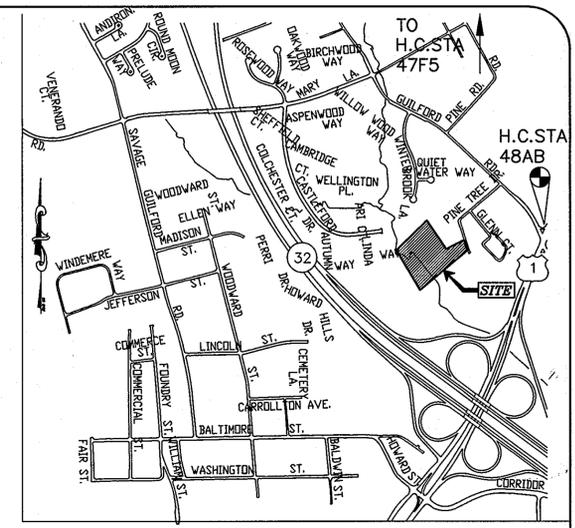
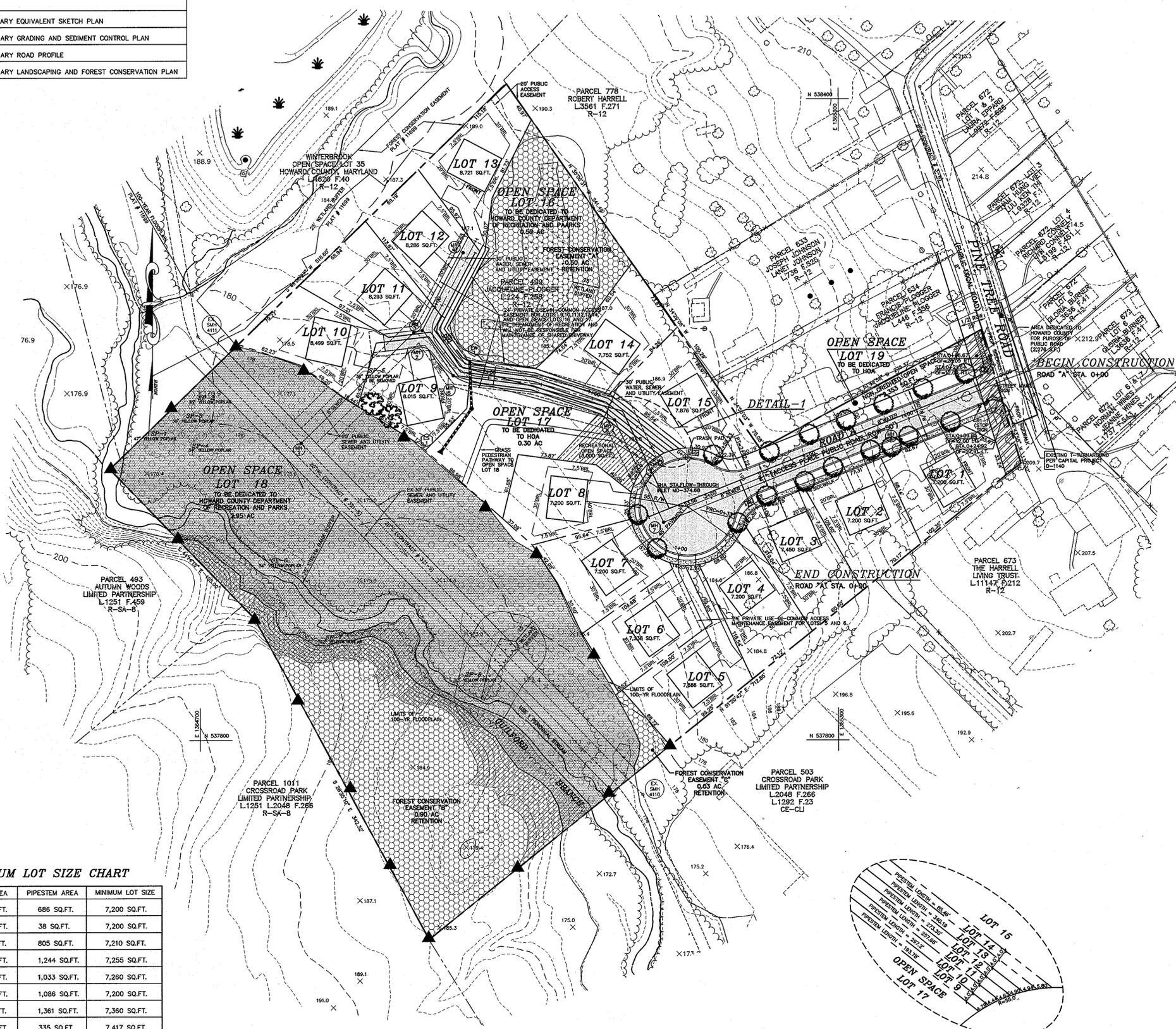


SHEET INDEX

NO	TITLE
1	PRELIMINARY EQUIVALENT SKETCH PLAN
2	PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN
3	PRELIMINARY ROAD PROFILE
4	PRELIMINARY LANDSCAPING AND FOREST CONSERVATION PLAN

