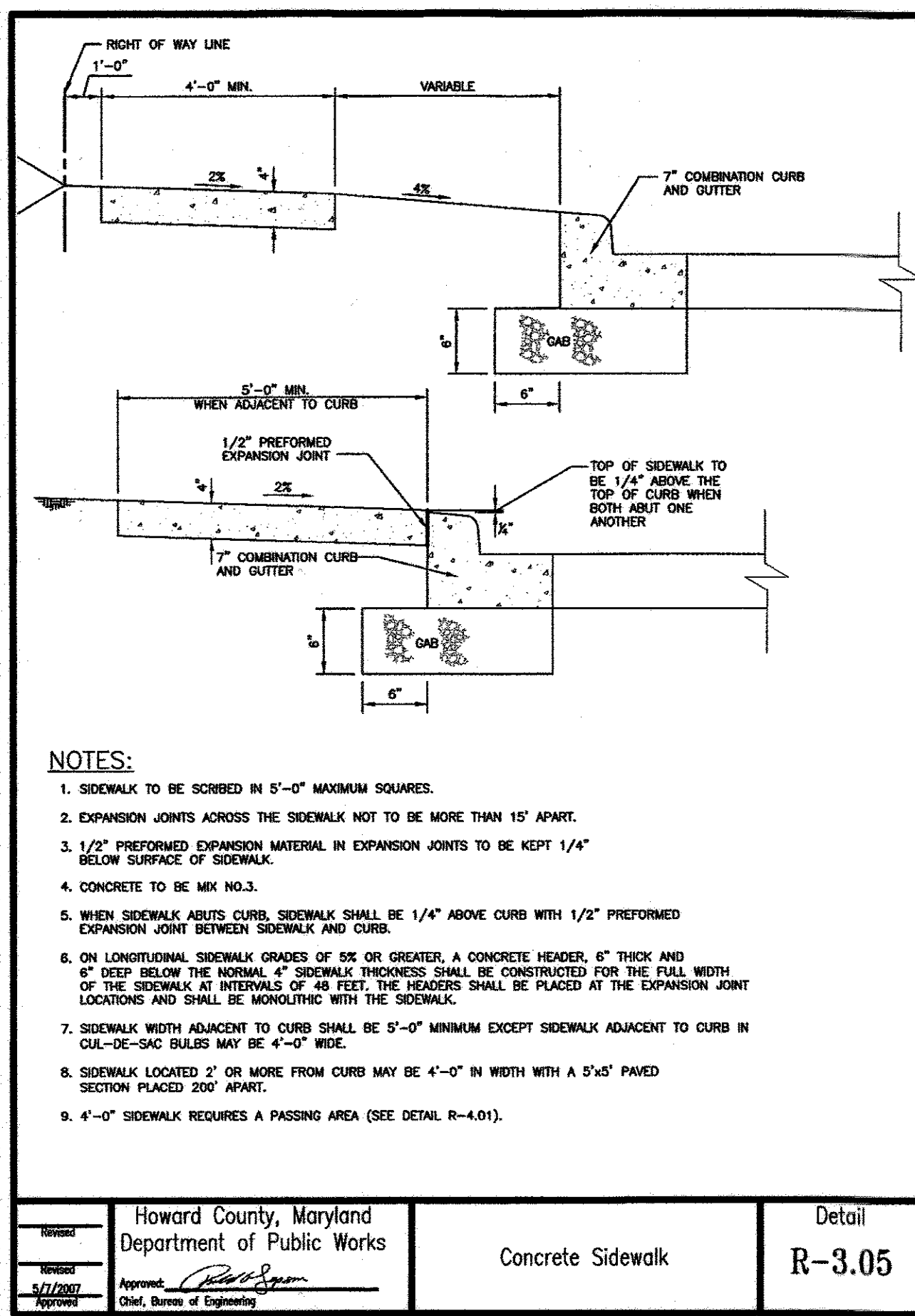
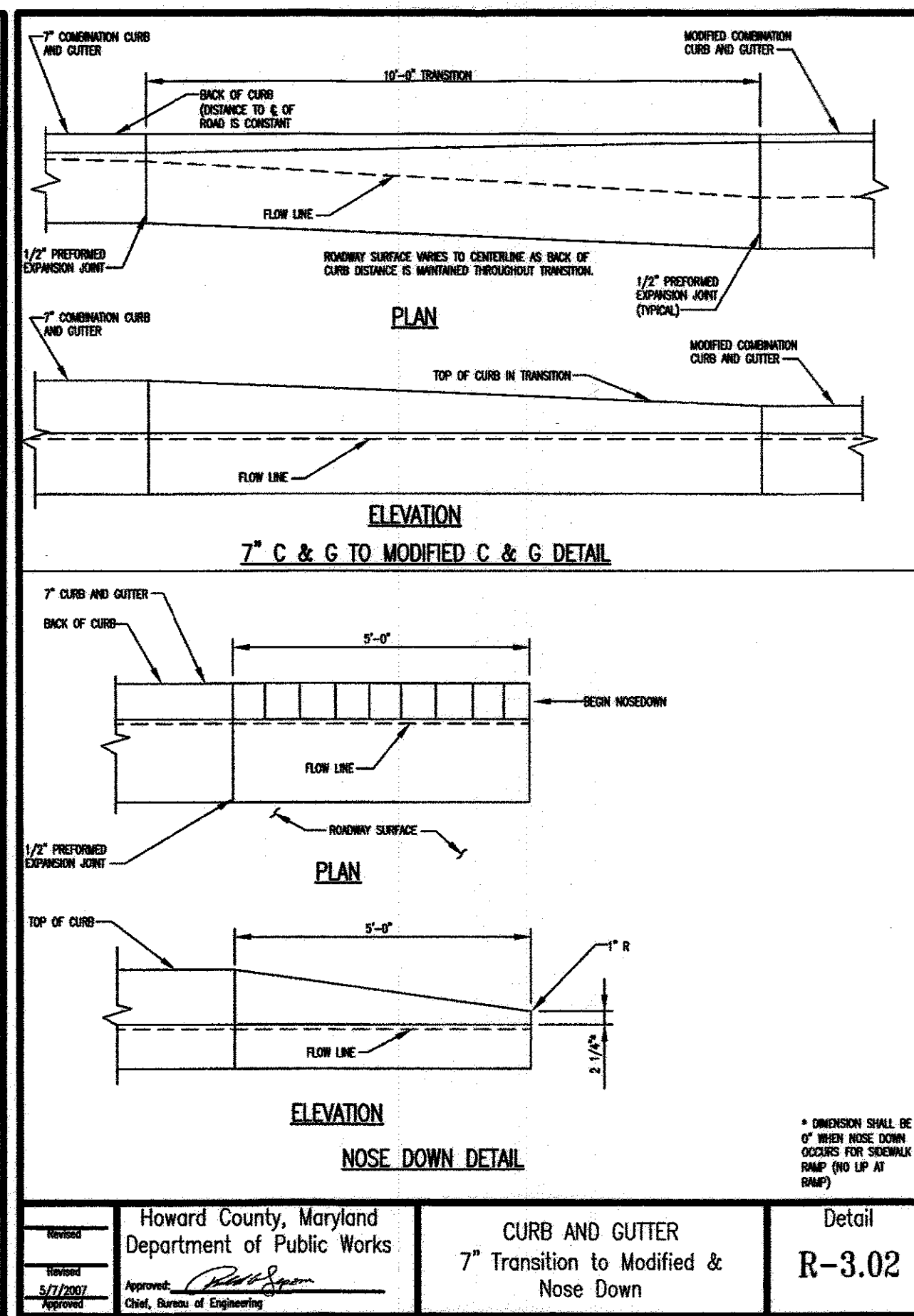
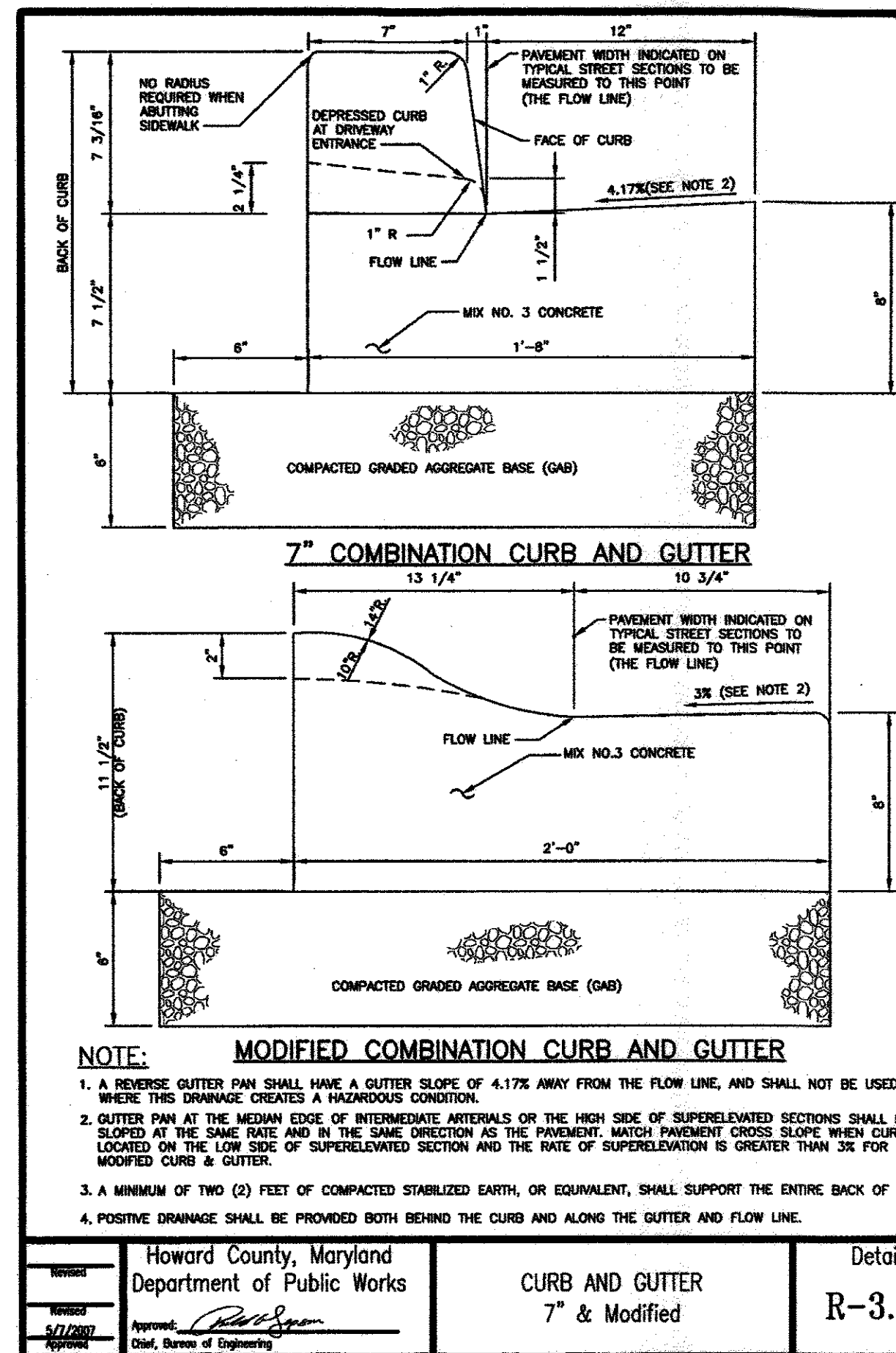
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SCALE: 1"=50'
DESIGNED BY: NAB
DRAWN BY: BRA

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
LANDSCAPING DETAILS
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2017

SEAL OF MARYLAND PROFESSIONAL ENGINEER

DRAWING NO. C-1.04
SHEET 7 OF 13
KCI JOB NUMBER 131600843



HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS Approved: <i>[Signature]</i> Chief, Bureau of Engineering	SIDEWALK RAMP Layout & Grading Parallel to Curb & Thru Median	Detail R-4.06
---	---	------------------

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS Approved: <i>[Signature]</i> Chief, Bureau of Engineering	SIDEWALK RAMP Detectable Warning Truncated Domes	Detail R-4.07
---	--	------------------

