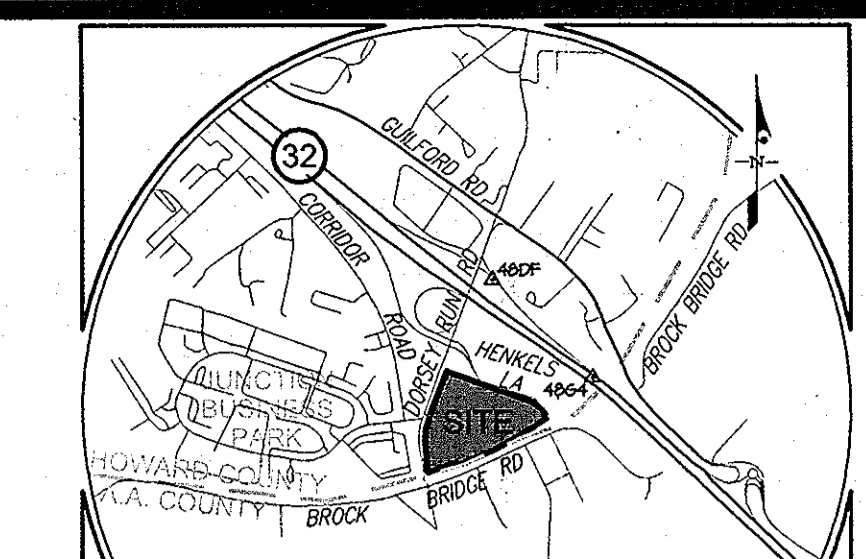


# SITE DEVELOPMENT PLAN

## ANNAPOLIS JUNCTION TOWN CENTER

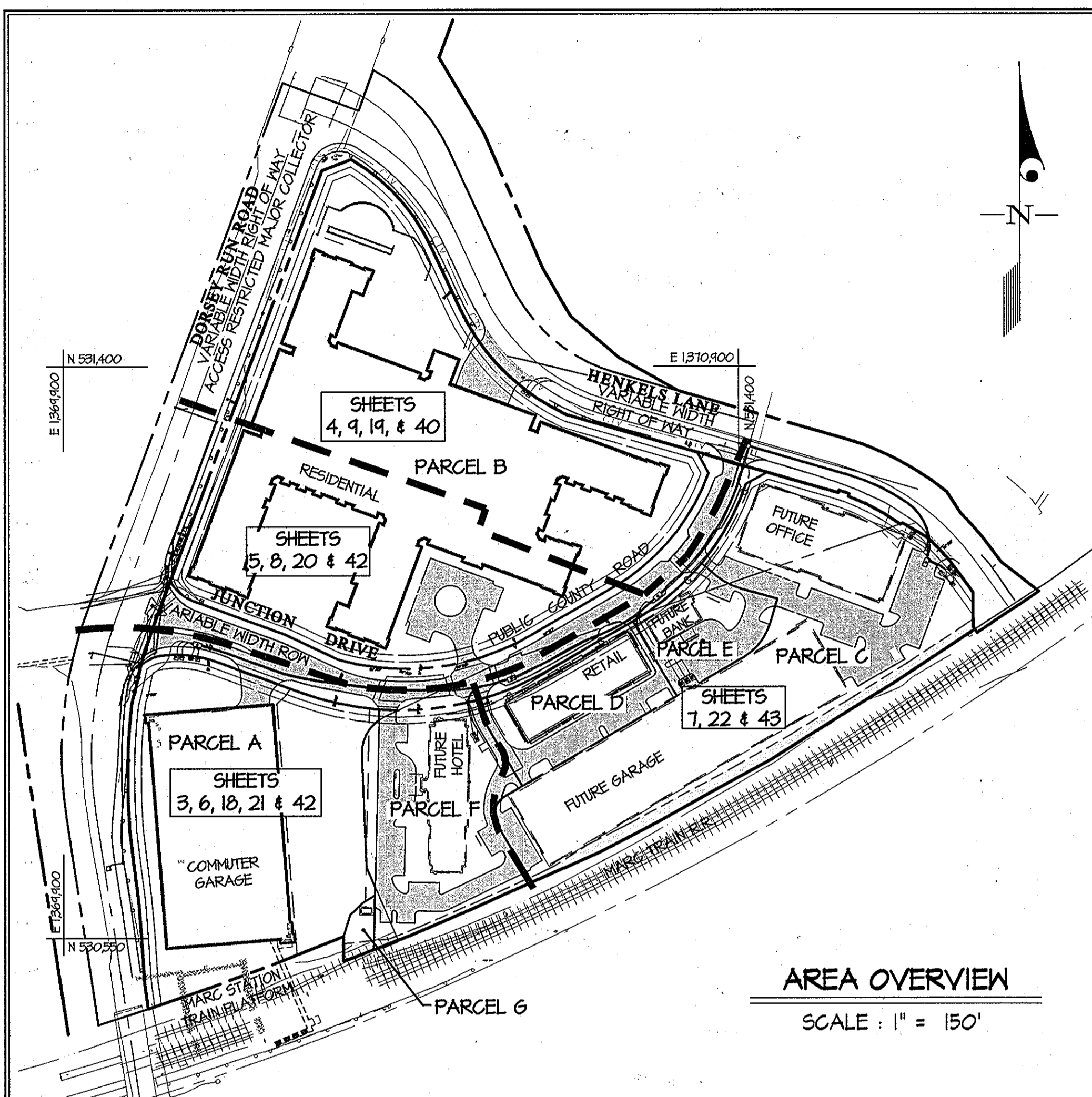


**VICINITY MAP**  
SCALE: 1" = 2,000'

ADC MAP PAGE 41 GRID C-6  
HOWARD COUNTY CONTROL STATIONS  
48DF  
NORTHING: 532,531.57  
EASTING: 1,370,606.65  
ELEVATION: 224.38  
STANDARD DISC ON CONCRETE MONUMENT

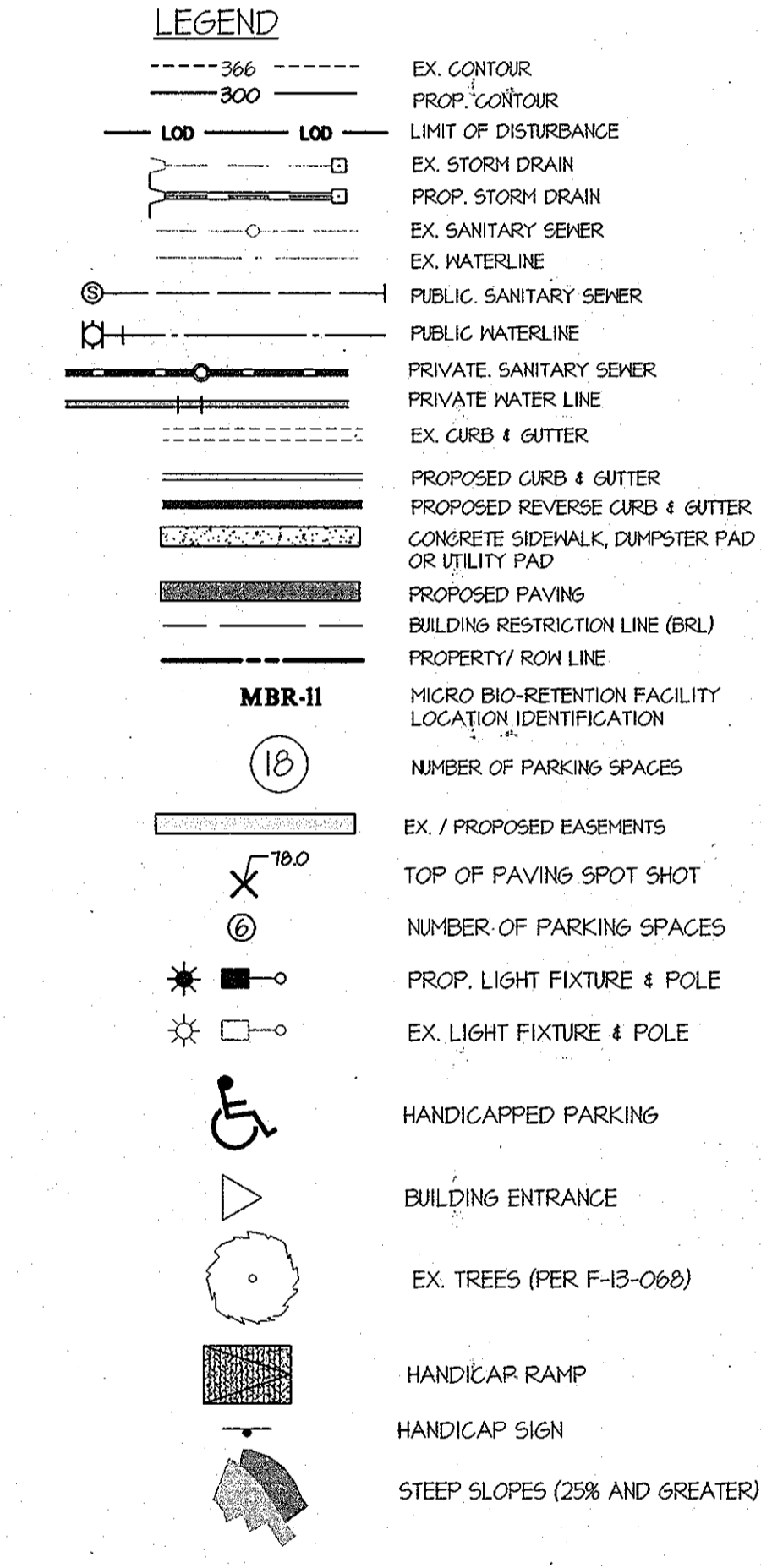
### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 315-1800 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- TRAFFIC CONTROL DEVICES MARKINGS AND SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- PROJECT BACKGROUND:  
LOCATION: TAX MAP 48 GRID 20  
ZONING: T.O.D.  
ELECTION DISTRICT: SIXTH ELECTION DISTRICT  
PARCELS/LOT INFO: PARCELS A, B, C, D, E, F, AND G  
RECORD PLAT NO.: F-19-068, PLAT #112607/01, FLY OF RESUBDIVISION 4 CORRECTION, ANNAPOLIS JUNCTION TOWN CENTER, PARCELS A THRU F  
DPZ REF. FILE NO.: F-05-11, F-10-05, F-12-31, NP-07-04, AA-07-04, SP-01-00B, NP-10-063, NP-11-144, NP-12-18, NP-13-126, F-19-068, NP-13-072
- TOPOGRAPHIC SURVEY WAS PERFORMED ON SEPTEMBER 5, 2006 BY CONTROL POINTS ASSOCIATES, INC. AND JUNE 2012 BY GUTSCHICK, LITTLE AND WEBER.
- COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS: 48DF AND 48G4.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATIONS BY CONTROL POINTS ASSOCIATES, INC. & GUTSCHICK, LITTLE & WEBER. THE CONTRACTOR MUST DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
- SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS NOTED OTHERWISE.
- THERE ARE NO KNOWN GRAVE SITES, HISTORIC FEATURES, OR CEMETERIES ON SITE.
- ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
- THIS SITE WILL BE SERVED BY PUBLIC WATER UNDER CONTRACT 824-4780-D TO BE CONSTRUCTED UNDER A DEVELOPER'S AGREEMENT.
- THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDR CRITERIA. AN EXISTING NET POND, MICRO-BIORETENTION FILTERS UNITS, AND TWO STORMCOURTS, WILL ALL BE USED TO PROVIDE THE NON-CPU 4 REV REQUIREMENTS FOR REDEVELOPMENT. ALL FACILITIES WILL BE PRIVATELY MAINTAINED.
- A TRAFFIC ANALYSIS WAS PREPARED BY THE TRAFFIC GROUP FOR SP-07-00B AND VERIFIED AS PART OF THIS SDP SUBMISSION. NEW TRAFFIC CENSUS WERE TAKEN AND THE TRAFFIC ANALYSIS WAS BEEN UPDATED.
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE 1/8". PROVIDE A MINIMUM OF 36" RISE BY FIVE FOOT LEVEL LANDING (1/8" MAX) AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING INGRESSES/EGRESS POINTS.
- THE CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- ALL PRIVATE OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 184 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE LANDSCAPE PLAN WAS PREPARED TO MEET THE LANDSCAPE MANUAL AND APPLICABLE PARTS OF THE ROUTE 1 MANUAL. POSTING OF SURETY IS REQUIRED FOR LANDSCAPING IN ACCORDANCE WITH SECTION 16124 OF THE LANDSCAPE MANUAL. IN THE AMOUNT OF \$100,000.00 FOR 254 SHADE TREES, 103 EVERGREEN AND 154 LINEAR FEET OF FENCING/SMALLS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT. THE FINANCIAL SURETY FOR 27 PUBLIC STREET TREES IN THE AMOUNT OF \$180,000 WILL BE INCLUDED AS PART OF THE COST ESTIMATE GENERATED BY THE HOWARD COUNTY DEVELOPMENT ENGINEERING DIVISION.
- THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PUBLIC ROAD RIGHTS OF WAY ARE SHOWN ON THE PLANS.
- THE PROPOSED BUILDINGS WILL HAVE AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEMS, AS REQUIRED. THE GARAGES ON PARCELS A & C SHALL HAVE DRY STANDPIPE SYSTEMS.
- TRASH COLLECTION FOR THIS SITE WILL BE PRIVATE.
- ALL PAVING AND ROADWAYS ON PARCELS B, C, D, E, F & G ARE PRIVATELY OWNED AND MAINTAINED.
- ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BEDDINGS FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SLOPE CLASS "C" BEDDINGS, UNLESS OTHERWISE NOTED.
- STANDARD PAN OF CURBS SHALL BE FITTED TO CONFORM TO THE ADJACENT DRAINAGE PATTERN OF THE ADJOINING PARKING VEHICULAR USE.
- THE BUILDINGS SHALL HAVE INSIDE WATER METER SETTINGS AND SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PREVENTION SPRINKLER SYSTEM AS REQUIRED.
- THE MAXIMUM HEIGHT OF THE BUILDINGS FOR THIS PROJECT IS 60 FEET.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003, AND THE AMENDED ZONING REGULATIONS PER COUNCIL BILL 15-2009. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH THE SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN. MAINTENANCE APPLICATION OR BUILDING GRADINGS PERMIT APPLICATIONS.
- ON OCTOBER 3, 2012, MDE APPROVED THE RESPONSE ACTION PLAN (RAP) FOR PARCEL 157 (BOISE PARCEL), UNDER THE VOLUNTARY CLEANUP PROGRAM. BOISE CASCADE COMMENCED THE REMEDIATION WORK IN ACCORDANCE WITH RAP THE WEEK OF JANUARY 21, 2013. WORK HAS BEEN COMPLETED AND BOISE CASCADE IS WAITING ON FINAL MDE CERTIFICATE OF COMPLETION. CONTRACTOR SHALL FAMILIARIZE ITSELF WITH THE RAP AND ADHERE TO ITS POST-REMEDIATION CONDITIONS, IF ANY.
- MNU ALTERNATIVE COMPLIANCE FOR THIS PROJECT WAS APPROVED BY THE HOWARD COUNTY HOUSING & COMMUNITY DEVELOPMENT BOARD ON DECEMBER 13, 2012, UNDER THE TERMS OF THAT APPROVED ALTERNATIVE COMPLIANCE AGREEMENT. 52 UNITS WILL BE INCLUDED IN THE 416-JOINT APARTMENT BUILDINGS ON-SITE, AND 31 UNITS WILL BE TRANSFERRED TO A NEW DEVELOPMENT SITE TO BE SELECTED BY THE HOWARD COUNTY HOUSING COMMISSION.
- THE OFFICE BUILDING, HOTEL, BANK, KIOSK, AND THE TWO-LEVEL PARKING GARAGE ARE SHOWN AS "FUTURE". ALTHOUGH ALL INFRASTRUCTURE, ANALYSES, AND TABULATIONS REFLECT THESE BUILDINGS, THEY ARE PLACEHOLDERS UNTIL THE ACTUAL FOOTPRINTS, ELEVATIONS AND OTHER DETAILS ARE KNOWN. AT THE TIME EACH BUILDING MOVES FORWARD, THE SDP WILL BE REDLINED (AS PERMITTED BY THE PLANNING DIRECTOR) AND THE LEEDS REQUIREMENTS WILL BE ADAPTED AS APPLICABLE. THE TWO-LEVEL PARKING GARAGE WILL BE BUILT WITH THE OFFICE BUILDING OR HOTEL, WHICHEVER IS FIRST.
- THE APARTMENT BUILDINGS HAS VOLUNTARILY BEEN REGISTERED WITH THE GREEN BUILDING CERTIFICATION INSTITUTE IN THE LEEDS ONLINE FOR NC - SILVER PROJECT ID 100022819.
- THE PROJECT AREA WAS EXAMINED FOR ENVIRONMENTAL FEATURES BY MCCARTHY & ASSOCIATES. PER THE REPORT FILED WITH THIS SDP, THERE ARE NO JURISDICTIONAL WETLANDS, FOREST STEEP SLOPES, AREAS, STREAMS, OR OTHER BUFFERS WITHIN THE LIMITS OF THIS SUBMISSION. THERE ARE STREAMS SLOPES PRESENT ON THIS SITE AS SHOWN ON SHEET 2 OF 64 AND SHEET 3 OF 64.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16120 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE TOTAL FOREST CONSERVATION PORTION FOR THIS PROJECT IS 12.6 ACRES, OF WHICH 10.1 ACRES WAS FULFILLED BY A FEE-IN-LIEU PAYMENT UNDER F-09-124 (FN 2010). THE REMAINING FOREST CONSERVATION OBLIGATION FOR THIS PROJECT WAS FULFILLED BY THE PURCHASE OF AT LEAST 0.24 OF AN ACRE OF FOREST CONSERVATION EASEMENT AT BRISHTON HILL, ON BUILDABLE PRESERVATION PARCEL "A" AND NON-BUILDABLE PRESERVATION PARCEL "D", TM 34, PLAT NO. 2871 THRU 2880. FOREST CONSERVATION WAS ADDED WITH F-15-068 & SDP 11-010.



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  - OVERALL SITE DEVELOPMENT SHEET
  - PHASE I CONSTRUCTION PLAN
  - EXISTING CONDITIONS PLAN & DEMOLITION PLAN
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  - SITE DEVELOPMENT PLAN - RESIDENTIAL - SOUTH
  - SITE DEVELOPMENT PLAN - COMMERCIAL - WEST
  - SITE DEVELOPMENT PLAN - COMMERCIAL - EAST
  - RESIDENTIAL - POOL AREA ENLARGEMENT GRADING PLAN
  - RESIDENTIAL - AMENITY ENLARGEMENT GRADING PLAN
  - RESIDENTIAL - PARKING PLANS & BUILDING ELEVATIONS
  - HANDICAP ACCESSIBILITY/ SITE DETAILS
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  60. MAINTENANCE OF TRAFFIC PLAN - PHASE 5
  61. MAINTENANCE OF TRAFFIC PLAN - PHASE 5
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  63. MAINTENANCE OF TRAFFIC PLAN - PHASE 6
  64. FOREST STAND DELINEATION & FOREST CONSERVATION PLAN

- GENERAL SITE DATA  
A. PRESENT ZONING: T.O.D. (TRANSIT ORIENTED DEVELOPMENT)  
B. PROPOSED USE OF SITE OR STRUCTURES: MULTI-FAMILY RESIDENTIAL, OFFICE, RETAIL, BANK, KIOSK, COMMUTER PARKING, HOTEL  
C. SEE GENERAL NOTE # 5 FOR APPLICABLE DPZ FILE NUMBERS  
D. TOTAL OF 416 APARTMENT UNITS ARE PROPOSED, SEE GENERAL NOTE # 32 FOR MHI COMPLIANCE.
- AREA TABULATION  
A. TOTAL PROJECT AREA: 10.83 AC  
B. AREA OF THIS PLAN SUBMISSION: 10.83 AC  
C. LIMIT OF AREA DISTURBED BY THIS SDP: 11.53 AC  
D. BUILDING DATA  
PARCEL A COMMUTER GARAGE 704 SPACES  
PARCEL B MULTI-FAMILY RESIDENTIAL 416 UNITS/ 617 GARAGE PARKING SPACES  
PARCEL C OFFICE 100,000 GSF FLOOR AREA/ 400 GARAGE PARKING SPACES  
PARCEL D RETAIL 14,000 GSF  
PARCEL E BANK 3,200 GSF  
PARCEL F HOTEL 150 ROOMS  
PARCEL G KIOSK 250 GSF  
E. AREA OF RESIDENTIAL = 7.43 AC (98% OF TOTAL 50% PERMITTED) (PARCEL B)  
F. TOTAL FLOOR AREA OF FREESTANDING ONE-STORY COMMERCIAL = 171,000 SF (20,000 SF PERMITTED)
- AMENITY AREA DATA  
A. AMENITY AREA REQUIRED FOR SITE: 10% OF 10.83AC = 1.08 AC  
B. AMENITY AREA PROVIDED: 1.06 AC
- PARKING DATA  
RESIDENTIAL REQUIRED:  
PER CODE:  
416 SPACES X (2 SPACES /D.U. + 0.3) OVERFLOW = 951  
PER PARKING STUDY:  
1.5 SPACES/UNIT X 416 UNITS = 624 SPACES  
PROVIDED (PER PARKING STUDY):  
TYPE GARAGE (PAR. C) SURFACE  
VAN ACCESSIBLE 4 SPACES 2 SPACES  
STANDARD ACCESSIBLE 10 SPACES 0 SPACES  
REGULAR SPACES 603 SPACES 5 SPACES  
SUB-TOTAL 617 SPACES 7 SPACES  
RESIDENTIAL TOTAL 624 SPACES  
COMMERCIAL REQUIRED:  
OFFICE = 100,000 SF X 3.3 SPACES/ 1,000 SF = 330 SPACES  
RETAIL = 14,250 SF X 5.0 SPACES/1,000 SF = 72 SPACES  
BANK = 3,200 SF X 5.0 SPACES/1,000 SF = 16 SPACES  
HOTEL = 150 ROOMS X 1.0 SPACES/ROOM = 150 SPACES  
SUB-TOTAL REQUIRED = 568 SPACES  
LESS REDUCTION FOR SHARED PARKING = (95 SPACES)\*  
TOTAL COMMERCIAL SPACES REQUIRED = 473 SPACES  
TOTAL ACCESSIBLE SPACES REQUIRED = 2% OF TOTAL PARKING SPACES PROVIDED  
524 SPACES X 0.02 = 11 REQUIRED  
PROVIDED:  
TYPE GARAGE (PAR. C) SURFACE  
VAN ACCESSIBLE 4 SPACES 12 SPACES  
STANDARD ACCESSIBLE 8 SPACES 4 SPACES  
REGULAR SPACES 390 SPACES 108 SPACES  
SUB-TOTAL 400 SPACES 124 SPACES  
COMMERCIAL TOTAL 524 SPACES  
\*PER PARKING STUDY & PARKING MODIFICATION SUBMITTED WITH SDP, THE PROPOSED PARKING MODIFICATIONS WERE APPROVED BY THE PLANNING DIRECTOR ON APRIL 28, 2013. ANY FUTURE CHANGE IN USE NOT LISTED IN ABOVE MENTIONED PARKING STUDY AND MODIFICATION WILL REQUIRE ADDITIONAL REVIEW AND APPROVAL OF PARKING NEEDS BY DPZ/DLO STAFF PRIOR TO APPROVAL OF FUTURE USE.  
NOTES  
EXCLUDES 646 SPACE COMMUTER PARKING GARAGE (PARCEL A). EXCLUDES 21 ON-STREET PARALLEL SPACES IN JUNCTION DRIVE.  
ANY FUTURE PARKING NEEDS WILL BE THE SOLE RESPONSIBILITY OF THE CURRENT OWNER/DEVELOPER, AND IT WILL BE THE PROPERTY OWNERS RESPONSIBILITY TO MANAGE PARKING USAGE AMONG THE VARIOUS USER GROUPS TO AVOID CONFLICTS.  
PARKING PHASING:  
1. PHASE I WILL DEMOLISH EXISTING STRUCTURES AND PAVEMENT WITHIN THE PHASE I AREA, AND WILL CONSTRUCT THE COMMUTER GARAGE AND DOCKERY ROAD IMPROVEMENTS. THE REMAINDER OF EXISTING COMMUTER SURFACE PARKING LOT WILL REMAIN IN SERVICE FOR MARC TRAIN PASSENGERS DURING PHASE I CONSTRUCTION.  
2. ONCE THE COMMUTER GARAGE HAS BEEN CONSTRUCTED AND IS IN SERVICE, PHASE 2 WILL DEMOLISH EXISTING STRUCTURES AND PAVEMENT WITHIN THE PHASE 2 UNITS (THE REMAINDER OF THE SITE). PHASE 2 WILL CONSTRUCT THE RESIDENTIAL DEVELOPMENT, JUNCTION DRIVE, THE RETAIL BUILDING, ALL REMAINING INFRASTRUCTURE IMPROVEMENTS, AND WILL LEAVE ONLY THE BUILDING PADS FOR THE OFFICE, HOTEL, BANK, & 2-STORY GARAGE TO BE CONSTRUCTED AT A LATER DATE.  
3. PHASE 3 WILL CONSTRUCT REMAINING BUILDINGS ON SITE. ADEQUATE SURFACE PARKING FOR THE RETAIL WILL BE MAINTAINED DURING FUTURE BUILDING AND GARAGE CONSTRUCTION. GARAGE ON PARCEL C TO BE BUILT IN FUTURE (WITH HOTEL OR OFFICE CONSTRUCTION WHICHEVER COMES FIRST)



### ADDRESS CHART

PARCEL	BUILDING	STREET ADDRESS
A	COMMUTER GARAGE	1002 JUNCTION DRIVE
B	RESIDENTIAL BLDG	1028 JUNCTION DRIVE
B	RESIDENTIAL GARAGE	8950 HENNELS LANE
C	PARKING GARAGE	1030 JUNCTION DRIVE
D	OFFICE	1070 JUNCTION DRIVE
D	RETAIL	1040 JUNCTION DRIVE
E	BANK	1020 JUNCTION DRIVE
F	HOTEL	1020 JUNCTION DRIVE
G	KIOSK	1016 JUNCTION DRIVE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: [Signature] Date: 2/21/14  
Chief, Division of Land Development: [Signature] Date: 2/27/14  
Chief, Development Engineering Division: [Signature] Date: 2-23-14

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3609 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

ON FEBRUARY 24, 2012, NP-12-112 REQUESTING A MAJORITY TO SECTION 16.106(D) AND SECTION 16.106(E), ALLOWING EXTENSION OF MILESTONE DATES FOR PHASES 1-5 FOR ANOTHER YEAR, WAS GRANTED. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:  
1. THE APPLICANT SHALL SUBMIT SITE DEVELOPMENT PLANS FOR PHASES 1-5 ON OR BEFORE APRIL 1, 2013. IF DEADLINE IS NOT MET, PLAN WILL BE RECALLED AND VOID.  
2. SUBJECT TO THE ATTACHED COMMENT BY DED, THE SDPs AND THEIR APPROVAL ARE SUBJECT TO MDE SMH REQUIREMENTS OF 2007.  
THIS MAJORITY PETITION IS NO LONGER APPLICABLE DUE TO PLAN CHANGES AND SMH NOW MEETING CURRENT STANDARDS.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

OWNERS:  
PARCEL A: STATE OF MARYLAND, 301-N. PRESTON STREET, BALTIMORE, MD. 21202, (410) 767-4107  
PARCEL A: STATE RAILROAD ADMINISTRATION, C/O MASS TRANSIT ADMINISTRATION, OFFICE OF REAL ESTATE AND FREIGHT, 6 ST. PAUL STREET, BALTIMORE, MD. 21202, (410) 534-5000  
PARCELS B THRU G: ANNAPOLIS JUNCTION TOWN CENTER, LLC, 4816 DEL RAY AVENUE, BETHESDA, MD. 20814, ATTN: PETER ZADORETZKY, (410) 267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12873, EXPIRATION DATE: MAY 26, 2014  
2-10-14

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
[Signature] Date: 2/24/2014  
County Health Officer

COVER SHEET  
ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 11097-12101  
ELECTION DISTRICT No. 6 GULFORD  
HOWARD COUNTY, MARYLAND

### PERMIT INFORMATION CHART

SUBDIVISION NAME:	SECTION/AREA	PARCELS			
ANNAPOLIS JUNCTION TOWN CENTER	N/A	A-G			
PLAT No.	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
11097-12101	T.O.D.	48	20	6	606402
WATER ZONE: 400			TEST GRADIENT: 550		

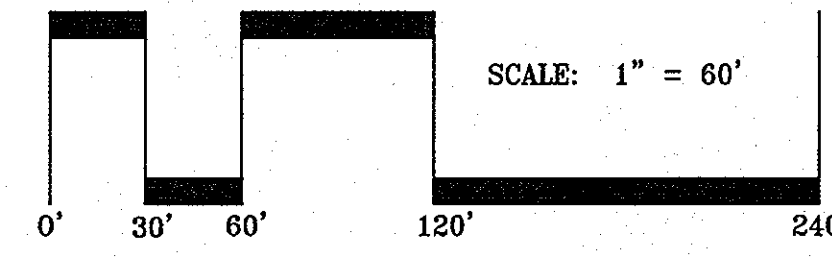
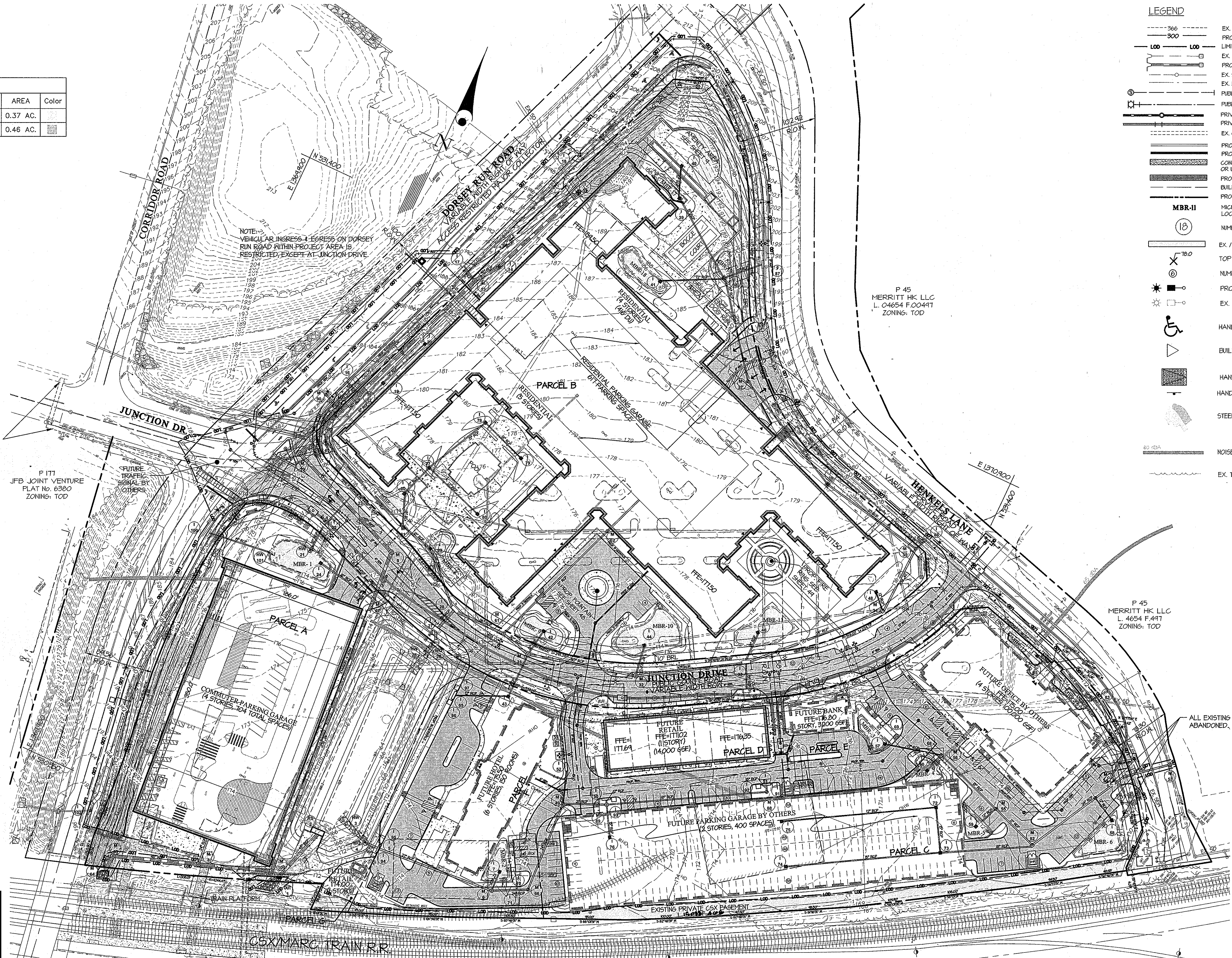
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	1 OF 64



Slopes Table				
Number	Minimum Slope	Maximum Slope	AREA	Color
1	15.00%	24.90%	0.37 AC.	
2	25.00%	Vertical	0.46 AC.	

LEGEND	
	EX. CONTOUR
	PROP. CONTOUR
	LIMIT OF DISTURBANCE
	EX. STORM DRAIN
	PROP. STORM DRAIN
	EX. SANITARY SEWER
	EX. WATERLINE
	PUBLIC SANITARY SEWER
	PUBLIC WATERLINE
	PRIVATE SANITARY SEWER
	PRIVATE WATER LINE
	EX. CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPOSED REVERSE CURB & GUTTER
	CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
	PROPOSED PAVING
	BUILDING RESTRICTION LINE (BRL)
	PROPERTY/ROW LINE
	MBR-II
	MICRO BIO-RETENTION FACILITY
	LOCATION IDENTIFICATION
	NUMBER OF PARKING SPACES
	EX. / PROPOSED EASEMENTS
	TOP OF PAVING SPOT SHOT
	NUMBER OF PARKING SPACES
	PROP. LIGHT FIXTURE & POLE
	EX. LIGHT FIXTURE & POLE
	HANDICAPPED PARKING
	BUILDING ENTRANCE
	HANDICAP RAMP
	HANDICAP SIGN
	STEEP SLOPES (15% AND GREATER)
	NOISE LINE
	EX. TREELINE TO BE REMOVED

FUTURE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ON NORTHWEST CORNER OF JUNCTION DRIVE AND CORRIDOR ROAD. DEVELOPER TO PAY FEE-IN-LIEU FOR THIS WORK SO IT CAN BE CONSTRUCTED AS PART OF TRAFFIC SIGNAL CONSTRUCTION.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark H. Long* 3/2/14  
Director

*Kurt Schaefer* 3/2/14  
Chief, Division of Land Development

*Chris Edinger* 2-28-14  
Chief, Development Engineering Division

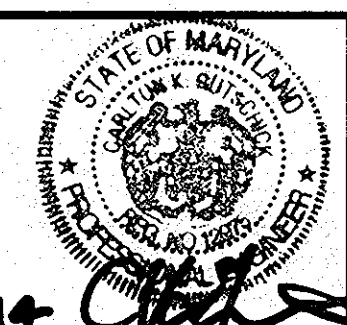
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-863-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,  
LICENSE NO. 12875  
EXPIRATION DATE: MAY 26, 2014

*2-10-14*



OVERALL SITE DEVELOPMENT PLAN  
**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 21697-21721  
ELECTION DISTRICT No. 6 GUILFORD

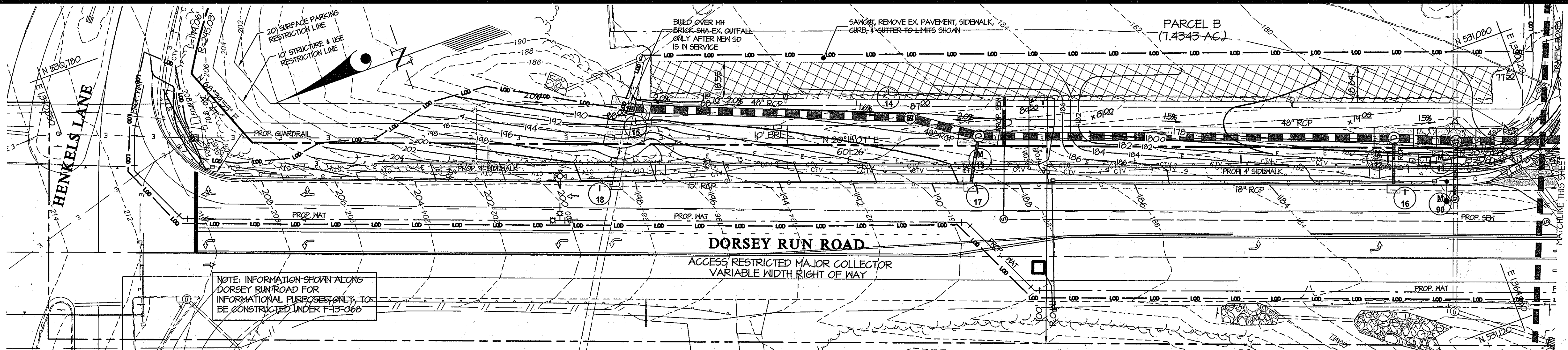
SCALE	ZONING	G. L. W. FILE No.
1"=60'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	2 OF 64

L. VARDY/ANNAPOLIS/11107/PLANS BY G. W. SCHMIDT/1107-02-633P.dwg. PLOTTED: 2/10/2014 2:38 PM. LAST SAVED: 2/7/2014 5:34 PM. PLOTTED BY: Mark Johnson



**LEGEND**

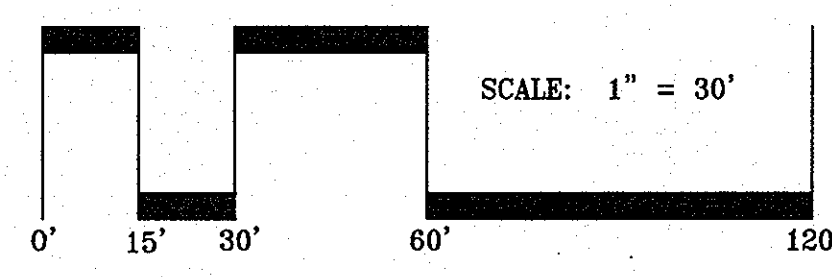
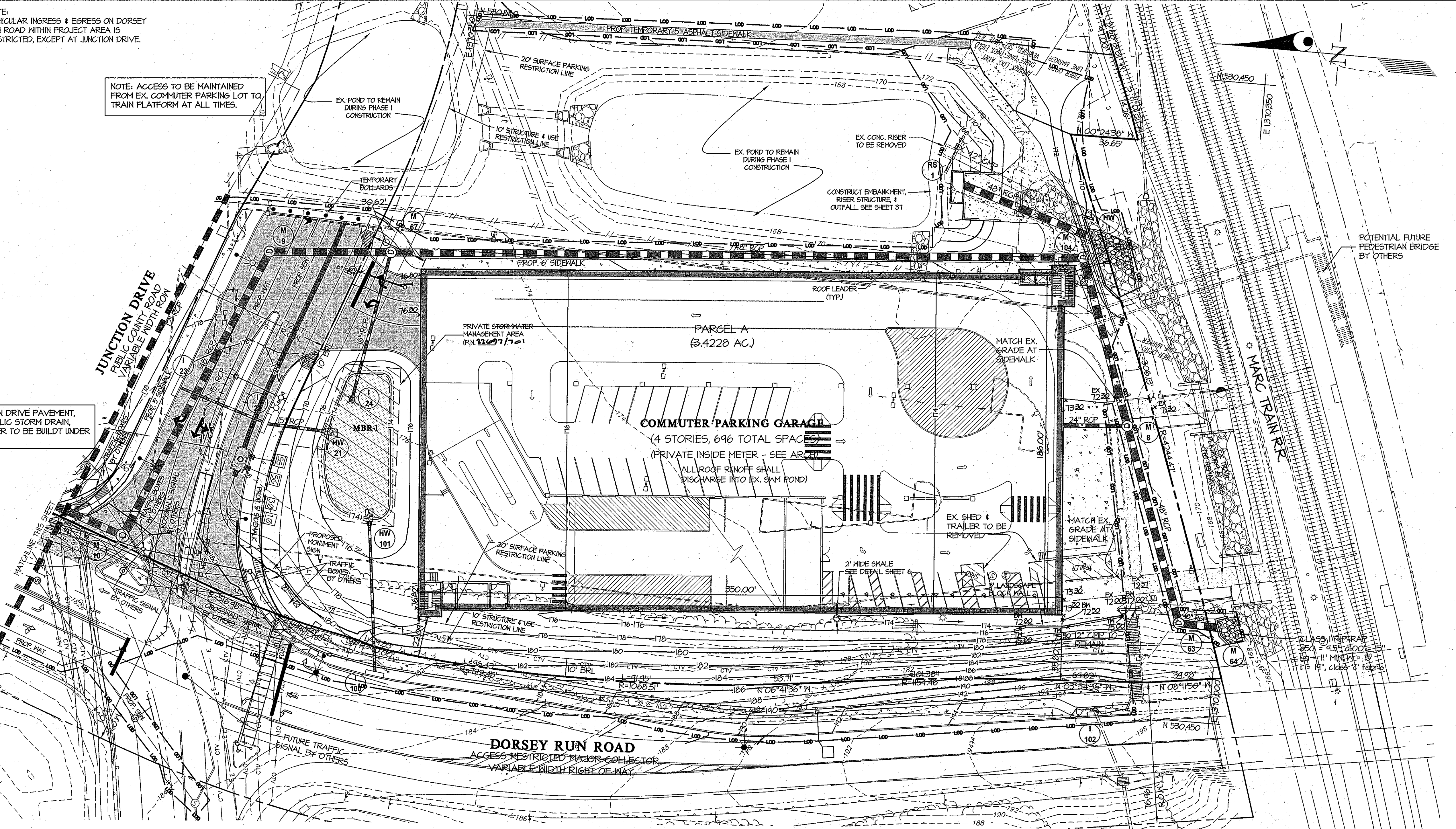
- 366 --- EX. CONTOUR
  - 300 --- PROP. CONTOUR
  - 100 --- LIMIT OF DISTURBANCE
  - 100 --- EX. STORM DRAIN
  - 100 --- PROP. STORM DRAIN
  - 100 --- EX. SANITARY SEWER
  - 100 --- EX. WATERLINE
  - 100 --- PUBLIC SANITARY SEWER
  - 100 --- PUBLIC WATERLINE
  - 100 --- PRIVATE SANITARY SEWER
  - 100 --- PRIVATE WATER LINE
  - 100 --- EX. CURB & GUTTER
  - 100 --- PROPOSED CURB & GUTTER
  - 100 --- PROPOSED REVERSE CURB & GUTTER
  - 100 --- CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
  - 100 --- PROPOSED PAVING
  - 100 --- BUILDING RESTRICTION LINE (BRL)
  - 100 --- PROPERTY / ROW LINE
  - 100 --- MBR-II
  - 100 --- MICRO BIO-RETENTION FACILITY
  - 100 --- LOCATION IDENTIFICATION
- (18) NUMBER OF PARKING SPACES
  - EX. / PROPOSED EASEMENTS
  - TOP OF PAVING SPOT SHOT
  - (18) NUMBER OF PARKING SPACES
  - PROP. LIGHT FIXTURE & POLE
  - EX. LIGHT FIXTURE & POLE
  - HANICAPPED PARKING
  - BUILDING ENTRANCE
  - HANICAP RAMP
  - HANICAP SIGN
  - ROOF LEADER
  - EX. TREELINE (TO BE REMOVED)



NOTE: VEHICULAR INGRESS & EGRESS ON DORSEY RUN ROAD WITHIN PROJECT AREA IS RESTRICTED, EXCEPT AT JUNCTION DRIVE.

NOTE: ACCESS TO BE MAINTAINED FROM EX. COMMUTER PARKING LOT TO TRAIN PLATFORM AT ALL TIMES.

NOTE: JUNCTION DRIVE PAVEMENT, SIDEWALK, PUBLIC STORM DRAIN, WATER, & SEWER TO BE BUILT UNDER F-13-066



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark A. Lytle* 2/3/14  
Director Date

*Kurt LaVigne* 3/27/14  
Chief, Division of Land Development Date

*Chad Adams* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 12475  
EXPIRATION DATE: MAY 26, 2014



**PHASE I CONSTRUCTION**

**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 11697-127e1

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	3 OF 64

L:\CAD\DRAWINGS\1107\PLANS BY G.L.W.\SDP\1107-03-SIP-PHASE 1.dwg PLOT: 2/25/2014 5:18 PM, 105% SWEEP: 1/10/2014 10:54 AM, PLOTTED BY: Mark Lytle

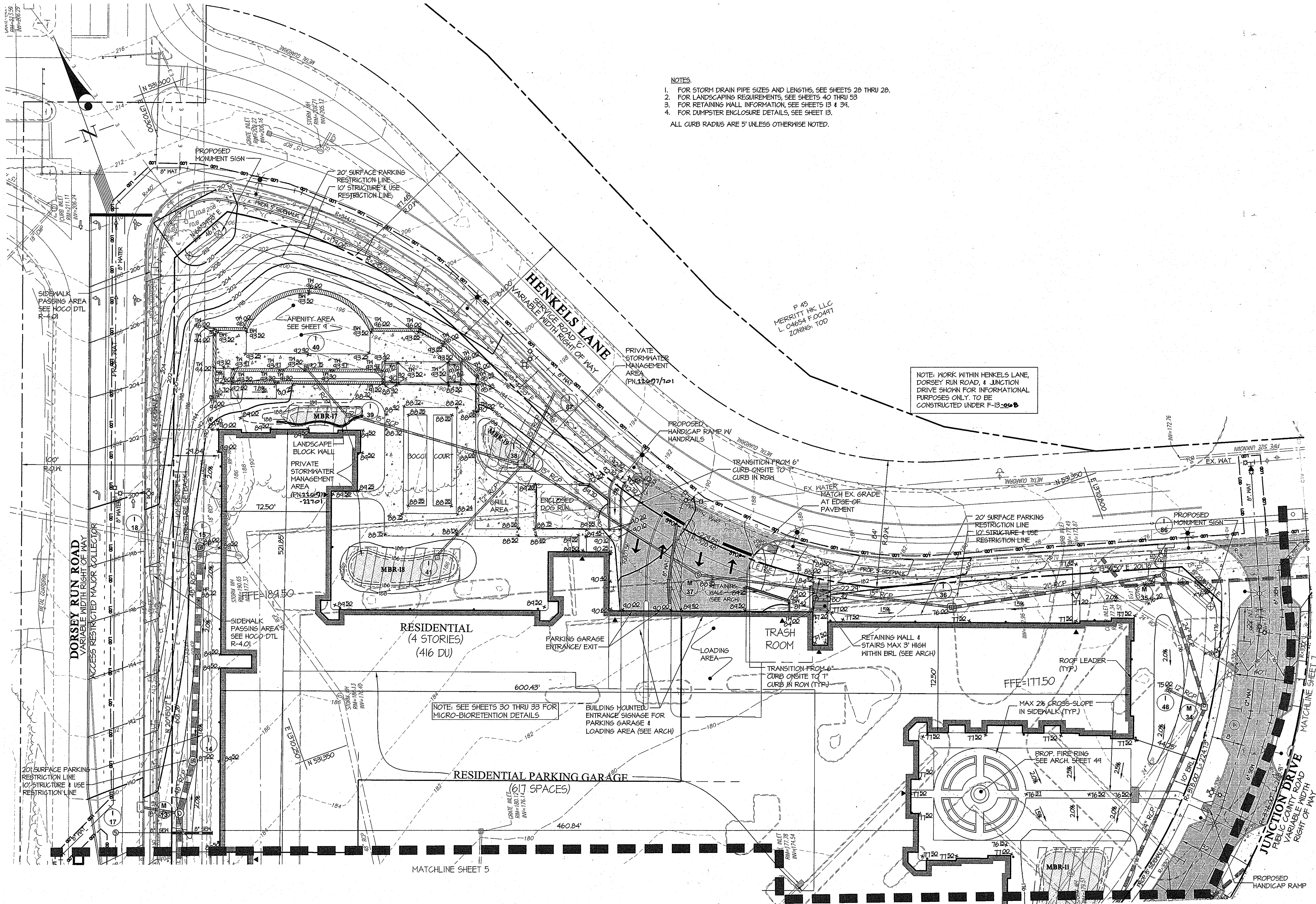
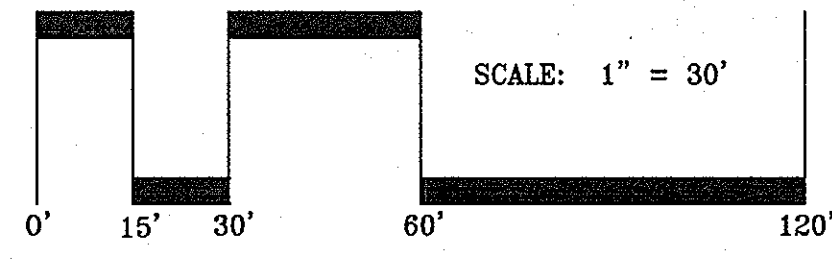


NOTE:  
VEHICULAR INGRESS & EGRESS ON DORSEY RUN ROAD WITHIN PROJECT AREA IS RESTRICTED, EXCEPT AT JUNCTION DRIVE.

- NOTES:
1. FOR STORM DRAIN PIPE SIZES AND LENGTHS, SEE SHEETS 29 THRU 28.
  2. FOR LANDSCAPING REQUIREMENTS, SEE SHEETS 40 THRU 53.
  3. FOR RETAINING WALL INFORMATION, SEE SHEETS 13 & 34.
  4. FOR DUMPSTER ENCLOSURE DETAILS, SEE SHEET 13.
- ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.

LEGEND

- 300 --- EX. CONTOUR
- 300 --- PROP. CONTOUR
- 300 --- LIMIT OF DISTURBANCE
- 300 --- EX. STORM DRAIN
- 300 --- PROP. STORM DRAIN
- 300 --- EX. SANITARY SEWER
- 300 --- EX. WATERLINE
- 300 --- PUBLIC SANITARY SEWER
- 300 --- PUBLIC WATERLINE
- 300 --- PRIVATE SANITARY SEWER
- 300 --- PRIVATE WATER LINE
- 300 --- EX. CURB & GUTTER
- 300 --- PROPOSED CURB & GUTTER
- 300 --- PROPOSED REVERSE CURB & GUTTER
- 300 --- CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
- 300 --- PROPOSED PAVING
- 300 --- BUILDING RESTRICTION LINE (BRL)
- 300 --- PROPERTY/ROW LINE
- MBR-II
- (18)
- 300 --- EX. / PROPOSED EASEMENTS
- 300 --- TOP OF PAVING SPOT SHOT
- 300 --- NUMBER OF PARKING SPACES
- 300 --- PROP. LIGHT FIXTURE & POLE
- 300 --- EX. LIGHT FIXTURE & POLE
- 300 --- HANDICAPPED PARKING
- 300 --- BUILDING ENTRANCE
- 300 --- HANDICAP RAMP
- 300 --- HANDICAP SIGN
- 300 --- ROOF LEADER
- 300 --- EX. TREELINE TO BE REMOVED



NOTE: WORK WITHIN HENKELS LANE, DORSEY RUN ROAD, & JUNCTION DRIVE SHOWN FOR INFORMATIONAL PURPOSES ONLY. TO BE CONSTRUCTED UNDER F-13-04-B

NOTE: SEE SHEETS 30 THRU 33 FOR MICRO-BIORETENTION DETAILS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark A. Gagliardi* 3/2/14  
Director Date

*Ken Sheehan* 3/10/14  
Chief, Division of Land Development Date

*Chad Chubb* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3509 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 12175  
EXPIRATION DATE: MAY 26, 2014

2-10-14



SITE DEVELOPMENT PLAN - RESIDENTIAL NORTH

**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G

PLAT No. 22097-22101

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	4 OF 64

L:\CAD\DRAWINGS\1107\PLANS BY G.L.W. (SP) 1107-04-SP-RES-01.dwg DATE: 3/2/14 10:52 AM PLOT: 3/10/14 10:52 AM PLOTTER: HP DesignJet 5000



NOTE:  
VEHICULAR INGRESS & EGRESS ON DORSEY  
RUN ROAD WITHIN PROJECT AREA IS  
RESTRICTED, EXCEPT AT JUNCTION DRIVE.

MATCHLINE SHEET 4

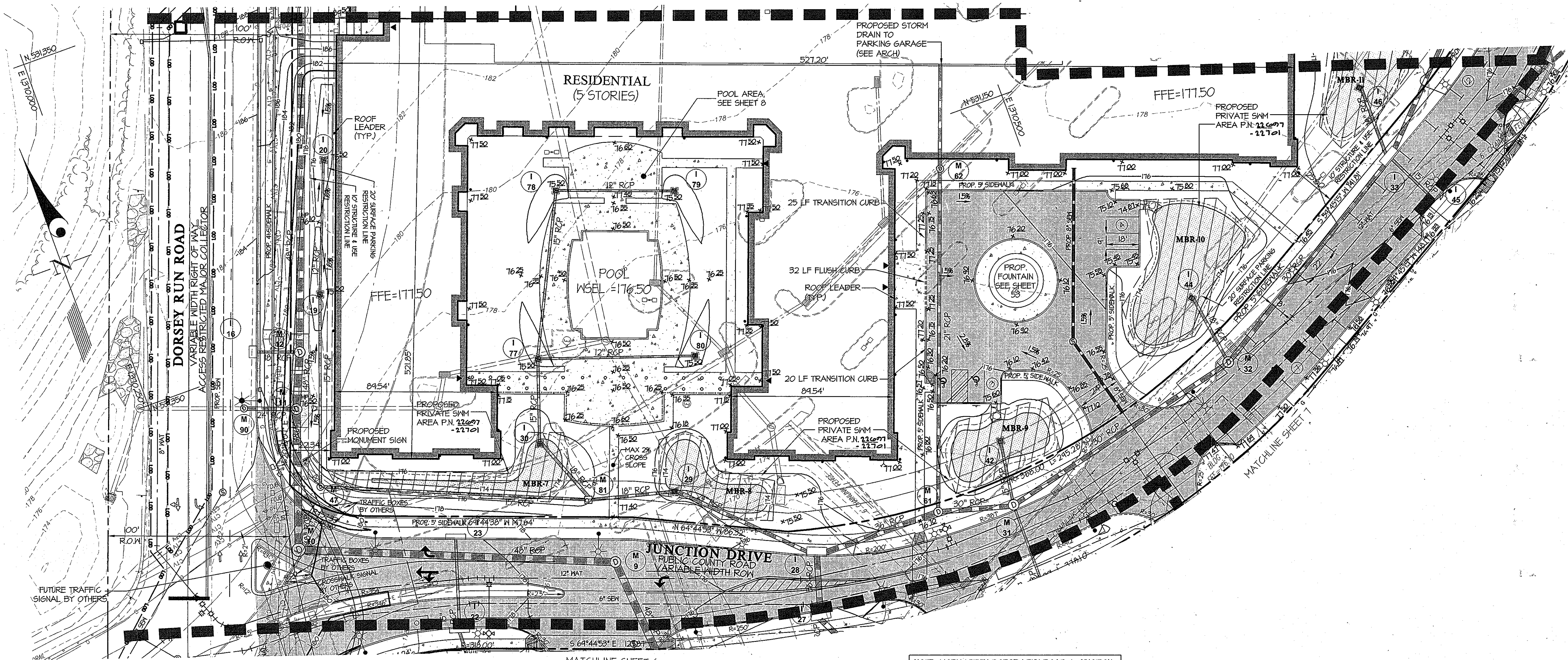
RESIDENTIAL  
(5 STORIES)

JUNCTION DRIVE  
FLEMING COUNTY ROAD  
VARIABLE WIDTH ROW

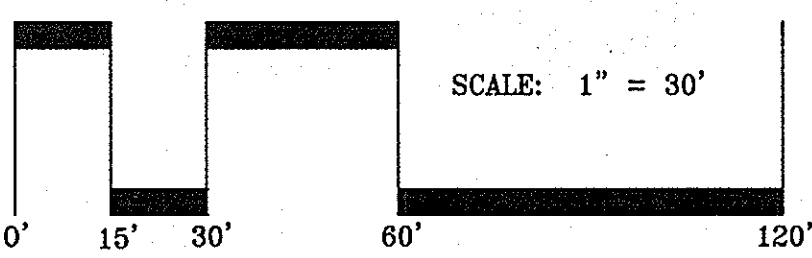
DORSEY RUN ROAD  
VARIABLE WIDTH RIGHT OF WAY  
ACCESS RESTRICTED MAJOR COLLECTOR

LEGEND

- 366 --- EX. CONTOUR
- 300 --- PROP. CONTOUR
- 100 --- 100 --- LIMIT OF DISTURBANCE
- EX. STORM DRAIN
- PROP. STORM DRAIN
- EX. SANITARY SEWER
- EX. WATERLINE
- PUBLIC. SANITARY SEWER
- PUBLIC WATERLINE
- PRIVATE. SANITARY SEWER
- PRIVATE WATER LINE
- EX. CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
- PROPOSED PAVING
- BUILDING RESTRICTION LINE (BRL)
- PROPERTY ROW LINE
- MBR-II
- MICRO BIO-RETENTION FACILITY
- LOCATION IDENTIFICATION
- (10) --- NUMBER OF PARKING SPACES
- EX. / PROPOSED EASEMENTS
- TOP OF PAVING SPOT SHOT
- (10) --- NUMBER OF PARKING SPACES
- \* --- PROP. LIGHT FIXTURE & POLE
- \* --- EX. LIGHT FIXTURE & POLE
- ♿ --- HANDICAPPED PARKING
- BUILDING ENTRANCE
- EX. TREES (PER F-13-068)
- HANDICAP RAMP
- HANDICAP SIGN
- ROOF LEADER
- EX. TREELINE



NOTE: WORK WITHIN DORSEY RUN ROAD & JUNCTION DRIVE SHOWN FOR INFORMATIONAL PURPOSES ONLY. TO BE CONSTRUCTED UNDER F-13-068



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Barbara M. Wyle* 5/14/14  
Director Date

*Walter Sheelwood* 5/07/14  
Chief, Division of Land Development Date

*Chad Edmondson* 2-13-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3309 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE  
PLANS WERE PREPARED OR  
APPROVED BY ME, AND THAT I AM A  
DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE  
STATE OF MARYLAND,  
LICENSE NO. 12815  
EXPIRATION DATE: MAY 28, 2014



SITE DEVELOPMENT PLAN - RESIDENTIAL SOUTH

**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G

PLAT No. 22607-22701

SECTION DISTRICT No. 6 GUILFORD  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	5 OF 64

L:\2013\DRAMING\11107\PLANS BY GUY\SP\11107-05-SP-RES-02.dwg  
 DATE PLOTTED: 5/14/14 10:00 AM  
 PLOTTER: HP DesignJet T1100PS  
 PLOT SCALE: 1" = 30'  
 PLOT SHEET: 5 OF 64





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*James K. Gault* 3/3/14  
 Director Date

*Kevin Sandbrook* 3/27/14  
 Chief, Division of Land Development Date

*Chad Edwards* 2-28-14  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3509 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
 BURTONVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-800-1820 DC/VA: 301-388-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2014

*3-10-14*

**SITE DEVELOPMENT PLAN - WEST COMMERCIAL**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22077-11701  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

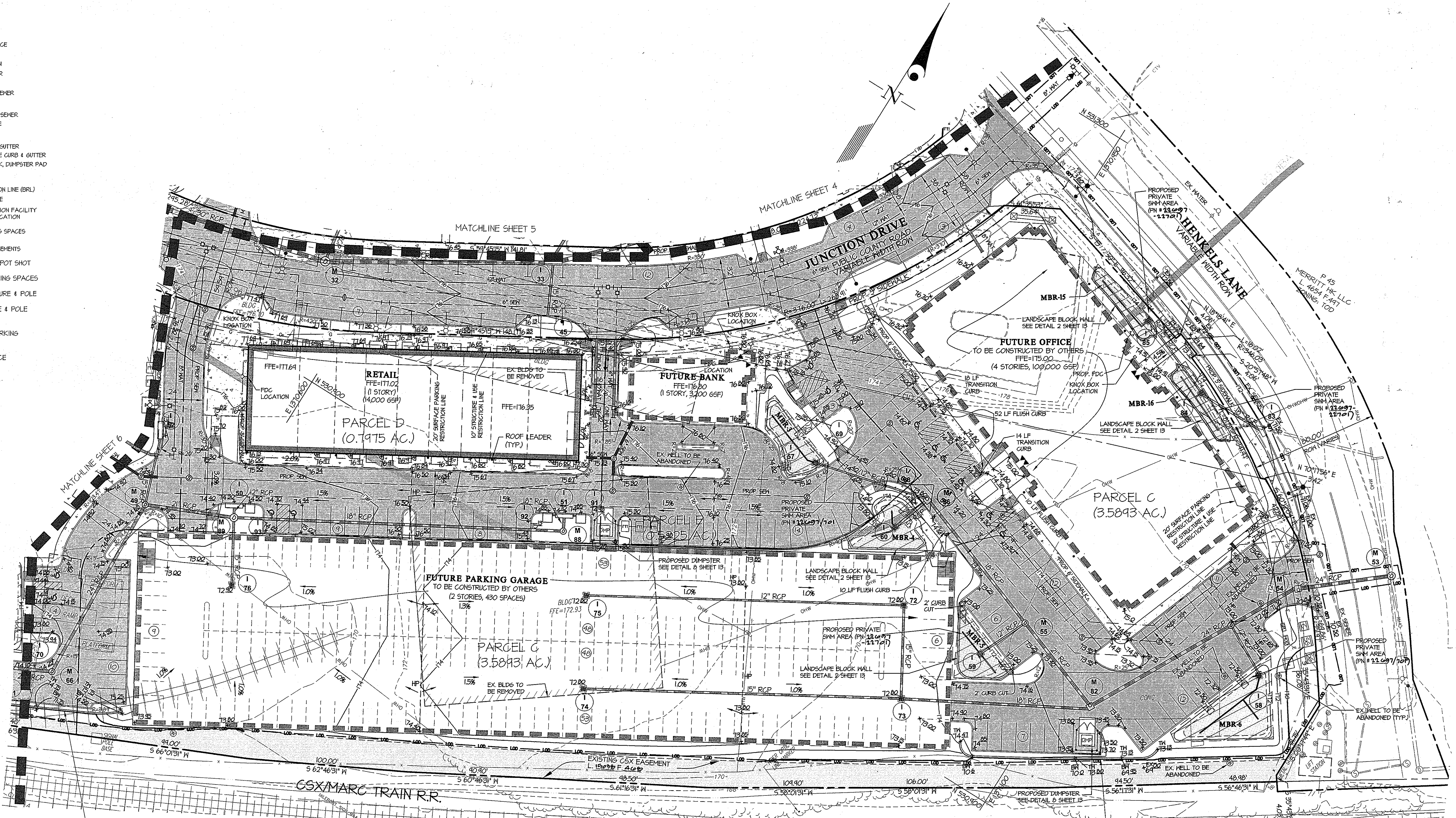
SCALE	ZONING	G. L. W. FILE No.
1"=30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	6 OF 64

L:\CAD\DRAWINGS\1107\PLANS BY QLV\SP\1107-06-SUP-COM-01.dwg  
 PLOTTED 2/26/14 1:52:50 PM, USER: JAMES.GUTSCHICK, PLOTTER: HP DesignJet 2400, PLOT SCALE: 1"=30', PLOT SHEET: 6 OF 64



**LEGEND**

- 366 --- EX. CONTOUR
- 300 --- PROP. CONTOUR
- 100 --- 100 --- LIMIT OF DISTURBANCE
- EX. STORM DRAIN
- PROP. STORM DRAIN
- EX. SANITARY SEWER
- EX. WATERLINE
- PUBLIC SANITARY SEWER
- PUBLIC WATERLINE
- PRIVATE SANITARY SEWER
- PRIVATE WATER LINE
- EX. CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
- PROPOSED PAVING
- BUILDING RESTRICTION LINE (BRL)
- PROPERTY/ROOF LINE
- MBR-11 MICRO BIO-RETENTION FACILITY LOCATION IDENTIFICATION
- (18) NUMBER OF PARKING SPACES
- EX. / PROPOSED EASEMENTS
- X 10.0 TOP OF PAVING SPOT SHOT
- NUMBER OF PARKING SPACES
- PROP. LIGHT FIXTURE & POLE
- EX. LIGHT FIXTURE & POLE
- HANICAPPED PARKING
- BUILDING ENTRANCE
- HANICAP RAMP
- HANICAP SIGN
- ROOF LEADER
- NOISE LINE

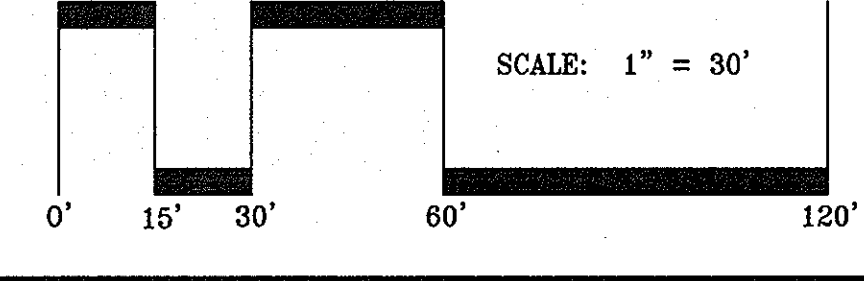


PROPOSED LANDSCAPE BLOCK RETAINING WALL SEE DETAIL 2 SHEET 13

PROPOSED LANDSCAPE BLOCK RETAINING WALL SEE DETAIL 2 SHEET 13

NOTE: SEE SHEETS 30 THROUGH 33 FOR SWM DETAILS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 [Signature] 5/3/14 Date  
 Director  
 [Signature] 3/07/14 Date  
 Chief, Division of Land Development  
 [Signature] 2.28.14 Date  
 Chief, Development Engineering Division



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3309 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12718, EXPIRATION DATE: MAY 26, 2014  
 2-10-14 [Signature]

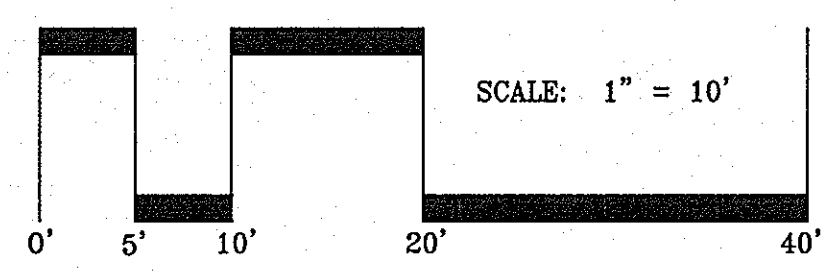
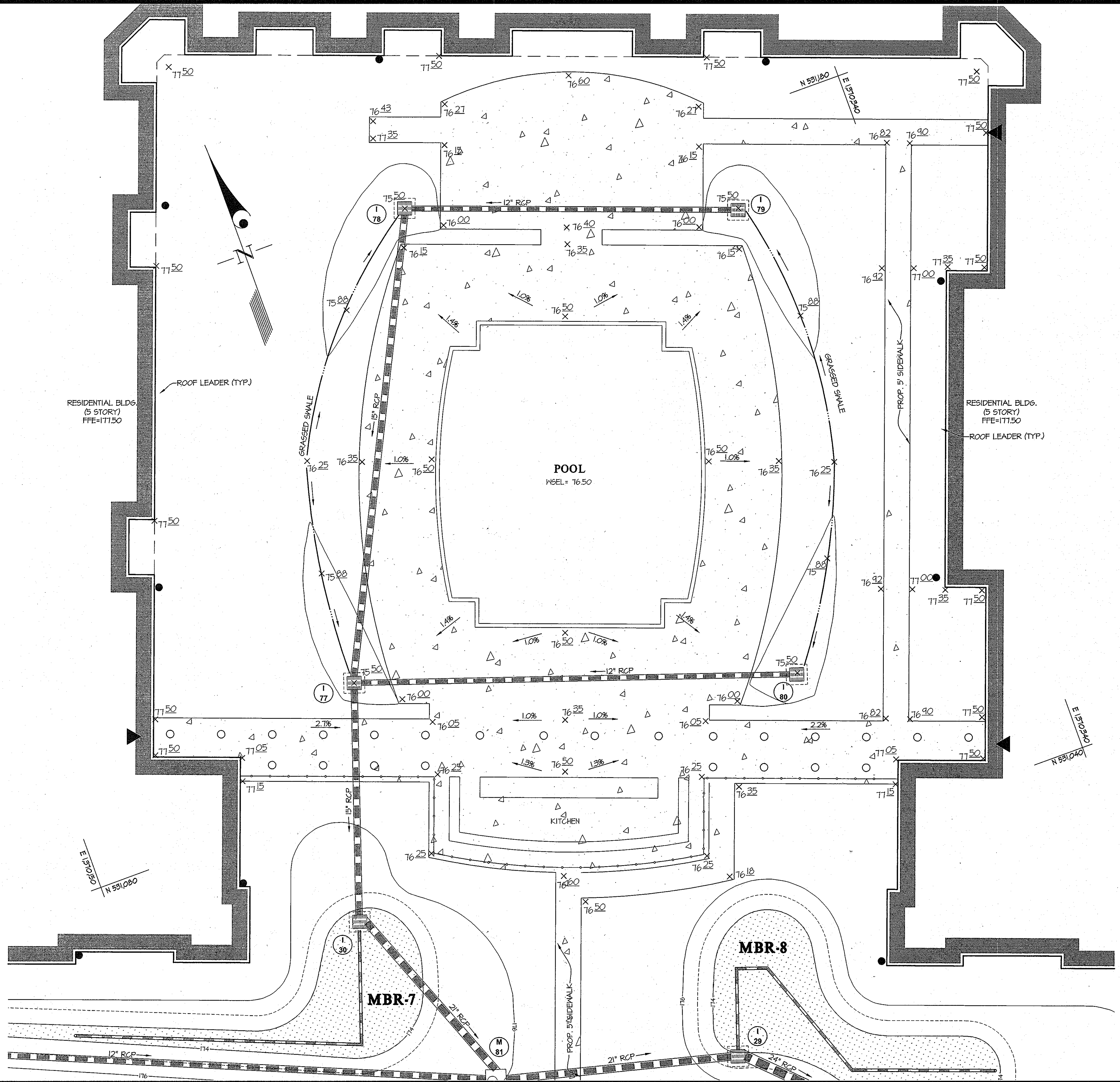
**SITE DEVELOPMENT PLAN - EAST COMMERCIAL**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
 PLAT No. 22-097-227-01  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	7 OF 64

L:\CAD\DRAWINGS\1107\PLANS BY GUN\SP\1107-07-SP-024-02.dwg DES. MAJ JLN CHK. MAJ JLN DATE 5/3/14  
 L:\CAD\DRAWINGS\1107\PLANS BY GUN\SP\1107-07-SP-024-02.dwg DES. MAJ JLN CHK. MAJ JLN DATE 3/07/14  
 L:\CAD\DRAWINGS\1107\PLANS BY GUN\SP\1107-07-SP-024-02.dwg DES. MAJ JLN CHK. MAJ JLN DATE 2.28.14



- LEGEND**
- 366 --- EX. CONTOUR
  - 300 --- PROP. CONTOUR
  - 100 --- LIMIT OF DISTURBANCE
  - EX. STORM DRAIN
  - PROP. STORM DRAIN
  - EX. SANITARY SEWER
  - EX. WATERLINE
  - PUBLIC SANITARY SEWER
  - PUBLIC WATERLINE
  - PRIVATE SANITARY SEWER
  - PRIVATE WATER LINE
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  - PROPOSED CURB & GUTTER
  - PROPOSED REVERSE CURB & GUTTER
  - CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
  - PROPOSED PAVING
  - BUILDING RESTRICTION LINE (BRL)
  - PROPERTY/ROM LINE
  - MBR-II
  - MICRO BIO-RETENTION FACILITY
  - LOCATION IDENTIFICATION
  - (12) --- NUMBER OF PARKING SPACES
  - EX. / PROPOSED EASEMENTS
  - X 10.0 --- TOP OF PAVING SPOT SHOT
  - (12) --- NUMBER OF PARKING SPACES
  - \* --- PROP. LIGHT FIXTURE & POLE
  - \* --- EX. LIGHT FIXTURE & POLE
  - ♿ --- HANDICAPPED PARKING
  - △ --- BUILDING ENTRANCE
  - ○ --- EX. TREES (PER F-13-068)
  - ▨ --- HANDICAP RAMP
  - ▨ --- HANDICAP SIGN
  - ● --- ROOF LEADER



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark M. Long* 2/2/14  
Director Date

*Kitchel* 3/10/14  
Chief, Division of Land Development Date

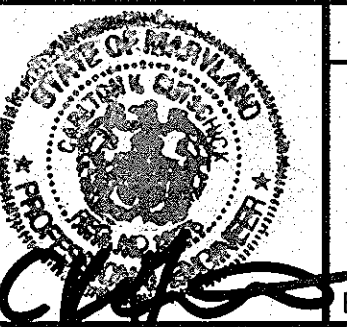
*Chad* 2-28-14  
Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL. RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE  
PLANS WERE PREPARED OR  
APPROVED BY ME, AND THAT I AM A  
DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE  
STATE OF MARYLAND,  
LICENSE NO. 1275  
EXPIRATION DATE: MAY 26, 2014



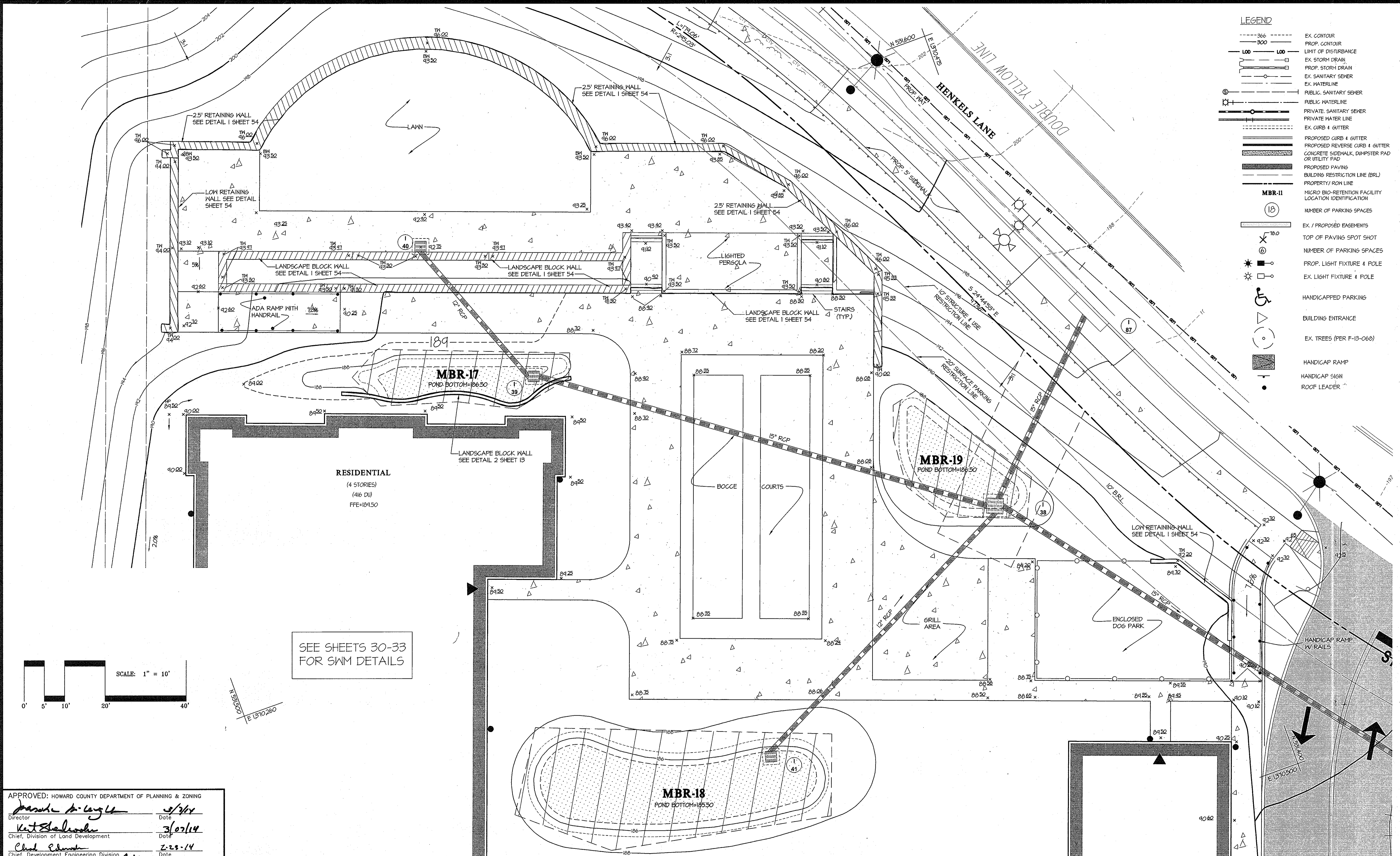
**RESIDENTIAL POOL ENLARGEMENT GRADING PLAN**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
ELECTION DISTRICT No. 6 GUILFORD  
PLAT No. 21607-2721  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=10'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	8 OF 64

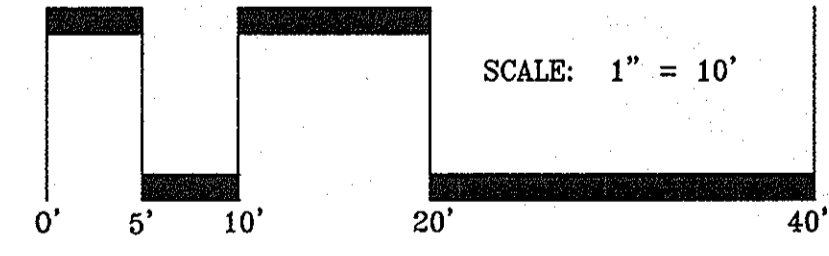
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- LEGEND**
- 366 --- EX. CONTOUR
  - 300 --- PROP. CONTOUR
  - L00 --- L00 --- LIMIT OF DISTURBANCE
  - EX. STORM DRAIN
  - PROP. STORM DRAIN
  - EX. SANITARY SEWER
  - EX. WATERLINE
  - PUBLIC SANITARY SEWER
  - PUBLIC WATERLINE
  - PRIVATE SANITARY SEWER
  - PRIVATE WATER LINE
  - EX. CURB & GUTTER
  - PROPOSED CURB & GUTTER
  - PROPOSED REVERSE CURB & GUTTER
  - CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
  - PROPOSED PAVING
  - BUILDING RESTRICTION LINE (BRL)
  - PROPERTY / ROW LINE
  - MICRO BIO-RETENTION FACILITY LOCATION IDENTIFICATION
  - MBR-11
  - (18) --- NUMBER OF PARKING SPACES
  - EX. / PROPOSED EASEMENTS
  - X 10.0 --- TOP OF PAVING SPOT SHOT
  - ( ) --- NUMBER OF PARKING SPACES
  - \* --- PROP. LIGHT FIXTURE & POLE
  - \* --- EX. LIGHT FIXTURE & POLE
  - ♿ --- HANDICAPPED PARKING
  - BUILDING ENTRANCE
  - EX. TREES (PER F-13-069)
  - HANDICAP RAMP
  - HANDICAP SIGN
  - ROOF LEADER



SEE SHEETS 30-33 FOR SWM DETAILS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Parade A. Long* 3/2/14  
Director Date

*W. J. Shalinski* 3/27/14  
Chief, Division of Land Development Date

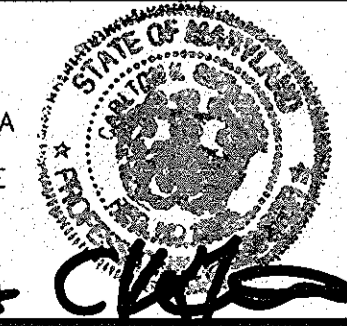
*Chad Edwards* 2-23-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4188

DATE	REVISION	BY	APP'R

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 12716  
EXPIRATION DATE: MAY 26, 2014  
*2-10-14* *CLW*

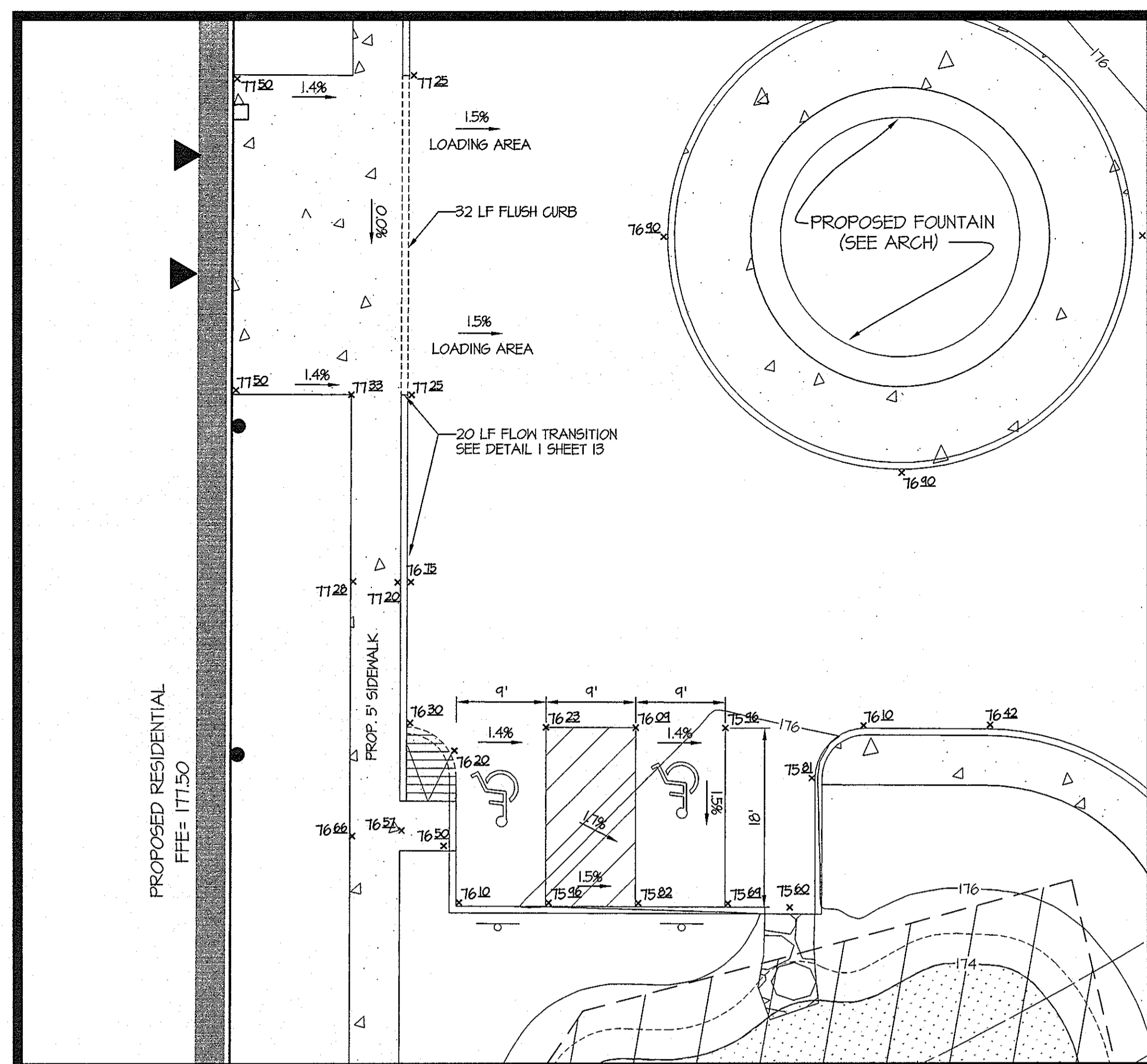


**RESIDENTIAL AMENITY ENLARGEMENT GRADING PLAN**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
PARCELS A - G  
PLAT No. 220071-22701  
ELECTION DISTRICT No. 6 GUILFORD  
HOWARD COUNTY, MARYLAND