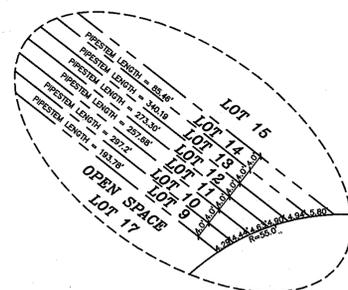


VICINITY MAP
SCALE: 1"=1000' (5053/8-K)



GENERAL NOTES:

- SUBJECT PROPERTY ZONED R-12 PER 2-2-04 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/2006
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL SURVEY PREPARED BY WINGS TOPOGRAPHY INC. DATED MARCH 2008.
- BOUNDARY SHOWN HEREON IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT MAY 2008 BY SHANBERGER AND LANE.
- COORDINATES BASED ON NAD '83 (HORIZONTAL) AND NAVD '89 (VERTICAL) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO.47FA AND 48AB
STA. No. 47F5 N 535,985.0520 E 1,365,653.4720 ELEV. 234.997
STA. No. 48AB N 538,384.4442 E 1,366,415.7936 ELEV. 225.656
- PROJECT BACKGROUND:**
TAX MAP : 47 , PARCEL : 499 , GRID : 6.
ELECTION DISTRICT : SIXTH
ZONING: R-12
DEED REFERENCE : 1147/407
ADDRESS: 8692 PINE TREE RD. JESSUP, MD 20794
- AREA TABULATION**
GROSS AREA OF PROPERTY TRACT: 7.08 AC.±
AREA OF FLOODPLAIN: 2.6 AC.±
MINIMUM LOT SIZE PROPOSED: 7,200 SQ.FT.
NUMBER OF BUILDABLE LOTS PROPOSED: 15 LOTS
NUMBER OF OPEN SPACE LOTS PROPOSED: 4 LOTS
AREA OF PROPOSED LOTS: 2.66 AC.±
AREA OF OPEN SPACE REQUIRED: 4.0X = 2,832 AC.±
AREA OF CREDITED OPEN SPACE PROVIDED: 3.5 AC.± (53%)
AREA OF NON-CREDITED OPEN SPACE PROVIDED: 0.05 AC.±
TOTAL AREA OF OPEN SPACE PROVIDED: 3.88 AC.±
AREA OF REC. OPEN SPACE REQUIRED: 200 SQ.FT./LOT = 3,000 SQ.FT.
AREA OF REC. OPEN SPACE PROVIDED: 3,000 SQ.FT.
AREA OF PUBLIC ROAD DEDICATION: 2,276 SQ.FT. (0.05AC.±)
AREA OF PUBLIC ROAD ROW: 22,280 SQ.FT. (0.51 AC.±)
- WATER IS PUBLIC. EXISTING CONTRACT NO. 3-W WILL BE UTILIZED.
- SEWER IS PUBLIC. EXISTING CONTRACT NO. 321-S WILL BE UTILIZED.
- STORMWATER MANAGEMENT IS PROVIDED BY BIO-SWALE, USE OF PERVIOUS PAVEMENT AND SHEET FLOW THE TO THE BUFFER IN ACCORDANCE WITH THE 2007 MARYLAND STORMWATER DESIGN MANUAL. STORMWATER MANAGEMENT FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED BY HOA.
- THE FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY MILDENBERG, BOENDER AND ASSOCIATES, INC. DATED JANUARY 2010.
- FOREST STAND AND WETLANDS DELINEATION PREPARED BY WILDMAN ENVIRONMENTAL SERVICES DATED MAY 26, 2009.
- APFO ROAD TEST WAS PREPARED BY TRAFFIC GROUP, DATED DECEMBER 15, 2009, AND APPROVED ON MARCH 9, 2010.
- NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
- | | |
|--------------|---|
| 15. [Symbol] | DENOTES SLOPES GREATER THAN 25% |
| 16. [Symbol] | DENOTES 15% TO 25% SLOPES |
| 17. [Symbol] | DENOTES FLOODPLAIN |
| 18. [Symbol] | DENOTES ROAD DEDICATION |
| 19. [Symbol] | DENOTES FOREST CONSERVATION EASEMENT (RETENTION) |
| 20. [Symbol] | DENOTES RECREATION OPEN SPACE |
| 21. [Symbol] | DENOTES WETLANDS |
| 22. [Symbol] | DENOTES FOREST CONSERVATION EASEMENT (NON CREDITED) |
- NO HISTORIC STRUCTURES, CEMETERIES, OR GRAVE SITES EXIST ON-SITE. SITE IS NOT ADJACENT TO A DESIGNATED SCENIC ROAD.
- SOIL DELINEATION IS BASED ON HOWARD COUNTY SOIL SURVEY MAP 2004.
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION HAS BEEN PROVIDED BY THE RETENTION OF 1.43 ACRES OF FOREST. SURETY IN THE AMOUNT OF \$12,458.00 FOR 1.43 ACRES OF RETENTION SHALL BE PROVIDED UNDER THE DEVELOPERS AGREEMENT WITH THE FINAL PLAN.
- ALL EXISTING STRUCTURES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
- EXISTING UTILITIES ARE BASE ON FIELD SURVEY AND HOWARD COUNTY MAP.
- THIS PROJECT IS SUBJECT TO WP-10-105 WHICH REQUESTS WAIVER OF SECTION 16.121(a)(1) TO ALLOW FOR THE REDUCTION OF FRONTAGE OF OPEN SPACE LOT 16 AND SECTION 16.1205(a)(7) TO ALLOW FOR THE REMOVAL OF SPECIMEN TREE NO.5. APPROVED ON JULY 8, 2010, SUBJECT TO FOLLOWING CONDITION:
1. ACCESS TO O/S LOT 16 DEDICATED TO HOWARD COUNTY, SHALL BE PROVIDED BY USE-IN-COMMON ACCESS EASEMENT FOR LOT 9 TO 14 AND O/S LOT 16. A NOTE SHALL BE ADDED TO SP-PLANS AND F-PLANS INDICATING THAT HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS, SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF THE SHARED DRIVEWAY WITHIN THE USE-IN-COMMON ACCESS EASEMENT.
2. REMOVAL OF SPECIMEN TREE # 5 IS APPROVED BUT WILL REQUIRE THE REPLACEMENT WITH TWO (2) PERIMETER SHARE TREES ALONG THE SOUTHERN PROPERTY LINE OF THE LOT.
- THE STREET LIGHT LOCATIONS AND TYPES OF LIGHTS SHOWN ARE AS FOLLOWS:
- 100-WATT HPS VAPOR "PREMIER" POST TOP FIXTURE ON A 14" BLACK FIBERGLASS POLE AT ROAD "A" STATION 0+15, 13' RIGHT, AND LP STATION 2+09, 3' BACK.
A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY STREET TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED SQUARE TUBE SLEEVE (12 GAUGE) 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALL BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.
- A SITE INSPECTION ON THE PROPERTY WAS COMPLETED ON APRIL 13, 2010 BY MILDENBERG BOENDER AND ASSOCIATES, INC. AND TO THE BEST OF MY KNOWLEDGE, THERE IS NO EVIDENCE THAT THE WELL OR SEPTIC EXISTS. IF DISCOVERED DURING THE DEMOLITION OR CONSTRUCTION PROCESS, THE WELL AND SEPTIC WILL BE PROPERLY ABANDONED/SEALED AND THE HOWARD COUNTY HEALTH DEPARTMENT WILL BE NOTIFIED.



