

General Notes:

1. ZONING: Property is zoned 'New Town' per the 2013 Comprehensive Zoning Plan and is designated as Downtown Mixed Use Area. Additionally, the project area is subject to the Downtown Columbia Plan - A General Plan Amendment effective April 6, 2010.
2. Applicable DPZ File Reference: FDP-DC-Crescent-1, FDP DC-Crescent-1A, ECP 16-041, ECP 16-042, F 15-106, F 16-101 and NP 11-010.
3. This project is in conformance with the latest Howard County standards unless waivers have been approved.
4. Boundary information is from boundary surveys by Gutschick, Little, and Weber, P.A., dated November, 2011.
5. Horizontal and vertical datum is based on Howard County Control Stations: 306A, 36AA.
6. Aerial topography by McKenzie Snyder, Inc. on March, 2007 and Gutschick, Little and Weber on August, 2011. Topography north and west of Broken Land Parkway provided by Howard County GIS.
7. There are no wetlands or streams within the limits of the Parcel D portion of this project. No clearing, grading or construction is permitted within wetlands, streams or their required buffers, unless approved by the Department of Planning and Zoning as necessary disturbances or waivers have been approved.
8. Vehicular ingress & egress to Broken Land Parkway is restricted except as approved by Howard County Department of Planning and Zoning.
9. The Cemetery Inventory Maps do not show any cemeteries within the project limits.
10. The Scenic Roads Map does not indicate any scenic roads within or adjacent to the project limits.
11. Existing utilities are based on available Howard County records.
12. This property is within the Metropolitan District.
13. Water and Sewer are Public per Contract No. 24-4414-D and are within the Little Patuxent Sewerage Area.
14. There are no 100-year flood plains within the limits of this project.
15. This subdivision is exempt from the requirements of Section 16.1202(b)(1)(v) of the Howard County Code for Forest Conservation because the subject property is part of a Planned Unit Development which has preliminary development plan approval and 50% or more of the land is recorded and substantially developed before December 31, 1992.
16. Where referred to herein, "Lot(s)" includes lot(s) as defined in Subdivision Sections 100b(30) and 100b(60).
17. On June 16, 2014, a letter was issued by the Department of Planning and Zoning, Division of Research in accordance with the provisions of Section 610.4 granting housing unit allocations for FDP-DC-CRESCENT-1A as shown in the Tentative Allocations Chart on this sheet.

A waiver of Section 610.16 (MF 16-100) was approved on March 17, 2016 which requires a milestone date of 9 months from the decision date to submit plans in the next stage of the subdivision and land development process in order to maintain tentative allocations for a project. Approval is subject to the following three conditions:
1. The first phase of 300 allocations must be submitted on or before July 30, 2016. Additional extensions of time will require a new petition.
2. Update this phasing chart to reflect the new milestone date in accordance with MF 16-100.
3. Please reference the waiver petition number, section request, date of the decision and conditions of approval on all future plans for this site.

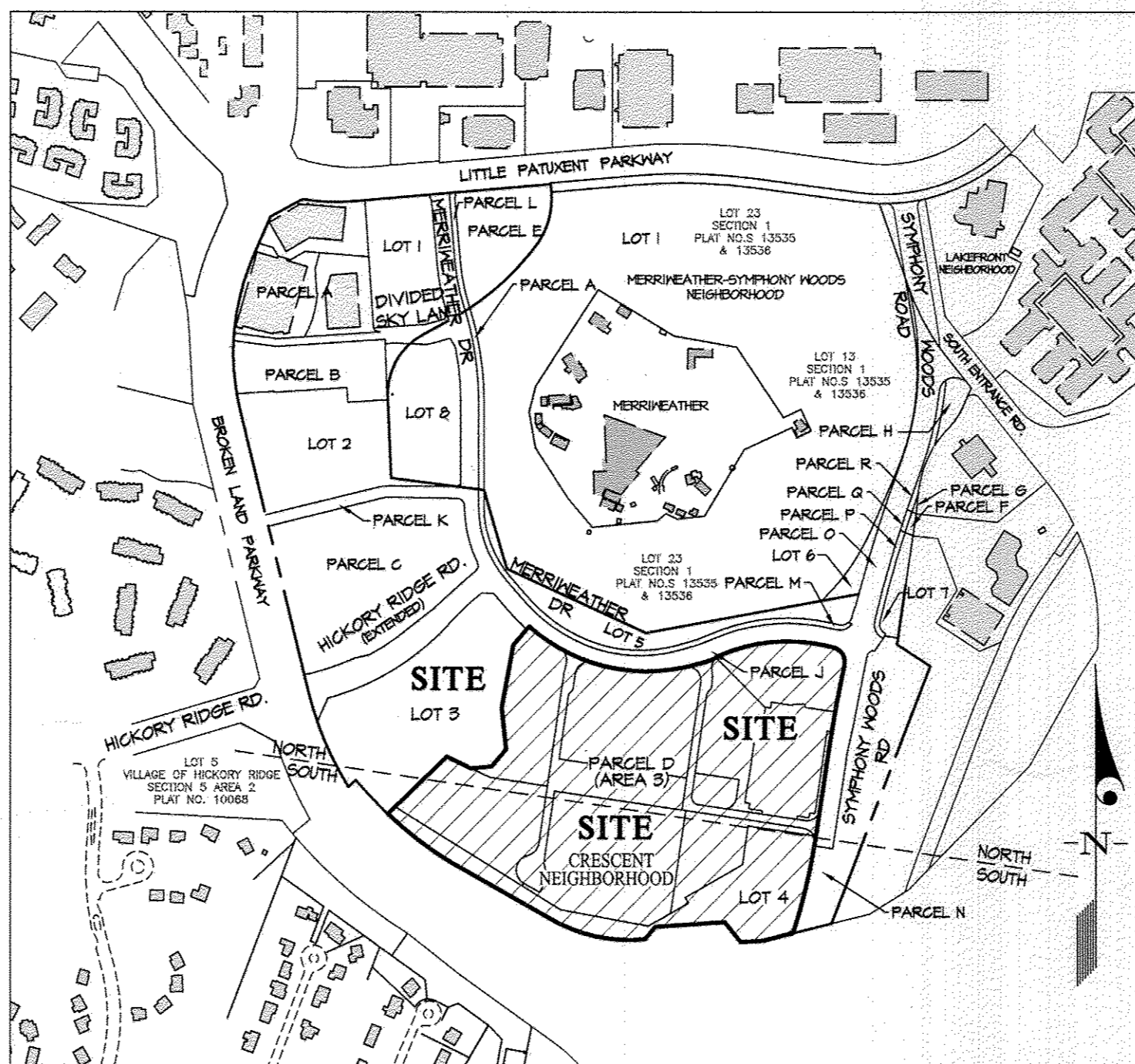
PRELIMINARY EQ. SKETCH PLAN DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PARCELS D-1 thru D-11 & OPEN SPACE LOT 10

methodology, shall be correspondingly reduced. In addition, Petitioner may record a corresponding release of the temporary easement from one or more of such other Downtown properties that are no longer necessary to provide the required total.

When at least 5,000 parking spaces are available within the Crescent Neighborhood to serve Merrickweather Post Pavilion events, calculated in accordance with the Downtown Revitalization shared parking methodology, Petitioner may record a full release of the temporary easement from all of the other downtown properties.

As with past practices, the MFP operator shall secure additional parking spaces located both within and outside the Downtown area for any events requiring more than 5,000 parking spaces. Any requirement for such additional parking spaces shall be determined on a case-by-case basis prior to issuance of an event permit by the County.

25. A Traffic Study for this project was prepared by Wells and Associates dated August 10, 2016 and was approved on January 4, 2017.
26. A Parking Analysis for this project was prepared by Wells and Associates dated May 5, 2016, revised on August 25, 2016 and was approved on January 4, 2017. Final review of the Shared Parking Study and required parking quantities will occur with the SDP. Refinements to the parking calculations may be made during permit review to reflect final square footages of other requested changes through a redline revision of the plan.
27. A Geotechnical Report was prepared by the Baizer Companies dated July 12, 2016 and was approved on January 4, 2017.
28. The preliminary stormwater management and storm drain design shown on these plans and accompanying computations within the Preliminary Equivalent Sketch Plan Preliminary SWM and Storm Drain Report were prepared by Daft, McCune and Walker, Inc.
29. The preliminary water and sewer design shown on these plans was prepared by Daft, McCune and Walker, Inc.
30. Generalized secondary amenity spaces are shown for illustrative purposes and to provide a general sense of the likely locations and size of these spaces. The exact location, size, configuration and character of secondary amenity spaces will be established at the Site Development Plan stage and may vary from what is shown. Such variation, if any, will not require amendment to this Preliminary Equivalent Sketch Plan.
31. Environmental restoration activities pursuant to CEPPA 15 will be completed in accordance with the Planning Board's December 2, 2016 approval of CEPPA alternative compliance:
 1. Environmental Restoration Areas 3 through 7 and 56 5-5 (offsite) shall be completed prior to the issuance of the 1F use and occupancy permits for a building in Crescent Neighborhood Development, Area 3.
 2. HRD shall provide quarterly monitoring reports beginning April 1, 2017, through the completion of the environmental restoration, keeping DPZ apprised of its status and to identify any potential delays to complete the work.
32. Building footprints shown are preliminary and will be finalized at the Site Development Plan stage.
33. A waiver of Sections 16.144(d)(2) and 16.144(r)(3) (MF 17-010) was approved on August 25, 2016 to allow an extension of 45 days to the deadline for additional information. Approval is subject to the following two conditions:
 1. The Preliminary Equivalent Sketch Plan must be resubmitted on or before September 15, 2016.
 2. Please reference the alternative compliance petition number, section request, the date of decision and condition of approval on all future plans for this site.
34. Issuance of building permits pursuant to this plan and subsequent Site Development Plan approval(s) may trigger certain CEPPA compliance requirements under the Downtown Columbia Plan (see CEPPAs 14-21). CEPPA tracking and requirements will be identified on future site development plans and with the issuance of building permits.
35. A traffic study or traffic statement as appropriate will be required with each Site Development Plan.
36. All public crosswalk installations are subject to approval of the Howard County Department of Public Works.
37. The need for and the timing of any new public transit facility along Merrickweather Drive adjacent to Area 3 will be evaluated as part of the SDP review process.



STORMWATER MANAGEMENT PRACTICE CHART:

SITE	PRACTICES TO BE UTILIZED
1. Public Roadways:	Micro bio-retention (M-6), R-Tank Modular SWM Storage System (storage device)
2. Adj. Private Parking	Micro bio-retention (M-6), R-Tank Modular SWM Storage System (storage device)
3. Development Sites	Micro bio-retention (M-6), Contech Stormfilter (cartridge treatment & pre.) Rinker Stormceptor (hydrodynamic device), R-Tank Modular SWM Storage System (storage device)

As agreed to by the Howard County Department of Public Works on November 1, 2016, all stormwater management devices on privately owned property, including those that provide treatment for public roads, are to be privately owned. The Rinker Stormceptors will be privately owned but maintained by the Howard County Department of Public Works with public easements provided for access. Stormwater management structures adjacent to the public right-of-way of Prism Way and Mango Tree Road will be **privately owned and maintained**. The specifics of the agreed upon ownership and maintenance responsibilities of the stormwater management facilities, will be included in a Maintenance Agreement to be executed by both parties.

LEGEND

-----	EXIST. CURB & GUTTER/PAVEMENT	[Symbol]	PROP. STREET LIGHT LOCATION
=====	STANDARD CURB & GUTTER/FLASH CURB	[Symbol]	EX. PARKING LOT LIGHT LOCATION
- - - - -	PROPOSED TEMPORARY ASPHALT CURB	[Symbol]	PROPOSED PUBLIC MICRO BIO-RETENTION FACILITY (M-6)
[Symbol]	EXISTING SEWER MAIN	[Symbol]	PROPOSED PRIVATE MICRO BIO-RETENTION FACILITY (M-6)
[Symbol]	EXISTING WATER MAIN	[Symbol]	PROPOSED PRIVATE PERVIOUS PAVEMENT (A-2)
[Symbol]	EXISTING STORM DRAIN	[Symbol]	PAVING TRANSITION
[Symbol]	PROPOSED PUBLIC STORM DRAIN	[Symbol]	PAVING TRANSITION FROM 1" CURB AND GUTTER TO FLUSH CURB
[Symbol]	PROPOSED PRIVATE STORM DRAIN	[Symbol]	PROPOSED PAVING
[Symbol]	PROP. LIMIT OF DISTURBANCE	[Symbol]	PROPOSED SUPER SILT FENCE
[Symbol]	PROPOSED STORM DRAIN STRUCTURE NUMBER	[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	EXISTING STORM DRAIN STRUCTURE NUMBER	[Symbol]	TEMPORARY STOCKPILE
[Symbol]	PROPOSED PUBLIC DRAINAGE AREA	[Symbol]	SIGNATURE BUILDING SEE NDG FOR MORE INFORMATION
[Symbol]	PROPOSED PRIVATE DRAINAGE AREA	[Symbol]	EXISTING SLOPES 15% TO 25%
[Symbol]	EXISTING SOIL BOUNDARY	[Symbol]	EXISTING SLOPES GREATER THAN 25%
[Symbol]	EXISTING SOIL BOUNDARY	[Symbol]	ESD SOIL BORING LOCATION
[Symbol]	EXISTING CONTOUR	[Symbol]	LOCATION NUMBER 1 SECONDARY AMENITY SPACE
[Symbol]	PROP. CONTOUR	[Symbol]	SAS-1
[Symbol]		[Symbol]	FOREST RESTORATION SITES

SHEET INDEX

1. COVER SHEET
2. PRELIMINARY EQ. SKETCH PLAN - NORTH
3. PRELIMINARY EQ. SKETCH PLAN - SOUTH
4. STORM DRAIN DRAINAGE AREA & SOILS MAP - NORTH
5. STORM DRAIN DRAINAGE AREA & SOILS MAP - SOUTH
6. ESD DRAINAGE AREA & SOILS MAP - NORTH
7. ESD DRAINAGE AREA & SOILS MAP - SOUTH
8. SEDIMENT CONTROL PLAN & SOILS MAP - NORTH
9. SEDIMENT CONTROL PLAN & SOILS MAP - SOUTH
10. STORMWATER MANAGEMENT DETAILS AND PRACTICE TABULATION

KEY MAP

SCALE: 1" = 250'

Site Analysis

1. GROSS AREA OF SITE:	251 AC.
2. DISTURBED AREA:	22.4 AC.
3. NUMBER OF LOTS PROPOSED:	1 LOT
4. NUMBER OF PARCELS PROPOSED:	11 PARCELS
5. AREA OF PROPOSED LOTS:	3.7 AC.
6. AREA OF PROPOSED PARCELS:	20.8 AC.
7. AREA OF PROPOSED PUBLIC ROADS:	0.6 AC.