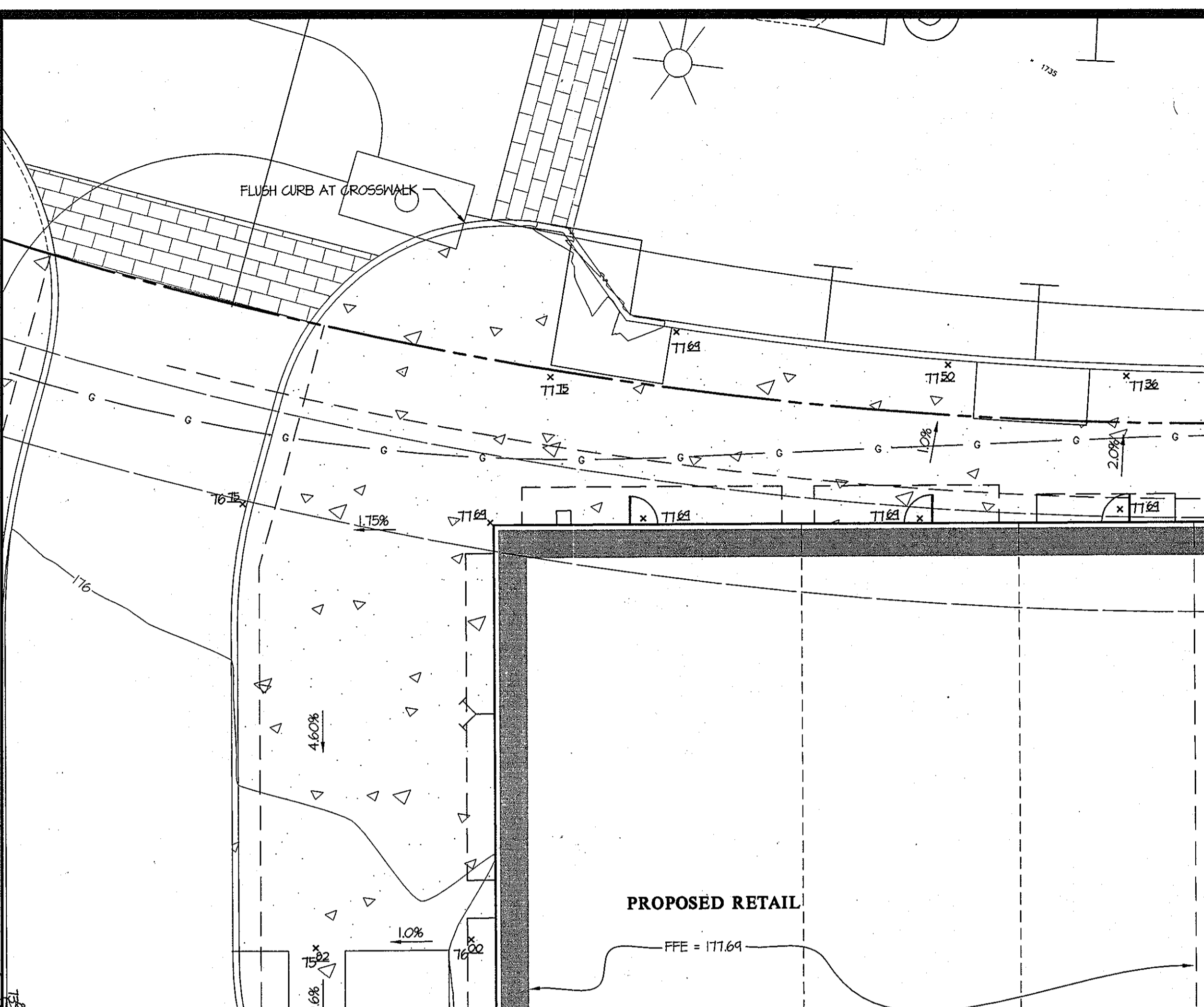
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1"=10'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	9 OF 64

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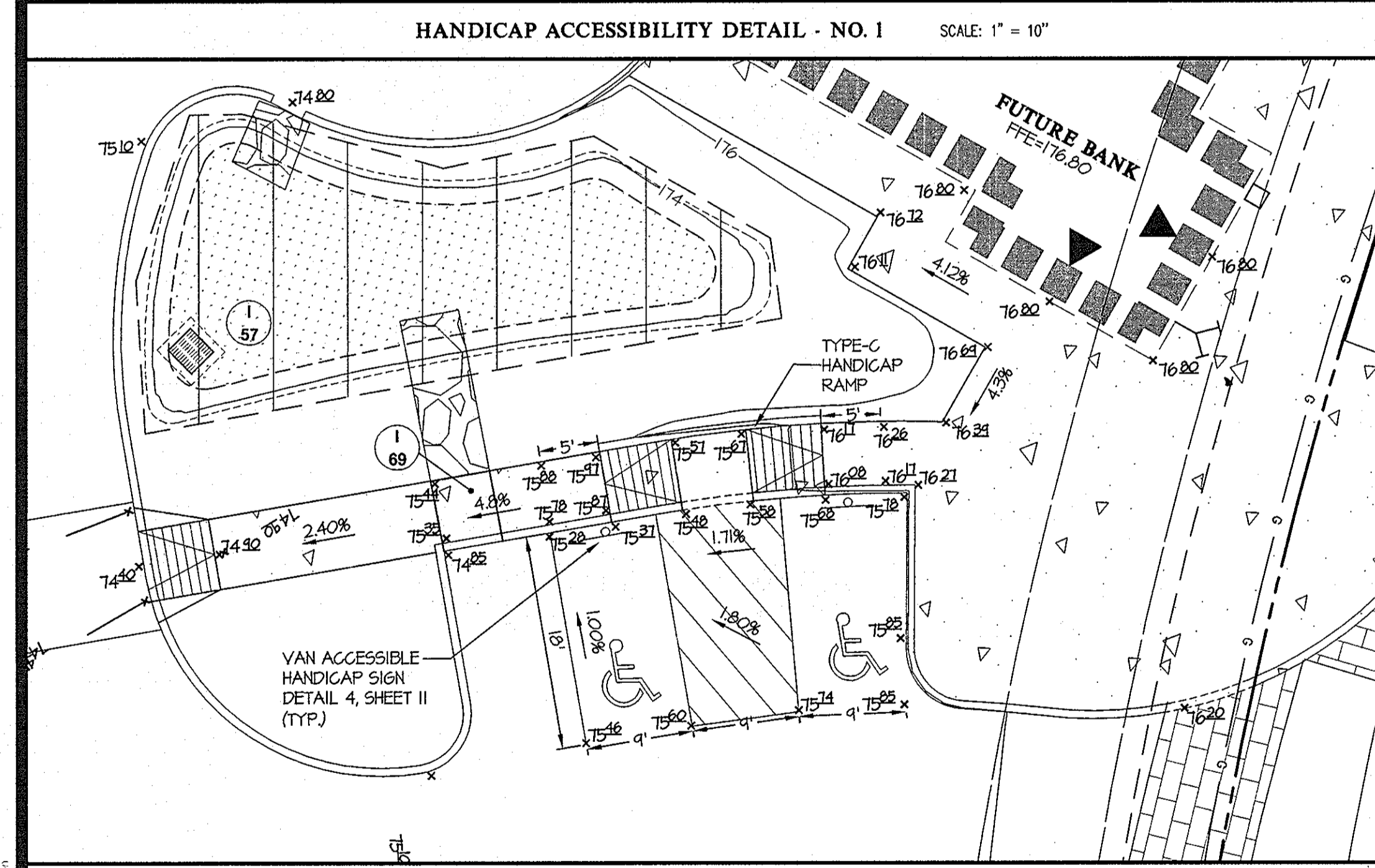




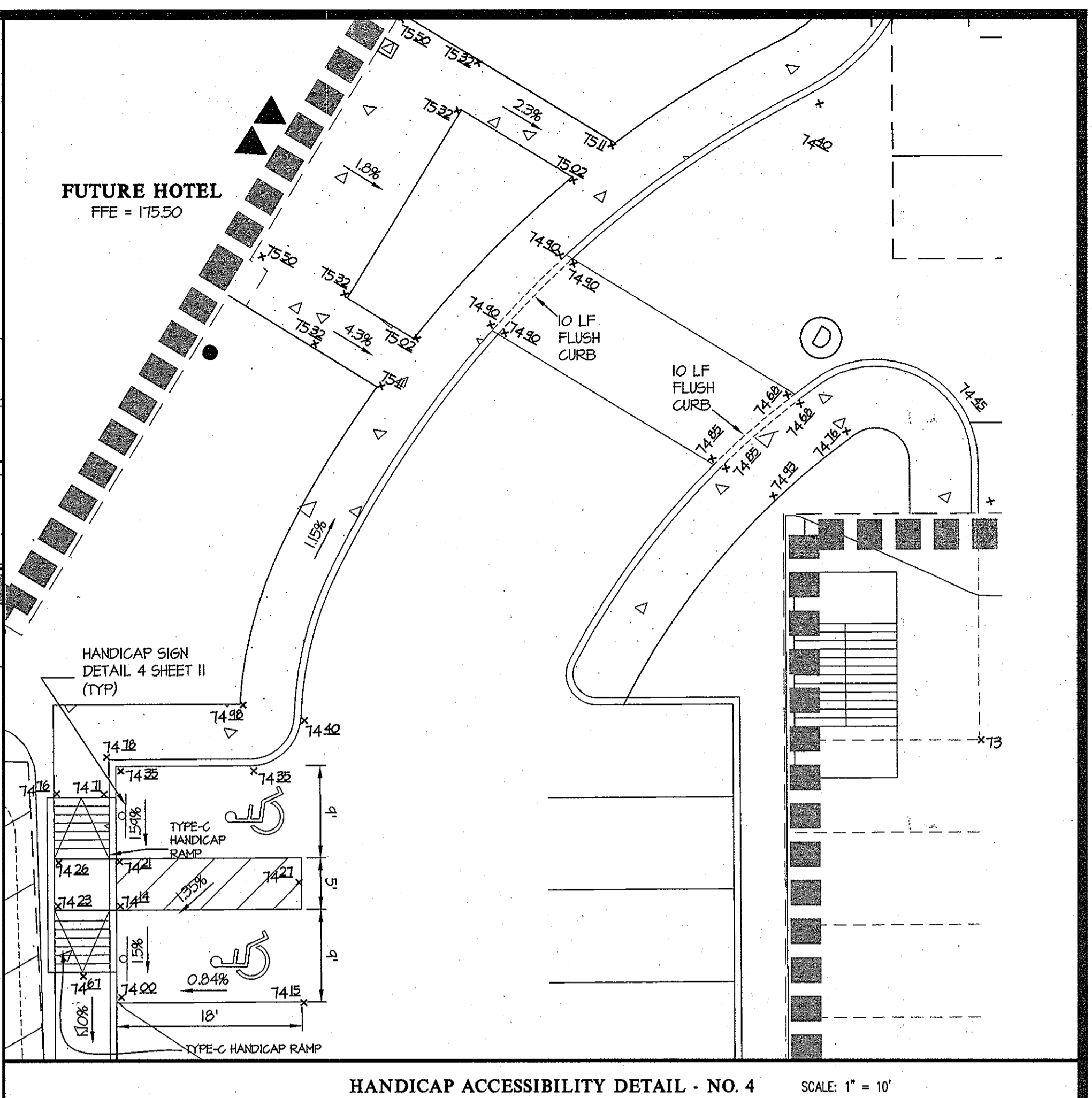
HANDICAP ACCESSIBILITY DETAIL - NO. 1 SCALE: 1" = 10'



HANDICAP ACCESSIBILITY DETAIL - NO. 3 SCALE: 1" = 10'



HANDICAP ACCESSIBILITY DETAIL - NO. 2 SCALE: 1" = 10'



HANDICAP ACCESSIBILITY DETAIL - NO. 4 SCALE: 1" = 10'

- LEGEND**
- EX. CURB & GUTTER
  - PROPOSED CURB & GUTTER
  - PROPOSED REVERSE CURB & GUTTER
  - CONCRETE SIDEWALK, DUMPSTER PAD
  - HANDICAPPED PARKING
  - HANDICAP RAMP
  - HANDICAP SIGN
  - SPOT ELEVATION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Joseph A. Long* 3/3/14  
Director Date

*Kate Schuman* 3/3/14  
Chief, Division of Land Development Date

*Chad Edwards* 2.28.14  
Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
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TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. MAJ	DRN. JGJ	CHK. MAJ	DATE	REVISION	BY	APPR.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLO  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE  
PLANS WERE PREPARED OR  
APPROVED BY ME, AND THAT I AM A  
DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE  
STATE OF MARYLAND,  
LICENSE NO. 16216  
EXPIRATION DATE: MAY 28, 2014

*Peter Zadoretzky*  
2-10-14



**HANDICAP ACCESSIBILITY DETAILS**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
PLAT No. 22077-22721  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	10 OF 64



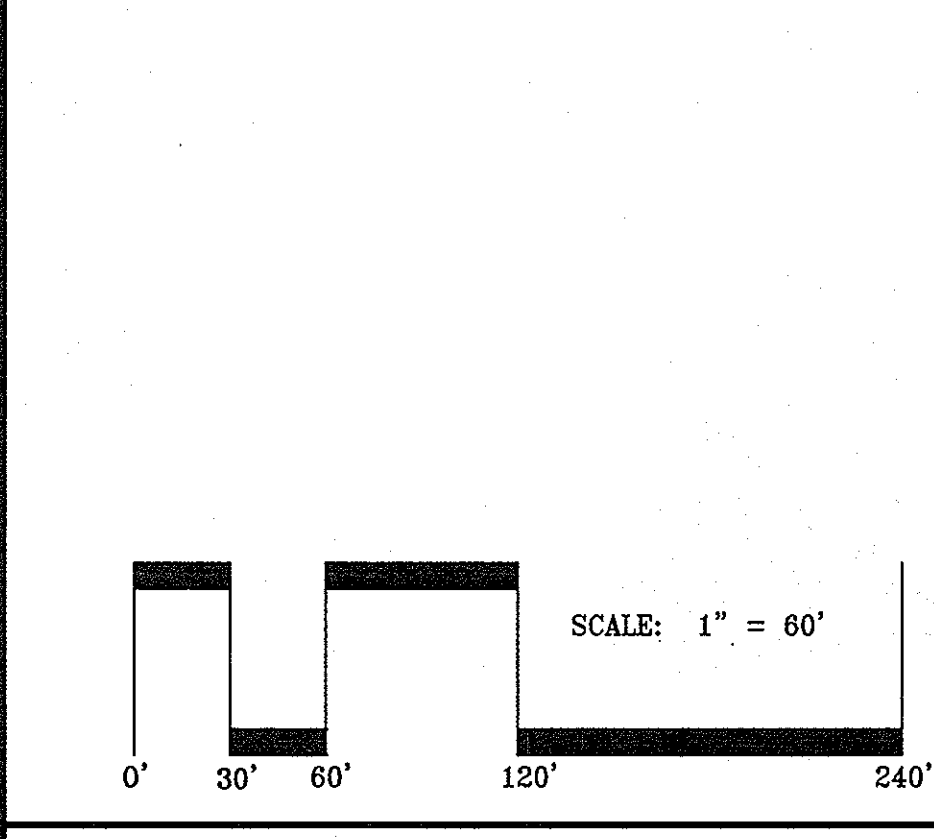
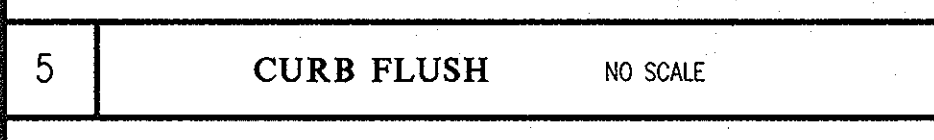
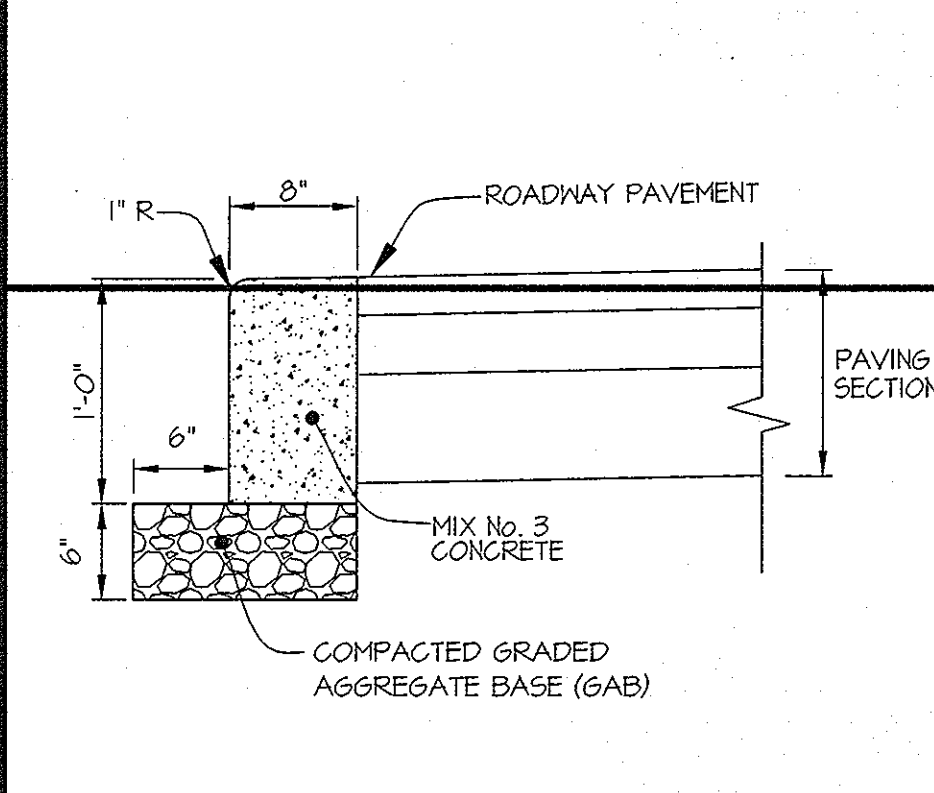
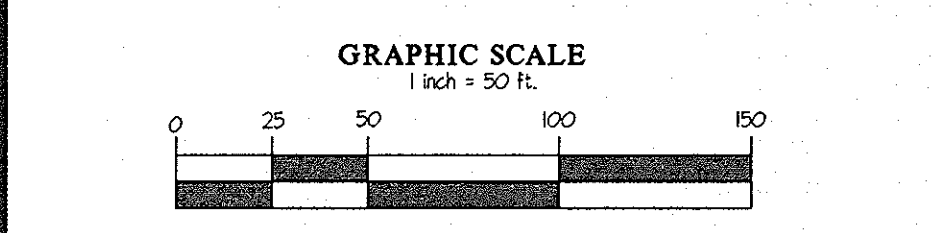




**LEGEND**

	P-3 PAVING (PER HO. CO. DETAIL - R-2(0) (51604 SF)
	P-5 PAVING (PER HO. CO. DETAIL - R-2(2) (25370 SF)
	LOADING DOCK AREA (PER HO. CO. DETAIL - R-6(3) (64,747 SF)
	CONCRETE SIDEWALK (PER HO. CO. DETAIL - R-3(5) (6,078 SF)
	DECORATIVE STAMPED CONCRETE (SEE SHEETS 40 & 52)
	RED PAINTED CURB, NO PARKING (FIRE LANE)
	TYPE "B" HANDICAP RAMP - (PER HO. CO. DETAIL - R-4(2))
	TYPE "C" HANDICAP RAMP - (PER HO. CO. DETAIL - R-4(4))
	3' CURB CUT
	FLUSH CURB (R-3(1)) TO SEPARATE ASPHALT PAVEMENT FROM POROUS CONCRETE
	DECORATIVE CROSS-WALK

- NOTES:**
- ALL CURB AND GUTTER ARE TYPE-A (PER HO. CO. DETAIL - R-4(0)) UNLESS NOTED OTHERWISE ON THIS PLAN.
  - ALL CURB RADI ARE 5' (FACE OF CURB @ FLOK LINE) UNLESS NOTED OTHERWISE.
  - ALL SIDEWALKS ARE 5' WIDE (FROM BACK OF CURB) UNLESS NOTED OTHERWISE.
  - ALL PAVEMENT MARKINGS TO BE APPLIED USING "SETFAST PREMIUM ALKYL D TRAFFIC PAINT" BY SHERWIN WILLIAMS OR APPROVED EQUAL. ALL PAVEMENT ARROWS, "ONLY" MARKINGS, STOP BARS, STOP BAR MARKINGS AND CROSSWALK MARKINGS MUST BE INSTALLED IN THERMOPLASTIC.
  - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT AND PUTTING THE ROADWAY INTO SERVICE.

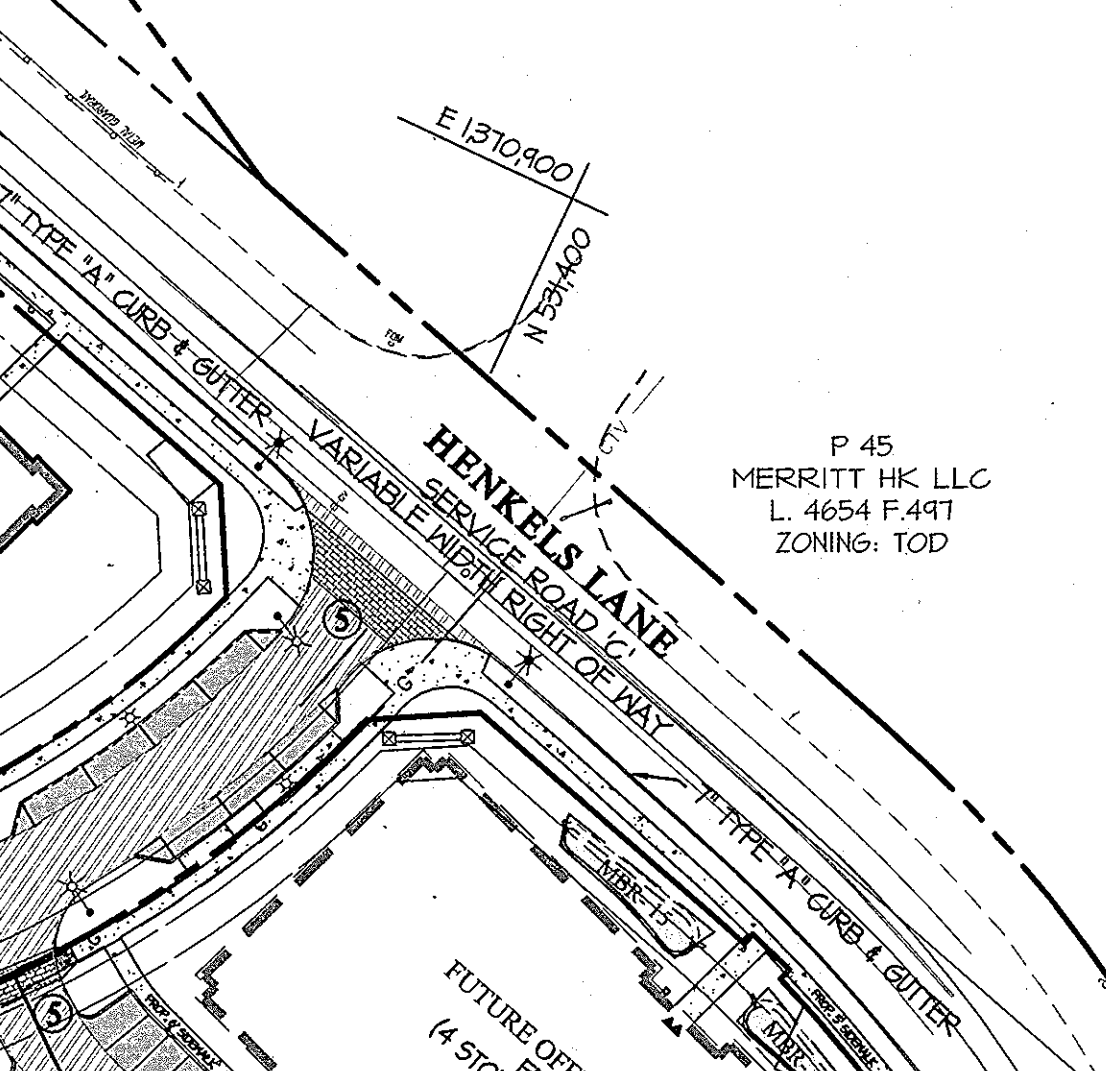
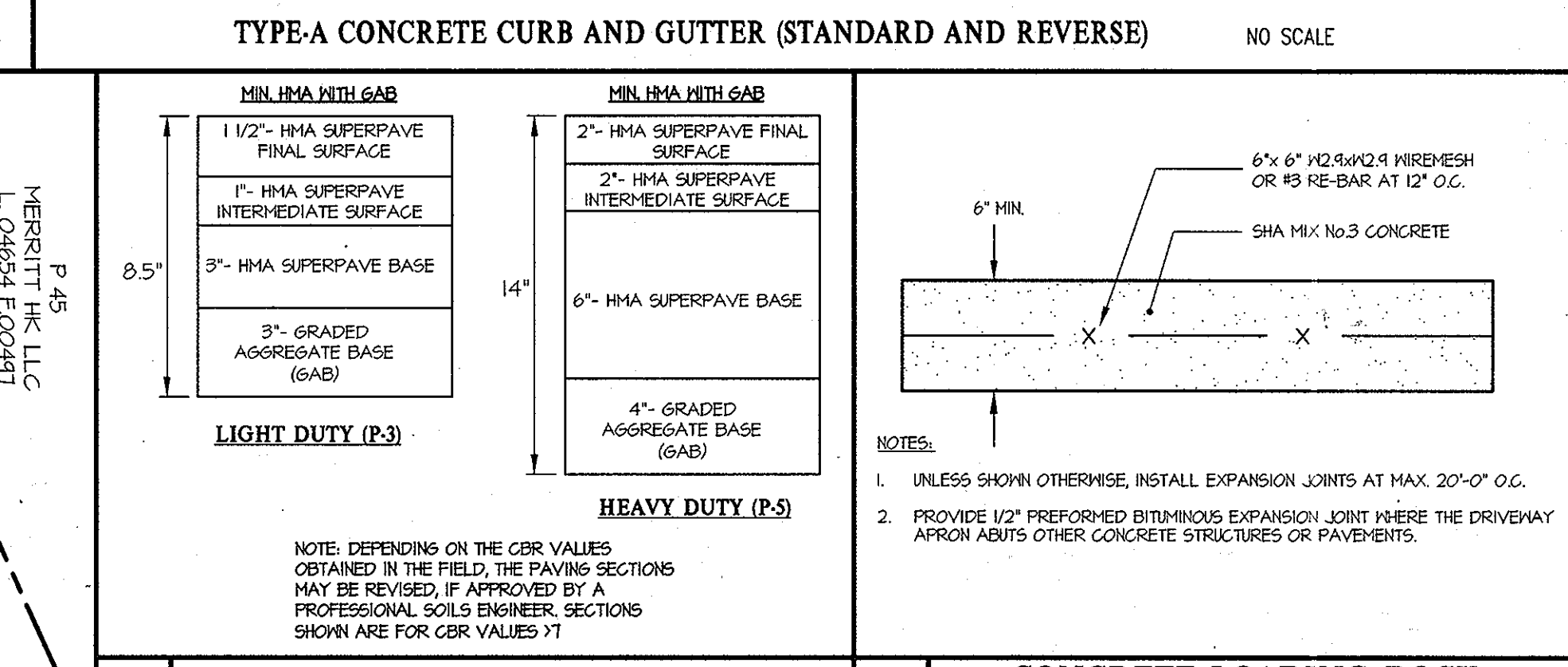
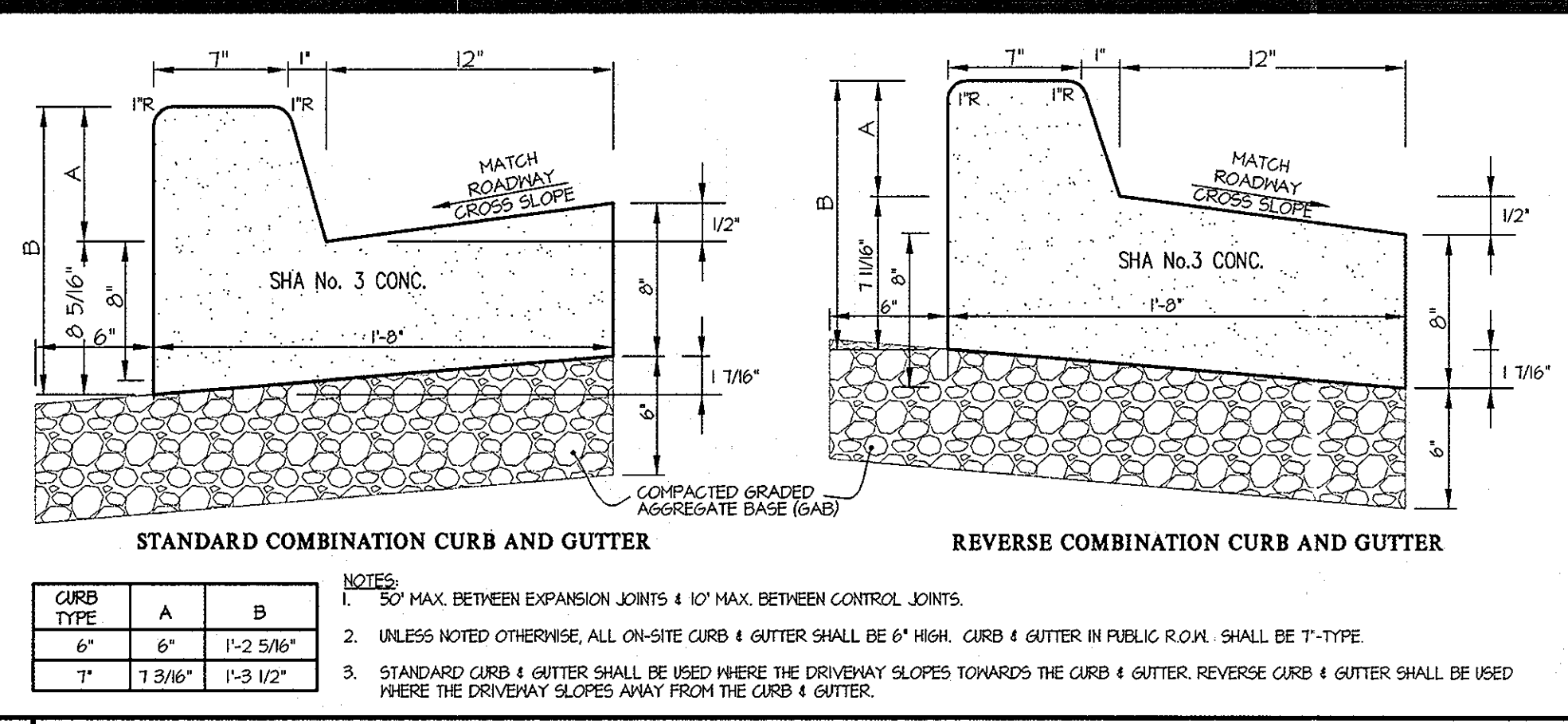
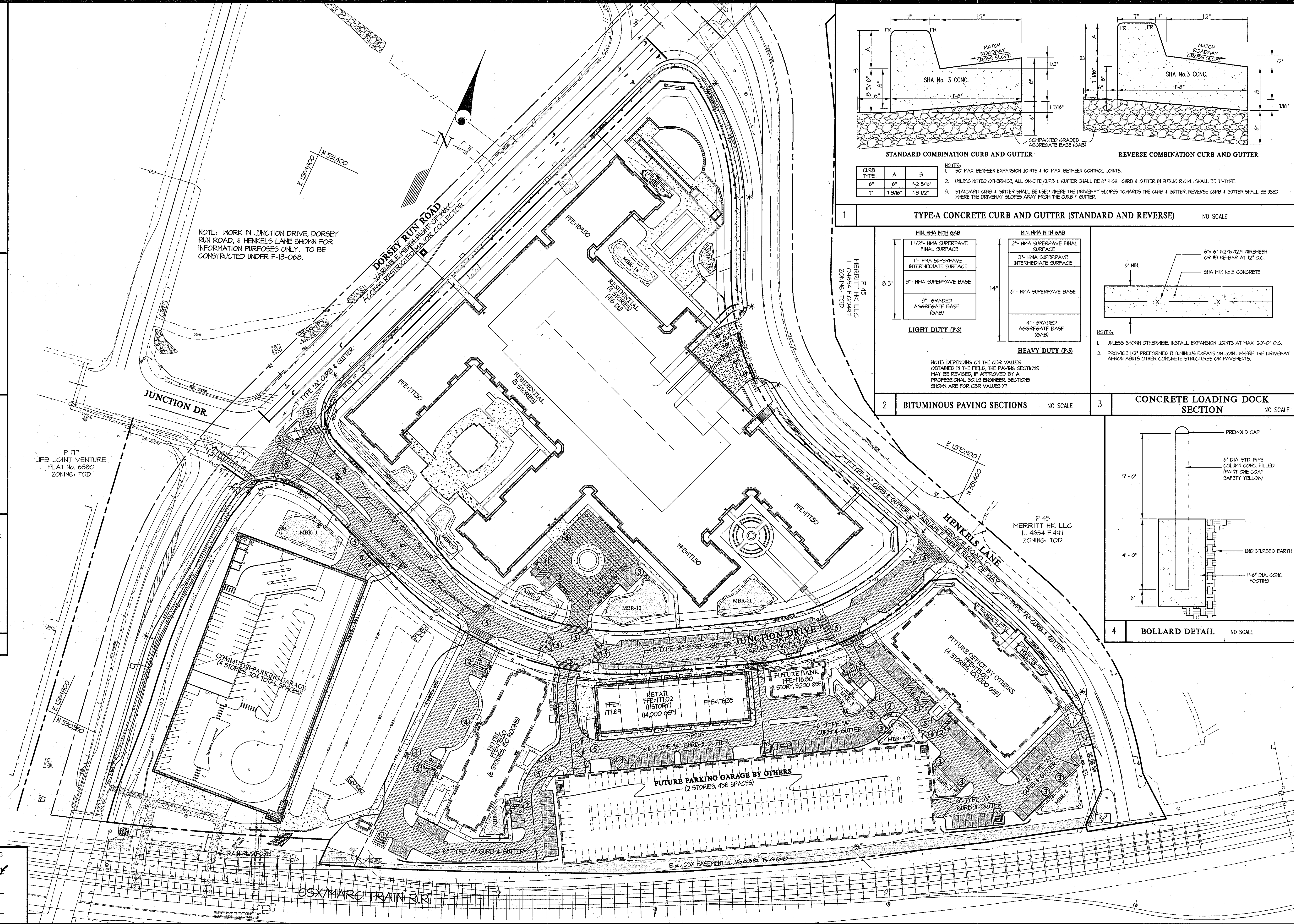


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark M. Langley* Date: 2/9/14

Chief, Division of Land Development: *Kate Schuler* Date: 2/10/14

Chief, Development Engineering Division: *Chad Edwards* Date: 2-28-14



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK  
BURTENVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL. RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

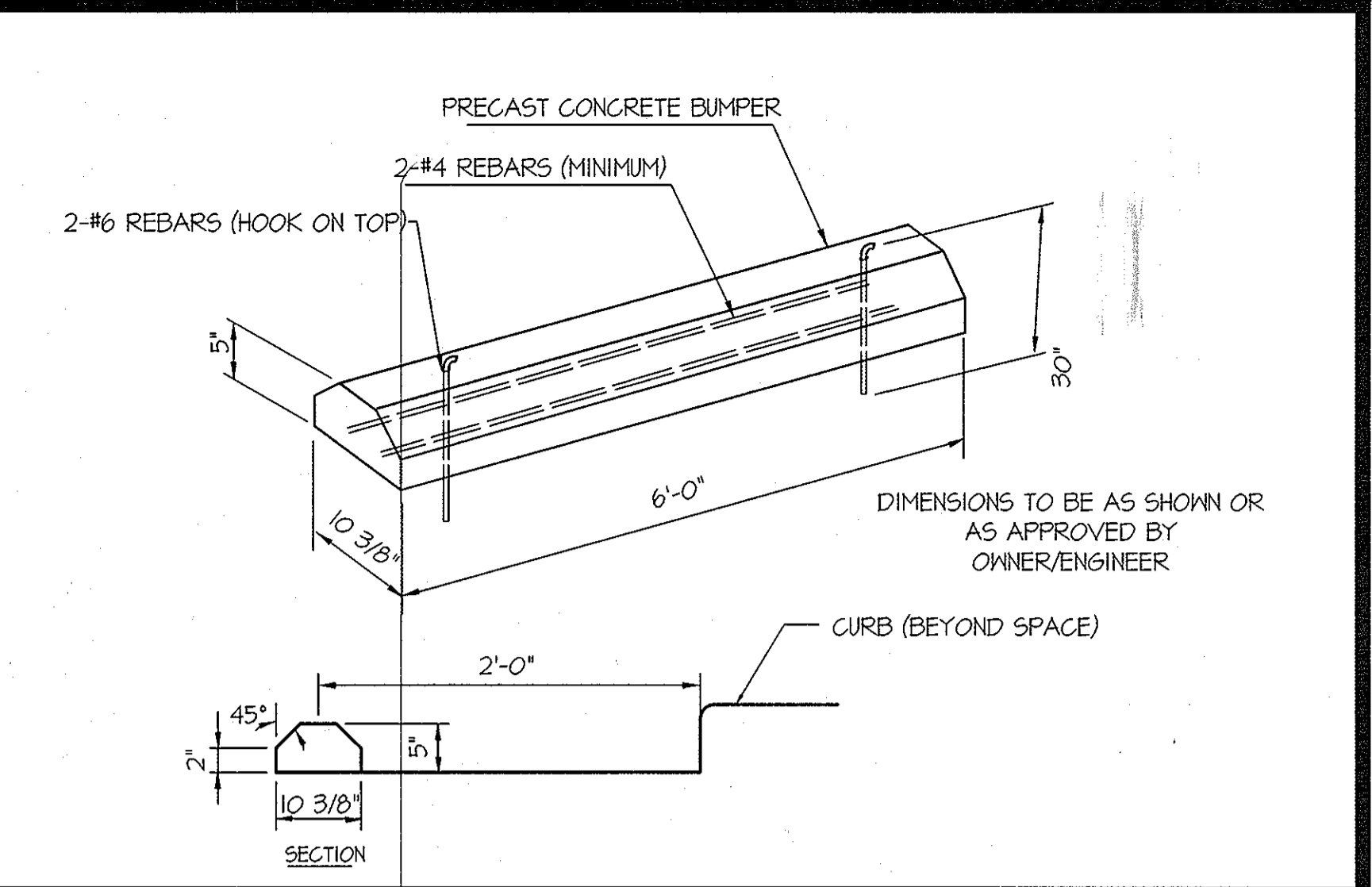
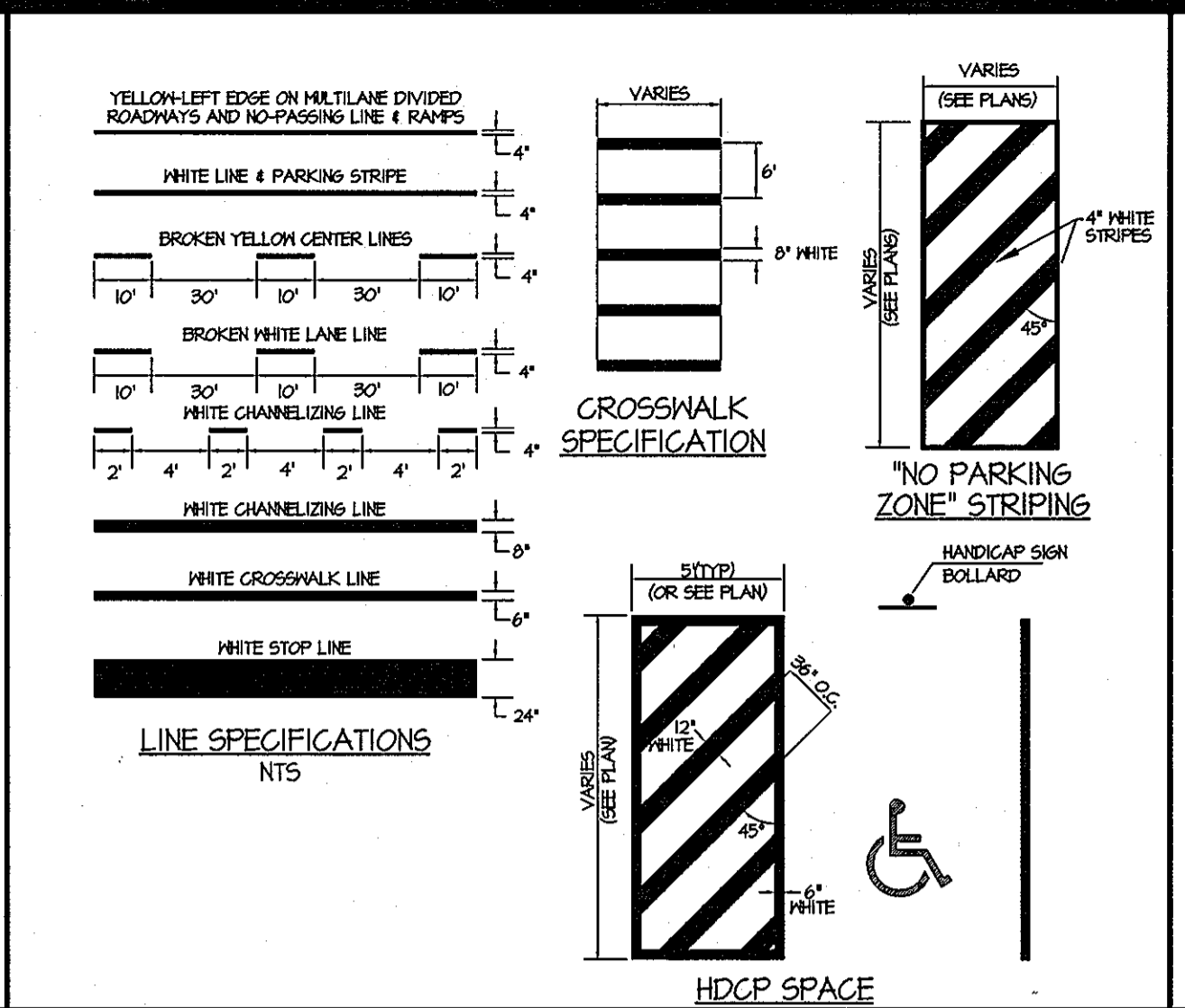
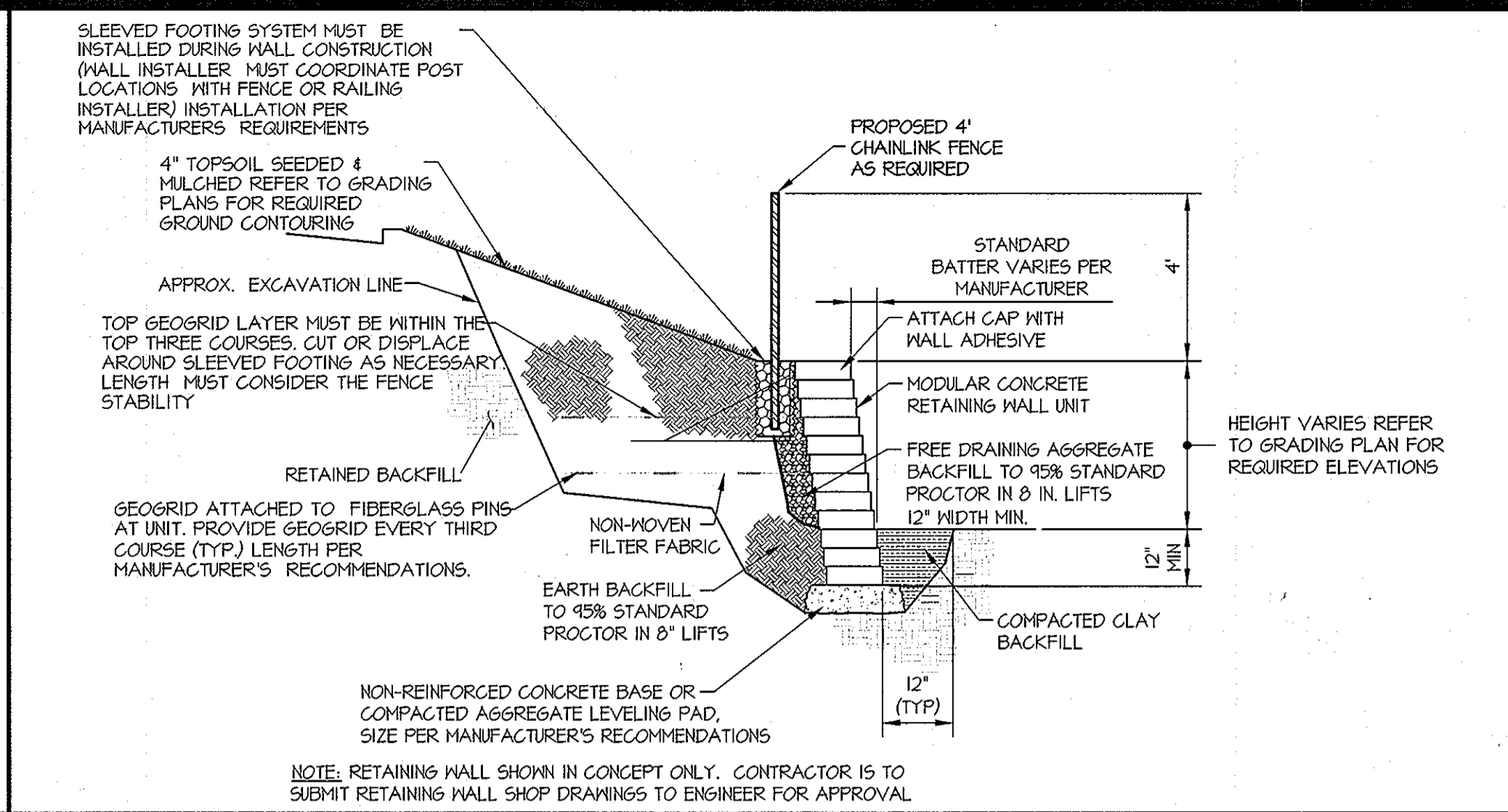
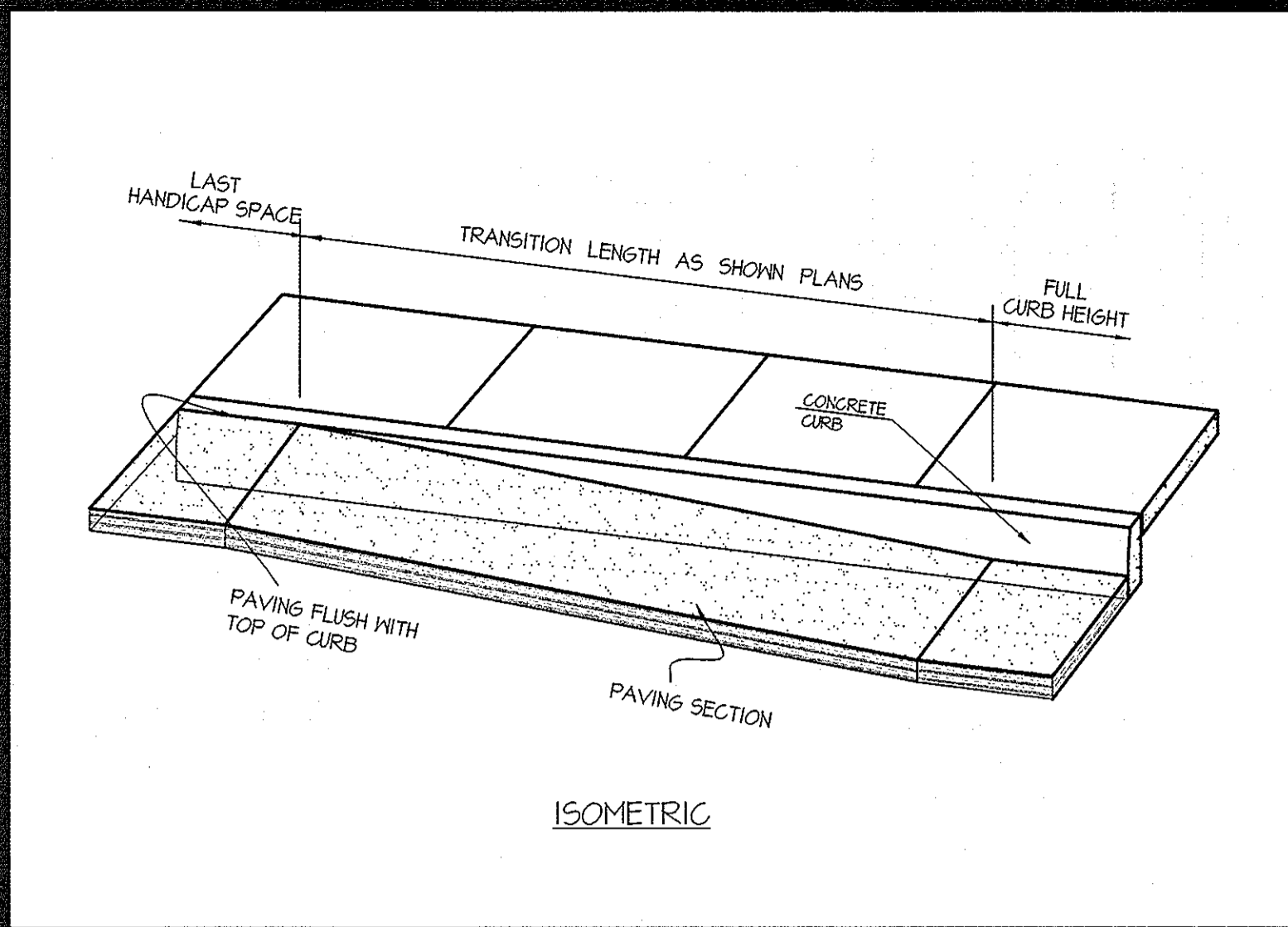
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1275  
EXPIRATION DATE: MAY 26, 2014  
2-10-14



**PAVING DELINEATION PLAN**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
PLAT No. 21077-22701  
ELECTION DISTRICT No. 6 GULFORD  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=60'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	12 OF 64



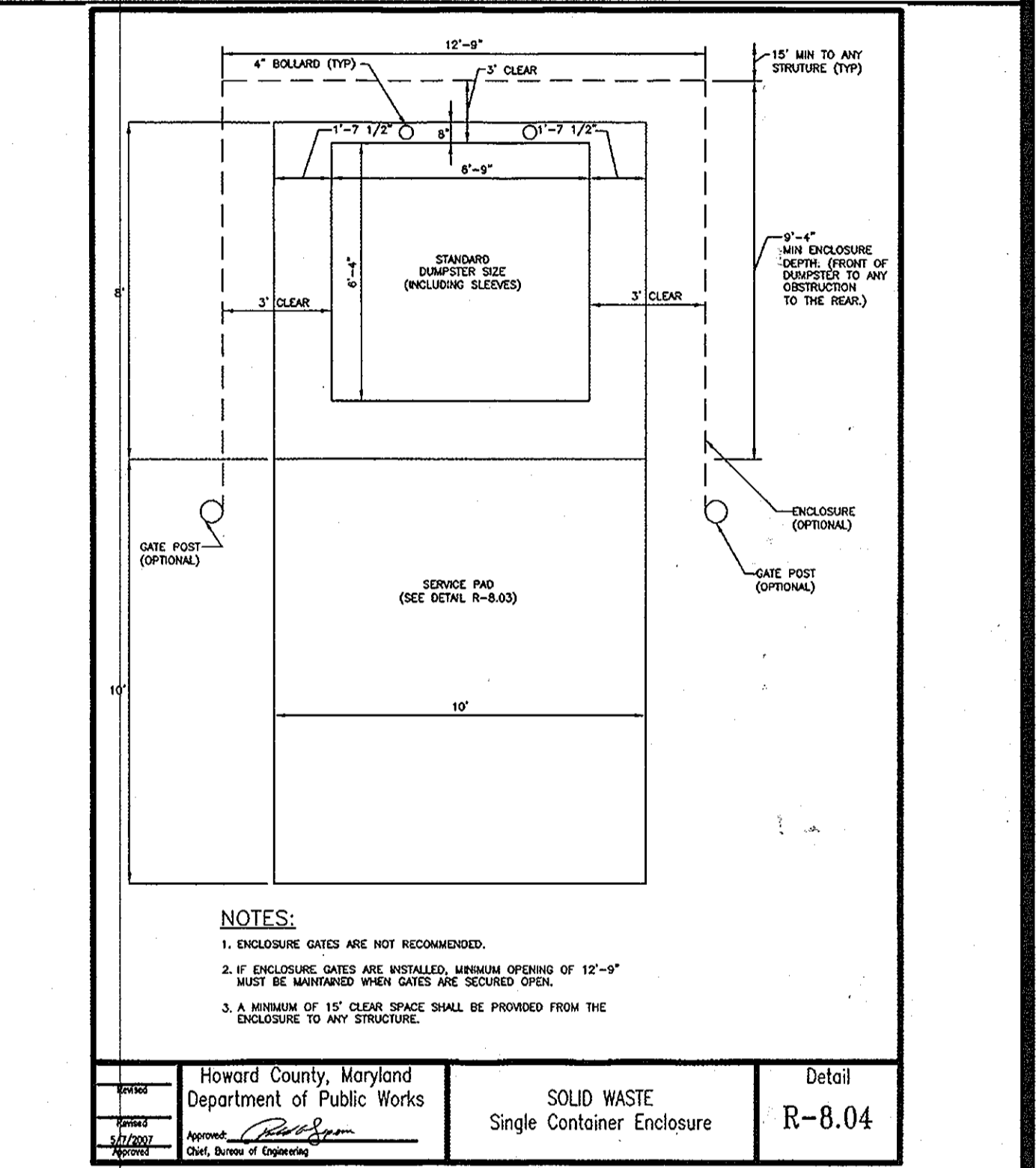
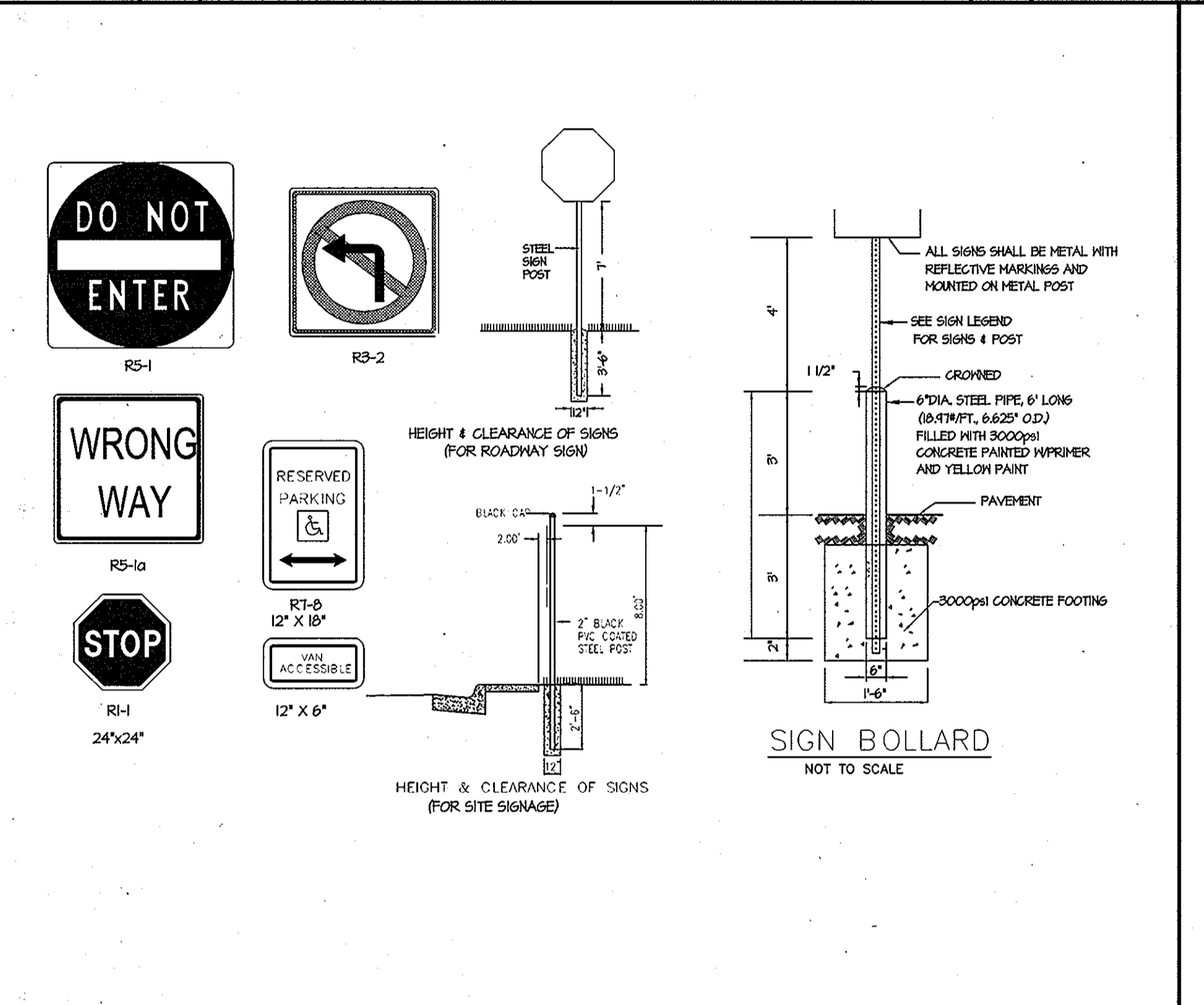
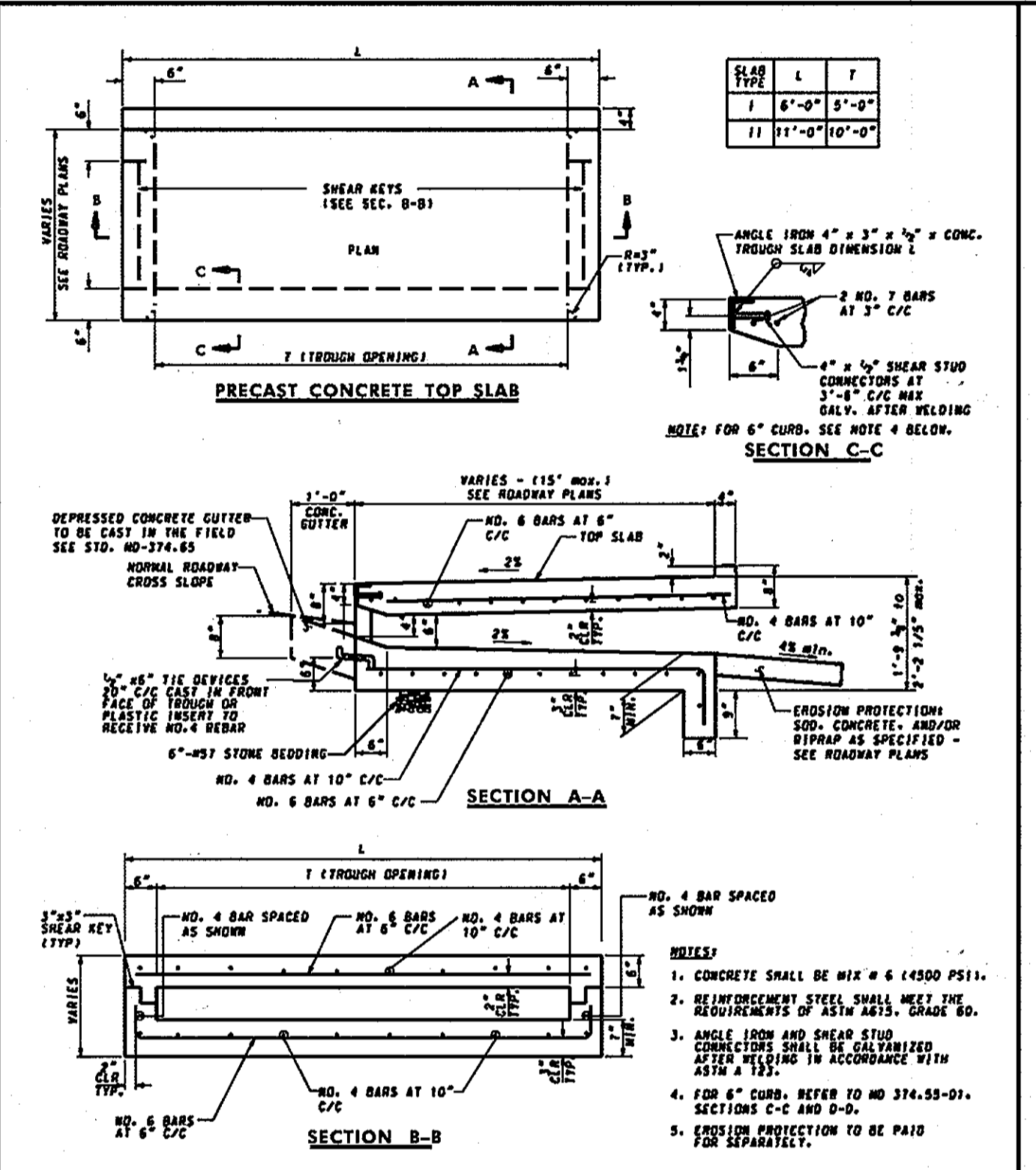
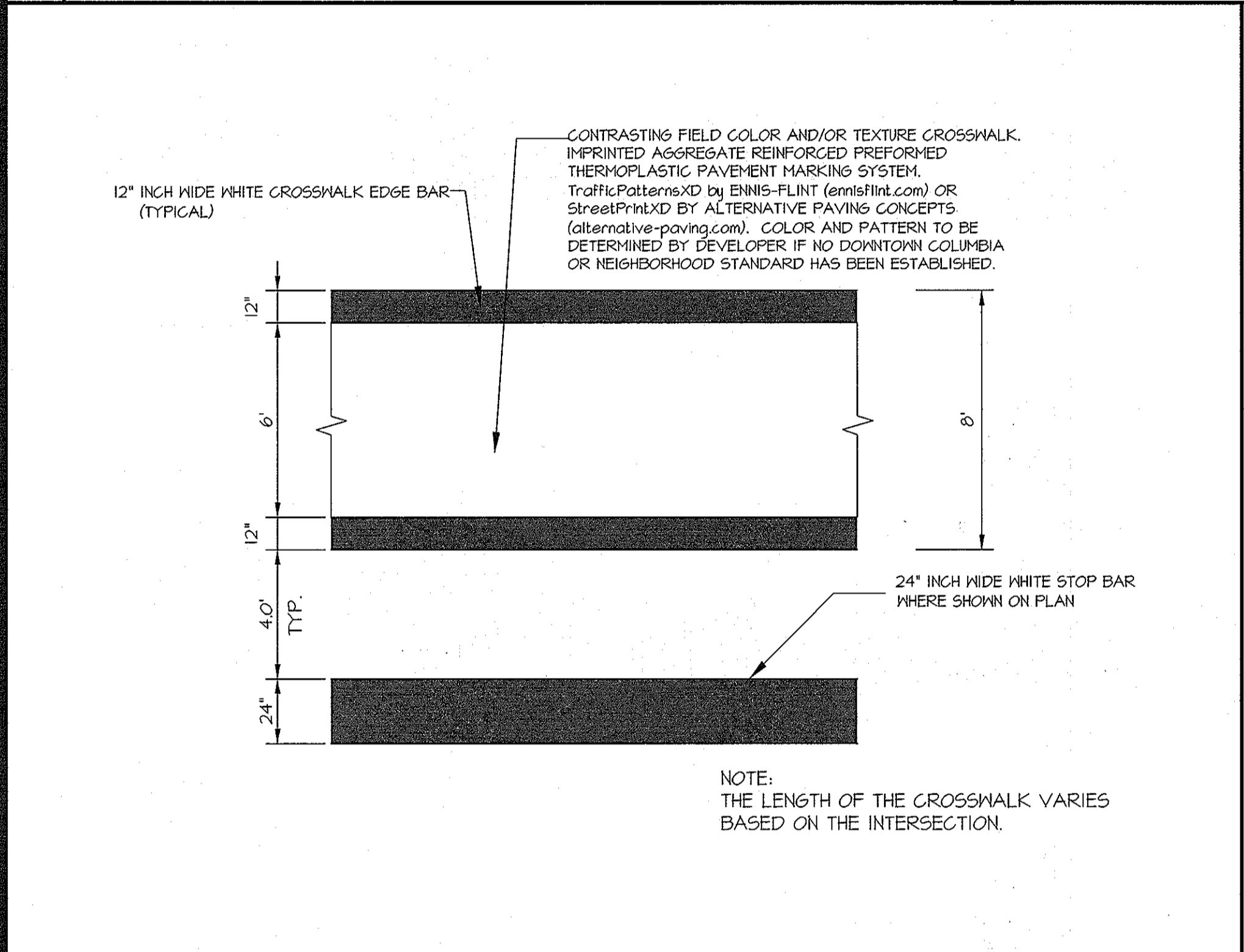


1 FLOW TRANSITION SCALE: N.T.S.

2 MODULAR BLOCK RETAINING WALL SCALE: N.T.S.

3 STRIPING SCALE: N.T.S.

4 WHEEL STOP SCALE: N.T.S.

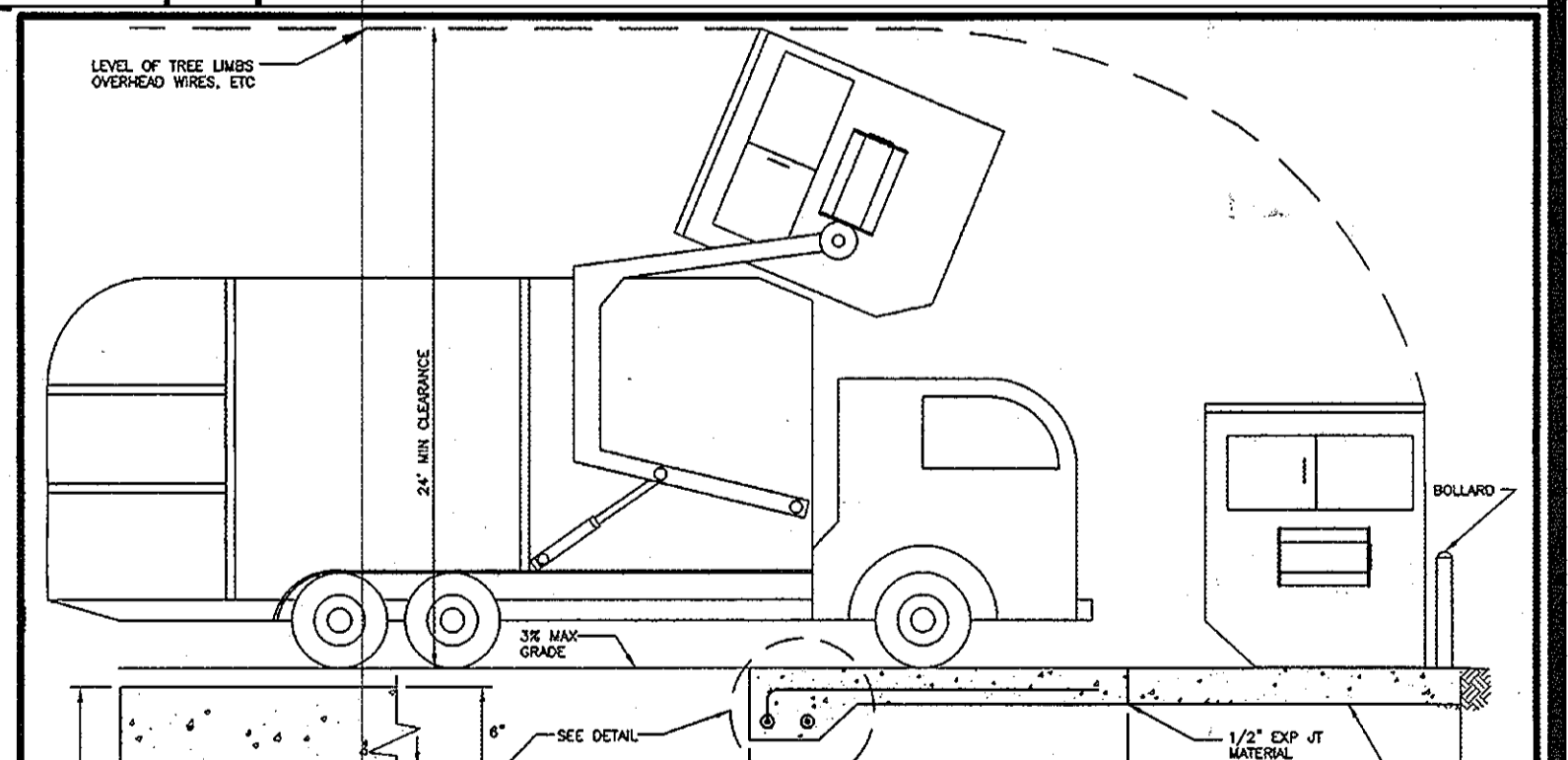
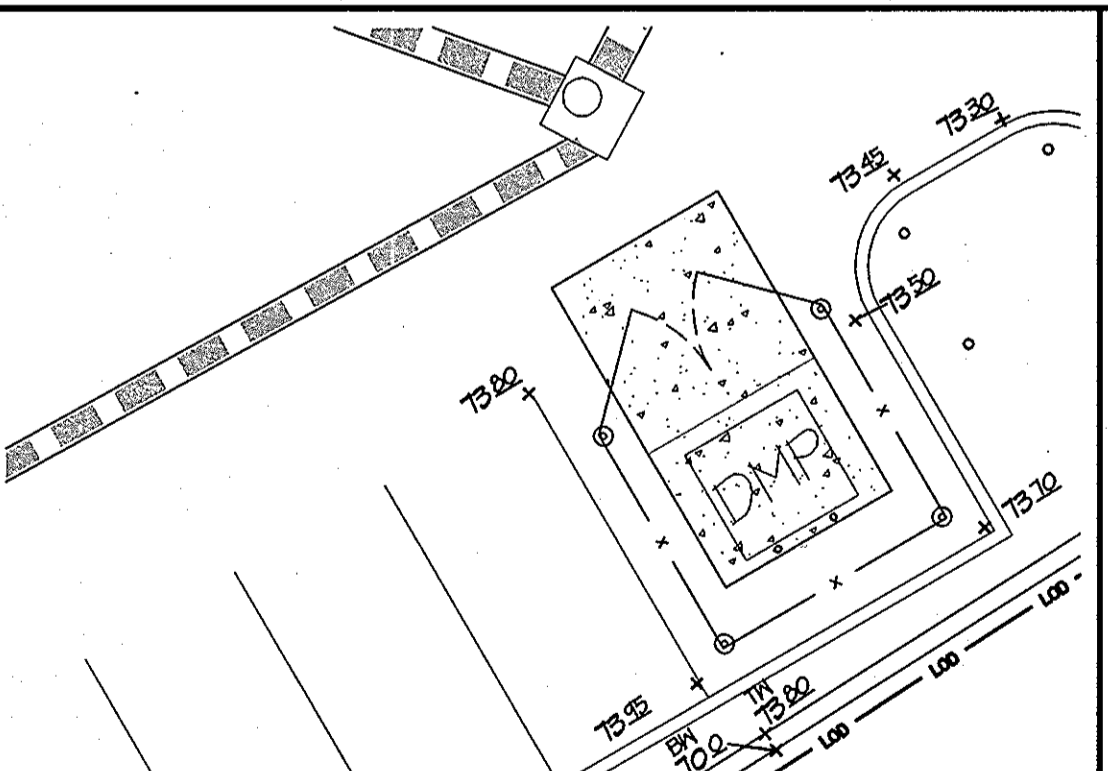
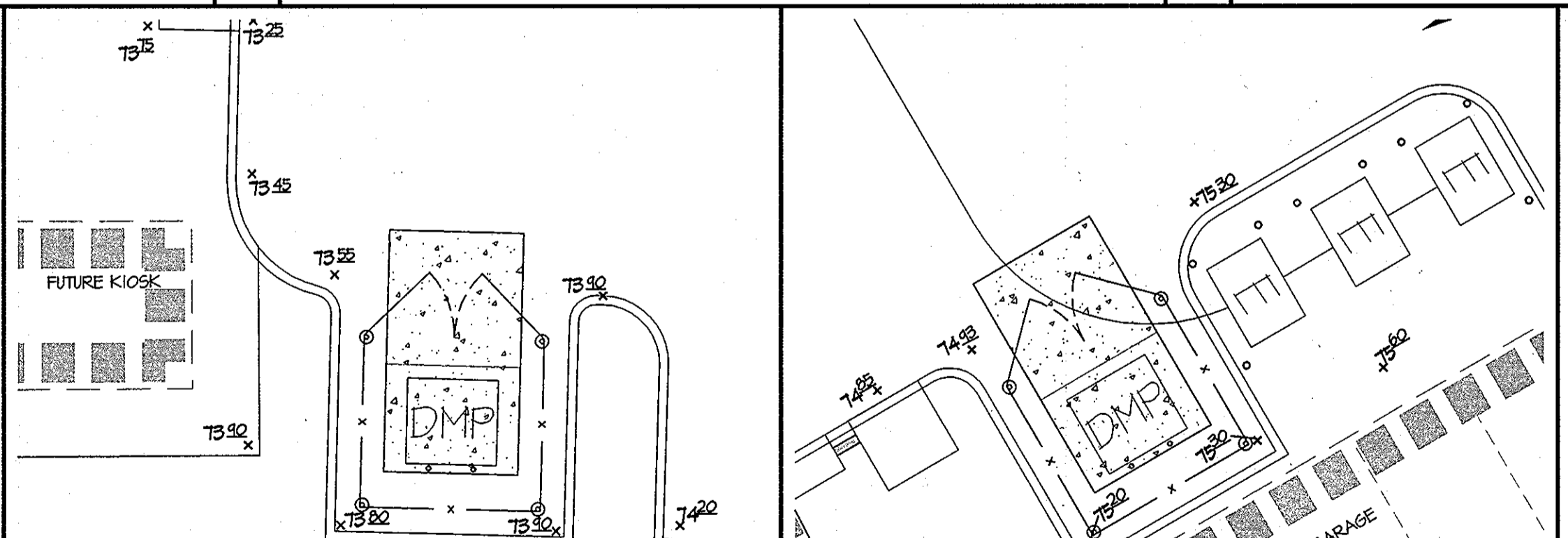
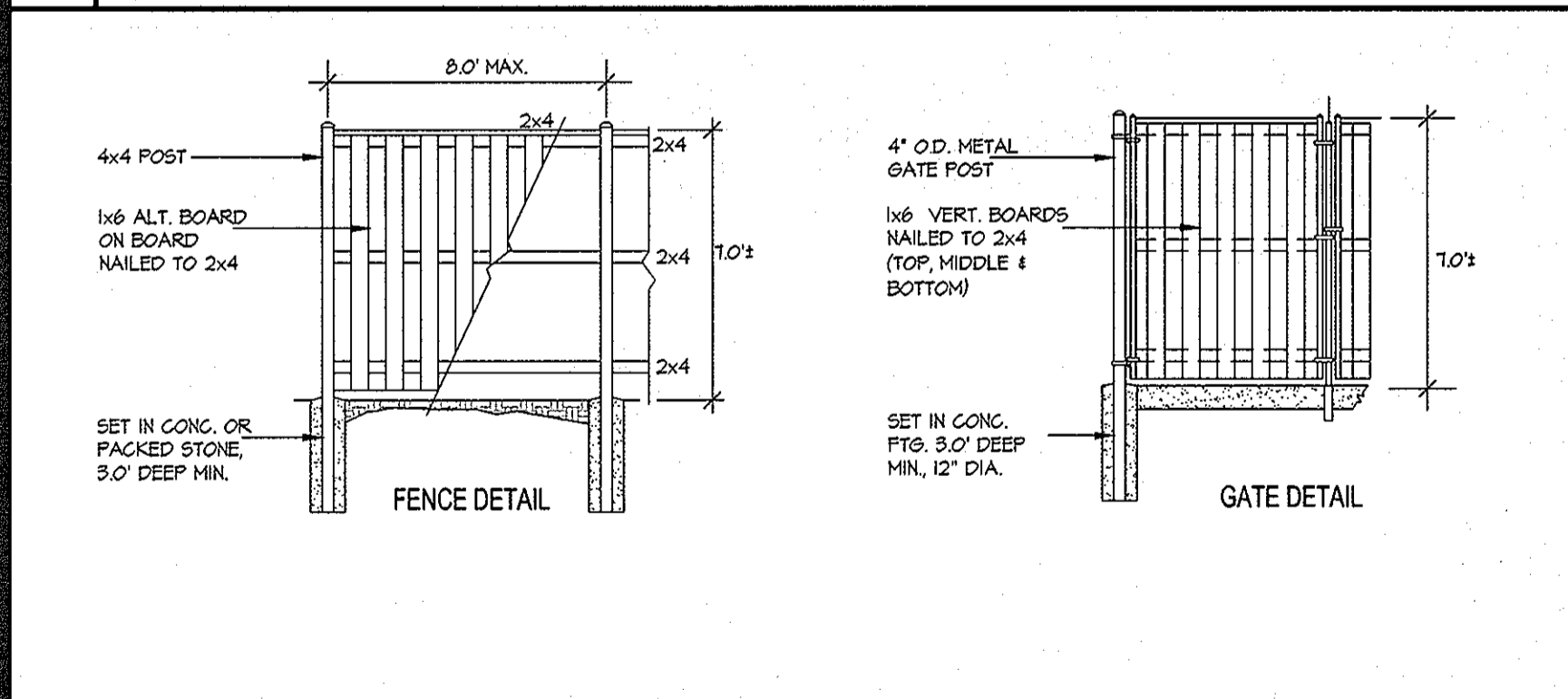


5 CROSSWALK DETAIL SCALE: N.T.S.

6 FLOW THROUGH CURB INLET SCALE: NONE

7 SIGNAGE DETAILS SCALE: N.T.S.

8 SINGLE CONTAINER ENCLOSURE DETAIL SCALE: NONE



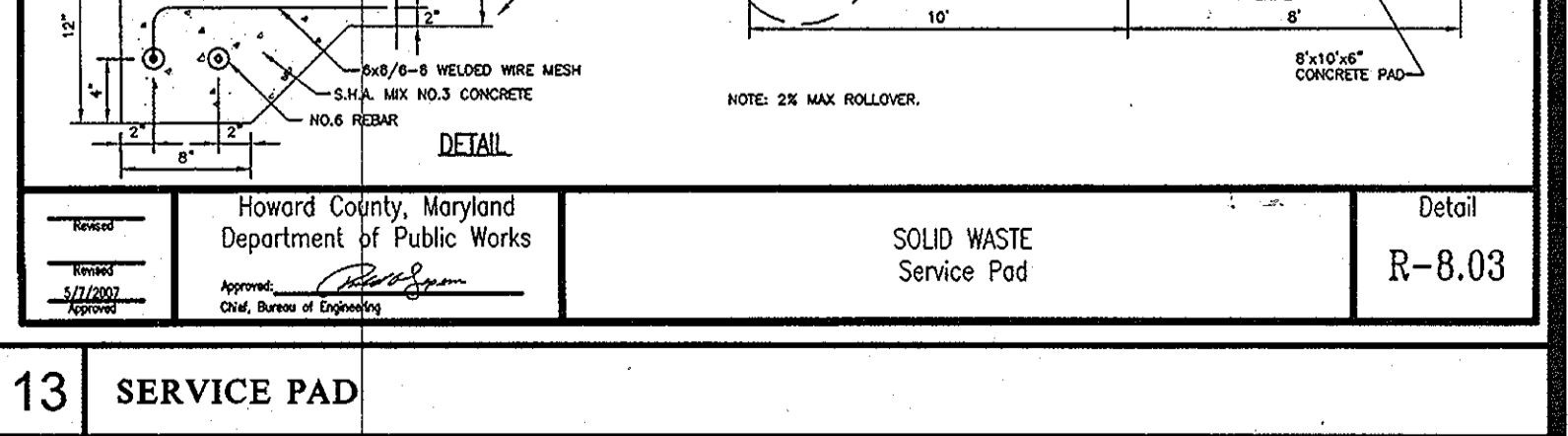
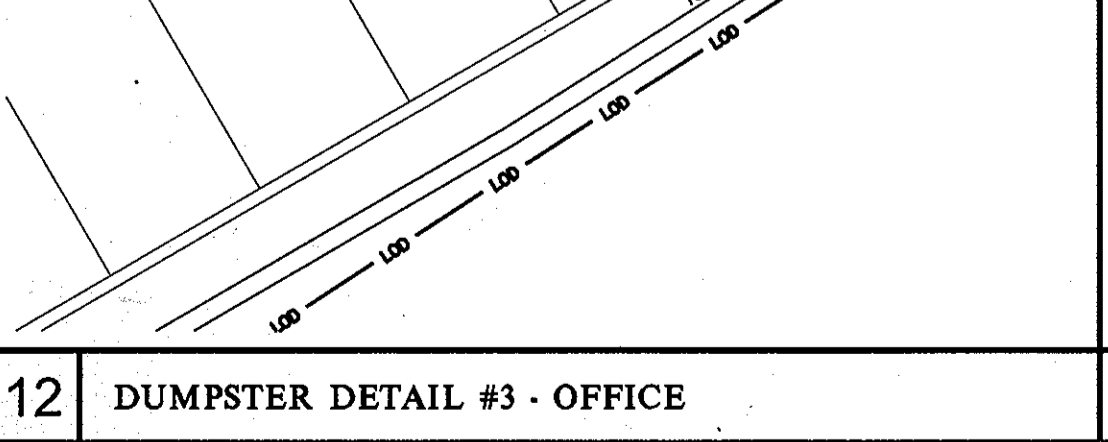
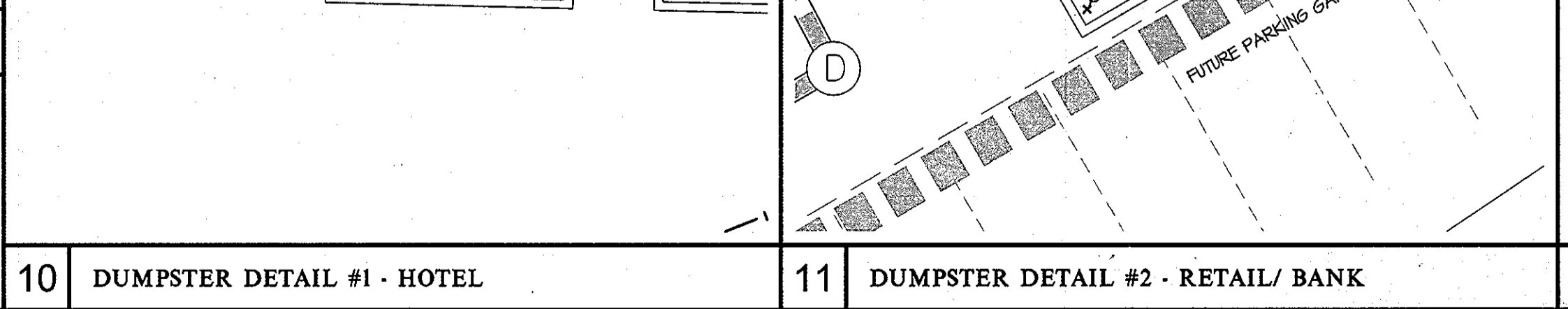
9 DUMPSTER ENCLOSURE DETAILS SCALE: N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 3/7/14

Chief, Division of Land Development: *[Signature]* Date: 3/10/14

Chief, Development Engineering Division: *[Signature]* Date: 2-28-14



10 DUMPSTER DETAIL #1 - HOTEL

11 DUMPSTER DETAIL #2 - RETAIL/ BANK

12 DUMPSTER DETAIL #3 - OFFICE

13 SERVICE PAD

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

PREPARED FOR: ANNAPOLIS JUNCTION TOWN CENTER, LLC

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SITE DETAILS: ANNAPOLIS JUNCTION TOWN CENTER HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING) RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE PARCELS A - G PLAT No. 22077-2270!