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS Approved: <i>[Signature]</i> Chief, Bureau of Engineering	COMMERCIAL-INDUSTRIAL-APARTMENT Entrance Concrete Apron	Detail R-6.07
---	--	------------------

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY
[Signature] 3-29-17
 PLANNING DIRECTOR DATE

OWNER
 COMMERCIAL CONTRACTORS INC.
 1205 YORK ROAD
 LUTHERVILLE-TIMONUM,
 MD 21093
 (410)-825-8400

ENGINEERS
 PLANNERS
 SCIENTISTS
 CONSTRUCTION MANAGERS
KCI
 TECHNOLOGIES
 11850 WEST MARKET PLACE,
 SUITE A
 FULTON, MD 20759
 TELEPHONE (410) 792-8086
 FAX (410) 792-7419

APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
 CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE

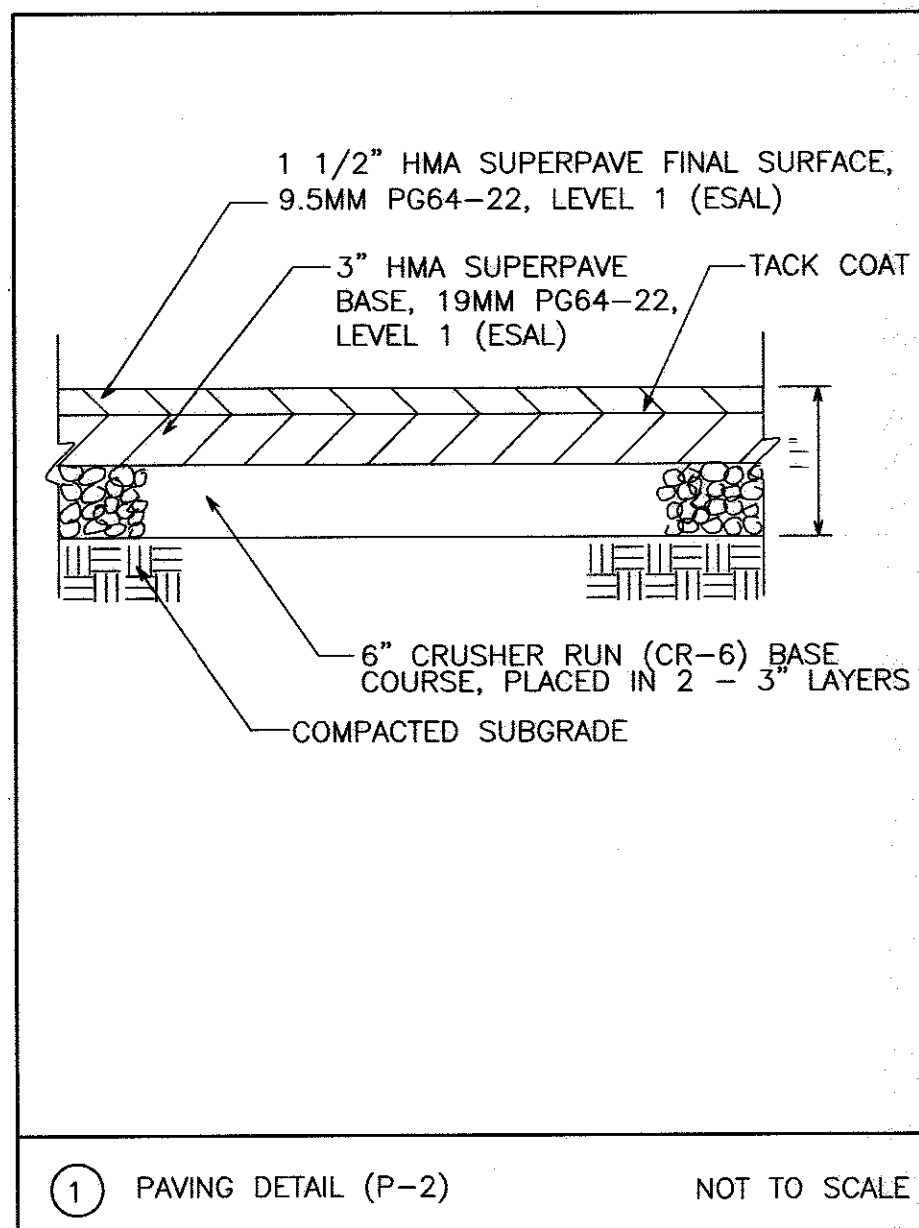
NO.	DATE	DESCRIPTION	BY

DATE: 2-02-2017
 SCALE: 1"=50'
 DESIGNED BY: NAB
 DRAWN BY: BRA
 ZONING: PGCC
 TAX ACCOUNT # 535524
 TAX MAP: 10 GRID: 10 PARCEL: 401
 HOWARD COUNTY, MARYLAND
 SECOND ELECTION DISTRICT

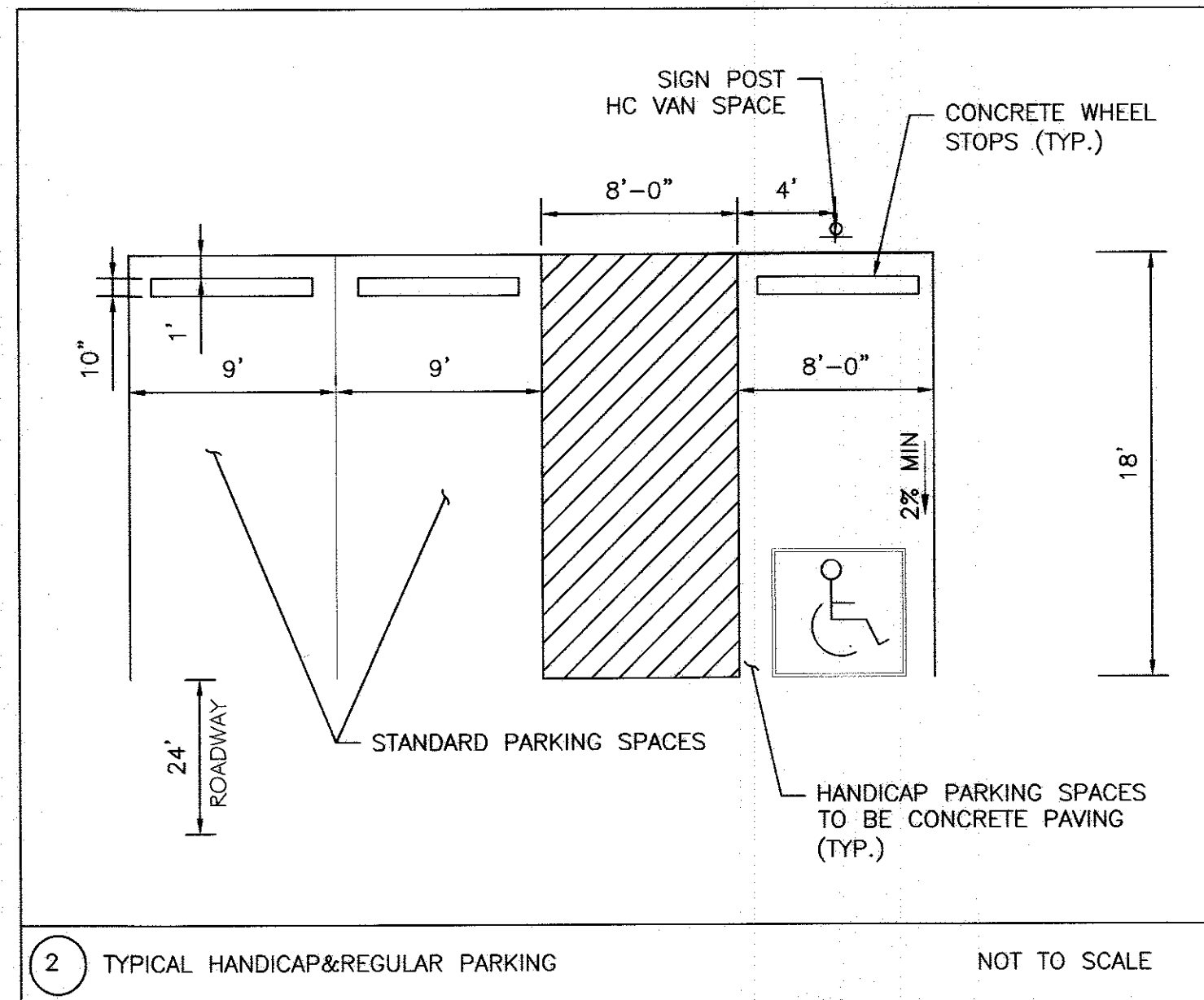
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SEAL OF PROFESSIONAL ENGINEER
[Signature]
 DATE: 2/21/17

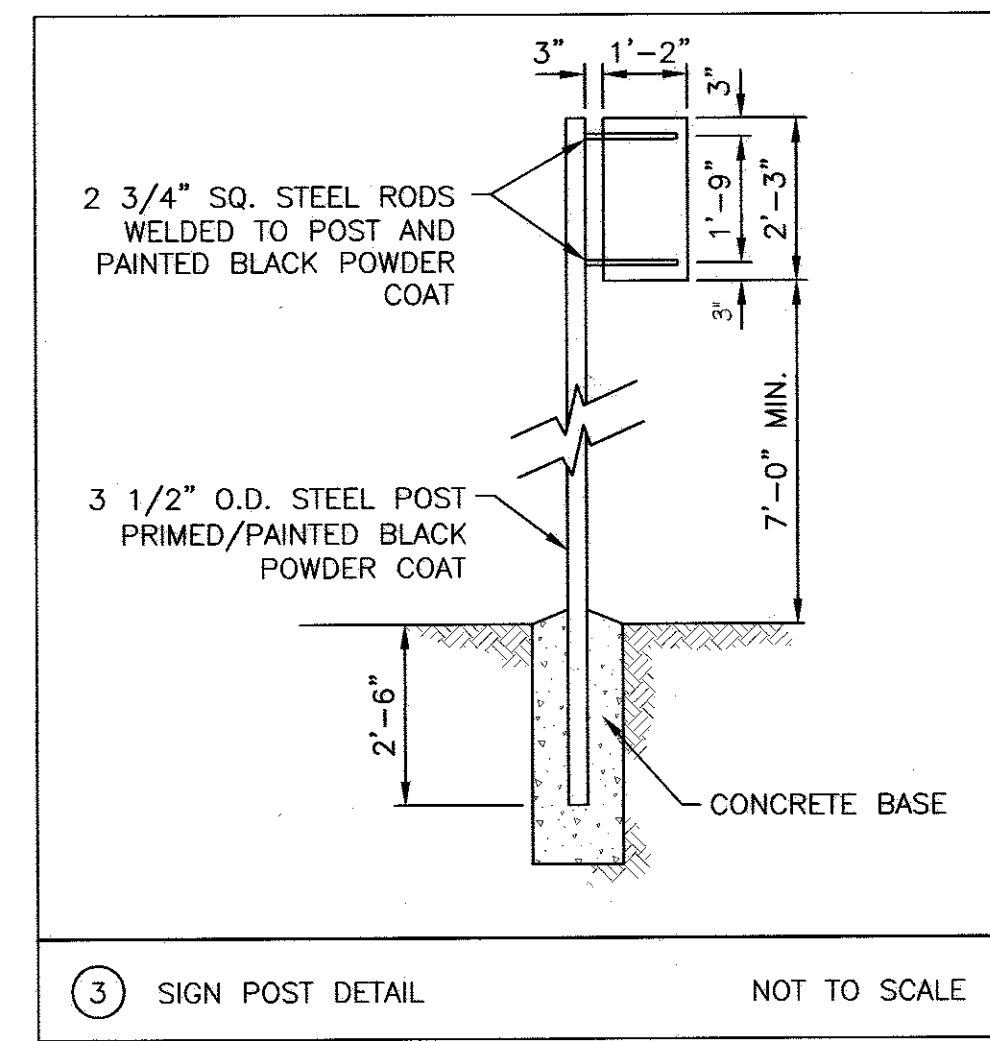
DRAWING NO. C-1.05
 SHEET 8 OF 13
 KCI JOB NUMBER 131600843