DETAIL-1
SCALE: 1"=20'

MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
5	7,886 SQ.FT.	686 SQ.FT.	7,200 SQ.FT.
6	7,238 SQ.FT.	38 SQ.FT.	7,200 SQ.FT.
9	8,015 SQ.FT.	805 SQ.FT.	7,210 SQ.FT.
10	8,499 SQ.FT.	1,244 SQ.FT.	7,255 SQ.FT.
11	8,293 SQ.FT.	1,033 SQ.FT.	7,260 SQ.FT.
12	8,286 SQ.FT.	1,086 SQ.FT.	7,200 SQ.FT.
13	8,721 SQ.FT.	1,361 SQ.FT.	7,360 SQ.FT.
14	7,752 SQ.FT.	335 SQ.FT.	7,417 SQ.FT.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
Thomas S. Buttle
PLANNING DIRECTOR
DATE: *8/10*



OWNER/DEVELOPER
PLOGGER LLC
6800 DEERPATH RD., SUITE 150
ELKRDGE, MARYLAND 21075
410-997-0296
CONTACT NAME: R. JACOB HIKMAT

project	date	description	approval
08-002	JULY 2010	engineering	MMM
		illustration	MMM
		scale	1"=50'
		revisions	

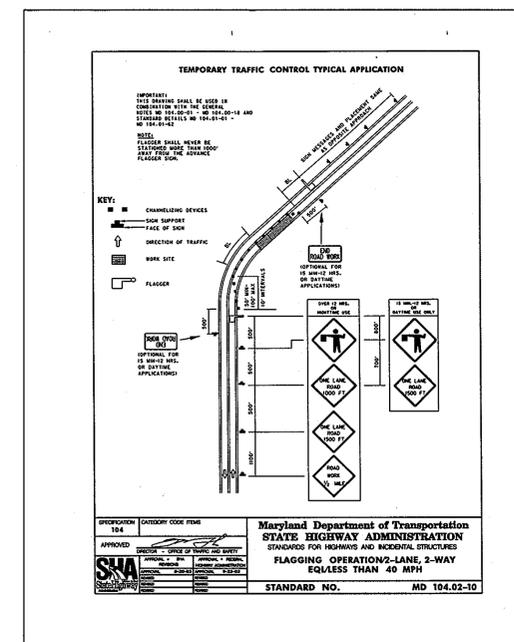
no.	date	description	revisions

PLOGGER PROPERTY
LOTS: 1-15 AND OPEN SPACE LOTS: 16-19
TAX MAP 47, BLOCK 6, PARCEL 499
SIXTH ELECTION DISTRICT
PRELIMINARY EQUIVALENT SKETCH PLAN
HOWARD COUNTY, MARYLAND

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 150, Elkridge, Maryland 21075
(410) 997-0296 Fax: (410) 997-0286 Fax