Attendance

Panel Members: Phyllis Cook, Chair  
Mohammad Saleem, Vice Chair  
Hank Alinger  
Rob Hollis  
Don Taylor  
Peggy White

DPZ Staff: Bill Mackey, Dace Blaumanis, Kate Bolinger, Mary Smith

Annapolis Junction Town Center - (13-05)

Owner: Peter Zadoretzky - Annapolis Junction Town Center, L.L.C.  
Architect: Scott Gecki - Hord Coplan Macht, Inc.  
Developer: Neil Greenberg - Somerset Construction Co.  
Engineer: Carl Gutschick - Gutschick, Little & Weber, P.A.

1. Call to Order - DAP Chair Phyllis Cook opened the meeting at 7:30 PM, asking for introductions of panel members, staff, and applicants.

2. Review of Plans #13-05, Annapolis Junction Town Center -

Neil Greenberg of Somerset Construction described Annapolis Junction Town Center as a proposed mixed use transit oriented development located in Annapolis Junction, Maryland. Specifically, the project is located in the southeast quadrant of the intersection of Route 32 and Dorsey Run Road, at the Howard and Anne Arundel County boundary line. The project is adjacent to the Savage MARC commuter rail station. The proposed mix of uses includes residential, office, retail and hotel.

Proposed buildings include a 416 unit multifamily building with an integrated 624 space parking garage. The multifamily building will be four to five stories in height due to a grade change, while the integrated parking garage will be four levels. A 100,000 square foot, four story office building is also proposed. Mr. Greenberg noted that the multifamily and office buildings will strive for LEED Silver certification.

The project also includes: a 14,000 square foot, single story retail building; a 3,200 square foot bank with drive through; a 250 square foot coffee and snack kiosk; a hotel building; and a 400 space private, two story parking garage. The private garage will service the bank, office, retail and hotel buildings. An approximately 700 space parking garage for MARC commuters is also part of the project and will be built to be expandable up to 1,000 spaces.

Ms. Pat Faux of The Faux Group pointed out that the site is partially bound by raised roadways, so that the buildings fit within a saddle-like site. This characteristic of the site dictates many of the design treatments.

In terms of the landscape, Ms. Faux noted that the site's landscaping must comply with the Route 1 Manual requirements. There is a 10% public activity space requirement. The project proposes 1.96 acres of such activity space in three areas: 1) the Junction Drive streetscape; 2) a forecourt area at the multifamily complex, which has a decorative fountain along with seating and various amenities; and 3) a pedestrian amenity area with an existing ornamental pond/stormwater facility. The pedestrian amenity area with pond is used as an amenity to connect the transit users into the retail and residential areas. There is an eight foot walkway starting from the transit area, proceeding alongside the pond, and connecting to the streetscape area.

Ms. Faux noted that the project will include black streetlights, benches, bike racks and trash receptacles. The street trees selected for Junction Drive and the walkway will be the London Plane species, a Route 1 signature tree, in order to add continuity with the rest of Route 1. There are six to seven ornamental crosswalks to give the streets additional identification.

By unanimous consent pursuant to each motion duly made and seconded, the DAP adopted the following recommendations for the project. These recommendations will be forwarded to the Director of the Department of Planning and Zoning.

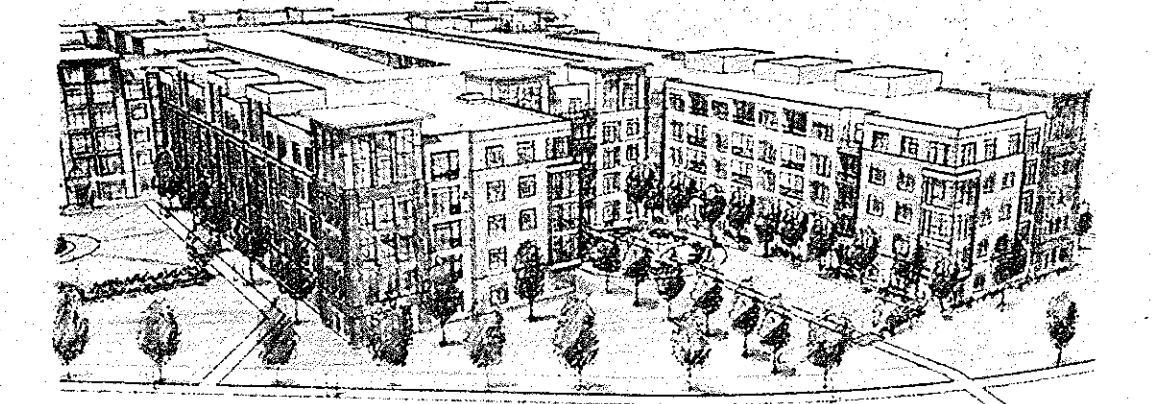
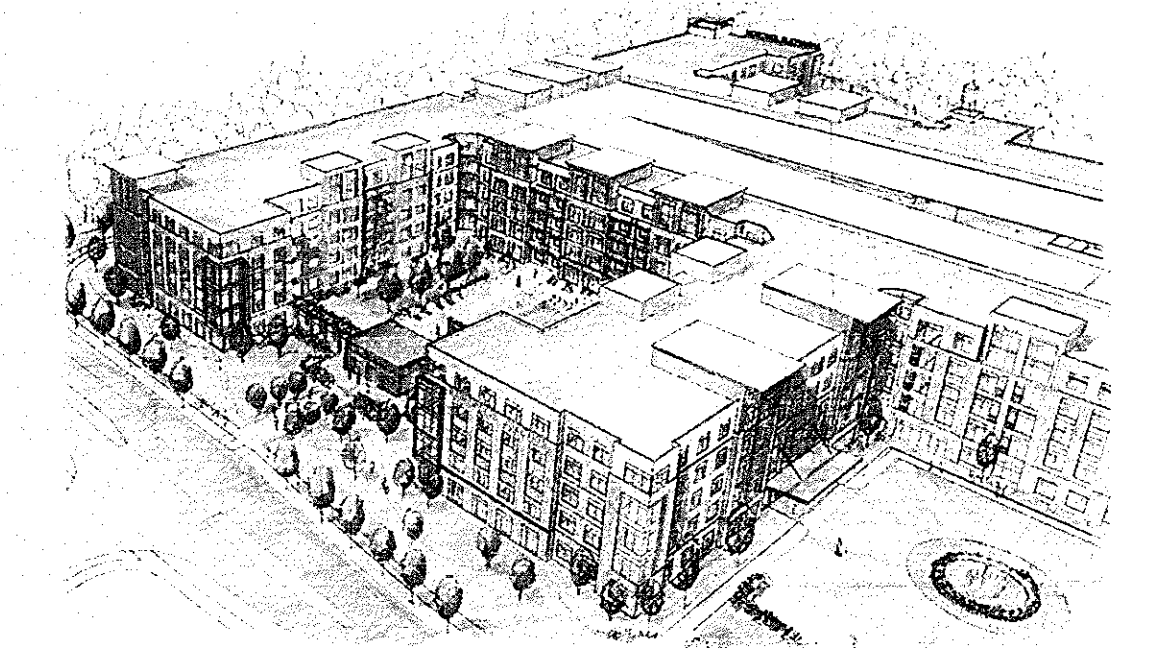
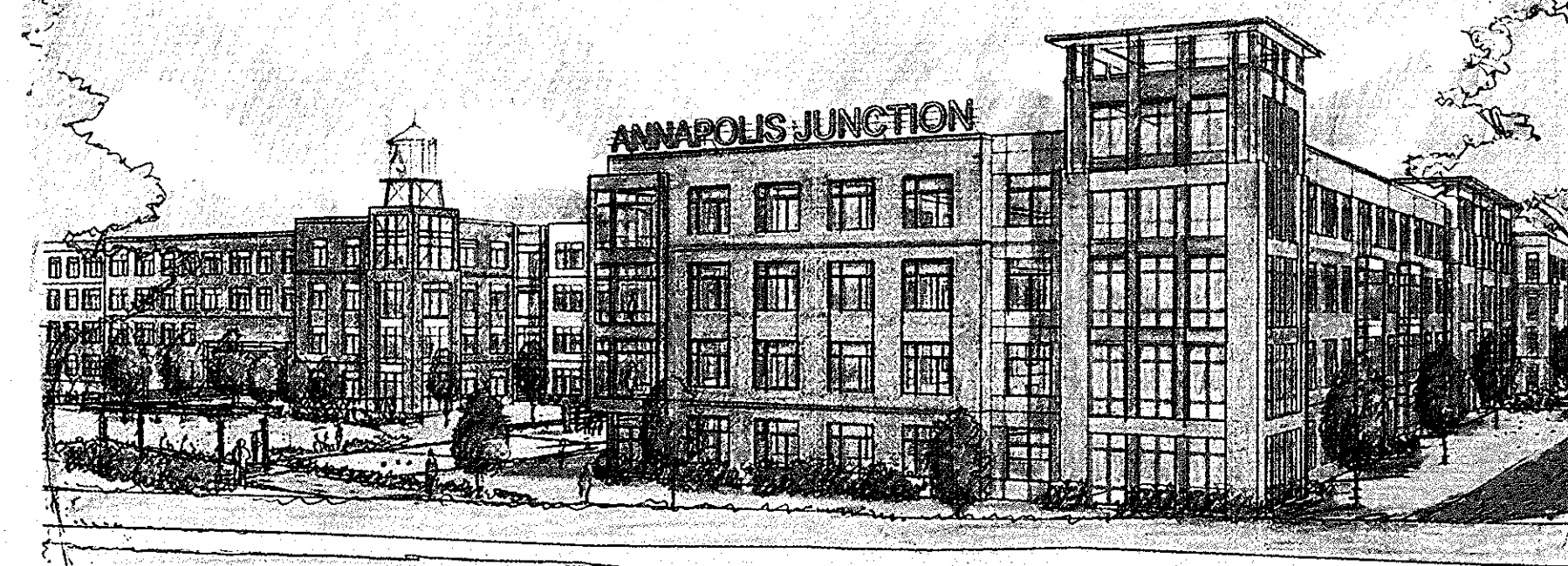
Vice Chair Mohammad Saleem offered the following motions:

- "That landscape should include some [human] scale vegetation along with the trees." Seconded by H. Alinger.
- "That the architecture of the retail relate with the residential apartment building in terms of detail, especially the cornice or any other details that could be brought in." Seconded by R. Hollis.
- "That as you develop the signage, the architecture, the design of that also should be coherent with the rest of the architectural language of the development." Seconded by P. Cook.
- "That more emphasis be given to the historical significance of the relationship to the railroad and site amenities, and that other elements within the site have some relationship to that." Seconded by H. Alinger.

DAP member Donald Taylor offered the following motion:

The Panel adjourned at 8:43 PM.

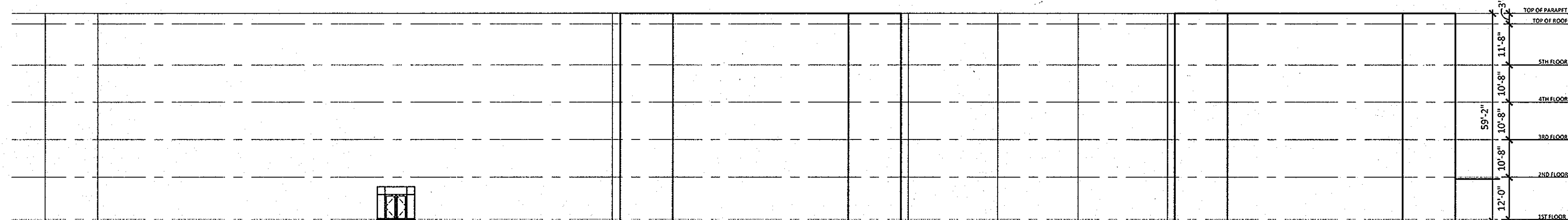
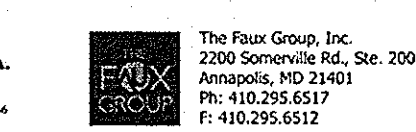
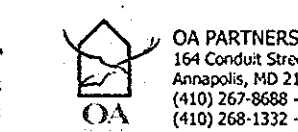
Elevations- Apartment Building



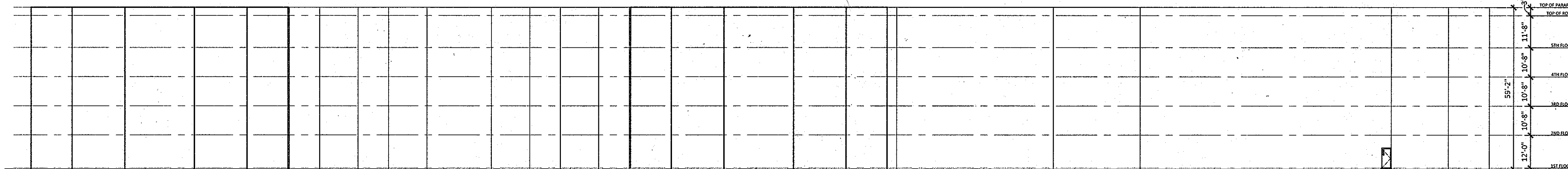
Annapolis Junction Town Center

Howard County, Maryland 20701

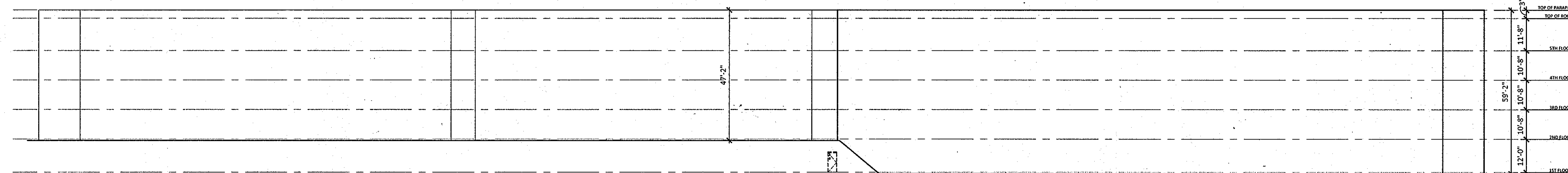
March 20, 2013



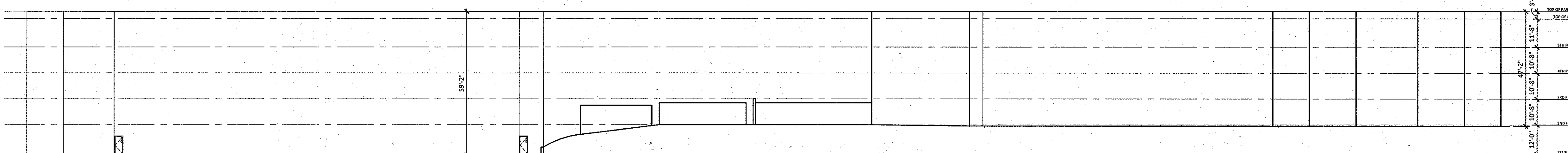
APARTMENTS - EAST ELEVATION



APARTMENTS - SOUTH ELEVATION



APARTMENTS - WEST ELEVATION



APARTMENTS - NORTH ELEVATION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Janice A. Cagle* 5/7/14  
Director Date

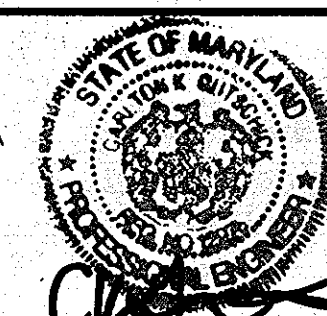
*Kate Schellhorn* 2/07/14  
Chief, Division of Land Development Date

*Chad Edwards* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-580-1820 DC/VA: 301-993-2524 FAX: 301-421-4186

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE  
PLANS WERE PREPARED OR  
APPROVED BY ME, AND THAT I AM A  
DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE  
STATE OF MARYLAND.  
LICENSE NO. 12878  
EXPIRATION DATE: MAY 26, 2014

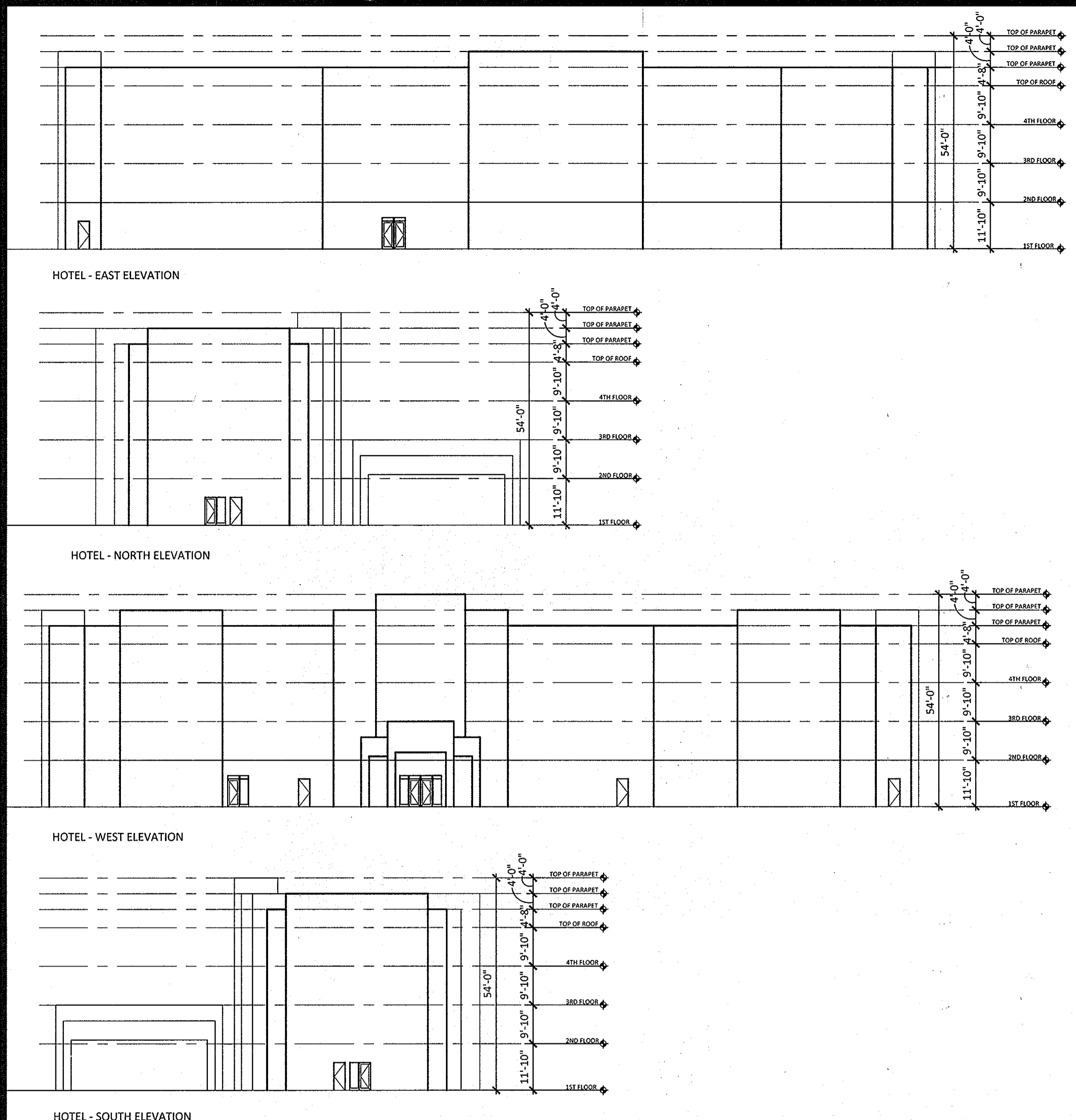


APARTMENT BUILDING ELEVATIONS  
**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 11607-11701  
ELECTION DISTRICT No. 6 GUILFORD  
HOWARD COUNTY, MARYLAND

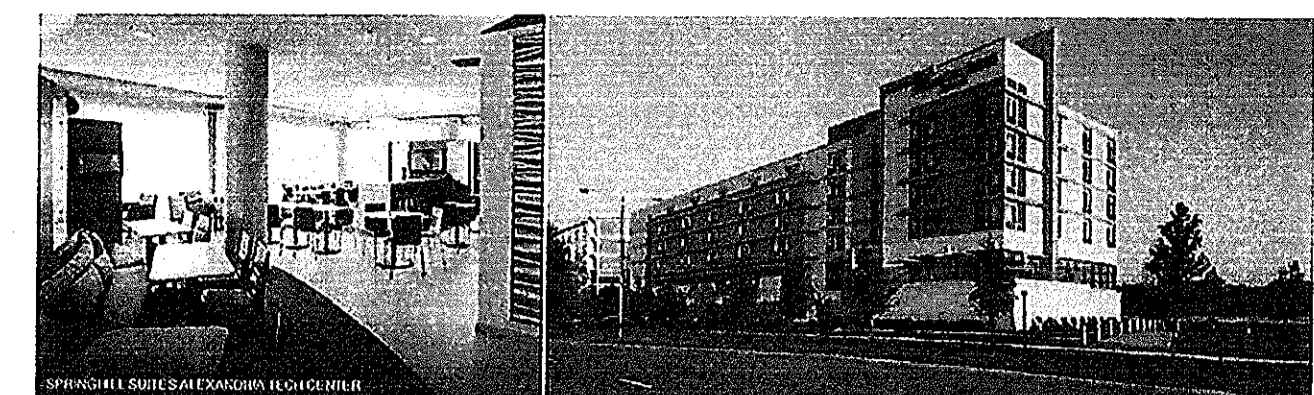
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AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	14 OF 64

I, CAROL BRANNAN, 11077 PLANS BY G.L.W./SFP/1107-14-15 SP-010-ELEVATIONS.dwg, 4/24/13 11:58 AM, LAST SAVE: 2/7/2014 8:38 AM, PLOTTED BY: Doreen Johnson





HAMPTON INN & SUITES



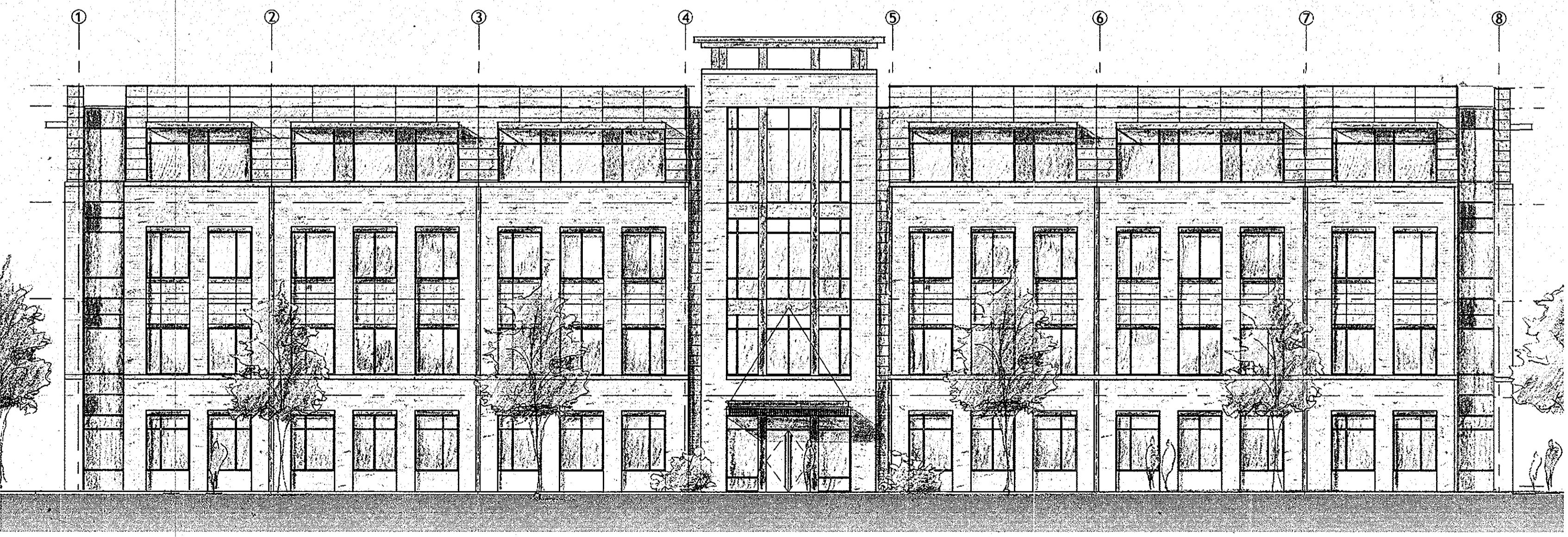
MARRIOTT SPRINGHILL SUITES



SPRINGHILL SUITES®  
GEN 4.5 Proto-Model Design



OFFICE EAST & WEST ELEVATIONS



OFFICE NORTH & SOUTH ELEVATIONS

Annapolis Junction Town Center (13-05)  
Design Advisory Panel  
2013-04-24 Review

Ref #	Design Advisory Panel Recommendation - Verbatim Motion	Response by Applicant - 05/02/2013	DPZ Director's Endorsement
1.	"That landscape should include some (human) scale vegetation along with the trees." Vote: 5-0	We have already prepared and submitted our landscape plans. We think we did a 1st class good and that the plans are in accordance with the Route 1 Manual. Since they are already re-submitted, after making revisions to incorporate the County's comments, we do not want to agree to the DAP motion. It is our request that if the County has further comments to the already reviewed and commented upon landscape plans, that they can address them in their final review, which they are currently undertaking.	<input type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Architect's Response
2.	"That the architecture of the retail relate with the residential apartment building in terms of detail, especially the cornice or any other details that could be brought in." Vote: 5-0	We agreed with the DAP at the meeting that the cornice detail of the retail should relate better to the cornice detail of the apartment building. That was a good catch on the part of the DAP, which we appreciate, and is the only retail change we would like to make. We are very pleased with the retail building, with the change to the cornice detail.	<input checked="" type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Architect's Response
3.	"That as you develop the signage, the architecture, the design of that also should be coherent with the rest of the architectural language of the development." Vote: 5-0	Just to clarify, the design of the signage should be coherent with the rest of the architectural language of the development." We agree with this clarified statement.	<input checked="" type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Architect's Response
4.	"That more emphasis be given to the historical significance of the relationship to the railroad and site amenities, and that other elements within the site have some relationship to that." Vote: 5-0	Except for the signage issue in #3 above and the retail cornice detail in #2 above, we think our design appropriately incorporates the historical significance of the railroad and are very pleased with the architectural design of the buildings without further modification. At the meeting, the DAP suggested a railroad theme to benches and trash cans. That is something we do not think is a benefit to the project.	<input type="checkbox"/> Accept DAP Recommendation <input checked="" type="checkbox"/> Accept Architect's Response

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Handwritten signature* 5/3/14  
 Director Date  
*Handwritten signature* 3/07/14  
 Chief, Division of Land Development Date  
*Handwritten signature* 2-28-14  
 Chief, Development Engineering Division Date

DR 13-05 Annapolis Junction 2013-04-24

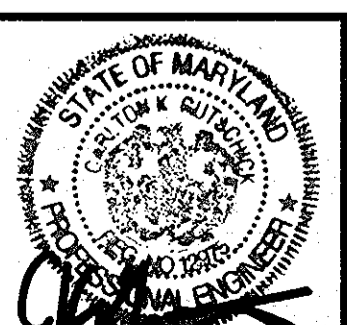
Page 1 of 1

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1829 DC/VA: 301-389-2524 FAX: 301-421-4188

NO.	DATE	REVISION	BY	APP'R

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12875  
 EXPIRATION DATE: MAY 26, 2014  
 2-10-14

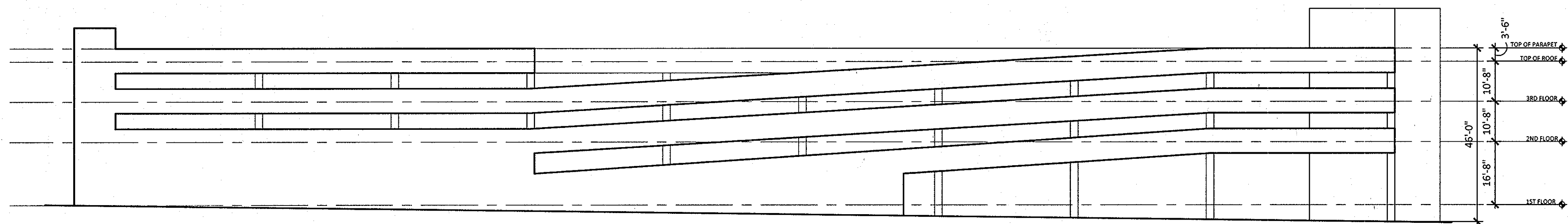


OFFICE & HOTEL BUILDING ELEVATIONS  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 11007-12101  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

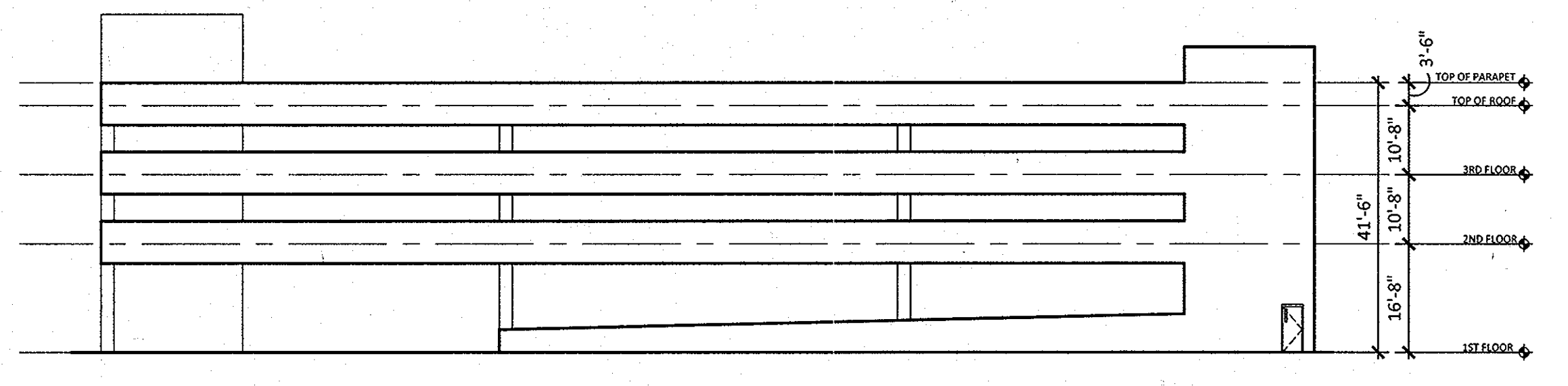
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AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	15 OF 64

1: VARIOUS DRAWINGS, 11/07/2013 BY: G.W.S.P./V.T. 15: S.P.F. - ELEVATIONS.dwg, 10:02:27/2/14 1:44:34 PM, LAST SAVE: 2/11/2014 12:38:10 PM, PLOTTED BY: Steve Johnson

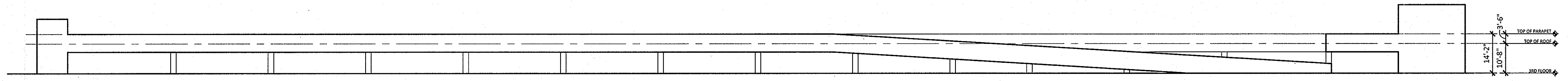




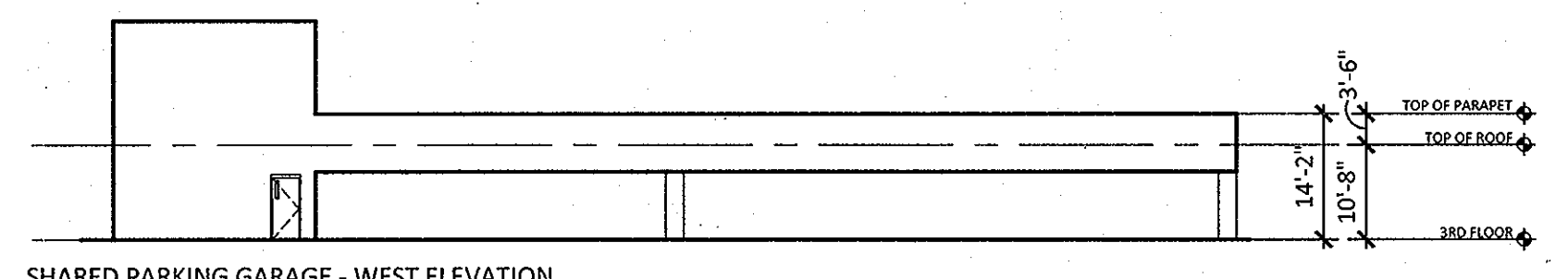
TRANSIT GARAGE - WEST ELEVATION



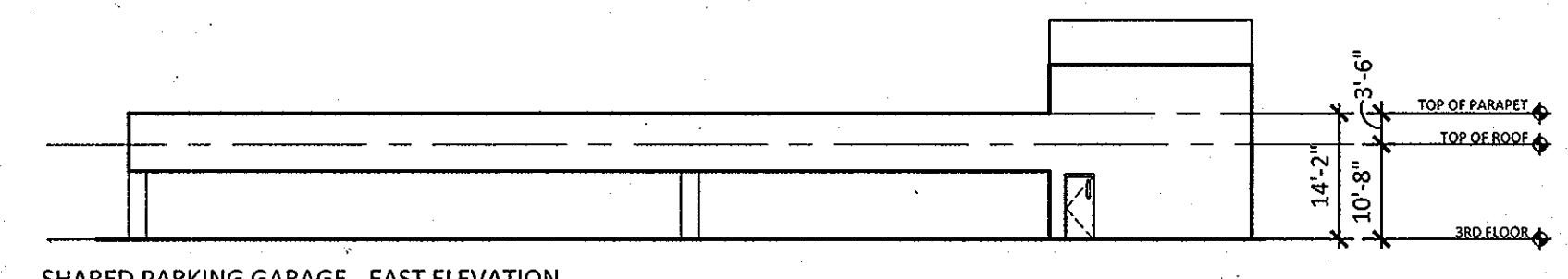
TRANSIT GARAGE - NORTH ELEVATION



SHARED PARKING GARAGE - NORTH ELEVATION

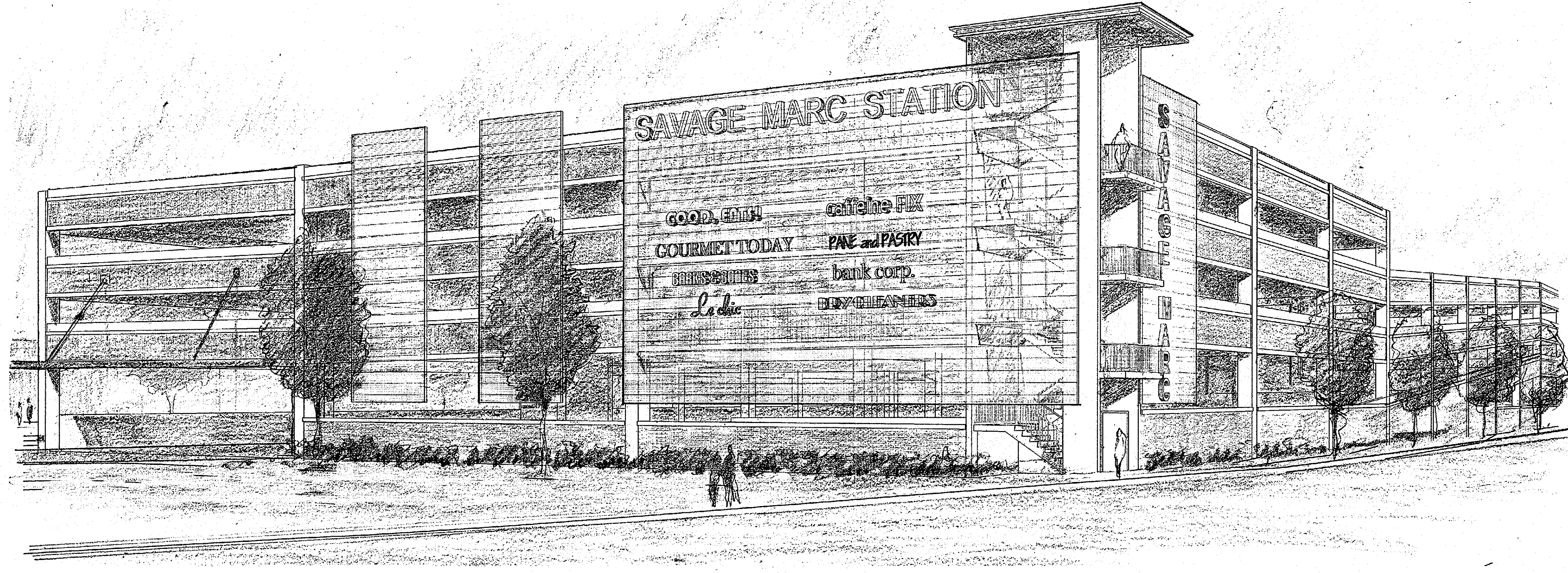


SHARED PARKING GARAGE - WEST ELEVATION



SHARED PARKING GARAGE - EAST ELEVATION

# Transit Garage- Elevation



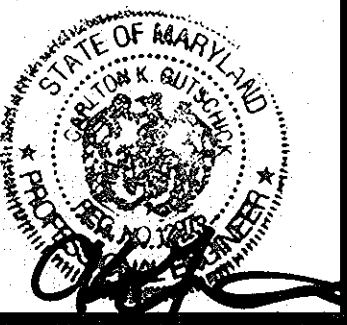
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 3/7/14  
 Chief, Division of Land Development: *[Signature]* Date: 3/27/14  
 Chief, Development Engineering Division: *[Signature]* Date: 2-28-14

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-588-2524 FAX: 301-421-4188

DATE	REVISION	BY	APP'R

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
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 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND,  
 LICENSE NO. 12475  
 EXPIRATION DATE: MAY 26, 2014

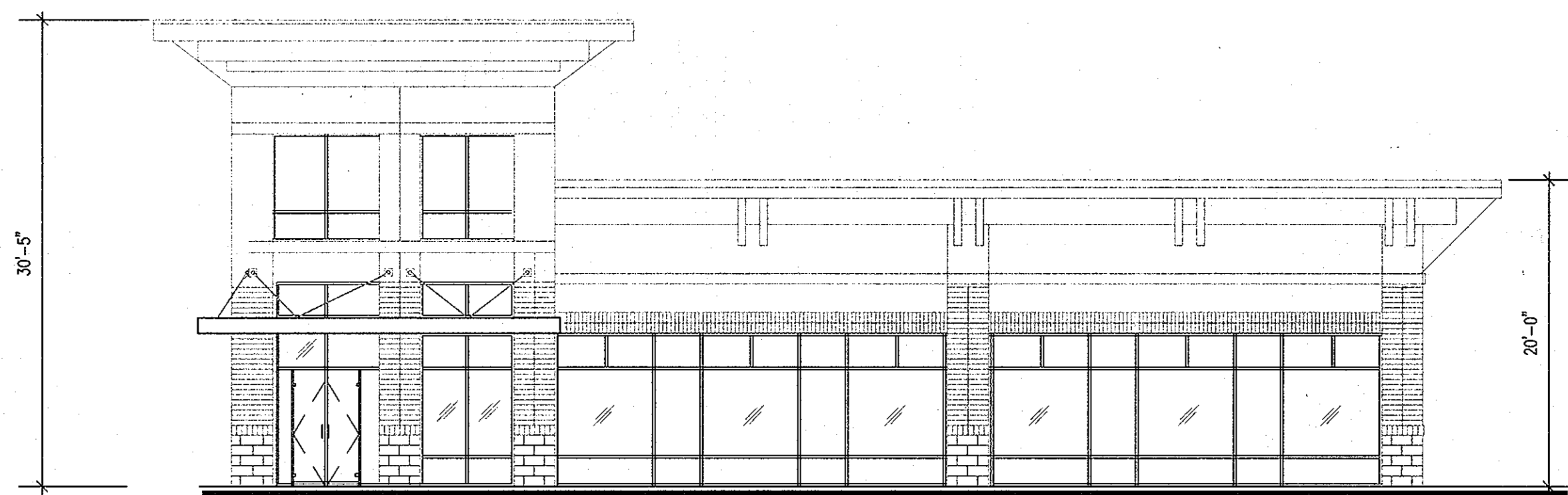


**PARKING GARAGE ELEVATIONS**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 11627-11721  
 HOWARD COUNTY, MARYLAND

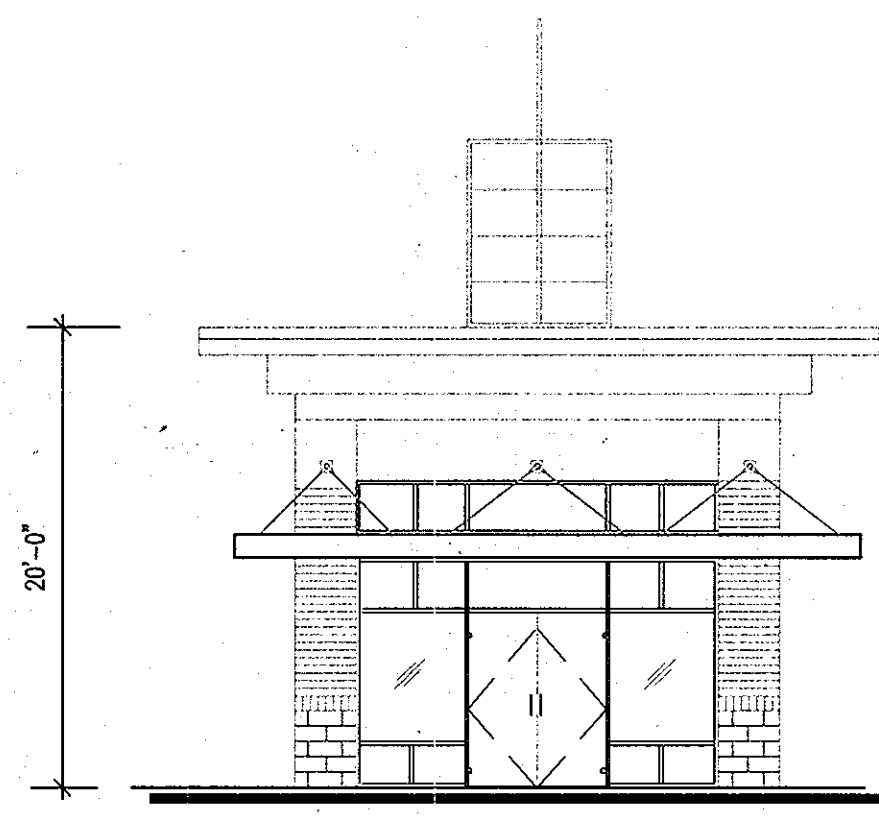
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AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	16 OF 64

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FUTURE BANK NORTH ELEVATION



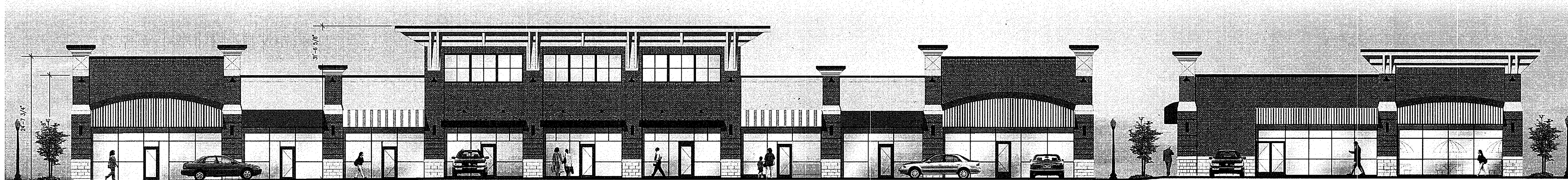
FUTURE KIOSK - NORTH ELEVATION

NOTE:  
PER DAP MEETING ON APRIL 24, 2013, CORNICE  
ON RETAIL BUILDING TO BE MODIFIED TO MATCH  
RESIDENTIAL BUILDING.



RETAIL BUILDING EAST ELEVATION

RETAIL BUILDING SOUTH ELEVATION



RETAIL BUILDING NORTH ELEVATION

RETAIL BUILDING WEST ELEVATION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Mark A. Gagle* 3/2/14  
 Director Date  
*Paul L. ...* 3/27/14  
 Chief, Division of Land Development Date  
*Chad E. ...* 2-28-14  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-580-1829 DC/VA: 301-588-2524 FAX: 301-421-4186

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE  
 PLANS WERE PREPARED OR  
 APPROVED BY ME, AND THAT I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
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 LICENSE NO. 12475  
 EXPIRATION DATE: MAY 26, 2014  
 2-10-14





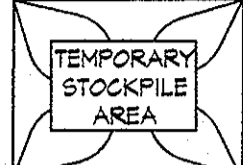
**BANK / KIOSK / RETAIL BUILDING ELEVATIONS**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 1107-11701  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

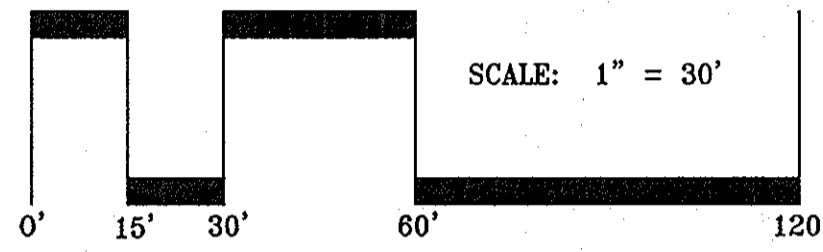
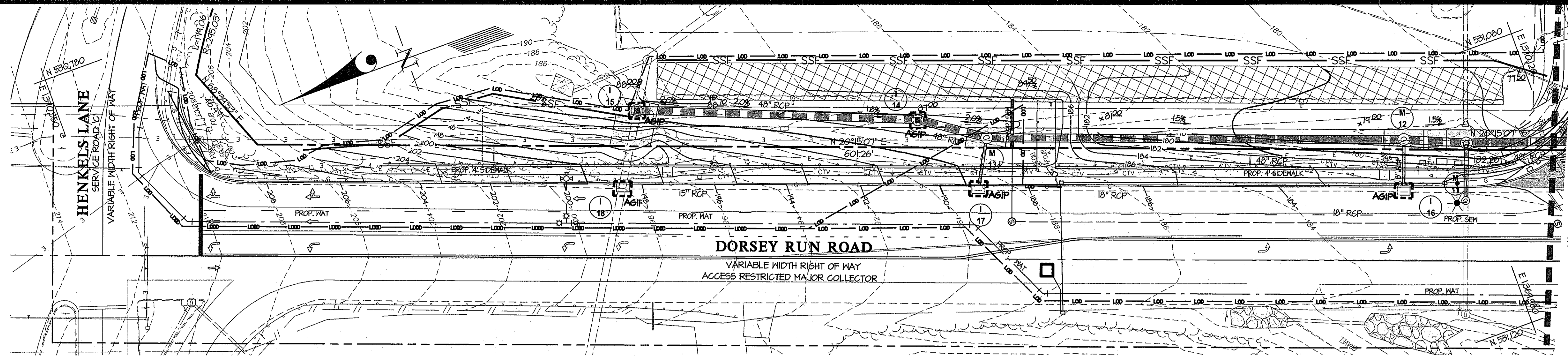
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	17 OF 64

I, CHAD E. EDWARDS, LICENSED PROFESSIONAL ENGINEER BY G.W. (SPP) 11701-17, SDP-14-ELEVATIONS.dwg,  
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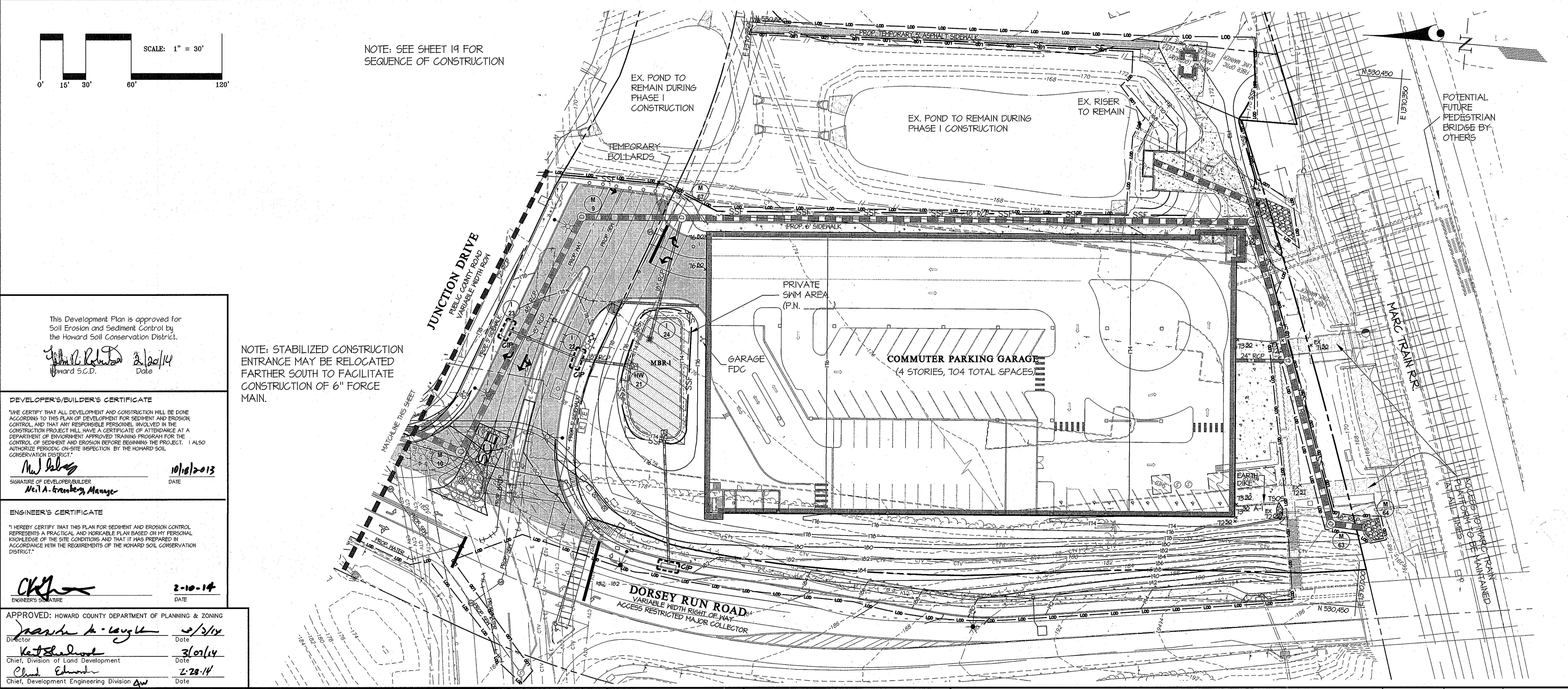


**LEGEND**

- L00 — L00 — LIMIT OF DISTURBANCE
-  STABILIZED CONSTRUCTION ENTRANCE
- SSF — PROPOSED SUPER SILT FENCE
- SF — PROPOSED SILT FENCE
-  GABION MATTRESS
-  PROPOSED TEMPORARY STOCKPILE AREA



NOTE: SEE SHEET 14 FOR SEQUENCE OF CONSTRUCTION



NOTE: STABILIZED CONSTRUCTION ENTRANCE MAY BE RELOCATED FARTHER SOUTH TO FACILITATE CONSTRUCTION OF 6" FORCE MAIN.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*Howard S.C.D.* 2/20/14  
Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Neil A. Greenberg* 10/18/2013  
SIGNATURE OF DEVELOPER/BUILDER DATE  
Neil A. Greenberg, Manager

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CKH* 2-10-14  
ENGINEER'S SIGNATURE DATE

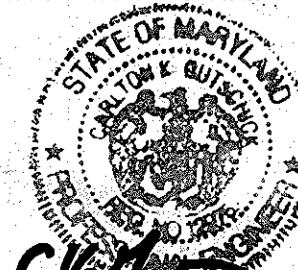
**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*Marche M. Layton* 2/5/14  
Director Date  
*Katshelove* 3/07/14  
Chief, Division of Land Development Date  
*Chad Edwards* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12518  
EXPIRATION DATE: MAY 26, 2014



SEDIMENT & EROSION CONTROL PLAN - PHASE I CONSTRUCTION  
**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 22071-22721  
ELECTION DISTRICT No. 6 GUILFORD  
HOWARD COUNTY, MARYLAND

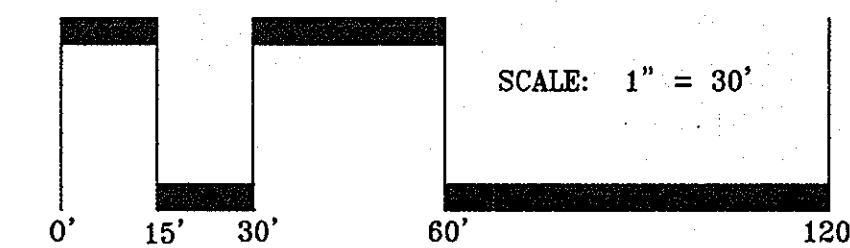
SCALE	ZONING	G. L. W. FILE No.
1" = 30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	18 OF 64

I, CLAYTON BRANNAN, LICENSED PROFESSIONAL ENGINEER, STATE OF MARYLAND, LICENSE NO. 12518, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12518, EXPIRATION DATE: MAY 26, 2014.



**LEGEND**

- LDD — LDD — LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- SSF — PROPOSED SUPER SILT FENCE
- SF — PROPOSED SILT FENCE
- PROPOSED TEMPORARY STOCKPILE AREA
- AT GRADE INLET PROTECTION
- CURB INLET PROTECTION



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*John R. Roberts* 2/20/14  
Howard S.C.D. Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Neil A. Greenberg* 10/18/2013  
SIGNATURE OF DEVELOPER/BUILDER DATE  
Neil A. Greenberg, Manager

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

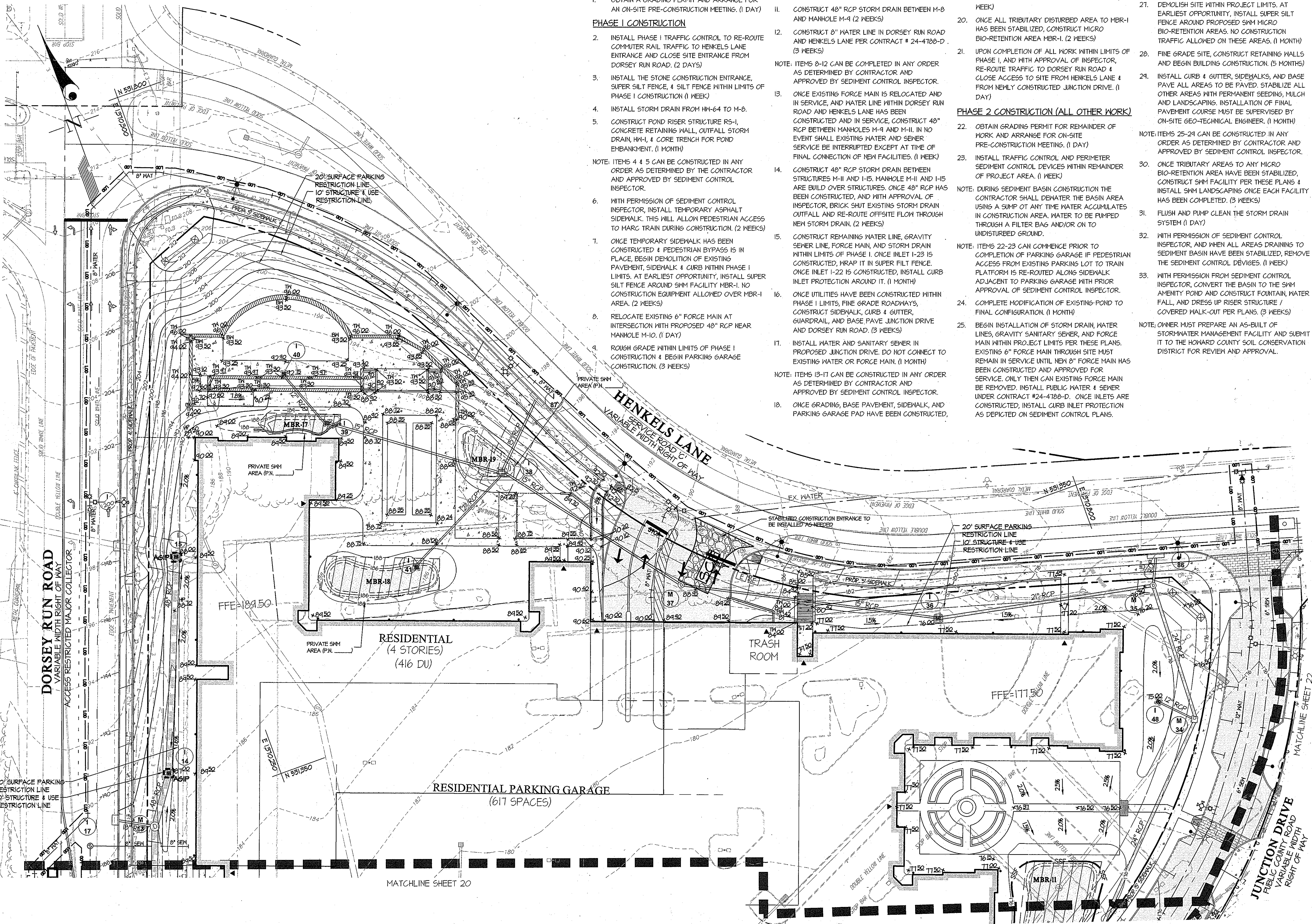
*CKL* 2/10/14  
ENGINEER'S SIGNATURE DATE

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*Mark D. Lytle* 2/7/14  
Director Date  
*Kate Schuchman* 3/20/14  
Chief, Division of Land Development Date  
*Chad Edwards* 2-28-14  
Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L:\CADD\DRAWINGS\1107\PLANS BY QLS\1107-19-SEP-SEC-RES-01.dwg MAJ DRN. JGJ CHK.



**SEQUENCE OF CONSTRUCTION**

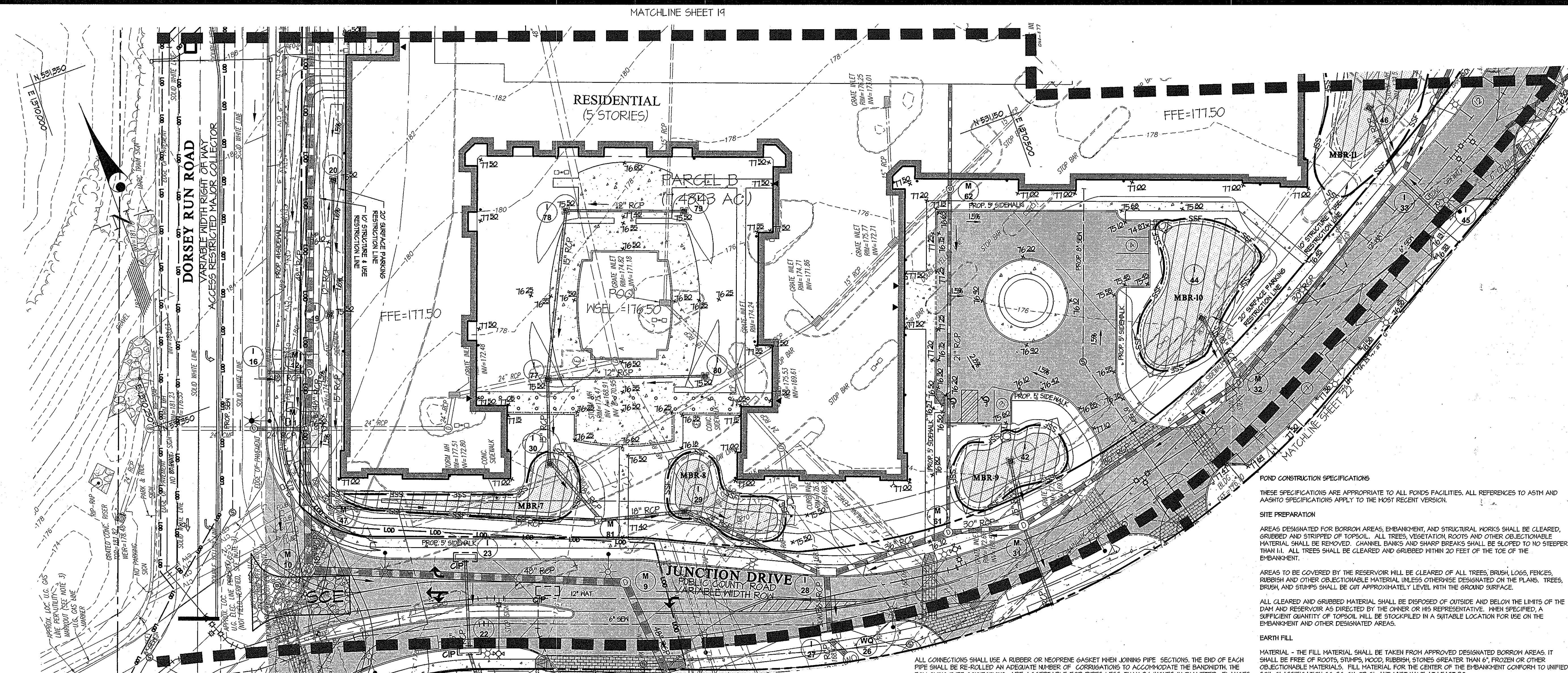
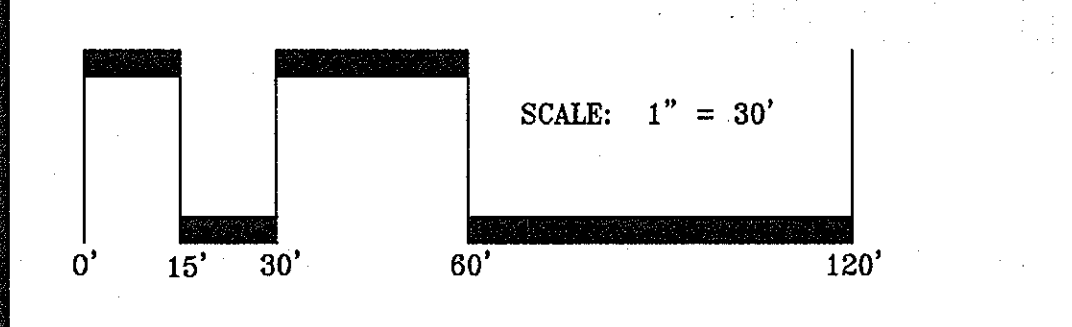
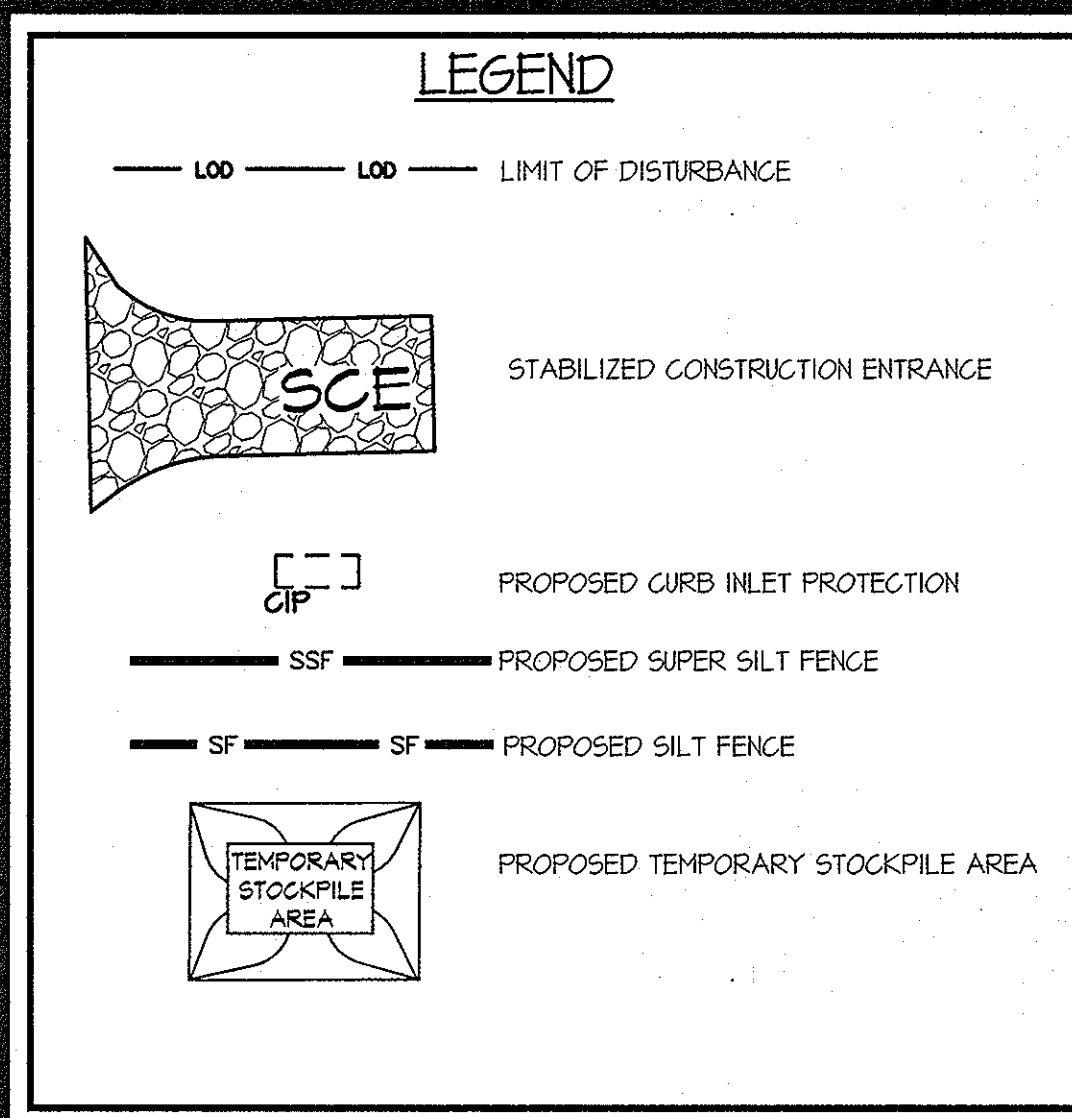
1. OBTAIN A GRADING PERMIT AND ARRANGE FOR AN ON-SITE PRE-CONSTRUCTION MEETING. (1 DAY)
2. INSTALL PHASE I TRAFFIC CONTROL TO RE-ROUTE COMMUTER RAIL TRAFFIC TO HENKELS LANE ENTRANCE AND CLOSE SITE ENTRANCE FROM DORSEY RUN ROAD. (2 DAYS)
3. INSTALL THE STONE CONSTRUCTION ENTRANCE, SUPER SILT FENCE, & SILT FENCE WITHIN LIMITS OF PHASE I CONSTRUCTION (1 WEEK)
4. INSTALL STORM DRAIN FROM HM-64 TO M-8.
5. CONSTRUCT POND RISER STRUCTURE RS-1, CONCRETE RETAINING WALL, OUTFALL STORM DRAIN, HM-4, & CORE TRENCH FOR POND EMBANKMENT. (1 MONTH)
6. WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR, INSTALL TEMPORARY ASPHALT SIDEWALK. THIS WILL ALLOW PEDESTRIAN ACCESS TO MARC TRAIN DURING CONSTRUCTION. (2 WEEKS)
7. ONCE TEMPORARY SIDEWALK HAS BEEN CONSTRUCTED & PEDESTRIAN BYPASS IS IN PLACE, BEGIN DEMOLITION OF EXISTING PAVEMENT, SIDEWALK & CURB WITHIN PHASE I LIMITS. AT EARLIEST OPPORTUNITY, INSTALL SUPER SILT FENCE AROUND SHM FACILITY MBR-1. NO CONSTRUCTION EQUIPMENT ALLOWED OVER MBR-1 AREA. (2 WEEKS)
8. RELOCATE EXISTING 6" FORCE MAIN AT INTERSECTION WITH PROPOSED 48" RCP NEAR MANHOLE M-10. (1 DAY)
9. ROUGH GRADE WITHIN LIMITS OF PHASE I CONSTRUCTION & BEGIN PARKING GARAGE CONSTRUCTION. (3 WEEKS)
10. BEGIN GARAGE CONSTRUCTION (5 MONTHS)
11. CONSTRUCT 48" RCP STORM DRAIN BETWEEN M-8 AND MANHOLE M-4 (2 WEEKS)
12. CONSTRUCT 8" WATER LINE IN DORSEY RUN ROAD AND HENKELS LANE PER CONTRACT # 24-4188-D. (3 WEEKS)
- NOTE: ITEMS 8-12 CAN BE COMPLETED IN ANY ORDER AS DETERMINED BY CONTRACTOR AND APPROVED BY SEDIMENT CONTROL INSPECTOR.
13. ONCE EXISTING FORCE MAIN IS RELOCATED AND IN SERVICE, AND WATER LINE WITHIN DORSEY RUN ROAD AND HENKELS LANE HAS BEEN CONSTRUCTED AND IN SERVICE, CONSTRUCT 48" RCP BETWEEN MANHOLES M-4 AND M-11. IN NO EVENT SHALL EXISTING WATER AND SEWER SERVICE BE INTERRUPTED EXCEPT AT TIME OF FINAL CONNECTION OF NEW FACILITIES. (1 WEEK)
14. CONSTRUCT 48" RCP STORM DRAIN BETWEEN STRUCTURES M-11 AND M-15. MANHOLE M-11 AND M-15 ARE BUILT OVER STRUCTURES. ONCE 48" RCP HAS BEEN CONSTRUCTED, AND WITH APPROVAL OF INSPECTOR, BRICK SHUT EXISTING STORM DRAIN OUTFALL AND RE-ROUTE OFFSITE FLOW THROUGH NEW STORM DRAIN. (2 WEEKS)
15. CONSTRUCT REMAINING WATER LINE, GRAVITY SEWER LINE, FORCE MAIN, AND STORM DRAIN WITHIN LIMITS OF PHASE I. ONCE INLET I-23 IS CONSTRUCTED, WRAP IT IN SUPER FILT FENCE. ONCE INLET I-22 IS CONSTRUCTED, INSTALL CURB INLET PROTECTION AROUND IT. (1 MONTH)
16. ONCE UTILITIES HAVE BEEN CONSTRUCTED WITHIN PHASE I LIMITS, FINE GRADE ROADWAYS, CONSTRUCT SIDEWALK, CURB & GUTTER, GUARDRAIL, AND BASE PAVE JUNCTION DRIVE AND DORSEY RUN ROAD. (3 WEEKS)
17. INSTALL WATER AND SANITARY SEWER IN PROPOSED JUNCTION DRIVE. DO NOT CONNECT TO EXISTING WATER OR FORCE MAIN. (1 MONTH)
- NOTE: ITEMS 13-17 CAN BE CONSTRUCTED IN ANY ORDER AS DETERMINED BY CONTRACTOR AND APPROVED BY SEDIMENT CONTROL INSPECTOR.
18. ONCE GRADING, BASE PAVEMENT, SIDEWALK, AND PARKING GARAGE PAD HAVE BEEN CONSTRUCTED, STABILIZE ALL DISTURBED AREAS. (1 WEEK)
19. INSTALL LANDSCAPING WITHIN PHASE I LIMITS. (1 WEEK)
20. ONCE ALL TRIBUTARY DISTURBED AREA TO MBR-1 HAS BEEN STABILIZED, CONSTRUCT MICRO BIO-RETENTION AREA MBR-1. (2 WEEKS)
21. UPON COMPLETION OF ALL WORK WITHIN LIMITS OF PHASE I, AND WITH APPROVAL OF INSPECTOR, RE-ROUTE TRAFFIC TO DORSEY RUN ROAD & CLOSE ACCESS TO SITE FROM HENKELS LANE & FROM NEWLY CONSTRUCTED JUNCTION DRIVE. (1 DAY)
22. OBTAIN GRADING PERMIT FOR REMAINDER OF WORK AND ARRANGE FOR ON-SITE PRE-CONSTRUCTION MEETING. (1 DAY)
23. INSTALL TRAFFIC CONTROL AND PERIMETER SEDIMENT CONTROL DEVICES WITHIN REMAINDER OF PROJECT AREA. (1 WEEK)
- NOTE: DURING SEDIMENT BASIN CONSTRUCTION THE CONTRACTOR SHALL Dewater THE BASIN AREA USING A PUMP AT ANY TIME WATER ACCUMULATES IN CONSTRUCTION AREA. WATER TO BE PUMPED THROUGH A FILTER BAG AND/OR ON TO UNDISTURBED GROUND.
24. COMPLETE MODIFICATION OF EXISTING POND TO FINAL CONFIGURATION. (1 MONTH)
25. BEGIN INSTALLATION OF STORM DRAIN, WATER LINES, GRAVITY SANITARY SEWER, AND FORCE MAIN WITHIN PROJECT LIMITS PER THESE PLANS. EXISTING 6" FORCE MAIN THROUGH SITE MUST REMAIN IN SERVICE UNTIL NEW 8" FORCE MAIN HAS BEEN CONSTRUCTED AND APPROVED FOR SERVICE. ONLY THEN CAN EXISTING FORCE MAIN BE REMOVED. INSTALL PUBLIC WATER & SEWER UNDER CONTRACT #24-4188-D. ONCE INLETS ARE CONSTRUCTED, INSTALL CURB INLET PROTECTION AS DEPICTED ON SEDIMENT CONTROL PLANS.
26. EXTEND WATER LINE AND SEWER FORCE MAIN IN JUNCTION DRIVE TO EXISTING LINES.
27. DEMOLISH SITE WITHIN PROJECT LIMITS. AT EARLIEST OPPORTUNITY, INSTALL SUPER SILT FENCE AROUND PROPOSED SHM MICRO BIO-RETENTION AREAS. NO CONSTRUCTION TRAFFIC ALLOWED ON THESE AREAS. (1 MONTH)
28. FINE GRADE SITE, CONSTRUCT RETAINING WALLS AND BEGIN BUILDING CONSTRUCTION. (5 MONTHS)
29. INSTALL CURB & GUTTER, SIDEWALKS, AND BASE PAVE ALL AREAS TO BE PAVED. STABILIZE ALL OTHER AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING. INSTALLATION OF FINAL PAVEMENT COURSE MUST BE SUPERVISED BY ON-SITE GEO-TECHNICAL ENGINEER. (1 MONTH)
- NOTE: ITEMS 25-29 CAN BE CONSTRUCTED IN ANY ORDER AS DETERMINED BY CONTRACTOR AND APPROVED BY SEDIMENT CONTROL INSPECTOR.
30. ONCE TRIBUTARY AREAS TO ANY MICRO BIO-RETENTION AREA HAVE BEEN STABILIZED, CONSTRUCT SHM FACILITY PER THESE PLANS & INSTALL SHM LANDSCAPING ONCE EACH FACILITY HAS BEEN COMPLETED. (3 WEEKS)
31. FLUSH AND PUMP CLEAN THE STORM DRAIN SYSTEM (1 DAY)
32. WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR, AND WHEN ALL AREAS DRAINING TO SEDIMENT BASIN HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROL DEVICES. (1 WEEK)
33. WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, CONVERT THE BASIN TO THE SHM AMENITY POND AND CONSTRUCT FOUNTAIN, WATER FALL, AND DRESS UP RISER STRUCTURE / COVERED WALK-OUT PER PLANS. (3 WEEKS)
- NOTE: OWNER MUST PREPARE AN AS-BUILT OF STORMWATER MANAGEMENT FACILITY AND SUBMIT IT TO THE HOWARD COUNTY SOIL CONSERVATION DISTRICT FOR REVIEW AND APPROVAL.

MATCHLINE SHEET 20

MATCHLINE SHEET 22

<p>PREPARED FOR: ANNAPOLIS JUNCTION TOWN CENTER, LLC 4816 DEL RAY AVENUE BETHESDA, MARYLAND 20814 ATTN: PETER ZADORETZKY 410-267-8688</p>	<p>PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12475 EXPIRATION DATE: MAY 26, 2014</p>	<p>SEDIMENT &amp; EROSION CONTROL PLAN - RESIDENTIAL NORTH</p> <p><b>ANNAPOLIS JUNCTION TOWN CENTER</b> HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING) RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE PARCELS A - G</p> <p>ELECTION DISTRICT No. 6 GULFORD PLAT No. 22071-2201 HOWARD COUNTY, MARYLAND</p>	<p>SCALE 1"=30'</p> <p>ZONING T.O.D.</p> <p>DATE MAY, 2013</p> <p>TAX MAP - GRID 48-20</p> <p>G. L. W. FILE NO. 11107</p> <p>SHEET 19 OF 64</p>
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This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*John M. Roberts* 2/20/14  
Howard S.C.D. Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*N.W. Bles* 10/16/2013  
SIGNATURE OF DEVELOPER/BUILDER DATE  
N.W. Bles, Manager

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Charles E. Johnson* 2/10/14  
ENGINEER'S SIGNATURE DATE  
Charles E. Johnson, Chief, Development Engineering Division

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*Joseph A. Long* 2/3/14  
Director Date

*W. S. ...* 3/07/14  
Chief, Division of Land Development Date

*Charles E. Johnson* 2-28-14  
Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

**TABLE B.1: TEMPORARY SEEDING FOR SITE STABILIZATION**

PLANT SPECIES	SEEDING RATE (1)		RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE (2)			
	lb/ac	lb/1000ft <sup>2</sup>	5a and 6a	6b	7a and 7b	
<b>COOL-SEASON GRASSES</b>						
ANNUAL RYEGRASS (LOLIUM PERENNIS SSP. MULTIFLORUM)	40	1.0	MAR 15 to MAY 31; AUG 1 to SEP 30	MAR 1 to MAY 15; AUG 1 to OCT 15	FEB 15 to APR 30; AUG 15 to NOV 30	
BARLEY (HORDEUM VULGARE)	46	2.2	MAR 15 to MAY 31; AUG 1 to SEP 30	MAR 1 to MAY 15; AUG 1 to OCT 15	FEB 15 to APR 30; AUG 15 to NOV 30	
OATS (AVENA SATIVA)	72	1.7	MAR 15 to MAY 31; AUG 1 to SEP 30	MAR 1 to MAY 15; AUG 1 to OCT 15	FEB 15 to APR 30; AUG 15 to NOV 30	
WHEAT (TRITICUM AESTIVUM)	120	2.8	MAR 15 to MAY 31; AUG 1 to SEP 30	MAR 1 to MAY 15; AUG 1 to OCT 15	FEB 15 to APR 30; AUG 15 to NOV 30	
CEREAL RYE (SECALE CEREALE)	112	2.8	MAR 15 to MAY 31; AUG 1 to OCT 31	MAR 1 to MAY 15; AUG 1 to NOV 15	FEB 15 to APR 30; AUG 15 to DEC 15	
<b>WARM-SEASON GRASSES</b>						
FOXTAIL MILLET (SETARIA ITALICA)	30	0.7	JUN 1 to JUL 31	MAY 16 to JUL 31	MAY 1 to AUG 14	
PEARL MILLET (PENNISETUM GLAUCUM)	20	0.5	JUN 1 to JUL 31	MAY 16 to JUL 31	MAY 1 to AUG 14	

NOTES:

(1) SEEDING RATES FOR THE WARM-SEASON GRASSES ARE IN POUNDS OF PURE LIVE SEED (PLS). ACTUAL PLANTING RATES SHALL BE ADJUSTED TO REFLECT PERCENT SEED GERMINATION AND PURITY, AS TESTED. ADJUSTMENTS ARE USUALLY NOT NEEDED FOR THE COOL-SEASON GRASSES.

(2) SEEDING RATES LISTED ABOVE ARE FOR TEMPORARY SEEDINGS, WHEN PLANTED ALONE. WHEN PLANTED AS A NURSE CROP WITH PERMANENT SEED MIXES, USE 1/3 OF THE SEEDING RATE LISTED ABOVE FOR BARLEY, OATS, AND WHEAT. FOR SMALLER-SEEDED GRASSES (ANNUAL RYEGRASS, PEARL MILLET, FOXTAIL MILLET), DO NOT EXCEED MORE THAN 5% (BY WEIGHT) OF THE OVERALL PERMANENT SEED MIX. CEREAL RYE GENERALLY SHOULD NOT BE USED AS A NURSE CROP UNLESS PLANTING WILL OCCUR IN VERY LATE FALL, BEYOND THE SEEDING DATES FOR OTHER TEMPORARY SEEDINGS. CEREAL RYE HAS ALLELOPATHIC PROPERTIES THAT INHIBIT THE GERMINATION AND GROWTH OF OTHER PLANTS. IF IT MUST BE USED AS A NURSE CROP, SEED AT 1/3 OF THE RATE LISTED ABOVE.

(3) FOR SANDY SOILS, PLANT SEEDS AT TWICE THE DEPTH LISTED ABOVE.

(4) THE PLANTING DATES LISTED ARE AVERAGES FOR EACH ZONE AND MAY REQUIRE ADJUSTMENT TO REFLECT LOCAL CONDITIONS, ESPECIALLY NEAR THE BOUNDARIES OF THE ZONE.

**PIPE CONDUITS**

ALL PIPES SHALL BE CIRCULAR IN CROSS SECTION.

**CORRUGATED METAL PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR CORRUGATED METAL PIPE:**

- MATERIALS - POLYMER COATED STEEL PIPE - STEEL PIPES WITH POLYMER COATINGS SHALL HAVE A MINIMUM COATING THICKNESS OF 0.01 INCH (0.25 MIL) ON BOTH SIDES OF THE PIPE. THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-245 & M-246 WITH WATER-TIGHT COUPLING BANDS OR FLANGES.
- MATERIALS - ALUMINUM COATED STEEL PIPE - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M-274 WITH WATER-TIGHT COUPLING BANDS OR FLANGES. ALUMINUM COATED STEEL PIPE WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS WARRANT THE NEED FOR INCREASED DURABILITY, SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M-40 TYPE A. ANY ALUMINUM COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT.
- MATERIALS - ALUMINUM PIPE - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M-186 OR M-211 WITH WATER-TIGHT COUPLING BANDS OR FLANGES. ALUMINUM PIPE WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS WARRANT FOR INCREASED DURABILITY SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M-40 TYPE A. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT. HOT DIP GALVANIZED BOLTS MAY BE USED FOR CONNECTIONS. THE PH OF THE SURROUNDING SOILS SHALL BE BETWEEN 4 AND 9.
- COUPLING BANDS, ANTI-SEEP COLLARS, END SECTIONS, ETC. MUST BE COMPOSED OF THE SAME MATERIAL AND COATINGS AS THE PIPE. METALS MUST BE INSULATED FROM DISSIMILAR MATERIALS WITH USE OF RUBBER OR PLASTIC INSULATING MATERIALS AT LEAST 24 MILS IN THICKNESS.
- CONNECTIONS - ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATER-TIGHT. THE DRAIN PIPE OR MANHOLE CONNECTION TO THE RISER SHALL BE WELDED ALL AROUND WHEN THE PIPE AND RISER ARE METAL. ANTI-SEEP COLLARS SHALL BE CONNECTED TO THE PIPE IN SUCH A MANNER AS TO BE COMPLETELY WATER-TIGHT. DIMPLE BANDS ARE NOT CONSIDERED TO BE WATER-TIGHT.