1 PAVING DETAIL (P-2) NOT TO SCALE



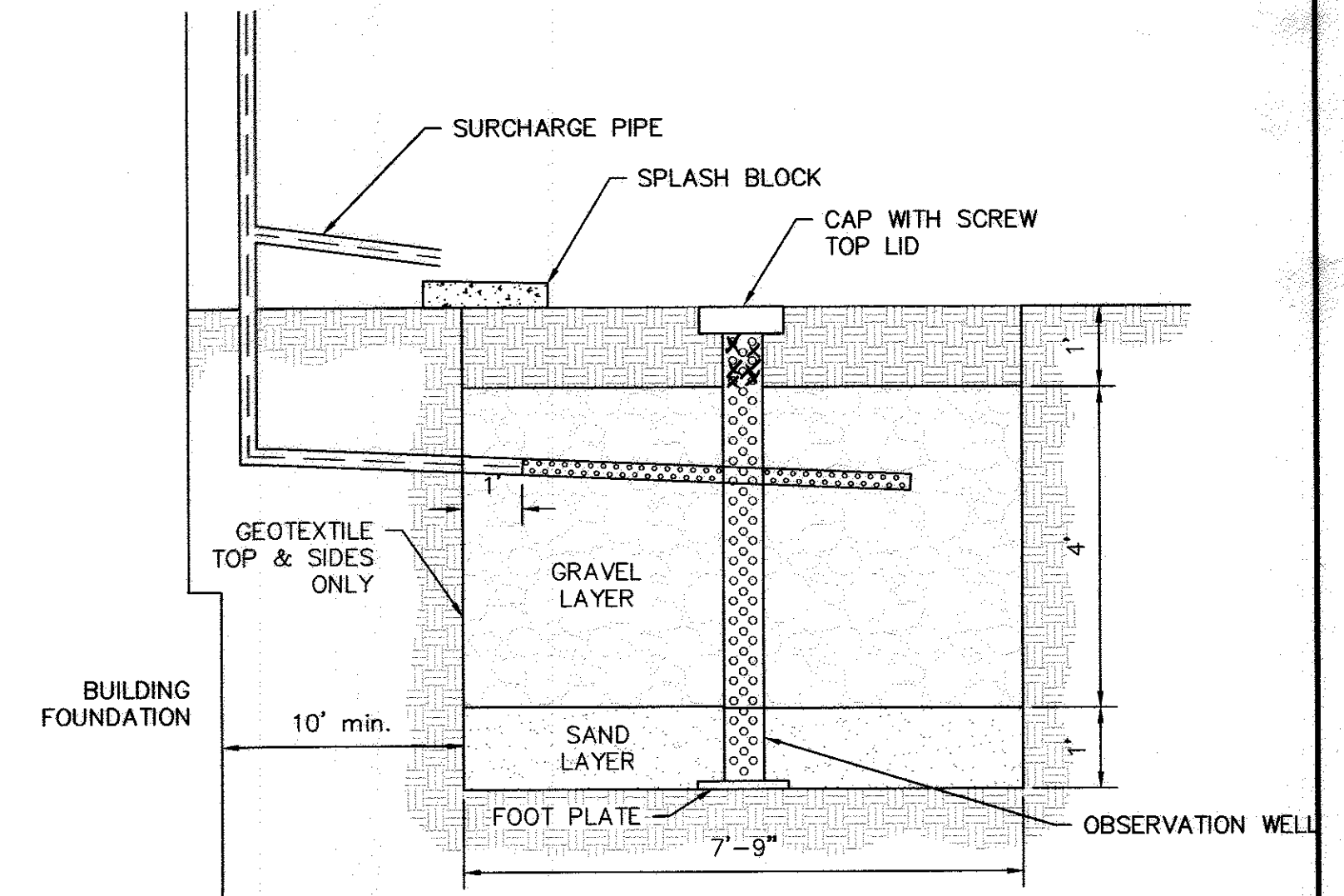
2 TYPICAL HANDICAP & REGULAR PARKING NOT TO SCALE



3 SIGN POST DETAIL NOT TO SCALE

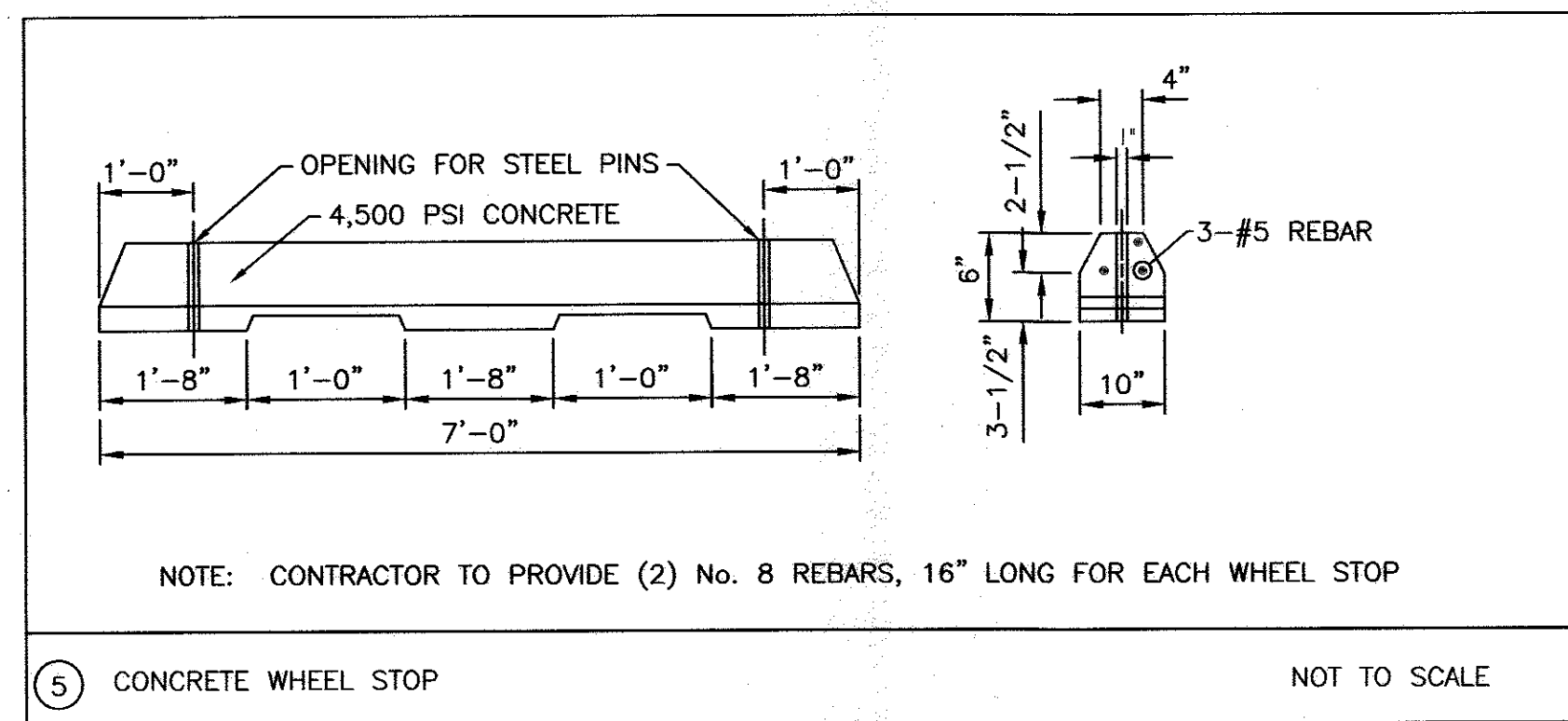
	HANDICAP WITH FINE	R7-8(3)	4
	VAN ACCESSIBLE WITH FINE	R7-8A	4
	STOP SIGN	R1-1	4
	NO PARKING IN ACCESS AISLE		4
	ONE WAY	R6-2	8
	DO NOT ENTER	R5-1	3

4 SIGN SCHEDULE NOT TO SCALE



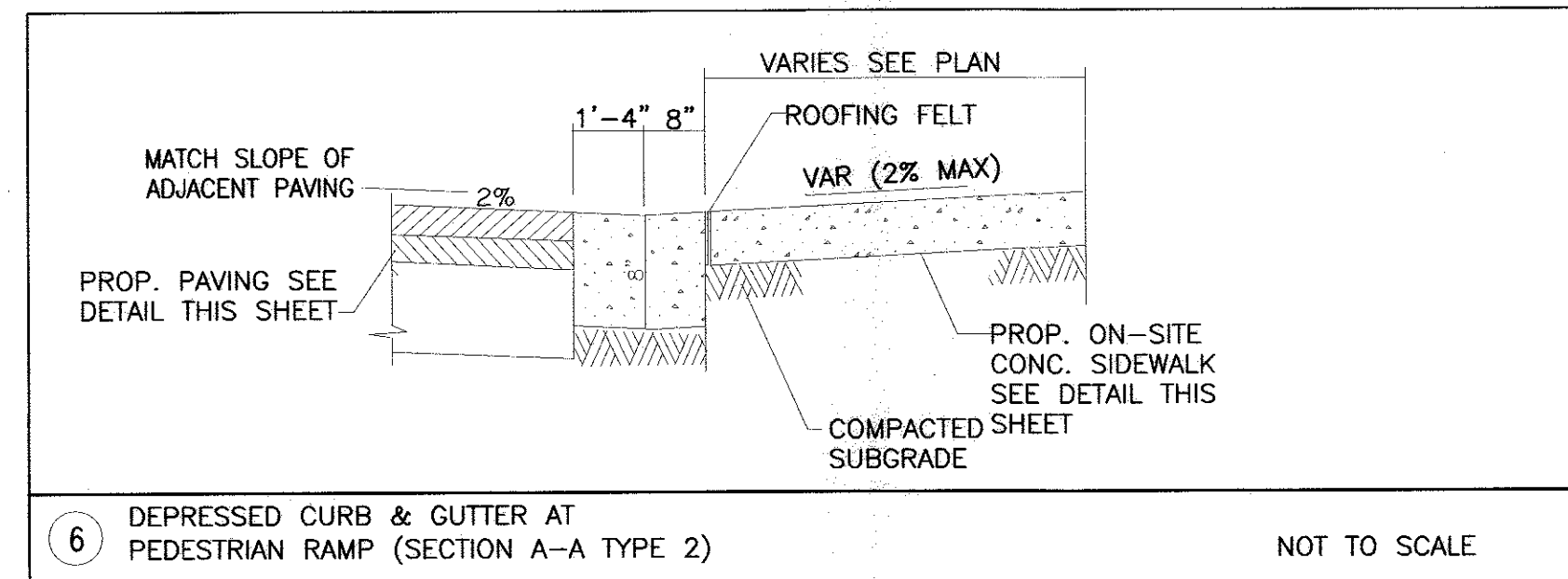
DRY WELL TYPICAL SECTION
SCALE: 1"=2'