Shared Parking Analysis Summary¹

1. MAXIMUM PARKING REQUIRED (WEEKDAY):	5,165 SPACES
2. TOTAL PARKING PROVIDED:	6,285 GARAGE SPACES ²

¹ FOR ADDITIONAL INFORMATION, SEE GENERAL NOTE 26.
² DOES NOT INCLUDE POSSIBLE ON-STREET PARKING SPACES

Net New Amenity Spaces Chart

Key	Type	Description	Area (SF)	Area Shown (SF) ¹
17	Primary	South Crescent Park	25,300	25,300
18	Primary	South Crescent Promenade	11,000	11,000
Sub Total:			36,300	36,300
Area 3 ² Secondary Parcels D-1, thru D-11			23,400	21,902
Total:			59,700	58,202

1. Minimum area.
2. Potential area only. Actual area will vary and will be determined at SDP stage.
3. The reduction in secondary amenity space area from what was shown on the FDP can be attributed to additional secondary amenity space provided in Area 1.
4. For additional information see General Note 30.

¹The eight annual phases will be developed as Crescent Neighborhood Phase 1.

MF 17-052
ON JANUARY 31, 2017 MF 17-052 WAS GRANTED FOR THE FOLLOWING:
 • TO ALLOW PUBLIC RIGHT-OF-WAY LINES ON CORNER LOTS AT INTERSECTIONS TO BE TRUNCATED BY STRAIGHT LINES JOINING POINTS 25 FEET BACK FROM THE THEORETICAL PROPERTY LINE INTERSECTION IN EACH QUADRANT (A WAIVER FROM SECTION 16.100(b)).
 • A WAIVER FROM SECTION 16.100(c) WHICH REQUIRES ALL COMMERCIAL, INDUSTRIAL OR APARTMENT LOTS TO HAVE A MINIMUM FRONTAGE OF 60 FEET ON AN APPROVED PUBLIC ROAD WHICH PROVIDES ACCESS TO THE PROPERTY. LOTS FOR INDIVIDUAL BUSINESSES WITH A COMMERCIAL CENTER OR INDUSTRIAL DEVELOPMENT THAT HAVE SHARED ACCESS AND PARKING MAY BE APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING WITHOUT PUBLIC ROAD FRONTAGE.

THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. A SIGHT DISTANCE ANALYSIS MUST BE SUBMITTED FOR ALL SITE DEVELOPMENT PLANS PROPOSED AT PUBLIC AND PRIVATE STREET INTERSECTIONS IN DOWNTOWN COLUMBIA (ALL SIX NEIGHBORHOODS).
 2. PLEASE INCLUDE A GENERAL NOTE WITH THE MF FILE NUMBER, THE REGULATORY SECTION NUMBER, THE DATE OF THE APPROVAL, AND THE CONDITIONS OF APPROVAL ON ALL FUTURE DOWNTOWN COLUMBIA PLANS.
 3. ALTERNATIVE COMPLIANCE OF SECTION 16.100(c) IS APPROVED ONLY FOR CRESCENT NEIGHBORHOOD PARCELS D-9 THROUGH PARCELS D-4 AS SHOWN ON THE ASSOCIATED PLAN EXHIBIT IF THE DEPARTMENT OF PUBLIC WORKS REQUIRES ALL ROADS PROVIDING FRONTAGE TO THESE PROPERTIES BE PRIVATE DUE TO ENHANCED DESIGN FEATURES AND MATERIALS.
 4. A RECIPROCAL EASEMENT AGREEMENT MUST BE RECORDED FOR ALL PARCELS IN CRESCENT NEIGHBORHOOD AREA 3 TO OUTLINE THE OPERATION OF THE PRIVATE ROADWAYS FOR SAFE AND EFFICIENT ACCESS TO EACH INDIVIDUAL PARCEL AND PARKING AREA. THIS AGREEMENT MUST INCLUDE MAINTENANCE FOR STORM DRAINAGE, STORMWATER MANAGEMENT FACILITIES, SEWER SYSTEMS, SNOW REMOVAL, STREET LIGHTING, AND ANY OTHER TYPICAL ROADWAY MAINTENANCE AND OPERATIONAL ISSUES.
 5. UNIMPEDDED PUBLIC ACCESS FOR CRESCENT NEIGHBORHOOD PARCELS D-9 THROUGH D-4 MUST BE PROVIDED AT ALL TIMES FOR EMERGENCY PURPOSES, INCLUDING WHEN STREET FESTIVALS MAY CLOSE SECTIONS OF THE PRIVATE ROAD.
 6. PLEASE INCLUDE A GENERAL NOTE WITH THE MF FILE NUMBER, THE REGULATORY SECTION NUMBER, THE DATE OF THE APPROVAL, AND THE CONDITIONS OF APPROVAL ON ALL FUTURE CRESCENT AREA 3 PLAN SUBMISSIONS.

VOLUME II DESIGN MANUAL WAIVER
ON DECEMBER 30, 2016, THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS GRANTED A DESIGN MANUAL WAIVER TO SECTIONS 3.3.B.2.G, 4.3.B.2.D AND 5.4.B.1 OF THE HOWARD COUNTY DESIGN MANUAL, VOL. II, WITH THE FOLLOWING UNDERSTANDING:
 "SHOULD CIRCUMSTANCES CHANGE AS THE DESIGN PROCEEDS FORWARD, AND THESE MINIMUM CLEARANCES BETWEEN 1) WATER AND SEWER OF NO LESS THAN 10 FEET HORIZONTALLY (CENTER-TO-CENTER) OR 2) NO LESS THAN 6 FOOT VERTICAL CLEARANCE OF WATER ABOVE SEWER WHEN NECESSARY AND/OR 3) NO LESS THAN 5 FEET HORIZONTALLY TO ANY OTHER UTILITY (OUTSIDE TO OUTSIDE) ARE FOUND TO NOT BE ACHIEVABLE, THEN REVIEW AND APPROVAL IS REQUIRED."

VOLUME III DESIGN MANUAL WAIVER
ON JANUARY 19, 2017 THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING, ALONG WITH THE DEPARTMENT OF PUBLIC WORKS ISSUED ITS CONCLUSION ON A DESIGN MANUAL WAIVER TO THE FOLLOWING SECTIONS OF THE HOWARD COUNTY DESIGN MANUAL, VOL. III:
 I) SECTION 2.5.B.4 "REDUCE THE CURB FILLET RADIUS OF A NON-RESIDENTIAL AREA"
 HOWARD COUNTY ASKED THAT THE DESIGN BE PROVIDED FOR ALL PUBLIC ROAD FILLETS AND 25R BE PROVIDED FOR ALL COMMERCIAL ENTRANCES ONTO PUBLIC ROADS. OTHER CURB FILLET RADIUS WOULD BE SUBJECT TO APPROVAL OF A TURNING ANALYSIS. THIS ANALYSIS WOULD HAVE TO TAKE LANDSCAPING AND EMERGENCY VEHICLE OVERHANGS INTO CONSIDERATION. ALSO REQUESTED WAS THE USE OF REINFORCED TURN DOWN CURBS WHERE EMERGENCY VEHICLES MAY HAVE TO RIDE OVER THE CURB LINES.
 II) SECTION 2.4.K "UTILITY LOCATIONS"
 HOWARD COUNTY ASKED THAT THE DESIGN BE PROVIDED IN ACCORDANCE WITH THE DECEMBER 30, 2016 APPROVAL OF A WAIVER REQUEST TO DESIGN MANUAL WAIVER VOL. II.
 III) SECTION 2.5.B "MINIMUM INTERSECTION SPACING"
 HOWARD COUNTY HAD NO OBJECTION TO REDUCING THE SPACE FROM 500' TO 400' AS LONG AS THE PEAK HOUR TRAFFIC TO DRIVEWAY #1 IS MAINTAINED TO 200 VPH OR LESS.
 IV) SECTION 2.6.D "INTERSECTION SPACING AND CORNER CLEARANCE"
 THE COUNTY ACKNOWLEDGES THAT THE GARAGE ON PARCEL D-4 IS STILL BEING DESIGNED AND COULD BE SOME TIME UNTIL ITS FINAL DESIGN IS KNOWN. THEREFORE, THE COUNTY HAS DEFERRED A FINAL DESIGN UNTIL THE SITE DEVELOPMENT PLAN AND FINAL PLAN STAGE.
 V) SECTION 2.8 "THE USE OF PRIVATE ROADS"
 THE COUNTY CONCLUDED THAT ALL OF THE ROADS CAN BE PRIVATE WITH THE EXCEPTION OF PRISM WAY, FROM MERRICKWEATHER DRIVE DOWN TO MANGO TREE ROAD, AND MANGO TREE ROAD FROM PRISM WAY TO SYMPHONY WOODS ROAD.
 VI) SECTION 2, APPENDIX A "PUBLIC ROADWAY DESIGN CRITERIA"
 THE COUNTY CONCLUDED THE POSTED SPEED COULD BE 25 MPH.

VOLUME IV DESIGN MANUAL WAIVER
ON JANUARY 3, 2017 THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING GRANTED THE USE OF THE STORM DRAIN STRUCTURES SHOWN AS DETAIL D4.32 AND D4.35 IN THE HOWARD COUNTY DESIGN MANUAL, VOL. IV FOR THE CRESCENT NEIGHBORHOOD, AREA 3, AND OFFERED THE FOLLOWING:
 I) ONLY USE THE GRATE INLETS WHEN THE TYPICAL TYPE 'A' INLET CANNOT BE USED DUE TO SPACE CONSTRAINTS.
 II) WHEN A GRATE INLET IS USED, A CONCRETE COLLAR IS TO BE PROVIDED TO REDUCE THE CHANCE OF FAILURE DUE TO SETTLEMENT.
 III) IT IS STILL THE COUNTY'S PREFERENCE TO USE THE TYPICAL TYPE 'A' INLET IN THE PUBLIC ROADS.

BLOCK DEVELOPMENT CHART

Parcel	Uses											
	Retail/Office	Community	Hotel	Residential*	Total Development (GFA in SF)	Demolition		New		Net New		
Parcel	Area (SF)	Area (Acres)	Restaurant (SF)	Office (SF)	Community (SF)	Rooms	GFA (SF)	DU	GFA (SF)	Demolition	New	Net New
Parcel D-1 (Block C3.1)	89,422	2.05	27,770	452,964	150,000	0	0	112	139,080	0	769,814	769,814
Parcel D-2 (Block C2)	146,343	3.36	50,560	0	0	0	0	347	425,000	0	475,560	475,560
Parcel D-3 (Block C3)	72,726	1.67	13,166	414,900	0	0	0	0	0	0	428,066	428,066
Parcel D-4 (Block C3.4)	87,972	2.02	0	0	0	0	0	0	0	0	0	0
Parcel D-5 (Block C3.5)	64,885	1.49	19,570	285,100	0	0	0	0	0	0	304,670	304,670
Parcel D-6 (Block C3.6)	15,227	0.35	16,040	0	0	0	0	0	0	0	16,040	16,040
Parcel D-7 (Block C3.7)	56,678	1.30	18,190	0	0	0	0	0	0	0	18,190	18,190
Parcel D-8 (Block C3.8)	174,240	4.00	38,175	0	0	0	0	423	479,680	0	514,855	514,855
Parcel D-9 (Block C3.9)	115,412	2.65	0	0	0	250	150,000	0	0	0	150,000	150,000
Parcel D-10 (Block C3.10)	76,628	1.76	1,850	0	0	0	0	0	0	0	1,850	1,850
Parcel D-11 (Block C3.11)	4,773	0.11	0	0	0	0	0	0	0	0	0	0
Crescent Total This SP	904,306	20.76	185,321	1,152,964	150,000	250	150,000	882	1,040,760	0	2,679,045	2,679,045

*MODIFICATION OF THE APPROXIMATED NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA, NUMBER OF RESIDENTIAL UNITS, NUMBER OF HOTEL ROOMS AND GROSS FLOOR AREA OF CULTURAL/COMMUNITY SPACES SHOWN FOR EACH PARCEL MAY BE MADE AT THE SITE DEVELOPMENT PLAN STAGE WITHOUT AMENDING THIS PRELIMINARY EQUIVALENT SKETCH PLAN.

TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF HOWARD COUNTY
 Planning Director Date
 5-9-17

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-880-1820 DC/VL: 301-988-2524 FAX: 301-421-4188

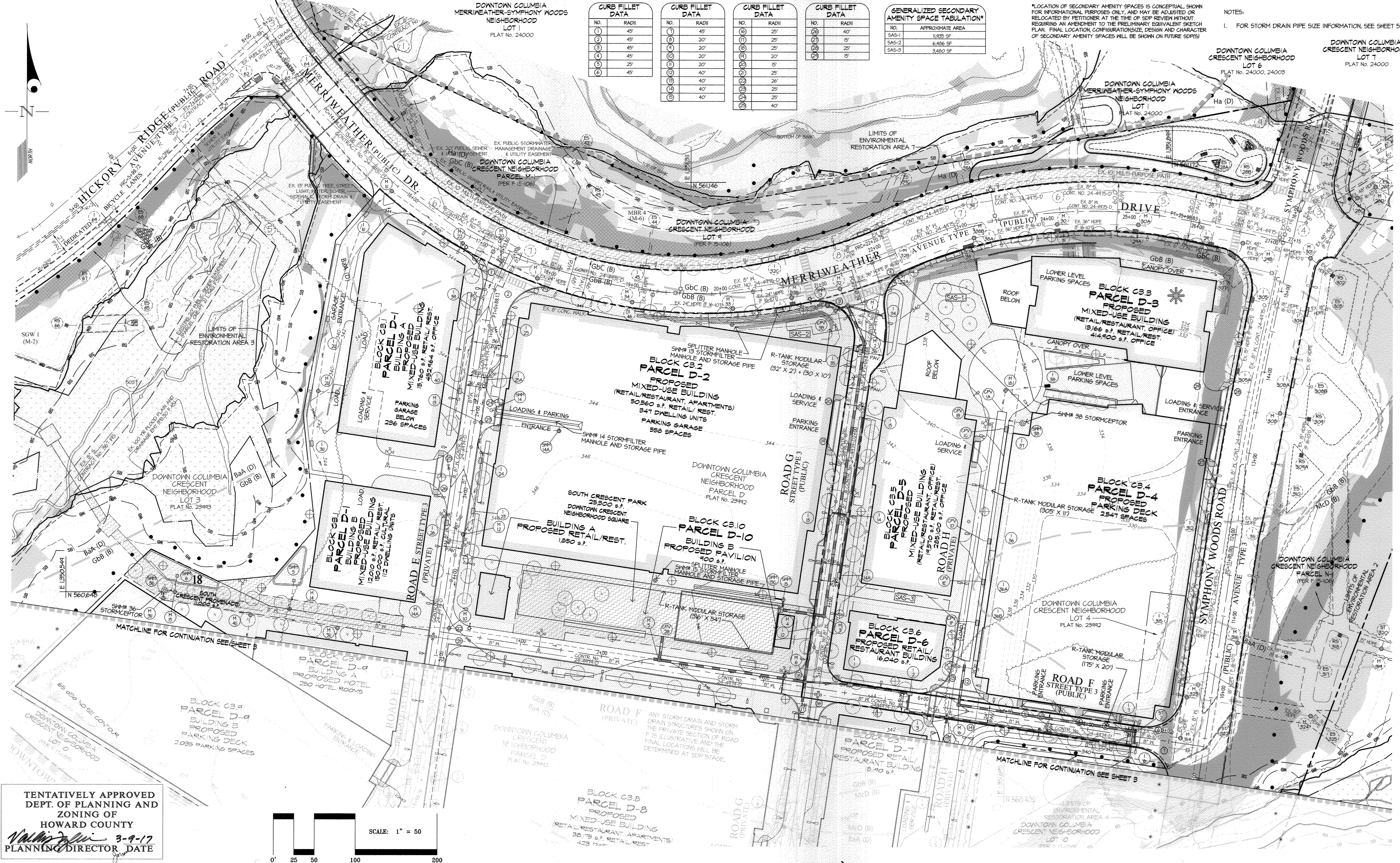
OWNER & PREPARED FOR:
THE HOWARD RESEARCH AND DEV. CORP.
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
ATTN: BILL ROWE
410-964-4987

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
EXPIRATION DATE: MAY 21, 2018



COVER SHEET
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10
A RESUBDIVISION OF PARCEL D & LOT 4**

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	1 OF 10



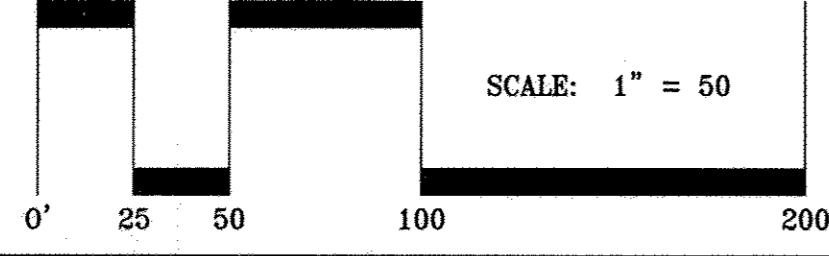
CURB FILLET DATA		CURB FILLET DATA		CURB FILLET DATA		CURB FILLET DATA	
NO.	RADII	NO.	RADII	NO.	RADII	NO.	RADII
1	45'	7	45'	16	25'	20	40'
2	45'	8	20'	17	25'	21	15'
3	45'	9	20'	18	25'	22	25'
4	45'	10	20'	19	20'	23	20'
5	25'	11	20'	20	15'	24	15'
6	45'	12	40'	21	25'	25	25'
		13	40'	22	26'	26	25'
		14	40'	23	25'	27	25'
		15	40'	24	25'	28	25'
				25	40'	29	15'

GENERALIZED SECONDARY AMENITY SPACE TABULATION*	
NO.	APPROXIMATE AREA
SAS-1	11,935 SF
SAS-2	6,496 SF
SAS-3	3,480 SF

*LOCATION OF SECONDARY AMENITY SPACES IS CONCEPTUAL SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND MAY BE ADJUSTED OR RELOCATED BY PETITIONER AT THE TIME OF SDP REVIEW WITHOUT REQUIRING AN AMENDMENT TO THE PRELIMINARY EQUIVALENT SKETCH PLAN. FINAL LOCATION, CONFIGURATION, DESIGN AND CHARACTER OF SECONDARY AMENITY SPACES WILL BE SHOWN ON FUTURE SDP(S).

NOTES:
 I. FOR STORM DRAIN PIPE SIZE INFORMATION, SEE SHEET 5.

TENTATIVELY APPROVED
 DEPT. OF PLANNING AND ZONING OF
 HOWARD COUNTY
Valerie J. ... 3-9-17
 PLANNING DIRECTOR DATE



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	MJT.	DATE	REVISION	BY	APP'R.

OWNER & PREPARED FOR:
 THE HOWARD RESEARCH AND DEV. CORP.
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MARYLAND 21044
 ATTN: BILL ROWE
 410-964-4987

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12693
 EXPIRATION DATE: MAY 20, 2018

SKETCH PRELIMINARY PLAN - NORTH
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10
 A RESUBDIVISION OF PARCEL D & LOT 4
 HOWARD COUNTY, MARYLAND

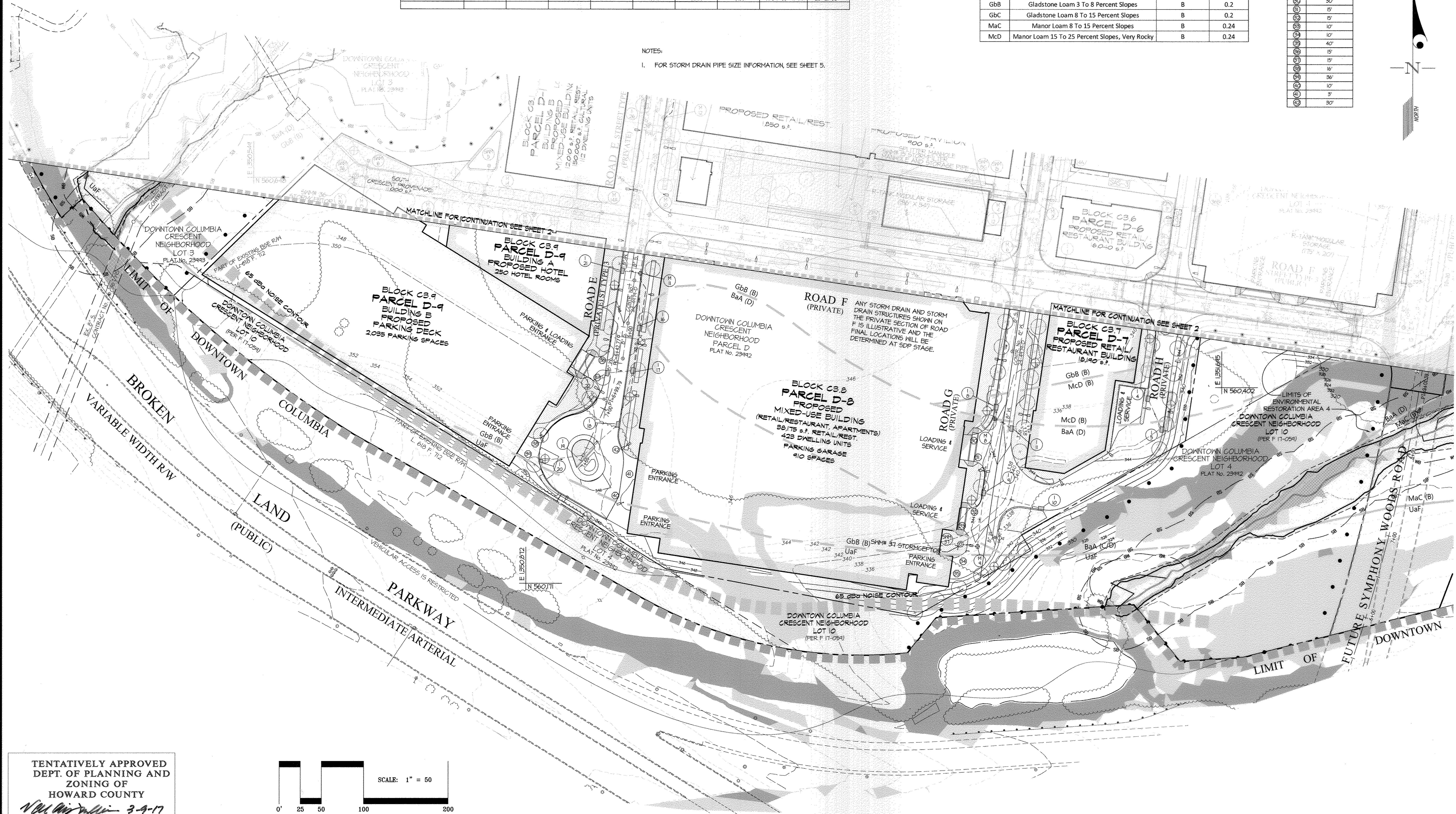
SCALE	ZONING	G. L. W. FILE NO.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	2 OF 10

CENTERLINE CURVE DATA									
STREET NAME	P.C. STA.	P.C.C. STA.	P.T. STA.	RADIUS	ARC	TANGENT	CHORD	BEARING	DELTA
ROAD E	0+33.50	---	0+84.13	200.00'	55.63'	21.99'	55.45'	S. 16° 22' 31" W	15° 33' 34"
ROAD G	0+41.24	---	0+81.68	100.00'	46.45'	23.85'	46.03'	N. 04° 53' 41" W	26° 21' 50"

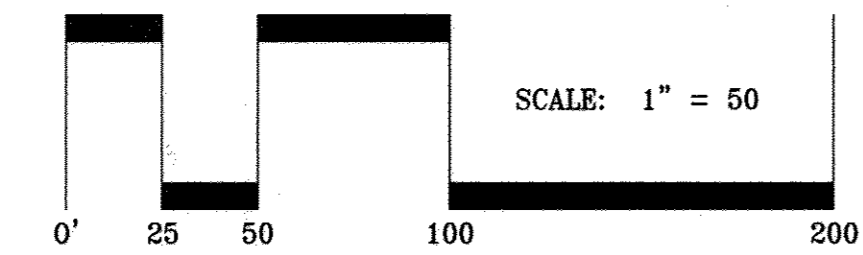
Map Unit Symbol	Map Unit Name	Hydrologic Group	K Value (Kw)
BoA	Baile Silt Loam, 0 To 3 Percent Slope	D	0.32
GbB	Gladstone Loam 3 To 8 Percent Slopes	B	0.2
GbC	Gladstone Loam 8 To 15 Percent Slopes	B	0.2
MaC	Manor Loam 8 To 15 Percent Slopes	B	0.24
McD	Manor Loam 15 To 25 Percent Slopes, Very Rocky	B	0.24

CURB FILLET DATA	
NO.	RADI
01	30'
02	15'
03	15'
04	10'
05	10'
06	40'
07	15'
08	16'
09	36'
10	10'
11	3'
12	30'

NOTES:
 1. FOR STORM DRAIN PIPE SIZE INFORMATION, SEE SHEET 5.