**STANDARD STABILIZATION NOTE**

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SHALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND
- SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 26, 2014.

*Charles E. Johnson*

**ALL CONNECTIONS SHALL USE A RUBBER OR NEOPRENE GASKET WHEN JOINING PIPE SECTIONS. THE END OF EACH PIPE SHALL BE RE-ROLLED AN ADEQUATE NUMBER OF CORRUGATIONS TO ACCOMMODATE THE BANDWIDTH. THE FOLLOWING TYPE CONNECTIONS ARE ACCEPTABLE FOR PIPES LESS THAN 24 INCHES IN DIAMETER. FLANGES ON BOTH ENDS OF THE PIPE WITH A CIRCULAR 3/8 INCH CLOSED CELL NEOPRENE GASKET, PRE-PUNCHED TO THE FLANGE BOLT CIRCLE, SANDWICHED BETWEEN ADJACENT FLANGES; A 12-INCH WIDE STANDARD LAP TYPE BAND WITH 12-INCH WIDE BY 3/8-INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET; AND A 12-INCH WIDE HISSER TYPE BAND WITH O-RING GASKETS HAVING A MINIMUM DIAMETER OF 1/2 INCH GREATER THAN THE CORRUGATION DEPTH. PIPES 24 INCHES IN DIAMETER AND LARGER SHALL BE CONNECTED BY A 24 INCH LONG ANNULAR CORRUGATED BAND USING A MINIMUM OF 4 (FOUR) RODS AND LUGS, 2 ON EACH CONNECTION PIPE END. A 24-INCH WIDE BY 3/8-INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET WILL BE INSTALLED WITH 12 INCHES ON THE END OF EACH PIPE. FLANGED JOINTS WITH 3/8 INCH CLOSED CELL GASKETS THE FULL WIDTH OF THE FLANGE IS ALSO ACCEPTABLE.**

**METALLICALLY CORRUGATED PIPE SHALL HAVE EITHER CONTINUOUSLY WELDED SEAMS OR HAVE LOCK SEAMS WITH INTERNAL CAULKING OR A NEOPRENE BEAD.**

**4. BEDDING - THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.**

**5. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL".**

**6. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.**

**CARE OF WATER DURING CONSTRUCTION**

**ALL WORK ON PERMANENT STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COFFERDAMS, DRAINAGE CHANNELS, AND STREAM CHANNELS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE PERMANENT WORKS. THE CONTRACTOR SHALL ALSO FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER TO THE SPILLWAY OR OUTLET WORKS AND SO AS NOT TO INTERFERE IN ANY MANNER WITH THE OPERATION OR MAINTENANCE OF THE STRUCTURE. STREAM DIVERSIONS SHALL BE MAINTAINED UNTIL THE FILL FLOW CAN BE PASSED THROUGH THE PERMANENT WORKS. THE REMOVAL OF WATER FROM THE REQUIRED EXCAVATION AND THE FOUNDATION SHALL BE ACCOMPLISHED IN A MANNER AND TO THE EXTENT THAT WILL MAINTAIN STABILITY OF THE EXCAVATED SLOPES AND BOTTOM REQUIRED EXCAVATIONS AND WILL ALLOW SATISFACTORY PERFORMANCE OF ALL CONSTRUCTION OPERATIONS. DURING THE PLACING AND COMPACTING OF MATERIAL IN REQUIRED EXCAVATIONS, THE WATER LEVEL AT THE LOCATIONS BEING REFILLED SHALL BE MAINTAINED BELOW THE BOTTOM OF THE EXCAVATION AT SUCH LOCATIONS WHICH MAY REQUIRE DRAINING THE WATER SHIPS FROM WHICH THE WATER SHALL BE PUMPED.**

**STABILIZATION**

**ALL BORROW AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND LEFT IN A SLIGHTLY CONDITION. ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, SPOIL AND BORROW AREAS, AND BERMS SHALL BE STABILIZED BY SEEDING, LIMING, FERTILIZING AND MULCHING.**

**EROSION AND SEDIMENT CONTROL**

**CONSTRUCTION OPERATIONS WILL BE CARRIED OUT IN SUCH A MANNER THAT EROSION WILL BE CONTROLLED AND WATER AND AIR POLLUTION MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT WILL BE FOLLOWED. CONSTRUCTION PLANS SHALL DETAIL EROSION AND SEDIMENT CONTROL MEASURES.**

**OPERATION AND MAINTENANCE**

**AN OPERATION AND MAINTENANCE PLAN IN ACCORDANCE WITH LOCAL OR STATE REGULATIONS WILL BE PREPARED FOR ALL PONDS. AS A MINIMUM, THE DAM INSPECTION CHECKLIST LOCATED IN APPENDIX A SHALL BE INCLUDED AS PART OF THE OPERATION AND MAINTENANCE PLAN AND PERFORMED AT LEAST ANNUALLY. WRITTEN RECORDS OF MAINTENANCE AND MAJOR REPAIRS NEEDS TO BE RETAINED IN A FILE. THE ISSUANCE OF A MAINTENANCE AND REPAIR PERMIT FOR ANY REPAIRS OR MAINTENANCE THAT INVOLVES THE MODIFICATION OF THE DAM OR SPILLWAY FROM ITS ORIGINAL DESIGN AND SPECIFICATIONS IS REQUIRED. A PERMIT IS ALSO REQUIRED FOR ANY REPAIRS OR CONSTRUCTION THAT INVOLVE A SUBSTANTIAL PORTION OF THE STRUCTURE. ALL INDICATED REPAIRS ARE TO BE MADE AS SOON AS PRACTICAL.**

**STRUCTURE BACKFILL**

**BACKFILL ADJACENT TO PIPES OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE. STRUCTURE BACKFILL MAY BE FLOWABLE FILL MEETING THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION ADVISORY STANDARD SPECIFICATIONS FOR CONSTRUCTION MATERIALS, SECTION 313 AS MODIFIED. THE MIXTURE SHALL HAVE A 100-200 PSL 28 DAY UNCOMPRESSED COMPRESSIVE STRENGTH. THE FLOWABLE FILL SHALL HAVE A MINIMUM PH OF 4.0 AND A MINIMUM RESISTIVITY OF 2,000 OHM-CM. MATERIAL SHALL BE PLACED SUCH THAT A MINIMUM OF 6" (MEASURED PERPENDICULAR TO THE OUTSIDE OF THE PIPE) OF FLOWABLE FILL SHALL BE UNDER (BEDDING), OVER AND, ON THE SIDES OF THE PIPE. IT ONLY NEEDS TO EXTEND UP TO THE SPRING LINE FOR RIGID CONDUITS. AVERAGE SLUMP OF THE FILL SHALL BE 1" TO ASSURE FLOWABILITY OF THE MATERIAL. ADEQUATE MEASURES SHALL BE TAKEN (SAND BAGS, ETC.) TO PREVENT FLOATING THE PIPE. WHEN USING FLOWABLE FILL ALL METAL PIPE SHALL BE BITUMINOUS COATED. ANY ADJOINING SOIL FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL SHALL COMPLETELY FILL ALL VOIDS ADJACENT TO THE FLOWABLE FILL ZONE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE. BACKFILL MATERIAL OUTSIDE THE STRUCTURAL BACKFILL (FLOWABLE FILL) ZONE SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THE OTHER EMBANKMENT MATERIALS.**

**SEDIMENT & EROSION CONTROL PLAN - RESIDENTIAL SOUTH**

**ANNAPOLIS JUNCTION TOWN CENTER HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING) RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE PARCELS A - G**

PLAT No. 22697-22701

ELECTION DISTRICT No. 6 GULFORD

SCALE: 1" = 30'

ZONING: T.O.D.

G. L. W. FILE No. 11107

DATE: MAY, 2013

TAX MAP - GRID: 48-20

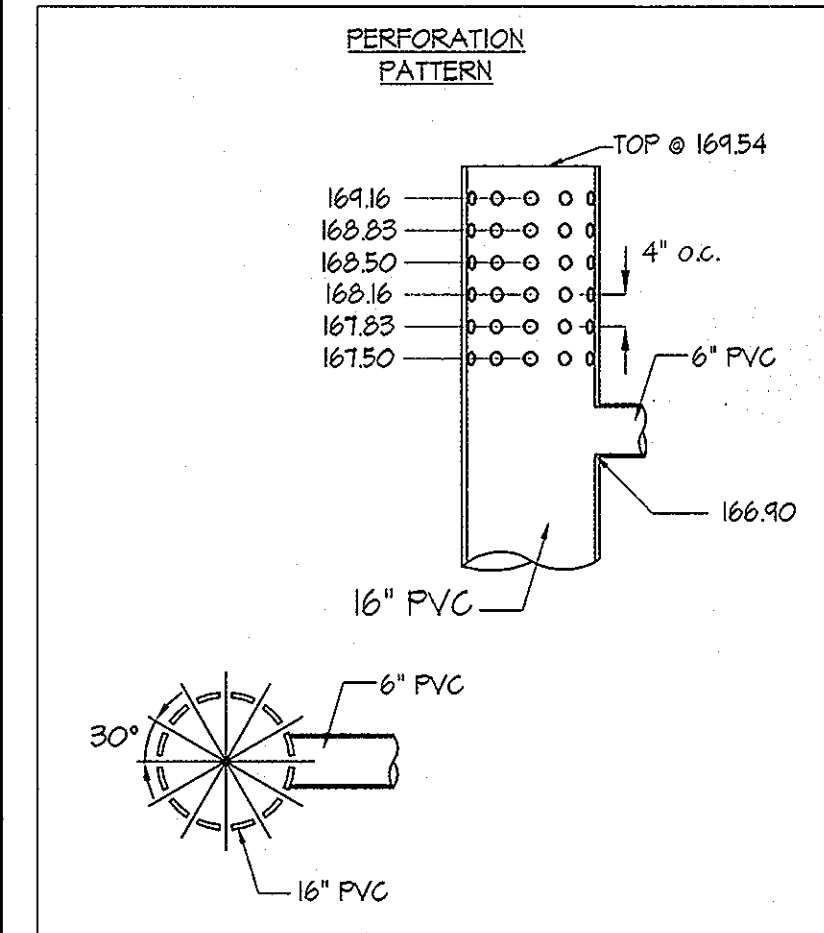
SHEET: 20 OF 64

HOWARD COUNTY, MARYLAND



**SEDIMENT CONTROL LEGEND**

- 400 --- EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- EXISTING TREELINE
- SBB --- STREAM BANK BUFFER
- LDD --- LIMIT OF DISTURBANCE/ SUBMISSION
- SF --- PROPOSED SILT FENCE
- SSF --- PROPOSED SUPERSILT FENCE
- SEDIMENT BASIN BAFFLES
- GM GABION MATTRESS
- RPS REMOVABLE PUMPING STATION
- CIP CURB INLET PROTECTION



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*John C. Roberts* 2/20/14  
Howard S.C.D. Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*M. J. Adams* 10/18/2013  
SIGNATURE OF DEVELOPER/BUILDER DATE  
*Neil A. Gumbert, Manager*

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CKL* 2/10/14  
ENGINEER'S SIGNATURE DATE

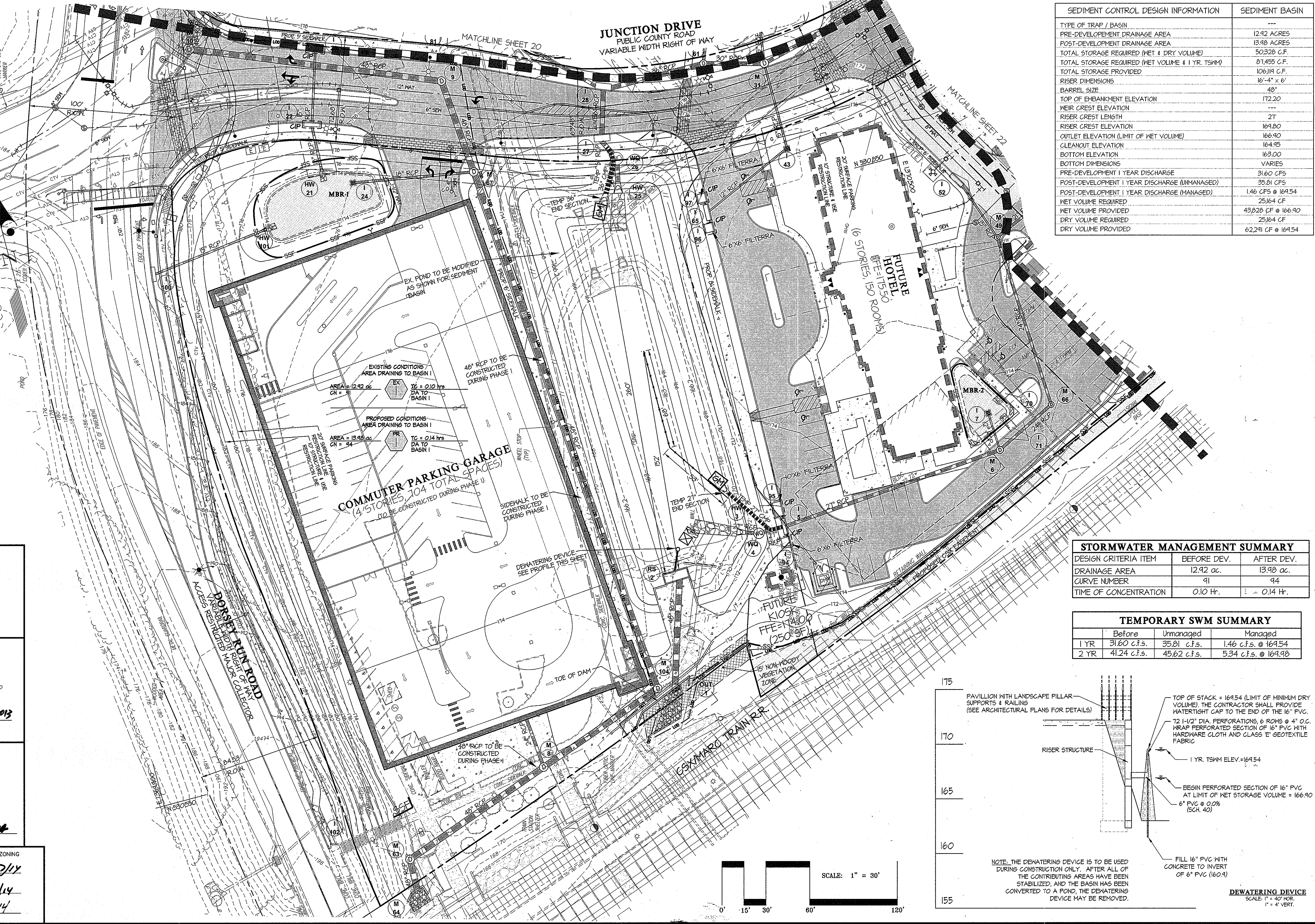
**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*David D. Lough* 2/7/14  
Director Date  
*Kate Schaefer* 3/6/14  
Chief, Division of Land Development Date  
*Chad Edwards* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.



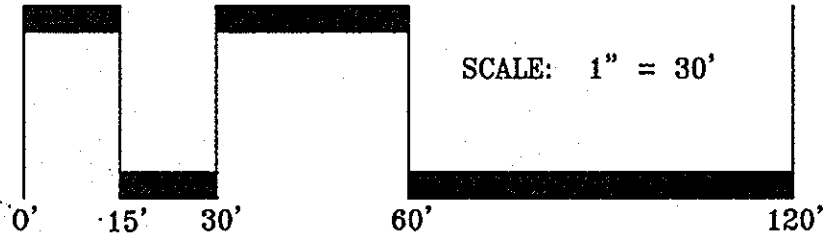
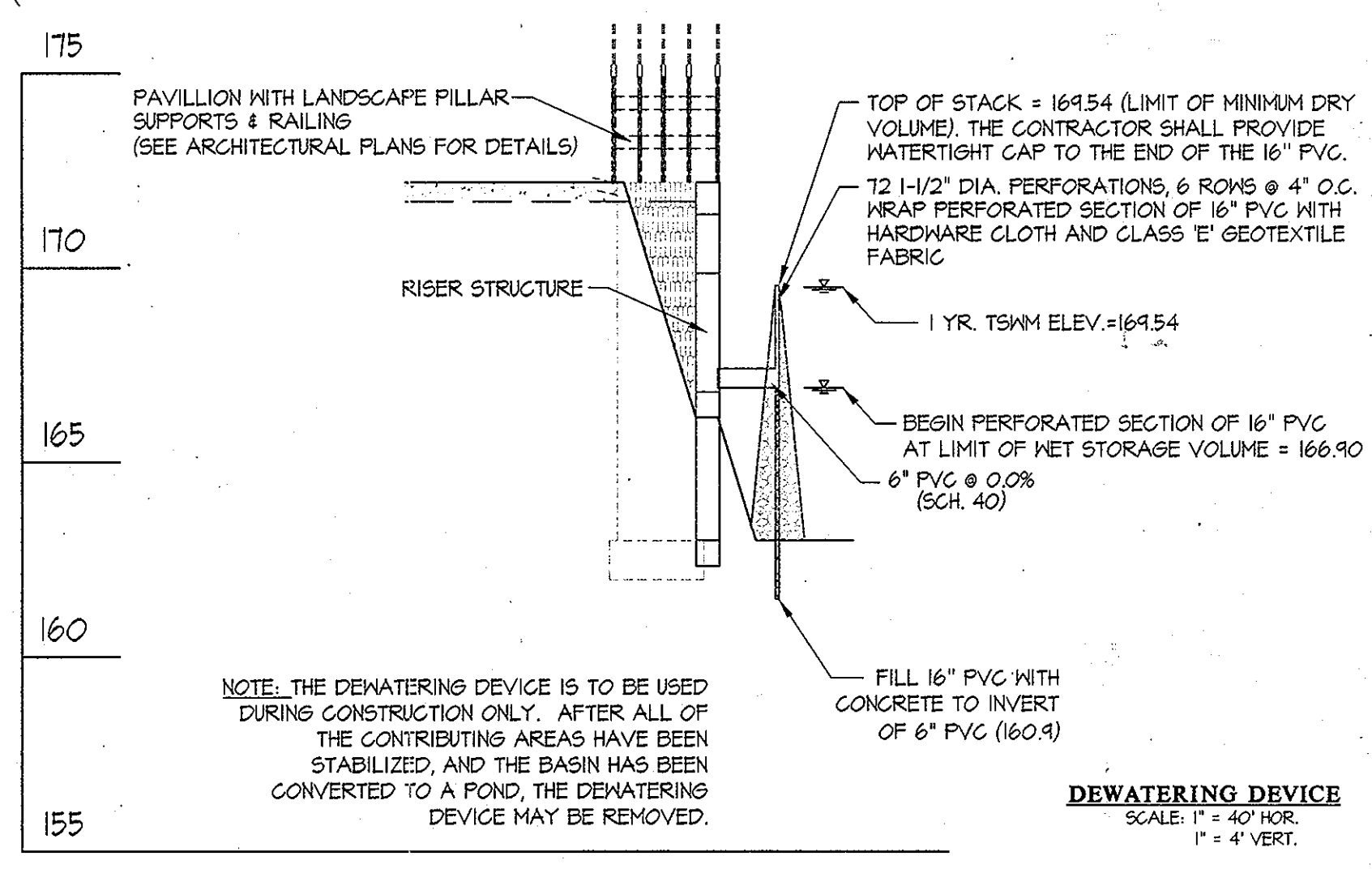
SEDIMENT CONTROL DESIGN INFORMATION	SEDIMENT BASIN
TYPE OF TRAP / BASIN	---
PRE-DEVELOPMENT DRAINAGE AREA	12.92 ACRES
POST-DEVELOPMENT DRAINAGE AREA	13.98 ACRES
TOTAL STORAGE REQUIRED (NET & DRY VOLUME)	50328 C.F.
TOTAL STORAGE PROVIDED (NET VOLUME @ 1 YR. TSWM)	81455 C.F.
TOTAL STORAGE PROVIDED	106194 C.F.
RISER DIMENSIONS	16'-4" x 6'
BARREL SIZE	48"
TOP OF EMBANKMENT ELEVATION	172.20
MEIR CREST ELEVATION	---
RISER CREST LENGTH	27'
RISER CREST ELEVATION	169.80
OUTLET ELEVATION (LIMIT OF NET VOLUME)	166.90
CLEANOUT ELEVATION	164.95
BOTTOM ELEVATION	163.00
BOTTOM DIMENSIONS	VARIABLE
PRE-DEVELOPMENT 1 YEAR DISCHARGE	31.60 CFS
POST-DEVELOPMENT 1 YEAR DISCHARGE (UNMANAGED)	35.01 CFS
POST-DEVELOPMENT 1 YEAR DISCHARGE (MANAGED)	1.46 CFS @ 169.54
NET VOLUME REQUIRED	25164 CF
NET VOLUME PROVIDED	43,828 CF @ 166.90
DRY VOLUME REQUIRED	25164 CF
DRY VOLUME PROVIDED	62,291 CF @ 164.54

**STORMWATER MANAGEMENT SUMMARY**

DESIGN CRITERIA ITEM	BEFORE DEV.	AFTER DEV.
DRAINAGE AREA	12.92 ac.	13.98 ac.
CURVE NUMBER	91	94
TIME OF CONCENTRATION	0.10 Hr.	0.14 Hr.



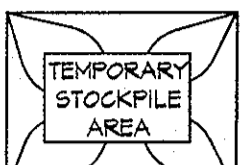
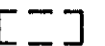

**TEMPORARY SWM SUMMARY**

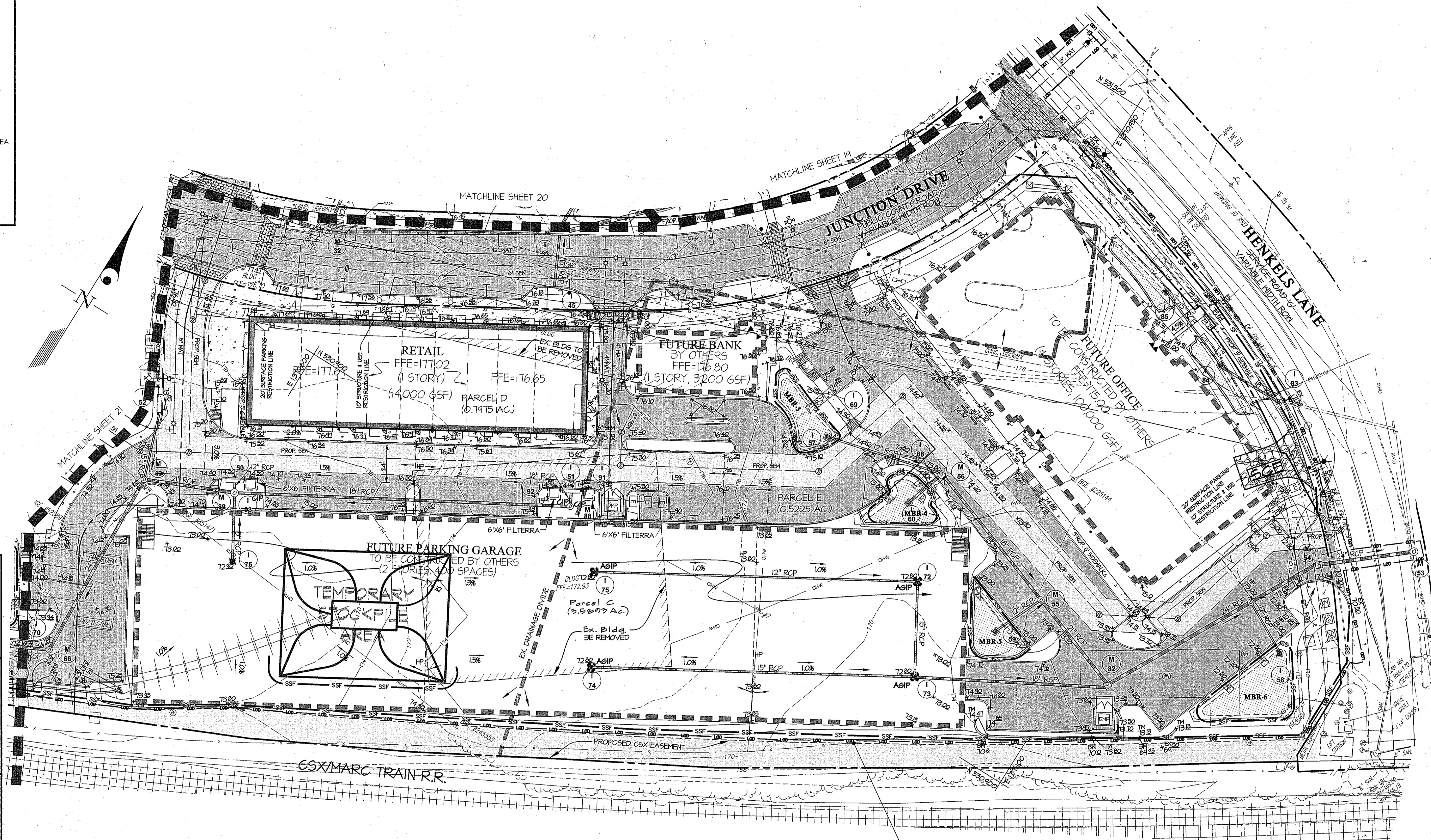
	Before	Unmanaged	Managed
1 YR	31.60 c.f.s.	35.01 c.f.s.	1.46 c.f.s. @ 169.54
2 YR	41.24 c.f.s.	45.62 c.f.s.	5.34 c.f.s. @ 169.98





**LEGEND**

- L00 — L00 — LIMIT OF DISTURBANCE
-  STABILIZED CONSTRUCTION ENTRANCE
- SSF — PROPOSED SUPER SILT FENCE
- SF — PROPOSED SILT FENCE
-  GABION MATTRESS
-  PROPOSED TEMPORARY STOCKPILE AREA
-  CURB INLET PROTECTION
-  AT GRADE INLET PROTECTION



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*John C. Robertson* 2/20/14  
 Date  
 Howard S.C.D.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Neil A. Greenberg* 10/18/2013  
 SIGNATURE OF DEVELOPER/BUILDER DATE  
 Neil A. Greenberg, Manager

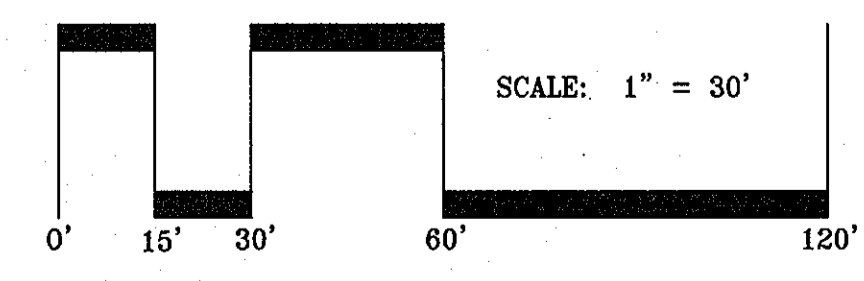
**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CKL* 2/10/14  
 ENGINEER'S SIGNATURE DATE

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*Marc A. Lopez* 2/5/14  
 Director DATE  
*Kate Schuch* 3/10/14  
 Chief, Division of Land Development DATE  
*Chad Edwards* 2-28-14  
 Chief, Development Engineering Division DATE

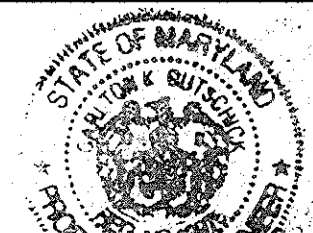


NOTE: LIMITS OF DISTURBANCE & SUPER SILT FENCE TO BE LOCATED ALONG CSX EASEMENT LINE. SHOWN OFFSET FOR VISUAL CLARITY

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4916 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

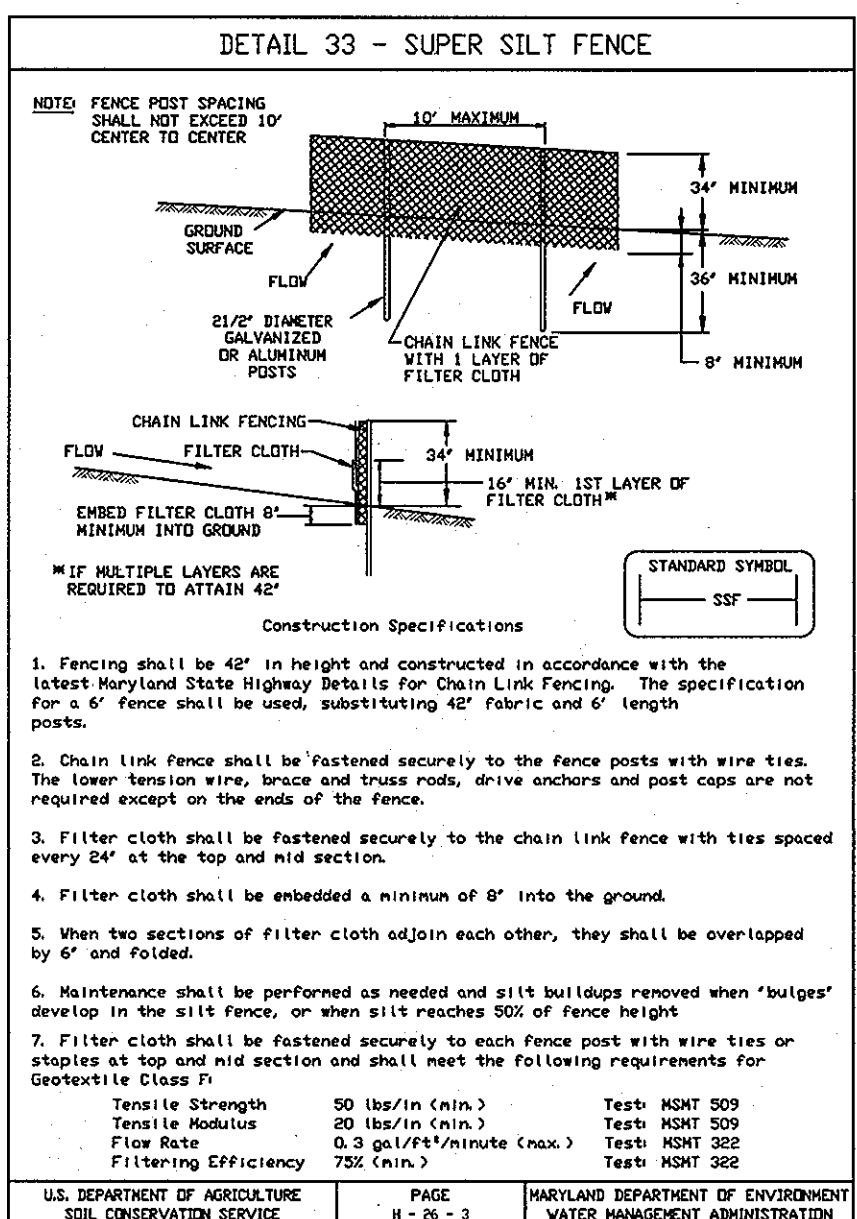
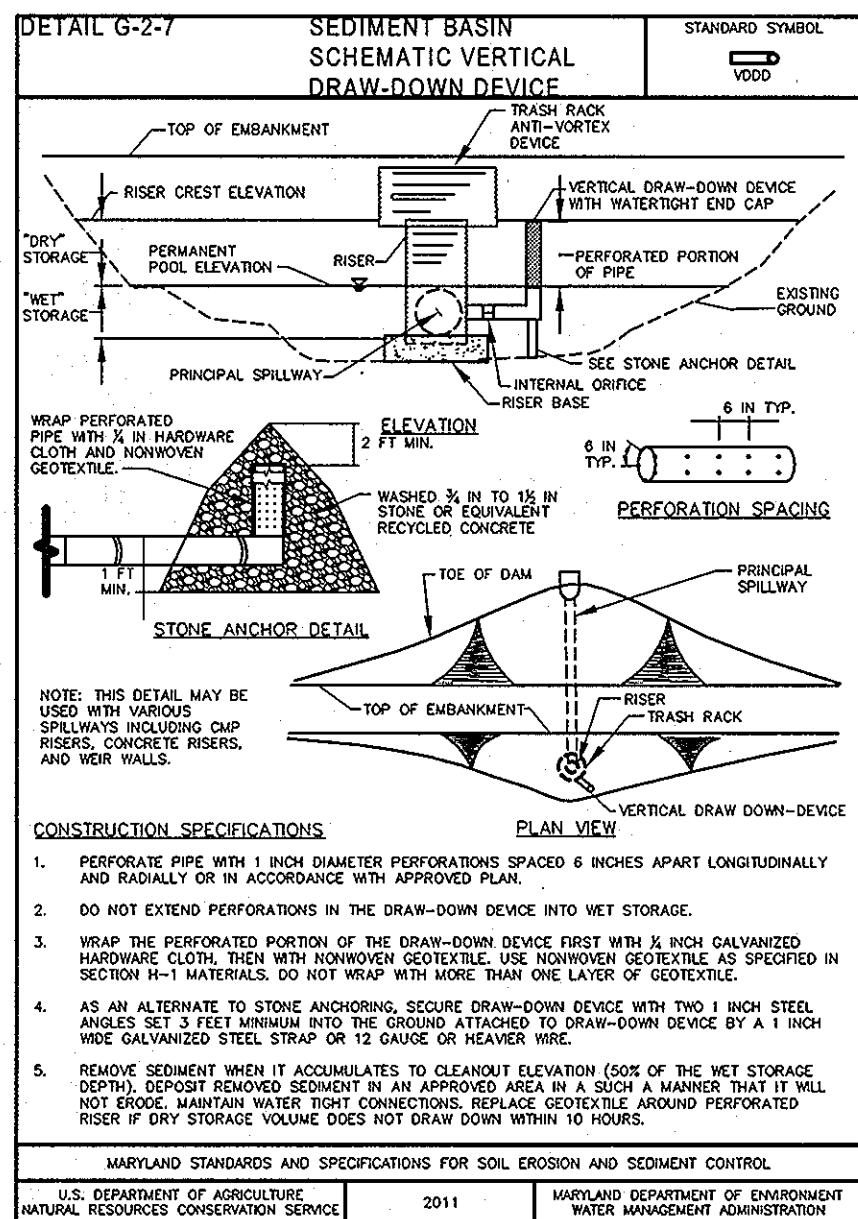
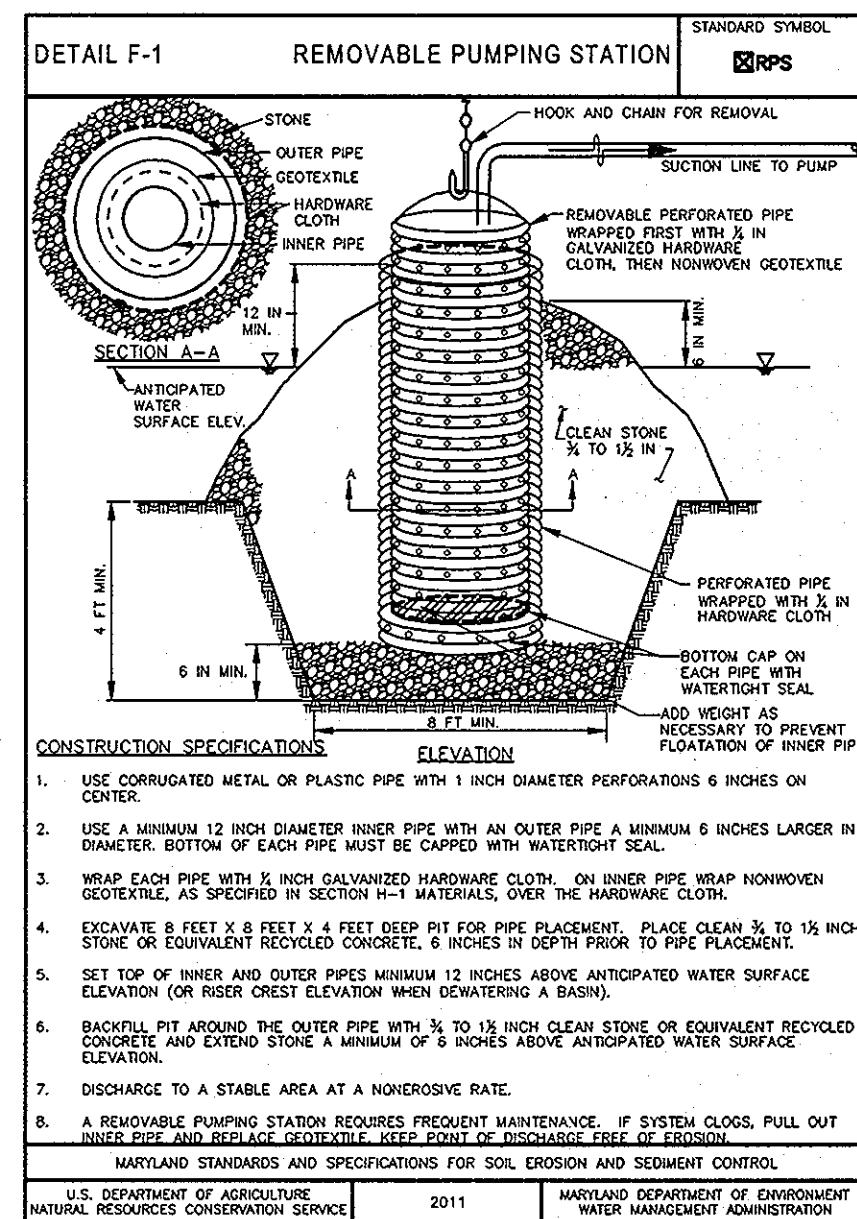
PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12178  
 EXPIRATION DATE: MAY 26, 2014



SEDIMENT & EROSION CONTROL PLAN - COMMERCIAL EAST  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 21607-21701  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	22 OF 64





**HOWARD SOIL CONSERVATION DISTRICT  
STANDARD SEDIMENT CONTROL NOTES**  
REV. 4/2013

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (303-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 5 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, B) 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. B-4-3) TEMPORARY SEEDINGS (SEC. B-4-4) AND MULCHINGS (SEC. B-4-5). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAVE BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

6. SITE ANALYSIS:  
TOTAL AREA OF SITE: 10.93 ACRES  
AREA DISTURBED: 11.33 ACRES  
AREA TO BE ROOFED OR PAVED: 12.48 ACRES  
AREA TO BE VEGETATIVELY STABILIZED: 4.35 ACRES  
TOTAL CUT: 10,000 CU. YDS.  
TOTAL FILL: 23,000 CU. YDS.  
OFFSITE WASTE/BORROW AREA LOCATION: \_\_\_\_\_
7. ANY SEDIMENT CONTROL PRACTICE THAT IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
9. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
10. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.

11. ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.

12. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

**PERMANENT SEEDING NOTES**

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is desired.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (4 lbs/1000 sq ft).
- Alternative - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 square feet) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of creeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) use soil. Option (3) seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of wrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 3:1 or higher, use 340 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of creeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of wrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 3:1 or higher, use 340 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER PONDS**

Routine Maintenance:  
a. The Owner shall inspect the facility annually and after every heavy storm. Inspections shall be performed during wet weather to determine if the pond is functioning properly.

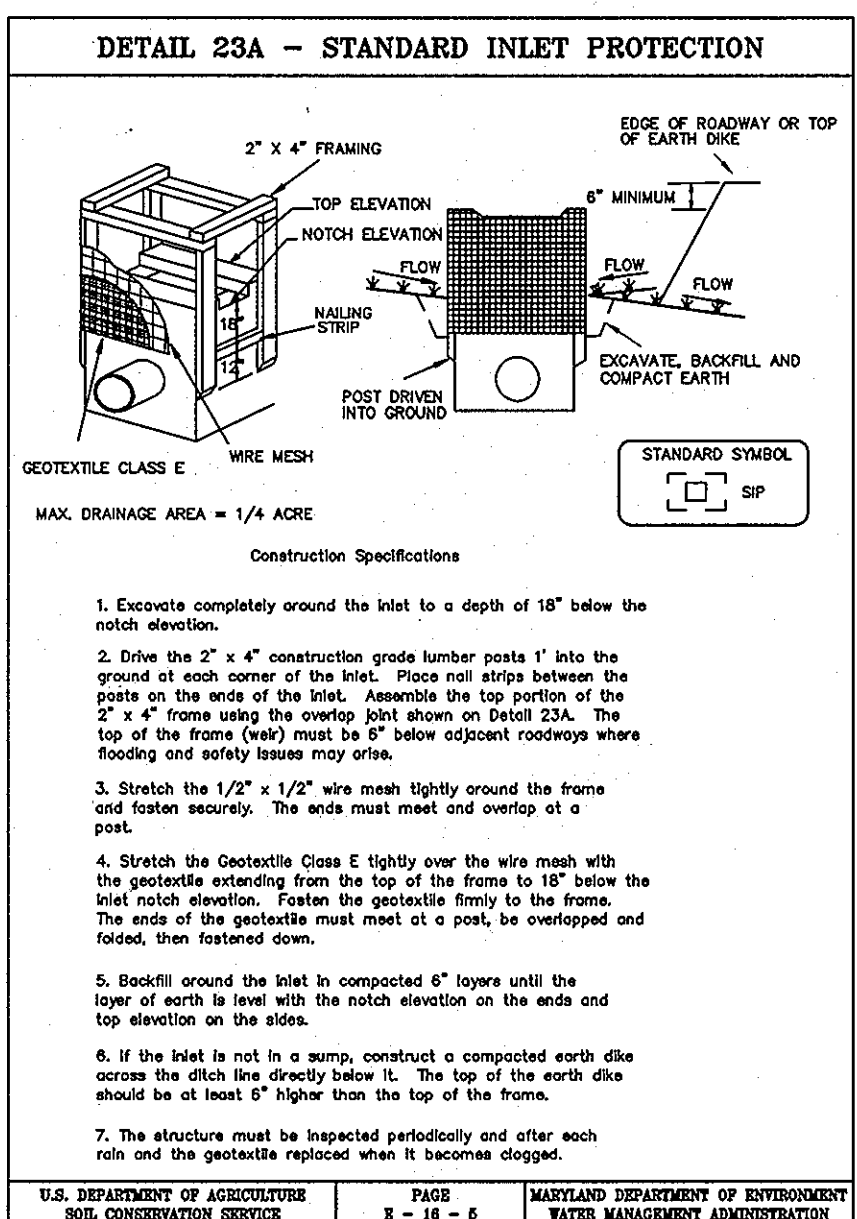
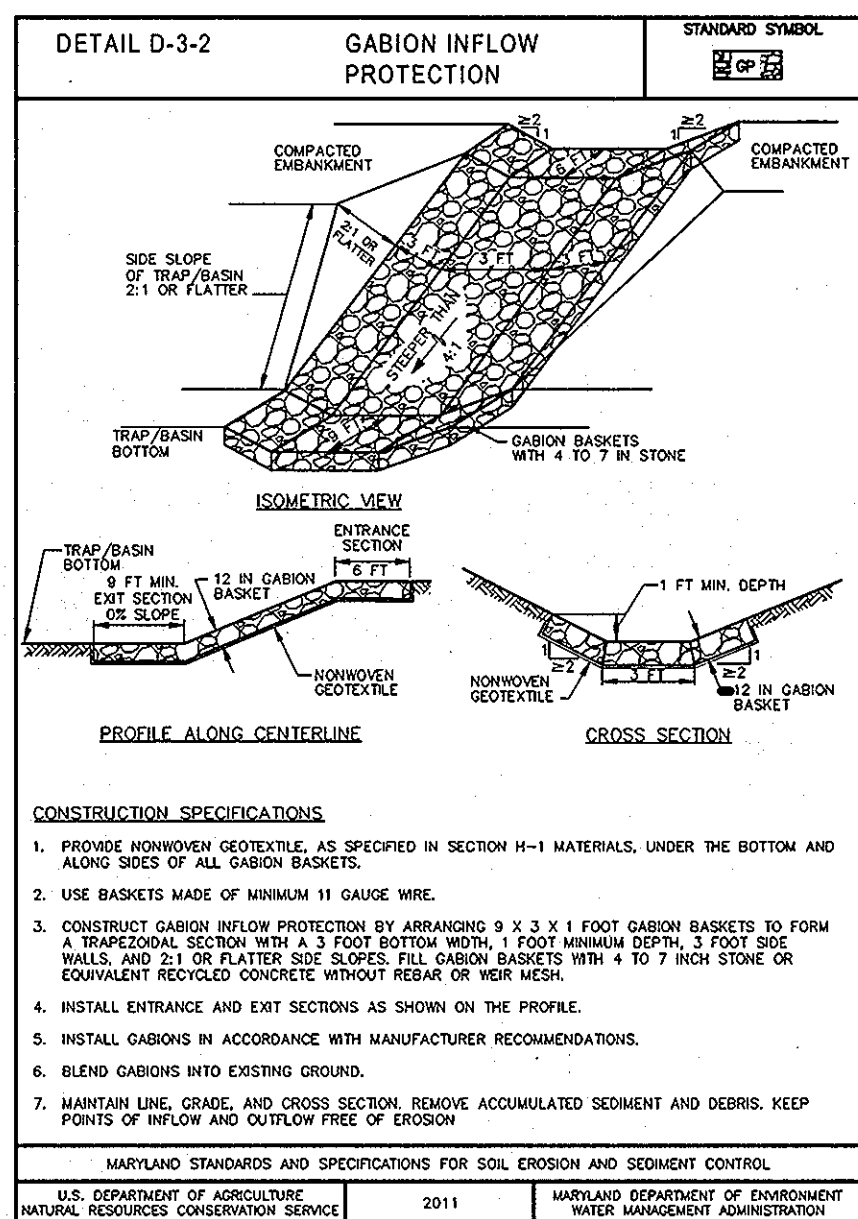
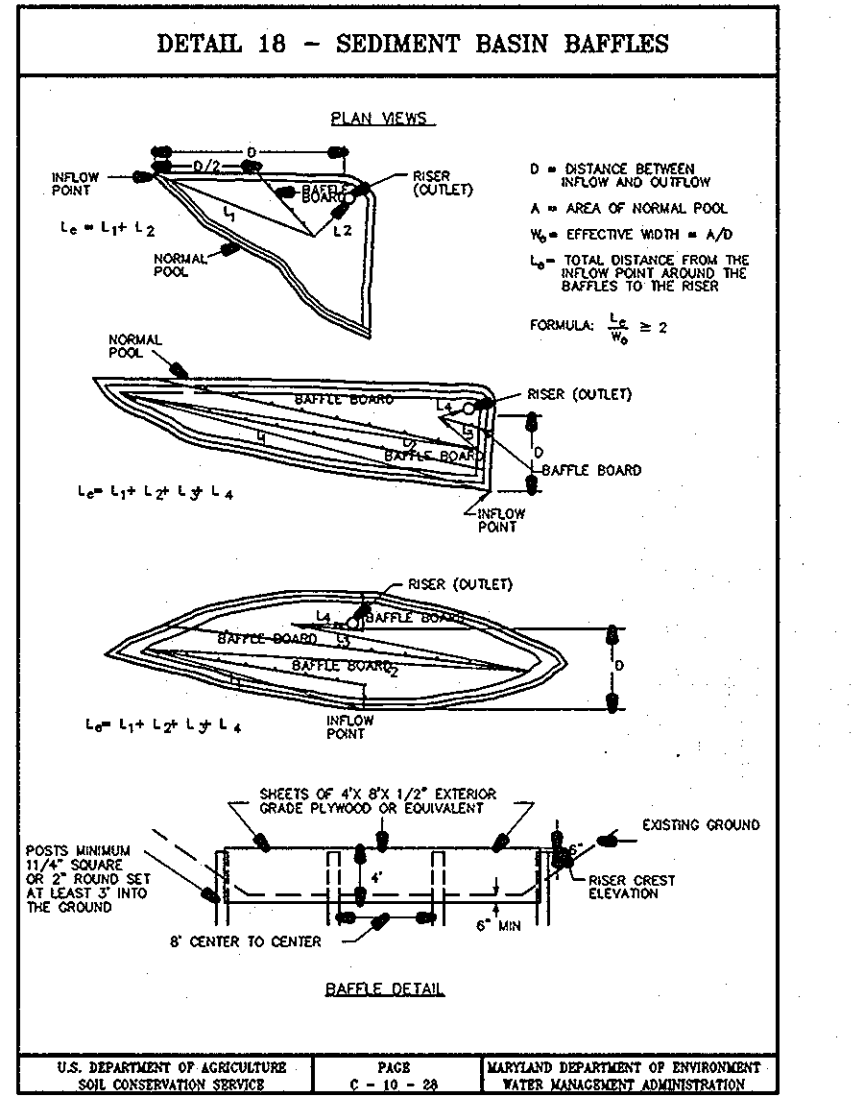
b. The Owner shall mow the top and side slopes of the embankment a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.

c. The Owner shall remove any debris and litter from the facility.

d. The Owner shall repair any erosion in the pond as well as the rip-rap or gabion outlet area as soon as it is noticed.

e. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.

f. The Owner shall remove sediment from the pond, and forebay, no later than when the capacity of the pond, or forebay, is half full of sediment, or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.  
*John C. Roberts* 2/10/14  
Howard S.C.D. Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Neil A. Gray* 10/18/2013  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

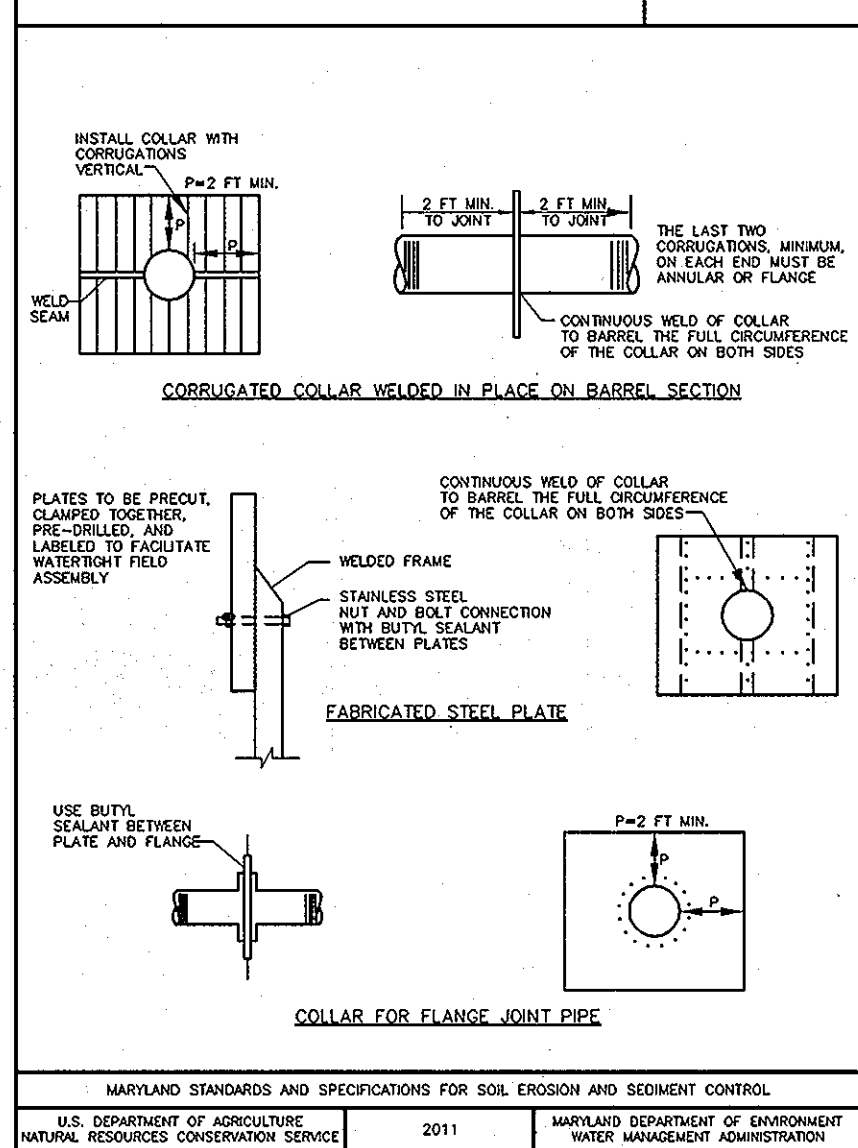
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*Chris A. ...* 2/10/14  
ENGINEER'S SIGNATURE DATE

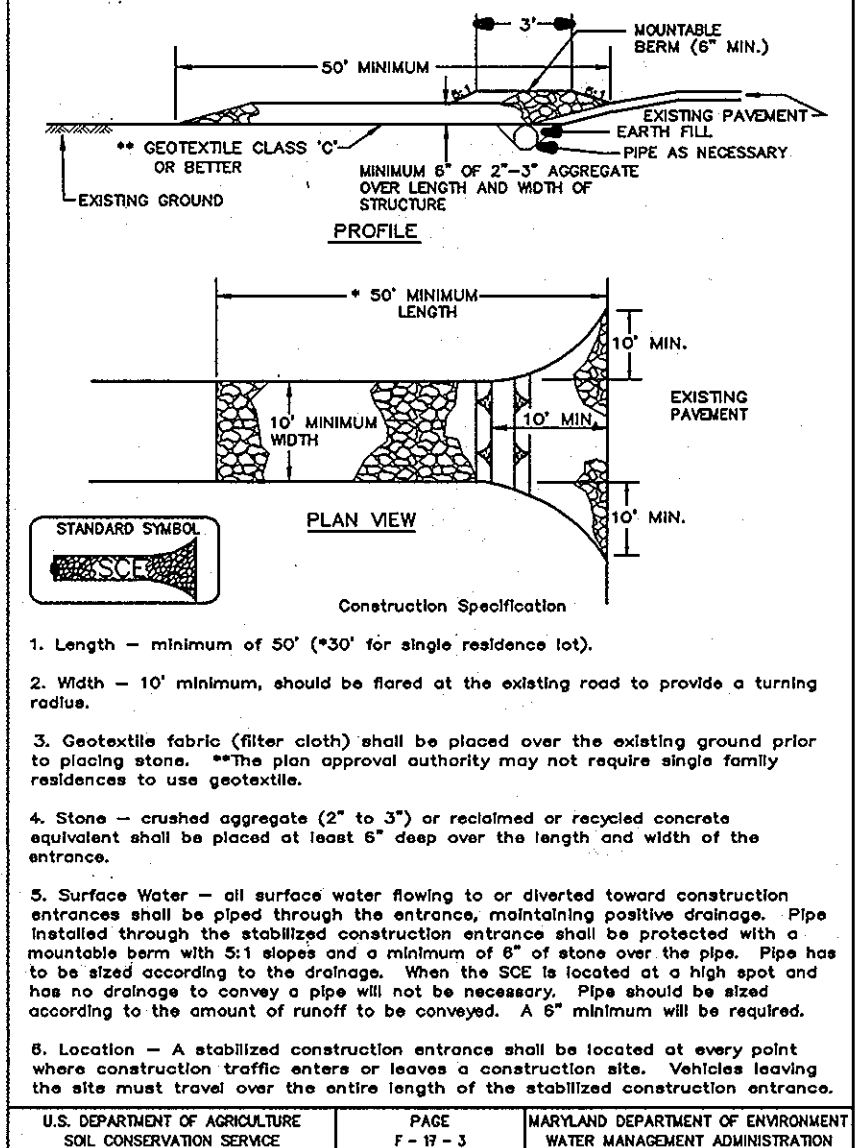
**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*Kevin H. ...* 2/2/14  
Director Date  
*Kate ...* 2/27/14  
Chief, Division of Land Development Date  
*Chad ...* 2/28/14  
Chief, Development Engineering Division Date

**DETAIL G-2-1 TYPICAL ANTI-SEEP COLLARS**



**DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE**



**HOWARD SOIL CONSERVATION DISTRICT  
OPERATION, MAINTENANCE, AND INSPECTION NOTE**

OPERATION OF THE POND(S) HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN THE USDOCS STANDARDS AND SPECIFICATIONS FOR PONDS (M-D-578). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATORS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID WATER, SLIDING OR SLUMPING.

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3509 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 FAX: 410-880-1820 DVA/301-989-2524 FAX: 301-421-4186

**PREPARED FOR:**

ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12716  
EXPIRATION DATE: MAY 26, 2014  
*Chris A. ...*

**SEDIMENT & EROSION CONTROL DETAILS & NOTES**

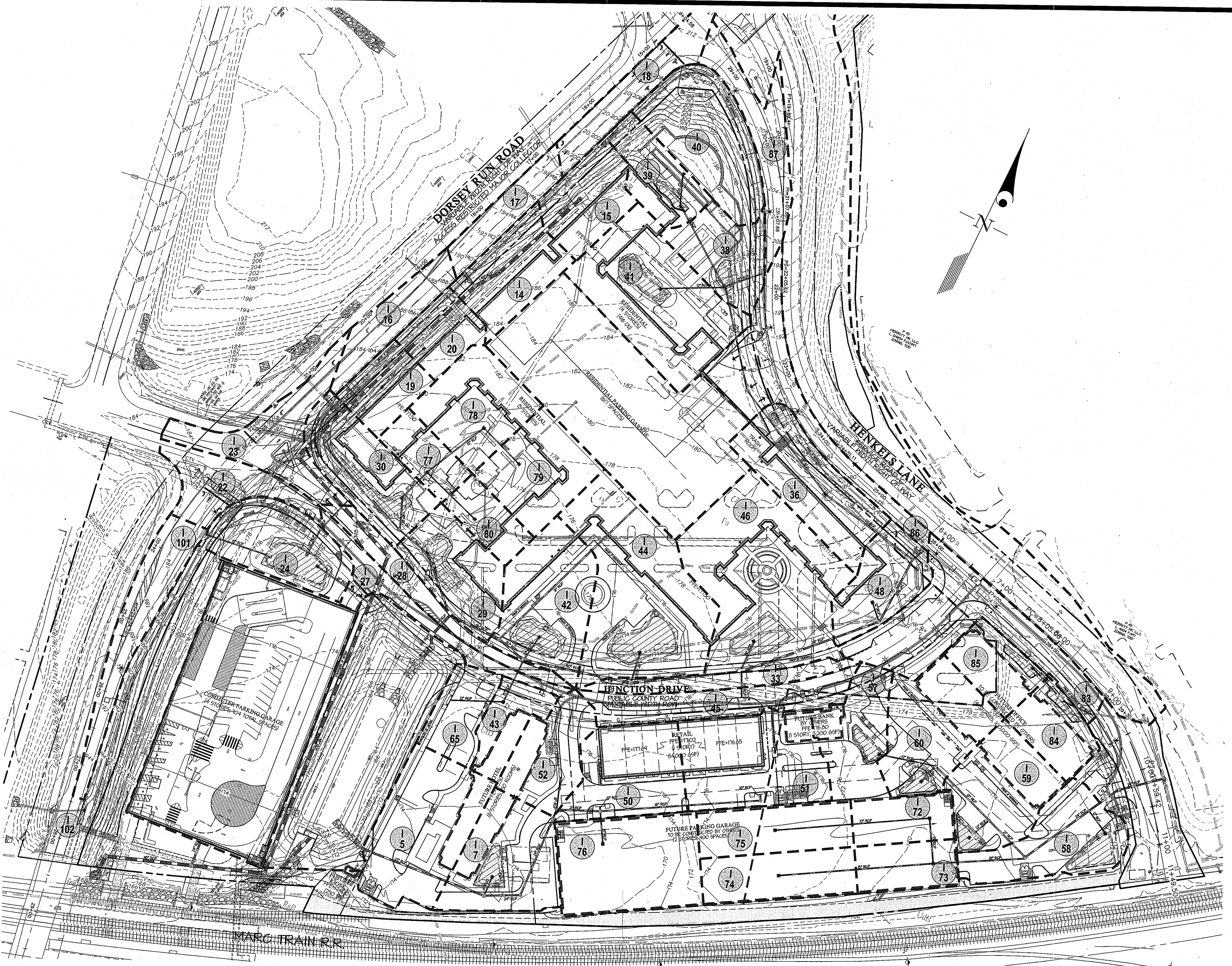
**ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G**

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	T.O.D.	11107

DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	23 OF 64



DRAINAGE AREA INFORMATION			
INLET	AREA	C' VALUE	% IMP.
I-5	0.51 Ac.	0.76	76.7%
I-7	0.41 Ac.	0.76	77.8%
I-14	0.34 Ac.	0.53	42.7%
I-15	0.30 Ac.	0.53	43.8%
I-16	0.20 Ac.	0.90	100%
I-17	0.17 Ac.	0.90	100%
I-18	0.25 Ac.	0.90	100%
I-19	0.22 Ac.	0.54	44.9%
I-20	0.20 Ac.	0.57	44.0%
I-22	0.21 Ac.	0.87	94.7%
I-23	0.34 Ac.	0.86	93.1%
I-24	0.45 Ac.	0.43	27.5%
I-27	0.19 Ac.	0.86	94.1%
I-28	0.18 Ac.	0.86	93.5%
I-29	0.32 Ac.	0.45	30.7%
I-30	0.37 Ac.	0.49	35.5%
I-33	0.14 Ac.	0.88	96.8%
I-36	0.39 Ac.	0.63	58.1%
I-38	0.26 Ac.	0.60	53.6%
I-39	0.23 Ac.	0.60	53.3%
I-40	0.47 Ac.	0.36	17.7%
I-41	0.72 Ac.	0.68	66.1%
I-42	0.45 Ac.	0.71	70.2%
I-43	0.17 Ac.	0.54	44.3%
I-44	0.83 Ac.	0.64	68.3%
I-45	0.31 Ac.	0.85	82.4%
I-46	0.83 Ac.	0.63	58.0%
I-48	0.25 Ac.	0.37	18.0%
I-50	0.21 Ac.	0.78	81.3%
I-51	0.67 Ac.	0.85	91.7%
I-52	0.28 Ac.	0.77	80.3%
I-57	0.29 Ac.	0.78	80.9%
I-58	0.42 Ac.	0.65	62.1%
I-59	0.21 Ac.	0.67	63.9%
I-60	0.51 Ac.	0.81	85.4%
I-65	0.15 Ac.	0.85	91.7%
I-72	0.19 Ac.	0.90	100%
I-73	0.18 Ac.	0.90	100%
I-74	0.28 Ac.	0.90	100%
I-75	0.28 Ac.	0.90	100%
I-76	0.51 Ac.	0.90	100%
I-77	0.15 Ac.	0.69	67.7%
I-78	0.35 Ac.	0.71	71.4%
I-79	0.34 Ac.	0.75	76.4%
I-80	0.14 Ac.	0.73	73.4%
I-83	0.53 Ac.	0.90	100%
I-84	0.20 Ac.	0.72	73.0%
I-85	0.20 Ac.	0.72	72.9%
I-86	0.36 Ac.	0.90	100%
I-87	0.26 Ac.	0.90	100%

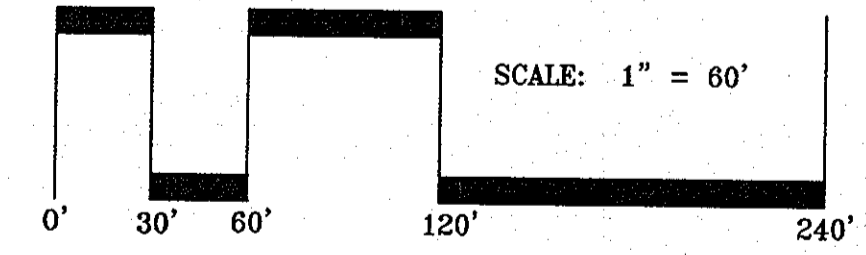


**LEGEND**

--- STORM DRAIN DRAINAGE DIVIDE

--- SOIL BOUNDARY

NOTE: ALL SOILS ON SITE ARE 'D' TYPE SOILS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Howell A. Gault* 5/2/14  
Director Date

*Victor Lebowitz* 3/20/14  
Chief, Division of Land Development Date

*Chad Edmister* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12478  
EXPIRATION DATE: MAY 26, 2014

*Chad Edmister*  
2-28-14

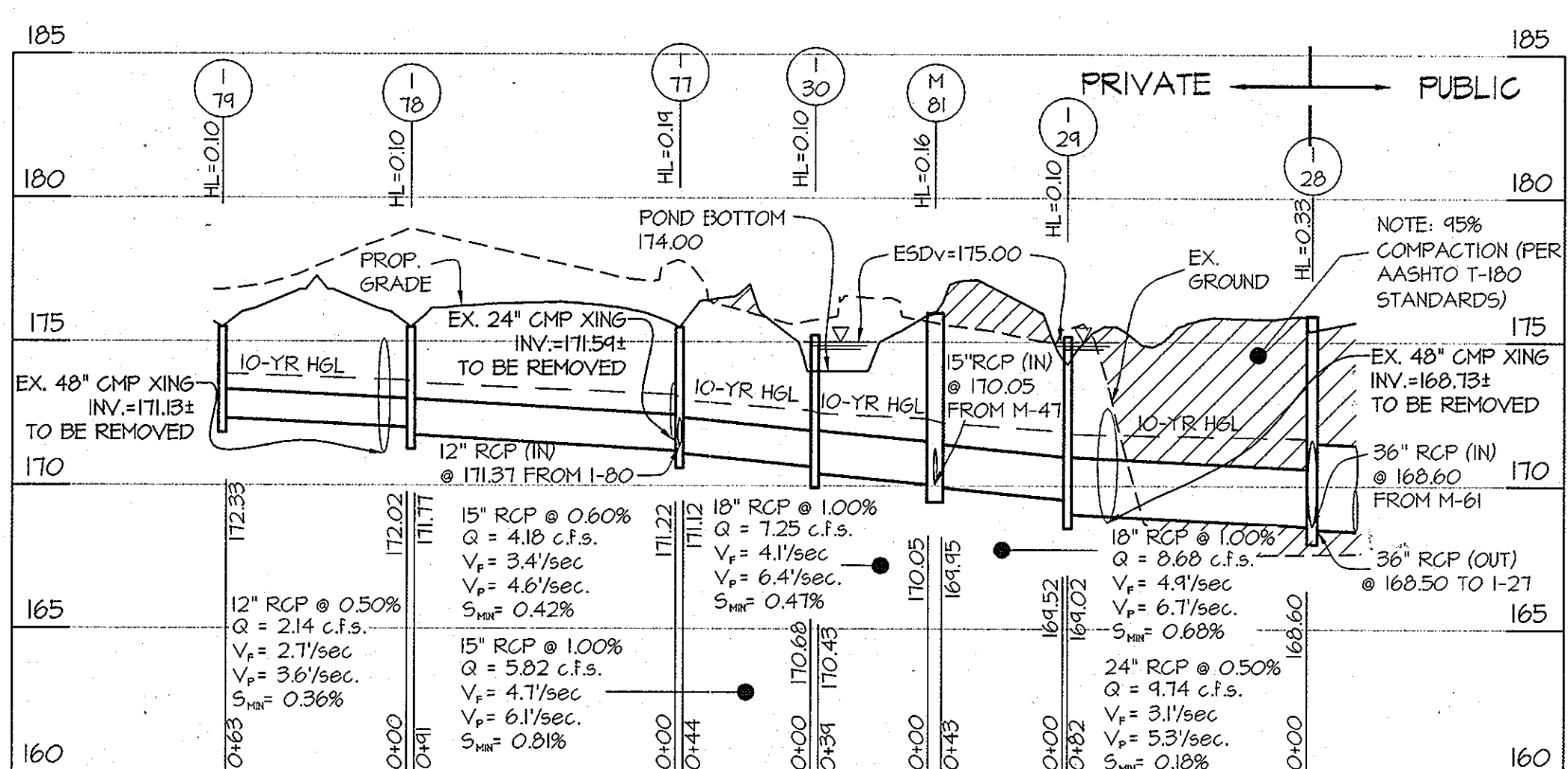
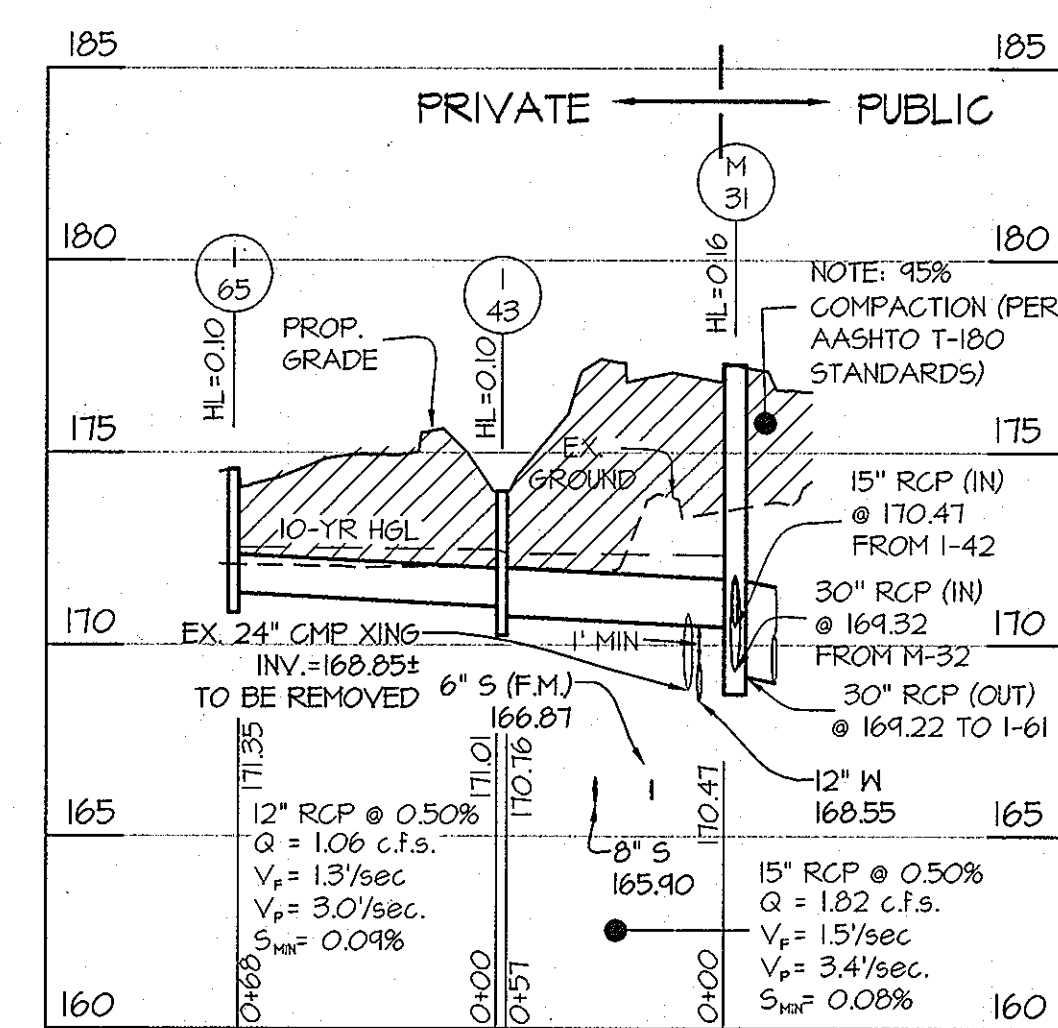
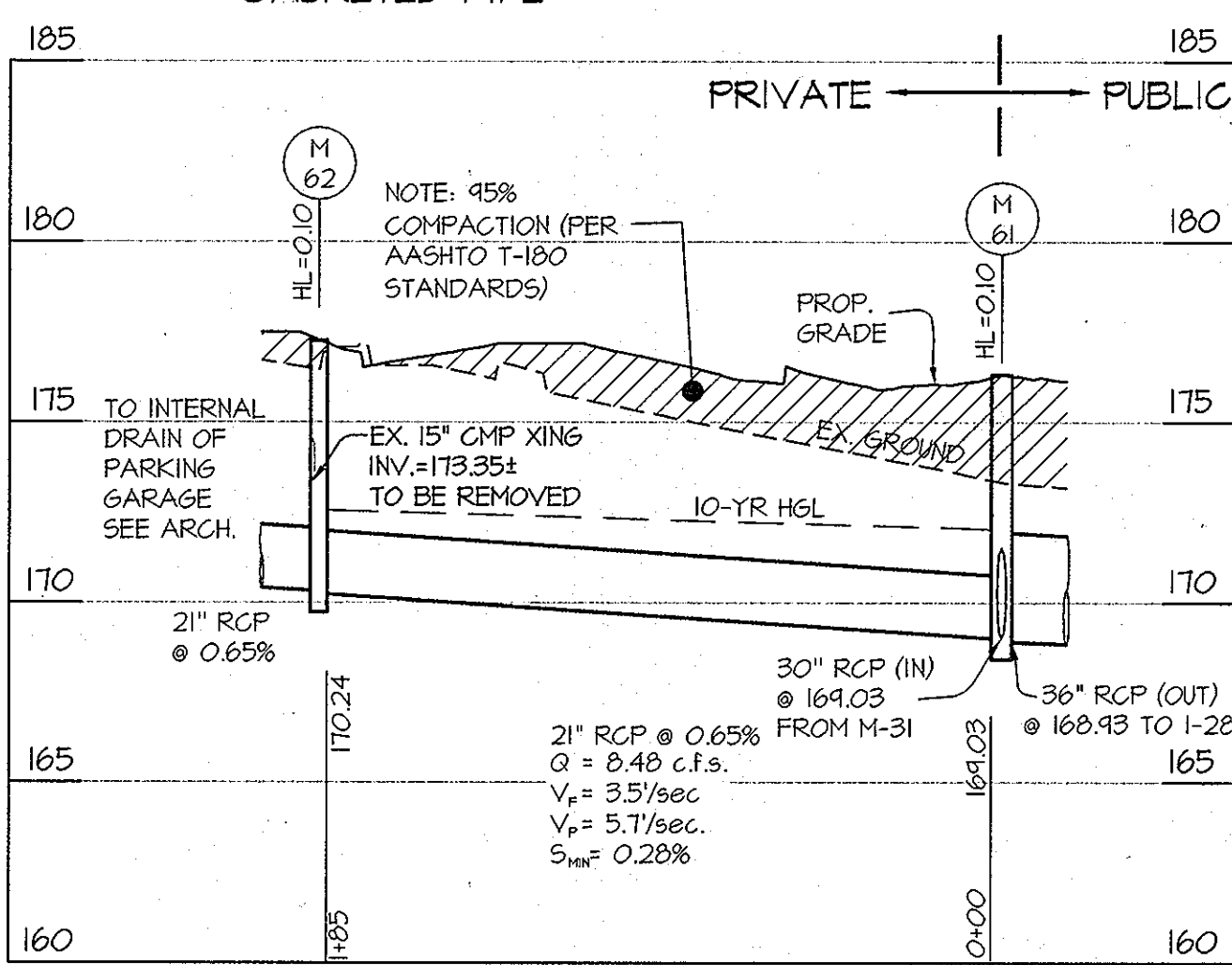
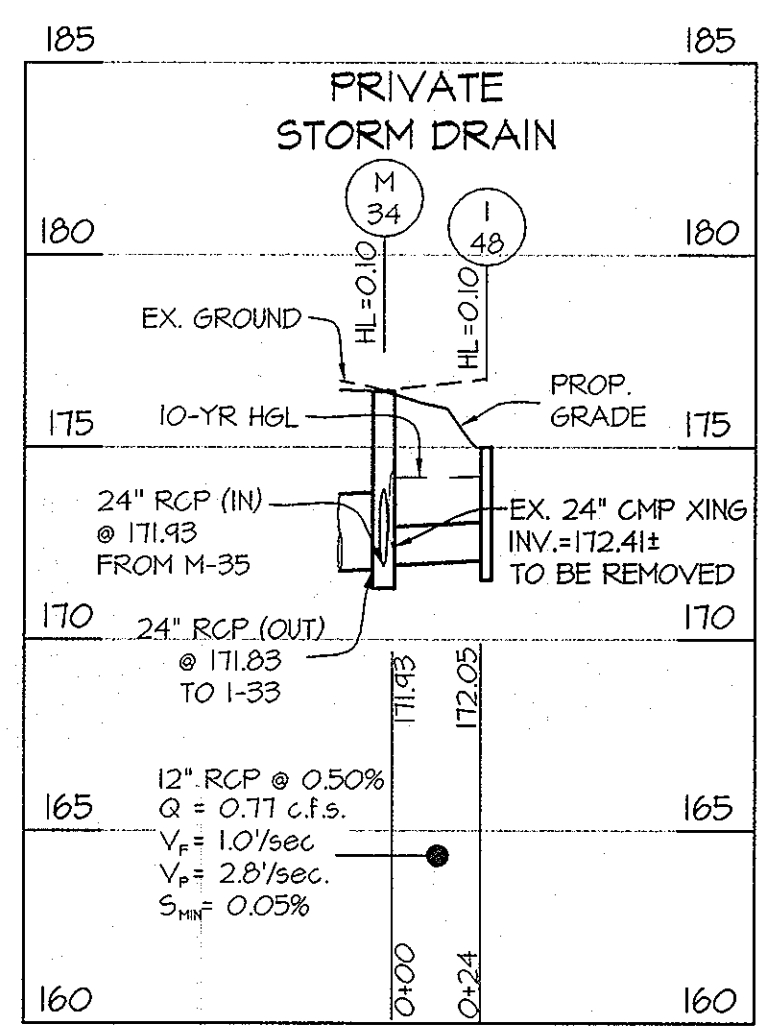
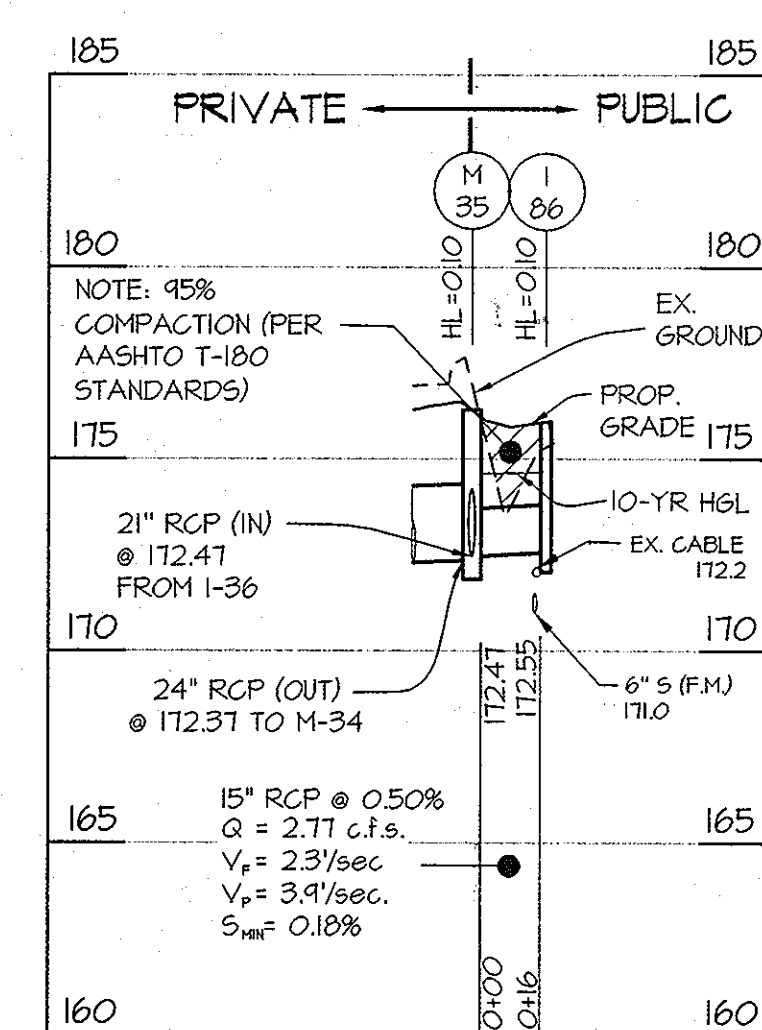
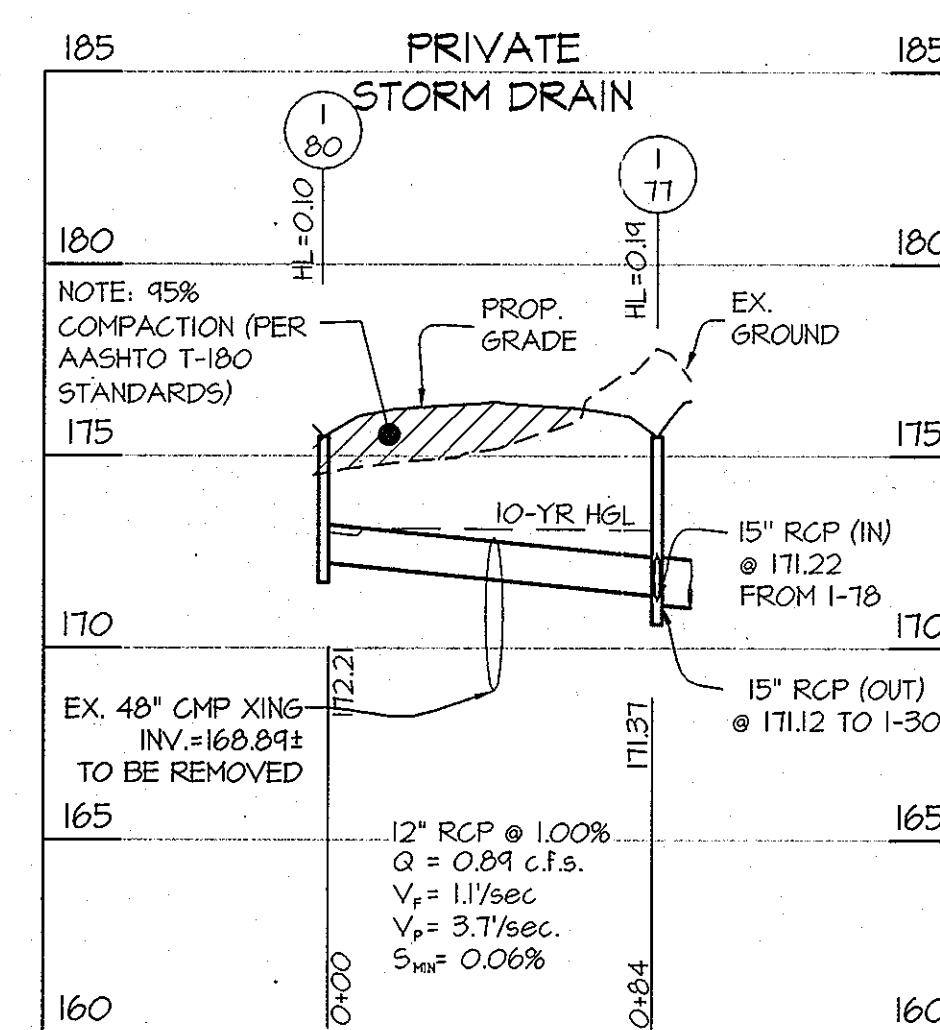
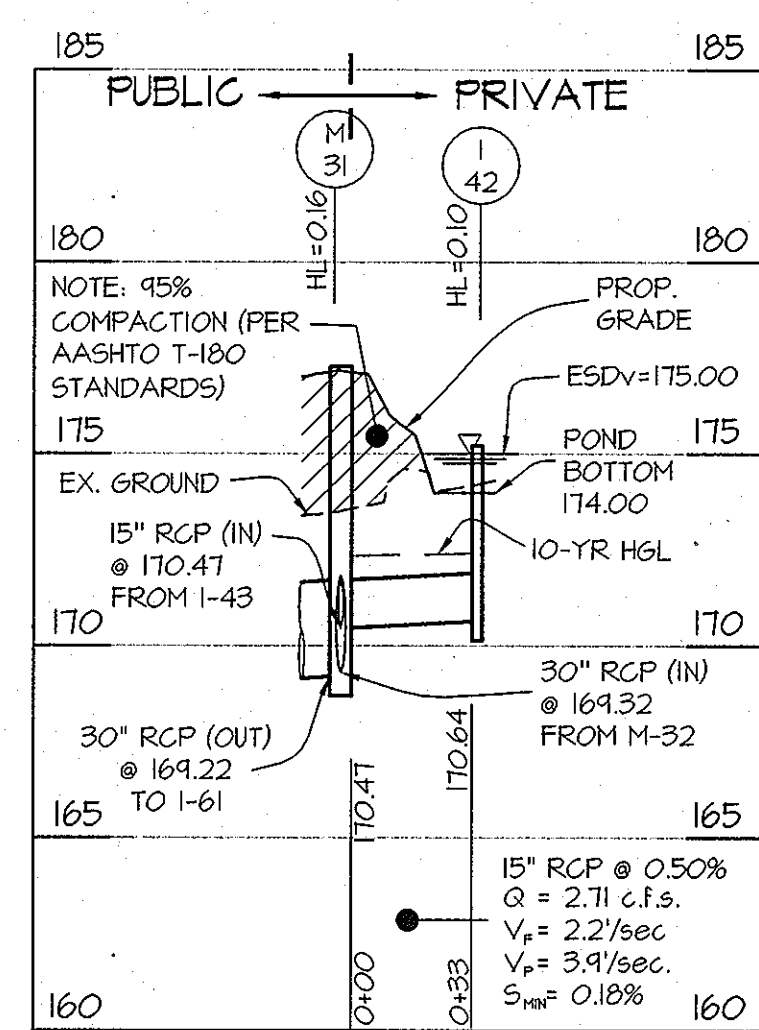
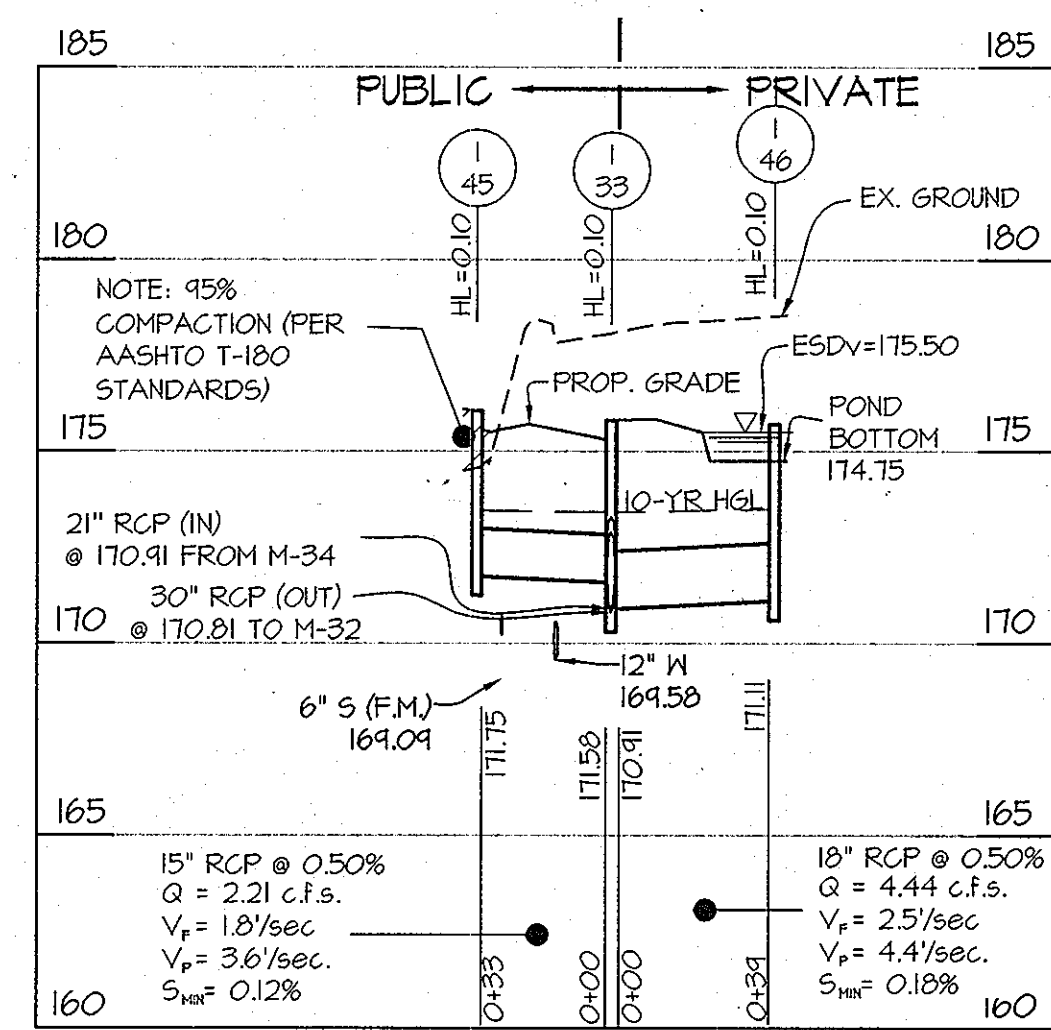
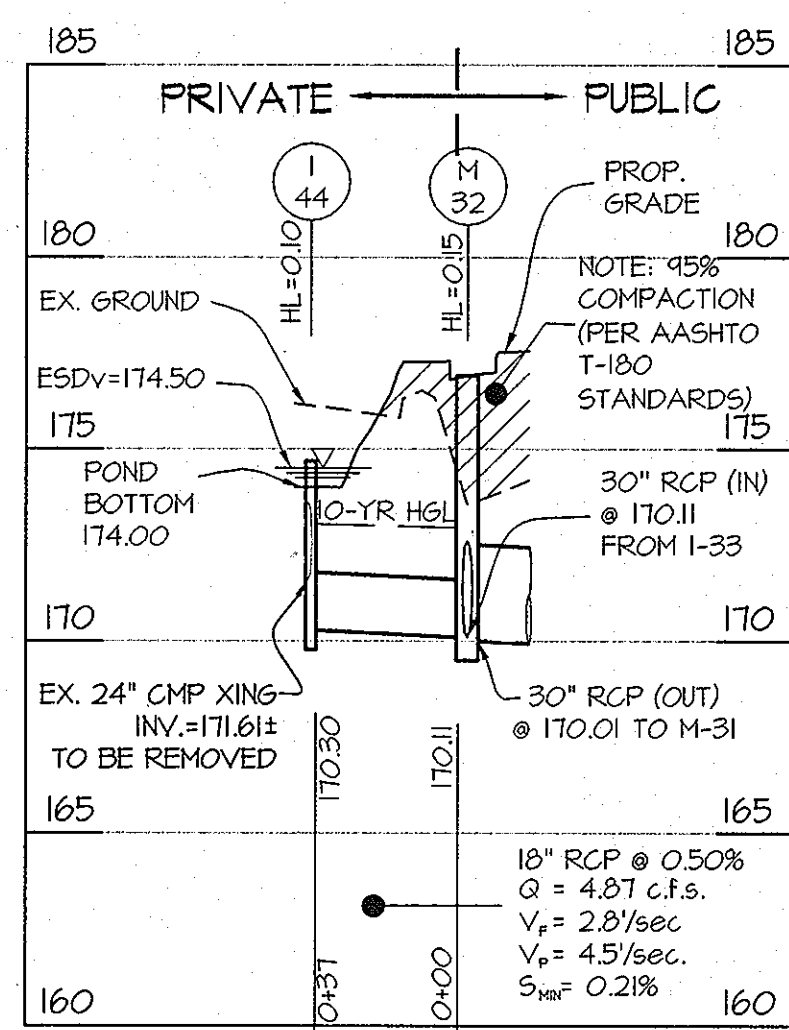
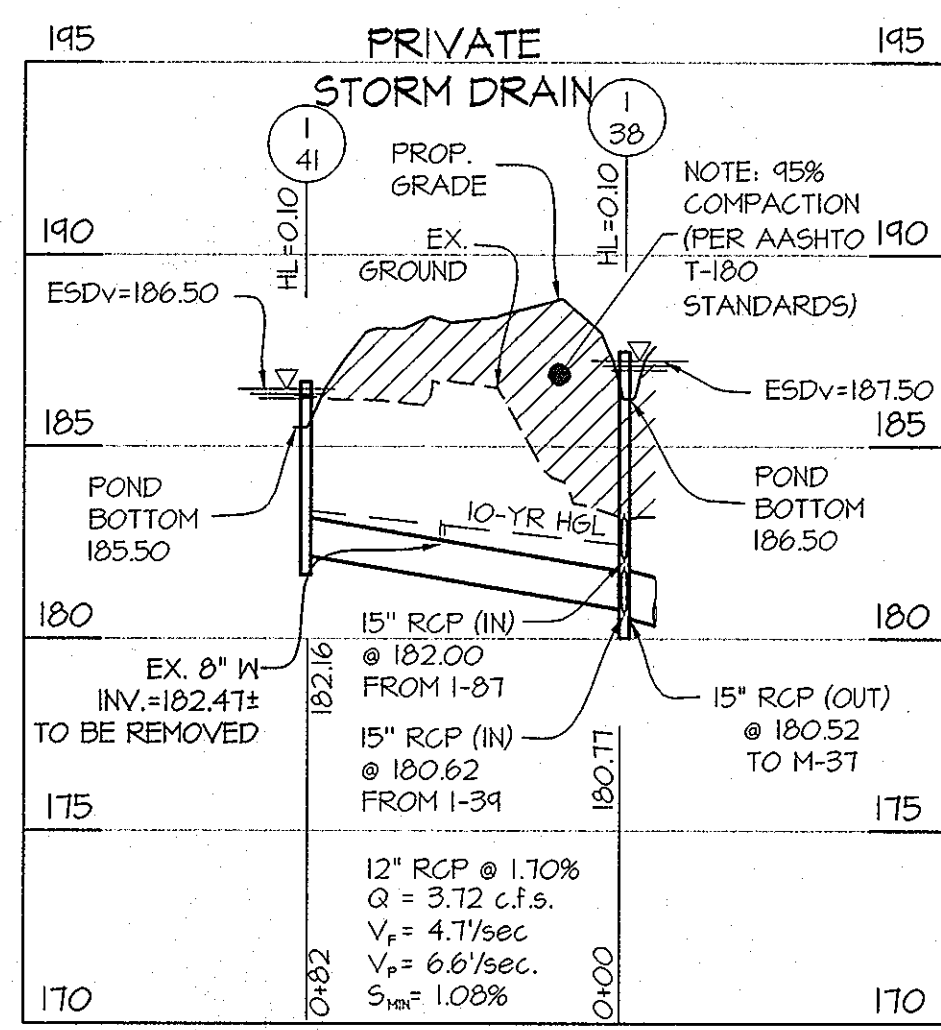
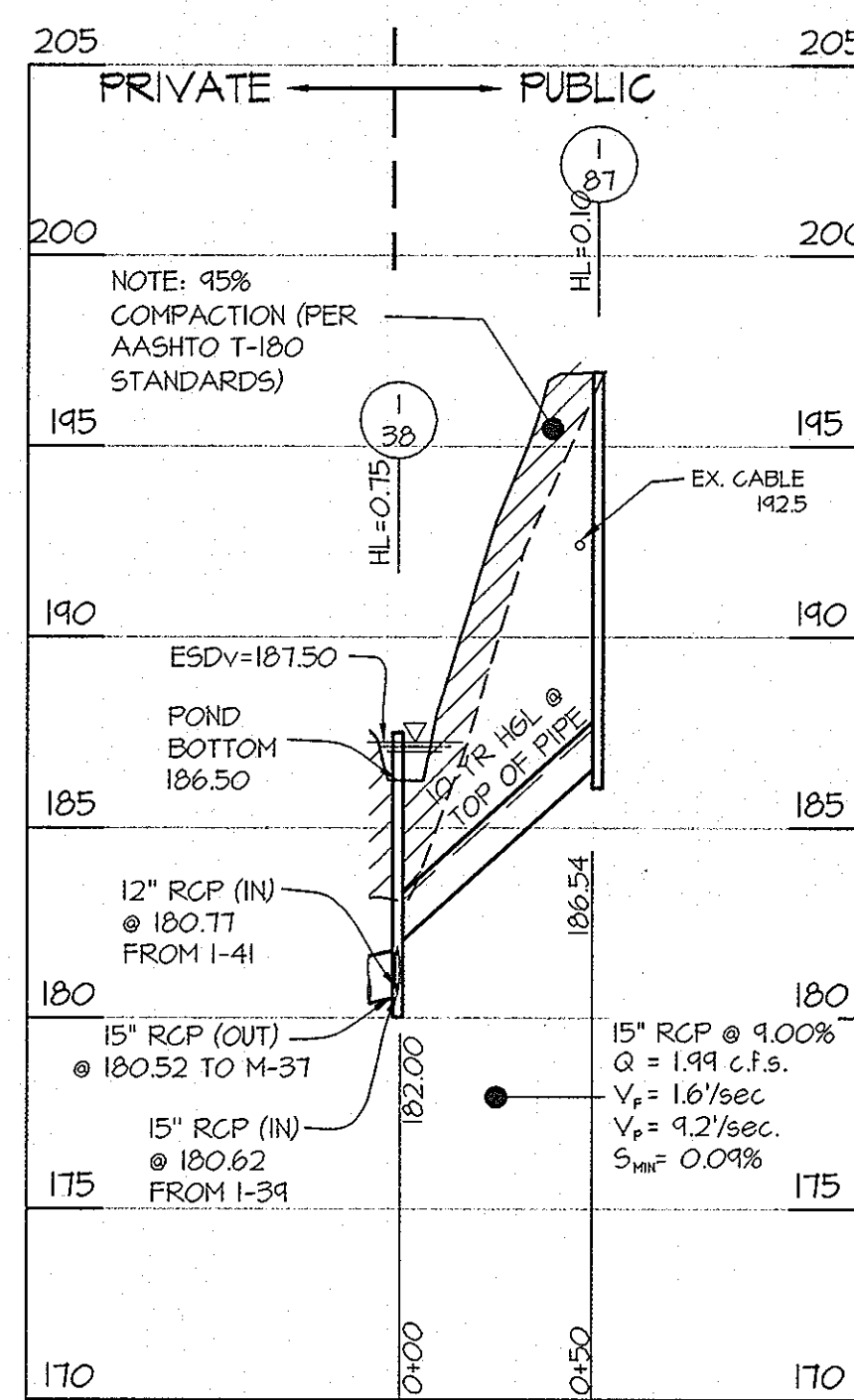
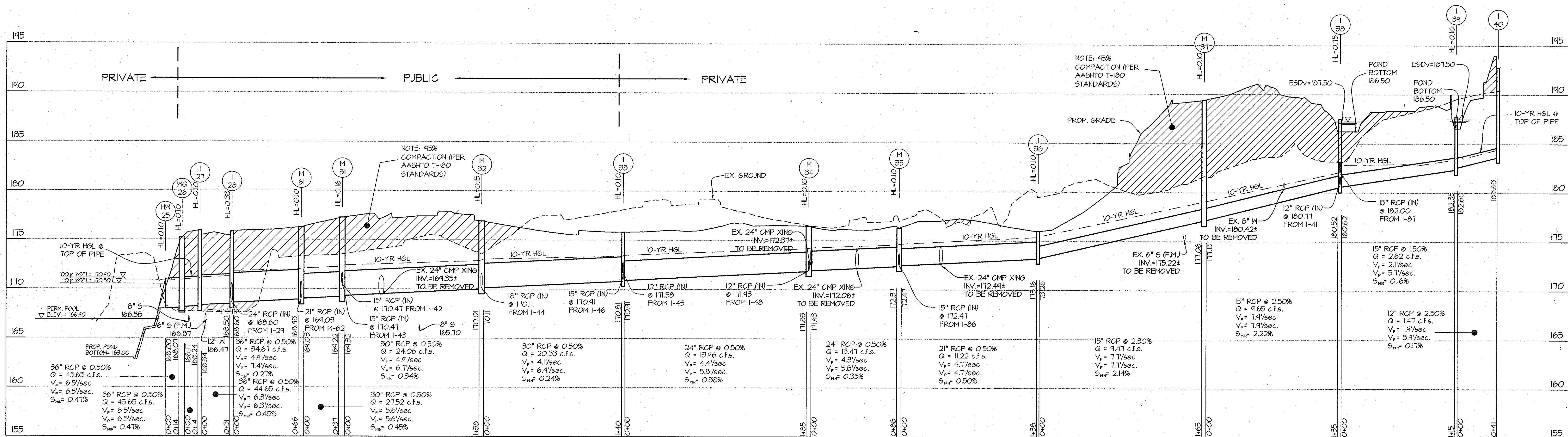
**STORM DRAIN DRAINAGE AREA MAP**