NOTE: GUTTER DRAIN FILTERS MUST BE INSTALLED ON THE HOUSES FOR PRETREATMENT

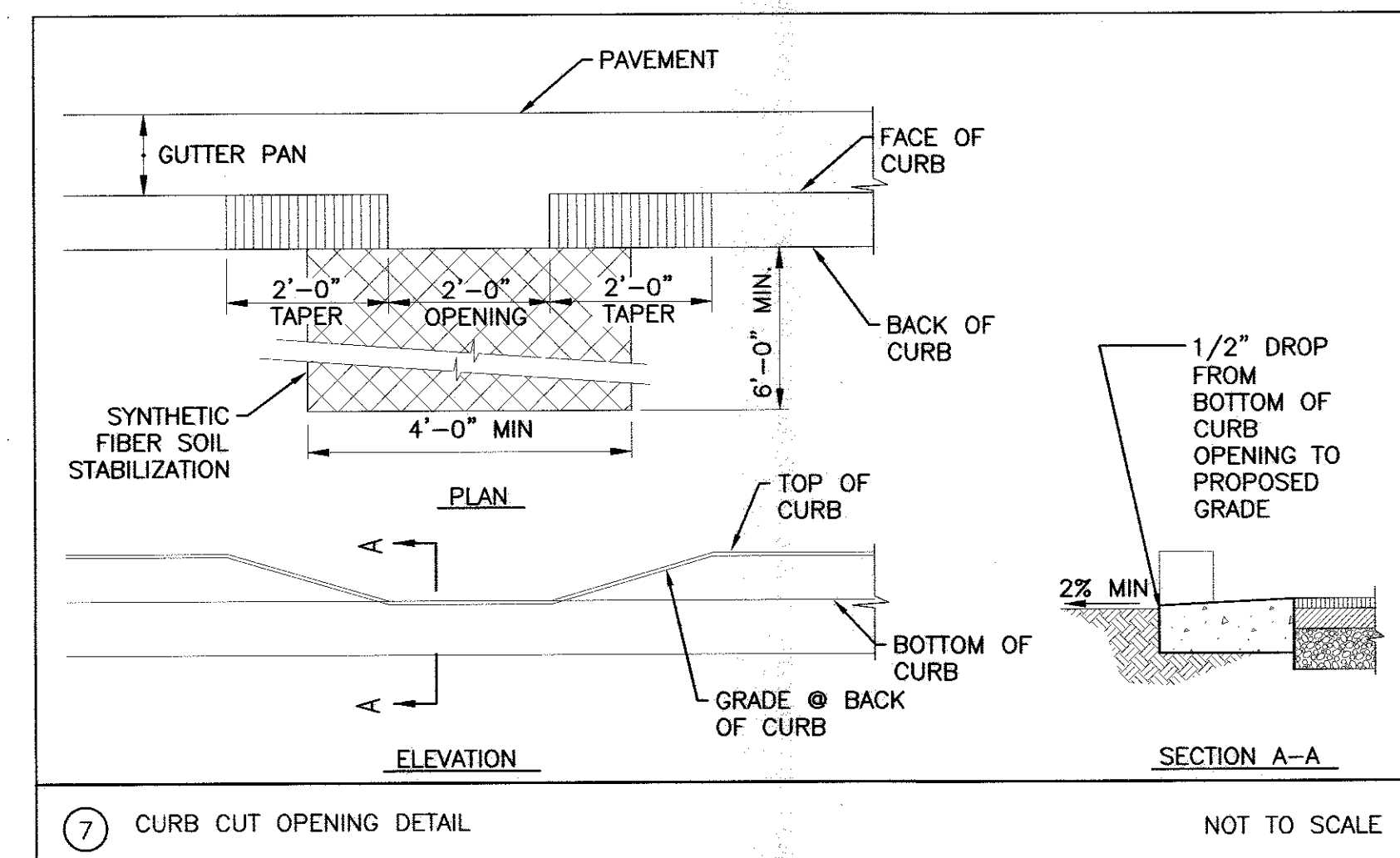


5 CONCRETE WHEEL STOP NOT TO SCALE

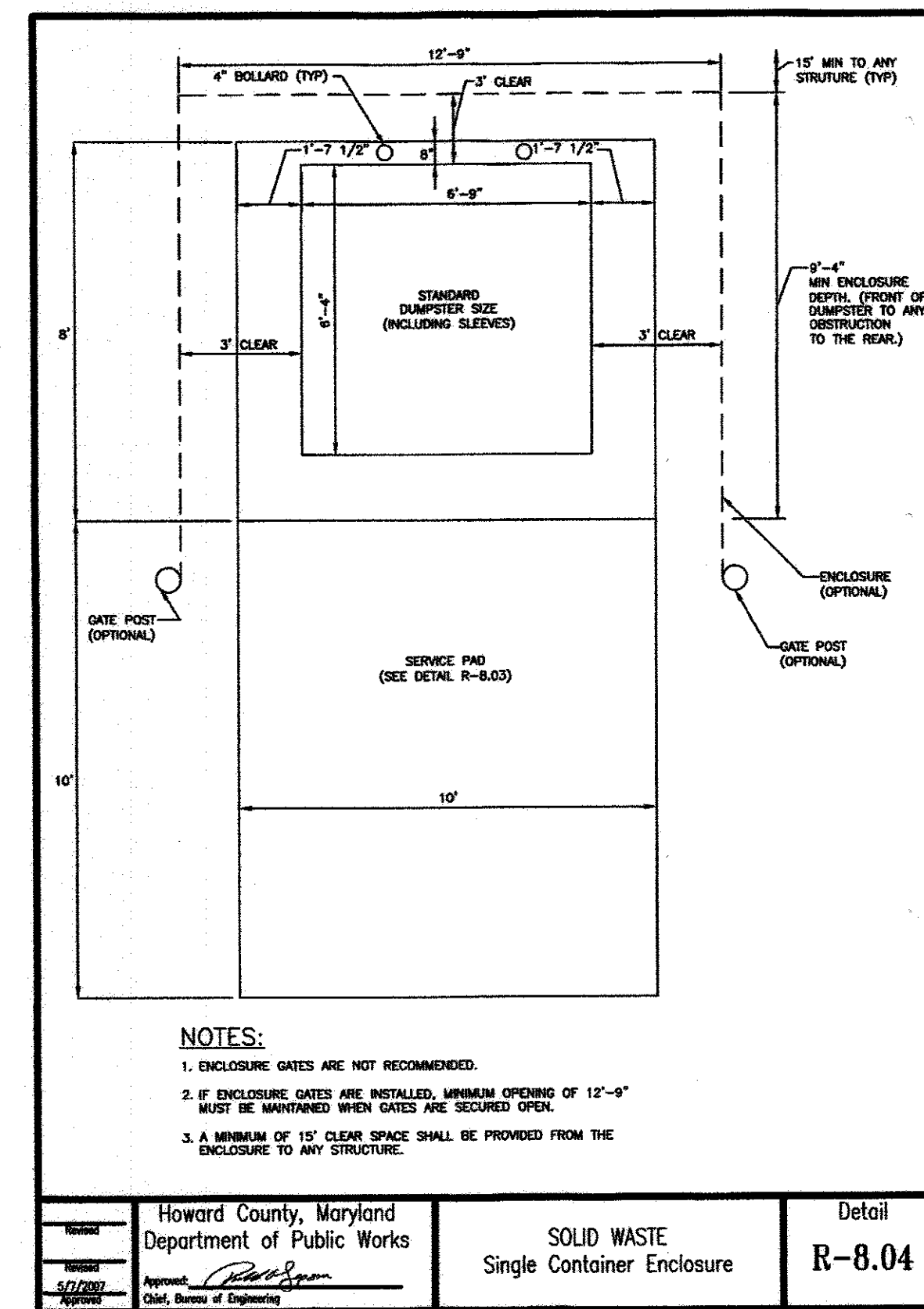
NOTE: CONTRACTOR TO PROVIDE (2) No. 8 REBARS, 16" LONG FOR EACH WHEEL STOP



6 DEPRESSED CURB & GUTTER AT PEDESTRIAN RAMP (SECTION A-A TYPE 2) NOT TO SCALE

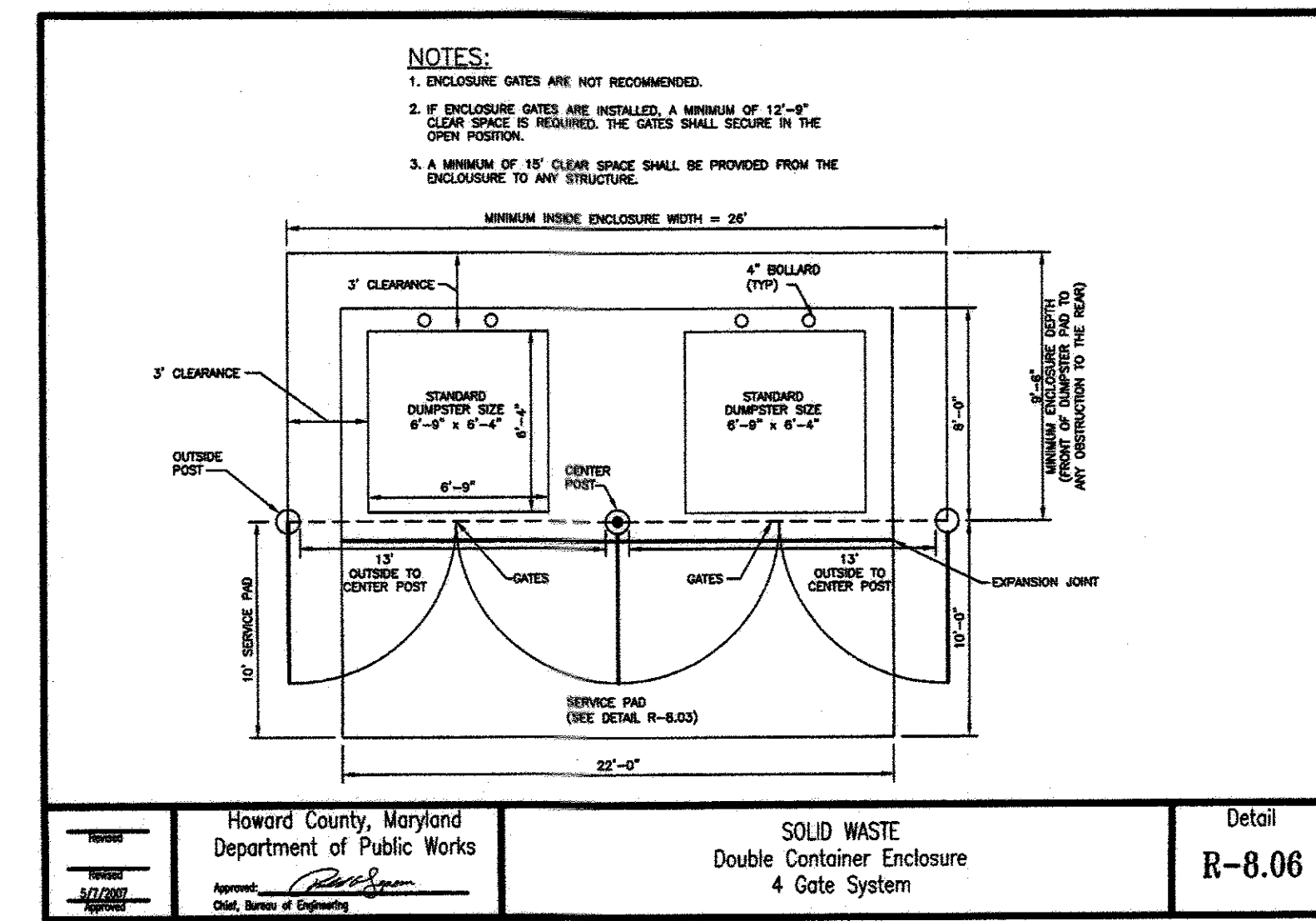


7 CURB CUT OPENING DETAIL NOT TO SCALE



NOTES:
1. ENCLOSURE GATES ARE NOT RECOMMENDED.
2. IF ENCLOSURE GATES ARE INSTALLED, A MINIMUM OF 12"-8" CLEAR SPACE IS REQUIRED. THE GATES SHALL SECURE IN THE OPEN POSITION.
3. A MINIMUM OF 15" CLEAR SPACE SHALL BE PROVIDED FROM THE ENCLOSURE TO ANY STRUCTURE.

Howard County, Maryland
Department of Public Works
SOLID WASTE
Single Container Enclosure
Detail
R-8.04



NOTES:
1. ENCLOSURE GATES ARE NOT RECOMMENDED.
2. IF ENCLOSURE GATES ARE INSTALLED, A MINIMUM OF 12"-8" CLEAR SPACE IS REQUIRED. THE GATES SHALL SECURE IN THE OPEN POSITION.
3. A MINIMUM OF 15" CLEAR SPACE SHALL BE PROVIDED FROM THE ENCLOSURE TO ANY STRUCTURE.