TENTATIVELY APPROVED
 DEPT. OF PLANNING AND ZONING OF
 HOWARD COUNTY
Bill Rowe 3-9-17
 PLANNING DIRECTOR, DATE



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

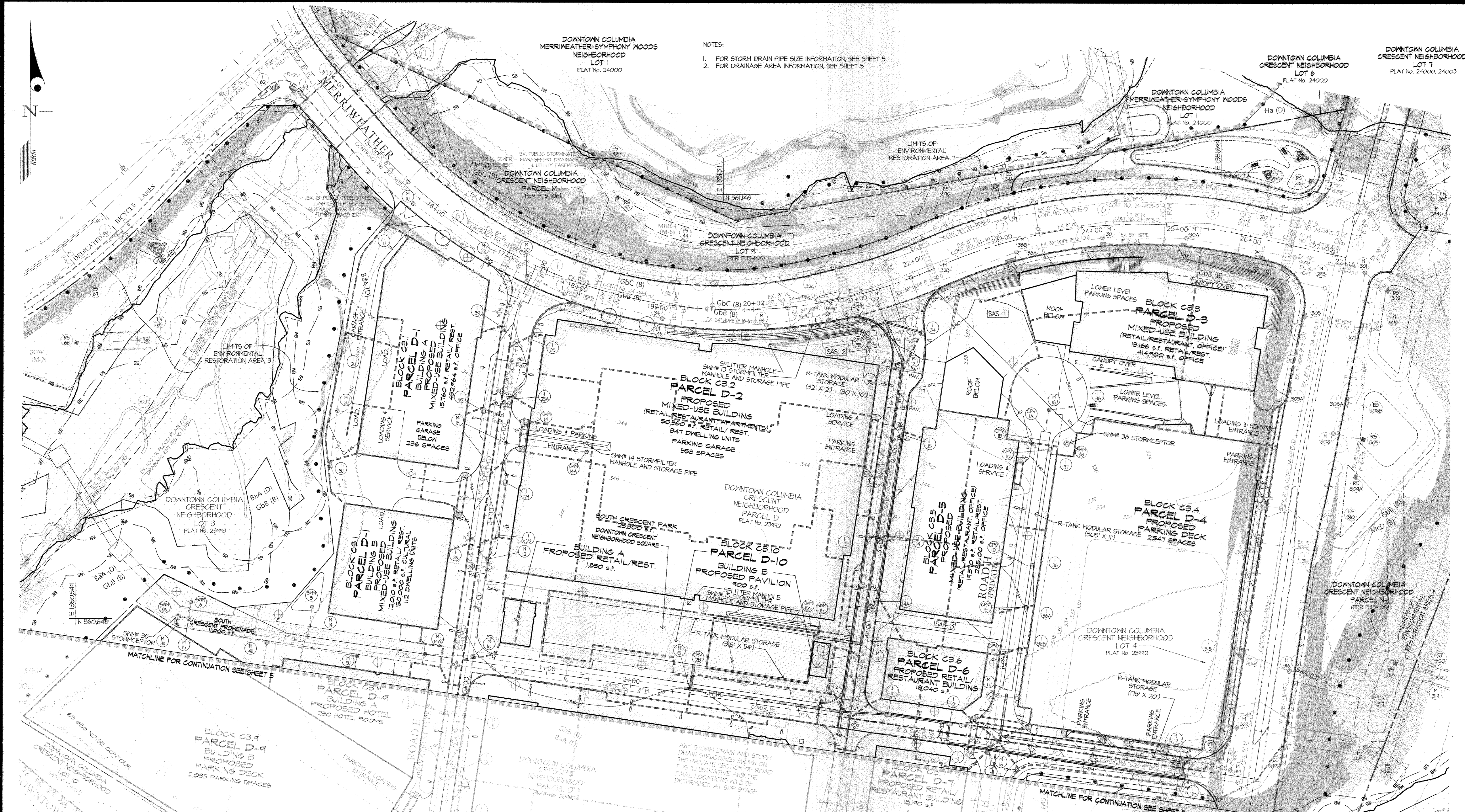
OWNER & PREPARED FOR:
 THE HOWARD RESEARCH AND DEV. CORP.
 10480 LITTLE PATUXENT PARKWAY
 SUITE 400
 COLUMBIA, MARYLAND 21044
 ATTN: BILL ROWE
 410-964-4987

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY 20, 2018



SKETCH PRELIMINARY PLAN - SOUTH
**DOWNTOWN COLUMBIA
 CRESCENT NEIGHBORHOOD
 PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10**
 A RESUBDIVISION OF PARCEL D & LOT 4
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	3 OF 10



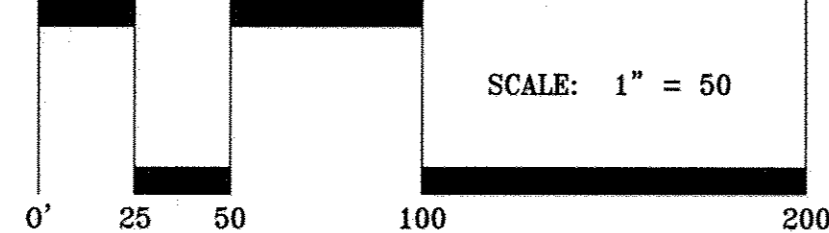
DOWNTOWN COLUMBIA
MERRIWEATHER-SYMPHONY WOODS
NEIGHBORHOOD
LOT 1
FLAT No. 24000

- NOTES:
1. FOR STORM DRAIN PIPE SIZE INFORMATION, SEE SHEET 5
 2. FOR DRAINAGE AREA INFORMATION, SEE SHEET 5

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
LOT 6
FLAT No. 24000

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
LOT 7
FLAT No. 24000, 24003

TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY
Valerie J. Hill 3-9-17
PLANNING DIRECTOR DATE



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	MJT.	DATE	REVISION	BY	APPR.

OWNER & PREPARED FOR:
THE HOWARD RESEARCH AND DEV. CORP.
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
ATTN: BILL ROWE
410-964-4987

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PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 13623
EXPIRATION DATE: MAY 20, 2018



PRELIMINARY SD DRAINAGE AREA MAP- NORTH
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10**
A RESUBDIVISION OF PARCEL D & LOT 4
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	4 OF 10

STRUCTURE	AREA (AC.)	'C'
I-10	0.12	0.86
I-21	0.18	0.86
I-30	0.18	0.86
H-1	0.11	0.84
I-2	0.16	0.85
I-3	0.07	0.86
I-4	0.39	0.84
I-5	0.07	0.84
I-6	0.11	0.84
I-7	0.13	0.85
I-8	0.44	0.84
I-9	0.07	0.46
I-10	0.43	0.47

STRUCTURE	AREA (AC.)	'C'
I-11	0.31	0.84
I-12	0.04	0.83
I-13	0.20	0.85
I-14	0.23	0.84
I-14A	0.04	0.85
I-15	0.30	0.84
I-16	0.42	0.84
I-17	0.12	0.84
I-18	0.18	0.85
I-19	0.18	0.75
I-20	0.23	0.91
I-21	0.04	0.83
I-22	0.15	0.84

STRUCTURE	AREA (AC.)	'C'
I-23	0.14	0.83
I-24	0.33	0.85
I-25	0.16	0.83
I-25A	0.13	0.86
I-26	0.20	0.84
I-34	0.46	0.80
I-35	0.11	0.85
I-36	0.18	0.84
I-36A	0.10	0.80
I-36B	0.12	0.81
I-37	0.32	0.84
I-38	0.67	0.94
I-39	0.31	0.84
I-40	0.14	0.84

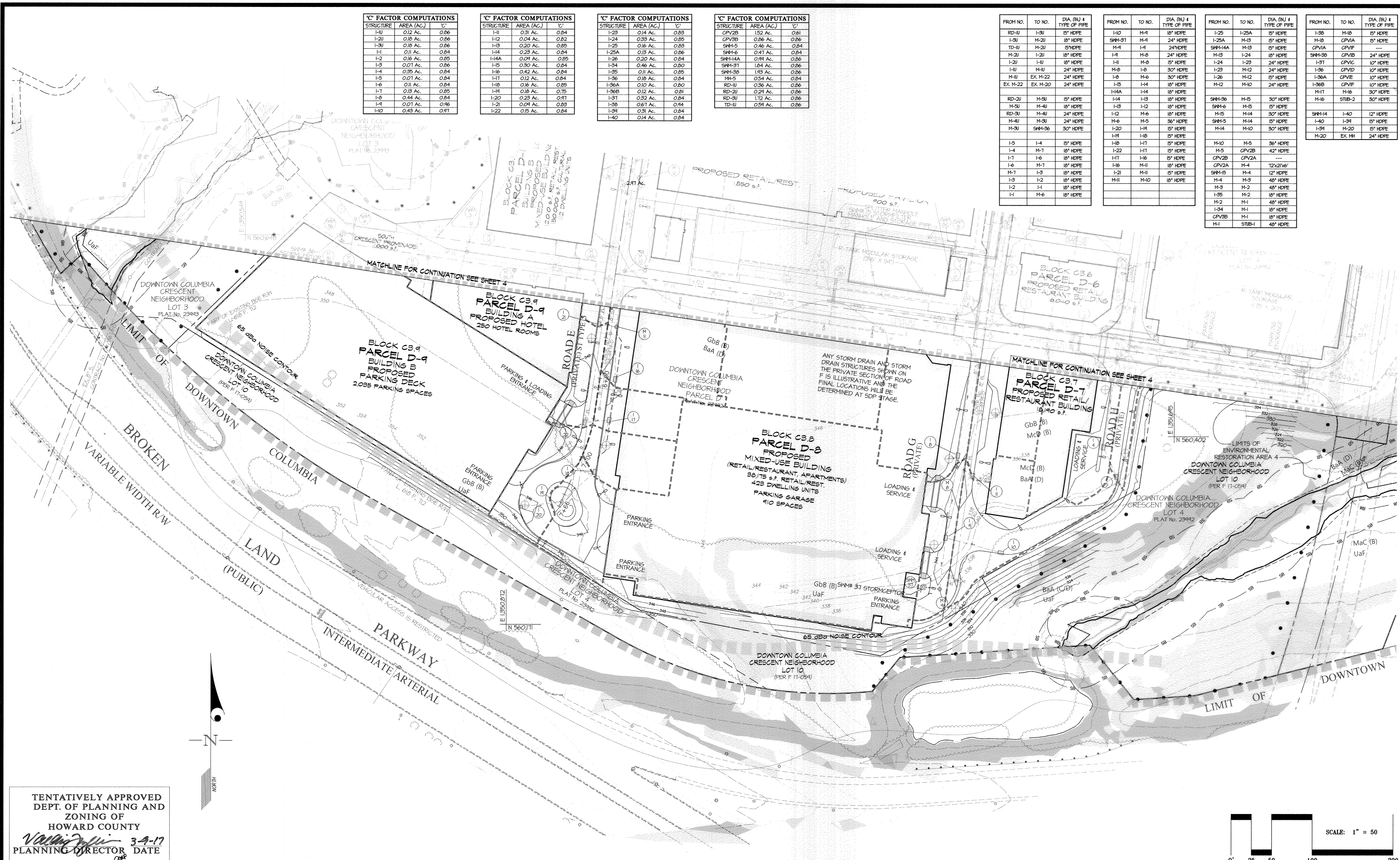
STRUCTURE	AREA (AC.)	'C'
CPV2B	1.52	0.61
CPV2B	0.86	0.86
SNM-5	0.46	0.84
SNM-6	0.41	0.84
SNM-14A	0.91	0.86
SNM-37	1.84	0.86
SNM-38	1.93	0.86
M-5	0.54	0.84
RD-10	0.36	0.86
RD-20	0.24	0.86
RD-30	1.12	0.86
TD-10	0.54	0.86

FROM NO.	TO NO.	DIA. (IN) & TYPE OF PIPE
RD-10	I-30	18" HDPE
I-30	M-20	18" HDPE
TD-10	M-20	18" HDPE
M-20	I-20	18" HDPE
I-20	I-10	18" HDPE
I-10	M-10	24" HDPE
EX M-22	EX M-20	24" HDPE
RD-20	M-50	18" HDPE
M-50	M-40	18" HDPE
RD-30	M-40	24" HDPE
M-40	M-30	24" HDPE
M-30	SNM-36	30" HDPE
I-5	I-4	18" HDPE
I-4	M-7	18" HDPE
I-7	I-6	18" HDPE
I-6	M-7	18" HDPE
M-7	I-3	18" HDPE
I-3	I-2	18" HDPE
I-2	I-1	18" HDPE
I-1	M-6	18" HDPE