**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G

ELECTION DISTRICT No. 6 GULFORD  
PLAT No. 21-027-117e1

SCALE	ZONING	G. L. W. FILE No.
1"=60'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	24 OF 64





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Howell K. Leung* Date: 5/3/14  
 Chief, Division of Land Development: *Chad Chubb* Date: 5/3/14  
 Chief, Development Engineering Division: *Chad Chubb* Date: 5/23/14

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK  
 BURTENVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.

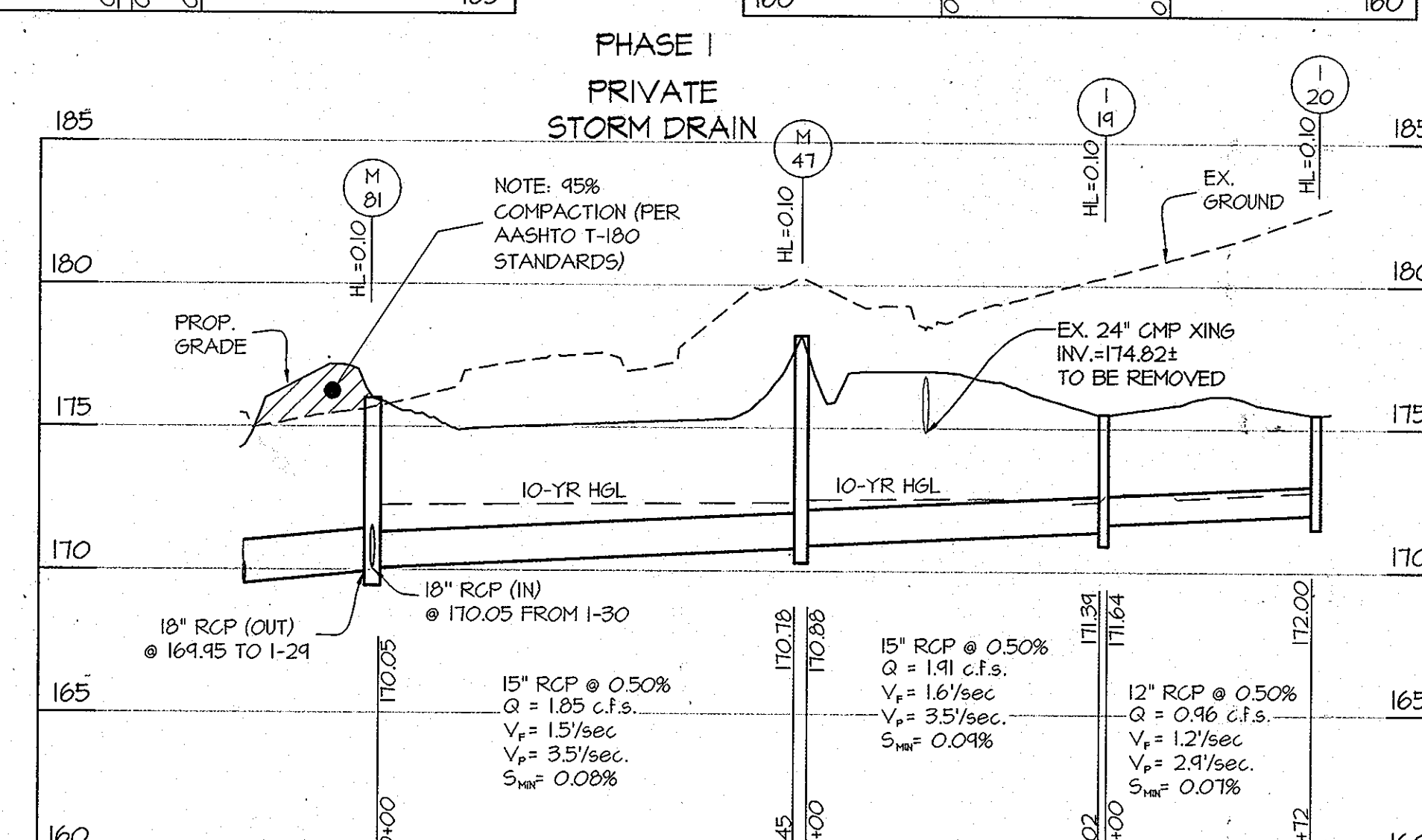
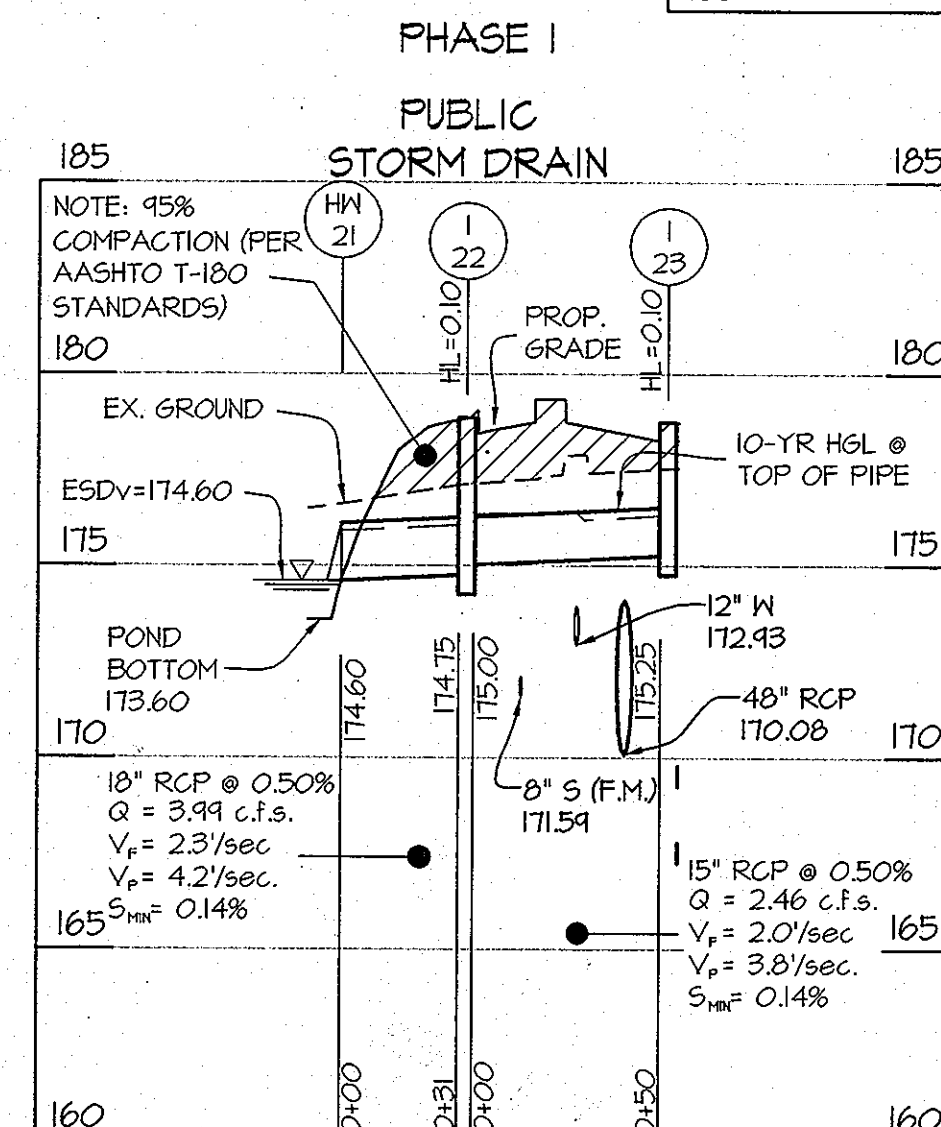
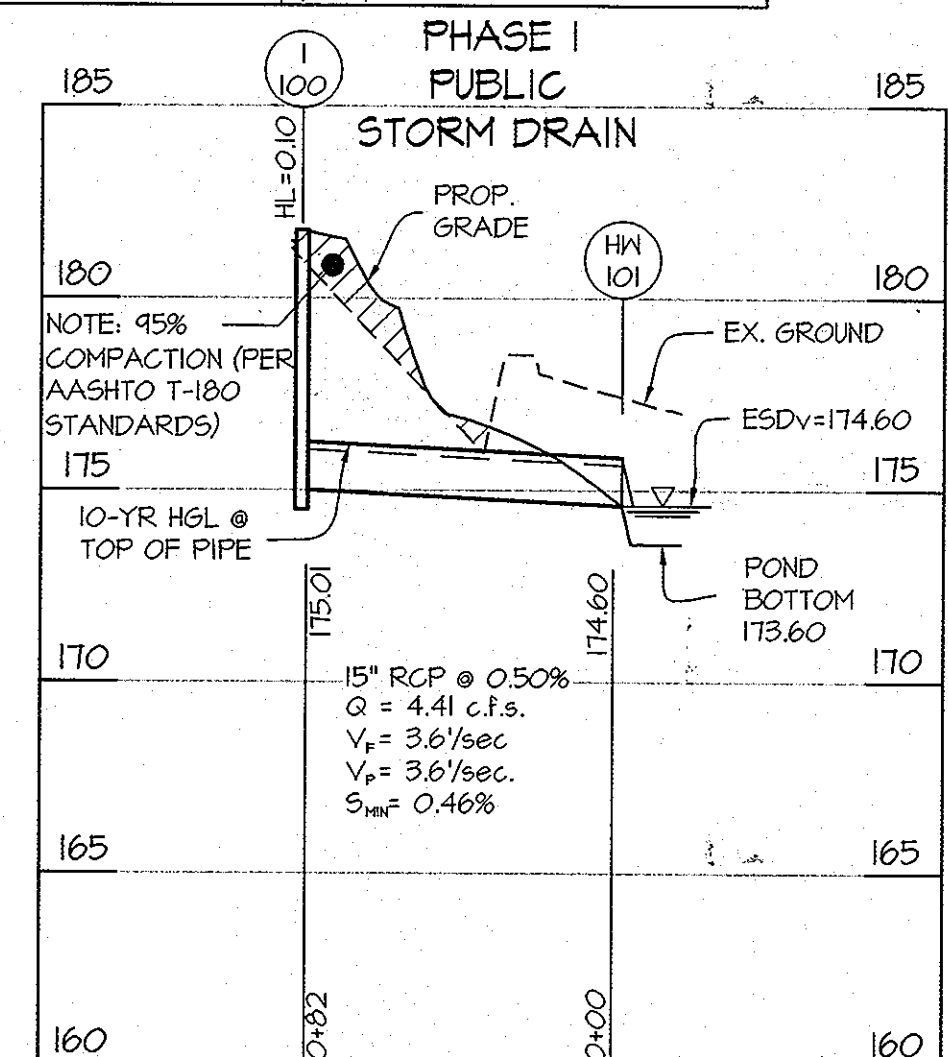
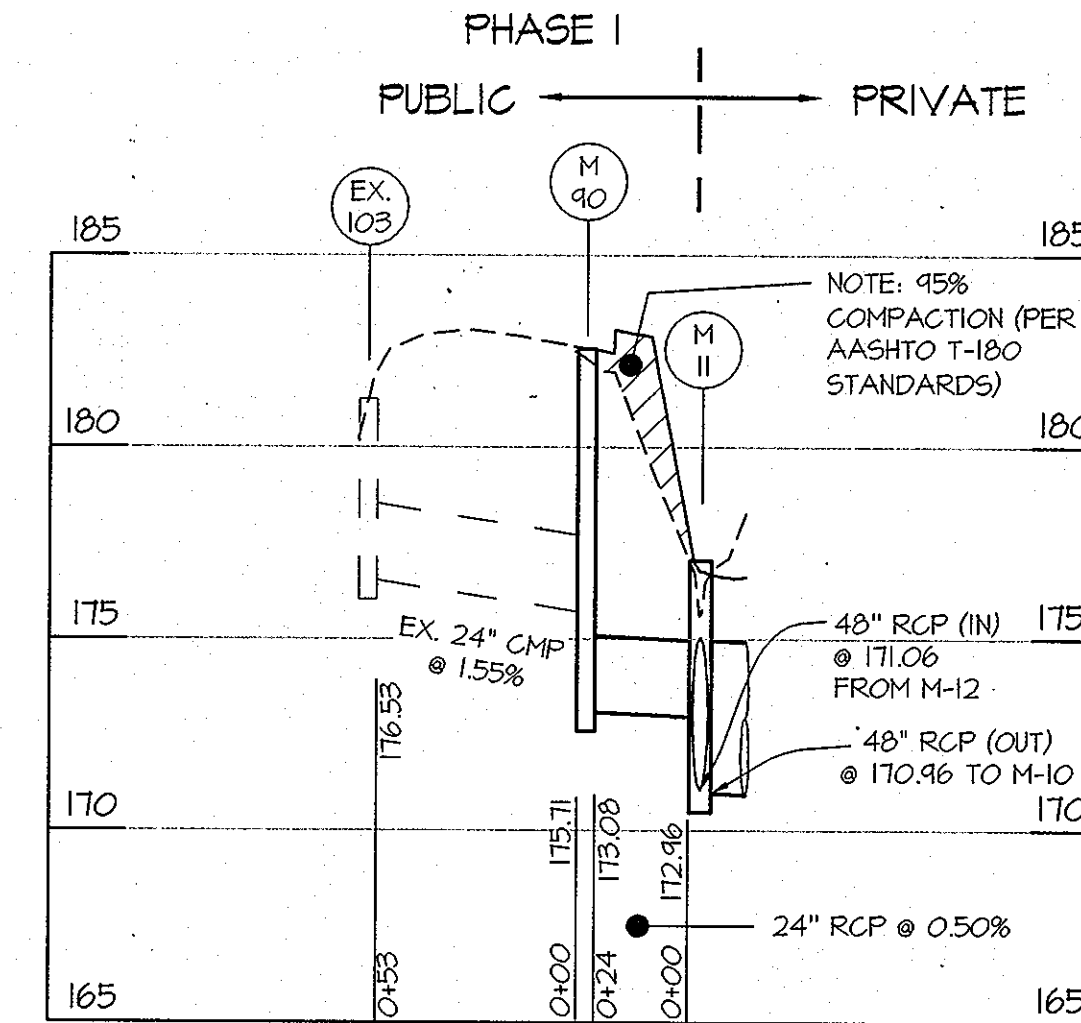
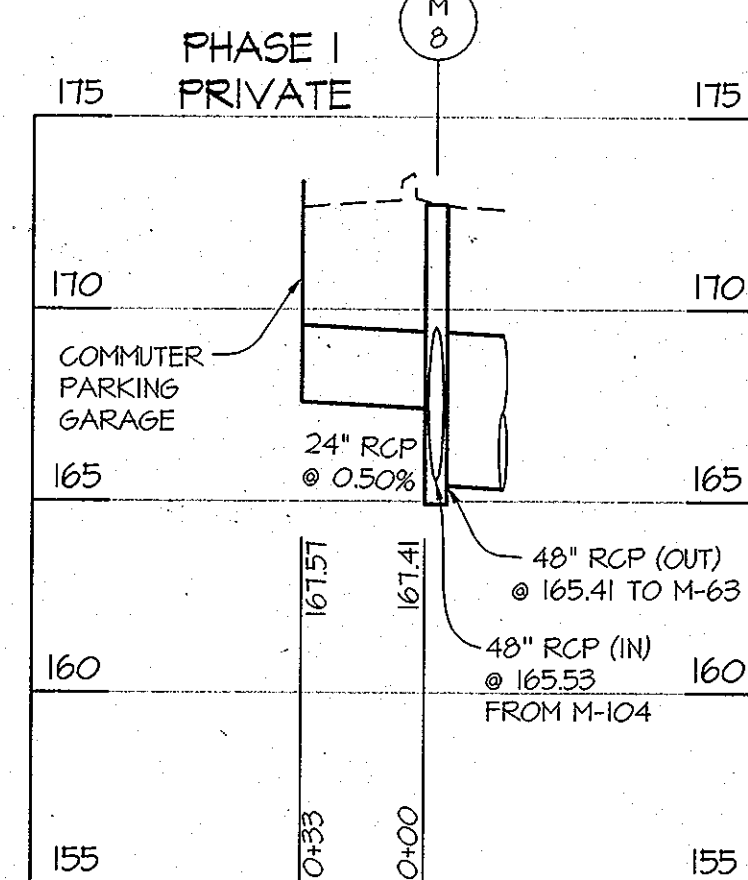
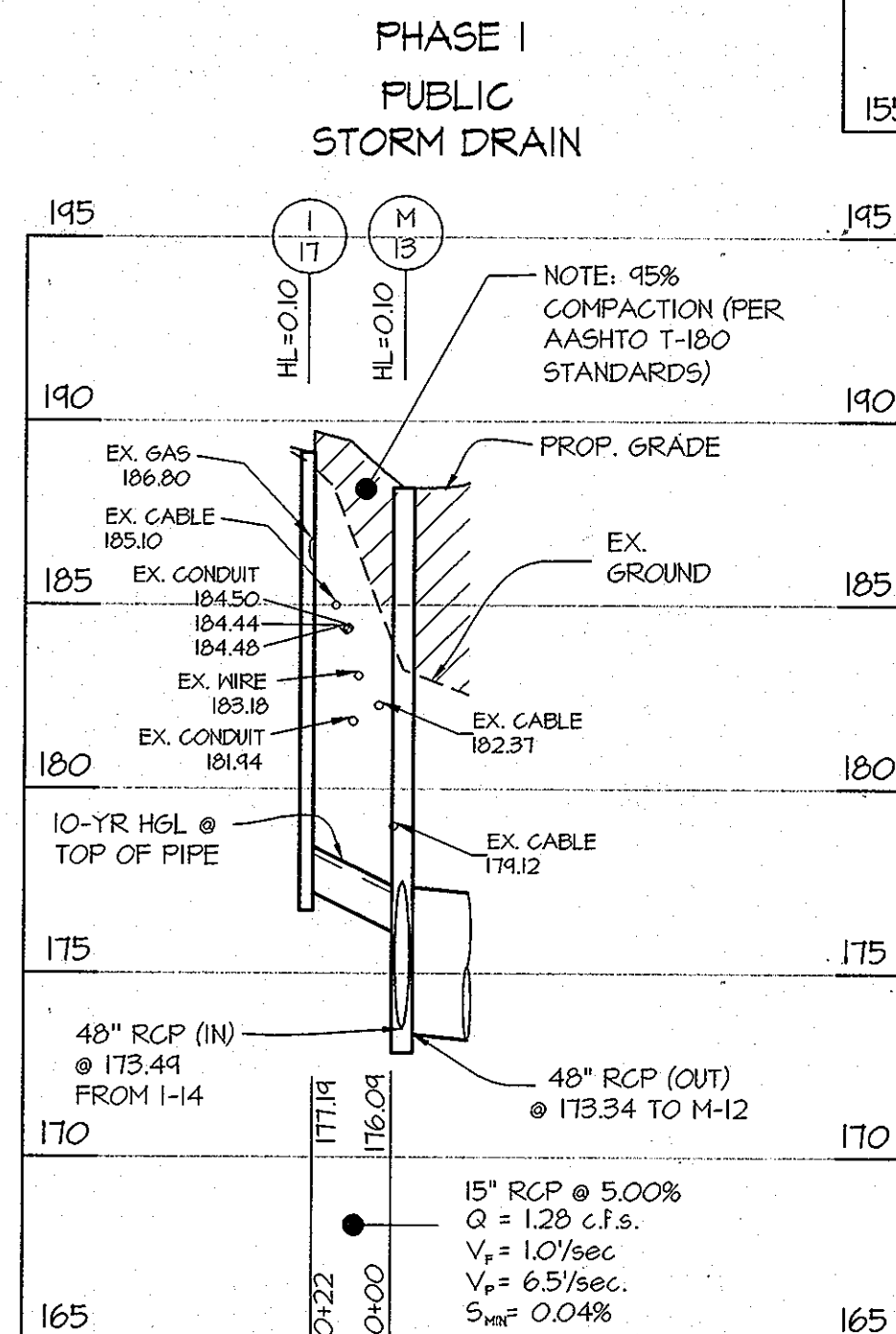
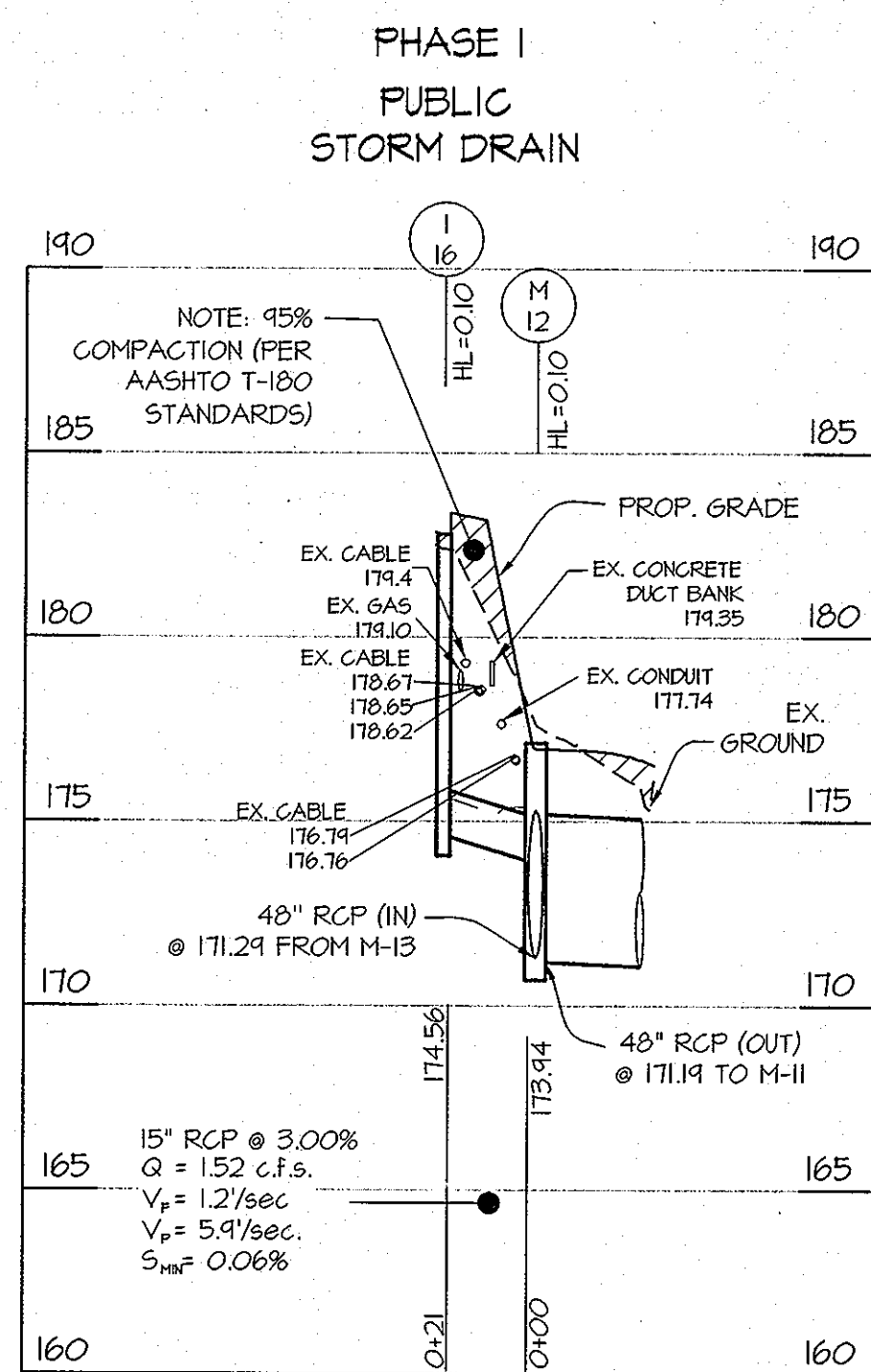
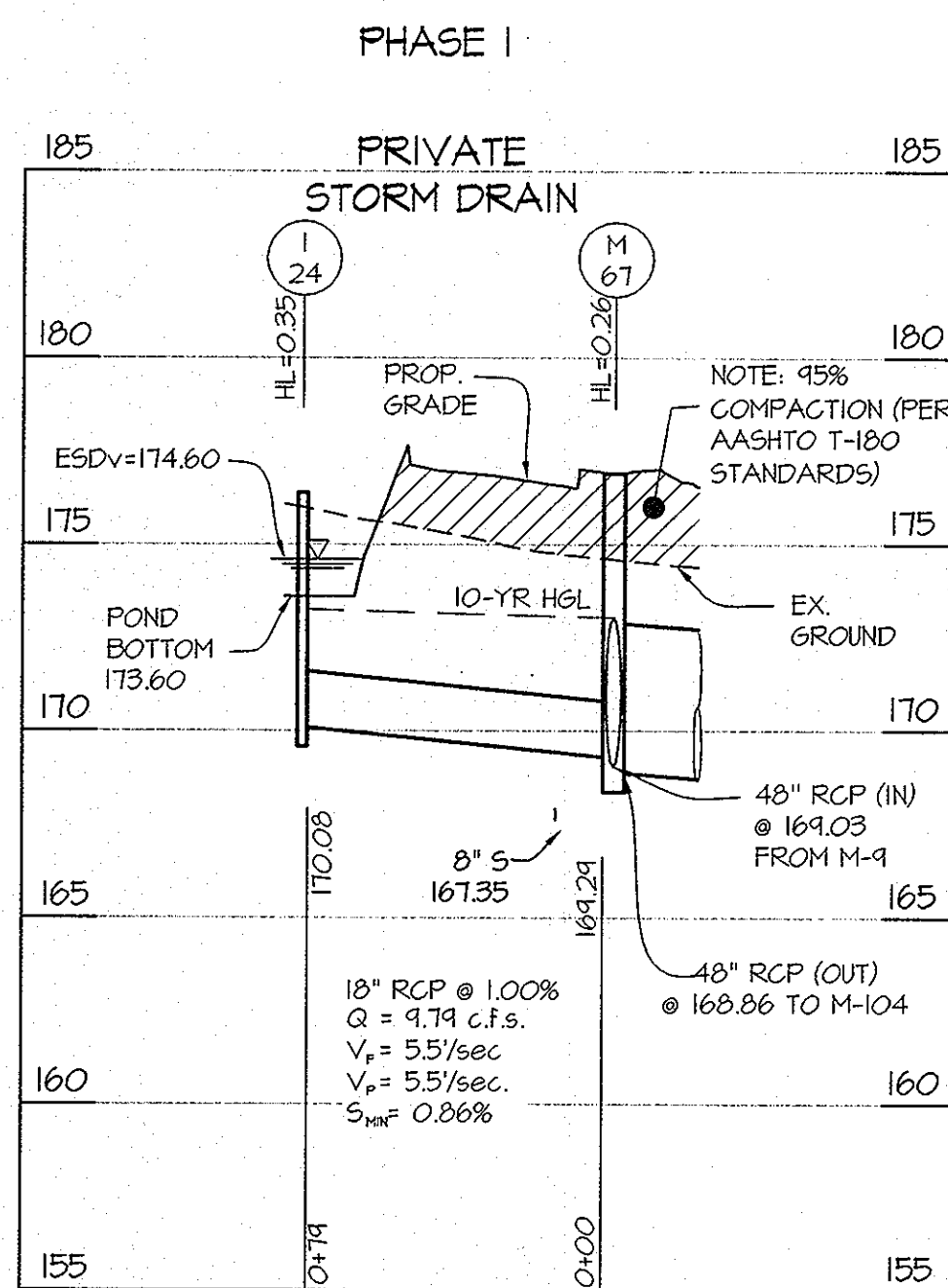
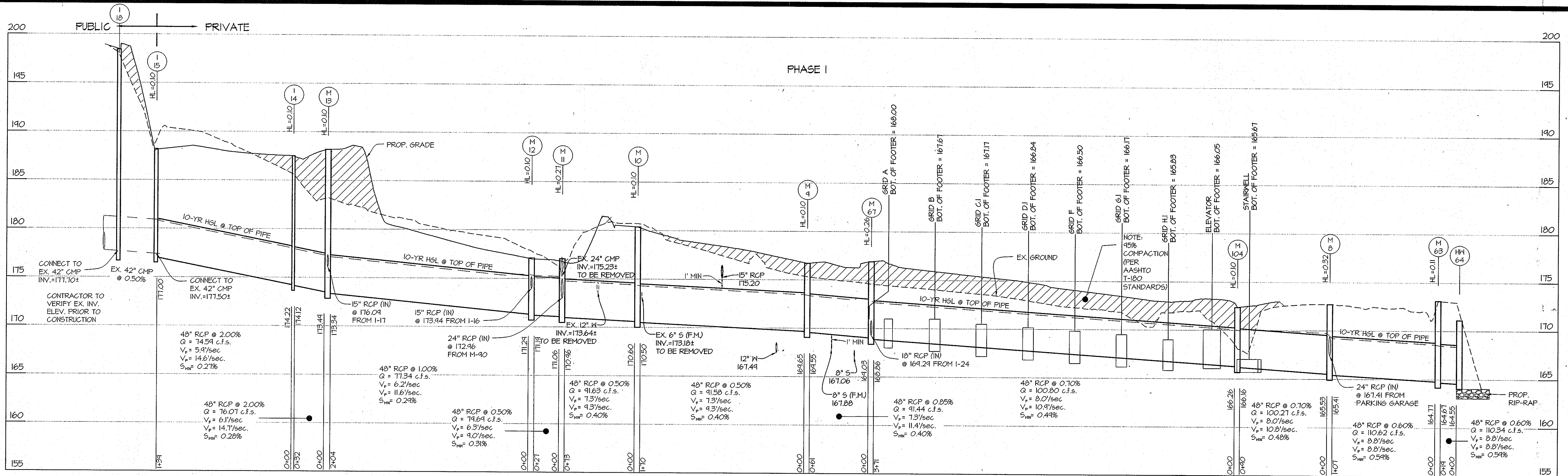
PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE  
 PLANS WERE PREPARED OR  
 APPROVED BY ME, AND THAT I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND,  
 LICENSE NO. 12479  
 EXPIRATION DATE: MAY 26, 2014  
*Chad Chubb*

**STORM DRAIN PROFILES**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
 ELECTION DISTRICT No. 6 GULFORD  
 PLAT No. 22077-2721  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50' (H) 1"=5' (V)	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	25 OF 64





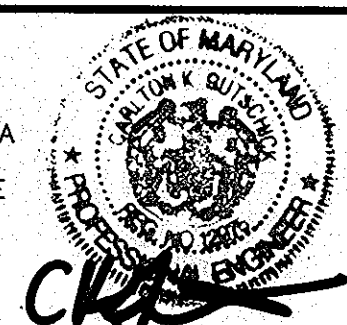
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Mark A. Lough* 5/7/14  
 Chief, Division of Land Development *Chris Edwards* 3/27/14  
 Chief, Development Engineering Division *Chris Edwards* 2.28.14

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-860-1020 DC/VA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12516  
 EXPIRATION DATE: MAY 26, 2014  
*Chris Edwards*



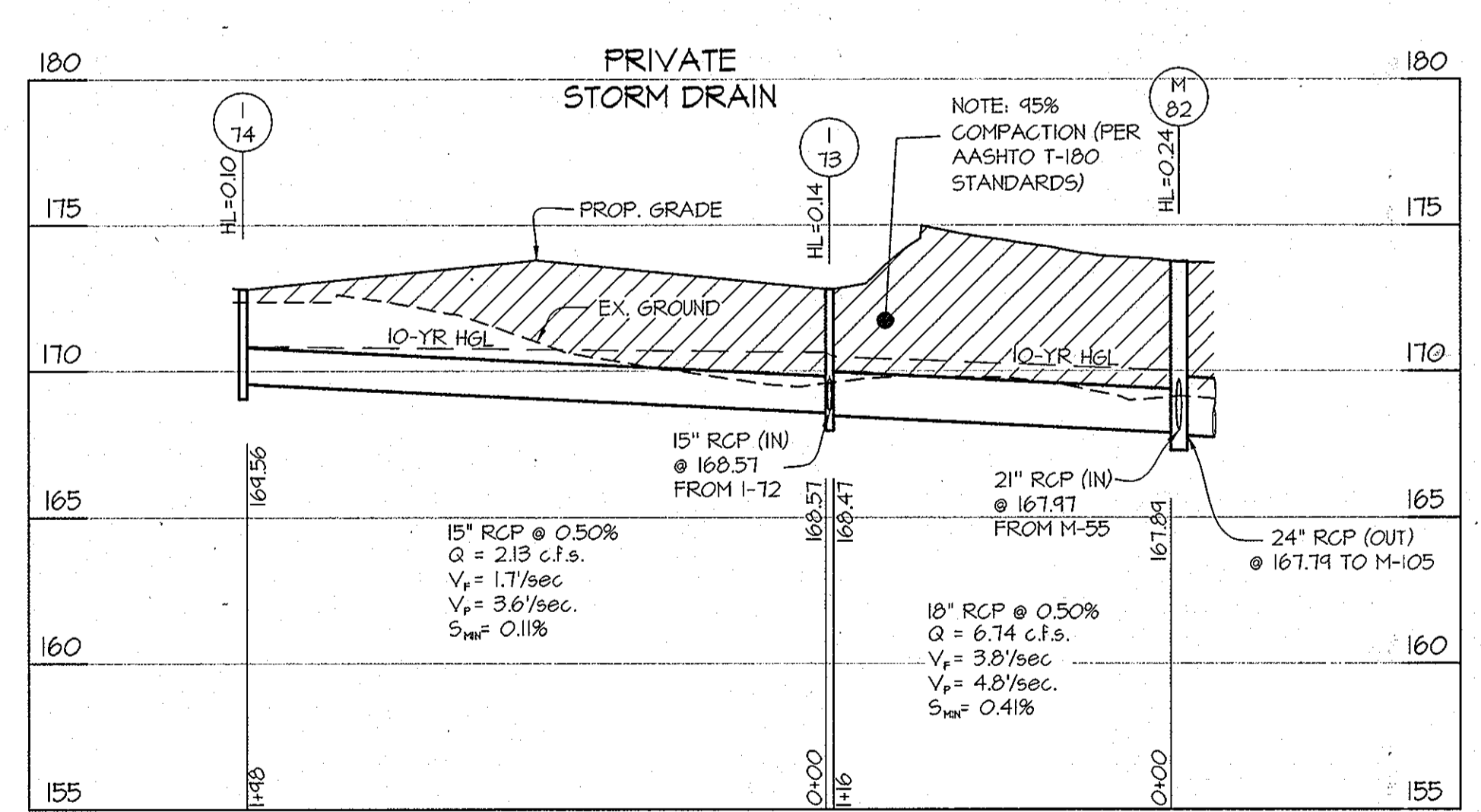
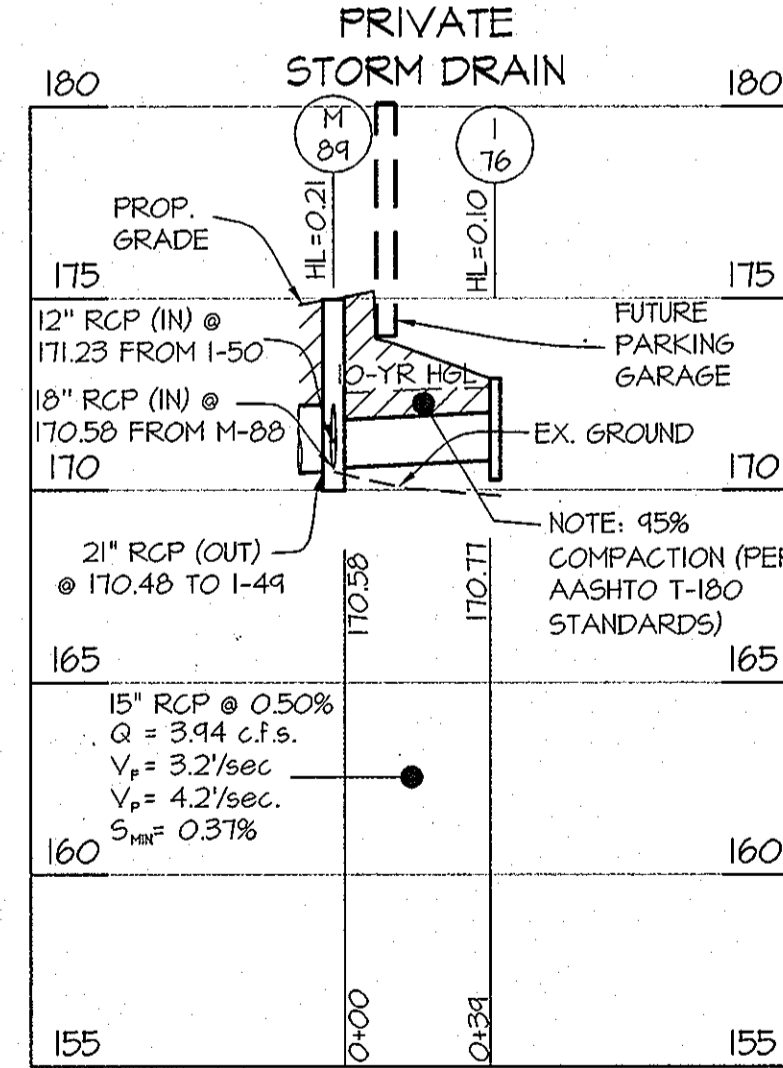
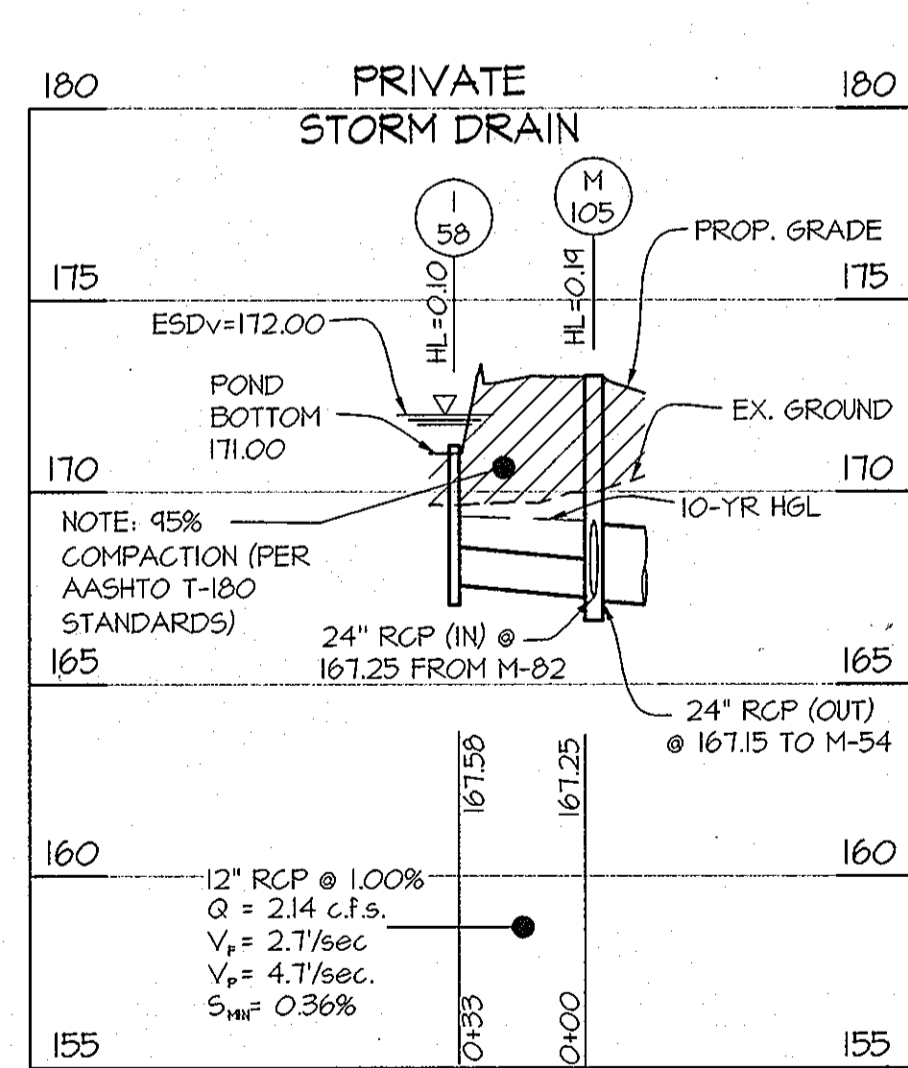
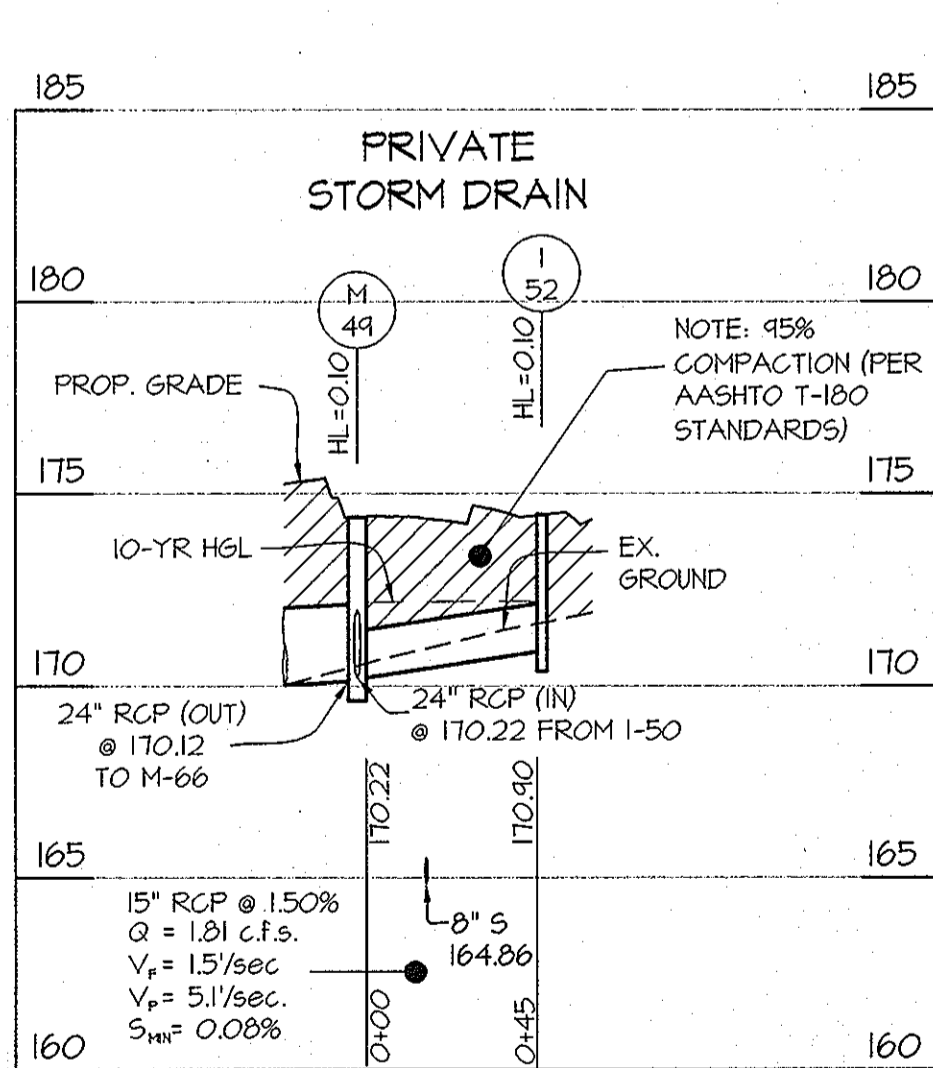
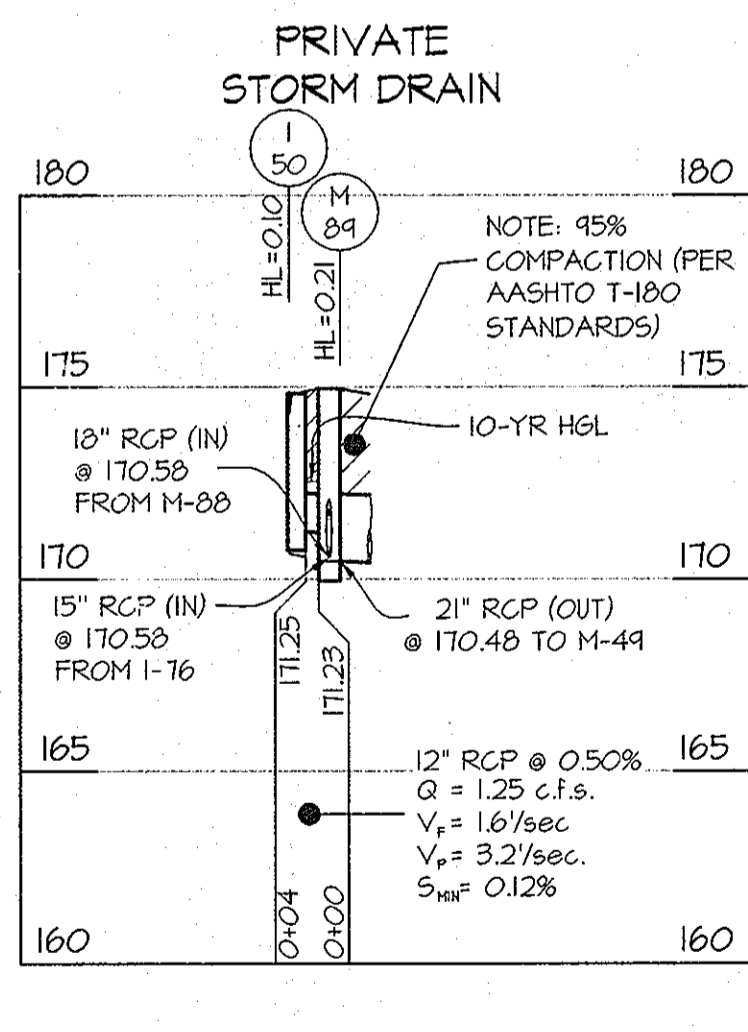
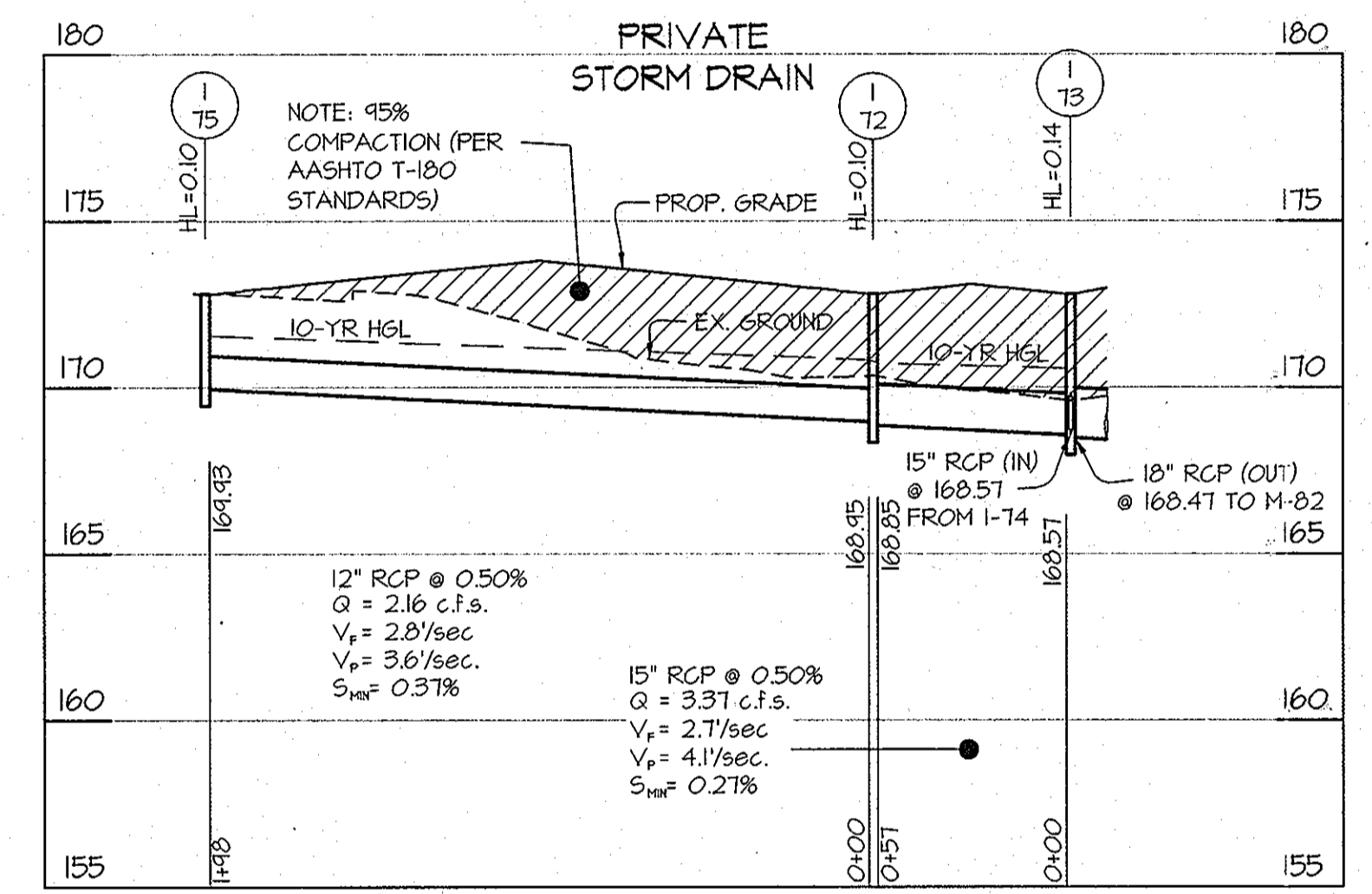
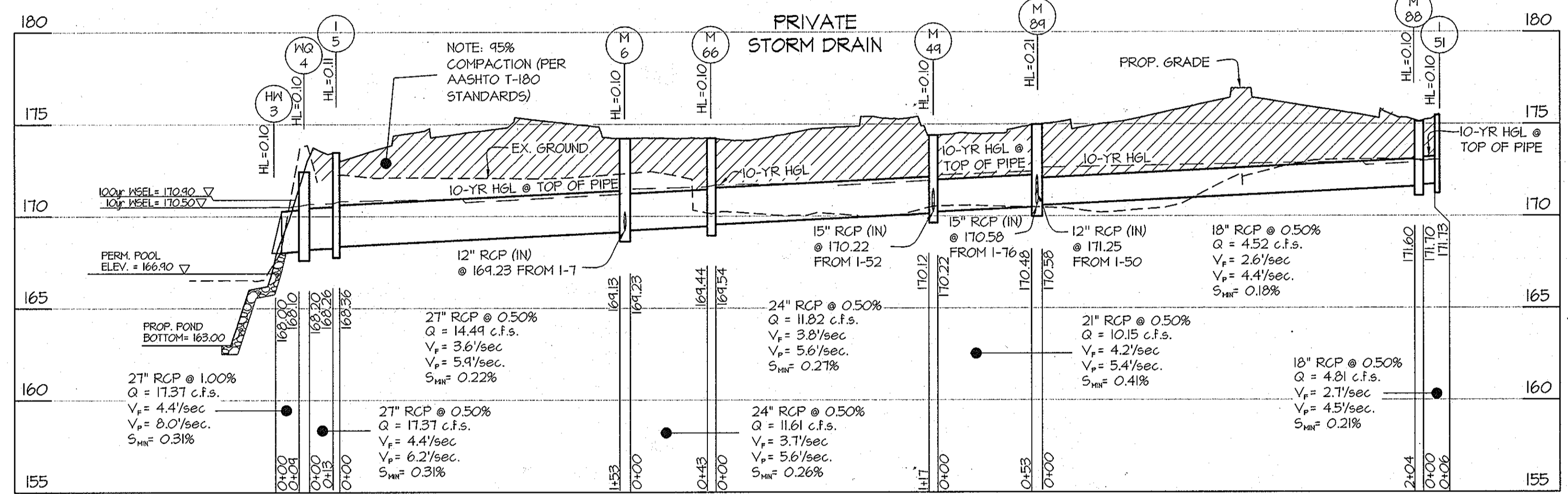
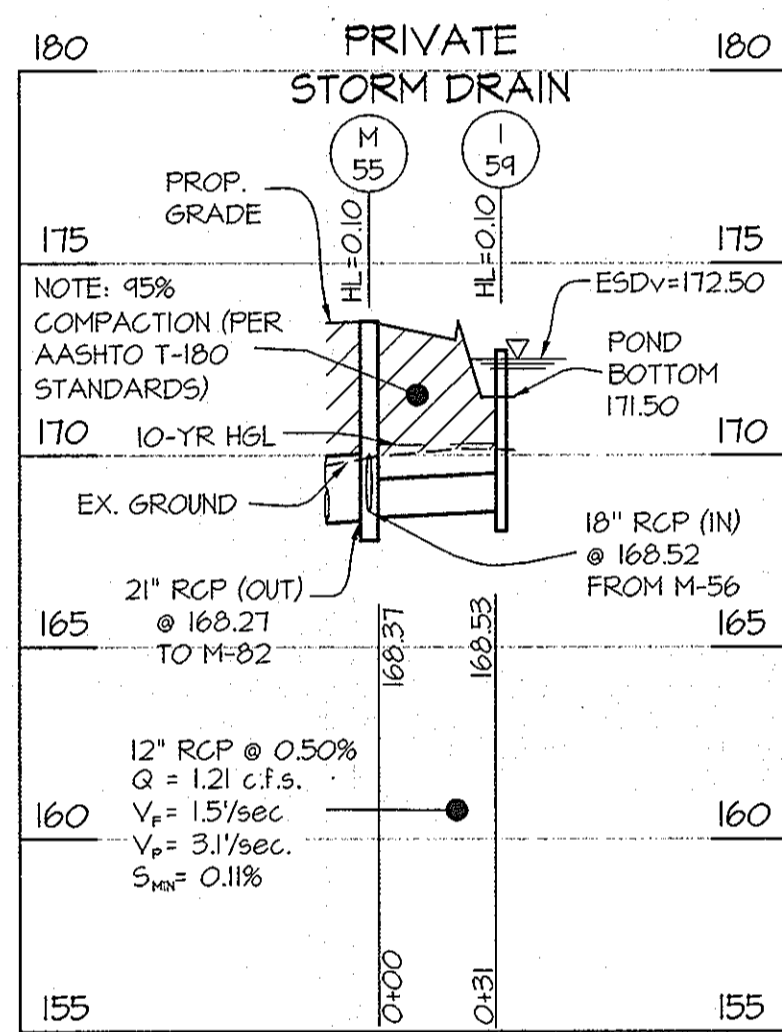
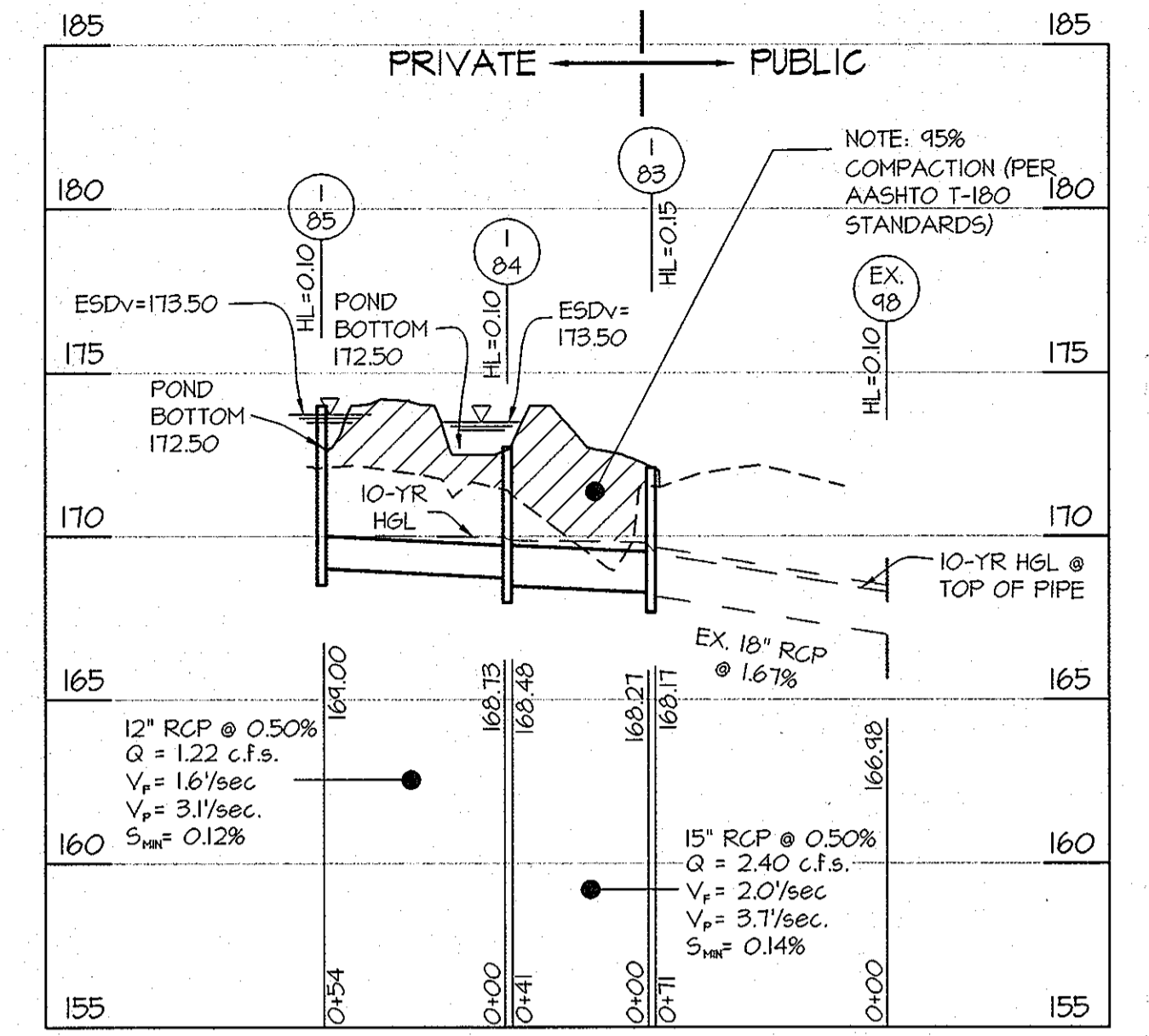
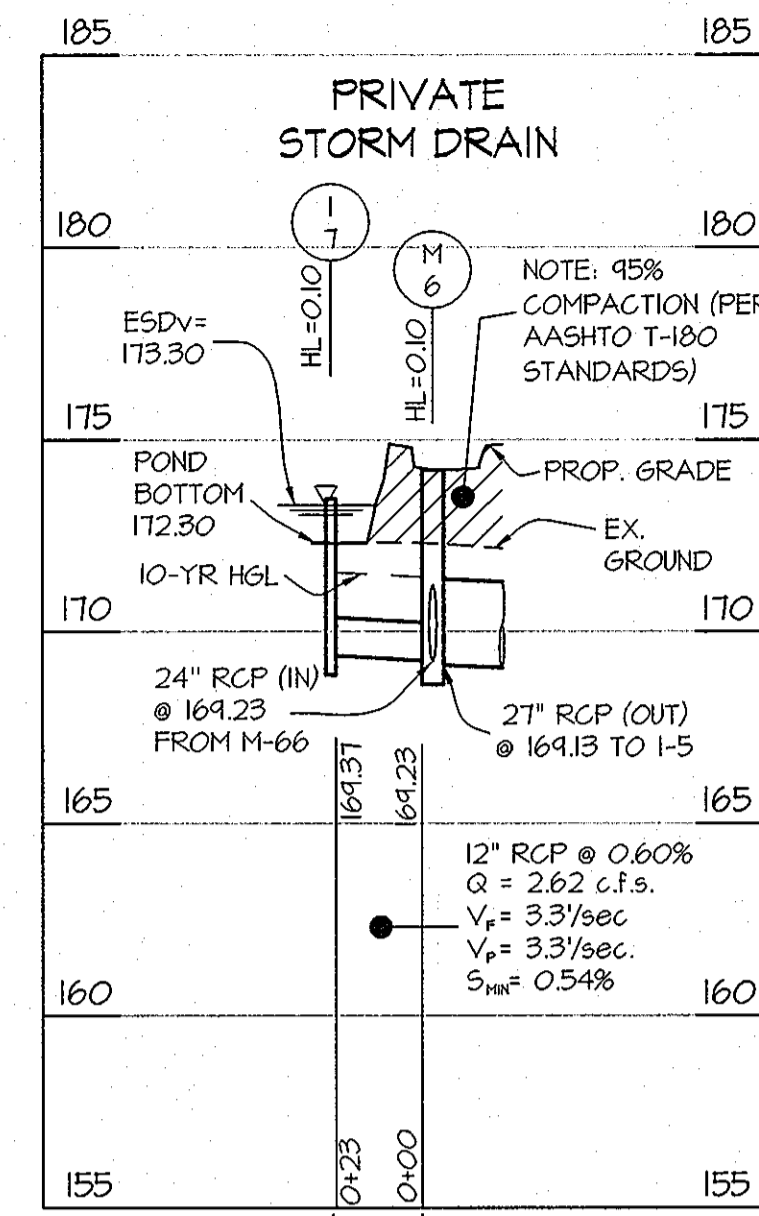
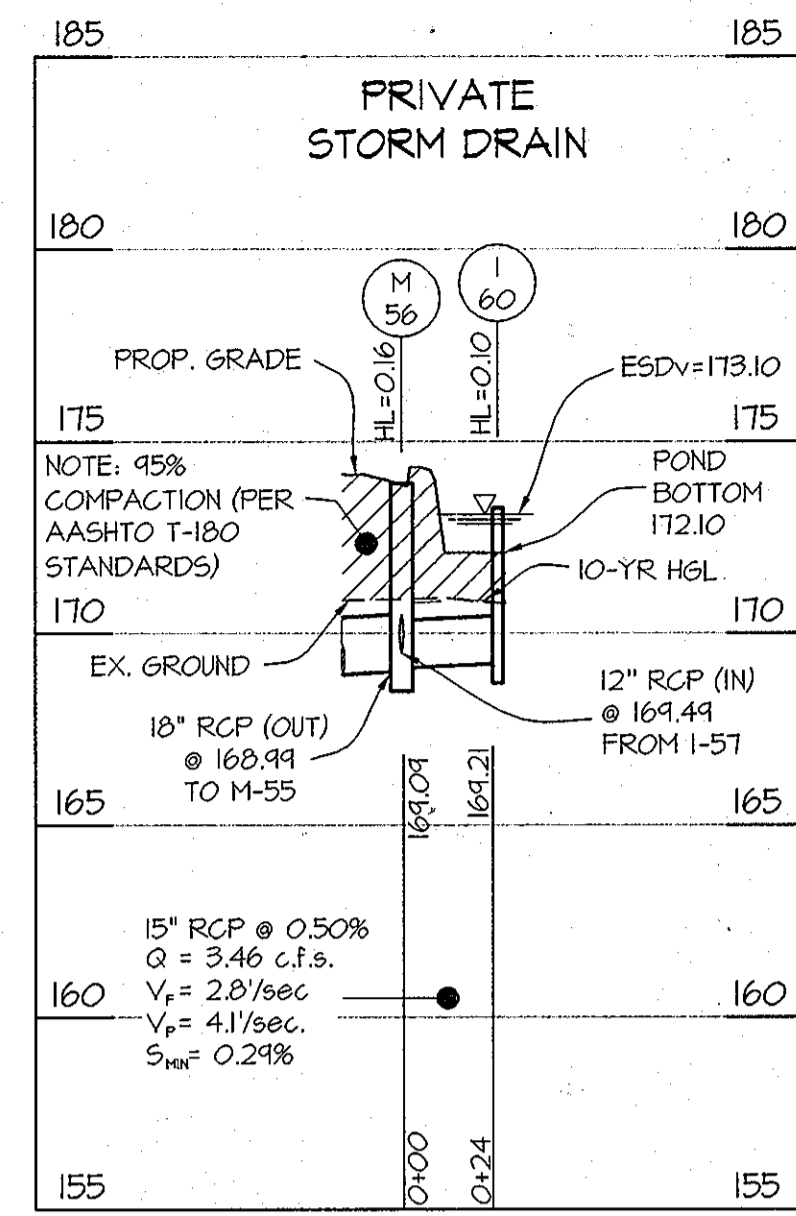
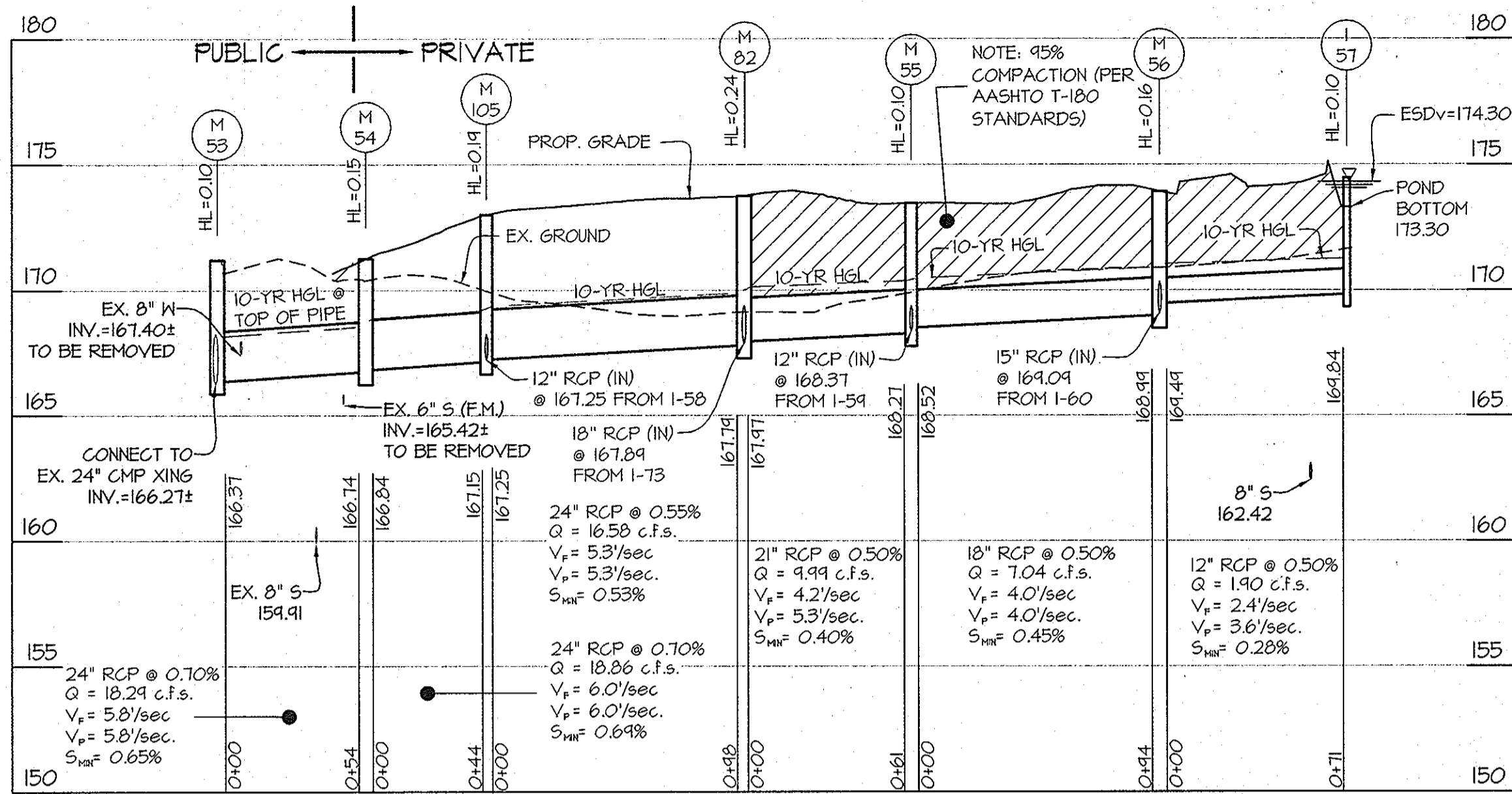
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
 PLAT No. 21097-1172!