Howard County, Maryland
Department of Public Works
SOLID WASTE
Double Container Enclosure
4 Gate System
Detail
R-8.06

OPERATION AND MAINTENANCE SCHEDULE FOR DRY WELLS

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTYTWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- F. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

OWNER
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LUTHERVILLE-TIMONIUM,
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SCIENTISTS
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KCI TECHNOLOGIES
11850 WEST MARKET PLACE,
SUITE A
FULTON, MD 20759
TELEPHONE: (410) 792-8086
FAX: (410) 792-7419

APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS		DATE
NO.	DESCRIPTION	DATE

DESIGNED BY: NAB
DRAWN BY: BRA

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
SITE DETAILS
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
HOWARD COUNTY, MARYLAND

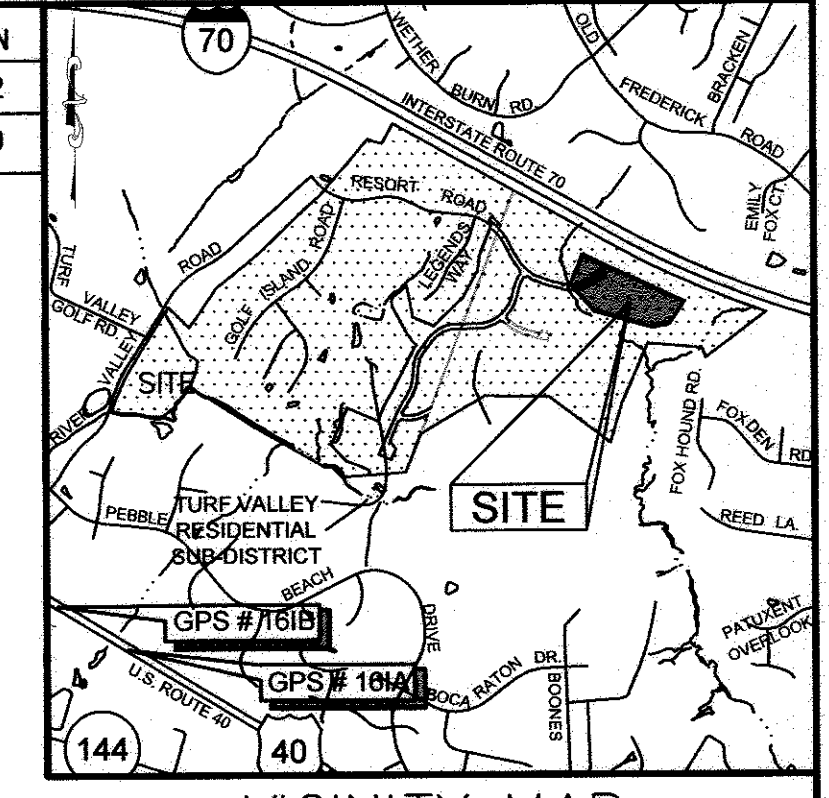
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SEAL OF MARYLAND PROFESSIONAL ENGINEER

DRAWING NO. C-1.06
SHEET 9 OF 13
KCI JOB NUMBER 131600843

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
PLANNING DIRECTOR
DATE: 3-29-17

POINT	NORTHING	EASTING	ELEVATION
#16B	590,475.2538	1,344,753.9350	469.892
#16A	598,435.249	1,348,615.2482	508.469



STORMWATER MANAGEMENT FACILITY TABLE

FACILITY	DRAINAGE AREA #	C-VALUE	'B' SOIL		'D' SOIL		%	PROVIDED		Q10 (CFS)
			IMPERVIOUS (AC.)	PERVIOUS (AC.)	IMPERVIOUS (AC.)	PERVIOUS (AC.)		PE	ESDv (C.F.)	
SWM #1 (M-6) BIORETENTION	DA1	98	0.220	-	-	-	100%	1.25	1,210	-
SWM #2 (M-6) BIORETENTION	DA2	87	0.229	0.02	-	0.21	49%	2.60	2,120	1.12
SWM #3 (M-6) BIORETENTION	DA3	89	0.315	0.106	-	-	73%	1.08	1,115	1.83
SWM #4 (M-6) BIORETENTION	DA4	83	0.210	0.250	0.156	-	59%	1.39	1,812	0.11
SWM #5 (M-6) BIORETENTION	DA5	87	0.210	0.085	-	-	71%	1.05	700	1.28
SWM #6 (M-6) BIORETENTION	DA6	90	0.500	0.146	-	-	77%	1.93	3,381	1.68
SWM #7 (M-6) BIORETENTION	DA7	91	0.404	0.100	-	-	80%	1.88	2,658	1.85
SWM #8 (M-6) BIORETENTION	DA8	84	0.208	0.130	-	-	62%	1.32	980	1.08
SWM #9 (M-6) BIORETENTION	DA9	75	0.220	0.360	-	-	38%	2.60	2,178	0.29
SWM #10 (M-6) BIORETENTION	DA10	85	0.410	0.210	-	-	66%	2.60	3,764	0.66
SWM #11 (M-6) BIORETENTION	DA11	85	0.290	0.155	-	-	65%	1.84	1,904	1.47
EX. SWM #1 (M-6) BIORETENTION	EX1	94	0.080	0.010	-	-	90%	2.45	675	0.43
EX. SWM #2 (M-6) BIORETENTION	EX2	76	0.120	0.170	-	-	70%	1.28	672	0.91

LEGEND

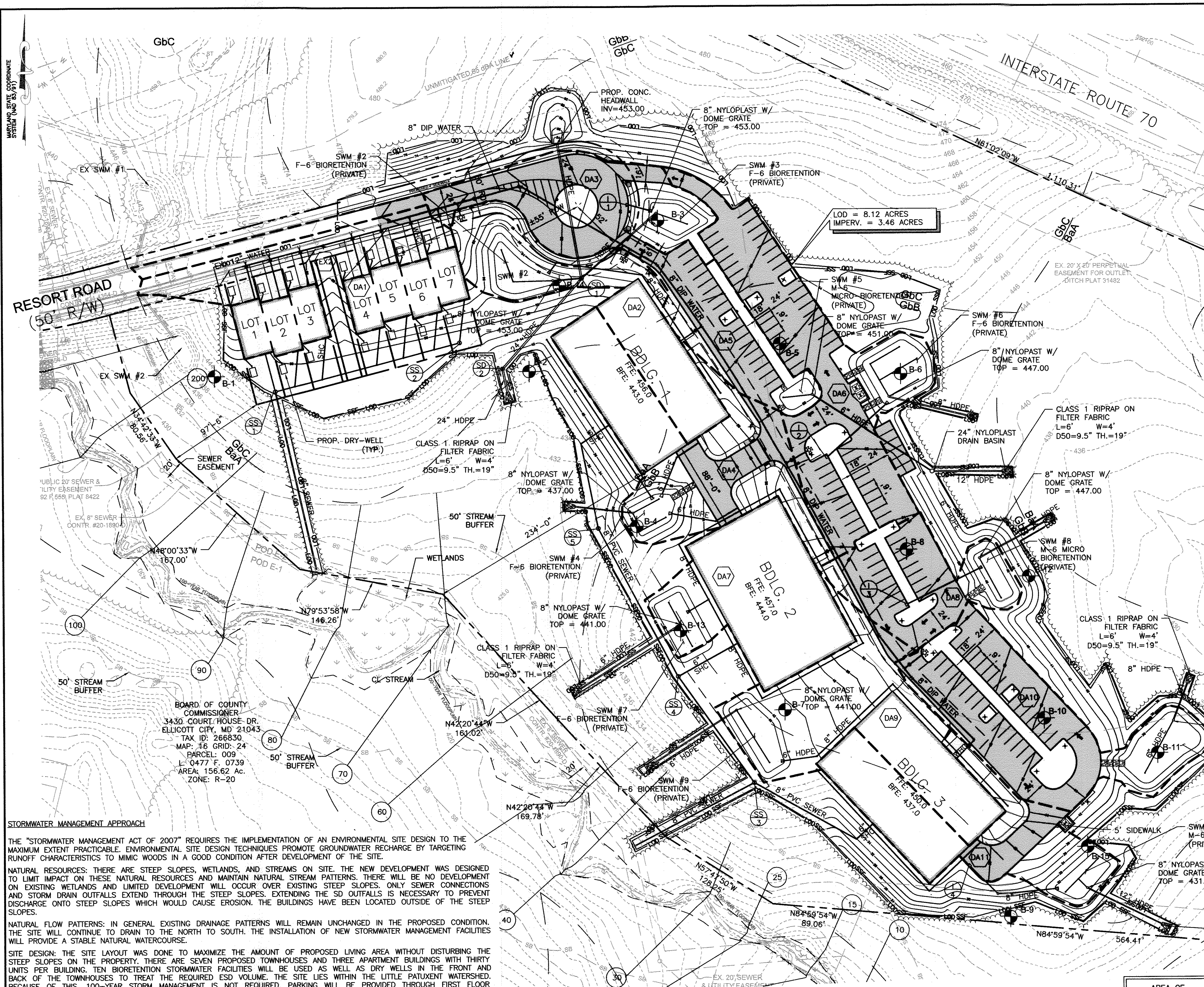
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING BUILDING LINE
- - - EXISTING CONTOUR
- - - EXISTING TREELINE
- - - EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- PROPOSED IMPERVIOUS PAVEMENT
- LOD --- LIMIT OF DISTURBANCE
- GnB --- SOILS LINE
- MaC --- FLOODPLAIN CROSS SECTIONS
- 10 --- 50' STREAM BUFFER
- SB --- 50' STREAM BUFFER

- ### SITE NOTES:
- ALL CURBING, PAVING, SIDEWALKS, HANDICAP RAMPS AND TRANSITIONS ARE TO BE PER HOWARD COUNTY STANDARD DETAILS.
 - UNLESS OTHERWISE NOTED, PROPOSED SPOT ELEVATIONS ALONG CURB AND GUTTER ARE TO FLOW LINE (BOTTOM OF CURB) AT THE PC'S & PT'S, CORNERS AND TERMINUSES.
 - UNLESS OTHERWISE NOTED, ALL SIDEWALK RAMPS ARE TYPE 'C' PER HOWARD COUNTY DPW STD. DTL. R-4.04 (CURB FILLET APPLICATION) AND R-4.06 (PARALLEL TO CURB APPLICATION) DETECTABLE WARNING TRUNCATED DOMES ARE PER HOWARD COUNTY DPW STD. DTL. R-4.07.
 - ALL ON-SITE STORM DRAIN SYSTEMS ARE PRIVATELY MAINTAINED. ALL ON-SITE SEWERS ARE PRIVATELY MAINTAINED.
 - ALL CURB RADI ARE MEASURED FROM FACE OF CURB AT FLOW LINE. ALL DIMENSIONS ARE FROM FACE OF STRUCTURE (CURB, BLDG, ETC.) UNLESS OTHERWISE NOTED.
 - ALL MAINTENANCE FACILITIES WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

STORMWATER MANAGEMENT TABLE

AREA OF DISTURBANCE (AC.)	PROPOSED IMPERVIOUS (AC.)	%	PE	QE	ESDv REQUIRED (CF)	ESDv PROVIDED (CF)
8.12	3.46	55	1.80"	0.79"	23,035	23,169

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STORMWATER MANAGEMENT APPROACH

THE "STORMWATER MANAGEMENT ACT OF 2007" REQUIRES THE IMPLEMENTATION OF AN ENVIRONMENTAL SITE DESIGN TO THE MAXIMUM EXTENT PRACTICABLE. ENVIRONMENTAL SITE DESIGN TECHNIQUES PROMOTE GROUNDWATER RECHARGE BY TARGETING RUNOFF CHARACTERISTICS TO MIMIC WOODS IN A GOOD CONDITION AFTER DEVELOPMENT OF THE SITE.

NATURAL RESOURCES: THERE ARE STEEP SLOPES, WETLANDS, AND STREAMS ON SITE. THE NEW DEVELOPMENT WAS DESIGNED TO LIMIT IMPACT ON THESE NATURAL RESOURCES AND MAINTAIN NATURAL STREAM PATTERNS. THERE WILL BE NO DEVELOPMENT ON EXISTING WETLANDS AND LIMITED DEVELOPMENT WILL OCCUR OVER EXISTING STEEP SLOPES. ONLY SEWER CONNECTIONS AND STORM DRAIN OUTFALLS EXTEND THROUGH THE STEEP SLOPES, EXTENDING THE SD OUTFALLS IS NECESSARY TO PREVENT DISCHARGE ONTO STEEP SLOPES WHICH WOULD CAUSE EROSION. THE BUILDINGS HAVE BEEN LOCATED OUTSIDE OF THE STEEP SLOPES.