SOIL SCHEDULE

- Fa (D) FOLLINGTON SANDY LOAM, 0-2% SLOPES.
- Ha (D) HATBORO SILT LOAM, 0+3% SLOPES.
- RuB (C) RUSSETT AND BELTSVILLE SOILS, 2-5% SLOPES.
- UwC (D) URBAN LAND-WOODSTONE-SASSAFRAS COMPLEX, 5-10% SLOPES



LEGEND

- SLOPES GREATER THAN 25%
- 15% TO 25% SLOPES
- FLOODPLAIN
- WETLANDS
- FOREST CONSERVATION EASEMENT (RETENTION)
- EXISTING TREE LINE
- LIMIT OF DISTURBANCE
- SUPER SILT FENCE
- FOREST CONSERVATION EASEMENT (NON CREDITED)

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Thomas J. Butler
PLANNING DIRECTOR

skello
DATE



OWNER/DEVELOPER

PLOGGER LLC
6800 DEERPATH RD, SUITE 150
ELKRIDGE, MARYLAND 21075
410-997-0296
CONTACT NAME: R. JACOB HIKMAT

date	JULY 2010
project	08-002
illustration	MMM
scale	1"=50'
approval	MMM
	RJH

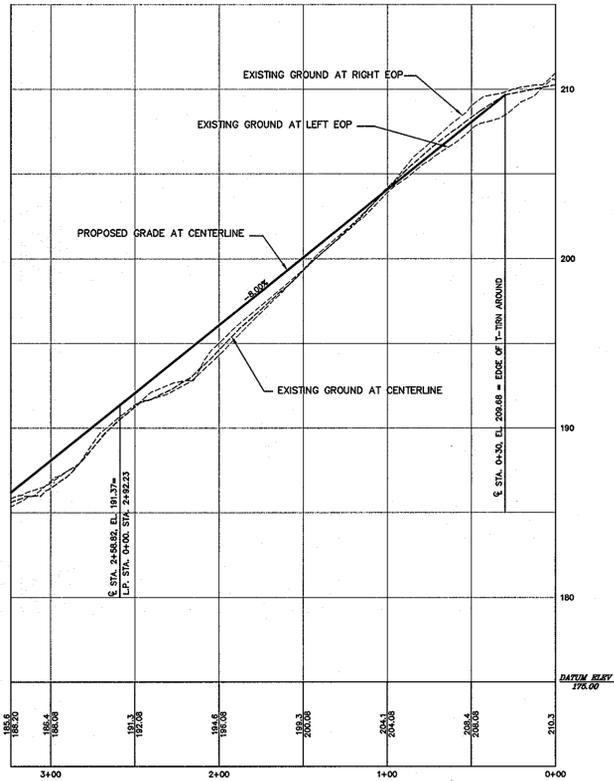
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TAX MAP 47, BLOCK 6, PARCEL 499
SIXTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN

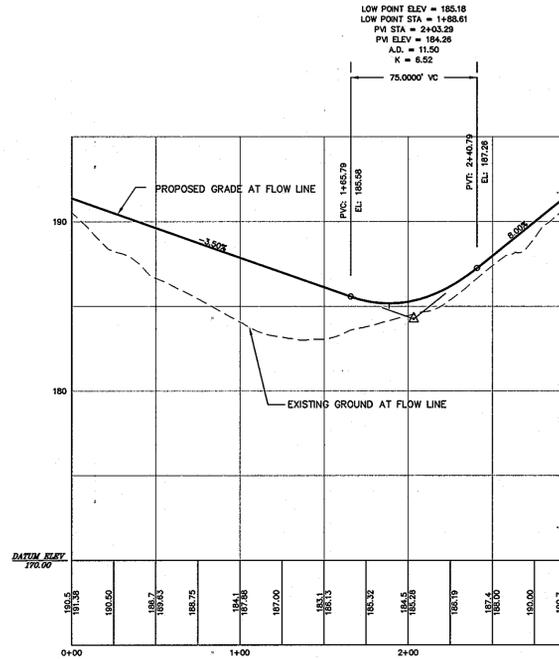
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 150, Elkridge, Maryland 21075
(410) 997-0296 Fax: (410) 997-0298 Fax

08-002\DWG\SKETCH\08-002-PLAN\PMYA



ROAD A PROFILE

(ACCESS PLACE PUBLIC ROAD, DESIGN SPEED = 25 MPG, ROW=50')
 SCALE: HOR. 1"=50'
 VER. 1"=5'



**ROAD A
 LINEAR PROFILE**

SCALE: HOR. 1"=50'
 VER. 1"=5'



TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Thomas J. Butler
 PLANNING DIRECTOR

Heiko
 DATE

OWNER/DEVELOPER

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 6800 DEERPATH RD., SUITE 150
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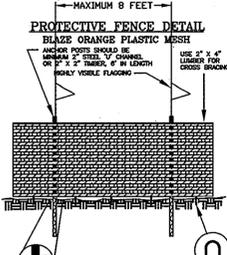
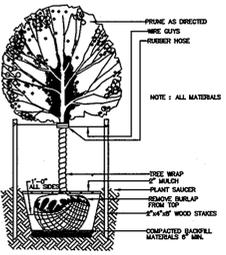
PLOGGER PROPERTY
 LOTS: 1-15 AND OPEN SPACE LOTS 16-19
 TAX MAP 47, BLOCK 6, PARCEL 499
 HOWARD COUNTY, MARYLAND