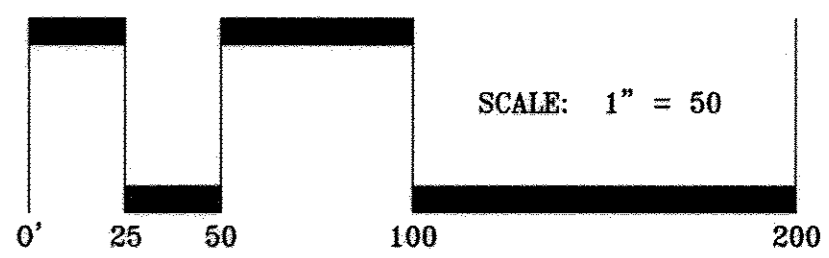
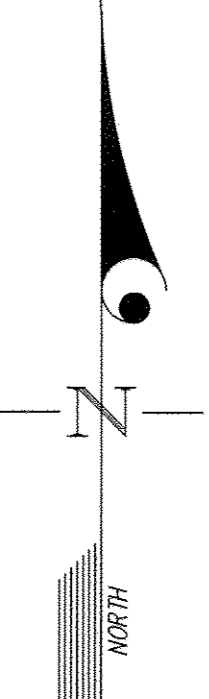
FROM NO.	TO NO.	DIA. (IN) & TYPE OF PIPE
I-10	M-1	18" HDPE
SNM-37	M-1	24" HDPE
M-1	I-4	24" HDPE
I-4	M-8	24" HDPE
M-8	I-8	18" HDPE
I-8	M-6	30" HDPE
M-6	M-5	30" HDPE
I-5	M-4	18" HDPE
I-4A	M-4	18" HDPE
I-4	I-3	18" HDPE
I-3	I-2	18" HDPE
I-2	I-1	18" HDPE
M-1	M-10	18" HDPE

FROM NO.	TO NO.	DIA. (IN) & TYPE OF PIPE
I-25	I-25A	18" HDPE
I-25A	M-15	18" HDPE
M-15	I-24	18" HDPE
I-24	I-23	24" HDPE
I-23	M-12	24" HDPE
M-12	M-12	18" HDPE
M-12	M-10	24" HDPE
SNM-36	M-15	30" HDPE
SNM-6	M-15	18" HDPE
M-15	M-14	30" HDPE
SNM-5	M-14	30" HDPE
M-14	M-10	30" HDPE
M-10	M-5	36" HDPE
M-5	CPV2B	42" HDPE
CPV2B	CPV2A	---
CPV2A	M-4	72x21x6'
SNM-15	M-4	12" HDPE
M-4	M-3	48" HDPE
M-3	M-2	48" HDPE
I-35	M-2	18" HDPE
M-2	M-1	48" HDPE
I-34	M-1	18" HDPE
CPV2B	M-1	18" HDPE
M-1	STUB-1	48" HDPE

FROM NO.	TO NO.	DIA. (IN) & TYPE OF PIPE
I-38	M-18	18" HDPE
M-18	CPV1A	18" HDPE
CPV1A	CPV1B	24" HDPE
SNM-38	CPV1B	24" HDPE
I-37	CPV1C	18" HDPE
I-36	CPV1D	18" HDPE
I-36A	CPV1E	18" HDPE
I-36B	CPV1F	18" HDPE
M-17	M-16	30" HDPE
M-16	STUB-2	30" HDPE
SNM-14	I-40	12" HDPE
I-40	I-39	18" HDPE
I-39	M-20	18" HDPE
M-20	EX M1	24" HDPE



TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF
HOWARD COUNTY
Valerie J. Miller 3-4-17
PLANNING DIRECTOR DATE



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

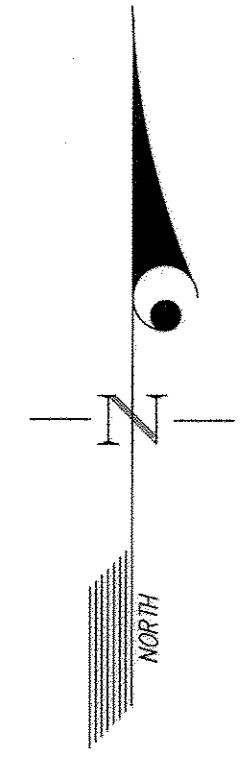
DES.	DRN.	CHK.	MJT	DATE	REVISION	BY	APPR.

OWNER & PREPARED FOR:
THE HOWARD RESEARCH AND DEV. CORP.
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
ATTN: BILL ROWE
410-964-4987

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
EXPIRATION DATE: MAY 20, 2018

PRELIMINARY SD STORM DRAINAGE AREA MAP - SOUTH
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10**
A RESUBDIVISION OF PARCEL D & LOT 4
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB, 2017	36 - 1	5 OF 10

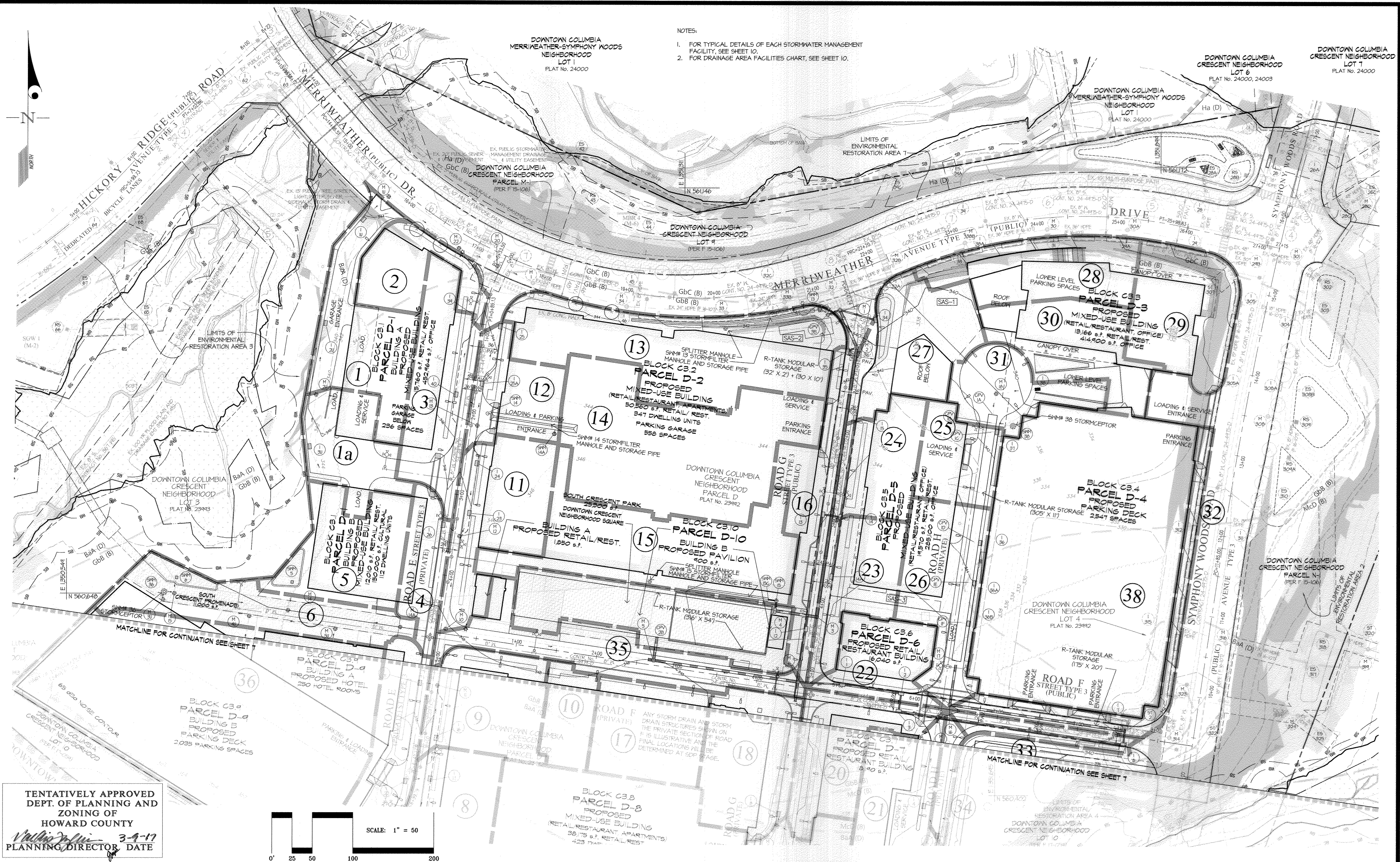


DOWNTOWN COLUMBIA
MERRIWEATHER-SYMPHONY WOODS
NEIGHBORHOOD
LOT 1
PLAT No. 24000

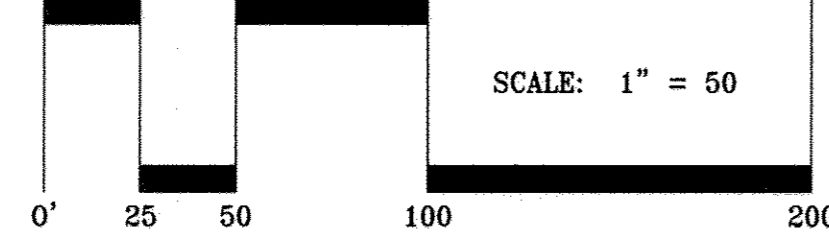
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
LOT 6
PLAT No. 24000, 24003

DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
LOT 7
PLAT No. 24000

- NOTES:
1. FOR TYPICAL DETAILS OF EACH STORMWATER MANAGEMENT FACILITY, SEE SHEET 10.
 2. FOR DRAINAGE AREA FACILITIES CHART, SEE SHEET 10.



TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY
William J. Miller 3-9-17
PLANNING DIRECTOR, DATE



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-399-2524 FAX: 301-421-4186

OWNER & PREPARED FOR:
THE HOWARD RESEARCH AND DEV. CORP.
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
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LICENSE NO. 14931
EXPIRATION DATE: MAY 20, 2018

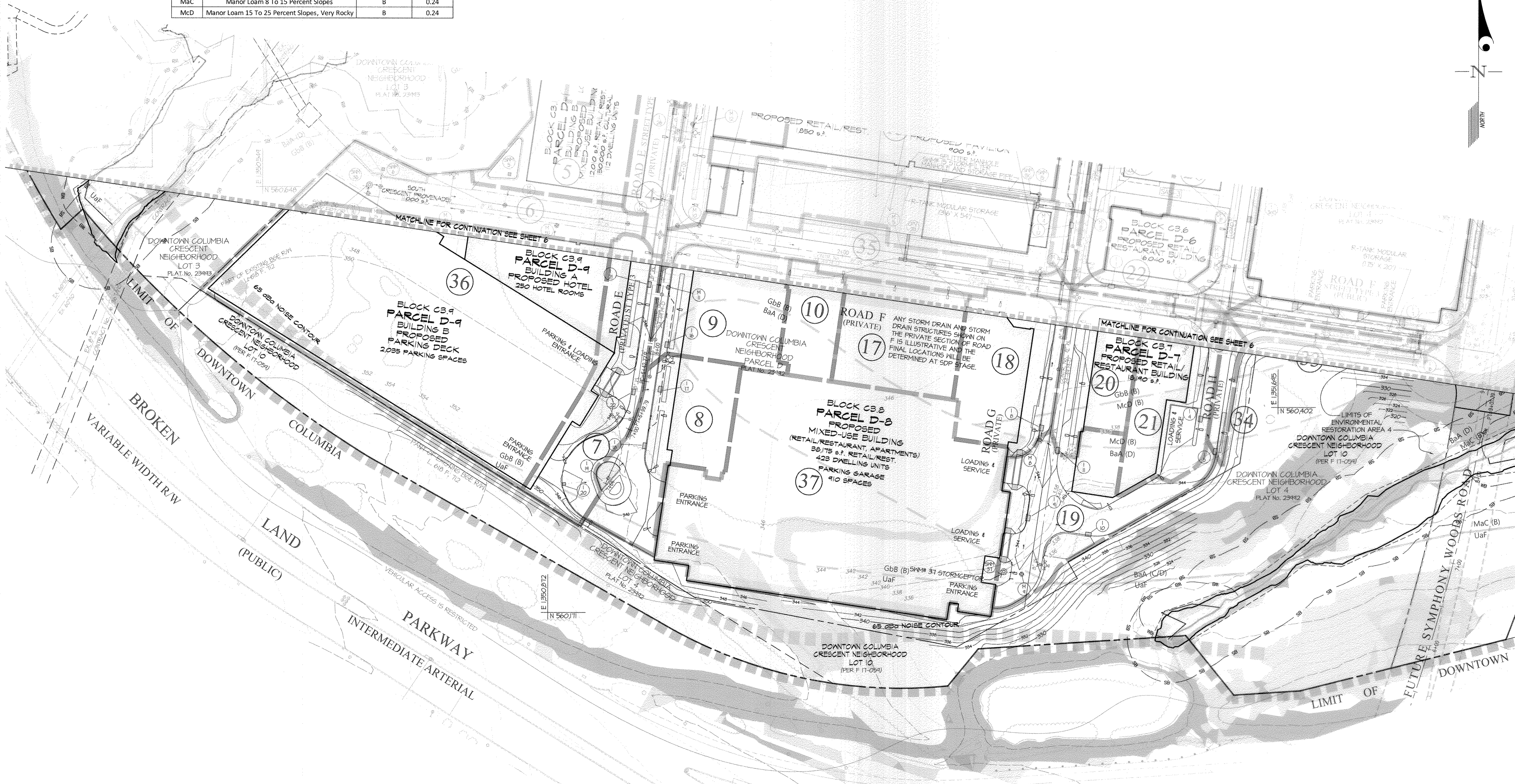
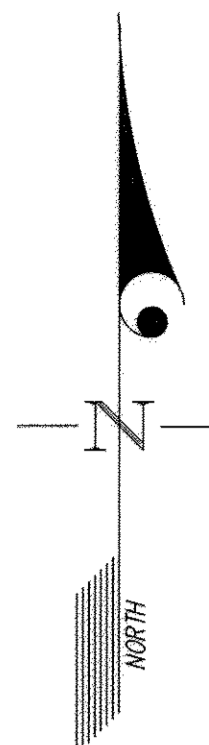
PRELIMINARY ESD DRAINAGE AREA MAP - NORTH
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10**
A RESUBDIVISION OF PARCEL D & LOT 4