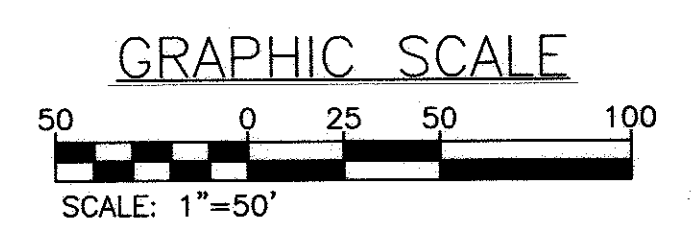
NATURAL FLOW PATTERNS: IN GENERAL EXISTING DRAINAGE PATTERNS WILL REMAIN UNCHANGED IN THE PROPOSED CONDITION. THE SITE WILL CONTINUE TO DRAIN TO THE NORTH TO SOUTH. THE INSTALLATION OF NEW STORMWATER MANAGEMENT FACILITIES WILL PROVIDE A STABLE NATURAL WATERCOURSE.

SITE DESIGN: THE SITE LAYOUT WAS DONE TO MAXIMIZE THE AMOUNT OF PROPOSED LIVING AREA WITHOUT DISTURBING THE STEEP SLOPES ON THE PROPERTY. THERE ARE SEVEN PROPOSED TOWNHOUSES AND THREE APARTMENT BUILDINGS WITH THIRTY UNITS PER BUILDING. TEN BIORETENTION STORMWATER FACILITIES WILL BE USED AS WELL AS DRY WELLS IN THE FRONT AND BACK OF THE TOWNHOUSES TO TREAT THE REQUIRED ESD VOLUME. THE SITE LIES WITHIN THE LITTLE PATUXENT WATERSHED. BECAUSE OF THIS, 100-YEAR STORM MANAGEMENT IS NOT REQUIRED. PARKING WILL BE PROVIDED THROUGH FIRST FLOOR GARAGES, IN FRONT OF EACH OF THE TOWNHOUSES, AND STAND ALONE SPACES AROUND THE PROPERTY.

ESD PLANNING TECHNIQUES: NEW IMPERVIOUS AREA WILL BE TREATED BY ESD PRACTICES. THESE FACILITIES COMBINED WILL STORE AND TREAT THE REQUIRED ESD VOLUME. THE SOILS WITHIN THE LOD ARE HSG 'B' AND 'D'. A GEOTECHNICAL INVESTIGATION WAS COMPLETED AND IS INCLUDED ALONG WITH THE FINALIZED STORMWATER MANAGEMENT REPORT.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

3-29-17
DATE



OWNER
COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
LUTHERVILLE-TIMONIUM,
MD 21093
(410)-825-8400

ENGINEERS
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11850 WEST MARKET PLACE,
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PHONE: (410) 792-8086
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APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION

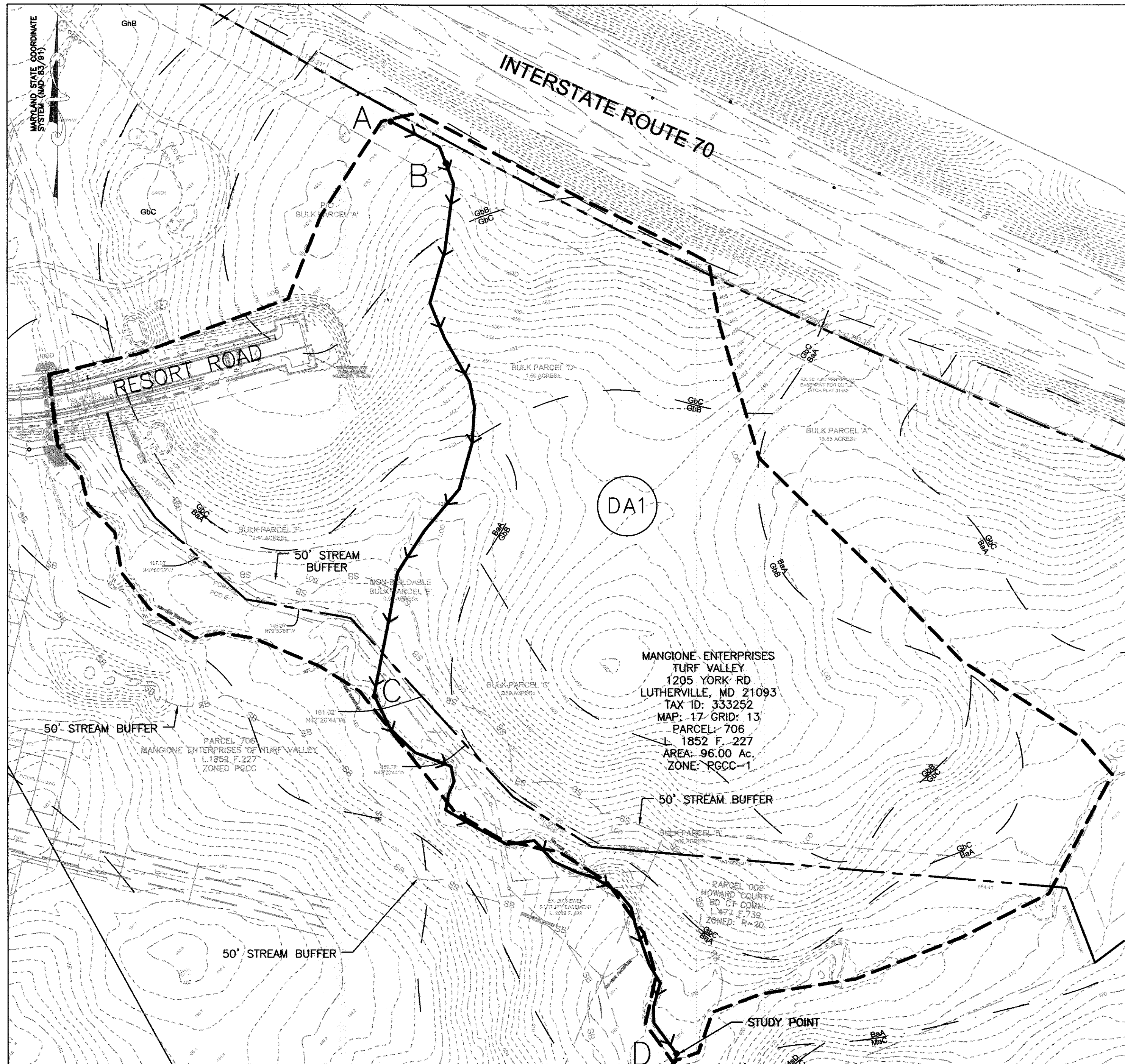
NO.	DATE	REVISIONS DESCRIPTION	BY

DATE: 2-02-2017
SCALE: 1"=50'
DESIGNED BY: NAB
DRAWN BY: BRA

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
STORMWATER MANAGEMENT PLAN

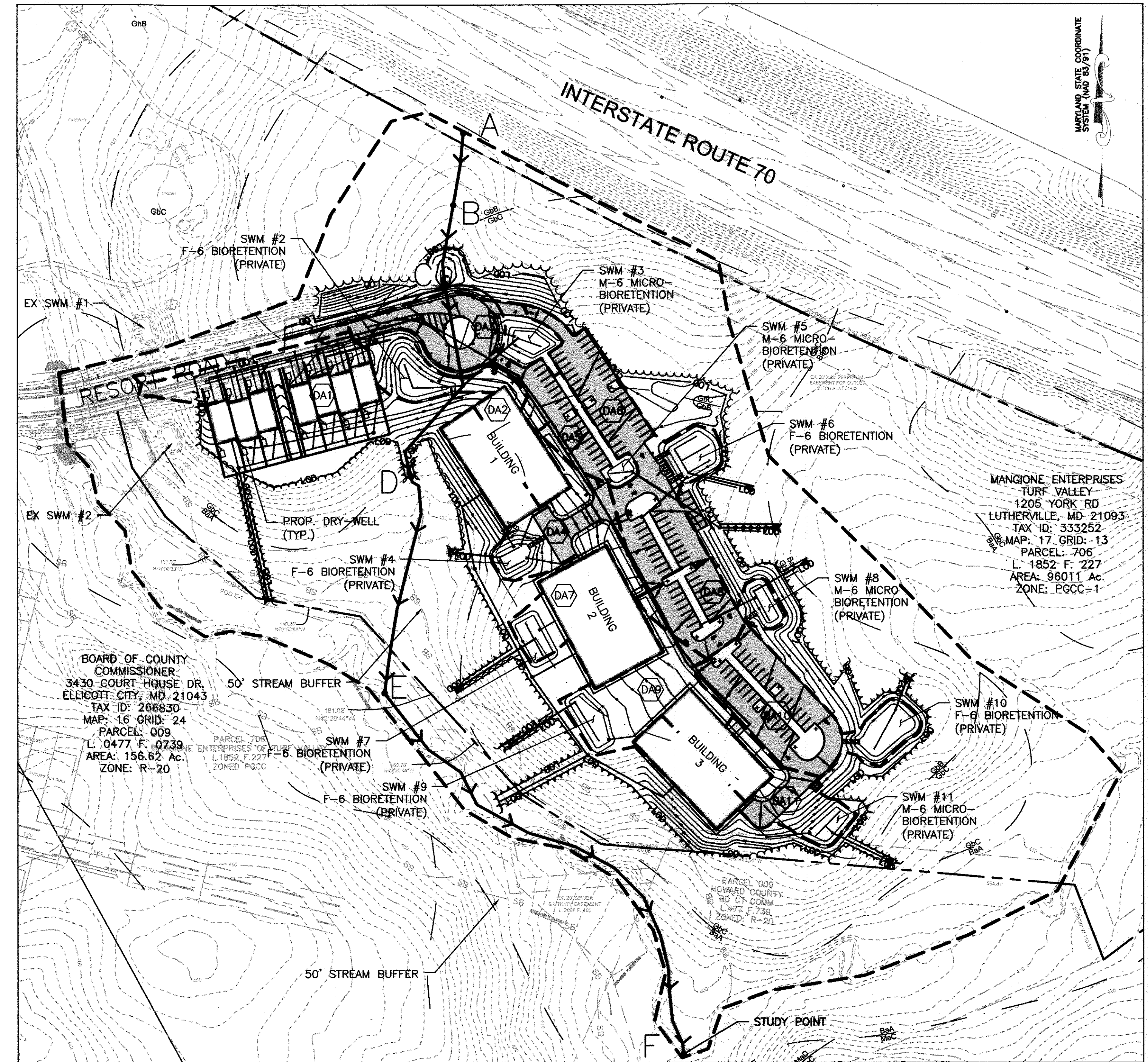
ZONING: PGCC
TAX ACCOUNT #: 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
HOWARD COUNTY, MARYLAND

SEAL OF PROFESSIONAL ENGINEER
C-2.00
SHEET 10 OF 13
131600843



EXISTING DRAINAGE AREA
SCALE: 1"=100'

DRAINAGE AREA	AREA (AC.)	IMP. AREA (AC.)	RCN	TC (HR.)	1-YR Q (cfs)	10-YR Q (cfs)
DA1	20.32	0.32	63	0.360	3.58	29.21

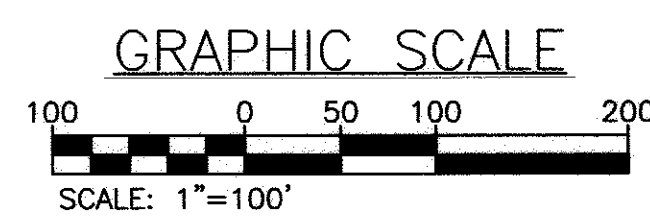


PROPOSED DRAINAGE AREA
SCALE: 1"=100'

DRAINAGE AREA	AREA (AC.)	IMP. AREA (AC.)	RCN	TC (HR.)	1-YR Q (cfs)	10-YR Q (cfs)
OVERALL DA	20.32	3.47	---	---	2.41	26.95

NOTE: THIS DATA IS FROM THE ROUTED TR-20. THE OVERALL DRAINAGE AREA INCLUDES ALL OF THE SUB DRAINAGE AREAS TO THE STORMWATER FACILITIES ON THE SITE. SEE STORMWATER MANAGEMENT TABLE ON SHEET C-2.00 FOR MORE INFORMATION ON EACH SUB-AREA.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
3-29-11
DATE