SIXTH ELECTION DISTRICT
 PRELIMINARY ROAD PROFILE

**MILDENBERG,
 BOENDER & ASSOC., INC.**
 Engineers Planners Surveyors
 6800 Deerpath Road, Suite 150, Elkridge, Maryland 21075
 (410) 997-0296 Fax

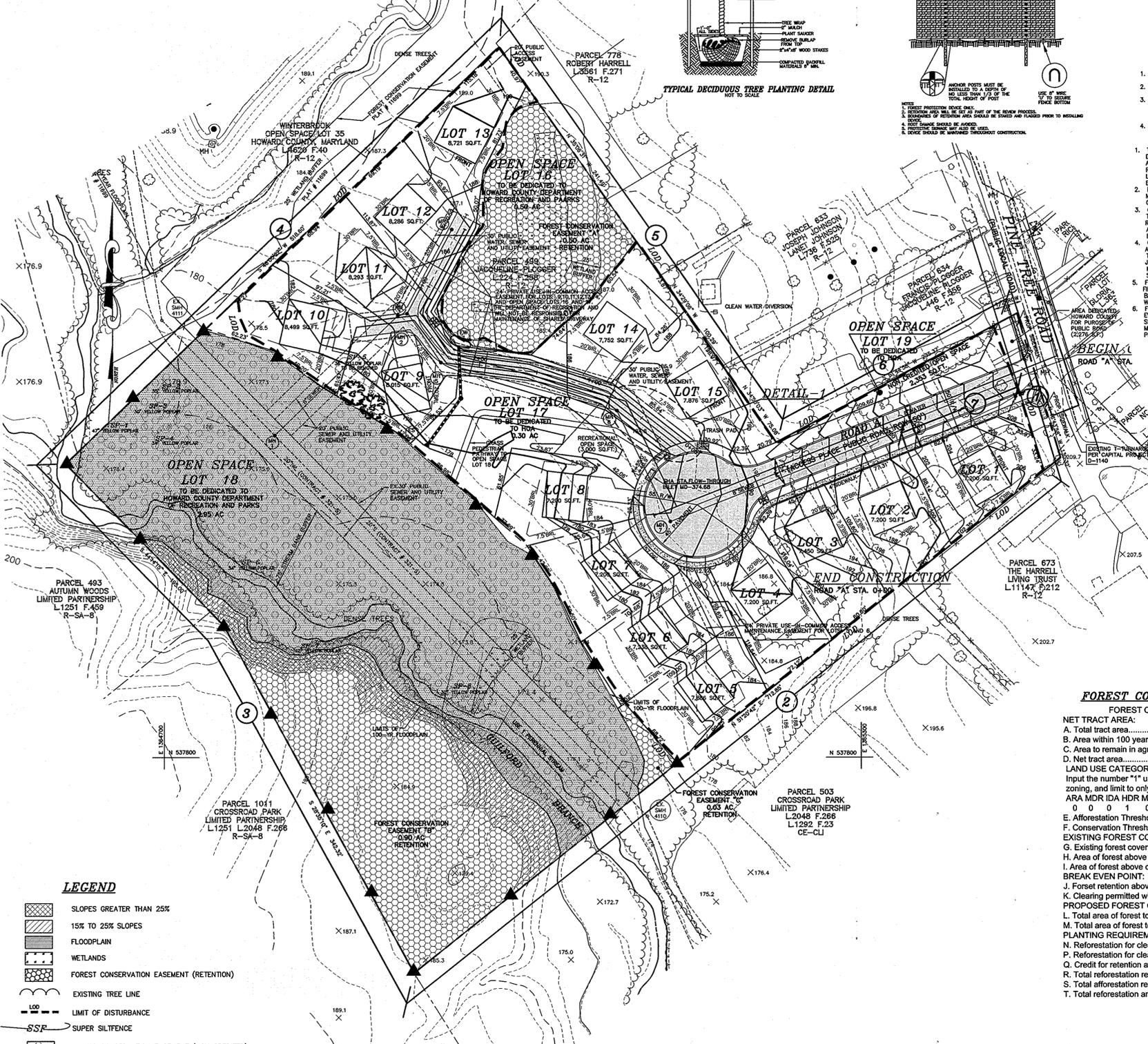
SOIL SCHEDULE

- Fa (D) FOLLINGTON SANDY LOAM, 0-2% SLOPES.
- Ha (D) HATBORO SILT LOAM, 0+3% SLOPES.
- RuB (C) RUSSETT AND BELTSVILLE SOILS, 2-5% SLOPES.
- UwC (D) URBAN LAND-WOODSTONE-SASSAFRAS COMPLEX, 5-10% SLOPES