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB, 2017	36 - 1	6 OF 10

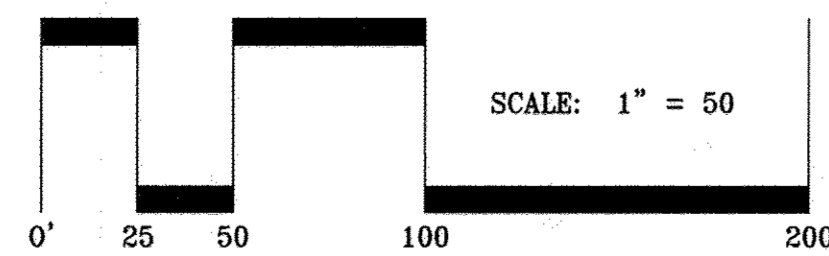
DES.	DRN.	CHK. MJT	DATE	REVISION	BY	APP'R.

DES.	DRN.	CHK. MJT	DATE	REVISION	BY	APP'R.

Map Unit Symbol	Map Unit Name	Hydrologic Group	K Value (Kw)
BoA	Baile Silt Loam, 0 To 3 Percent Slope	D	0.32
GbB	Gladstone Loam 3 To 8 Percent Slopes	B	0.2
GbC	Gladstone Loam 8 To 15 Percent Slopes	B	0.2
MaC	Manor Loam 8 To 15 Percent Slopes	B	0.24
McD	Manor Loam 15 To 25 Percent Slopes, Very Rocky	B	0.24



TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF
HOWARD COUNTY
Valerie J. Miller 3-9-17
PLANNING DIRECTOR DATE

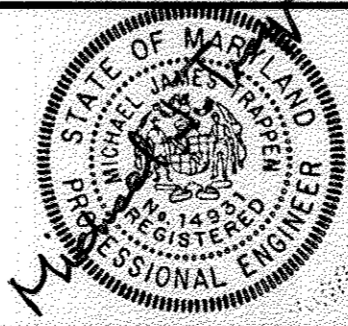


GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	MJT	DATE	REVISION	BY	APPR.

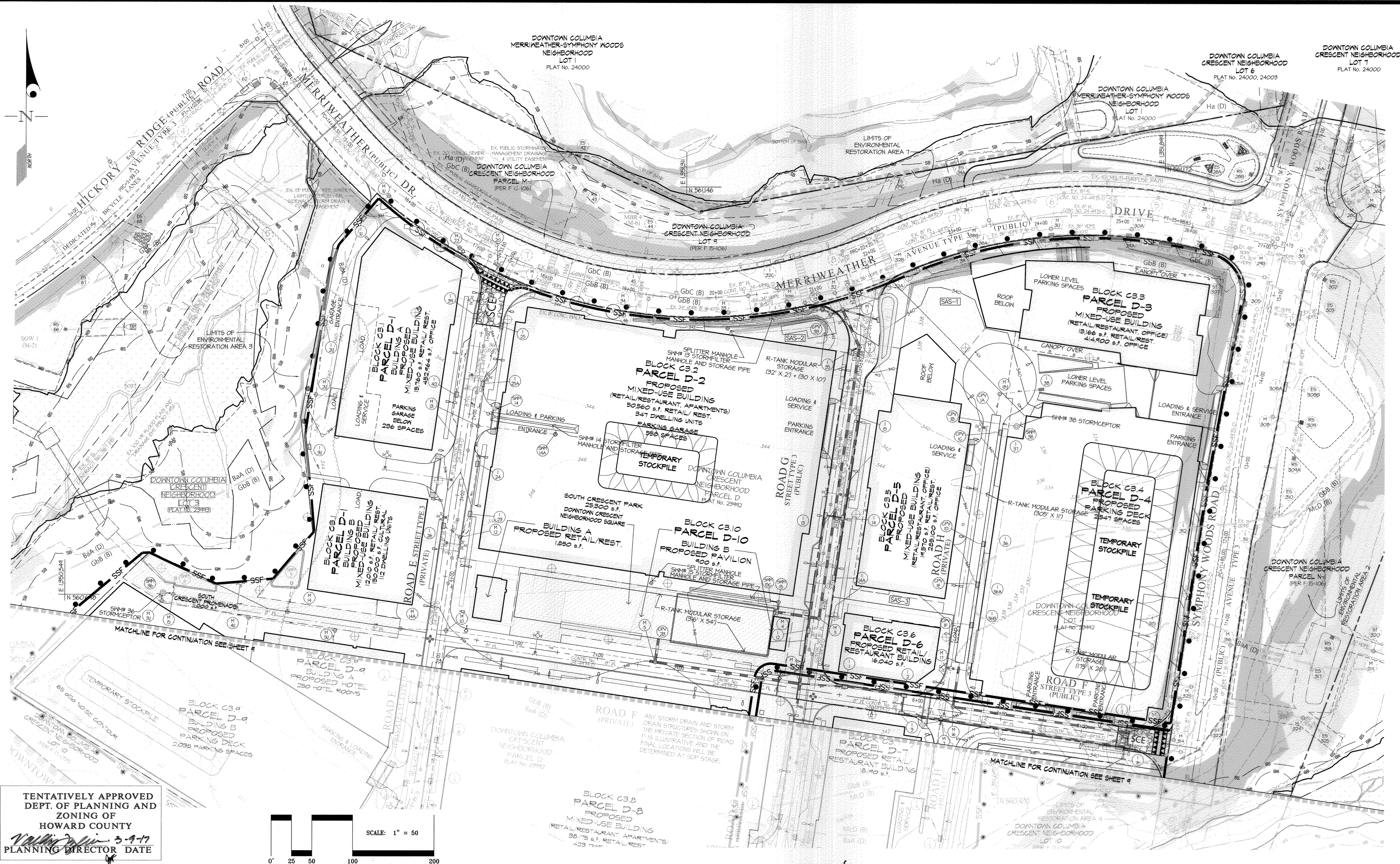
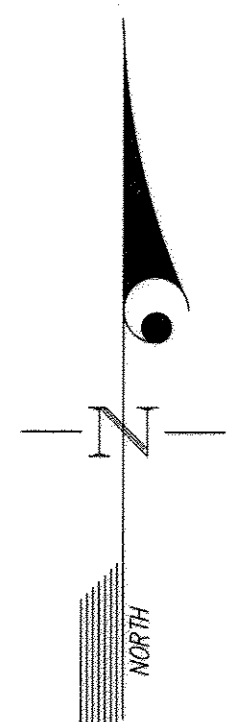
OWNER & PREPARED FOR:
THE HOWARD RESEARCH AND DEV. CORP.
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
ATTN: BILL ROWE
410-964-4987

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EXPIRATION DATE: MAY 20, 2018

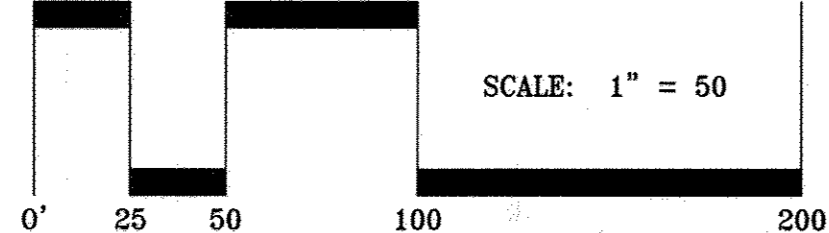


PRELIMINARY ESD DRAINAGE AREA MAP - SOUTH
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10
A RESUBDIVISION OF PARCEL D & LOT 4
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	7 OF 10



TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY
Valley J. Davis 3-9-17
PLANNING DIRECTOR DATE



GLWGUTSCHICK LITTLE & WEBER, P.A.
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3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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DES.	DRN.	CHK.	MJT.	DATE	REVISION	BY	APP'R.

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10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
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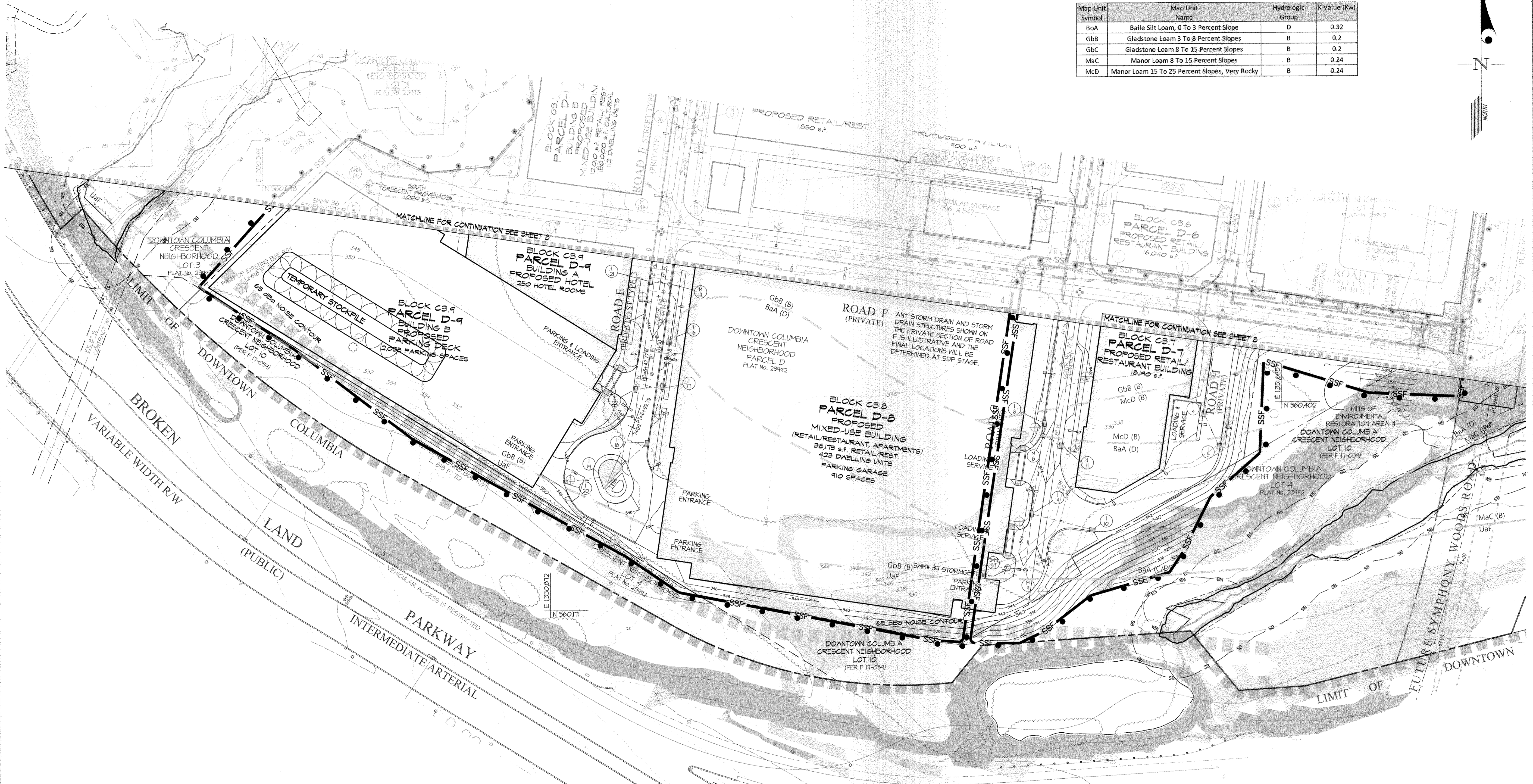
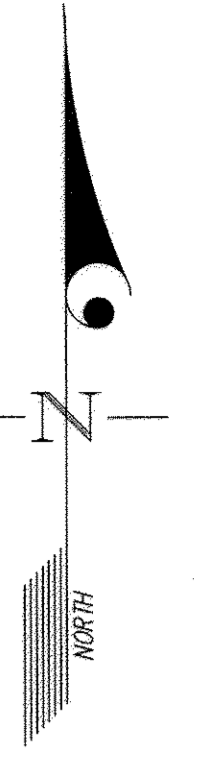
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PROFESSIONAL ENGINEER UNDER THE
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LICENSE NO. 15831
EXPIRATION DATE: MAY 20, 2018



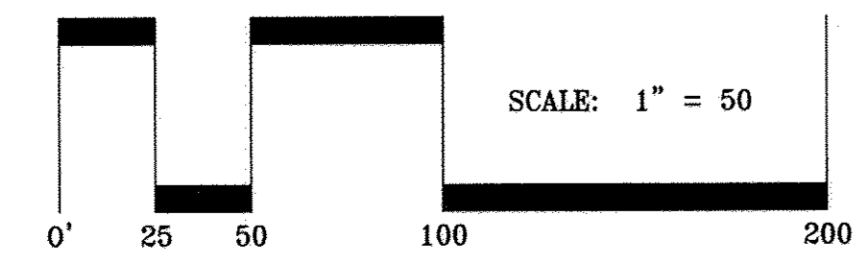
PRELIMINARY SEDIMENT CONTROL PLAN - NORTH
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10**
A RESUBDIVISION OF PARCEL D & LOT 4
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	8 OF 10

Map Unit Symbol	Map Unit Name	Hydrologic Group	K Value (Kw)
BoA	Baile Silt Loam, 0 To 3 Percent Slope	D	0.32
GbB	Gladstone Loam 3 To 8 Percent Slopes	B	0.2
GbC	Gladstone Loam 8 To 15 Percent Slopes	B	0.2
MaC	Manor Loam 8 To 15 Percent Slopes	B	0.24
McD	Manor Loam 15 To 25 Percent Slopes, Very Rocky	B	0.24



TENTATIVELY APPROVED
DEPT. OF PLANNING AND ZONING OF
HOWARD COUNTY
William J. Miller 3-9-17
PLANNING DIRECTOR DATE



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	MJT	DATE	REVISION	BY	APPR.