OWNER
COMMERCIAL CONTRACTORS INC.
1205 YORK ROAD
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(410)-825-8400

ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
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11850 WEST MARKET PLACE, SUITE A
FULTON, MD 20739
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS		DATE
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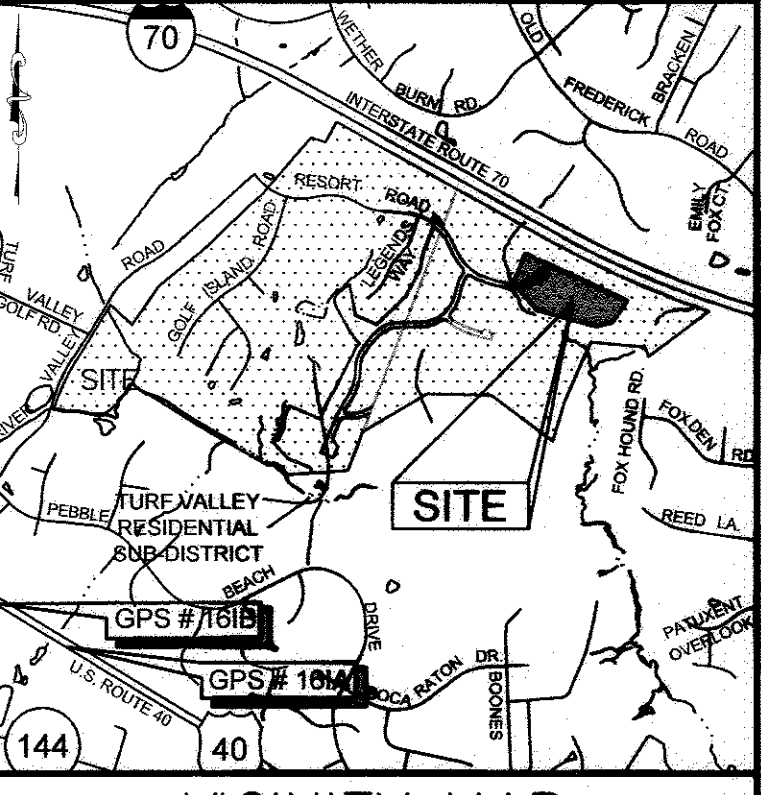
SCALE: 1"=100'
DESIGNED BY: NAB
DRAWN BY: BRA

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
DRAINAGE AREA MAPS
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
SECOND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

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SEAL OF PROFESSIONAL ENGINEER
DRAWING NO. C-2.01
SHEET 11 OF 13
KCI JOB NUMBER 131600843

POINT	NORTHING	EASTING	ELEVATION
#16B	590,475,2538	1,344,753.9350	469.892
#16A	598,435,249	1,348,615.2482	508.469



VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 20, GRID A4

LEGEND

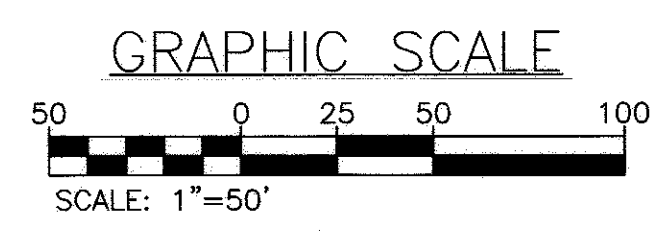
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- EXISTING TREE
- PROPOSED IMPERIOUS PAVEMENT
- LOD --- LIMIT OF DISTURBANCE
- GbB --- SOILS LINE
- MaC --- SOILS LINE
- SB --- 50' STREAM BUFFER

DRAINAGE AREAS

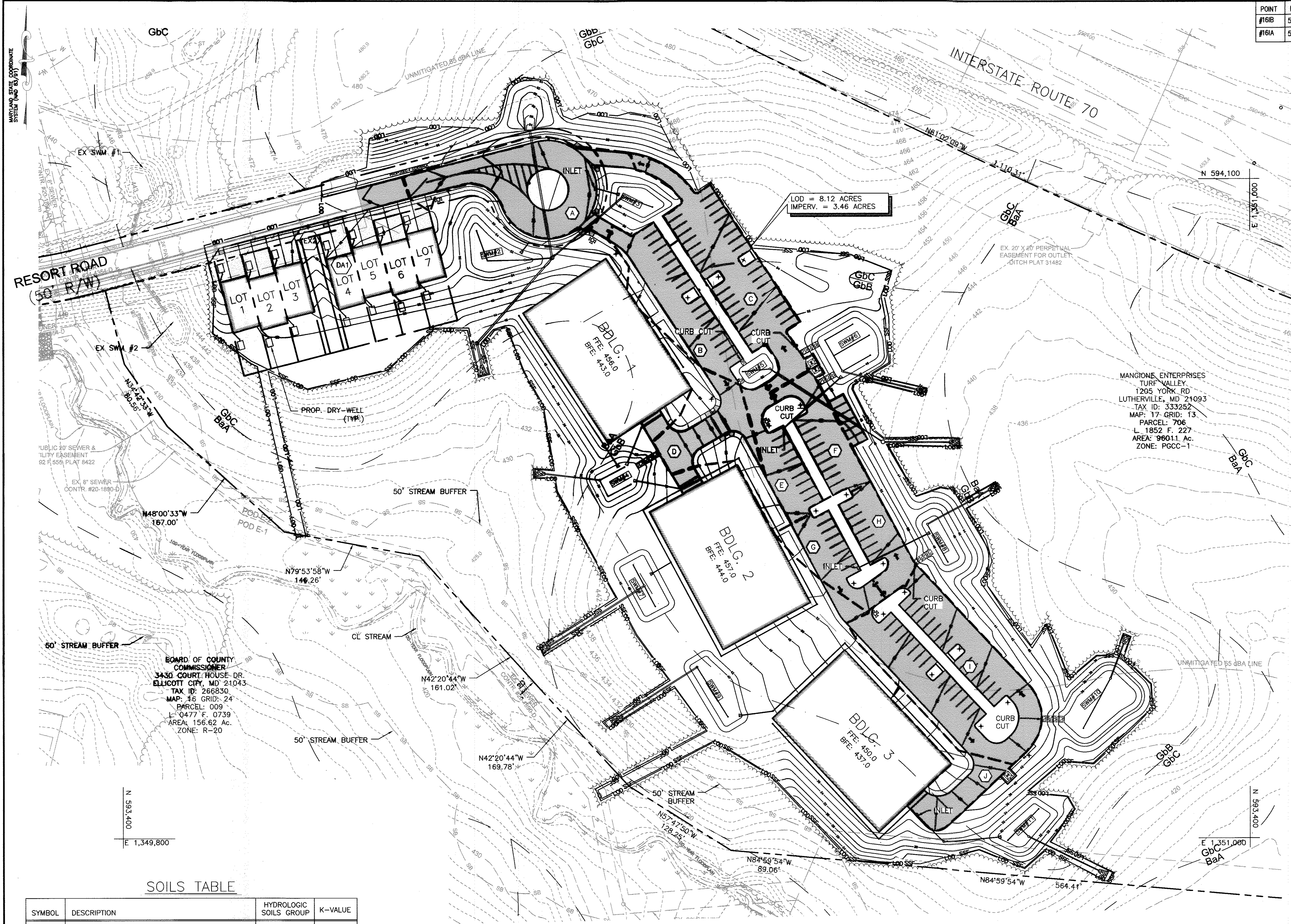
DRAINAGE AREA NAME	INLET TYPE	AREA TO INLET (S.F.)	%	'C' FACTOR
A	NR INLET	13,922	95%	95
B	3' CURB CUT	9,594	91%	93
C	3' CURB CUT	13,648	100%	98
D	3' CURB CUT	10,408	59%	68
E	NR INLET	4,920	100%	98
F	3' CURB CUT	7,524	72%	86
G	NR INLET	7,022	72%	86
H	NR INLET	5,829	69%	85
I	3' CURB CUT	4,485	100%	98
J	3' CURB CUT	21,342	80%	90

SOILS TABLE

SYMBOL	DESCRIPTION	HYDROLOGIC SOILS GROUP	K-VALUE
BaA	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	D	0.43
GbC	GLADESTONE LOAM, 8 TO 15 PERCENT SLOPES	B	0.28
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT	B	0.28



INLET DRAINAGE AREA MAP
SCALE: 1"=50'



MANGIONE ENTERPRISES
TURF VALLEY
1205 YORK RD
LUTHERVILLE, MD 21093
TAX ID: 333252
MAP: 17; GRID: 13
PARCEL: 706
L. 1852 F. 227
AREA: 96011 Ac.
ZONE: PGCC-1

BOARD OF COUNTY COMMISSIONER
3430 COURT HOUSE DR.
ELLCOTT CITY, MD 21043
TAX ID: 268830
MAP: 16 GRID: 24
PARCEL: 009
L. 0477 F. 0739
AREA: 156.62 Ac.
ZONE: R-20

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
DATE: 3-29-17

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PLANNERS
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APPROVED: HOWARD COUNTY DEPARTMENT PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

REVISIONS		DATE
NO.	DESCRIPTION	BY

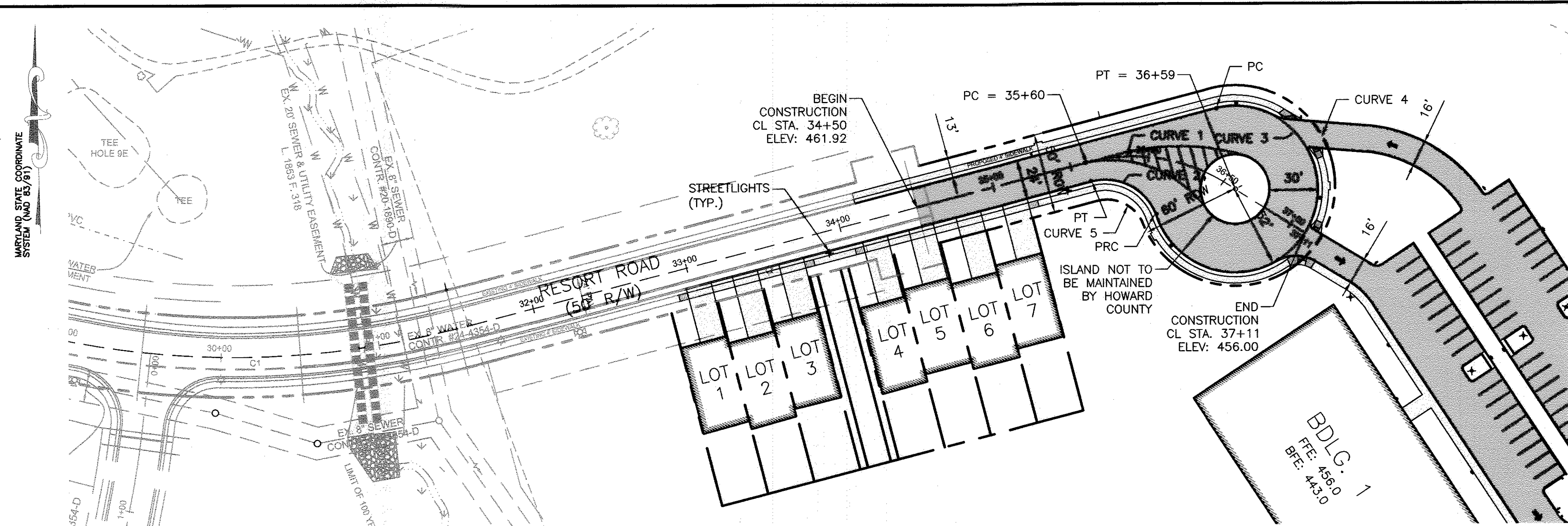
DATE: 2-02-2017
SCALE: 1"=50'
DESIGNED BY: NAB
DRAWN BY: BRA

RAVENWOOD AT TURF VALLEY
PRELIMINARY EQUIVALENT SKETCH PLAN
INLET DRAINAGE AREA MAP
ZONING: PGCC
TAX ACCOUNT # 535524
TAX MAP: 10 GRID: 10 PARCEL: 401
HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2017

SEAL OF MARYLAND PROFESSIONAL ENGINEER

DRAWING NO. C-2.02
SHEET 12 OF 13
KCI JOB NUMBER 131600843



RESORT ROAD PLAN
SCALE: 1"=50'