PLANTING SPECIFICATIONS AND NOTES

- SITE PREPARATION AND SOILS**
- PROTECTION FENCING AND SILT FENCES FOR SEDIMENT AND EROSION CONTROL ARE TO BE INSTALLED AS A FIRST ORDER OF BUSINESS. SEE PLAN FOR LOCATIONS.
 - DISTURBANCE OF SOILS SHOULD BE LIMITED TO THE PLANTING FIELD FOR EACH PLANTING LOCATION. AS SHOWN ON THE DETAIL VIEW, A PLANTING FIELD OF RADIUS = 5' X DIAMETER OF THE ROOT BALL OR CONTAINER IS RECOMMENDED.
 - SOIL MIX FOR PLANTING EXCEPT ERICACEOUS MATERIAL: SOIL MIX SHALL CONSIST OF EXISTING NATIVE TOPSOIL MIXTURE AT EACH PLANTING LOCATION INTO WHICH THE CONTRACTOR SHALL THOROUGHLY INCORPORATE 25% BY VOLUME OF COMPOSTED SLUDGE.
 - SOIL MIX FOR ERICACEOUS MATERIAL: SOIL MIX SHALL CONSIST OF EXISTING NATIVE TOPSOIL MIXTURE AT EACH PLANTING LOCATION INTO WHICH THE CONTRACTOR SHALL THOROUGHLY INCORPORATE 25% BY VOLUME OF COMPOSTED SLUDGE.
 - ALL MIXING IN 3 AND 4 SHALL BE LIMITED TO CONTAINER GROWN OR BALL AND BURLAP ONLY AND CONTAINED TO THE PLANTING FIELD AND IMMEDIATE ADJACENT SOIL SURFACE AREA AND SHALL BE DONE TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.
- PLANT STORAGE AND INSPECTION**
- FOR CONTAINER GROWN NURSERY STOCK, PLANTING SHOULD OCCUR WITHIN 2 WEEKS AFTER DELIVERY TO THE SITE.
 - FOR BALL AND BURLAP NURSERY STOCK, PLANTING SHOULD OCCUR WITHIN THREE DAYS AFTER DELIVERY TO THE SITE.
 - PLANTING STOCK SHOULD BE INSPECTED PRIOR TO PLANTING. PLANTS NOT CONFORMING TO STANDARD NURSERYMAN SPECIFICATIONS FOR SIZE, FORM, VIGOR, ROOTS, TRUNK WORKING, INSECTS AND DISEASE SHOULD BE REPLACED.
 - UNITS PLANTED ALL PLANT STOCK SHALL BE KEPT IN A SHADED, COOL, AND MOISTENED ENVIRONMENT.
- PLANT INSTALLATION**
- THE PLANTING FIELD SHOULD BE PREPARED AS SPECIFIED (SEE DETAIL). NATIVE STOCKED SOILS SHOULD BE USED FOR SOIL MIX AND BACKFILL FOR PLANTING FIELD. AFTER PLANT INSTALLATION, RAKE SOIL GENTLY OVER THE PLANTING FIELD AND COVER WITH AT LEAST 4 INCHES OF MULCH, WATER GENEROUSLY, TO SETTLE SOIL BACKFILLED AROUND TREES.
 - PLANTING FIELD DIAMETERS SHOULD BE REDUCED OR PLANTING FIELD MOVED IF IT APPEARS THAT EXCESSIVE EXISTING ROOT DAMAGE MAY OCCUR DURING DIGGING OPERATION NEAR EXISTING TREES.
 - CARE SHALL BE TAKEN WHEN DIGGING PLANTING FIELDS NOT TO CHOP THRU LARGER EXISTING ROOTS FROM EXISTING MATURE TREES. IF ROOTS GREATER THAN 1/2 INCH ARE DISCONTINUED PLEASE TRY TO DIG AROUND THEM AS MUCH AS POSSIBLE TO MINIMIZE IMPACT TO EXISTING TREES. THEY WERE HERE FIRST.
 - CONTAINER GROWN STOCK SHOULD BE REMOVED FROM THE CONTAINER AND ROOTS GENTLY LOOSENED FROM THE SOIL. IF THE ROOTS ENCLOSE THE ROOT BALL, SUBSTITUTION IS STRONGLY RECOMMENDED. J-SHAPED OR KINKED ROOT SYSTEMS SHOULD ALSO BE NOTED. ROOTS MAY NOT BE TRIMMED ON SITE, DUE TO THE INCREASED CHANCES OF SOIL BORNE DISEASES.
 - FOR BALL AND BURLAP STOCK, PLACE TREE IN PREPARED PLANTING FIELD AND REMOVE WIRE AND/OR STRIPS FROM ROOT BALL. THEN FEEL BACK BURLAP TO BASE OF ROOT BALL AND COVER ENTIRE ROOT BALL WITH TOPSOIL MIXTURE INDICATED ABOVE AND WATER GENEROUSLY.
 - FOR TREES PLANTED IN GROUPS OF TWO (2) TO FOUR (4), PER SPECIES, OVER THE ENTIRE DESIGNATED AREA TO BE PLANTED WHILE MAINTAINING AN AVERAGE RANDOM SPACING OF INDIVIDUAL TREES AT PROPER SPACING INDICATED ON PLANT LIST.
- POST CONSTRUCTION PERIOD PROTECTION AND MANAGEMENT PROGRAM**
- EXCLUSION**
- DO NOT FERTILIZE NEWLY PLANTED TREES WITHIN THE FIRST GROWING SEASON AFTER PLANTING. DOING SO MAY CAUSE A SPURT OF CANOPY GROWTH WHICH THE ROOTS CANNOT SUPPORT AND ADD ADDITIONAL WEIGHT TO THE ALREADY DISTURBED PLANT.
 - NOTHING SHOULD BE ADDED TO THE SOIL WITHOUT TESTING IT FIRST TO DETERMINE ITS NUTRIENT LEVELS.
 - IF AND WHEN IT IS TIME TO FERTILIZE, ORGANIC FERTILIZERS ARE REFERRED TO SYNTHETIC FERTILIZERS. BONE MEAL OR SEAWEED BASED PRODUCTS ARE AVAILABLE COMMERCIALY AND ARE RECOMMENDED. THEY HAVE THE ABILITY TO SUPPLY NUTRIENTS TO THE PLANT AS NEEDED WHILE MINIMIZING THE RISK OF EXCESS NUTRIENTS ENTERING THE FOREST SYSTEM AND WATER SUPPLY.