ELECTION DISTRICT No. 6 GULFORD HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50' (H) 1"=5' (V)	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	26 OF 64

I:\PROJECTS\11107\PLANS BY QLS\11107-25-28-30P-30-PROF.dwg DES. MAJ DRN. LMW CHK. MAJ DATE REVISION BY APPR.





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David L. Long* 2/3/14  
Director Date

*Kate Schuchman* 2/07/14  
Chief, Division of Land Development Date

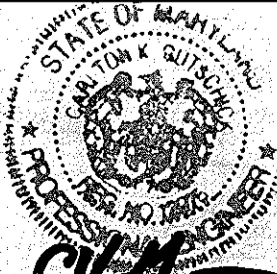
*Chad Edinger* 2-28-14  
Chief, Development Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK  
BURTENVILLE, MARYLAND 20868  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-999-2524 FAX: 301-421-4188

DATE REVISION BY APPR.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZAORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
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APPROVED BY ME, AND THAT I AM A  
DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE  
STATE OF MARYLAND,  
LICENSE NO. 1276  
EXPIRATION DATE: MAY 28, 2014  
3-10-14



STORM DRAIN PROFILES  
**ANNAPOLIS JUNCTION TOWN CENTER**  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 22077-1121  
ELECTION DISTRICT No. 6 GULFORD  
HOWARD COUNTY, MARYLAND

SCALE 1"=50' (H) 1"=5' (V)	ZONING T.O.D.	G. L. W. FILE NO. 11107
DATE MAY, 2013	TAX MAP - GRID 48-20	SHEET 27 OF 64

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4. C:\GWD\WORK\11107\PLANS BY GUY\SUP\11107-25-28-SP-53-PROJ.dwg



PUBLIC OR PRIVATE	NO	TYPE	WIDTH (INSIDE)	STRUCTURE SCHEDULE CONT.						STD. DETAIL	LOCATIONS	REMARKS
				TOP ELEVATION			INVERT					
				PROPOSED UPPER	PROPOSED LOWER	AS-BUILT	PROPOSED UPPER	PROPOSED LOWER	AS-BUILT			
PRIVATE	M-6	STANDARD MANHOLE	5'-0"	---	174.2	---	169.23	169.13	---	HO. CO. 6-513	N 530,637 E 1370,516	
PRIVATE	M-8	STANDARD MANHOLE	7'-0"	---	172.7	---	167.41	165.41	---	MD 384.07	N 530,508 E 1370,158	
PRIVATE	M-9	STANDARD MANHOLE	7'-0"	---	176.7	---	169.65	169.55	---	MD 384.07	N 530,981 E 1370,212	
PRIVATE	M-10	STANDARD MANHOLE	7'-0"	---	174.9	---	170.60	170.50	---	MD 384.07	N 531,050 E 1370,043	
PRIVATE	M-11	STANDARD MANHOLE	7'-0"	---	177.0	---	172.96	170.96	---	MD 384.07	N 531,125 E 1370,064	
PRIVATE	M-12	STANDARD MANHOLE	6'-0"	---	177.1	---	173.44	171.94	---	MD 384.05	N 531,154 E 1370,074	
PRIVATE	M-13	STANDARD MANHOLE	6'-0"	---	188.2	---	176.04	173.34	---	MD 384.05	N 531,324 E 1370,134	
PUBLIC	M-31	STANDARD MANHOLE	6'-0"	---	177.3	---	170.47	169.22	---	MD 384.05	N 530,935 E 1370,424	
PUBLIC	M-32	STANDARD MANHOLE	6'-0"	---	178.9	---	171.11	171.01	---	MD 384.05	N 530,964 E 1370,567	
PUBLIC	M-34	SQUARE MANHOLE	4'-0"	---	176.5	---	171.93	171.83	---	MD 383.00	N 531,180 E 1370,821	
PRIVATE	M-35	STANDARD MANHOLE	4'-0"	---	176.3	---	172.47	172.37	---	HO. CO. 6-512	N 531,212 E 1370,825	
PRIVATE	M-37	STANDARD MANHOLE	4'-0"	---	184.4	---	177.15	177.06	---	HO. CO. 6-512	N 531,371 E 1370,537	
PRIVATE	M-47	STANDARD MANHOLE	4'-0"	---	177.9	---	170.88	170.78	---	HO. CO. 6-512	N 531,075 E 1370,074	
PRIVATE	M-49	STANDARD MANHOLE	4'-0"	---	174.4	---	170.22	170.12	---	HO. CO. 6-512	N 530,714 E 1370,552	
PUBLIC	M-53	STANDARD MANHOLE	5'-0"	---	171.2	---	---	166.37	---	HO. CO. 6-513	N 531,164 E 1371,236	
PUBLIC	M-54	SQUARE MANHOLE	4'-0"	---	171.3	---	167.74	166.74	---	MD 383.00	N 531,114 E 1371,183	
PRIVATE	M-55	STANDARD MANHOLE	4'-0"	---	173.5	---	168.52	168.27	---	HO. CO. 6-512	N 531,014 E 1371,066	
PRIVATE	M-56	SQUARE MANHOLE	4'-0"	---	173.9	---	169.49	168.99	---	MD 383.00	N 531,047 E 1371,910	
PUBLIC	M-61	STANDARD MANHOLE	5'-0"	---	176.3	---	169.03	168.93	---	HO. CO. 6-513	N 530,946 E 1370,389	
PRIVATE	M-62	STANDARD MANHOLE	4'-0"	---	177.3	---	170.34	170.24	---	HO. CO. 6-512	N 531,124 E 1370,454	
PRIVATE	M-63	STANDARD MANHOLE	7'-0"	---	173.7	---	164.75	164.65	---	MD 384.07	N 530,464 E 1370,061	
PRIVATE	M-66	STANDARD MANHOLE	4'-0"	---	174.2	---	169.54	169.44	---	HO. CO. 6-512	N 530,658 E 1370,558	
PRIVATE	M-67	STANDARD MANHOLE	7'-0"	---	176.9	---	169.29	168.86	---	MD 384.07	N 530,915 E 1370,217	
PRIVATE	M-81	SQUARE MANHOLE	4'-0"	---	178.0	---	170.05	169.45	---	MD 383.00	N 531,018 E 1370,211	
PRIVATE	M-82	SQUARE MANHOLE	4'-0"	---	173.8	---	167.97	167.14	---	MD 383.00	N 530,986 E 1371,124	
PRIVATE	M-88	STANDARD MANHOLE	4'-0"	---	175.1	---	171.70	171.60	---	HO. CO. 6-512	N 530,904 E 1370,784	
PRIVATE	M-89	STANDARD MANHOLE	5'-0"	---	175.0	---	171.25	170.48	---	HO. CO. 6-513	N 530,801 E 1370,604	
PUBLIC	M-90	STANDARD MANHOLE	4'-0"	---	183.0	---	175.71	173.08	---	HO. CO. 6-512	N 531,130 E 1370,049	
PRIVATE	M-104	STANDARD MANHOLE	7'-0"	---	172.4	---	166.26	166.16	---	MD 384.07	N 530,540 E 1370,247	
PRIVATE	M-105	STANDARD MANHOLE	4'-0"	---	173.0	---	167.25	167.15	---	HO. CO. 6-512	N 531,077 E 1371,172	
PRIVATE	HW-1	CONCRETE HEADWALL	---	---	---	---	---	166.50	---	---	N 530,518 E 1370,251	SEE DETAILS SHEETS 37-39
PRIVATE	RS-2	RISER STRUCTURE	---	---	---	---	---	166.87	---	---	N 530,620 E 1370,285	SEE DETAILS SHEETS 37-39
PRIVATE	HW-3	CONCRETE END SECTION	27"	---	---	---	---	168.00	---	HO. CO. D-551	N 530,645 E 1370,330	SEE DETAILS SHEETS 37-39
PRIVATE	WQ-4	WATER QUALITY STR.	6'-0"	---	---	---	---	168.20	168.10	CONTECH CDS 72"	N 530,646 E 1370,358	SEE DETAIL ON SHEET 26
PUBLIC	HW-21	CONCRETE END SECTION	18"	---	---	---	---	174.60	---	HO. CO. D-551	N 530,949 E 1371,117	
PRIVATE	HW-25	CONCRETE END SECTION	36"	---	---	---	---	168.00	---	HO. CO. D-551	N 530,882 E 1370,311	
PRIVATE	WQ-26	WATER QUALITY STR.	8'-0"	---	---	---	---	168.17	168.07	CONTECH CDS 96"	N 530,848 E 1370,314	SEE DETAIL ON SHEET 26
PRIVATE	HW-64	CONCRETE HEADWALL	---	---	---	---	---	164.55	---	TYPE F' PER MD-358.01	N 530,433 E 1370,050	
PUBLIC	HW-101	CONCRETE END SECTION	15"	---	---	---	---	174.60	---	HO. CO. D-551	N 530,914 E 1370,070	

◇ COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.

PUBLIC PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (IF)	REMARKS
15"	RCP CL IV	274	
18"	RCP CL IV	31	
24"	RCP CL IV	78	
30"	RCP CL IV	315	
36"	RCP CL IV	111	

PRIVATE PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (IF)	REMARKS
12"	RCP CL IV	824	
12"	GASKETED RCP	47	USE ASTM C-361 (CLASS C-25)*
15"	RCP CL IV	1341	
18"	RCP CL IV	541	
18"	GASKETED RCP	116	USE ASTM C-361 (CLASS C-25)*
21"	RCP CL IV	437	
24"	RCP CL IV	661	
27"	RCP CL IV	184	
36"	RCP CL IV	14	
48"	RCP CL IV	1,293	

\* RUBBER GASKETED JOINTS

◇ COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS

\* INLETS WITH NO BACK. SEE DETAILS ON SHEET 13

PUBLIC OR PRIVATE	NO	TYPE	WIDTH (INSIDE)	STRUCTURE SCHEDULE						STD. DETAIL	LOCATIONS	REMARKS		
				TOP ELEVATION			INVERT							
				PROPOSED UPPER	PROPOSED LOWER	AS-BUILT	PROPOSED UPPER	PROPOSED LOWER	AS-BUILT					
PRIVATE	I-5	A-10 INLET	2'-6"	---	173.50	---	---	---	168.36	168.26	---	HO. CO. D-4.03	N 530,625 E 1370,354	
PRIVATE	I-7	'S' INLET	2'-1.5"	---	173.30	---	---	---	---	169.57	---	HO. CO. D-4.22	N 530,664 E 1370,514	
PRIVATE	I-14	'S' INLET	2'-1.5"	---	187.00	---	---	---	174.22	174.12	---	HO. CO. D-4.22	N 531,375 E 1370,181	
PRIVATE	I-15	'S' INLET	2'-1.5"	---	188.00	---	---	---	---	171.00	---	HO. CO. D-4.22	N 531,506 E 1370,234	
PUBLIC	I-16	DOUBLE WR INLET	3'-0.6"	---	182.81	---	---	---	---	174.56	---	HO. CO. D-4.35	N 531,160 E 1370,058	
PUBLIC	I-17	DOUBLE WR INLET	3'-0.6"	---	189.27	---	---	---	---	177.14	---	HO. CO. D-4.35	N 531,358 E 1370,138	
PUBLIC	I-18	DOUBLE WR INLET	3'-0.6"	---	198.56	---	---	---	---	---	---	HO. CO. D-4.35	N 531,541 E 1370,147	
PUBLIC	I-19	'S' INLET	2'-1.5"	---	175.50	---	---	---	171.64	171.34	---	HO. CO. D-4.22	N 531,175 E 1370,110	
PUBLIC	I-20	'S' INLET	2'-1.5"	---	175.50	---	---	---	---	172.00	---	HO. CO. D-4.22	N 531,244 E 1370,137	
PUBLIC	I-22	A-10 INLET	2'-6"	---	179.25	---	---	---	175.00	174.75	---	HO. CO. D-4.03	N 530,975 E 1370,119	
PUBLIC	I-23	A-10 INLET	2'-6"	---	179.05	---	---	---	---	175.25	---	HO. CO. D-4.03	N 531,024 E 1370,134	
PRIVATE	I-24	'S' INLET	2'-1.5"	---	174.60	---	---	---	---	169.64	---	HO. CO. D-4.22	N 530,926 E 1370,154	
PUBLIC	I-27	A-10 INLET	2'-6"	---	176.06	---	---	---	168.34	168.24	---	HO. CO. D-4.03	N 530,916 E 1370,308	
PUBLIC	I-28	A-10 INLET	2'-6"	---	176.33	---	---	---	168.60	168.50	---	HO. CO. D-4.03	N 530,948 E 1370,318	
PRIVATE	I-29	'S' INLET	2'-1.5"	---	175.00	---	---	---	169.52	169.02	---	HO. CO. D-4.22	N 531,010 E 1370,257	
PRIVATE	I-30	'S' INLET	2'-1.5"	---	175.00	---	---	---	170.68	170.43	---	HO. CO. D-4.22	N 531,056 E 1370,145	
PUBLIC	I-33	A-10 INLET	2'-6"	---	175.84	---	---	---	171.58	170.81	---	HO. CO. D-4.03	N 531,044 E 1370,687	
PRIVATE	I-36	'S' INLET	2'-1.5"	---	173.00	---	---	---	173.26	173.16	---	HO. CO. D-4.22	N 531,249 E 1370,686	
PRIVATE	I-38	'S' INLET	2'-1.5"	---	181.50	---	---	---	182.00	180.52	---	HO. CO. D-4.22	N 531,445 E 1370,455	
PRIVATE	I-39	'S' INLET	2'-1.5"	---	187.50	---	---	---	182.60	182.35	---	HO. CO. D-4.22	N 531,562 E 1370,335	
PRIVATE	I-40	'S' INLET	2'-1.5"	---	192.75	---	---	---	---	183.63	---	HO. CO. D-4.22	N 531,544 E 1370,340	
PRIVATE	I-41	'S' INLET	2'-1.5"	---	186.50	---	---	---	---	182.16	---	HO. CO. D-4.22	N 531,447 E 1370,386	
PRIVATE	I-42	'S' INLET	2'-1.5"	---	175.00	---	---	---	---	170.64	---	HO. CO. D-4.22	N 530,971 E 1370,434	
PRIVATE	I-43	'S' INLET	2'-1.5"	---	174.00	---	---	---	171.01	170.76	---	HO. CO. D-4.22	N 530,875 E 1370,424	
PRIVATE	I-44	'S' INLET	2'-1.5"	---	174.50	---	---	---	---	170.30	---	HO. CO. D-4.22	N 531,026 E 1370,558	
PUBLIC	I-45	A-10 INLET	2'-6"	---	176.07	---	---	---	---	171.75	---	HO. CO. D-4.03	N 531,013 E 1370,704	
PRIVATE	I-46	'S' INLET	2'-1.5"	---	175.50	---	---	---	---	171.11	---	HO. CO. D-4.22	N 531,074 E 1370,672	
PRIVATE	I-48	'S' INLET	2'-1.5"	---	175.00	---	---	---	---	172.05	---	HO. CO. D-4.22	N 531,144 E 1370,802	
PRIVATE	I-50	A-10 INLET	2'-6"	---	174.80	---	---	---	---	171.25	---	HO. CO. D-4.03	N 530,808 E 1370,600	
PRIVATE	I-51	A-10 INLET	2'-6"	---	175.20	---	---	---	---	171.73	---	HO. CO. D-4.03	N 530,912 E 1370,741	
PRIVATE	I-52	A-10 INLET	2'-6"	---	174.35	---	---	---	---	170.90	---	HO. CO. D-4.03	N 530,824 E 1370,535	
PRIVATE	I-57	'S' INLET	2'-1.5"	---	174.30	---	---	---	---	169.84	---	HO. CO. D-4.22	N 531,022 E 1370,886	
PRIVATE	I-58	'S' INLET	2'-1.5"	---	172.00	---	---	---	---	168.02	---	HO. CO. D-4.22	N 531,044 E 1371,205	
PRIVATE	I-59	'S' INLET	2'-1.5"	---	172.50	---	---	---	---	168.53	---	HO. CO. D-4.22	N 530,981 E 1371,044	
PRIVATE	I-60	'S' INLET	2'-1.5"	---	173.10	---	---	---	---	169.21	---	HO. CO. D-4.22	N 531,017 E 1370,960	
PRIVATE	I-65	A-10 INLET	2'-6"	---	174.60	---	---	---	---	171.35	---	HO. CO. D-4.03	N 530,847 E 1370,365	
PRIVATE	I-68	A-5 INLET	2'-1.5"	---	174.30	---	---	---	---	---	---	HO. CO. D-4.02	N 531,037 E 1370,961	MODIFIED, SEE DETAIL SHEET 13
PRIVATE	I-69	A-5 INLET	2'-1.5"	---	175.35	---	---	---	---	---	---	HO. CO. D-4.02	N 531,043 E 1370,879	MODIFIED, SEE DETAIL SHEET 13
PRIVATE	I-70	A-5 INLET	2'-1.5"	---	174.25	---	---	---	---	---	---	HO. CO. D-4.02	N 530,675 E 1370,524	MODIFIED, SEE DETAIL SHEET 13
PRIVATE	I-71	A-5 INLET	2'-1.5"	---	174.80	---	---	---	---	---	---	HO. CO. D-4.02	N 530,651 E 1370,528	MODIFIED, SEE DETAIL SHEET 13
PRIVATE	I-72	'S' INLET	2'-1.5"	---	172.80	---	---	---	---	168.85	---	HO. CO. D-4.22	N 530,978 E 1370,991	
PRIVATE	I-73	'S' INLET	2'-1.5"	---	172.80	---	---	---	168.57	168.47	---	HO. CO. D-4.22	N 530,971 E 1371,021	
PRIVATE	I-74	'S' INLET	2'-1.5"	---	172.80	---	---	---	---	169.56	---	HO. CO. D-4.22	N 530,821 E 1370,848	
PRIVATE	I-75	'S' INLET	2'-1.5"	---	172.80	---	---	---	---	169.93	---	HO. CO. D-4.22	N 530,878 E 1370,818	
PRIVATE	I-76	'S' INLET	2'-1.5"	---	172.40	---	---	---	---	170.77	---	HO. CO. D-4.22	N 530,765 E 1370,625	
PRIVATE	I-77	'S' INLET	2'-1.5"	---	175.50	---	---	---	---	171.37	---	HO. CO. D		



**LEGEND**

- ESD DRAINAGE DIVIDE
- SOIL TYPE BOUNDARY
- GM TYPE ESD SKIM DEVICE
- TYPES OF DEVICES:
  - MBR - MICRO-BIORETENTION
  - GM - GRAVEL WETLAND
  - BS - BIO-SHALE
  - NRD - NON-ROOFTOP DISCONNECT
  - IB - INFILTRATION BERM
  - F - FILTERRA INLET

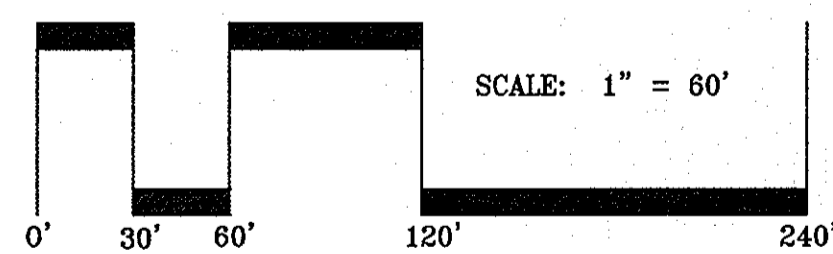
Drainage Area	Area (SF)	Impervious Area (sf)	Target ESDV (cf)	Provided ESDV (cf)
1	54,990	39,360	3,116	3,359
2	17,160	13,820	1,094	1,158
3	12,580	10,175	806	925
4	17,775	14,570	1,153	1,009
5	13,910	10,540	834	948
6	18,215	11,310	2,206	1,909
7	16,225	5,755	456	1,298
8	13,820	4,720	338	982
9	19,665	13,795	1,092	1,938
10	35,940	25,540	1,943	2,039
11	36,290	21,045	1,666	2,270
12	22,325	17,575	1,391	1,391
13	9,970	9,750	772	772
14	20,700	20,030	1,586	1,586
15	7,910	6,250	495	688
16	8,415	6,250	495	590
17	10,010	5,340	423	456
18	26,900	18,970	1,502	1,676
19	12,470	7,290	577	616
20	6,420	5,885	466	466
Total	382,290	266,250	22,410	26,075
	8.78 AC	6.12 AC		

Pe = 1.0" REQUIRED FOR ALL AREAS  
 ESDV REQUIRED PER REDEVELOPMENT COMPUTATIONS: 20,100 CF

**SOIL TYPES**

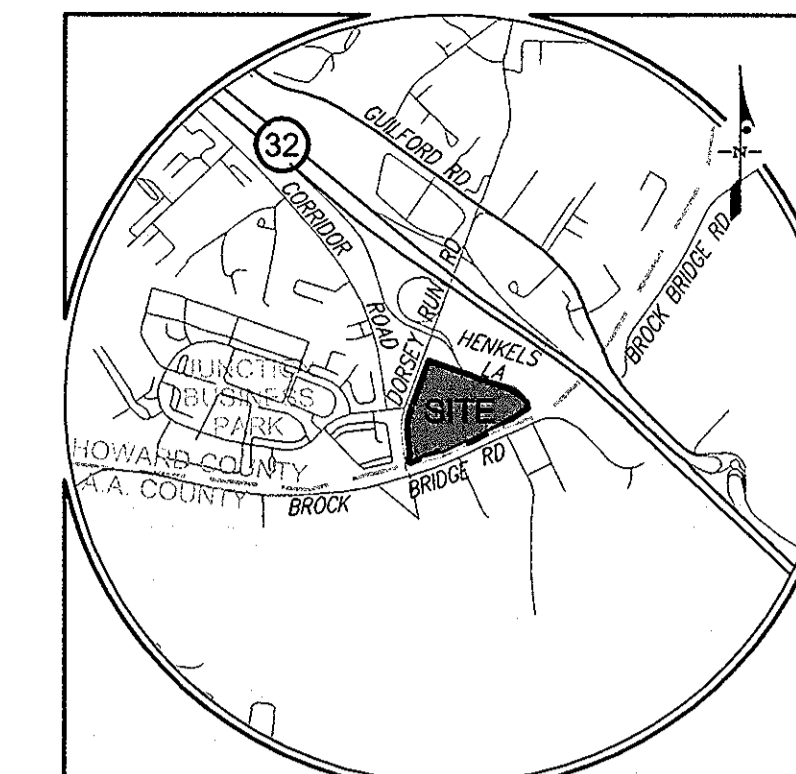
- Fa Fallington sandy loam, 0 to 2 percent slopes
- RuB Russell fine sandy loam, 2 to 5 percent slopes
- UaF Udorthents, Highway, 0 to 65 percent slopes
- UaB Udorthents, 0 to 5 percent slopes
- Ud Urban land-Udorthents complex, 0 to 15 percent slopes

NOTE: ALL ON-SITE SOILS ARE "D"



**GENERAL NOTES**

- I. SITE ANALYSIS DATA SHEET
- |                              |                          |
|------------------------------|--------------------------|
| AREA OF THE SITE             | 18.91 AC.                |
| WETLANDS AND THEIR BUFFER    | N/A                      |
| FLOODPLAINS AND THEIR BUFFER | N/A                      |
| FORESTS                      | N/A                      |
| STEEP SLOPES 15% AND GREATER | 5,741 AC.                |
| ERODIBLE SOILS PROJECT AREA  | N/A                      |
| LIMIT OF DISTURBANCE AREA    | 18.91 AC.                |
| PROPOSED SITE USES           | RESIDENTIAL & COMMERCIAL |
| GREEN OPEN AREA              | 6.54 AC.                 |
| PROPOSED IMPERVIOUS AREA     | 15.01 AC.                |



**VICINITY MAP**

SCALE: 1" = 2,000'

ADC MAP PAGES 5054 GRID C-10 & 5170 GRID C-1

**PRELIMINARY STORMWATER MANAGEMENT REQUIREMENTS**

- DISTURBED AREA: 18.91 AC.
- ON SITE AREA: 1.01 AC.
- OFF SITE RIGHT OF WAY: 19.89 AC.
- TOTAL: 20.92 AC.
- EX IMPERVIOUS AREA: 14.31 AC. (12.0%)  
 (SITE IS GREATER THAN 40% IMPERVIOUS, RE-DEVELOPMENT CRITERIA APPLIES)
- PROPOSED IMPERVIOUS AREA: 12.98 AC.
- NET IMPERVIOUS: 1.33 AC.
- ESDV REQUIREMENT = REDUCE IMPERVIOUS SURFACE BY 50% OR TREAT DIFFERENCE (1" TREATMENT)
- 50% \* 14.31 AC. = 7.16 AC.  
 1.33 AC. (IMP. REDUCTION)  
 5.83 AC. TO BE TREATED

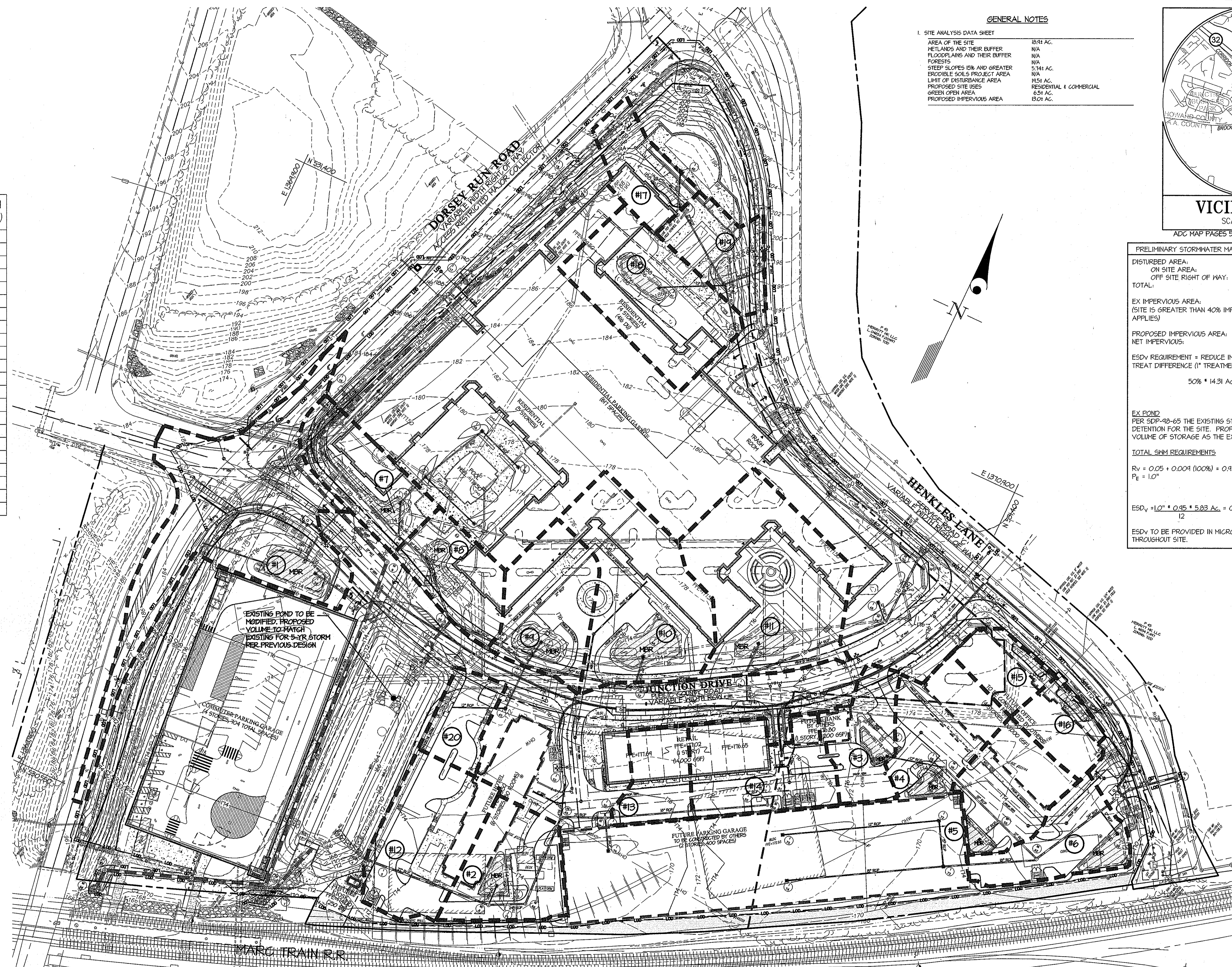
EX POND PER SDP-48-65 THE EXISTING STORMWATER POND PROVIDES 5-YEAR DETENTION FOR THE SITE. PROPOSED POND WILL PROVIDE THE SAME VOLUME OF STORAGE AS THE EXISTING FACILITY.

**TOTAL SKIM REQUIREMENTS**

Rv = 0.05 + 0.009 (100%) = 0.95  
 Pe = 1.0"

ESDv = 1.0" \* 0.95 \* 5.83 AC. = 0.4615 AC-FT (20,100 cf)  
 12

ESDv TO BE PROVIDED IN MICRO BIO-RETENTION FACILITIES THROUGHOUT SITE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 2/1/14  
 Director Date

*[Signature]* 2/17/14  
 Chief, Division of Land Development Date

*[Signature]* 2-29-14  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12475  
 EXPIRATION DATE: MAY 26, 2014

*[Signature]*  
 2-10-14

**ESD DRAINAGE AREA MAP**

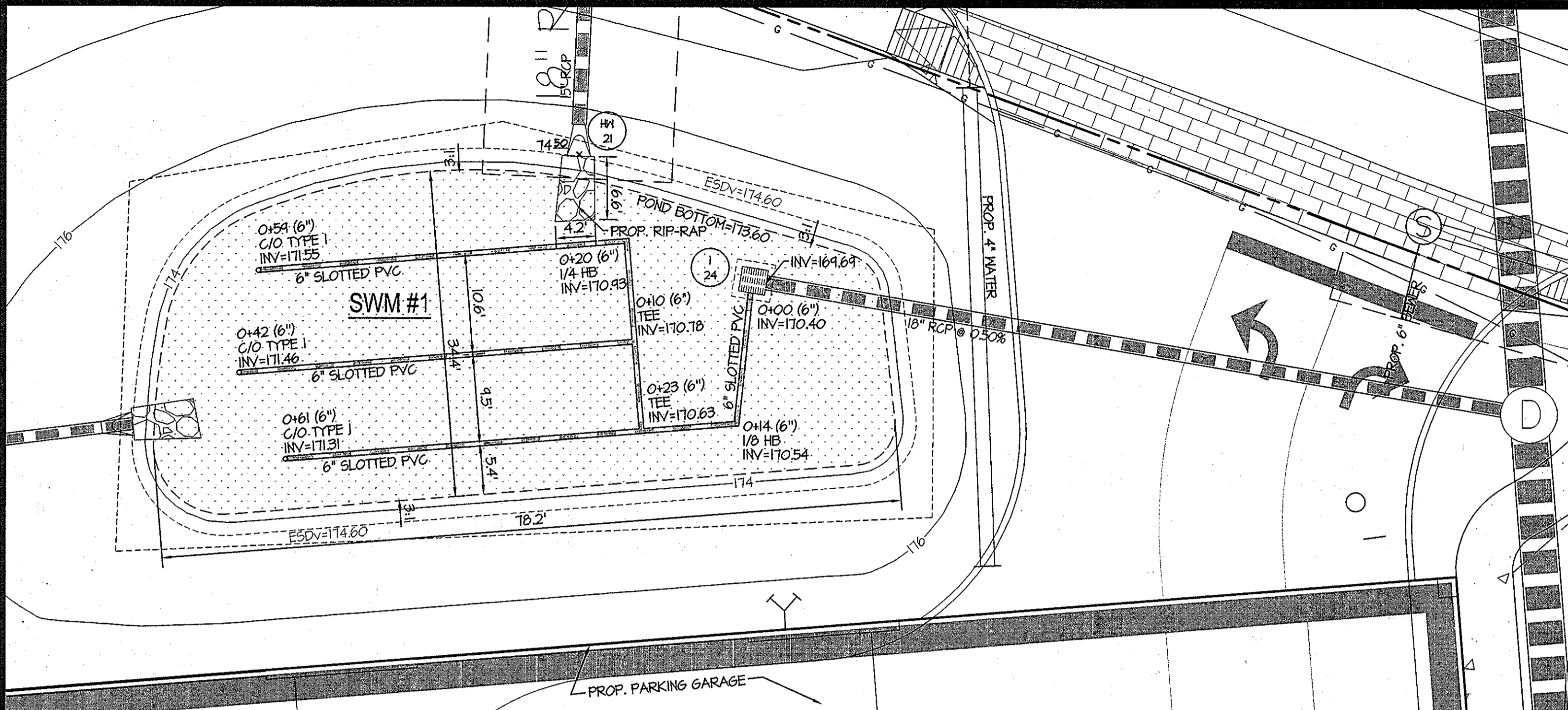
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 11097-12101

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER

SCALE	ZONING	G. L. W. FILE No.
1"=60'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	29 OF 64

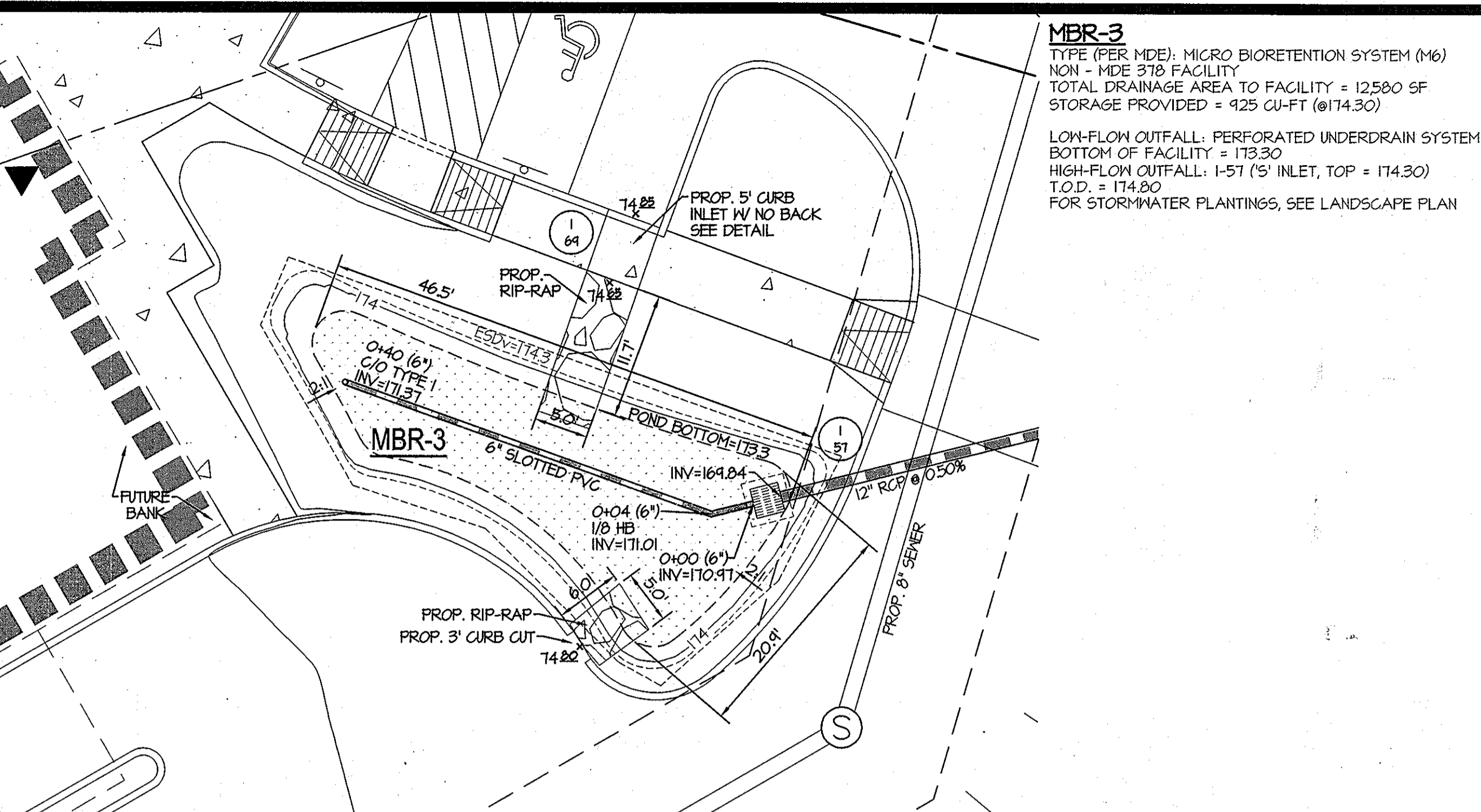
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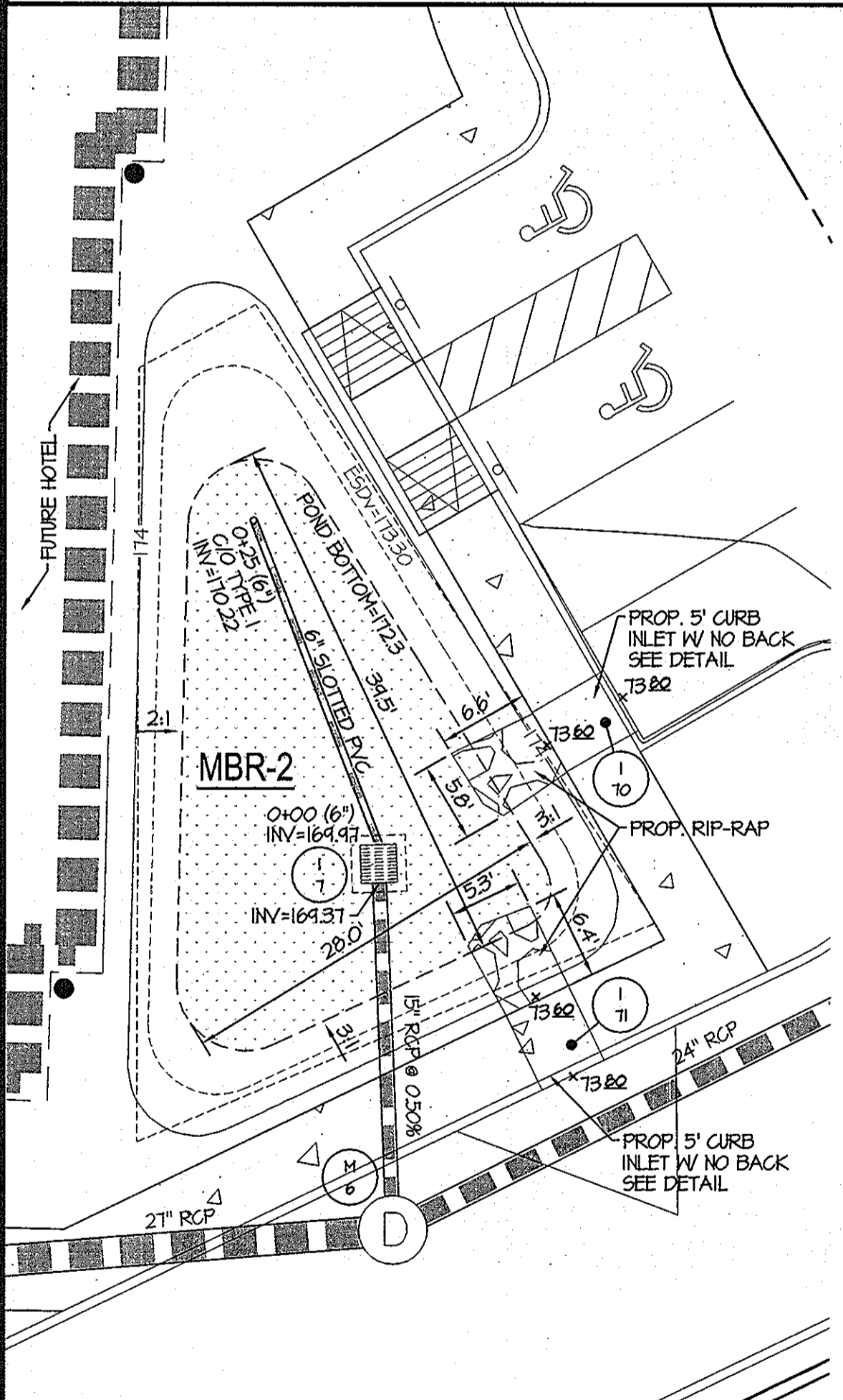
**MBR-1**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 43580 SF  
 STORAGE PROVIDED = 3,354 CU-FT (@14.60)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 113.60  
 HIGH-FLOW OUTFALL: 1-24 (5' INLET, TOP = 114.60)  
 T.O.D. = 116.00  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-1**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



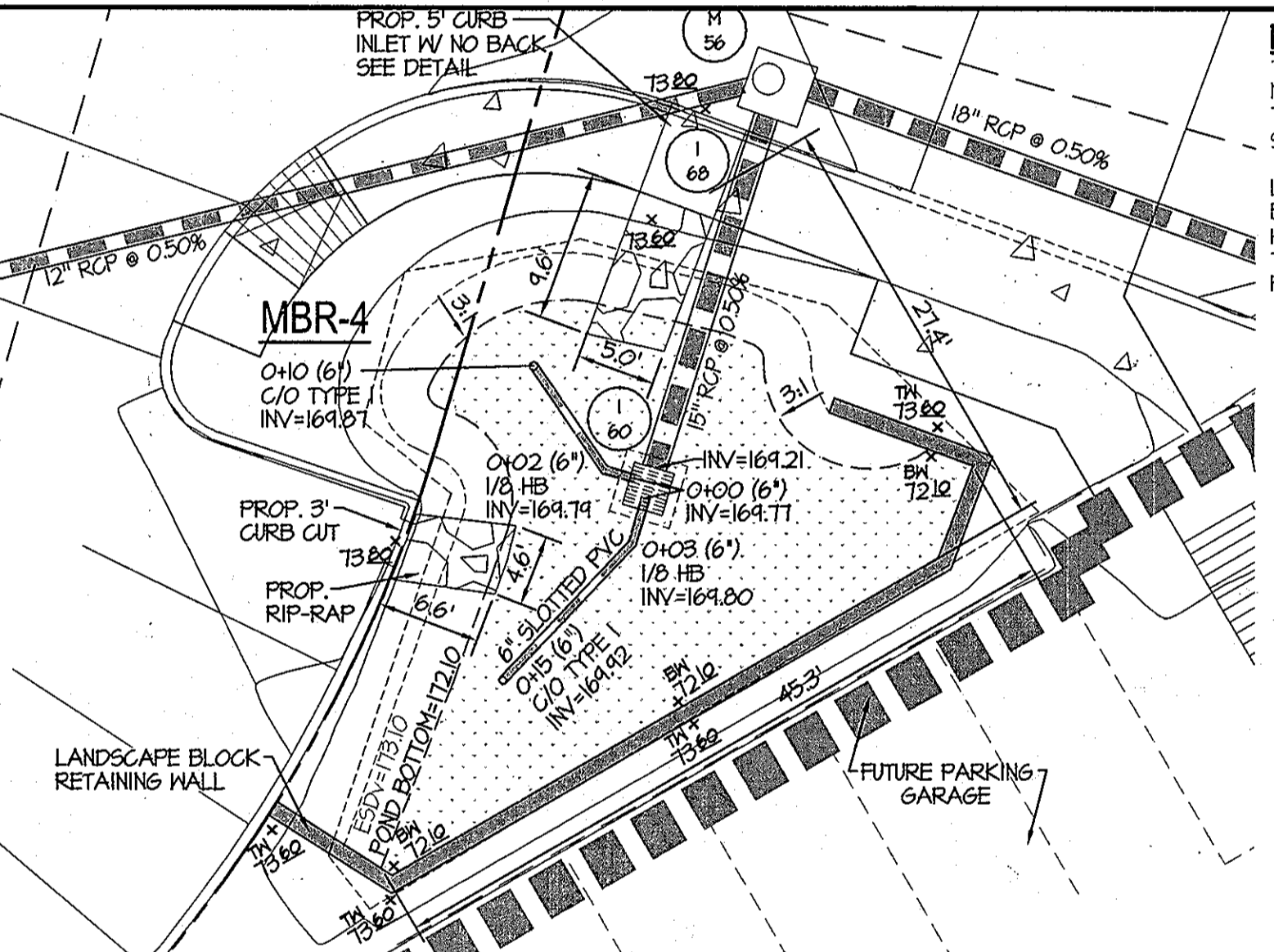
**MBR-3**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 12580 SF  
 STORAGE PROVIDED = 925 CU-FT (@14.30)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 113.30  
 HIGH-FLOW OUTFALL: 1-57 (5' INLET, TOP = 114.30)  
 T.O.D. = 114.80  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-3**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



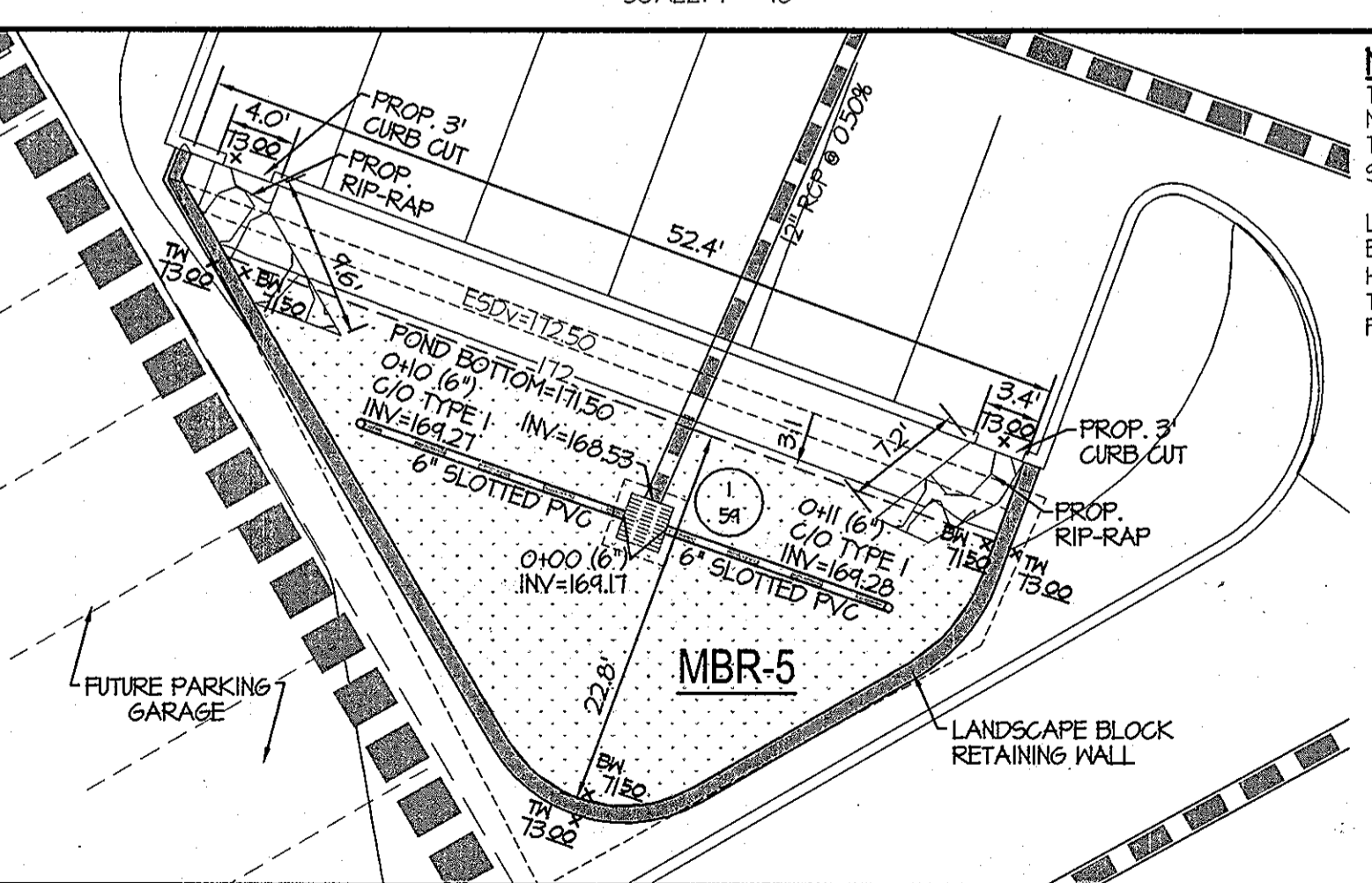
**MBR-2**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 11760 SF  
 STORAGE PROVIDED = 1,158 CU-FT (@13.30)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 112.30  
 HIGH-FLOW OUTFALL: 1-7 (5' INLET, TOP = 113.30)  
 T.O.D. = 113.80  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-2**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



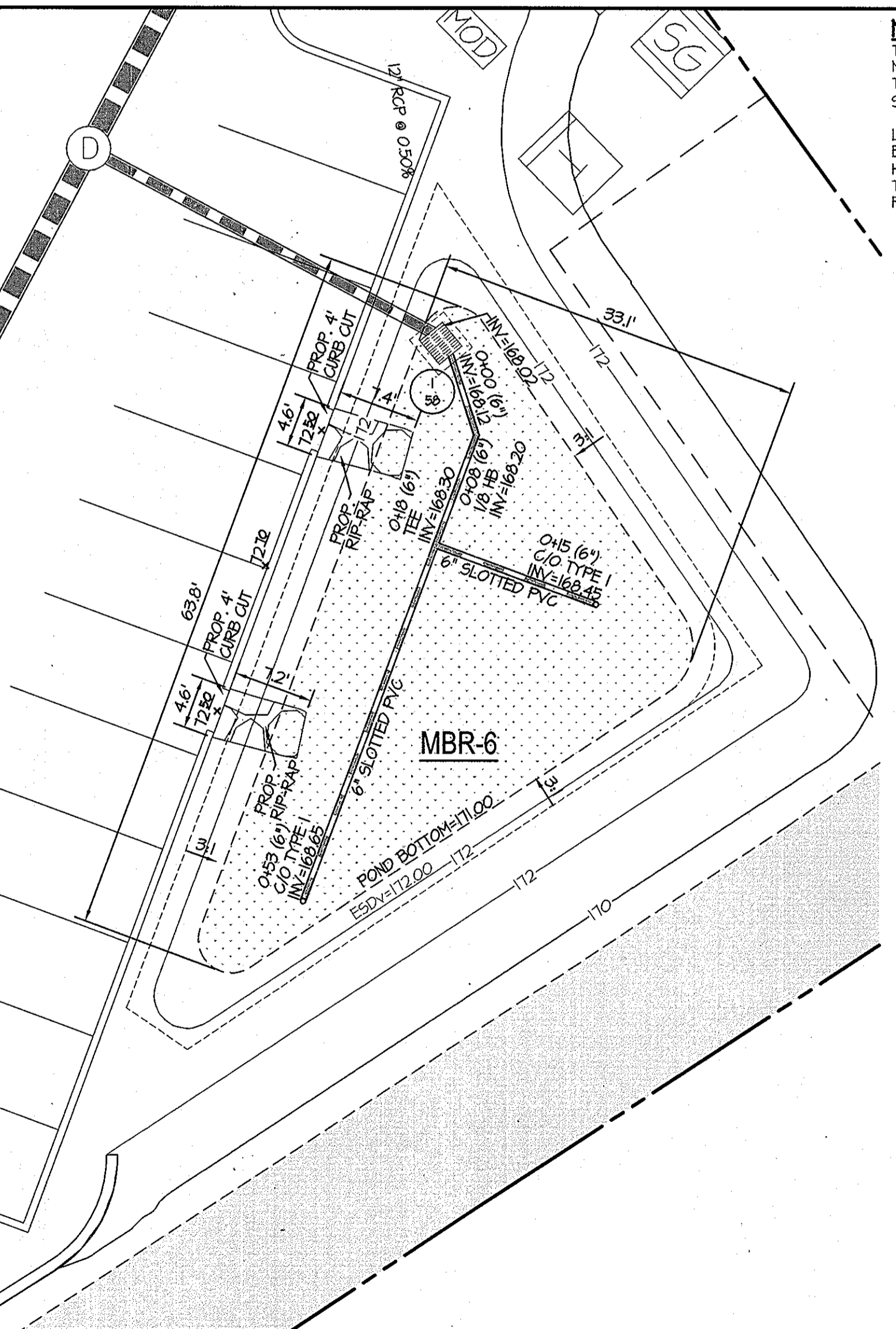
**MBR-4**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 11700 SF  
 STORAGE PROVIDED = 814 CU-FT (@13.10)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 112.10  
 HIGH-FLOW OUTFALL: 1-60 (5' INLET, TOP = 113.10)  
 T.O.D. = 113.80  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-4**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



**MBR-5**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 4325 SF  
 STORAGE PROVIDED = 718 CU-FT (@12.50)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 112.50  
 HIGH-FLOW OUTFALL: 1-54 (5' INLET, TOP = 112.50)  
 T.O.D. = 113.00  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-5**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



**MBR-6**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 18,215 SF  
 STORAGE PROVIDED = 1,710 CU-FT (@12.00)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 112.00  
 HIGH-FLOW OUTFALL: 1-57 (5' INLET, TOP = 112.00)  
 T.O.D. = 112.50  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-6**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'

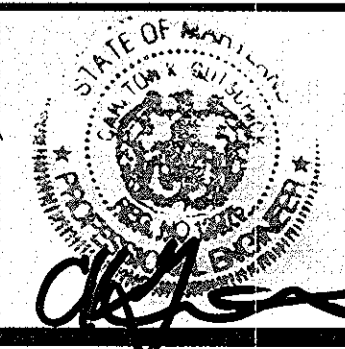
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *David A. Long* Date: 3/7/14  
 Chief, Division of Land Development: *Michelle* Date: 3/07/14  
 Chief, Development Engineering Division: *Chad* Date: 2-23-14

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
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DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

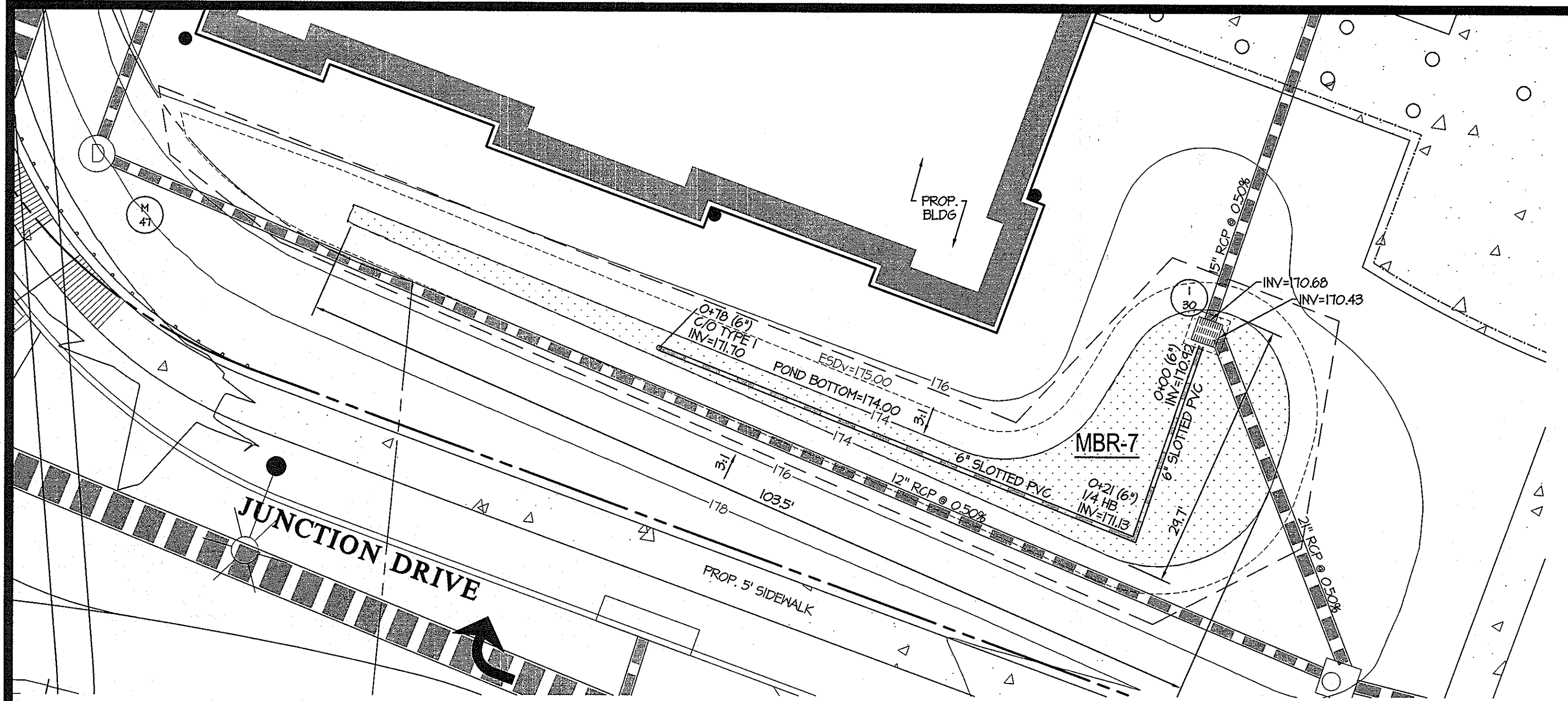
PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE  
 PLANS WERE PREPARED OR  
 APPROVED BY ME, AND THAT I AM  
 A DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND,  
 LICENSE NO. 12878  
 EXPIRATION DATE: MAY 26, 2014  
 2-10-14



**MICRO BIO RETENTION ENLARGEMENT DETAILS**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
**PLAT No. 2207-2201**  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

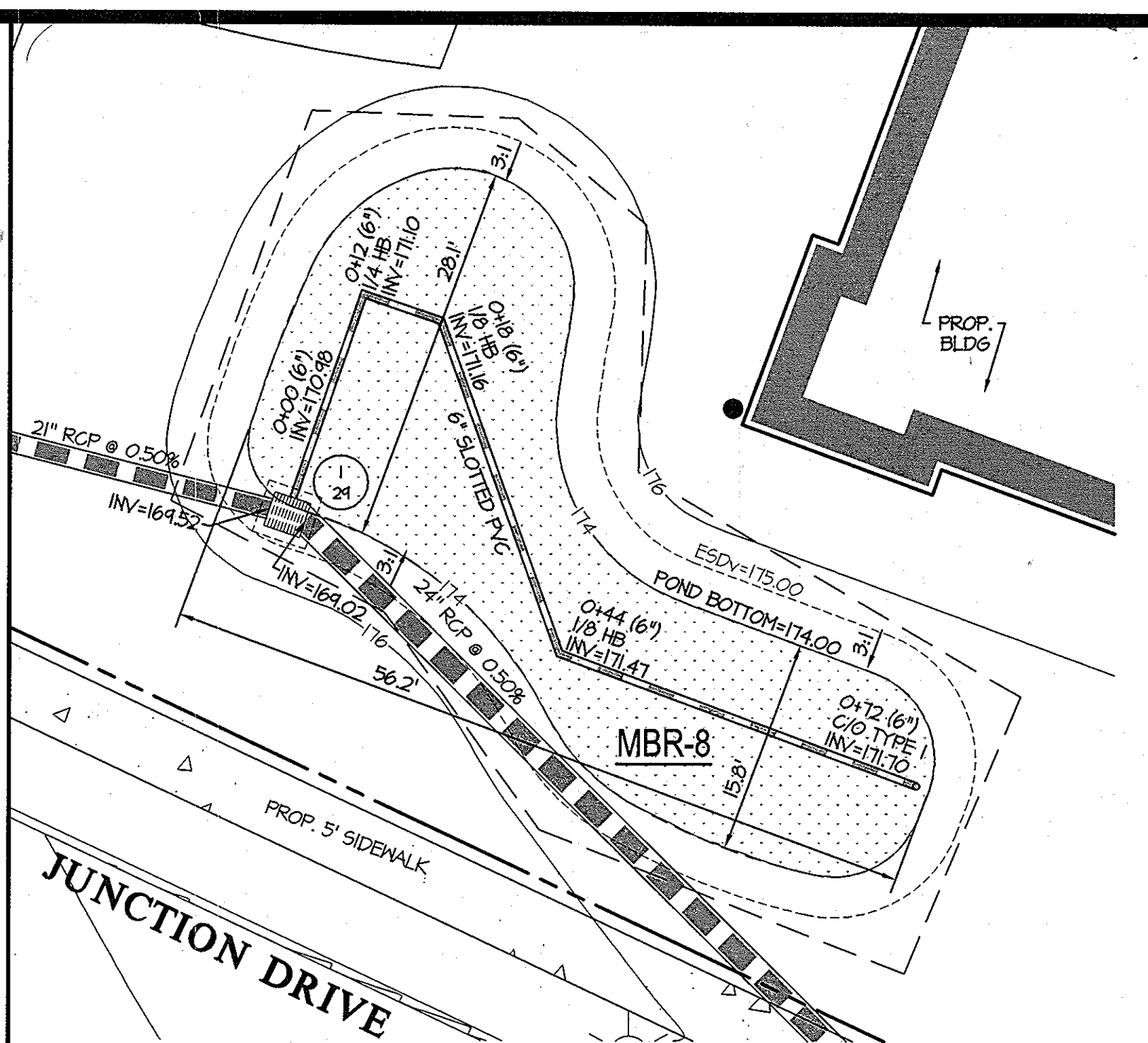
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	30 OF 64





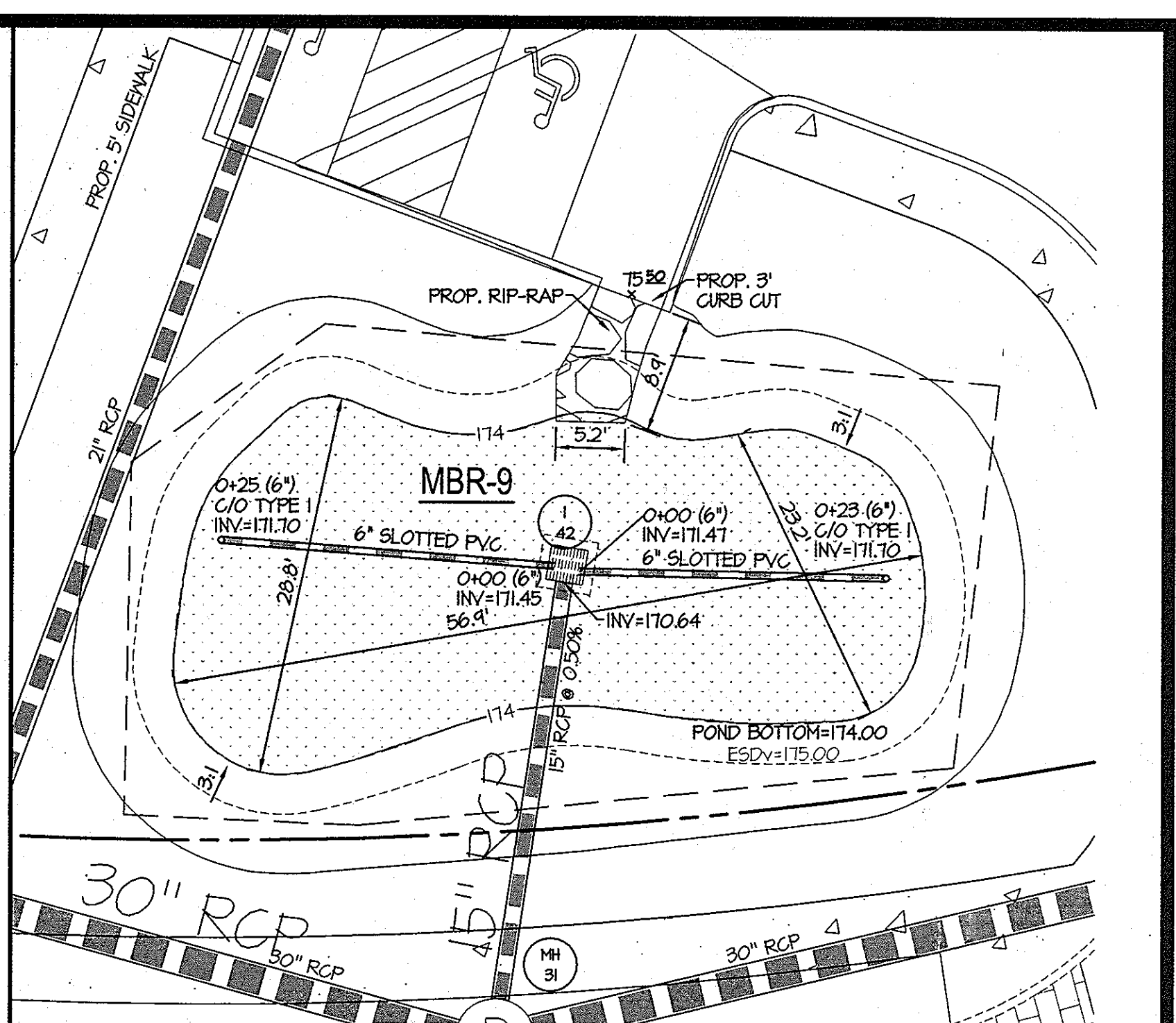
**MBR-7**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 16,225 SF  
 STORAGE PROVIDED = 1,248 CU-FT (@175.00)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 174.00  
 HIGH-FLOW OUTFALL: 1-30 (5' INLET, TOP = 175.00)  
 T.O.D. = 176.00  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-7**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



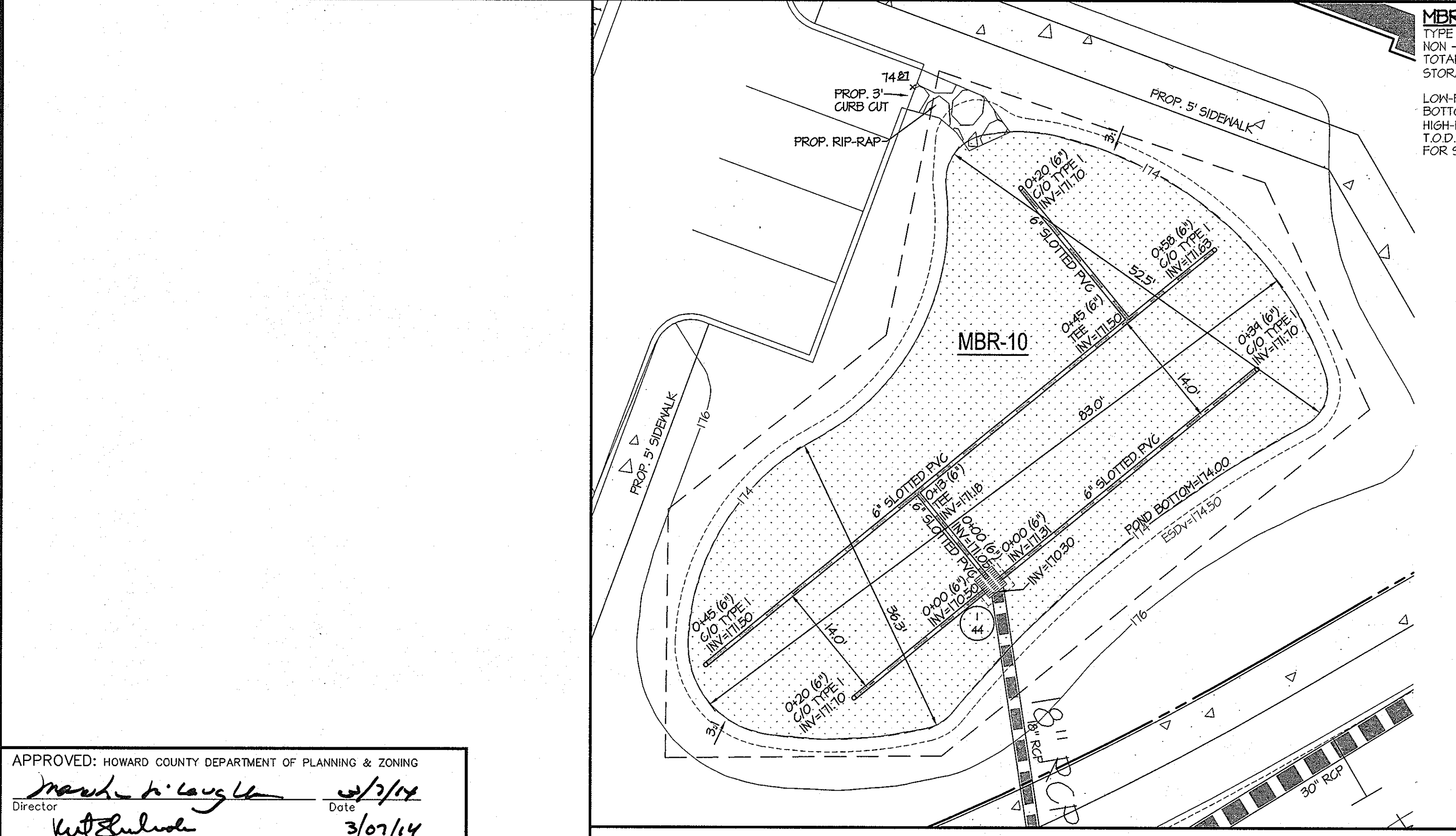
**MBR-8**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 13,820 SF  
 STORAGE PROVIDED = 982 CU-FT (@175.00)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 174.00  
 HIGH-FLOW OUTFALL: 1-24 (5' INLET, TOP = 175.00)  
 T.O.D. = 176.00  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-8**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



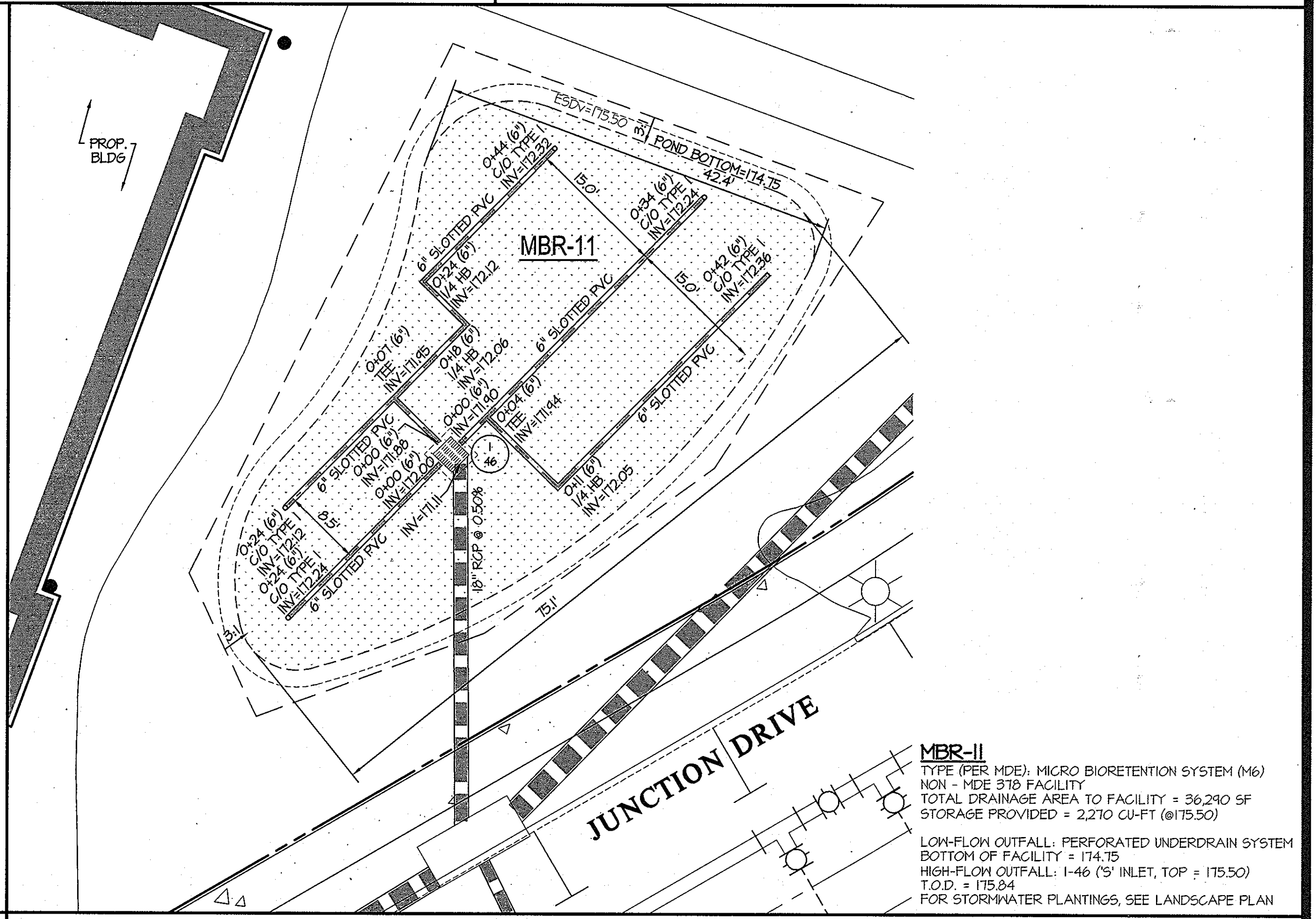
**MBR-9**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 14,665 SF  
 STORAGE PROVIDED = 1,438 CU-FT (@175.00)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 174.00  
 HIGH-FLOW OUTFALL: 1-42 (5' INLET, TOP = 175.00)  
 T.O.D. = 175.50  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-9**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



**MBR-10**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 35,940 SF  
 STORAGE PROVIDED = 2,034 CU-FT (@174.50)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 174.00  
 HIGH-FLOW OUTFALL: 1-44 (5' INLET, TOP = 174.50)  
 T.O.D. = 174.87  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-10**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'



**MBR-11**  
 TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
 NON - MDE 378 FACILITY  
 TOTAL DRAINAGE AREA TO FACILITY = 36,290 SF  
 STORAGE PROVIDED = 2,270 CU-FT (@175.50)  
 LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM  
 BOTTOM OF FACILITY = 174.75  
 HIGH-FLOW OUTFALL: 1-46 (5' INLET, TOP = 175.50)  
 T.O.D. = 175.84  
 FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

**MBR-11**  
 MICRO-BIORETENTION DETAIL PLAN  
 SCALE: 1" = 10'

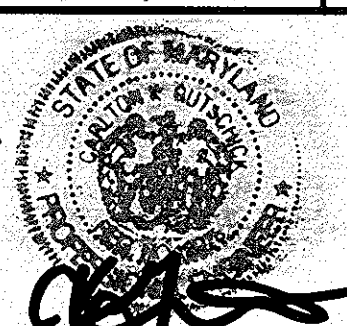
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Marsha A. Laugel* Date: 2/2/14  
 Chief, Division of Land Development: *Walt Schulze* Date: 3/27/14  
 Chief, Development Engineering Division: *Chad Edelman* Date: 2.28.14

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK  
 BURTOWNSVILLE, MARYLAND 20869  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE  
 PLANS WERE PREPARED OR  
 APPROVED BY ME, AND THAT I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND,  
 LICENSE NO. 12979  
 EXPIRATION DATE: MAY 26, 2014  
 2-10-14

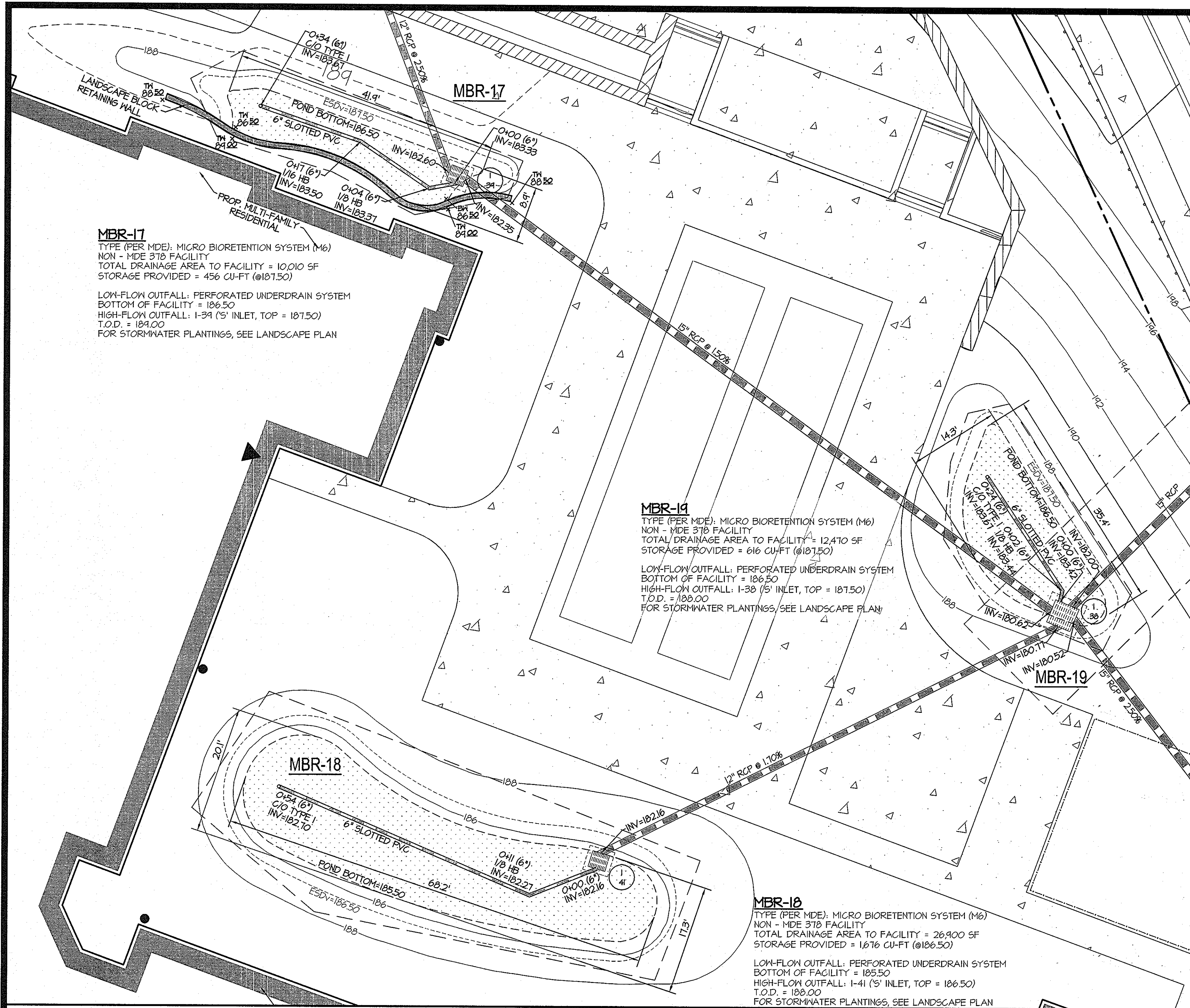


**MICRO BIO RETENTION ENLARGEMENT DETAILS**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
 PLAT No. 22-077-22701  
 ELECTION DISTRICT No. 6 GUILDFORD  
 HOWARD COUNTY, MARYLAND

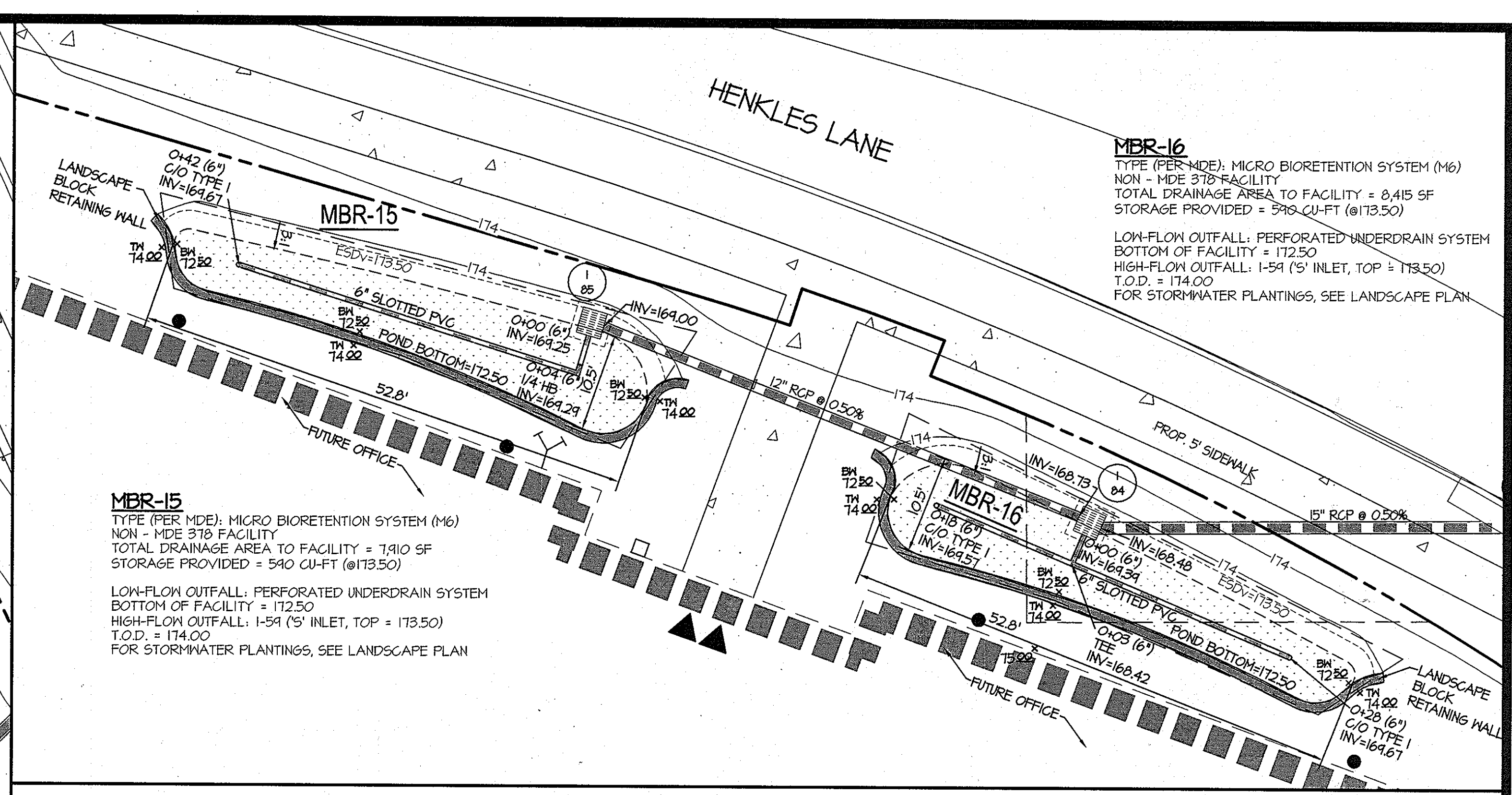
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	31 OF 64

L:\CAD\DRAWINGS\1107\PLANS BY GWS\SP1107-31-SP-SM-RE1.dwg XXXX DRN: JGJ CHK: XXXX DATE: 3/27/14 REVISION: BY: APPR:

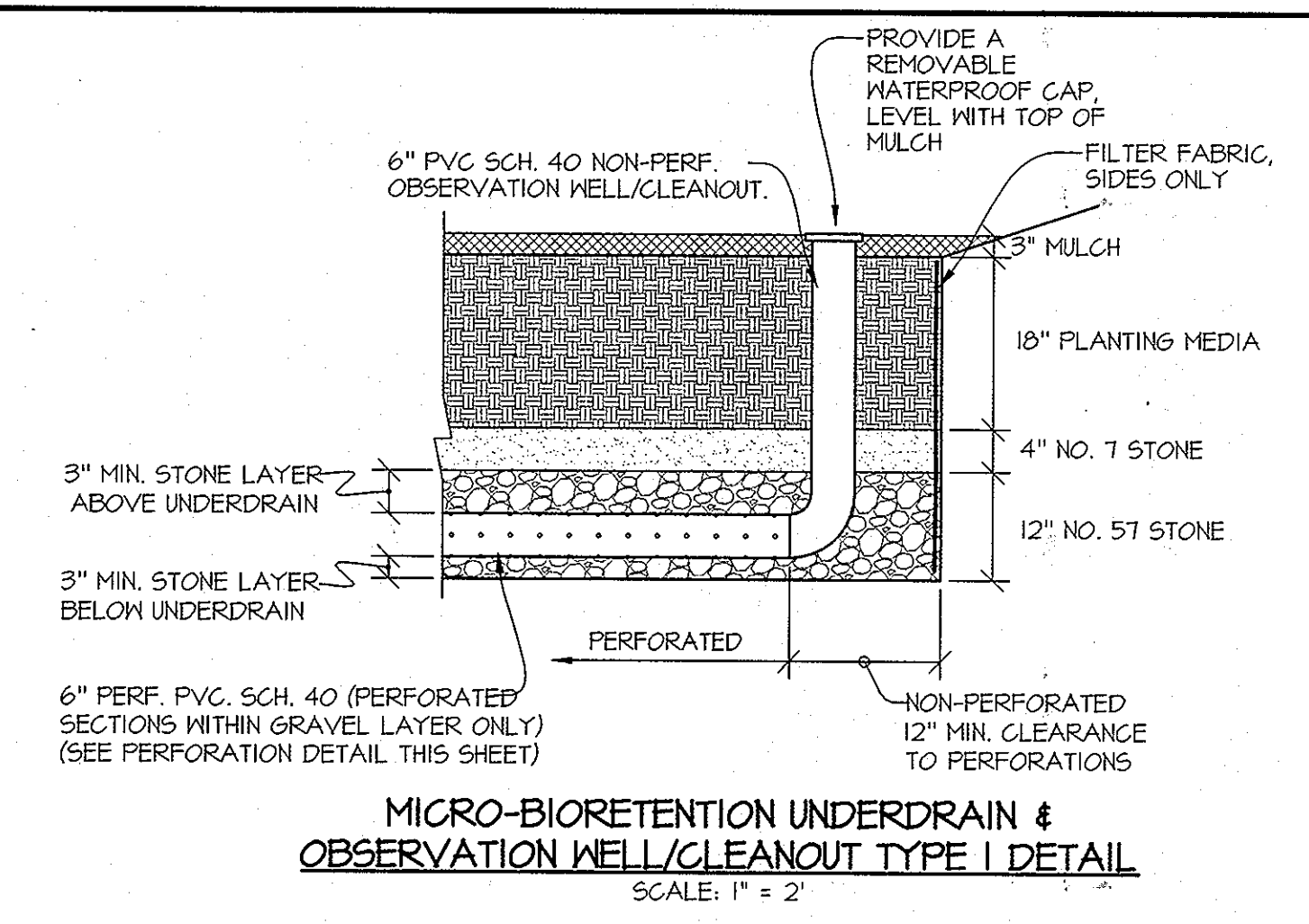




**MBR-17, MBR-18 & MBR-19  
MICRO-BIORETENTION DETAIL PLAN**  
SCALE: 1" = 10'



**MBR-15 & MBR-16  
MICRO-BIORETENTION DETAIL PLAN**  
SCALE: 1" = 10'



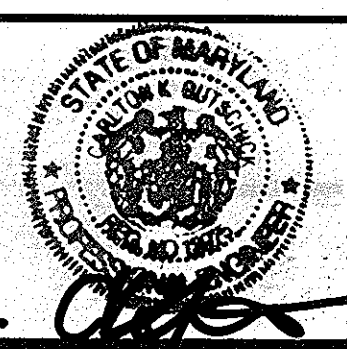
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark M. Coughlin* 03/21/14  
 Chief, Division of Land Development: *Ken Shalovich* 3/21/14  
 Chief, Development Engineering Division: *Chad Edwards* 2-23-14

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3809 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK  
 BURTONTVILLE, MARYLAND 20869  
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DATE	REVISION	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
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 ATTN: PETER ZADORETZKY  
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 ENGINEER UNDER THE LAWS OF THE  
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 LICENSE NO. 12715  
 EXPIRATION DATE: MAY 26, 2014



**MICRO BIO RETENTION ENLARGEMENT DETAILS**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
 PLAT No. 22077-22721  
 ELECTION DISTRICT No. 6 GULFORD  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	32 OF 64



# SPECIFICATIONS FOR BIORETENTION

1. MATERIAL SPECIFICATIONS  
THE ALLOWABLE MATERIALS TO BE USED IN BIORETENTION AREA ARE DETAILED IN TABLE B.3.2.

2. PLANTING SOIL  
THE SOIL SHALL BE A UNIFORM MIX FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUAILGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER CROP 16.06.01.05.

THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:  
PH RANGE: 5.5 - 7.0  
ORGANIC MATTER: 1.5 - 4% (BY WEIGHT)  
MAGNESIUM: 35 LB./AC.  
PHOSPHORUS: (P205) 75 LB./AC.  
POTASSIUM: (K2O) 85 LB./AC. SOLUBLE SALTS NOT TO EXCEED 500 PPM

ALL BIORETENTION AREAS SHALL HAVE A MINIMUM OF ONE TEST. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, PHOSPHORUS, AND POTASSIUM AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOP SOIL WAS EXCAVATED.

SINCE DIFFERENT LABS CALIBRATE THEIR TESTING EQUIPMENT DIFFERENTLY, ALL TESTINGS RESULTS SHALL COME FROM THE SAME TESTING FACILITY.

SHOULD THE PH FALL OUT OF THE ACCEPTABLE RANGE, IT MAY BE MODIFIED (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

3. COMPACTION  
IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF THE BIORETENTION AREA AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION EQUIPMENT TO EXCAVATE SOIL. IF BIORETENTION AREAS ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.

COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIFFLER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACTURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS NOT TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.

ROTOTILL TO 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP AWAY FENCED WATER BEFORE PREPARING (ROTOTILLING) BASE.

WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE.

WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.

4. PLANT MATERIAL  
RECOMMENDED PLANT MATERIAL FOR BIORETENTION AREAS CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

5. PLANT INSTALLATION  
MULCH SHOULD BE PLACED TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.

ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED 50% (1/2) OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.

TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.

GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.

THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL SOURCES. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS, DEFECTS, OR AT A MINIMUM, IMPEDES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

6. UNDERDRAINS  
UNDERDRAINS ARE TO BE PLACED ON A 3"-04 WIDE SECTION OF FILTER CLOTH. PIPE IS PLACED NEXT, FOLLOWED BY THE GRAVEL BEDDING. THE ENDS OF UNDERDRAIN PIPES NOT TERMINATING IN AN OBSERVATION WELL SHALL BE CAPPED.

THE MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).

7. MISCELLANEOUS  
THE BIORETENTION FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

**OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3) MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SHALE (M-8), ENHANCED FILTERS (M-9)**

A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A-4.1 AND 2.

B. THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.

C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.

D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

**S.D. PIPE SUMMARY TABLE (SHEET 29) PRIVATELY OWNED AND MAINTAINED**

SIZE (INCHES)	TYPE	QUANTITY (L.F.)	REMARKS
6	PVC	--	SCHEDULE 40
6	SLOTTED PVC	--	SCHEDULE 40

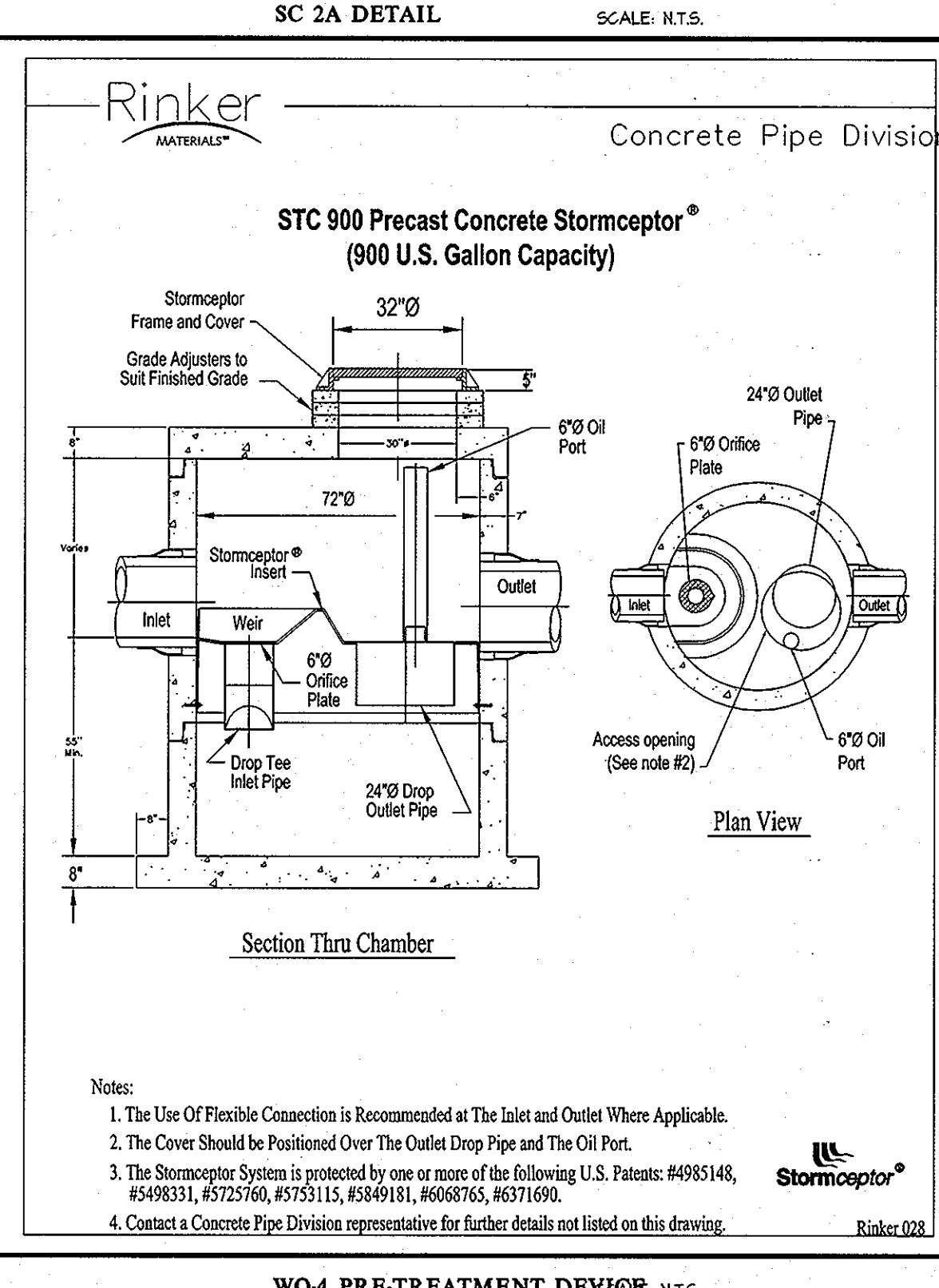
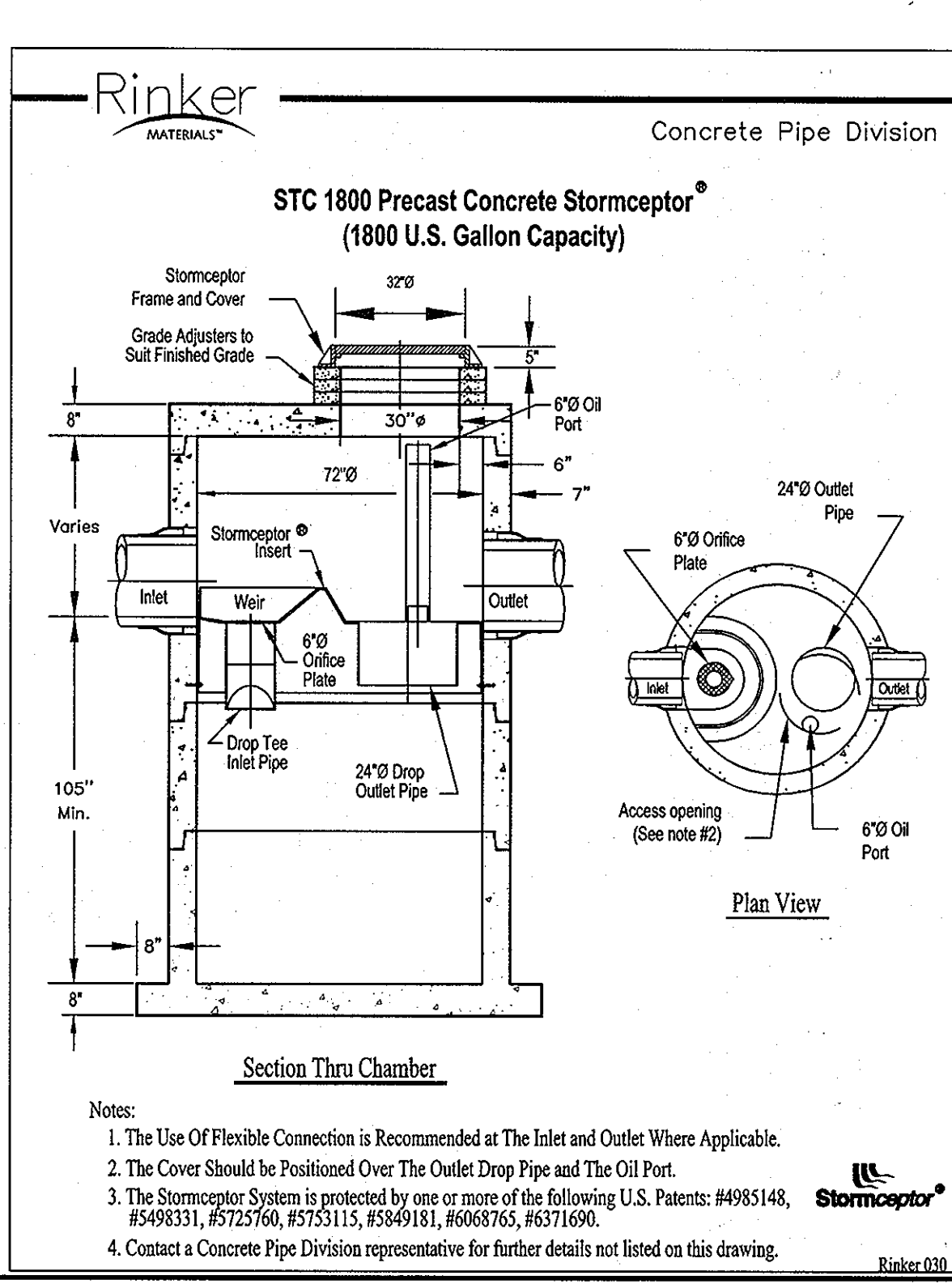
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David L. Caygill* 2/5/14  
Director Date

*Kat Shelton* 2/10/14  
Chief, Division of Land Development Date

*Chad Edwards* 2-28-14  
Chief, Development Engineering Division Date

**GLW GURTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186



**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE**

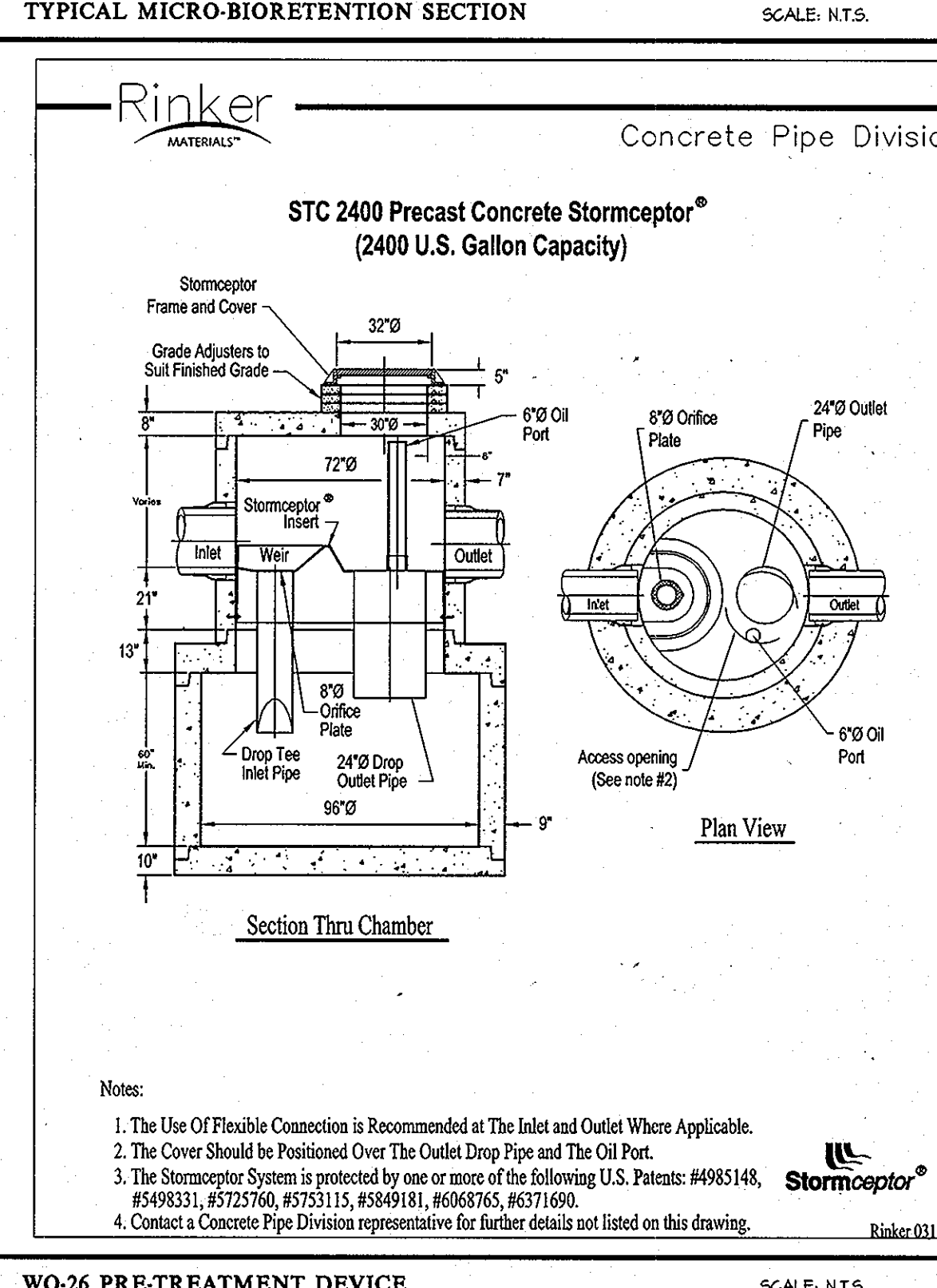
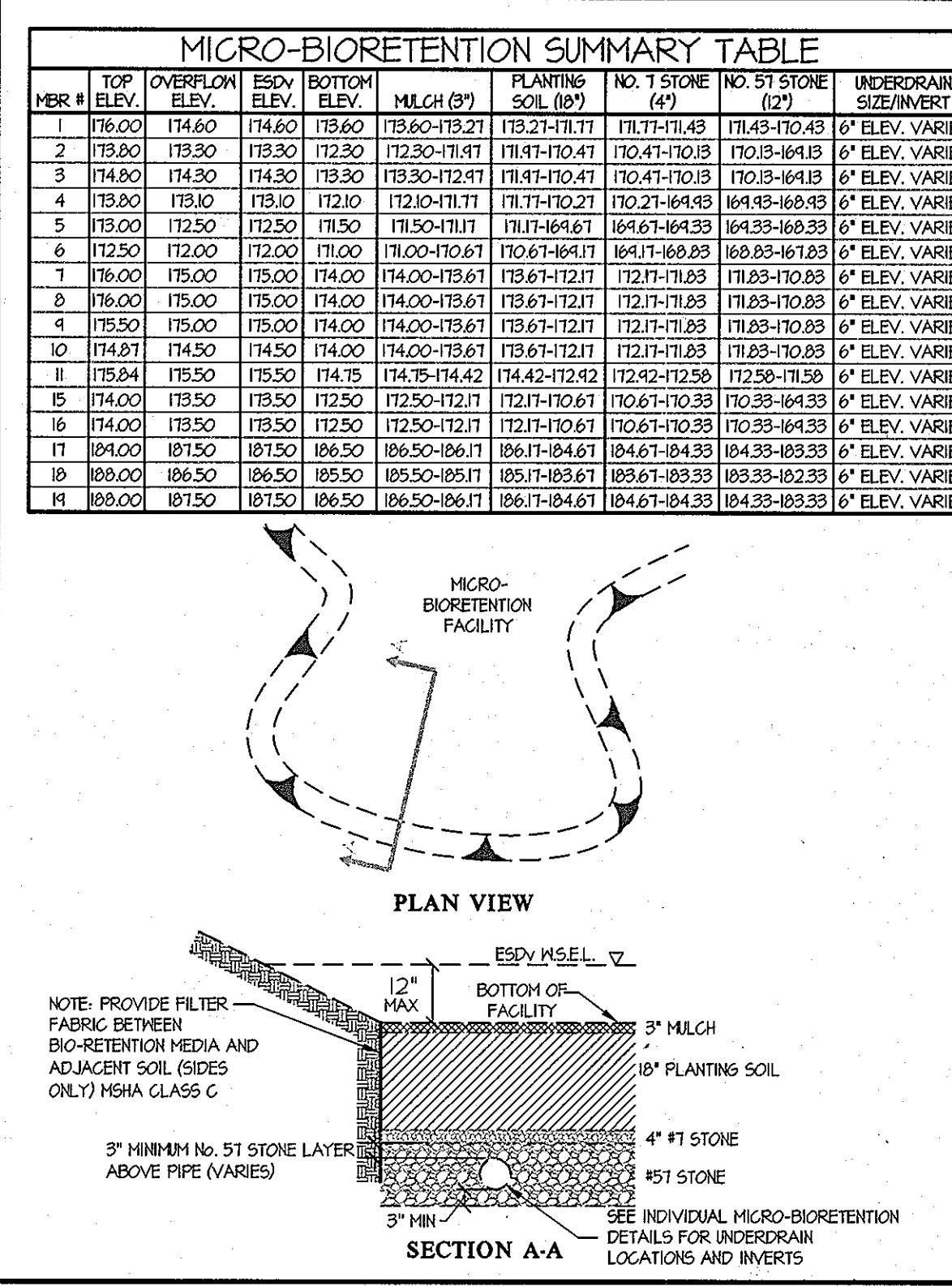
A. THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR FLEXIGLASS TUBE ('SLUDGE JUDGE') TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE STORMCEPTOR UNIT MUST BE CLEANED.

B. THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE PETROLEUM SPILLS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

C. THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.

D. THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMCEPTOR UNIT AS NEEDED.

E. THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.



**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FILTERTECH DEVICES**

Activation  
A. Activation of the Filterra® unit is performed ONLY by the Supplier. Purchaser is responsible for Filterra® unit protection and subsequent clean out cost. This process cannot commence until the project site is fully stabilized and cleaned (final landscaping, grass cover, final paving and street sweeping completed), negating the chance of construction materials contaminating the Filterra® system. Core shall be taken during construction not to damage the protective throat and top plates. B. Activation includes installation of plants and mulch layers as necessary.

Maintenance  
A. Each correctly installed Filterra® unit is to be maintained by the Supplier, or a Supplier approved contractor for a minimum period of 1 year. The cost of this service is to be included in the price of each Filterra® unit. Extended maintenance contracts are available at extra cost upon request.  
B. Annual maintenance consists of a maximum of (2) scheduled visits. The visits are scheduled seasonally the spring visit aims to clean up after winter loads including salts and sands. The fall visit helps the system by removing excessive leaf litter.  
C. Each maintenance visit consists of the following tasks:  
1. Filterra® unit inspection  
2. Foreign debris, silt, mulch & trash removal  
3. Filter media evaluation and recharge as necessary  
4. Root health evaluation and pruning or replacement as necessary  
5. Replacement of mulch  
6. Disposal of all maintenance refuse items  
7. Maintenance records updated and stored (reports available upon request)  
D. The beginning and ending date of Supplier's obligation to maintain the installed system shall be determined by the Supplier at the time the system is activated. Owners must promptly notify the Supplier of any damage to the plants, which constitute(s) an integral part of the bio-retention technology.

# Filterra® BioRetention Treatment System General Criteria and Performance Specifications

**General Description**  
The following general specifications describe the components and installation requirements for the Americast bio-retention filtration system stormwater treatment device. The Filterra® that utilizes physical, chemical and biological mechanisms of a soil, plant and microbe complex to remove pollutants typically found in urban stormwater runoff. The treatment system is a fully equipped, pre-constructed drop-in place unit designed for applications in the urban landscape to treat contaminated runoff from impervious surfaces.

**II. Scope**  
Americast and/or the authorized dealer or manufacturer, the Supplier, selected by the Contractor and approved by the Engineer, shall furnish Filterra® related engineering assistance required to properly size and install all components of the treatment device in accordance with the manufacturer's technical specifications. The Supplier will also provide field representation and guidance during initial installation of the Filterra® systems. The Contractor will be responsible for wooding and installation of the delivered product. The Supplier will maintain the Filterra® system for a period of 2 years. Engineer references the site design engineer or a representative thereof. Inspector references a representative of the governing jurisdiction or municipality for the installation site.

**III. Quality Control**  
A. The quality of precast concrete components, under drain materials, filter media, landscape materials and all other appurtenances and their assembling process shall be subject to inspection by the Engineer/Inspector at the place of manufacture and upon delivery of the unit at the work site. Both at the place of manufacture or after delivery to the work site, the unit or components thereof may be removed, rejected, replaced, or repaired to the satisfaction of the Engineer/Inspector and at the expense of the Supplier or Contractor.  
B. The unit and all components shall be inspected by the manufacturer for completeness, consistency with approved drawings, appearance, dimensions, engineered filter media, and type of plant materials.  
C. All precast component surfaces shall be free of defects. Imperfections may be repaired to the acceptance of the Engineer/Inspector.  
D. All plant materials shall comply with the type and size required by the approved drawings and shall be alive and free of obvious signs of disease.  
E. Filter media shall be visually inspected by the Supplier to ensure appropriate volume, texture and consistency with the approved drawings and must be either tested or have been certified using approved procedures to meet or exceed the filter media minimum flow rates, annual volume treatment capacity, pollutant removal efficiency and soil content (sand, silt, clay and organic material) of the Filterra®.  
F. All inlet and outlet connections shall be watertight.

**IV. Submittals**  
A. Installation, Operation, and Maintenance Plan (IOM Plan)  
The Contractor shall submit the manufacturer's approved Filterra® installation, operation, and maintenance plan for the system. It will be the responsibility of the unit owner/operator or their contractor to ensure that the unit is installed, operated, and maintained in accordance with the IOM plan.  
B. Drawings  
The Contractor shall provide dimensional drawings and, when specified, utilize these drawings to show details for construction, materials, specifications, reinforcing, pipe joints and appurtenances. A Professional Engineer shall certify design calculations and drawings.  
C. Manufacturer's Certification  
The manufacturer shall submit documentation sealed by a registered professional engineer, which certifies all components of the unit have been manufactured and assembled to meet the requirements of these specifications and the approved drawings.  
D. Manufacturer's Warranty  
The manufacturer shall warrant that all components of the units are free of defects in materials and workmanship and that they will perform in accordance with design specifications for a period of 2 years from the date of placing in full operation, provided that the unit is operated and maintained in accordance with the IOM Plan. Improper operation, improper maintenance, or accidental or illegal activities (i.e. dumping of pollutants, vandalism, etc.) will void the warranty.

**V. Materials and Design**  
Each unit shall consist of a precast and fully constructed unit composed of a concrete container with appropriately sized and placed inlet and outlets, an under drain system, filter media, plant materials and an appropriate grate landscape cover where applicable.  
A. Concrete for precast unit shall conform to ASTM Designation C 857 and C 858 and meet the following additional requirements:  
1. The wall thickness shall not be less than 6 inches or as shown on the dimensional drawings. In all cases the wall thickness shall be no less than the minimum thickness necessary to meet loading requirements of the application as determined by a Licensed Professional Engineer.  
2. The precast concrete unit shall be cured by an approved method. The unit shall not be shipped until the concrete has attained 85% of its designed compressive strength.  
3. Vault joints to be sealed with an Engineer approved non-shrink grout.  
4. Dimensions to meet the requirements of the approved drawings.  
B. Pipe connections shall be provided to accept pipes of the specified size(s) and material(s).  
C. Frames, covers, and grates to be as recommended by the Supplier and subject to review of the Engineer for compatibility with site specific conditions.  
D. Plant type and size shall meet the requirements of the approved drawings and the plant materials will be supplied by a nursery that grows stock materials in conformance with the specifications of American Nursery Association Standards.  
E. Filter media shall be as directed by Americast which meets the performance criteria described in Section VI.  
F. The under drain system shall be constructed using perforated PVC pipe of sufficient capacity to freely accept the design flows of the unit without clogging or restricting flows. Access must be provided for inspection and cleaning of the under drain pipes.

**VI. Performance Criteria**  
A. The unit shall have a minimum flow rate 250 cubic feet/hour for a container with a surface area of 36 square feet.  
B. The unit shall remove 80% total suspended solids.  
C. The unit shall remove 70% total phosphorous, 60% total nitrogen, 90% heavy metals (Cu, Pb, Zn) and 50% hydrocarbon for oil/grease.  
D. The unit (of 36 square feet surface area) shall filter and treat a minimum of 80% of the annual volume of runoff from a 100% total impervious area of 1/4 acre. Higher efficiency rates can be achieved with larger filters or more filters/unit area.  
E. The unit shall be de-watered to 50% soil moisture content within 12 hours through a process of gravity flow and evapotranspiration.  
F. The unit shall be designed to ensure that high flow events shall by-pass the filter media preventing erosion and resuspension of pollutants.  
G. The filtered effluent shall be discharged to an appropriate storm drainage system in accordance with the approved drawings.  
H. The unit shall support vigorous plant and microbe growth.  
I. In areas where salt (NaCl) is used for de-icing the filter shall continue to function to remove pollutants and support vigorous plant growth provided that adequate drainage/filtration rates are maintained to flush residual salt concentrations out of the filter media.  
J. Contractor/Owner's strict compliance with the IOM Plan is critical to achieving performance criteria.

**VII. Construction**  
A. Each unit shall be constructed at the locations and elevations according to the sites shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.  
B. The unit shall be placed on a level compacted subbase with a 6-inch gravel base. Compact undisturbed subgrade materials to 95% of maximum density at 4-2% of optimum moisture. Inevitable material below subgrade shall be replaced to site engineer's approval.  
C. Inlet and outlets connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions.  
D. Once the unit is set, backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6" lifts on all sides. Precast sections shall be set in a manner that will result in a water-tight joint. In all instances, installation of filter unit shall conform to ASTM specification C241 "Standard Practice for Installation of Underground Precast Utility Structures".

**VIII. Maintenance**  
A. Each Filterra® system is to be maintained by Americast, or an Americast approved contractor for a minimum period of 2 years. The cost of this service to be included in the price of each Filterra® system. Annual maintenance consists of a maximum of (2) scheduled visits. Each maintenance visit consists of the following tasks:  
1. Foreign debris removal  
2. Excess silt removal  
3. Plant health evaluation and pruning or replacement as necessary  
4. Media evaluation and recharge as necessary  
5. Addition of mulch as necessary  
6. Disposal of all maintenance refuse items  
B. The beginning and ending date of Supplier obligation to maintain the installed system shall be determined by the Supplier at the time the system is activated. Owners must promptly notify the Supplier of any damage to the plants, which constitute(s) an integral part of the bio-retention technology.

**IX. Performance Data**  
The Filterra® system is based on the principles of bio-retention retention technology. The general performance of a bio-retention system is shown below.

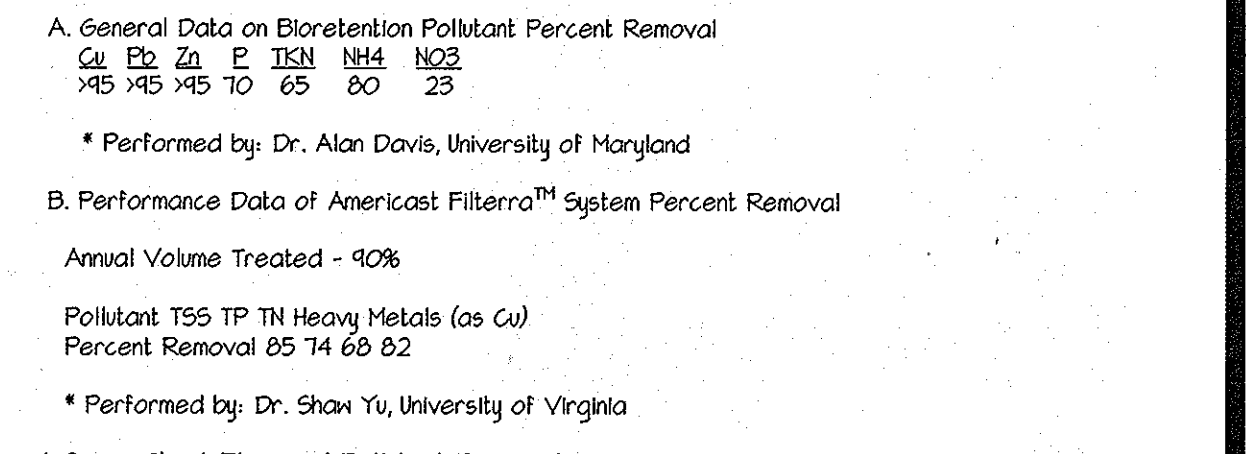
A. General Data on Bio-retention Pollutant Percent Removal  
Cu Pb Zn P TSS NH4 NO2  
46 45 45 70 65 80 23

\* Performed by: Dr. Alan Davis, University of Maryland

B. Performance Data of Americast Filterra® System Percent Removal  
Annual Volume Treated = 90%

Pollutant TSS TP TN Heavy Metals (as Cu)  
Percent Removal 85 74 66 82

\* Performed by: Dr. Shawn Yu, University of Virginia



**A. Filterra® Sizing Procedure:**

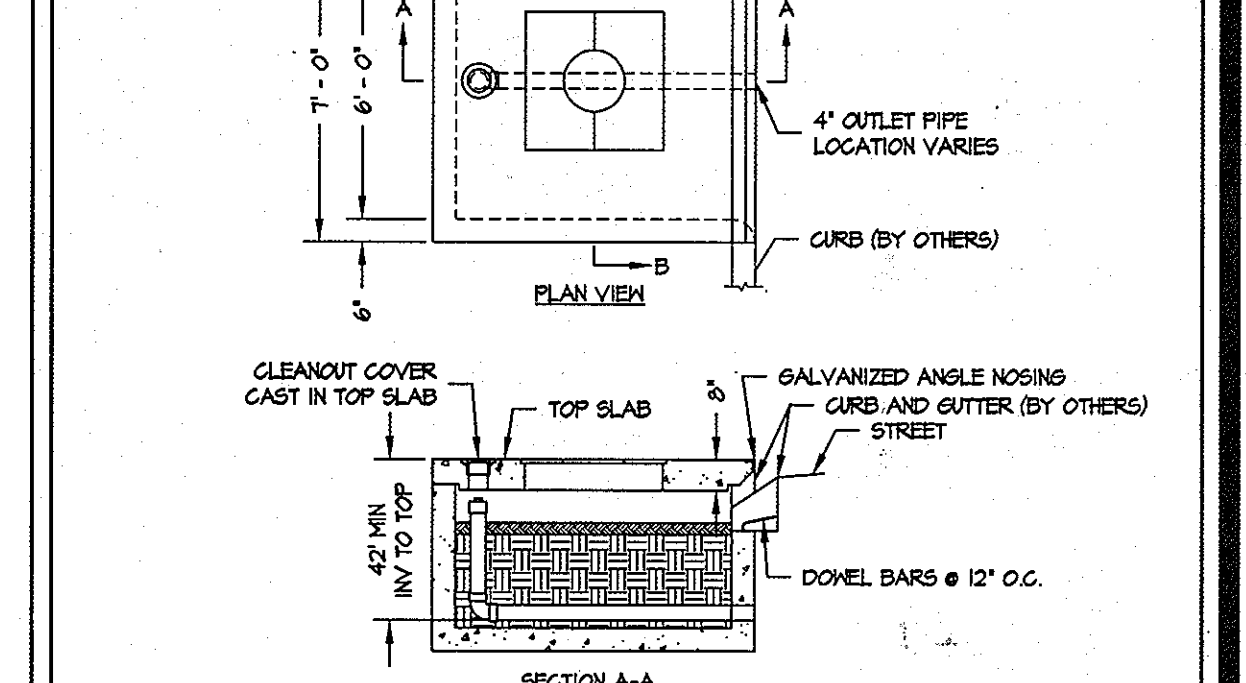
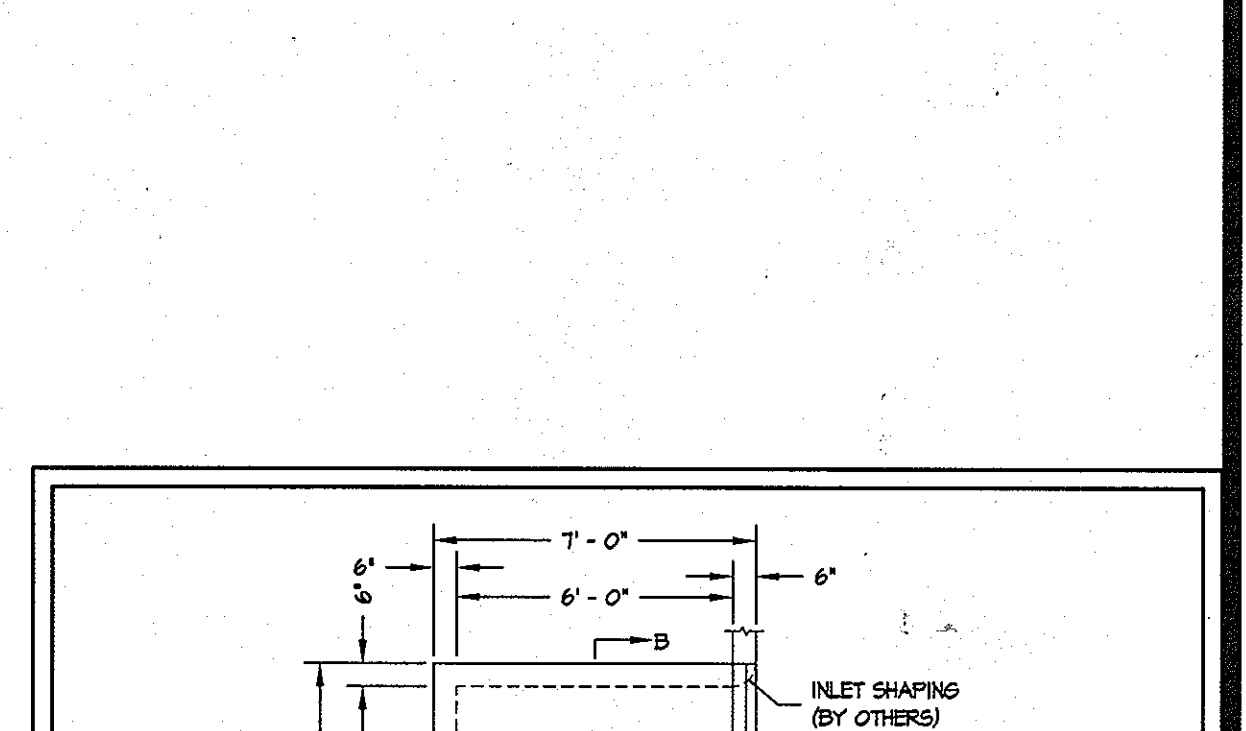
- Select desired percentage of annual rainfall volume to be treated (A axis).
- From that point on the y-axis draw a horizontal line to the curve and a vertical to line to x-axis to find Filter Surface Area (FSA)/Drainage Area (DA) ratio percent.
- Calculate Filterra® surface area by using the following formula:  
 $(FSA/DA) (DA in acres) x (43,560 sq. ft.) = \text{Surface Area required (as percent the site drainage)}$

Example: Desired Annual Volume Treated = 95%  
Drainage Area to be treated = 0.5 Acres ac  
From Chart the FSA / DA% = 0.52  
 $(0.5) (0.5) (43,560) = 100 \text{ sq. ft.}$  (Note: Could use (3) 6"x6", (1) 6"x12" & (1) 6"x6", or etc., to reach the needed Filterra® surface area required)

**B. Determine Annual Pollutant Removal**

Simply multiply the percent annual volume treated by the maximum pollutant removal percentage for each pollutant from IVA performance Data above.

Example: Annual volume treated = 45%  
Maximum TSS Removal = 95% (From Performance Data Above)  
Annual Pollutant Removal =  $(45) (95) = 40.25\%$  Total Suspended Solids



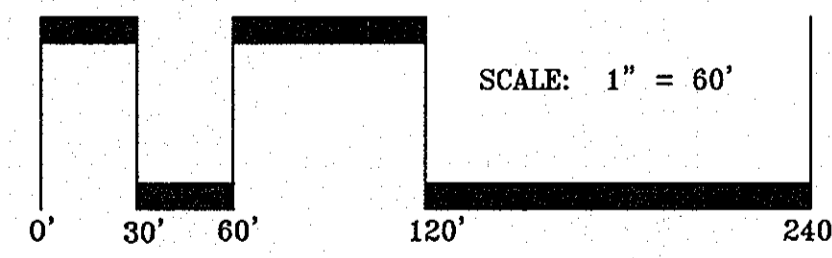
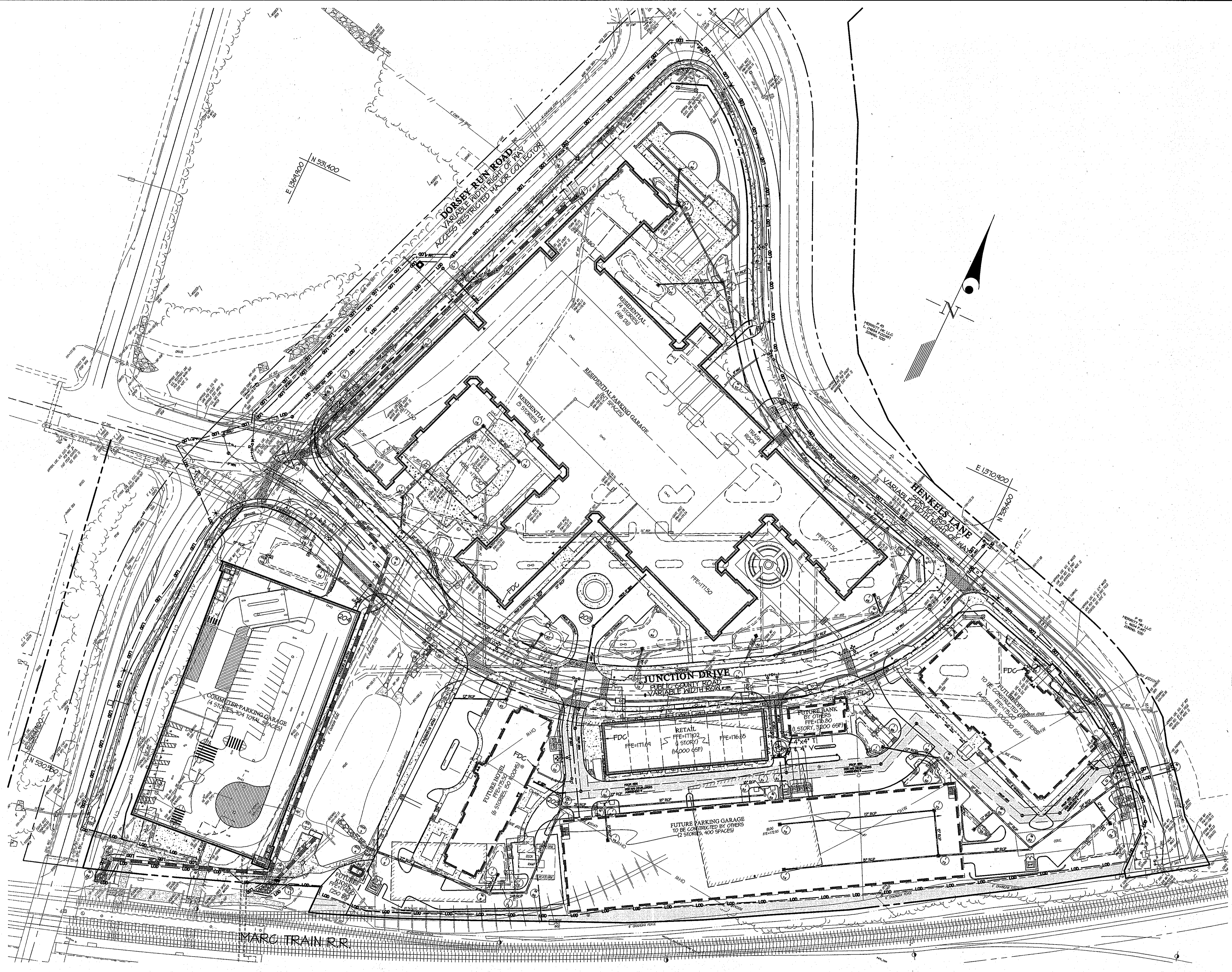
**AMERICAST**

DATE 06-27-03 DWG. FT6X-1  
PRECAST 6'-0" x 6'-0"  
FILTERRA™ INLET  
WITH 6'-0" THROAT

**filterra**

100 PAT #271214  
MFG #656252





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark D. Lough* 3/3/14  
 Director Date

*V. K. Chelivich* 3/07/14  
 Chief, Division of Land Development Date

*Chad Edmund* 2-28-14  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-683-1820 DC/VA: 301-399-2524 FAX: 301-421-4186

L:\CADD\DRAWINGS\11107\PLANS BY QLS\SP\11107-34-SP-UTILITY.dwg MAJ DRN JGJ CHK  
 DATE REVISION BY APP'R

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE  
 PLANS WERE PREPARED OR  
 APPROVED BY ME, AND THAT I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND,  
 LICENSE NO. 12475  
 EXPIRATION DATE: MAY 26, 2014  
 2-10-14

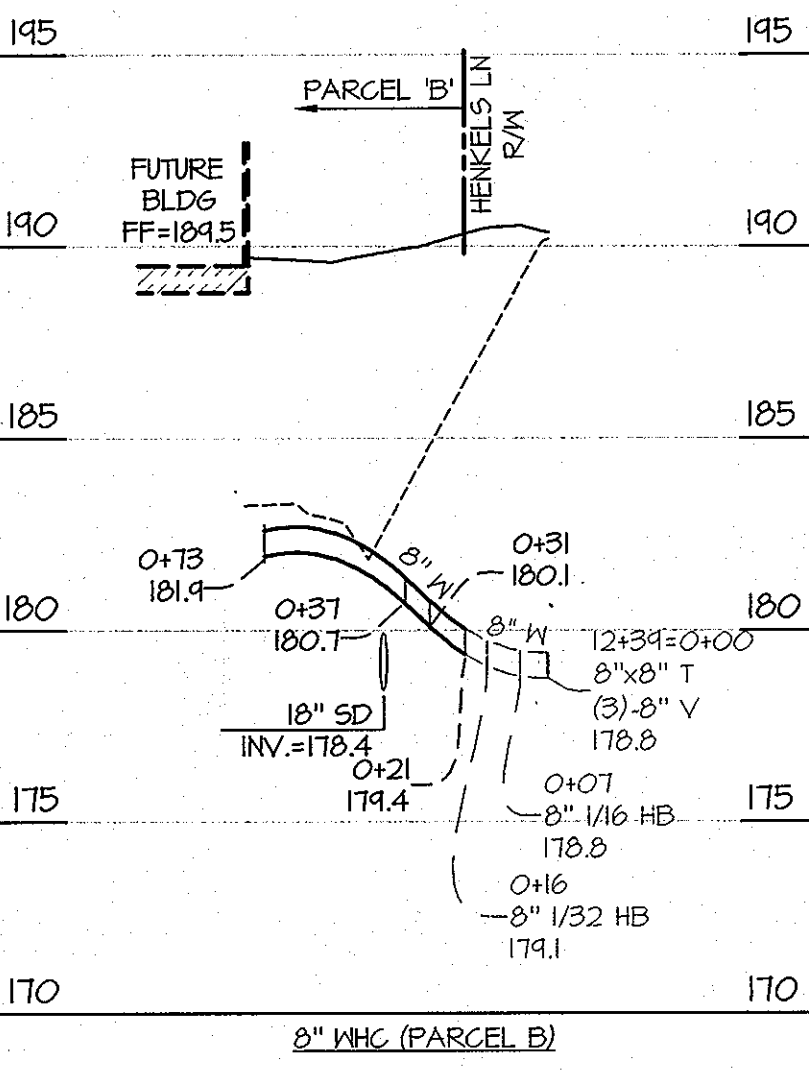
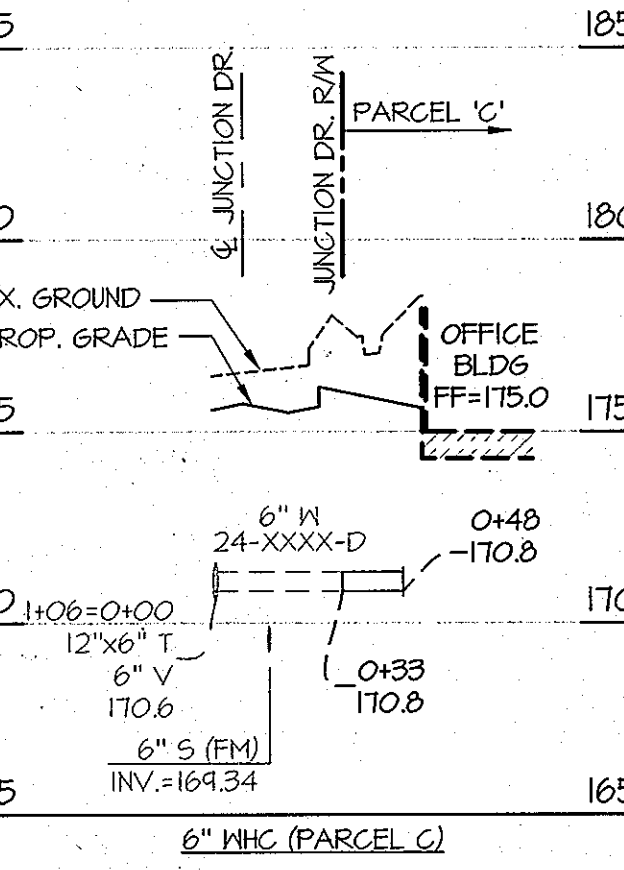
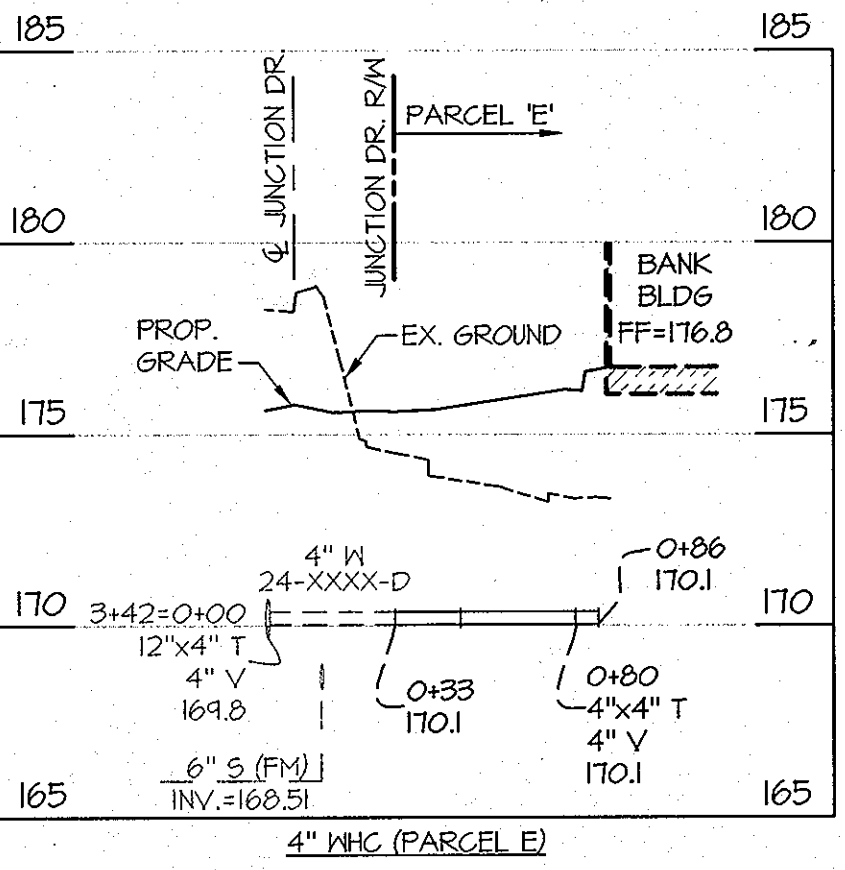
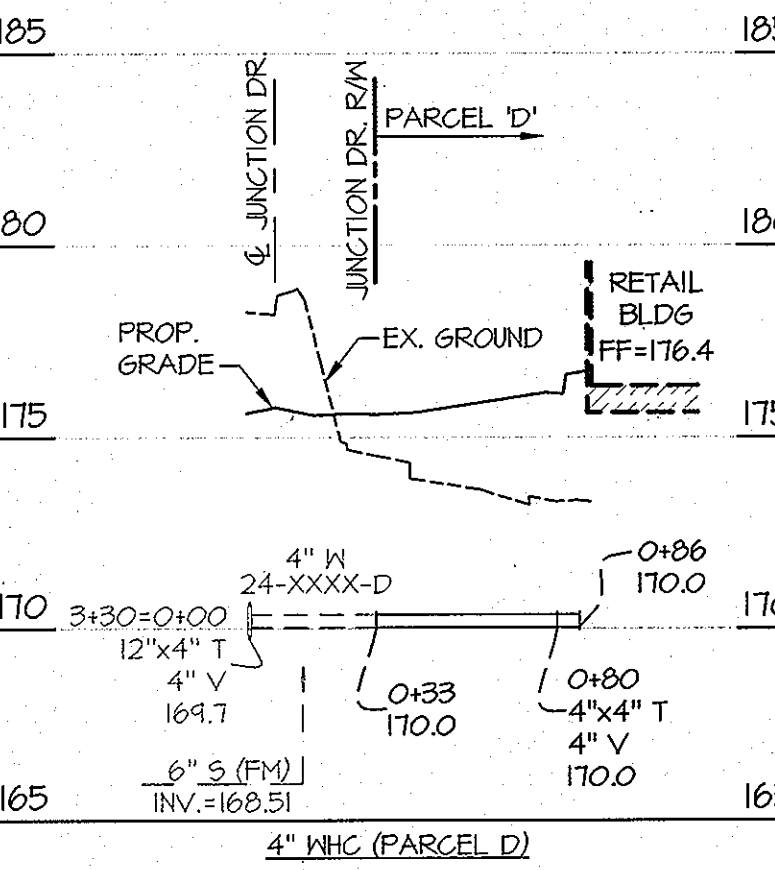
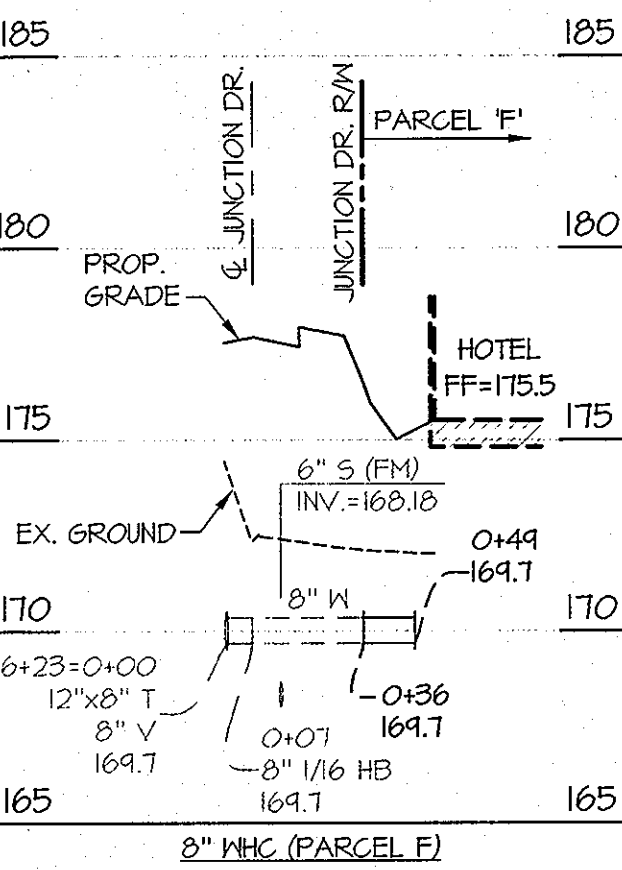
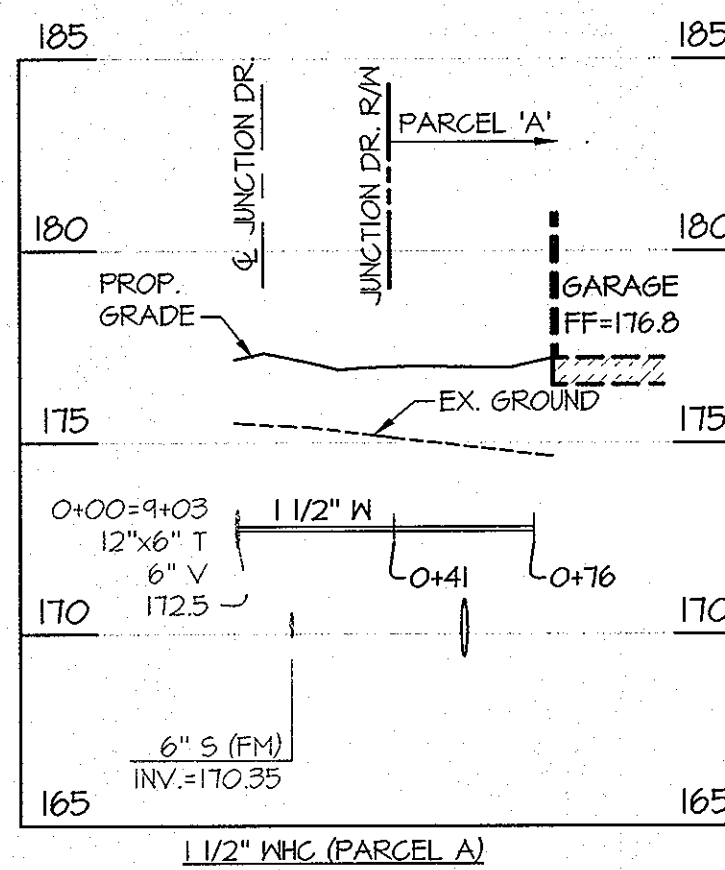
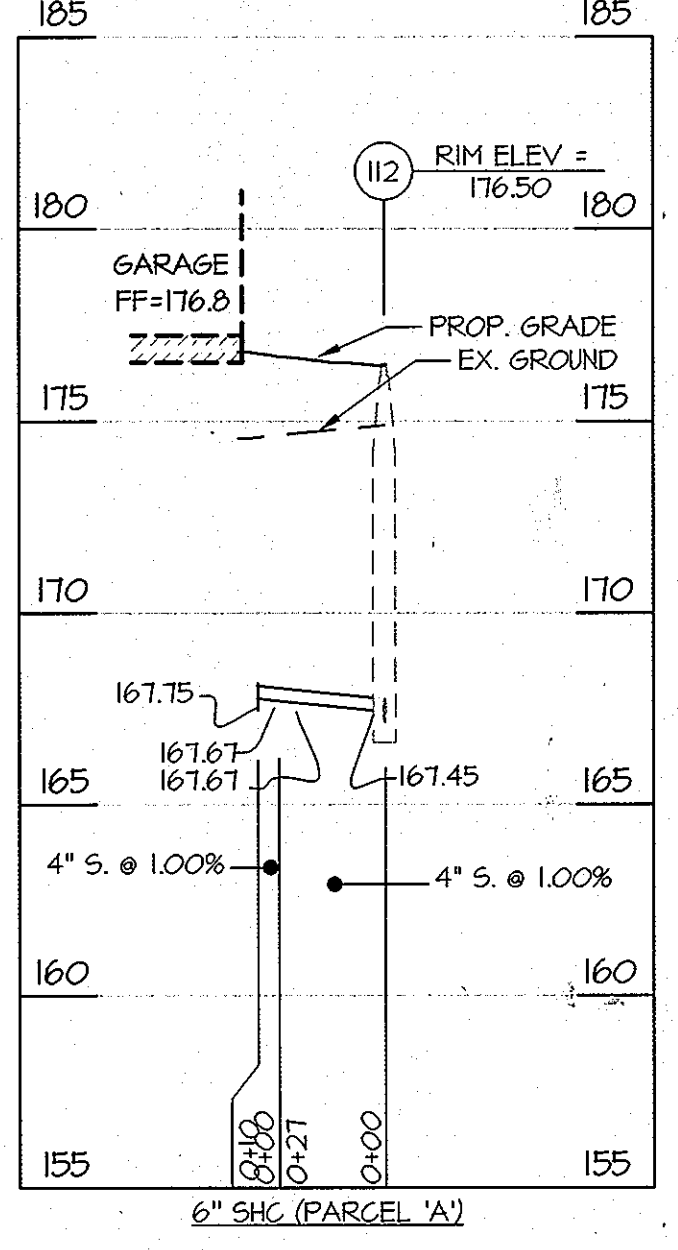
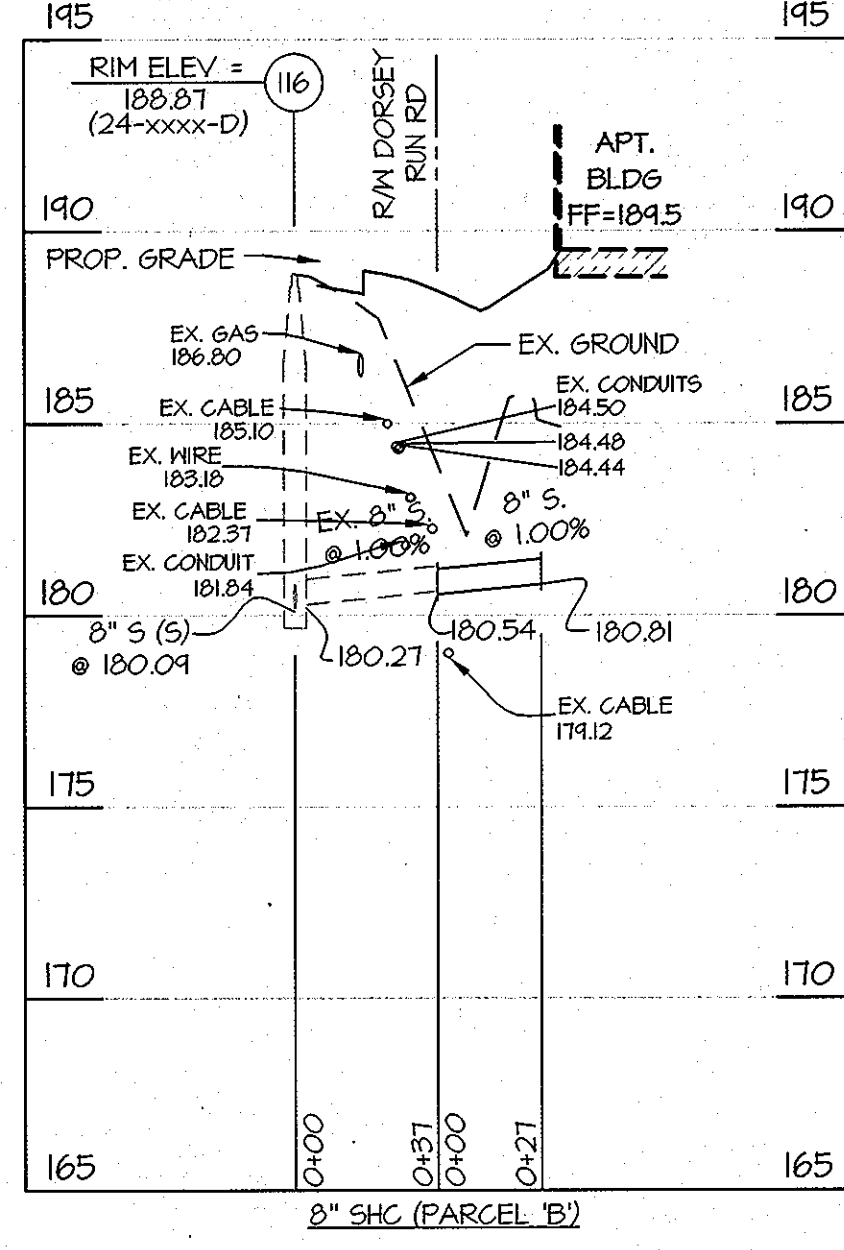
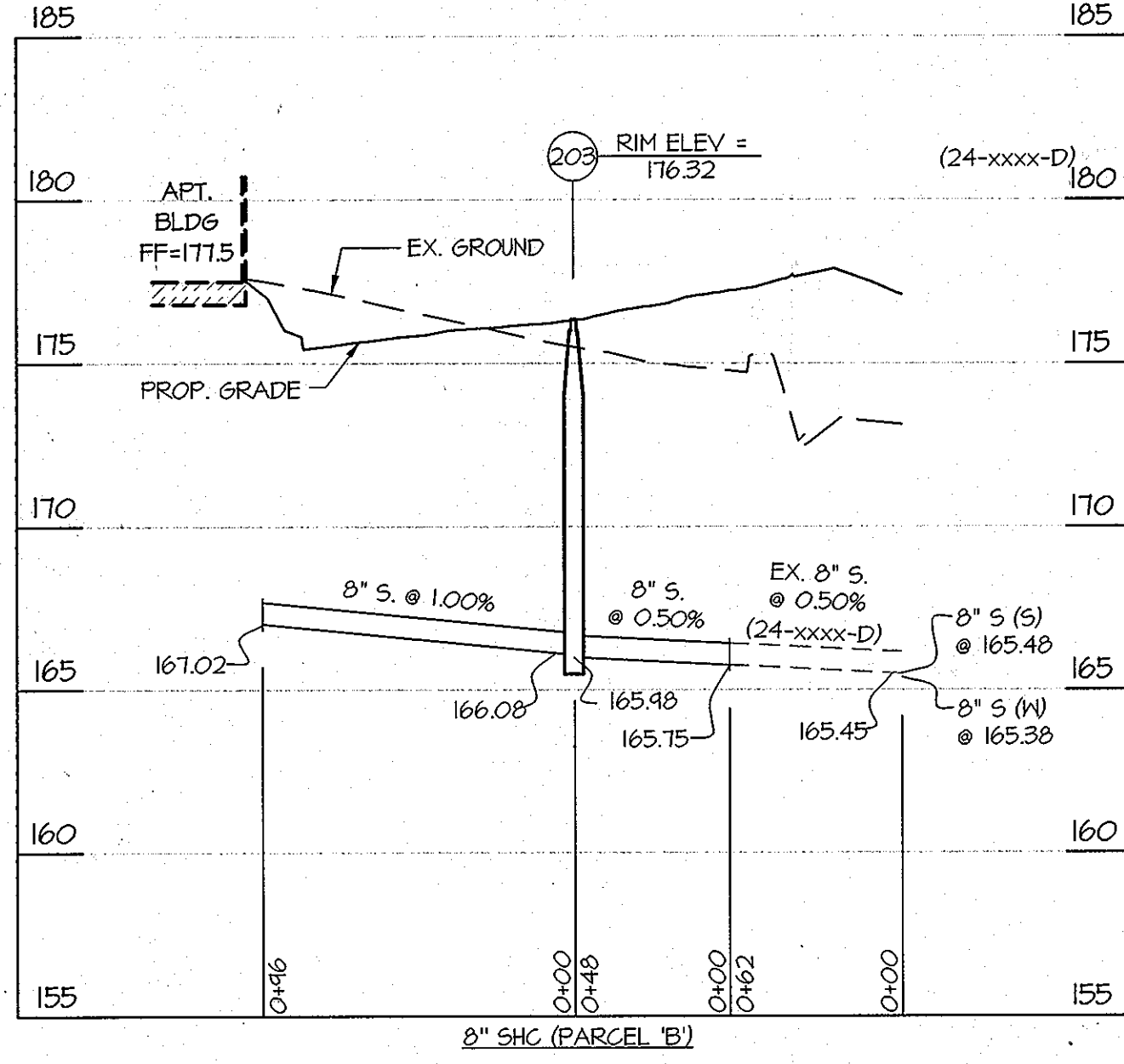
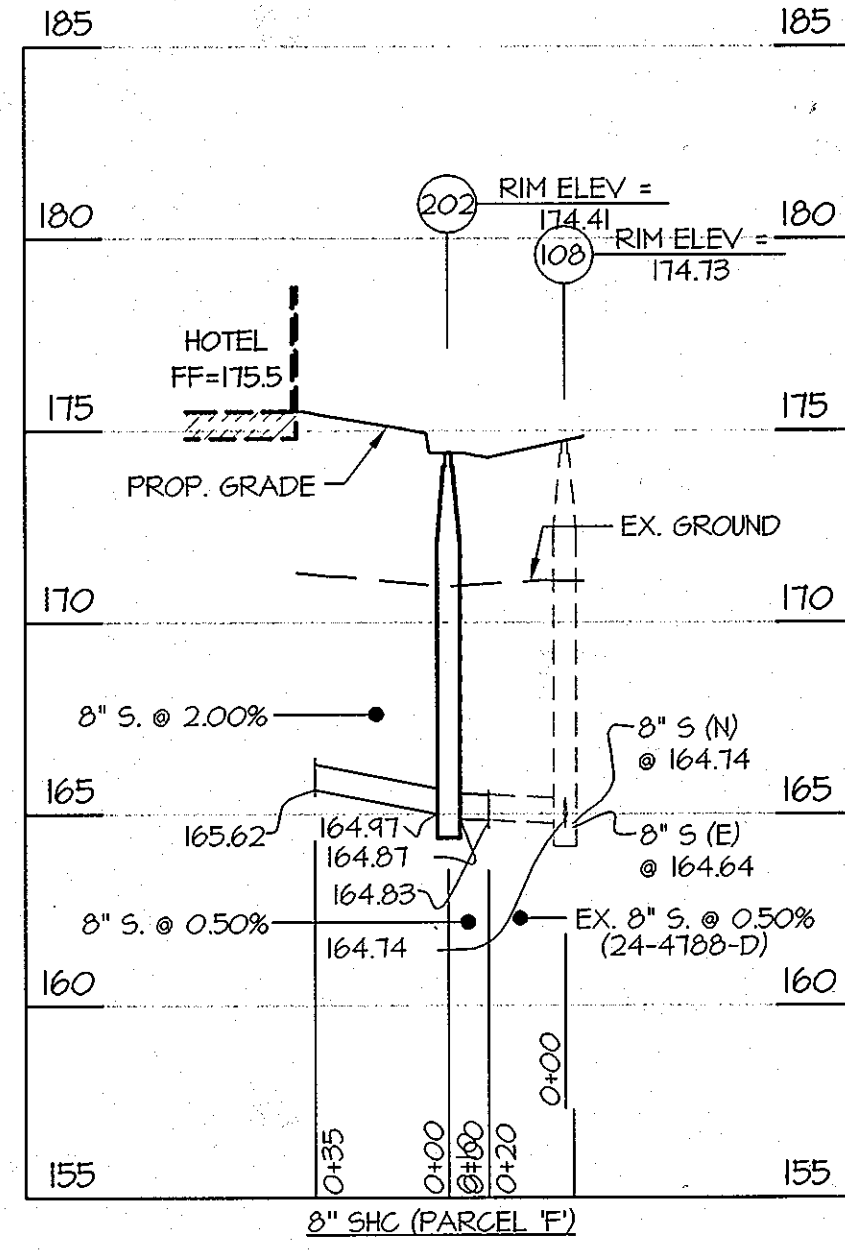
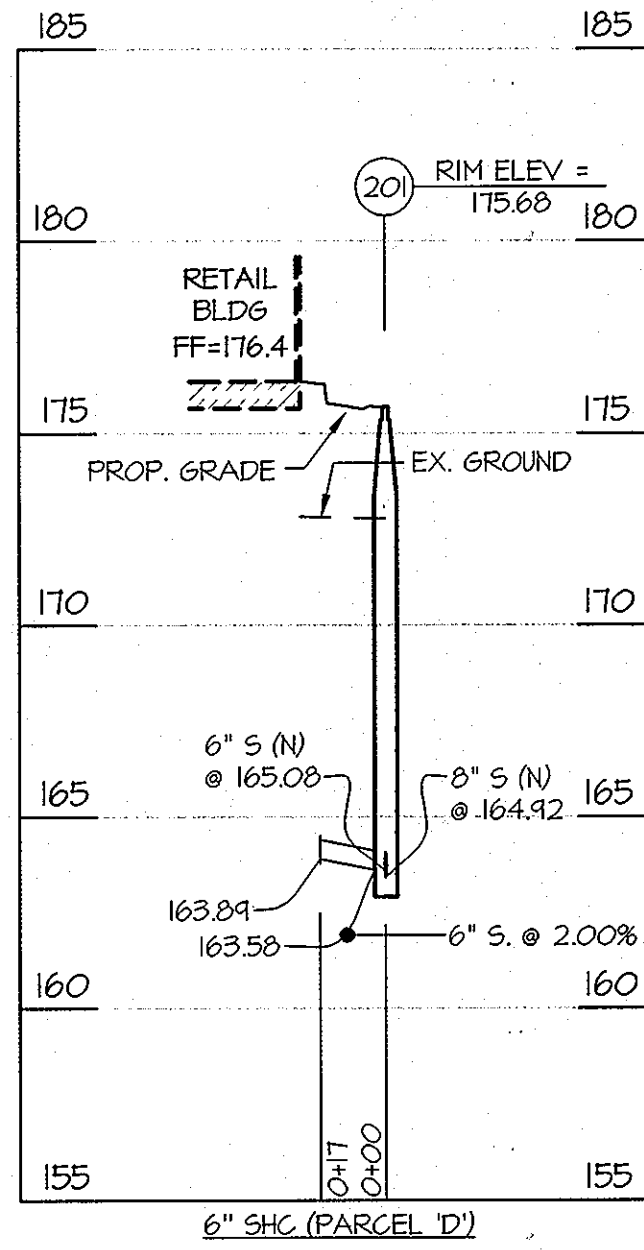
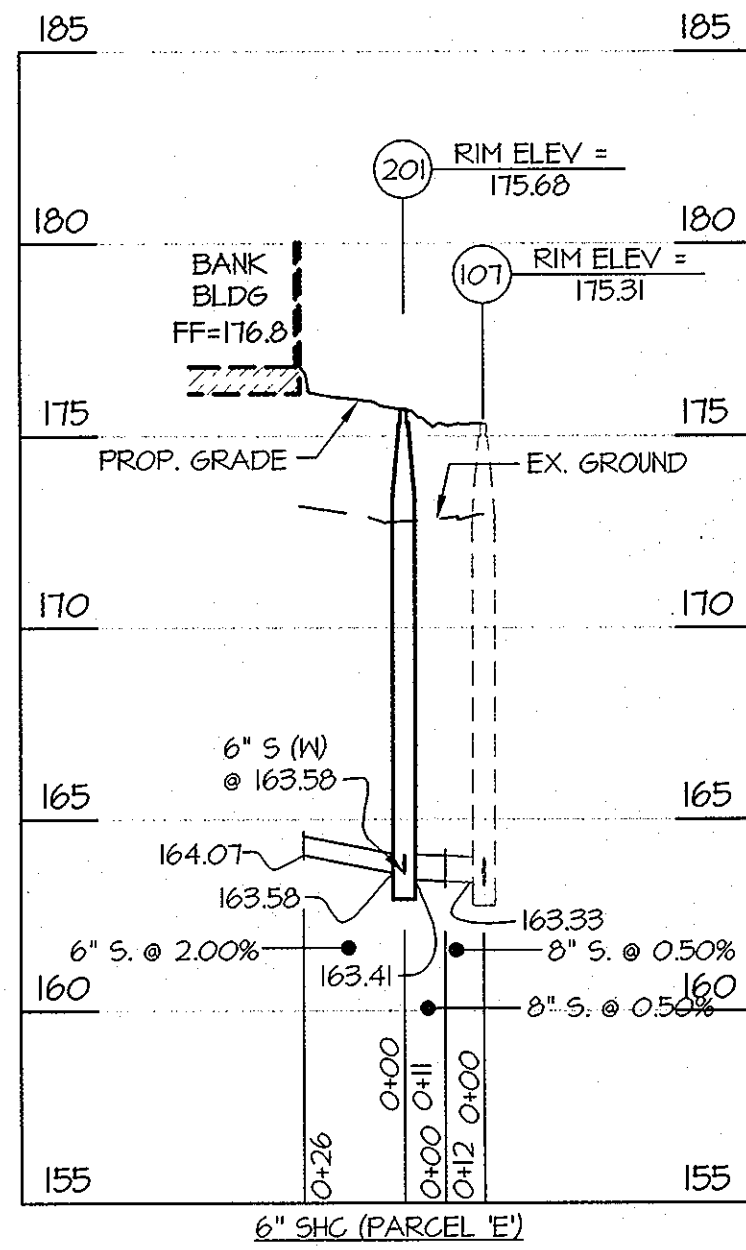
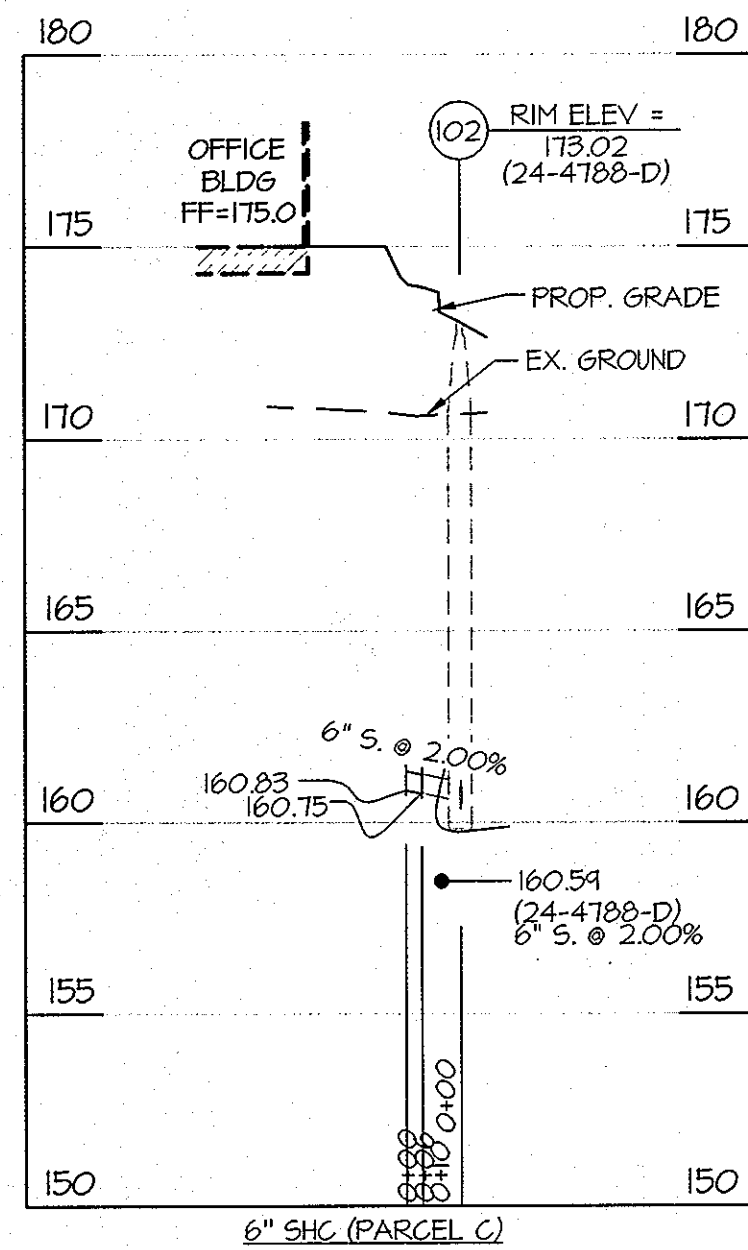


UTILITY PLAN  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22697-22701  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

SCALE 1"=60'	ZONING T.O.D.	G. L. W. FILE No. 11107
DATE MAY, 2013	TAX MAP - GRID 48-20	SHEET 34 OF 64

3. L:\CADD\DRAWINGS\11107\PLANS BY QLS\SP\11107-34-SP-UTILITY.dwg  
 3. L:\CADD\DRAWINGS\11107\PLANS BY QLS\SP\11107-34-SP-UTILITY.dwg  
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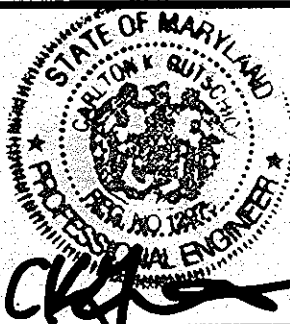
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark Johnston* Date: 3/2/14  
 Chief, Division of Land Development: *Katsch...* Date: 3/07/14  
 Chief, Development Engineering Division: *...* Date: 2-28-14

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-380-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE  
 PLANS WERE PREPARED OR  
 APPROVED BY ME, AND THAT I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND,  
 LICENSE NO. 12719  
 EXPIRATION DATE: MAY 26, 2014  
*Mark Johnston*



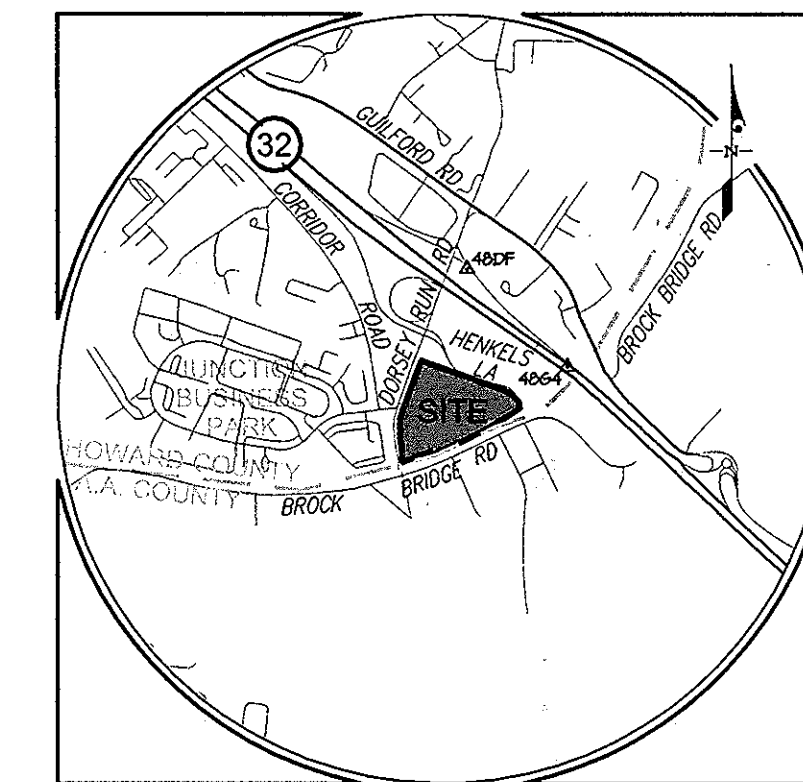
**UTILITY PROFILES**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
 PLAT No. 2207-2701  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	35 OF 64

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 PLOTTED: 2/25/2014 10:56 AM, LAST SAVED: 6/5/2013 2:41 PM, PLOTTED BY: Mark Johnston  
 © GLW 2012



Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	Ac.
1	15.00%	24.90%		0.37
2	25.00%	Vertical		0.46



**VICINITY MAP**  
SCALE: 1" = 2,000'

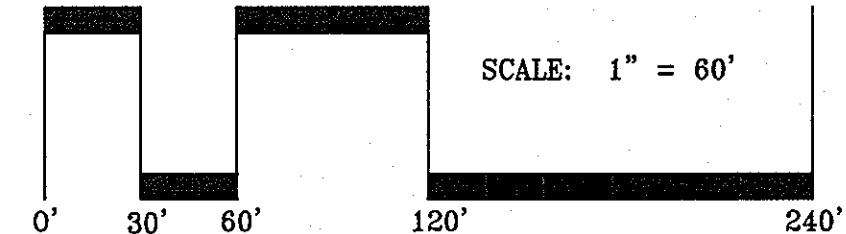
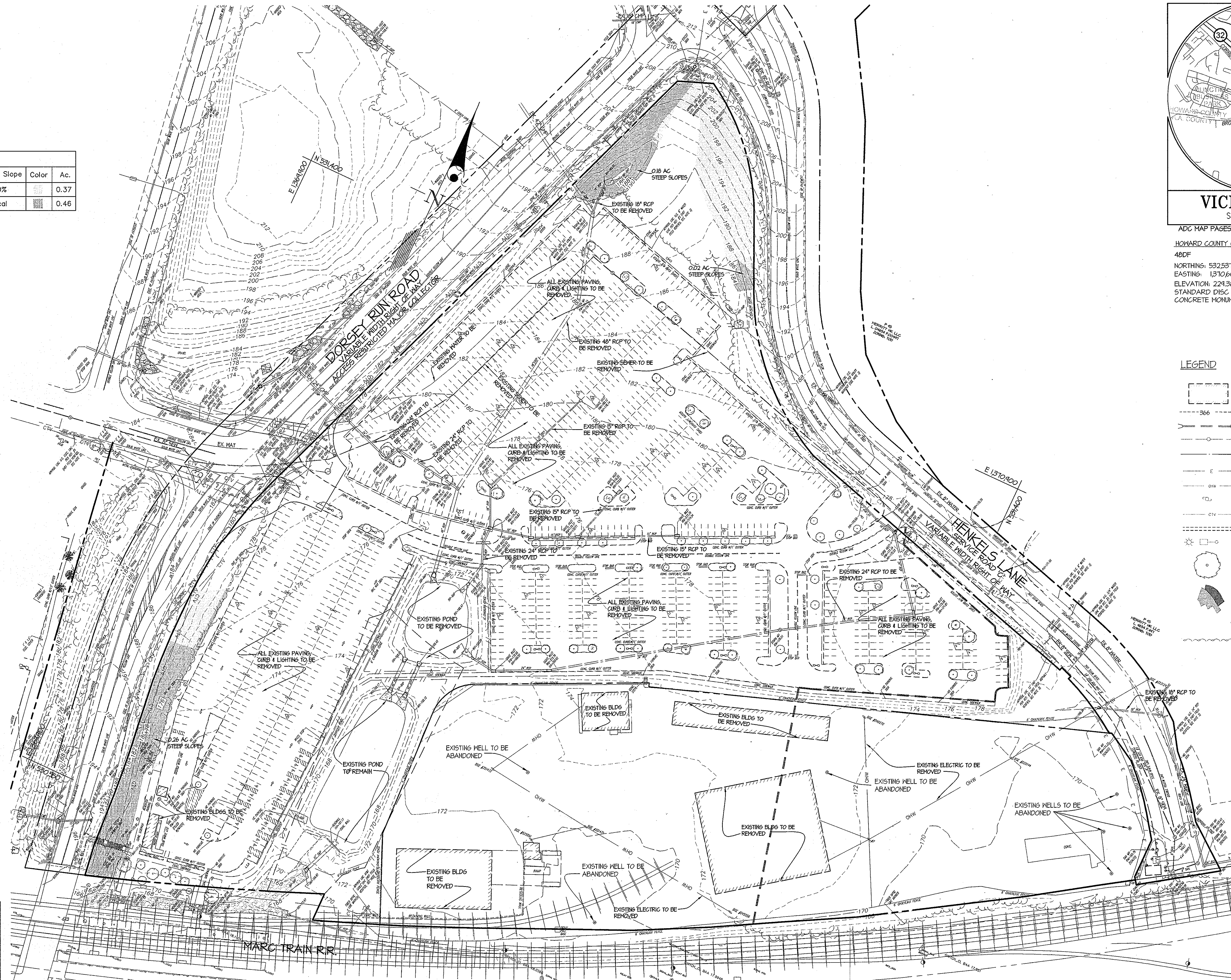
ADC MAP PAGES 5054 GRID C-10 & 5170 GRID C1

**HOWARD COUNTY CONTROL STATIONS**

48DF	4864
NORTHING: 53253157	NORTHING: 53151916
EASTING: 137060665	EASTING: 137165317
ELEVATION: 224.38	ELEVATION: 205.90
STANDARD DISC ON CONCRETE MONUMENT	STANDARD DISC ON CONCRETE MONUMENT

**LEGEND**

- EX. BUILDING
- EX. CONTOUR
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. WATER
- EX. ELECTRIC LINE
- EX. OVERHEAD WIRE
- EX. UTILITY POLE
- EX. CABLE TV LINE
- EX. CURB & GUTTER
- EX. LIGHT FIXTURE & POLE
- EX. TREES (PER F-13-060)
- STEEP SLOPES (25% AND GREATER)
- EXISTING WELL TO BE ABANDONED
- EXISTING TREELINE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Marc Trainor* Date: 2/3/14  
 Chief, Division of Land Development: *Kevin Schaefer* Date: 3/10/14  
 Chief, Development Engineering Division: *Chad Colvin* Date: 2-28-14

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BALT: 410-883-1820 DC/VA: 301-889-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.