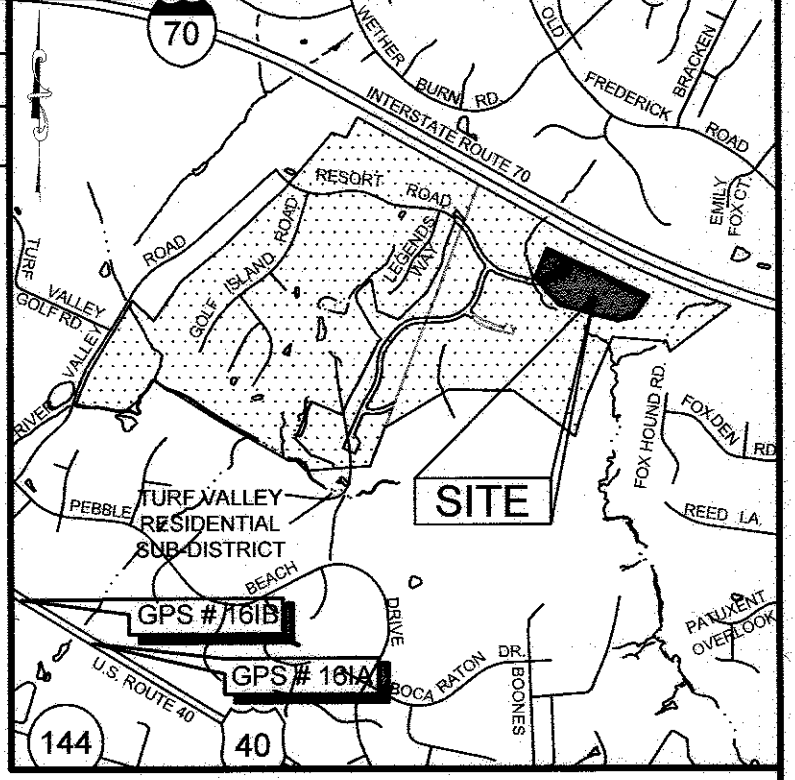
LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- PROPOSED IMPERIOUS PAVEMENT

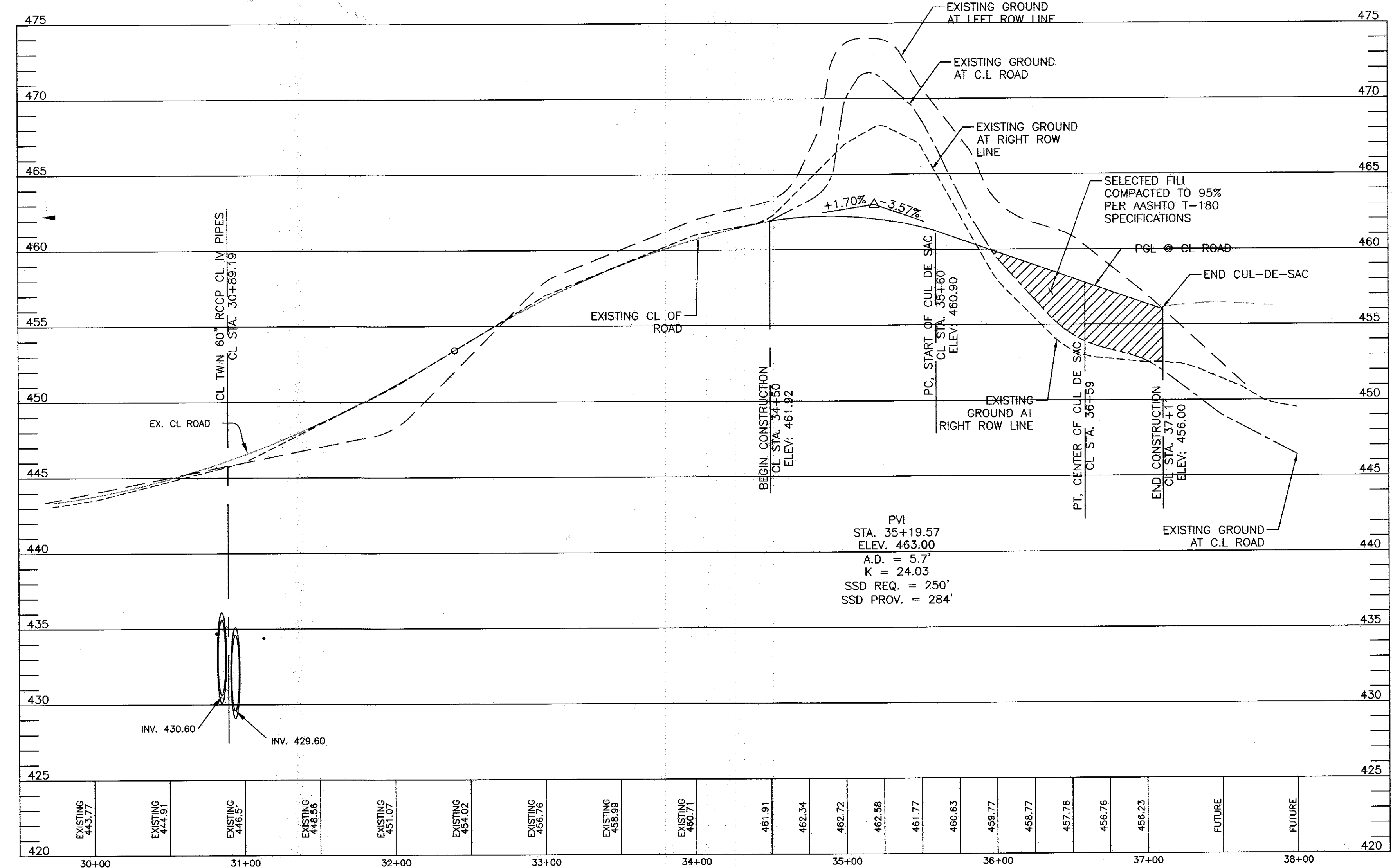
CURVE DATA
(24' APPROACH, L.P.=379.73' STD. DTL. R=5.04)

	CURVE 1	CURVE 2	CURVE 3	CURVE 4	CURVE 5
Δ	49°31'28"	85°23'06"	262°44'11"	234°17'19"	83°14'37"
R	114.00'	35.00'	52.00'	60.00'	25.00'
L	98.54'	52.16'	238.45'	245.35'	36.32'
T	52.58'	32.29'	--	--	22.21'
L.C.	95.50'	47.46'	--	--	33.21'

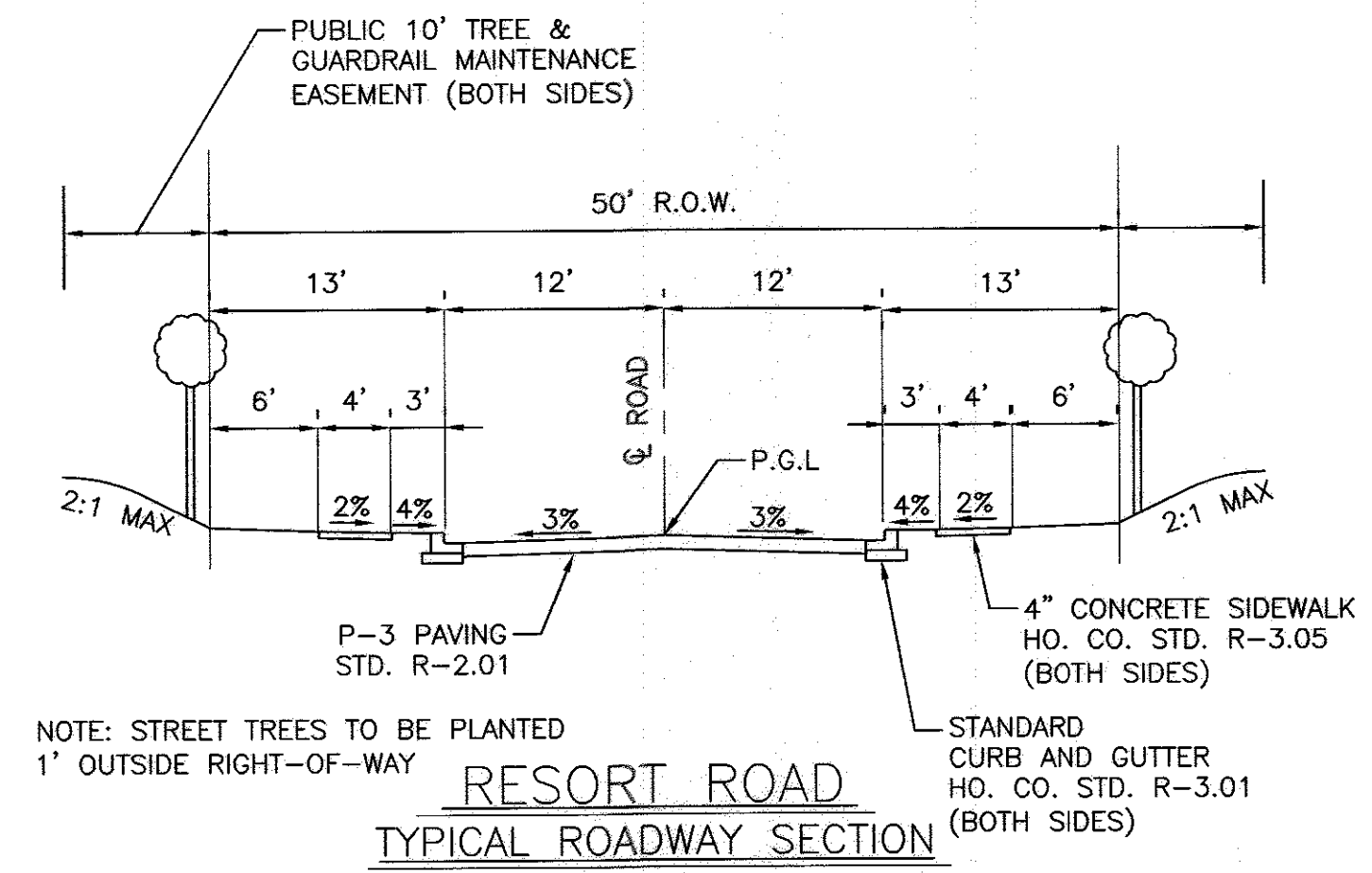
POINT	NORTHING	EASTING	ELEVATION
#16B	590,475.2538	1,344,753.9350	469.892
#16IA	598,435,249	1,348,615.2482	508.469



VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 20, GRID A4



RESORT ROAD PROFILE
PUBLIC LOCAL ROAD
DESIGNED AS MINOR COLLECTOR
DESIGN SPEED: 35 MPH
SCALE: HORIZ: 1"=50'
VERT: 1"=5'



RESORT ROAD TYPICAL ROADWAY SECTION
SCALE: 1"=10'
PUBLIC LOCAL ROAD
DESIGNED AS MINOR COLLECTOR
DESIGN SPEED: 35 MPH

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO 4.25 TO 4.75		4.75 TO 5 TO 5.75	
			MIN	MAX	MIN	MAX
P-3	PARKING DRIVE ALLEYS: RESIDENTIAL AND NON-RESIDENTIAL WITH NO ACCESS DOWN TO DRIVE TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SAC: NON-RESIDENTIAL MINOR COLLECTORS: RESIDENTIAL	PAVEMENT MATERIAL (INCHES)	1.5" MIN. PG. 64-22 SUPER 1 (LOW ESAL)		1.5" MIN. PG. 64-22 SUPER 1 (LOW ESAL)	
		MIN. SUPERPAVE FINE SURFACE	1.5	1.5	1.5	1.5
		MIN. SUPERPAVE INTERMEDIATE SURFACE	1.0	1.0	1.0	1.0
		MIN. SUPERPAVE BASE	1.0	1.0	1.0	1.0
		MIN. SUPERPAVE BASE	3.0	3.0	3.0	3.0
		MIN. SUPERPAVE FINE SURFACE	3.0	3.0	3.0	3.0
		MIN. SUPERPAVE INTERMEDIATE SURFACE	3.0	3.0	3.0	3.0
		MIN. SUPERPAVE BASE	3.0	3.0	3.0	3.0
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