- ANNUAL MAINTENANCE DURING THE GROWING SEASON, FOR A THREE YEAR PERIOD.**
- REMOVE TREE MORTUITY OF PLANTING STOCK, REMOVE AND REPLACE ANY DEAD OR DISEASED PLANTINGS.
 - VOLUNTEER SEEDING OF NATIVE, LOCAL AND BIODIVERSE VEGETATION IS TO BE SPECIFIED. DO NOT DISCOURAGE VEGETATION TO BE SPECIFIED. NEGATIVELY EFFECTING THE PLANTED STOCK.
 - REMOVE THROUGH MANUAL MEANS (GRUBBING, PULLING, CUTTING) AGGRESSIVE WEEDS, INVASIVE SPECIES AND ALL HERBACEOUS VEGETATION WITHIN A 3-FOOT RADIUS SURROUNDING THE PLANTED STOCK.
 - REMOVE AND DISPOSE OF MAN-MADE TRASH, INCLUDING ITEMS CONTAINED WITHIN ENTIRE PLANTING AREA. DO NOT REMOVE DOWN AND DEAD MATERIAL, NATURALLY OCCURRING OR ACCUMULATING, UNLESS IT IS SMOTHERING PLANTING STOCK.
 - IF 75% PERCENT SURVIVAL OF PLANTED STOCK MUST BE ACHIEVED AT THE END OF THE 24 MONTH MAINTENANCE PERIOD. IF NOT, ADDITIONAL PLANTINGS MAY BE REQUIRED TO ACHIEVE THIS GOAL.
- ALL FOREST CONSERVATION ACTIVITIES SHALL BE DONE UNDER THE DIRECT SUPERVISION OF SOMEONE FROM THE DESIGN TEAM OR OTHER QUALIFIED PROFESSIONAL AS DESIGNATED ON THE PLANS. ANY DAMAGE TO THE FOREST SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.**
- STANDARD SPECIMEN TREE NON-DISTURBANCE NOTE:**
THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, SOIL COMPACTION OR EXCAVATION, INTRODUCTION OF TOXIC CHEMICALS OR OTHER DISTURBANCES DETRIMENTAL TO THE LIVE SPECIMEN TREES OR CRITICAL ROOT ZONES FOR THESE TREES EXCEPT AS PERMITTED BY HOWARD COUNTY RESOURCES, PUBLIC LANDS AND FORESTRY DIVISION.
- CONSTRUCTION PERIOD PROTECTION AND MANAGEMENT PROGRAM**
- ALL FOREST RETENTION AREAS AND ISOLATED POTENTIAL SPECIMEN TREES SHALL BE TEMPORARILY PROTECTED BY WELL ANCHORED, BLAZE ORANGE PLASTIC MESH FENCING AND SIGNAGE AS INDICATED ON THE PLANS. THE MESH SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY AND AROUND ISOLATED POTENTIAL SPECIMEN TREES PRIOR TO ANY LAND CLEARING, GRUBBING, OR GRADING ACTIVITIES.
 - SUPER SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLAN. BLAZE ORANGE PLASTIC MESH FENCING SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY WHERE THERE IS NO SUPER SILT FENCE PROVIDED. AFTER THE PLANTING OF THE EASEMENT AREAS, THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT THE CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES. IT IS UNDERSTOOD THAT THE INSTALLATION OF THE FENCING IN THIS MANNER WILL CREATE AN EROSION EDGE.
 - FOREST PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS CEASED IN THE IMMEDIATE VICINITY.
 - ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THE PROTECTED AREAS.
 - INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE ROOT SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS SHALL BE PROTECTED FROM SMOTHERING, FLOODING, EXCESSIVE WETTING AND WATERING OPERATIONS, OFF-SITE RUN OFF, SPILLAGE AND DRAWING OF MATERIALS THAT MAY BE HARMFUL TO TREES.
 - THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS. REMOVAL OF TOPSOIL OR ROOT MAT WITHIN THE TREE PRESERVATION AREA SHALL BE PROHIBITED.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN THE FOREST CONSERVATION EASEMENTS.
 - ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT OF GRADING WITHIN AND ADJACENT TO ALL FORESTED AREAS. PLEASE REFER TO ROOT PRUNING THIS SHEET.
- PRE-CONSTRUCTION MEETING**
AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS MEETING WILL BE:
- TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, EMPLOYEE PARKING AREAS AND EQUIPMENT STAGING AREAS.
 - INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES.
 - MAKE ALL NECESSARY ADJUSTMENTS.
 - ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS PENALTIES.
- CONSTRUCTION MONITORING**
CONSTRUCTION MONITORING DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS. ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIATED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A PROFESSIONAL ARBORIST.
- CONSTRUCTION PROCEDURE**
THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.