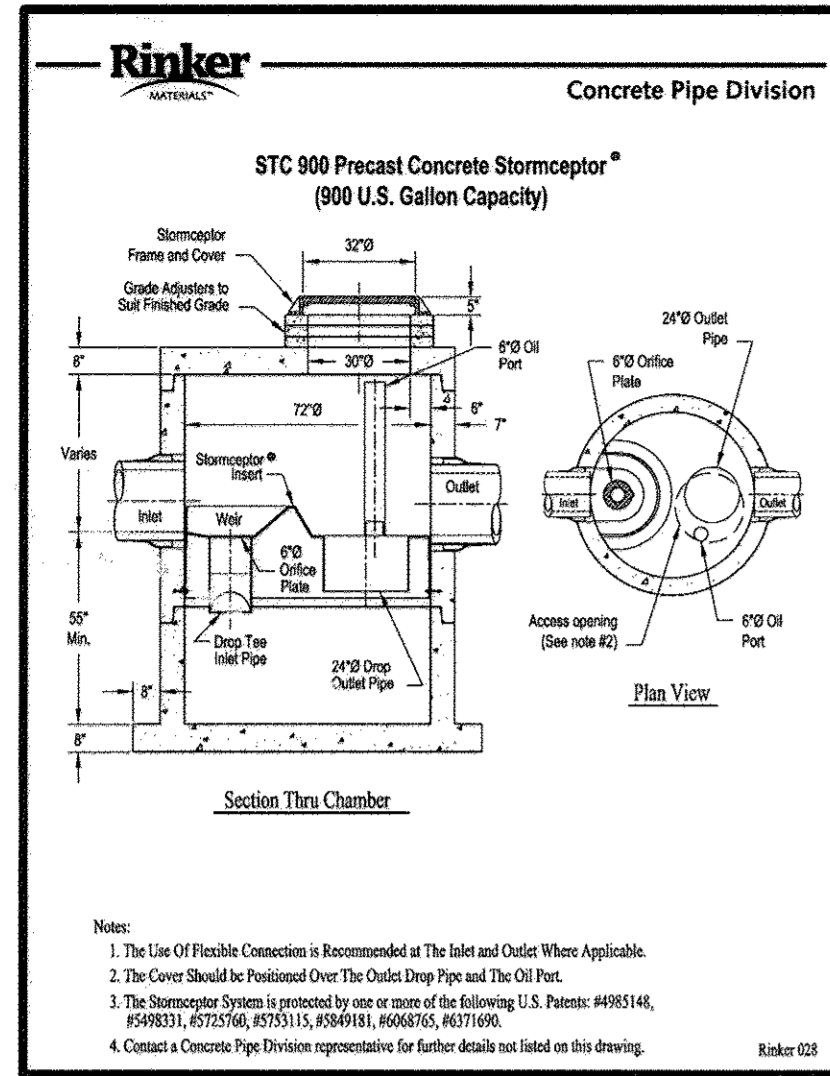
OWNER & PREPARED FOR:
THE HOWARD RESEARCH AND DEV. CORP.
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
ATTN: BILL ROWE
410-964-4987

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LICENSE NO. 14937
EXPIRATION DATE: MAY 20, 2018

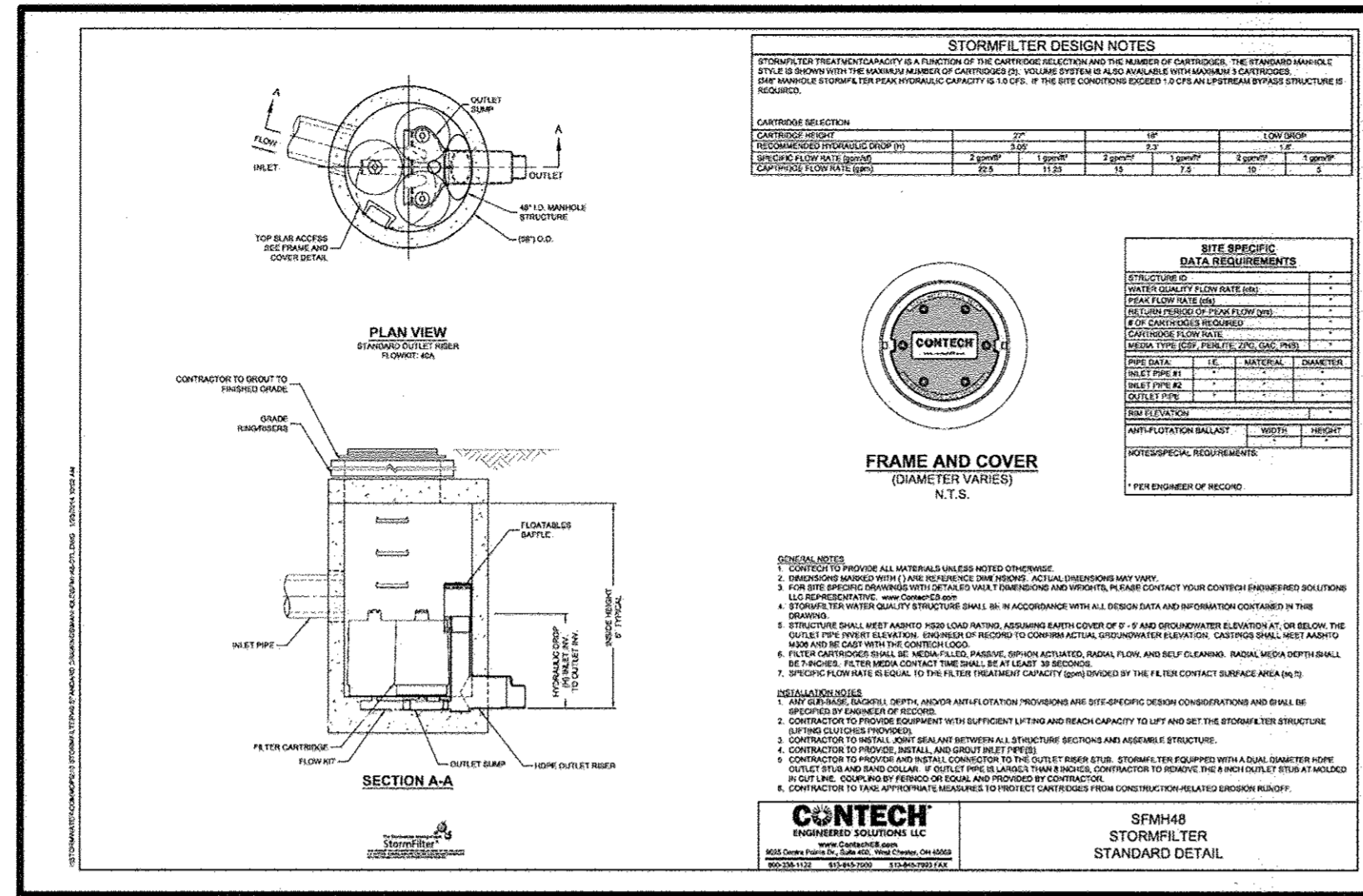


PRELIMINARY SEDIMENT CONTROL PLAN - SOUTH
**DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10**
A RESUBDIVISION OF PARCEL D & LOT 4
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	9 OF 10



STORMCEPTOR TYPICAL DETAIL

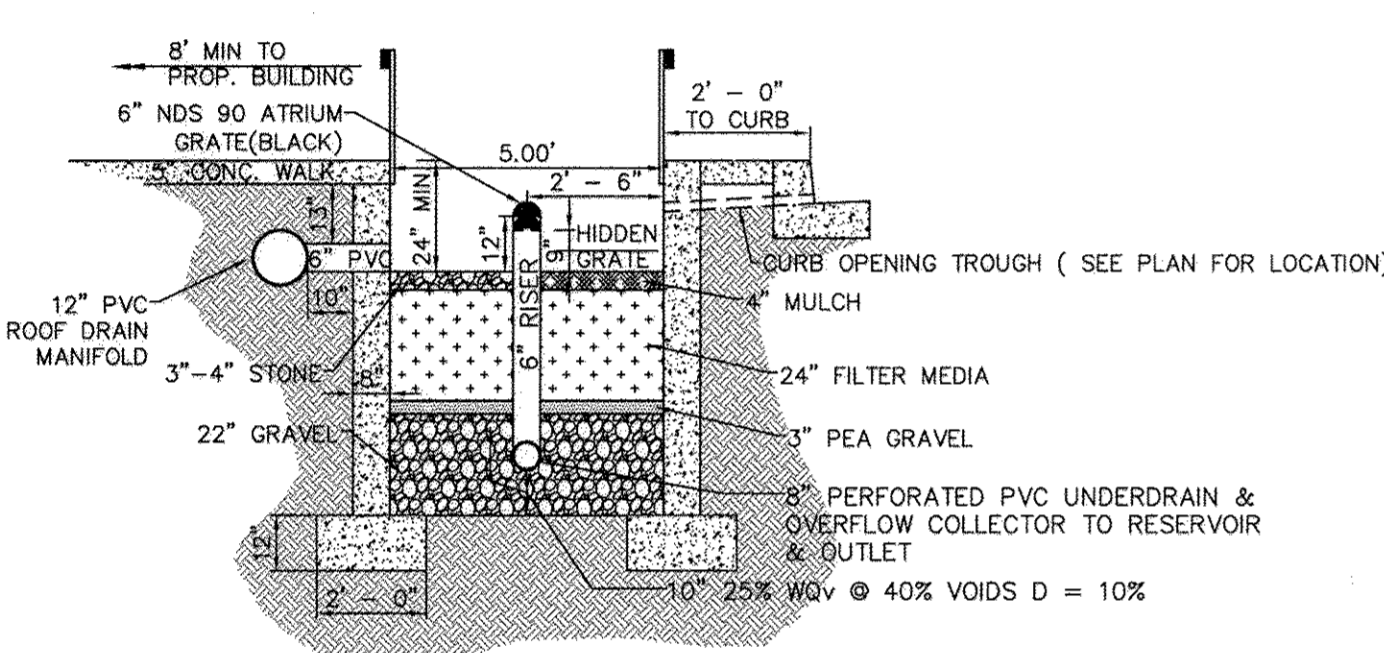


STORMFILTER TYPICAL DETAIL

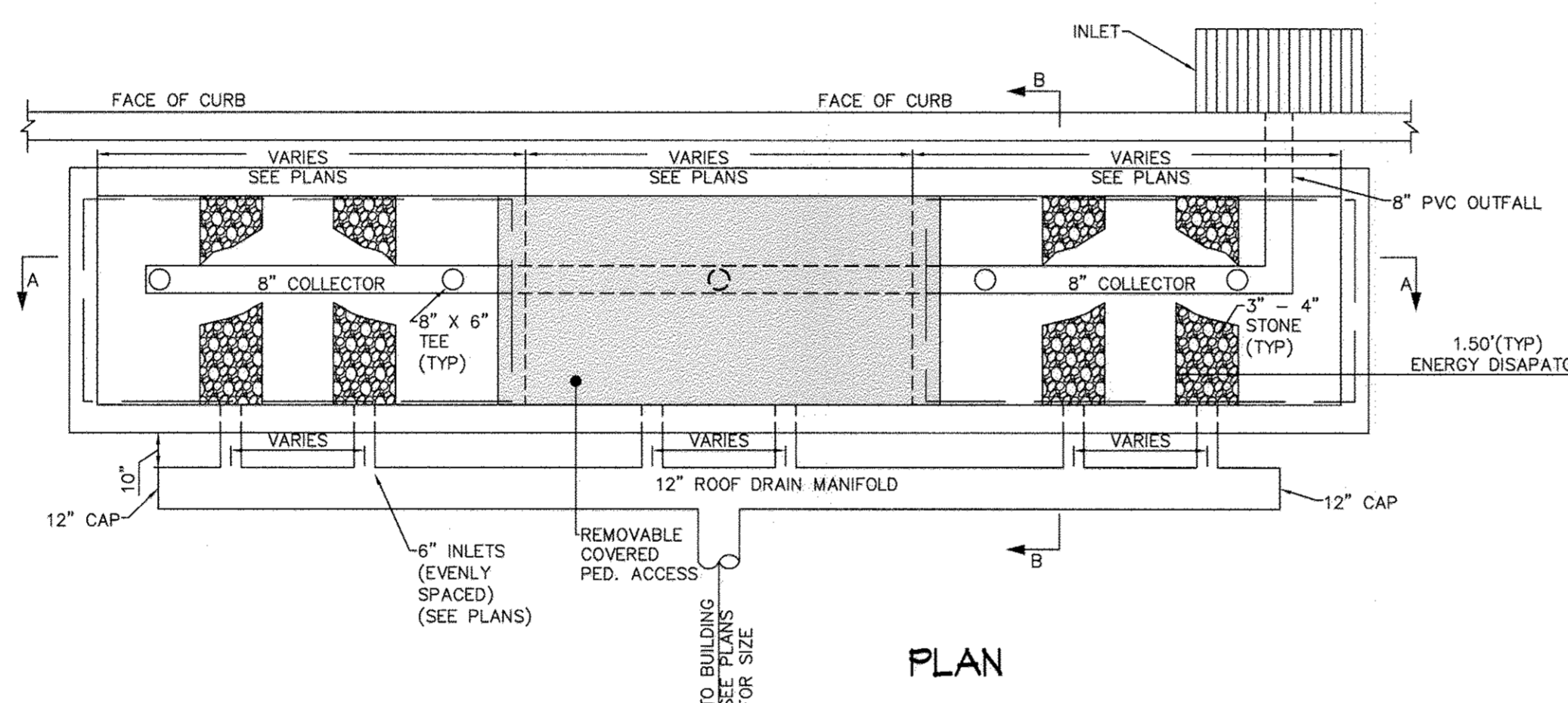
ESD TYPES: (M-6) MICRO-BIORETENTION	
(M-6) DA 1	Drainage Area 1 Tree Pit 150' x 5' Size of Tree Pit WQv = 1,200 c.f. Treated AI = 19,599 s.f. Treated
(M-6) DA 18	Drainage Area 18 Tree Pit 134' x 4.5' Size of Tree Pit WQv = 791 c.f. Treated AI = 12,817 s.f. Treated
(M-6) DA 2	Drainage Area 2 Tree Pit 95.8' x 5' Size of Tree Pit WQv = 639 c.f. Treated AI = 10,002 c.f. Treated
(M-6) DA 3	Drainage Area 3 Tree Pit 175' x 5' Size of Tree Pit WQv = 1,167 c.f. Treated AI = 18,903 s.f. Treated
(M-6) DA 4	Drainage Area 4 Tree Pit 85' x 5' Size of Tree Pit WQv = 507 c.f. Treated AI = 8,705 s.f. Treated
(M-6) DA 5	Drainage Area 5 Standard (M-6) ESD 1,446 s.f. Surface Area WQv = 1,811 c.f. Treated AI = 19,768 s.f. Treated
(M-6) DA 6	Drainage Area 6 Standard (M-6) ESD 1,446 s.f. Surface Area WQv = 1,811 c.f. Treated AI = 19,768 s.f. Treated
(M-6) DA 7	Drainage Area 7 Tree Pit 185' x 5' Comb. Size of Tree Pits WQv = 20,326 c.f. Treated AI = 20,326 s.f. Treated
(M-6) DA 8	Drainage Area 8 Tree Pit 185' x 5' Comb. Size of Tree Pits WQv = 20,326 c.f. Treated AI = 20,326 s.f. Treated
(M-6) DA 9	Drainage Area 9 Tree Pit 175' x 5' Comb. Size of Tree Pits WQv = 1,233 c.f. Treated AI = 17,956 s.f. Treated
(M-6) DA 10	Drainage Area 10 Tree Pit 45' x 5-10' Size of Tree Pit WQv = 450 c.f. Treated AI = 7,299 s.f. Treated
(M-6) DA 11	Drainage Area 11 Tree Pit 185' x 5' Comb. Size of Tree Pits WQv = 20,326 c.f. Treated AI = 20,326 s.f. Treated
(M-6) DA 12	Drainage Area 12 Tree Pit 100' x 5-10.5' Size of Tree Pit WQv = 756 c.f. Treated AI = 12,269 s.f. Treated
(M-6) DA 16	Drainage Area 16 Tree Pit 140' x 5' Comb. Size of Tree Pits WQv = 833 c.f. Treated AI = 15,369 s.f. Treated
(M-6) DA 17	Drainage Area 17 Tree Pit 145' x 5' Size of Tree Pit WQv = 907 c.f. Treated AI = 15,654 s.f. Treated
(M-6) DA 18	Drainage Area 18 Tree Pit 175' x 5' Size of Tree Pit WQv = 1,167 c.f. Treated AI = 18,912 s.f. Treated
(M-6) DA 19	Drainage Area 19 Tree Pit 155' x 5-7' Comb. Size of Tree Pits WQv = 1,333 c.f. Treated AI = 21,952 s.f. Treated

ESD TYPES: (M-6) MICRO-BIORETENTION - STORMFILTER	
(M-6) DA 20	Drainage Area 20 Tree Pit 150' x 5' Size of Tree Pit WQv = 1,200 c.f. Treated AI = 16,193 s.f. Treated
(M-6) DA 21	Drainage Area 21 Tree Pit 75' x 9' Size of Tree Pit WQv = 900 c.f. Treated AI = 14,755 s.f. Treated
(M-6) DA 22	Drainage Area 22 Tree Pit 100' x 5' Size of Tree Pit WQv = 700 c.f. Treated AI = 11,597 s.f. Treated
(M-6) DA 23	Drainage Area 23 Tree Pit 125' x 5' Size of Tree Pit WQv = 833 c.f. Treated AI = 13,685 s.f. Treated
(M-6) DA 24	Drainage Area 24 Tree Pit 105' x 5-12' Size of Tree Pit WQv = 783 c.f. Treated AI = 12,805 s.f. Treated
(M-6) DA 25	Drainage Area 25 Tree Pit 70' x 6.83' Size of Tree Pit WQv = 637 c.f. Treated AI = 10,363 s.f. Treated
(M-6) DA 26	Drainage Area 26 Tree Pit 135' x 6.83' Size of Tree Pit WQv = 1,229 c.f. Treated AI = 19,332 s.f. Treated
(M-6) DA 27	Drainage Area 27 Standard (M-6) ESD + Tree Pit 781 s.f. Comb. Surface Area WQv = 1,233 c.f. Treated AI = 18,541 s.f. Treated
(M-6) DA 28	Drainage Area 28 Tree Pit 160' x 5' Comb. Size of Tree Pits WQv = 1,097 c.f. Treated AI = 17,951 s.f. Treated
(M-6) DA 29	Drainage Area 29 Tree Pit 180' x 5' Comb. Size of Tree Pits WQv = 1,200 c.f. Treated AI = 19,499 s.f. Treated
(M-6) DA 30	Drainage Area 30 Tree Pit 66' x 4-21.5' Size of Tree Pit WQv = 854 c.f. Treated AI = 17,793 s.f. Treated
(M-6) DA 31	Drainage Area 31 Tree Pit 85.5' x 8.5' Size of Tree Pit WQv = 789 c.f. Treated AI = 9,640 s.f. Treated
(M-6) DA 32	Drainage Area 32 Tree Pit 120' x 5' Comb. Size of Tree Pits WQv = 800 c.f. Treated AI = 12,882 s.f. Treated
(M-6) DA 33	Drainage Area 33 Tree Pit 45' x 5' Comb. Size of Tree Pits WQv = 300 c.f. Treated AI = 4,781 s.f. Treated
(M-6) DA 34	Drainage Area 34 Tree Pit 45' x 5' Size of Tree Pit WQv = 300 c.f. Treated AI = 3,137 s.f. Treated
(M-6) DA 35	Drainage Area 35 Tree Pit 135' x 5-7.5' Comb. Size of Tree Pits WQv = 1,233 c.f. Treated AI = 18,532 s.f. Treated

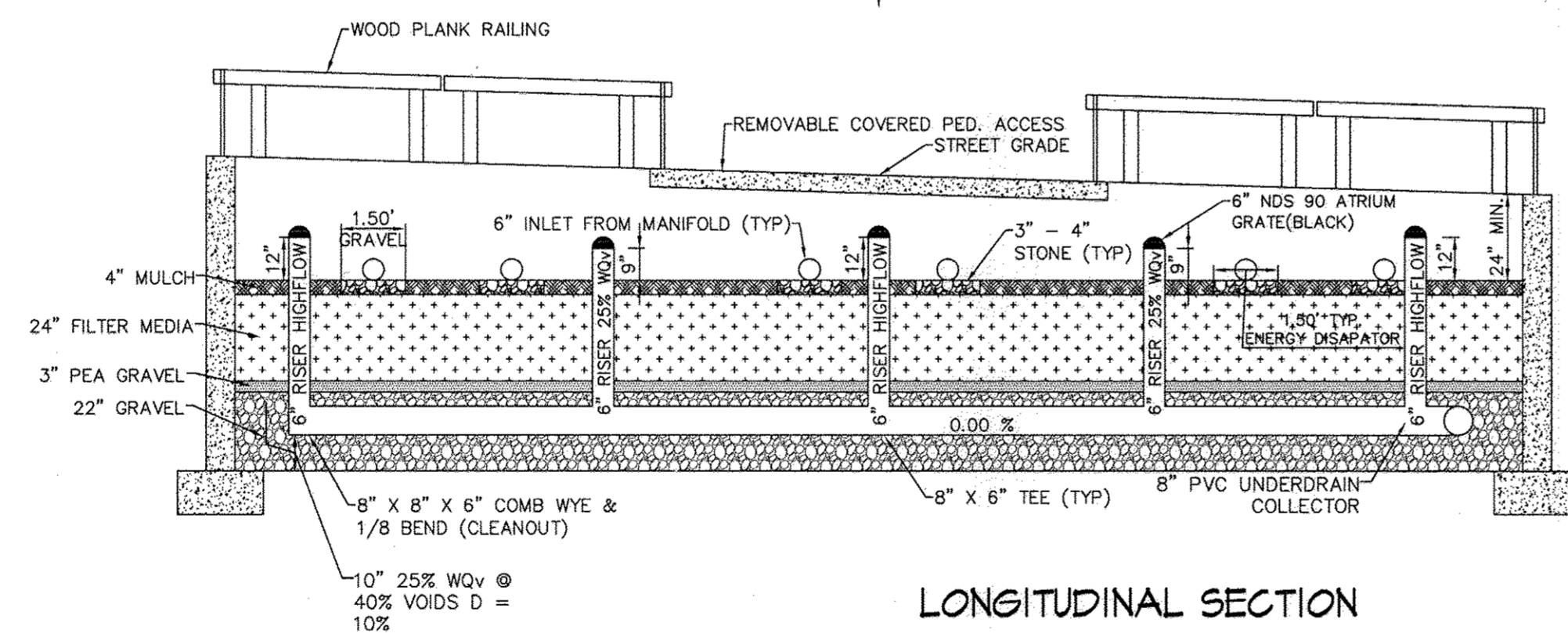
ESD TYPES: (M-6) MICRO-BIORETENTION - STORMCEPTORS	
Stormceptor #1	Drainage Area 36 WQv = 3,356 c.f. Treated AI = 41,787 s.f. Treated
Stormceptor #2	Drainage Area 37 WQv = 3,176 c.f. Treated AI = 40,117 s.f. Treated
Stormceptor #3	Drainage Area 38 WQv = 3,327 c.f. Treated AI = 42,021 s.f. Treated



TRANSVERSE SECTION



PLAN



LONGITUDINAL SECTION

ROADSIDE PLANTER TYPICAL DETAIL

TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY
3-9-17
PLANNING DIRECTOR DATE

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

OWNER & PREPARED FOR:
THE HOWARD RESEARCH AND DEV. CORP.
10480 LITTLE PATUXENT PARKWAY
SUITE 400
COLUMBIA, MARYLAND 21044
ATTN: BILL ROWE
410-964-4987

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 14937
EXPIRATION DATE: MAY 21, 2018



STORMWATER MANAGEMENT DETAILS AND PRACTICE TABULATION
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PARCELS D-1 THRU D-11 AND OPEN SPACE LOT 10
A RESUBDIVISION OF PARCEL D & LOT 4
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	11071
DATE	TAX MAP - GRID	SHEET
FEB., 2017	36 - 1	10 OF 10