FOREST CONSERVATION DATA

FOREST CONSERVATION WORKSHEET

NET TRACT AREA:

- A. Total tract area = 7.08
- B. Area within 100 year floodplain & overhead transmission line = 2.60
- C. Area to remain in agricultural production = 0.00
- D. Net tract area = 4.48

LAND USE CATEGORY:
Input the number "1" under the appropriate land use zoning, and limit to only one entry.

ARA MDR IDA HDR MPD CIA
0 0 0 1 0 0

E. Afforestation Threshold = 15% x D = 0.67
F. Conservation Threshold = 20% x D = 0.90

EXISTING FOREST COVER:

- G. Existing forest cover (excluding floodplain) = 3.40
- H. Area of forest above afforestation threshold = 2.73
- I. Area of forest above conservation threshold = 2.50

BREAK EVEN POINT:

- J. Forest retention above threshold with no mitigation = 1.40
- K. Clearing permitted without mitigation = 2.00

PROPOSED FOREST CLEARING:

- L. Total area of forest to be cleared = 1.97
- M. Total area of forest to be retained = 1.43

PLANTING REQUIREMENTS:

- N. Reforestation for clearing above conservation threshold = 0.49
- P. Reforestation for clearing below conservation threshold = 0.00
- Q. Credit for retention above conservation threshold = 0.53
- R. Total reforestation required = 0.00
- S. Total afforestation required = 0.00
- T. Total reforestation and afforestation required = 0.00

SPECIMEN TREE CHART

KEY	SPECIES	SIZE	CONDITION
SP 1	YELLOW POPLAR	47"DBH	GOOD (TO REMAIN)
SP 2	YELLOW POPLAR	35"DBH	GOOD (TO REMAIN)
SP 3	YELLOW POPLAR	30"DBH	GOOD (TO REMAIN)
SP 4	YELLOW POPLAR	34"DBH	GOOD (TO REMAIN)
SP 5	YELLOW POPLAR	36"DBH	GOOD (TO BE REMOVED)
SP 6	YELLOW POPLAR	34"DBH	GOOD (TO REMAIN)
SP 7	YELLOW POPLAR	42"DBH	GOOD (TO REMAIN)
SP 8	YELLOW POPLAR	30"DBH	GOOD (TO REMAIN)

LEGEND

- SLOPES GREATER THAN 25%
- 15% TO 25% SLOPES
- FLOODPLAIN
- WETLANDS
- FOREST CONSERVATION EASEMENT (RETENTION)
- EXISTING TREE LINE
- LIMIT OF DISTURBANCE
- SSP SUPER SILTFENCE
- FOREST CONSERVATION EASEMENT (NON CREDITED)

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Masha & Subla
PLANNING DIRECTOR

DATE: 6/10

MD DNR QUALIFIED PROFESSIONAL

Masha Prig 6/31/10
MASHI TRINGA

STREET TREE CALCULATIONS

ROAD "A" - 680 / 40 = 17

TOTAL TREES REQUIRED = 17 TREES

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES						TOTAL
		A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	A (PERIMETER 5)	A (PERIMETER 6)	
LANDSCAPE TYPE (PERIMETER 1)								
LINEAR FEET OF PERIMETER	130.32 LF	712.85' LF	537.32 LF	518.60 LF	389.86 LF	235.37 LF	108.0 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	N/A	YES, 290.00 LF.	YES, 537.32 LF.	YES, 170.00 LF.	YES, 164.00 LF.	NO	NO	
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	N/A	NO	NO	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED								
SHADE TREES	0	7	0	6	4	4	2	23
EVERGREEN TREES	0	0	0	0	0	0	0	3
SHRUBS	0	0	0	0	0	0	0	0

OWNER/DEVELOPER

PLOGGER LLC
6800 DEERPATH RD, SUITE 150
ELKBRIDGE, MARYLAND 21075
410-997-0296
CONTACT NAME: R. JACOB HIKMAT

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 150, Elkridge, Maryland, 21075
(410) 997-0296 Fax: (410) 997-0298 Fax

PLOGGER PROPERTY
LOTS: 1-15 AND OPEN SPACE LOTS: 16-19
TAX MAP 47, BLOCK 6, PARCEL 499
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

PRELIMINARY LANDSCAP AND FOREST CONSERVATION PLAN

DATE: JULY 2010
PROJECT: 08-002
ILLUSTRATION: MAM
SCALE: 1"=50'
APPROVAL: MAM
R/H: MAM

4 OF 4

08-002.DWG(SKETCH)08-002-PLAN-MAY14