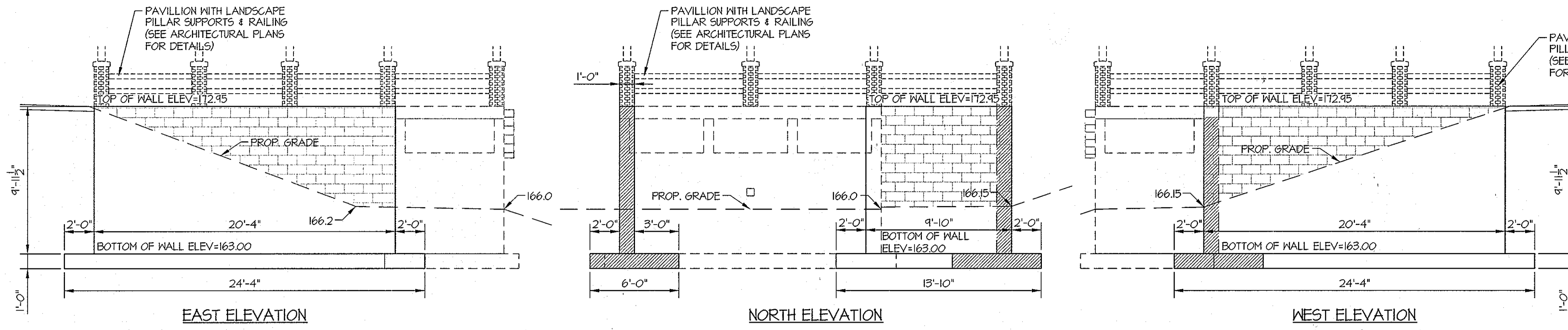
PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8888

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXPIRATION DATE: MAY 26, 2014  
*Chad Colvin*

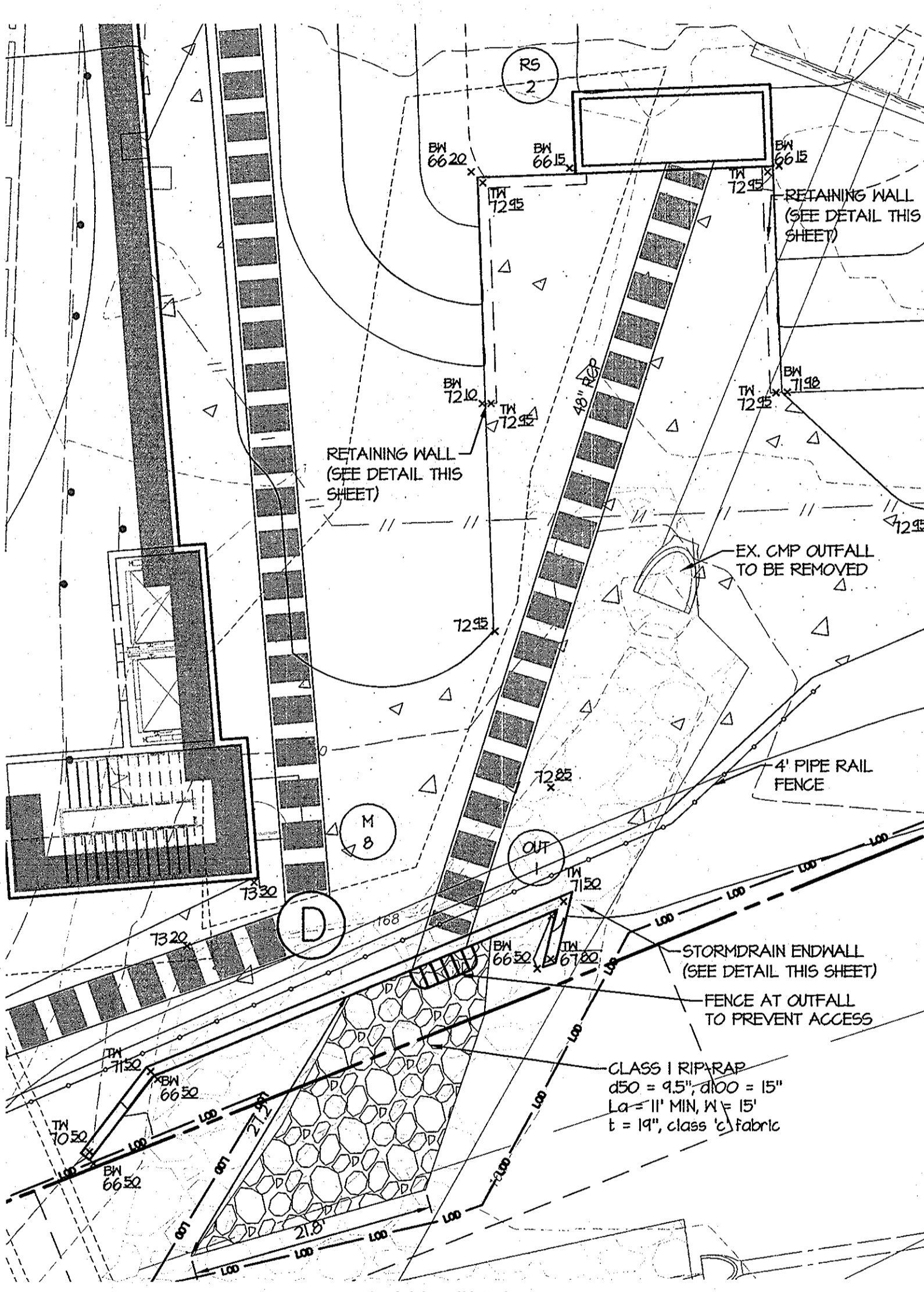
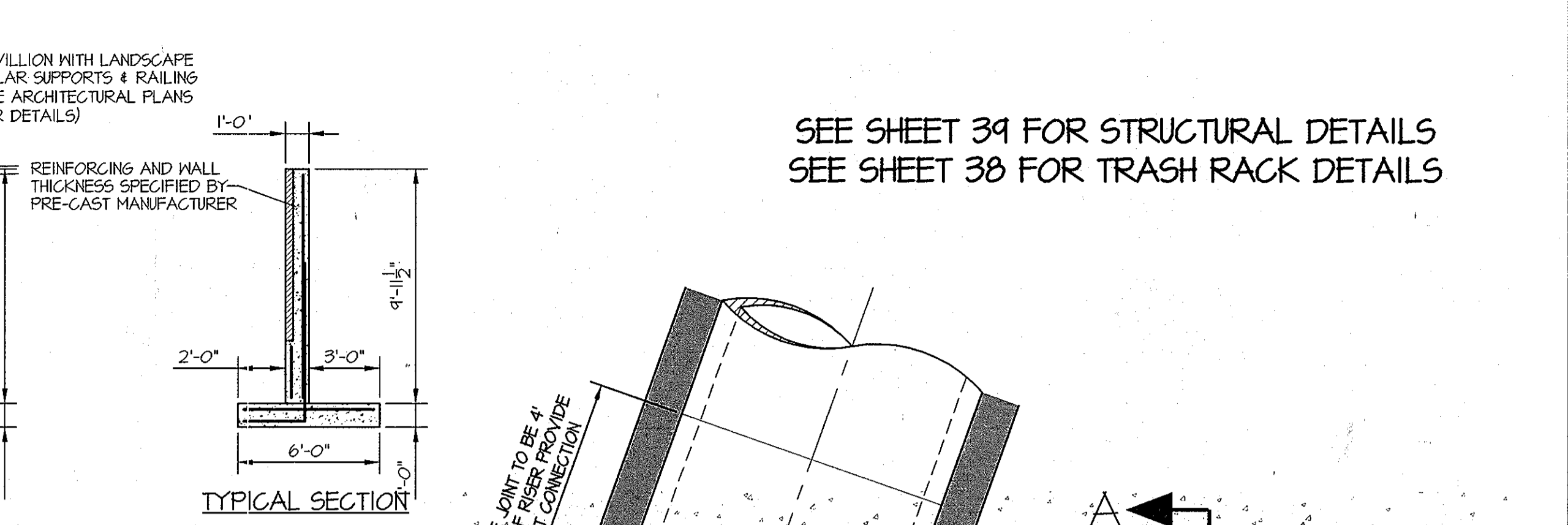
**EXISTING CONDITIONS PLAN**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22097-22201  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=60'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	36 OF 64

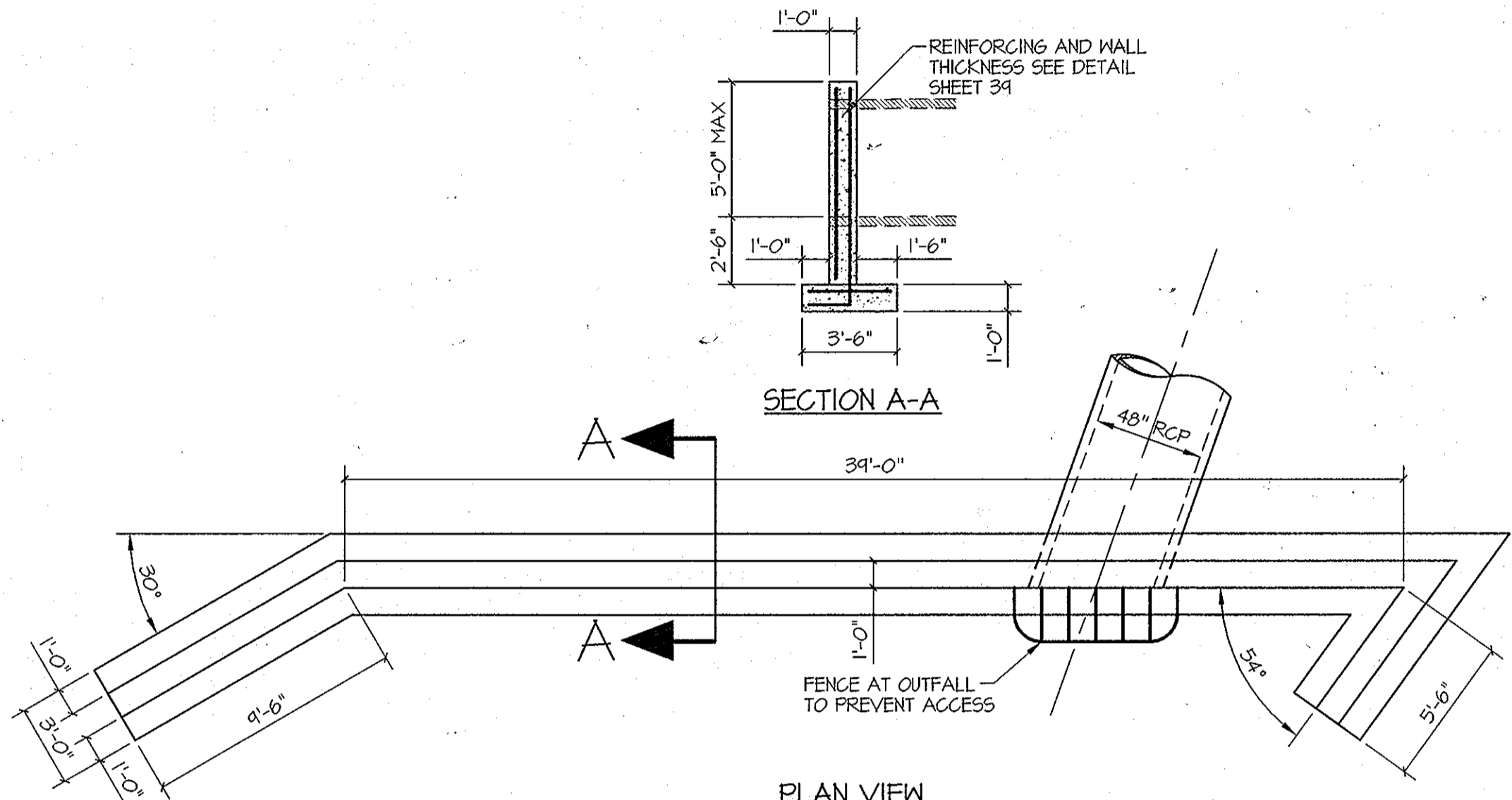




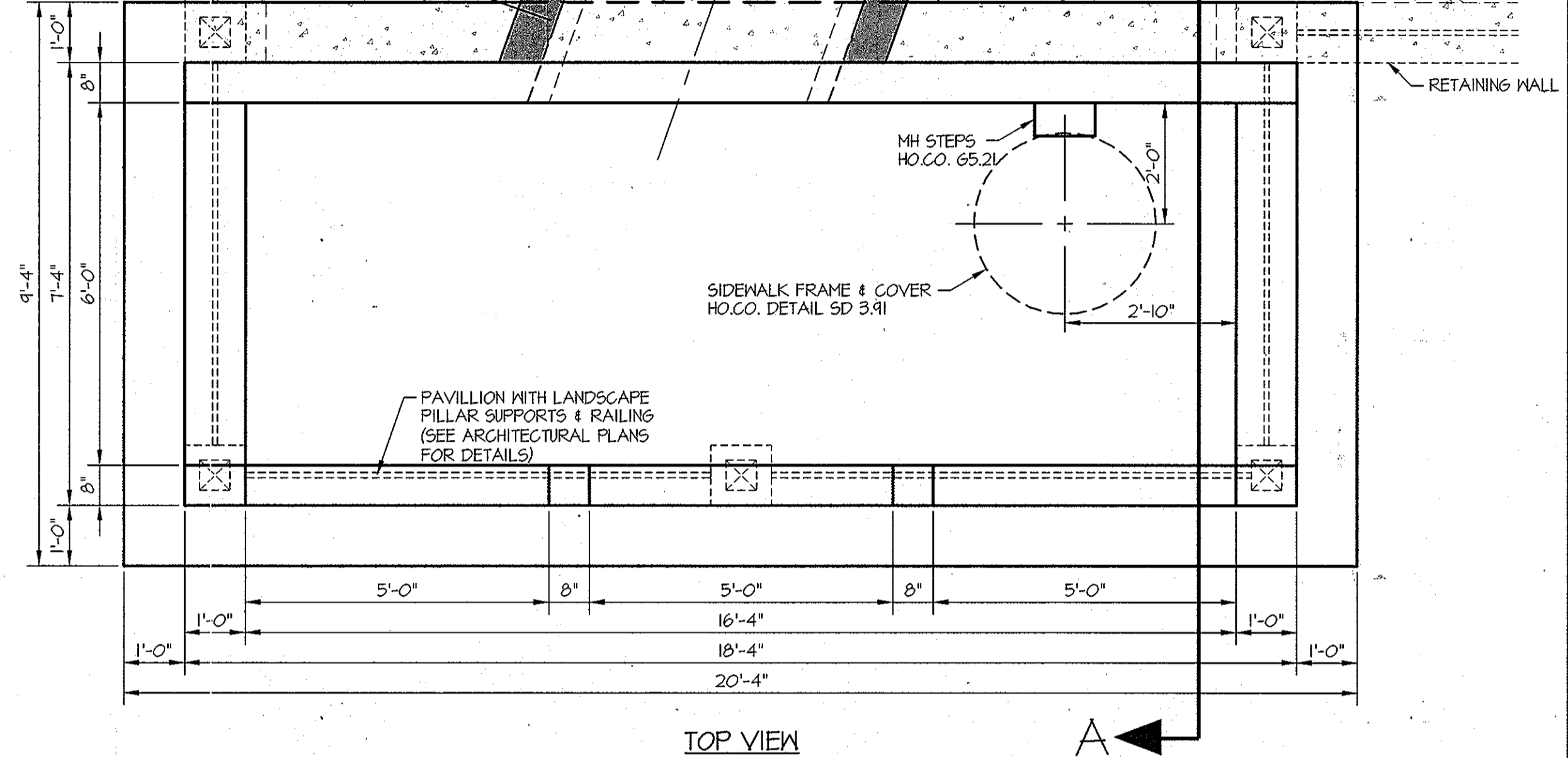
RETAINING WALL DETAILS  
SCALE: 1" = 5'



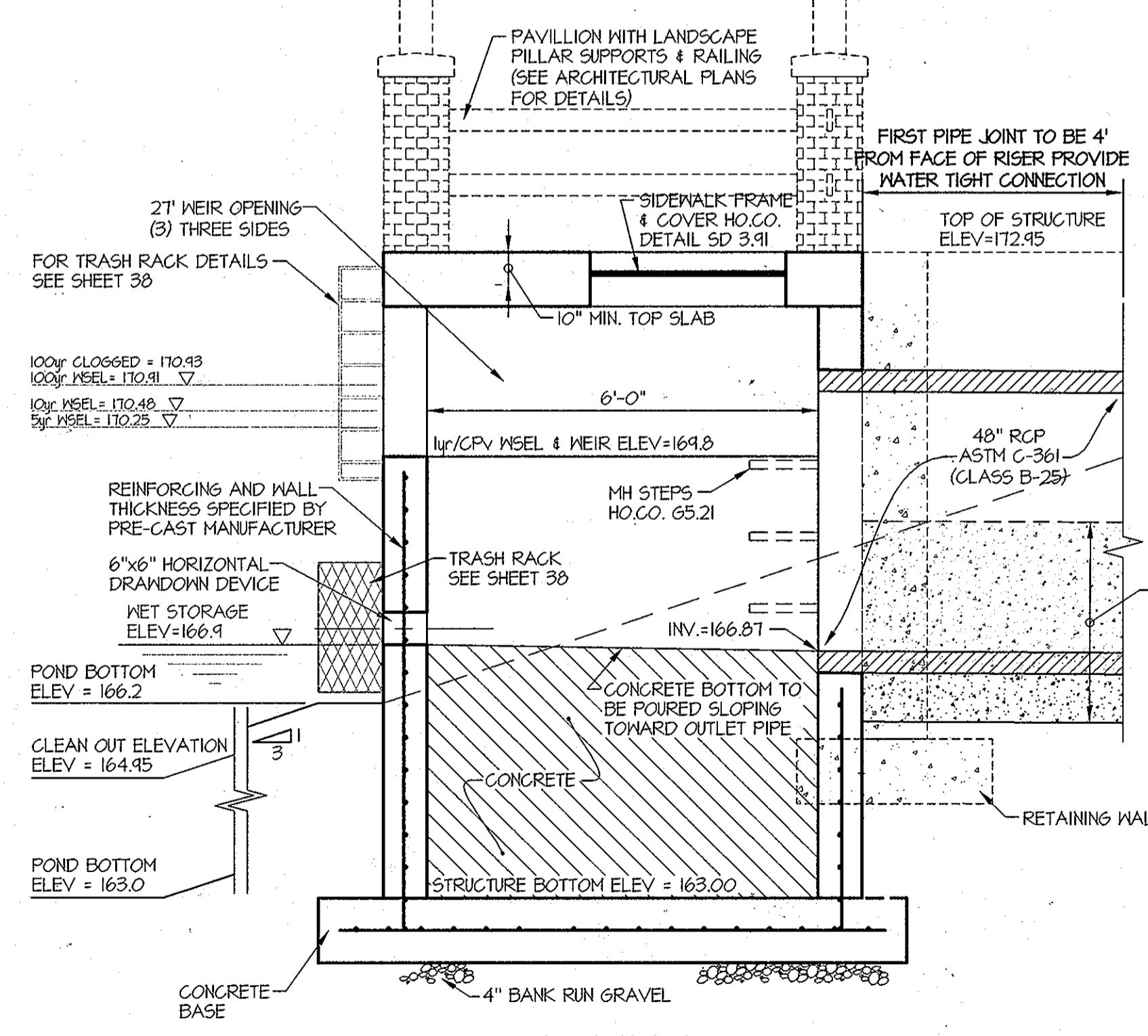
PLAN VIEW  
SCALE: 1" = 10'



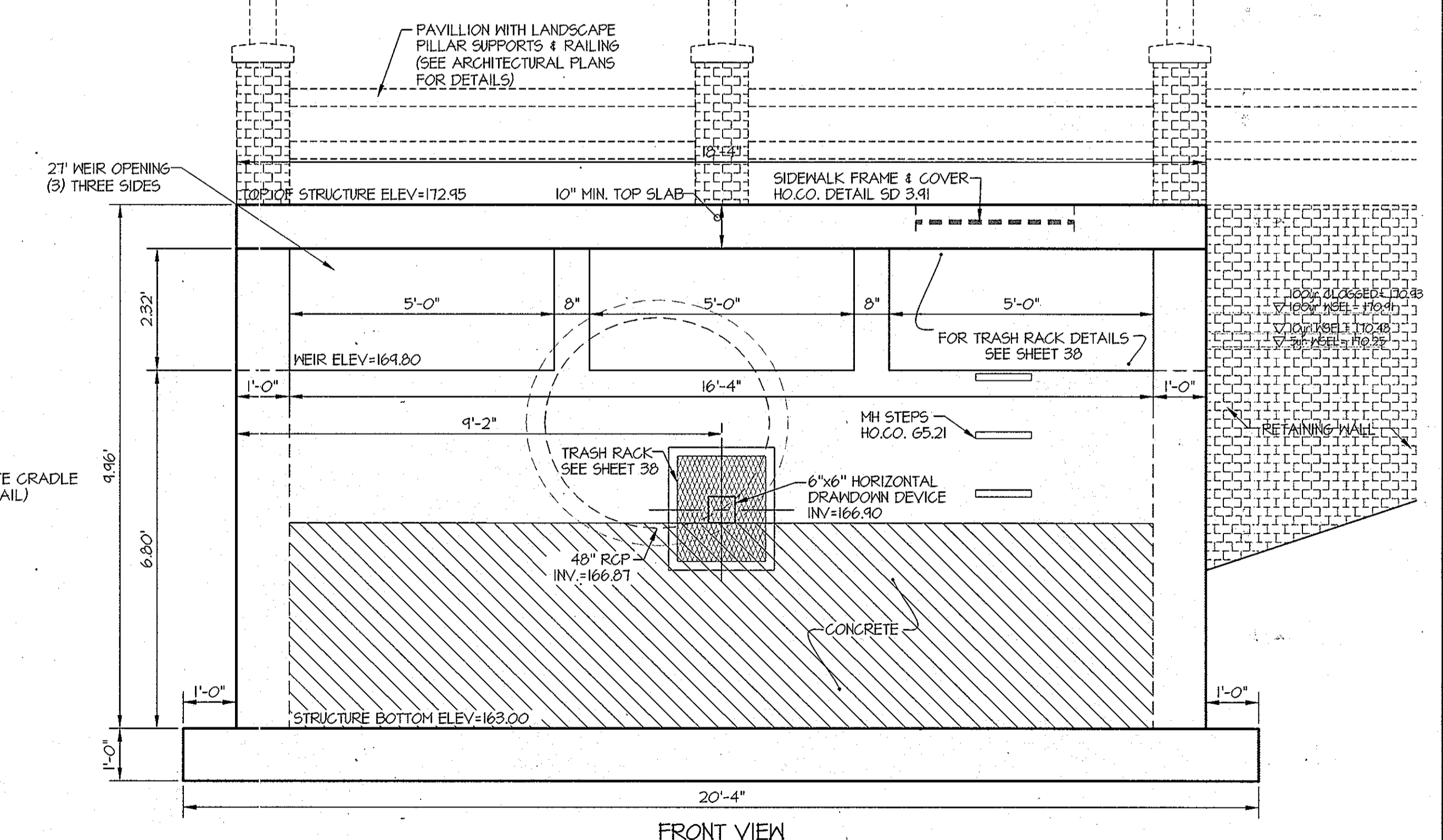
STORMDRAIN ENDWALL DETAILS  
SCALE: 1" = 5'



TOP VIEW

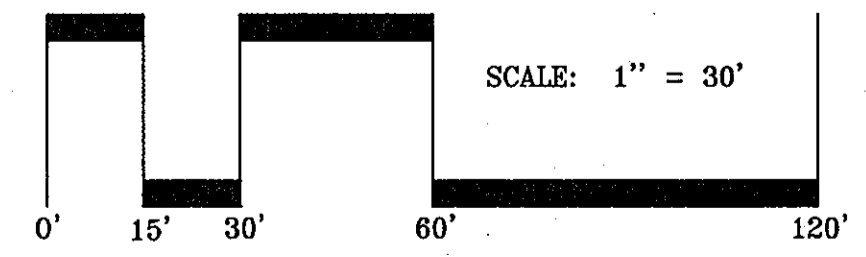


SECTION A-A



STORMDRAIN RISER STRUCTURE DETAILS  
SCALE: 1" = 2'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark A. Leight* Date: 2/2/14  
 Chief, Division of Land Development: *Christy Shalove* Date: 3/27/14  
 Chief, Development Engineering Division: *Chad Edmond* Date: 2-28-14



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4188

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,  
 LICENSE NO. 12475  
 EXPIRATION DATE: MAY 26, 2014  
 2-10-14



STORMWATER MANAGEMENT POND RISER DETAILS  
**ANNAPOLIS JUNCTION TOWN CENTER**  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22697-22721  
 HOWARD COUNTY, MARYLAND

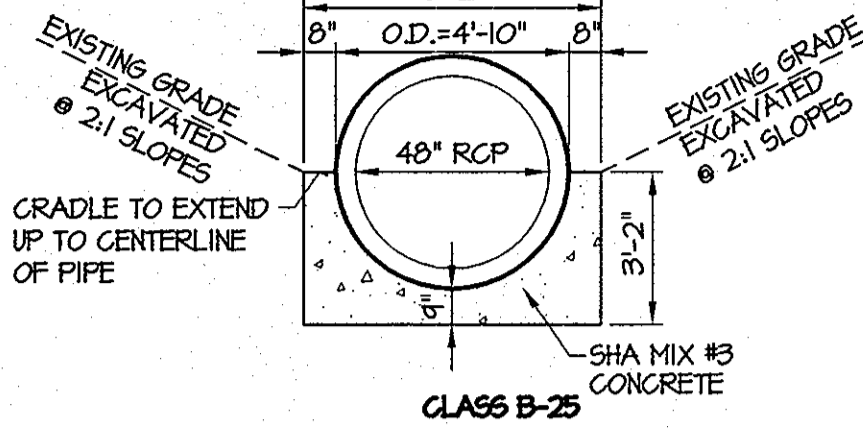
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DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	37 OF 64

L:\CAD\DRAWINGS\11107\PLANS BY GLEW\SDP\11107-37-SDP-SM-RISER PLAN.dwg  
 PLOTTED: 2/27/2014 10:22 AM, USER: SANDY, PLOTTER: HP DesignJet 2400

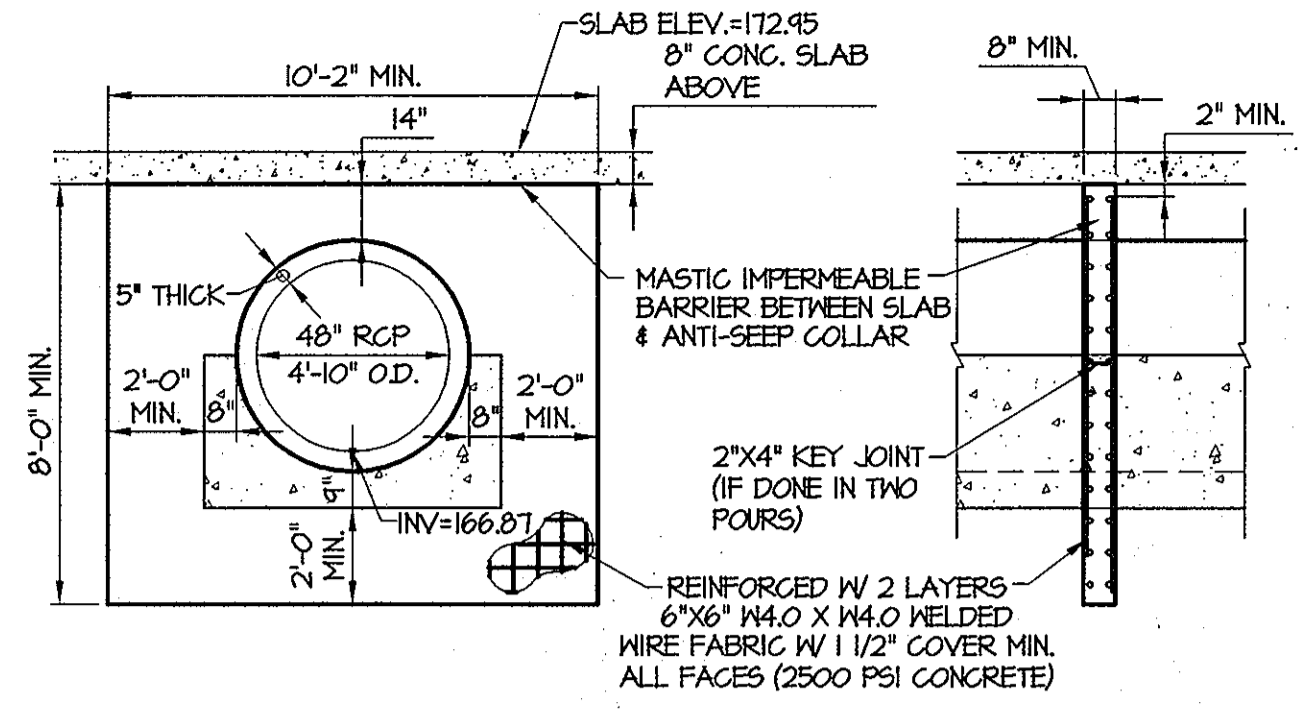


**NOTES FOR CONCRETE CRADLE & ANTI-SEEP COLLAR**

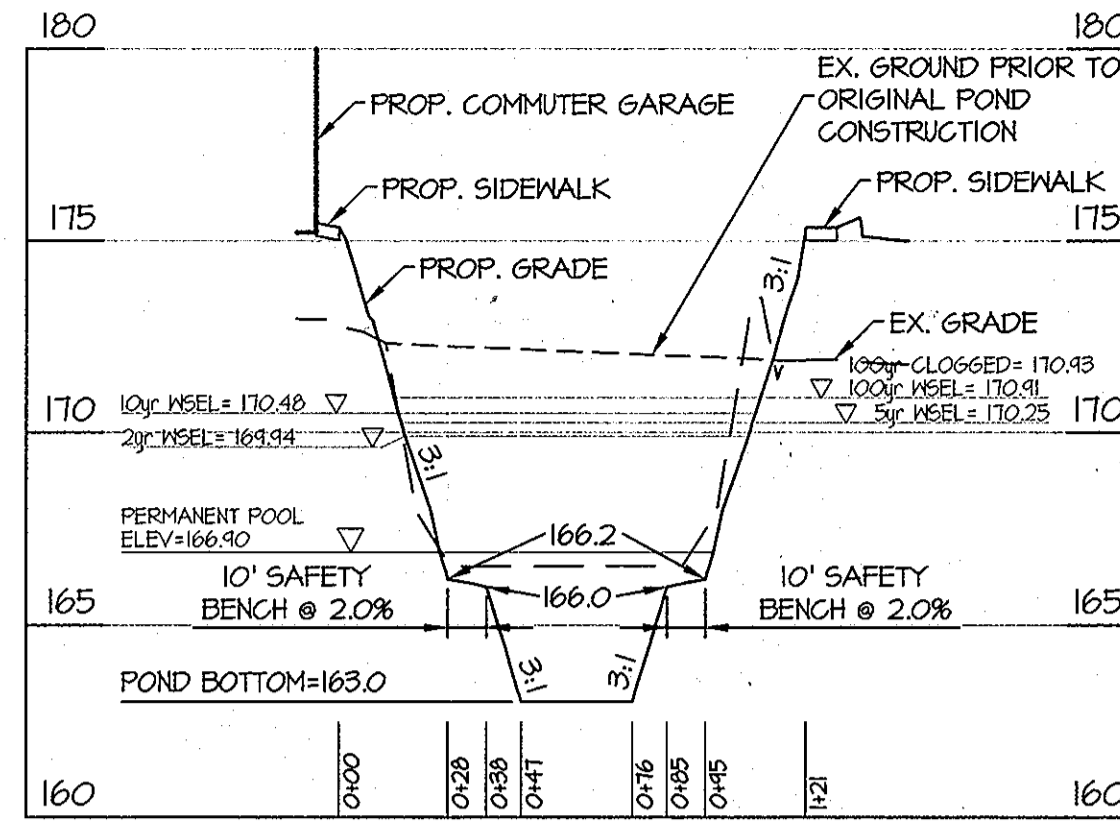
1. POUR COLLAR WITH PIPE IN PLACE
2. BACKFILL AND COMPACT EVENLY ON BOTH SIDES. (SEE CORE TRENCH SPECS.)
3. MIN. COMPRESSIVE STRENGTH OF CONG. TO BE 2500 PSI.
4. REBAR TO BE ASTM A615 GRADE 60.
5. 2"x4" KEY MAY IF POURED IN TWO POURS. (SEE LOCATION)
6. IF COLLAR IS POURED IN TWO POURS, POUR BOTTOM HALF WITH CONCRETE CRADLE



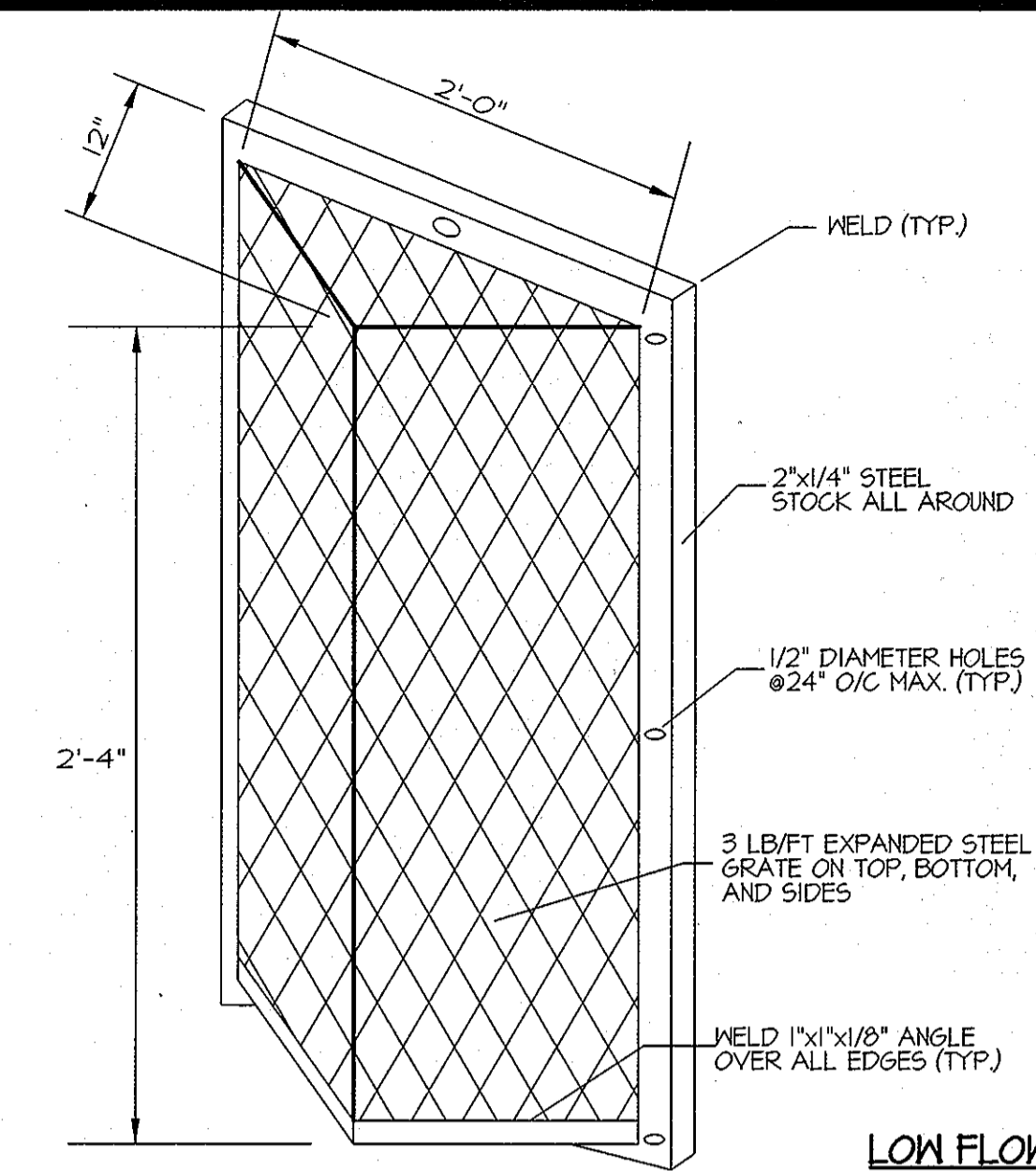
TYPE A2 CONCRETE CRADLE SCALE: 1" = 4'



ANTI-SEEP COLLAR DETAIL SCALE: 1" = 4'



TYPICAL POND SECTION A-A SCALE: HOR. 1" = 50' VER. 1" = 5'

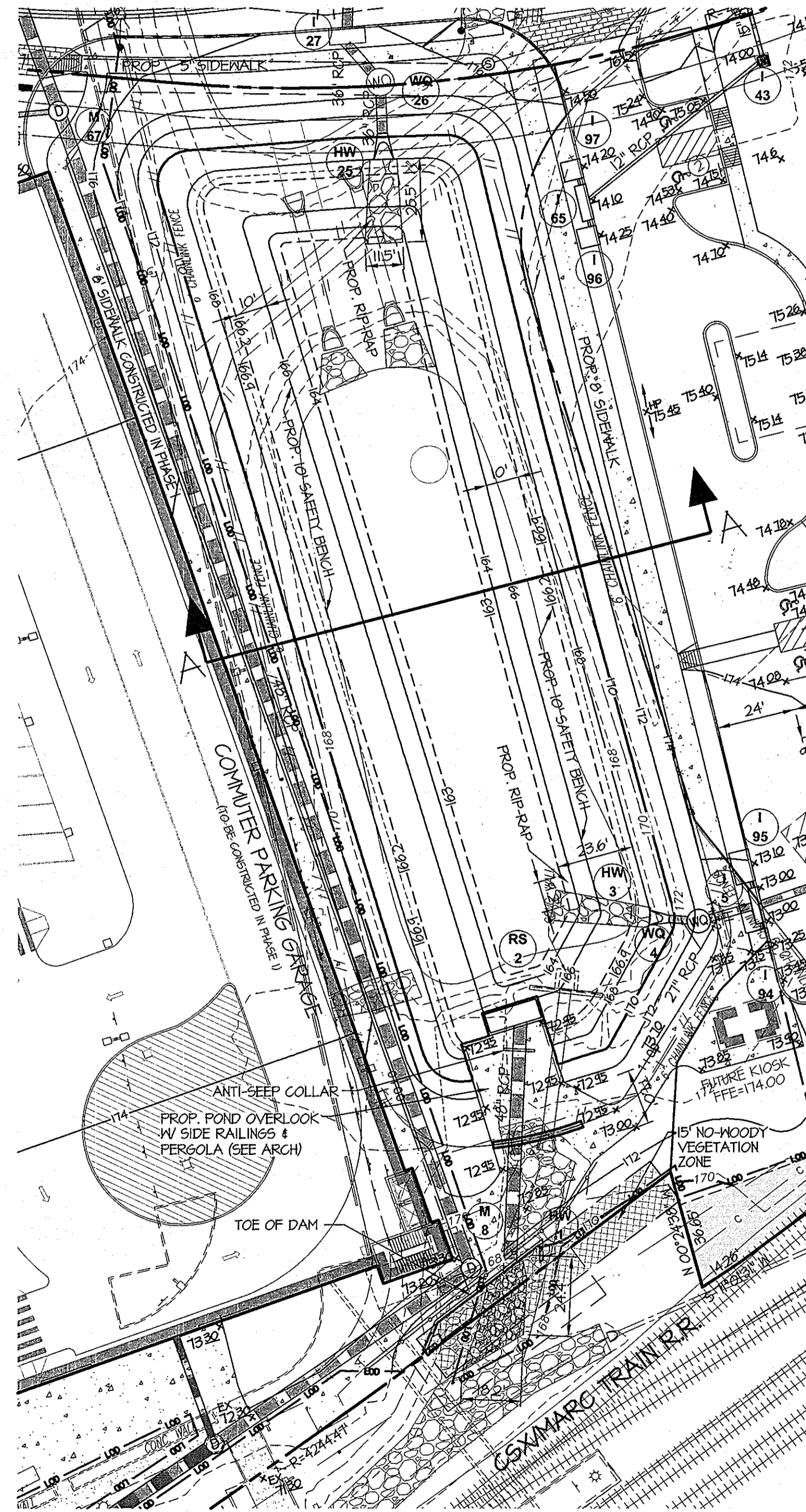


**NOTES FOR TRASH RACK**

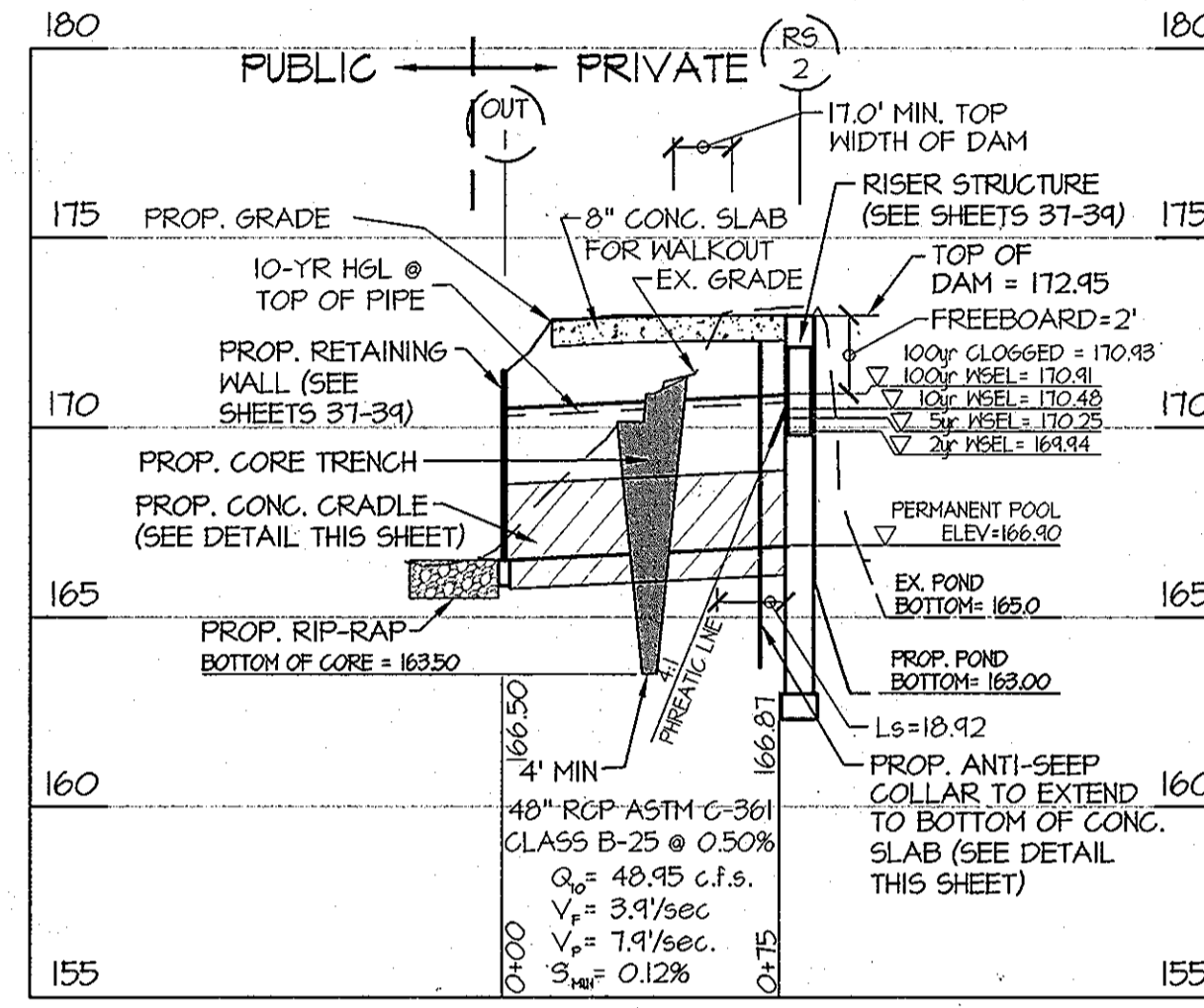
1. TRASH RACK TO BE CENTERED OVER OPENINGS.
2. STEEL TO CONFORM TO ASTM A-36.
3. ALL SURFACES TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND AFTER WELDING.
4. TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2" MASONRY ANCHORS. TRASH RACK TO BE REMOVABLE.
5. BOTTOM OF TRASH RACK TO BE LEFT OPEN (HOOD) AND SET 8" BELOW INVERT OF 12" OPENING

LOW FLOW TRASH RACK DETAIL

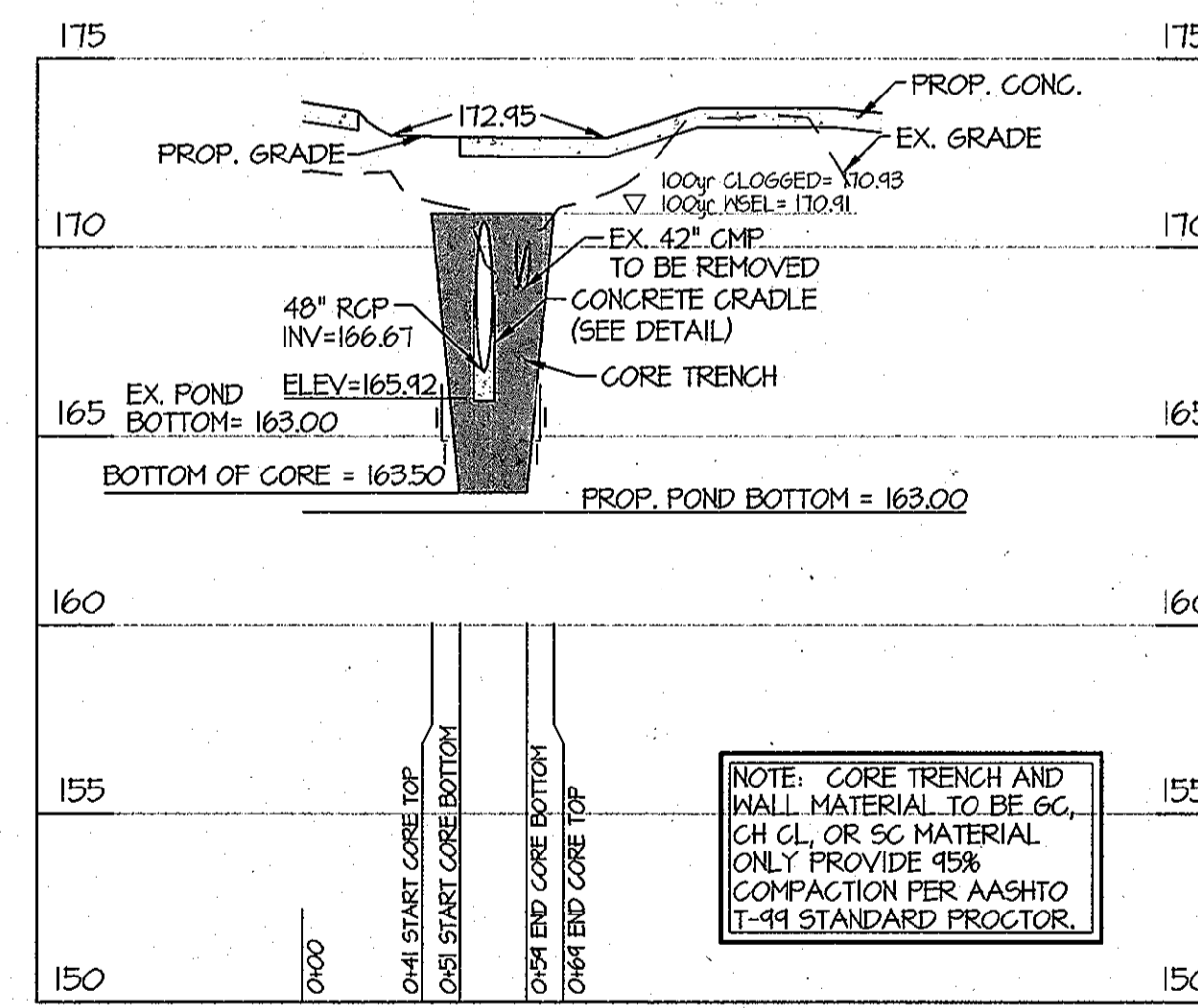
NOTE: EX. POND TO BE MODIFIED AS SHOWN. ORIGINAL POND CONSTRUCTED IN 1934 UNDER MARYLAND DEPT. OF TRANSPORTATION, MASS TRANSIT ADMINISTRATION CONTRACT NO. MTA 4344-110



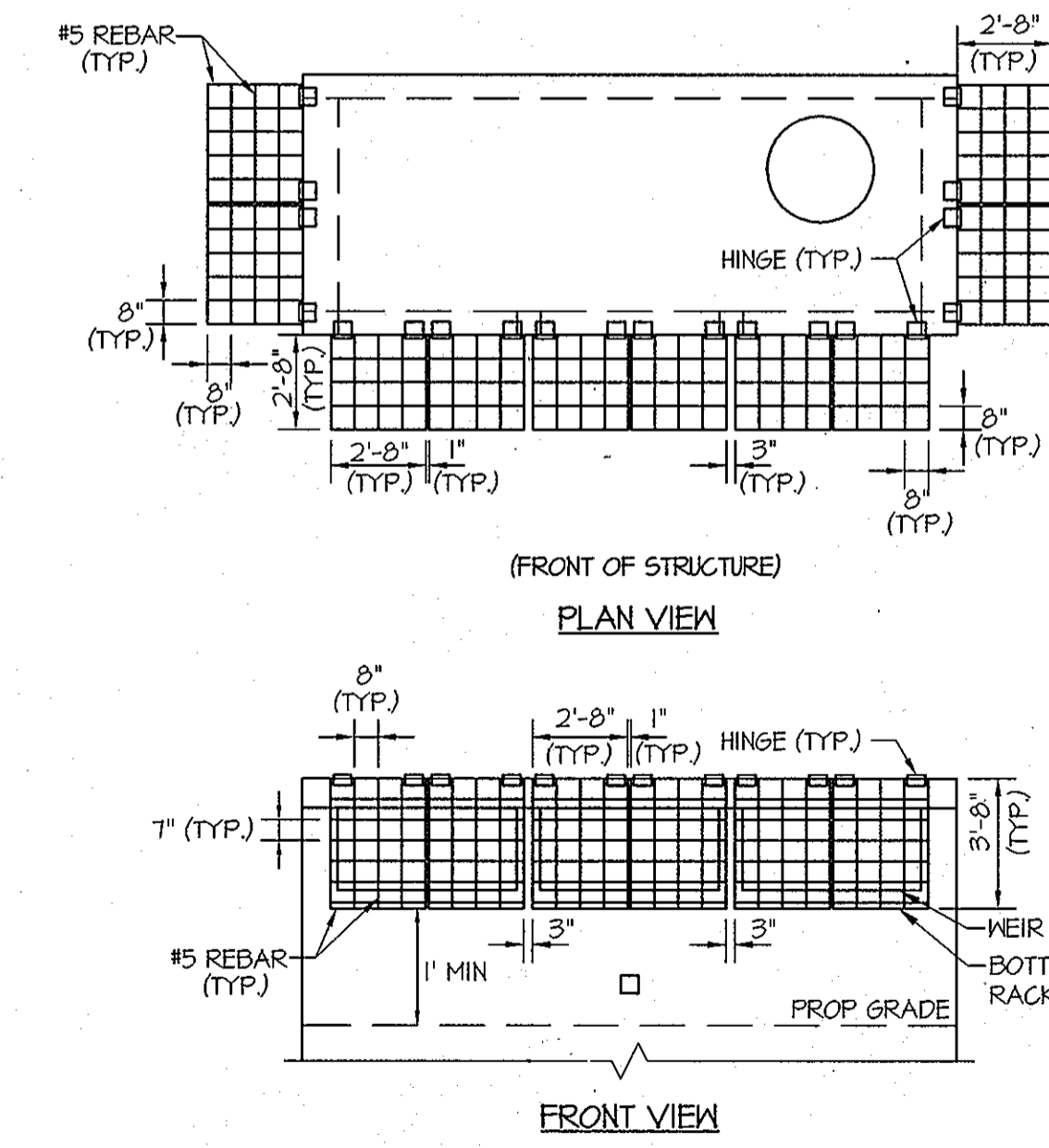
PLAN SCALE: 1" = 30'



SECTION THRU PRINCIPLE SPILLWAY SCALE: HOR. 1" = 50' VER. 1" = 5'



PROFILE ALONG CENTERLINE OF EMBANKMENT SCALE: HOR. 1" = 50' VER. 1" = 5'



RISER TRASH RACK DETAILS SCALE: 1" = 5'

NOTE: TRASH RACK MOUNTINGS TO BE GALVANIZED AFTER FABRICATION.

HINGE DETAIL NOT TO SCALE

- NOTES:
1. TRASH RACK MOUNTINGS TO BE GALVANIZED AFTER FABRICATION
  2. REBAR MUST BE GALVANIZED AND PAINTED BATTLESHIP GRAY.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*John L. Rumbold* 2/20/14  
Howard S.C.D. Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Neil A. Greenberg* 02/19/2014  
SIGNATURE OF DEVELOPER/BUILDER DATE  
Neil A. Greenberg, Manager

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CKA* 2-10-14  
ENGINEER'S SIGNATURE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Ronald M. Langley* 3/5/14  
Director Date  
*Neil A. Greenberg* 3/07/14  
Chief, Division of Land Development Date  
*Chad Edmund* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-860-1820 DC/VA: 301-989-2524 FAX: 301-421-4166

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 12875  
EXPIRATION DATE: MAY 26, 2014

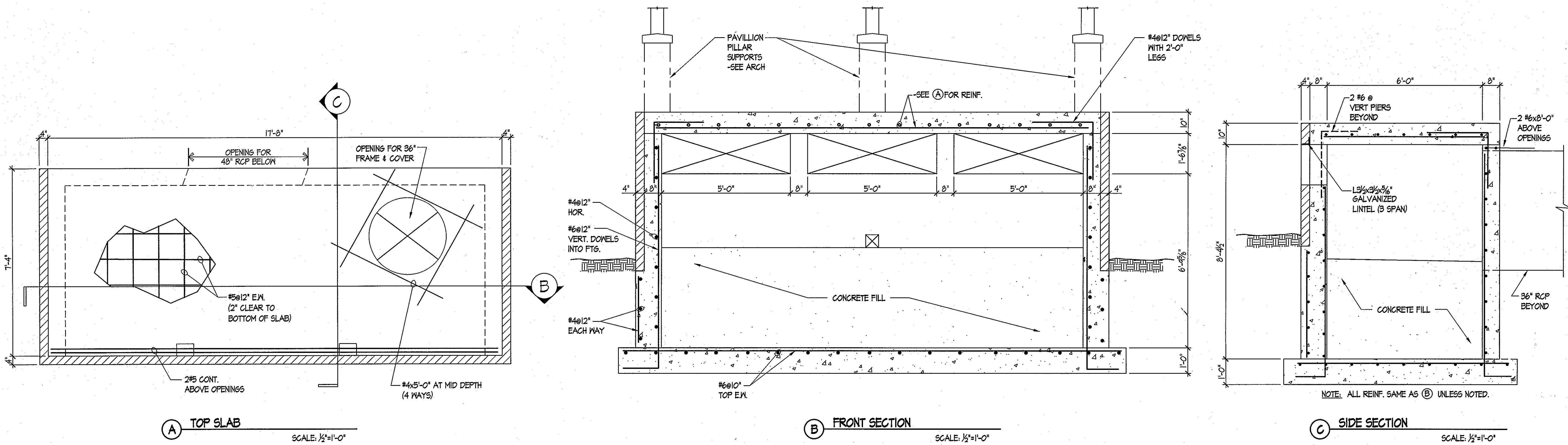


**STORMWATER MANAGEMENT POND PLAN & PROFILES**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
PLAT No. 116977-21721  
ELECTION DISTRICT No. 6 GUILFORD  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	38 OF 64

I:\CAD\DRAWINGS\11107\PLANS BY G.L.W. (SVP)\1107-38-SWP-SMA-RNBR-DETAILS.dwg, PLOTTED: 2/20/14, 10:57 AM, LAST SAVE: 2/20/14, 10:55 AM, PLOTTED BY: Mark Johnson



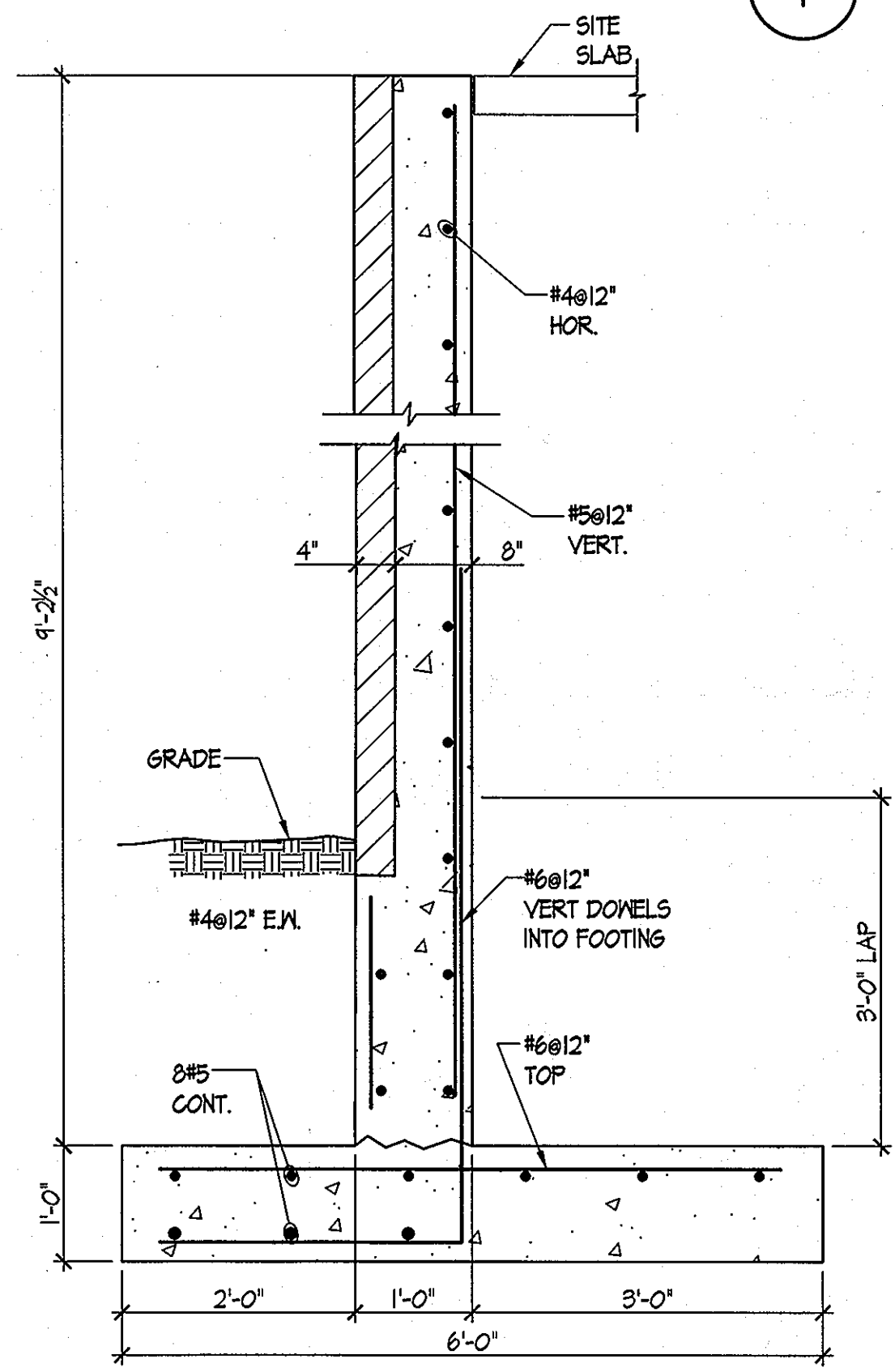


**(A) TOP SLAB**  
SCALE: 1/2"=1'-0"

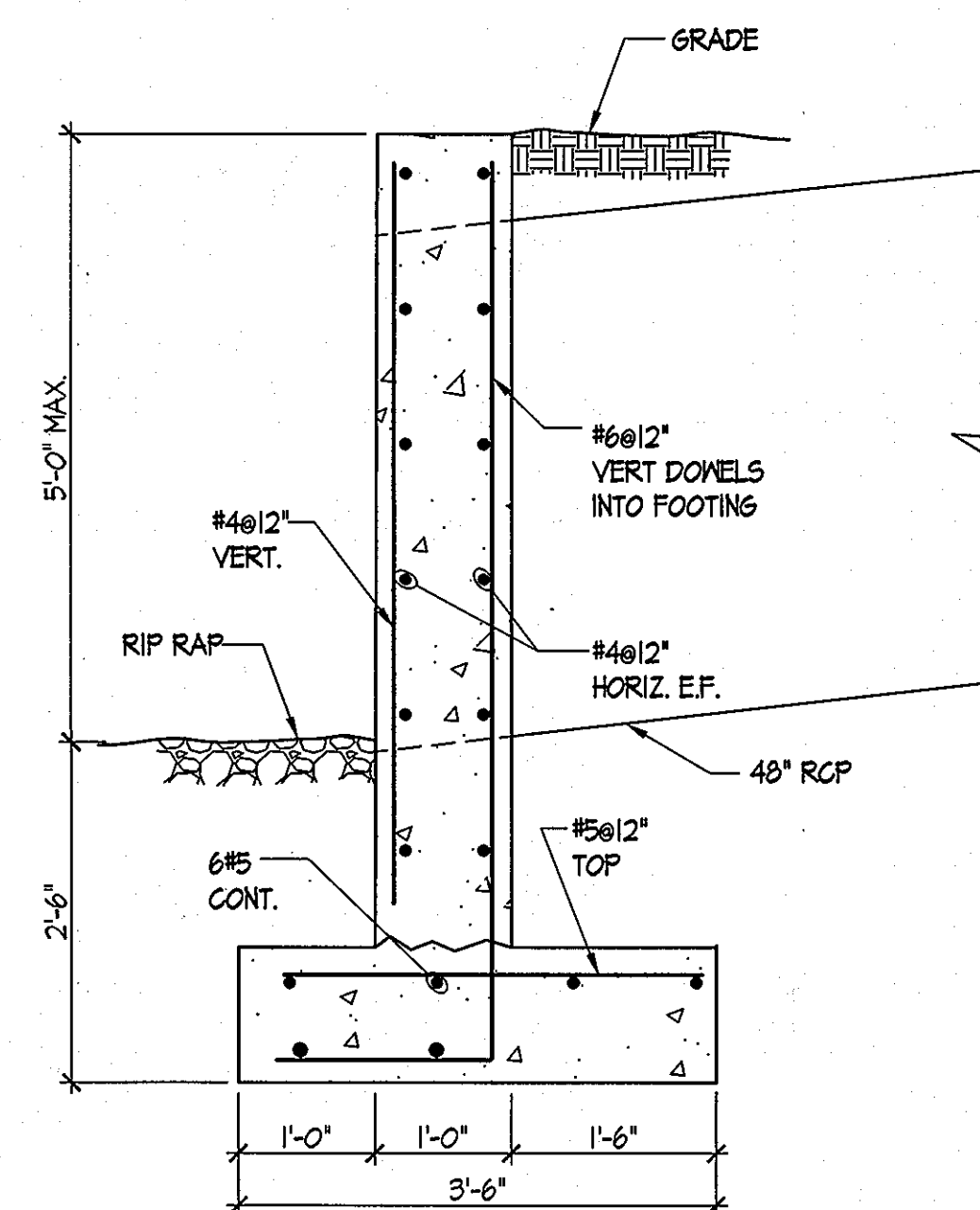
**(B) FRONT SECTION**  
SCALE: 1/2"=1'-0"

**(C) SIDE SECTION**  
SCALE: 1/2"=1'-0"

**1 STORM DRAIN RISER STRUCTURE REINFORCEMENT**



**(2) RETAINING WALL REINFORCEMENT**  
SCALE: 3/4"=1'-0"



**(3) END WALL REINFORCEMENT**  
SCALE: 3/4"=1'-0"

- GENERAL NOTES**
- A. COORDINATION
    1. VERIFY ALL DIMENSIONS INDICATED ON THIS DRAWING WITH CIVIL ARCHITECTURAL AND LANDSCAPE DRAWINGS.
    2. ALL FORMWORK, SHORING, ETC. TO BE DESIGNED BY THE CONTRACTOR'S ENGINEER.
  - B. REFERENCE STANDARDS
    1. INTERNATIONAL BUILDING CODE.
    2. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI-318.
    3. SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI-301.
  - C. MATERIALS
    1. CONCRETE TO BE NORMAL WEIGHT (150 PCF) WITH A COMPRESSIVE STRENGTH OF 4000 PSI MINIMUM AT 28 DAYS. ALL CONCRETE TO BE AIR ENTRAINED.
    2. DEFORMED REINFORCING BARS TO CONFORM TO ASTM A615, GRADE 60.
  - D. CONSTRUCTION
    1. ALL FOUNDATIONS TO BE PLACED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
    2. ASSUMED MINIMUM BEARING CAPACITY = 3000 PSF. ACTUAL CAPACITY TO BE VERIFIED PRIOR TO PLACING CONCRET.
    3. PLACE BACKFILL AGAINST WALLS IN MAXIMUM LIFTS OF EIGHT (8) INCHES.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark A. Leavelle* Date: 2/2/14  
 Chief, Division of Land Development: *Kevin Stenholm* Date: 3/17/14  
 Chief, Development Engineering Division: *Chad Edwards* Date: 2-28-14

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3309 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

NO.	REVISION	DATE	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20815  
 ATTN: PETER ZADORETZKY  
 410-267-8688

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12299, EXPIRATION DATE: 2-5-2014

**RATHGEBER/GOSS ASSOCIATES**  
 Consulting Structural Engineers  
 15071 Coakley Branch Way  
 Rockville, Maryland 20852  
 Phone: (301) 984-0011 Fax: (301) 984-0013  
 www.rathgob-goss.com  
 PROJECT NO. 18014.01

STORMDRAIN RISER AND RETAINING WALLS REINFORCEMENT  
 ANNAPOLIS JUNCTION TOWN CENTER  
 AT SAVAGE STATION  
 PART OF PARCEL A-1 AND ALL OF PARCELS A-2 THRU A-6, SAVAGE TOWN CENTER, PLAT NOS. 20130-10235, PART OF PARCEL B, GOLDEN KEY, PLAT NO. 5909 AND PART OF DORSEY RUN ROAD, SRC PLAT NO. 57272  
 Plat No. 22607-22701  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

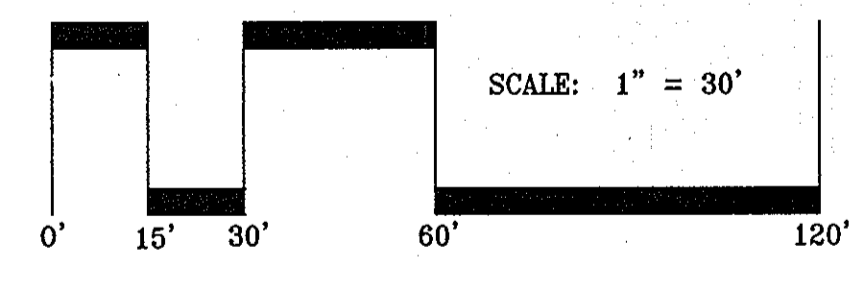
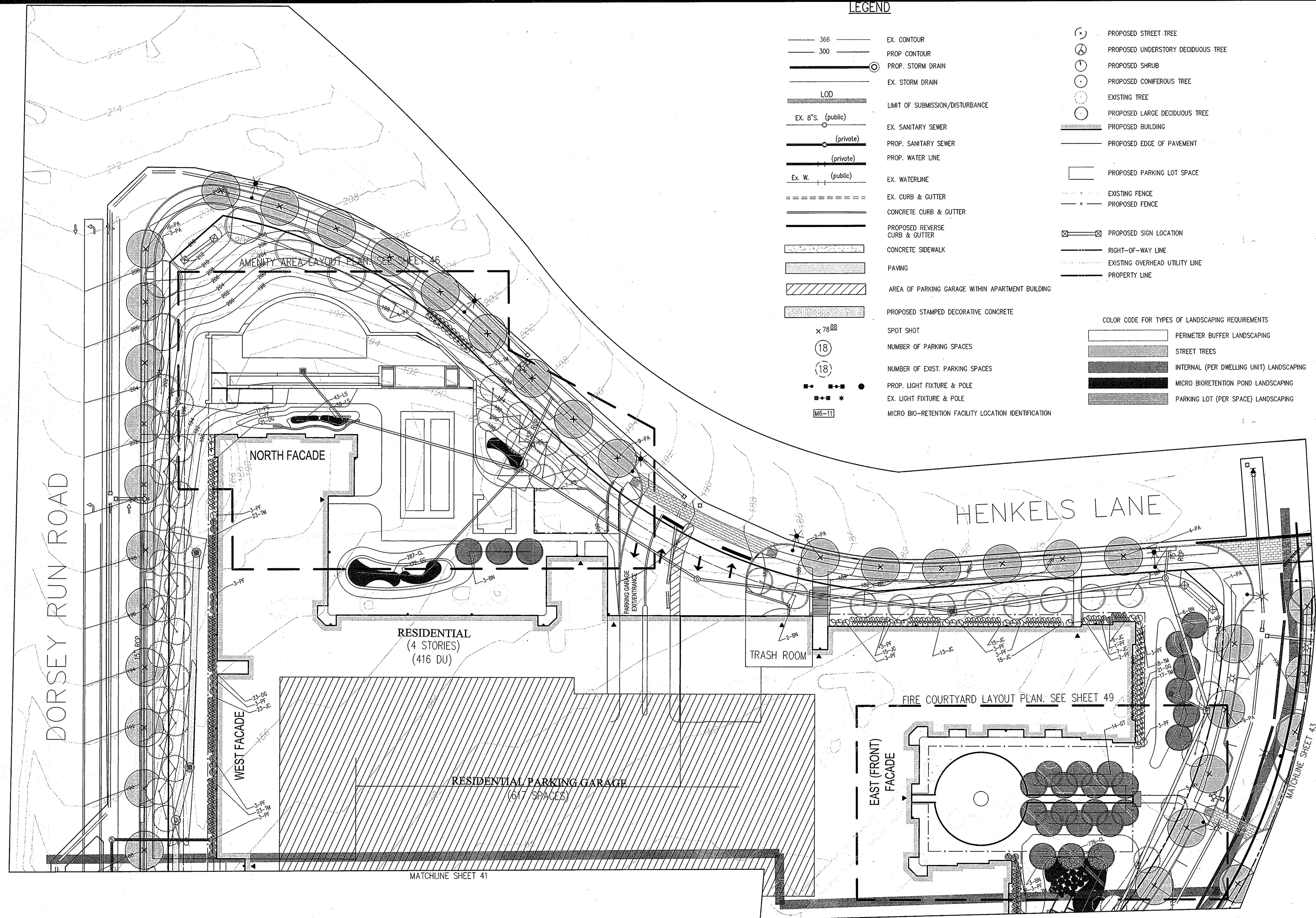
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
JAN., 2013	48-20	39 OF 64



**LEGEND**

- 366 — EX. CONTOUR
- 300 — PROP. CONTOUR
- (C) — PROP. STORM DRAIN
- (C) — EX. STORM DRAIN
- LOD — LIMIT OF SUBMISSION/DISTURBANCE
- (C) — EX. 8" S. (public) EX. SANITARY SEWER
- (C) — (private) PROP. SANITARY SEWER
- (C) — (private) PROP. WATER LINE
- (C) — Ex. W. (public) EX. WATERLINE
- (C) — EX. CURB & GUTTER
- (C) — CONCRETE CURB & GUTTER
- (C) — PROPOSED REVERSE CURB & GUTTER
- (C) — CONCRETE SIDEWALK
- (C) — PAVING
- (C) — AREA OF PARKING GARAGE WITHIN APARTMENT BUILDING
- (C) — PROPOSED STAMPED DECORATIVE CONCRETE
- × 7888 SPOT SHOT
- (18) NUMBER OF PARKING SPACES
- (18) NUMBER OF EXIST. PARKING SPACES
- (C) — PROP. LIGHT FIXTURE & POLE
- (C) — EX. LIGHT FIXTURE & POLE
- (M6-11) MICRO BIO-RETENTION FACILITY LOCATION IDENTIFICATION
- (C) PROPOSED STREET TREE
- (C) PROPOSED UNDERSTORY DECIDUOUS TREE
- (C) PROPOSED SHRUB
- (C) PROPOSED CONIFEROUS TREE
- (C) EXISTING TREE
- (C) PROPOSED LARGE DECIDUOUS TREE
- (C) — PROPOSED BUILDING
- (C) — PROPOSED EDGE OF PAVEMENT
- (C) — PROPOSED PARKING LOT SPACE
- (C) — EXISTING FENCE
- (C) — PROPOSED FENCE
- (C) — PROPOSED SIGN LOCATION
- (C) — RIGHT-OF-WAY LINE
- (C) — EXISTING OVERHEAD UTILITY LINE
- (C) — PROPERTY LINE

- COLOR CODE FOR TYPES OF LANDSCAPING REQUIREMENTS
- (C) — PERIMETER BUFFER LANDSCAPING
  - (C) — STREET TREES
  - (C) — INTERNAL (PER DWELLING UNIT) LANDSCAPING
  - (C) — MICRO BIORETENTION POND LANDSCAPING
  - (C) — PARKING LOT (PER SPACE) LANDSCAPING



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Michael Miloyca* 2/7/14  
 Director Date

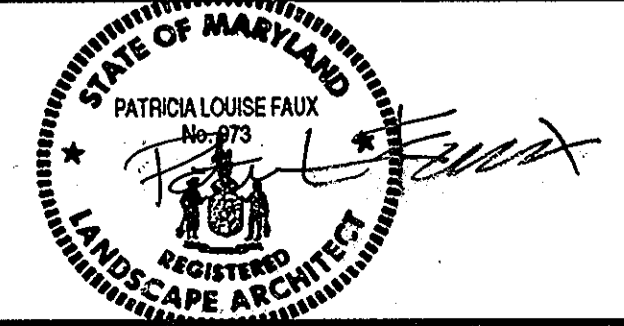
*Kevin Deane* 3/07/14  
 Chief, Division of Land Development Date

*Chad Edinger* 2-28-14  
 Chief, Development Engineering Division Date

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APP'R.

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PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688



LANDSCAPE PLAN AREA 1

ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22071-2272

ELECTION DISTRICT No. 6 GUILFORD

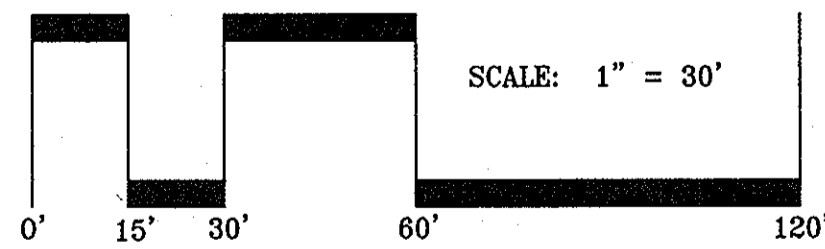
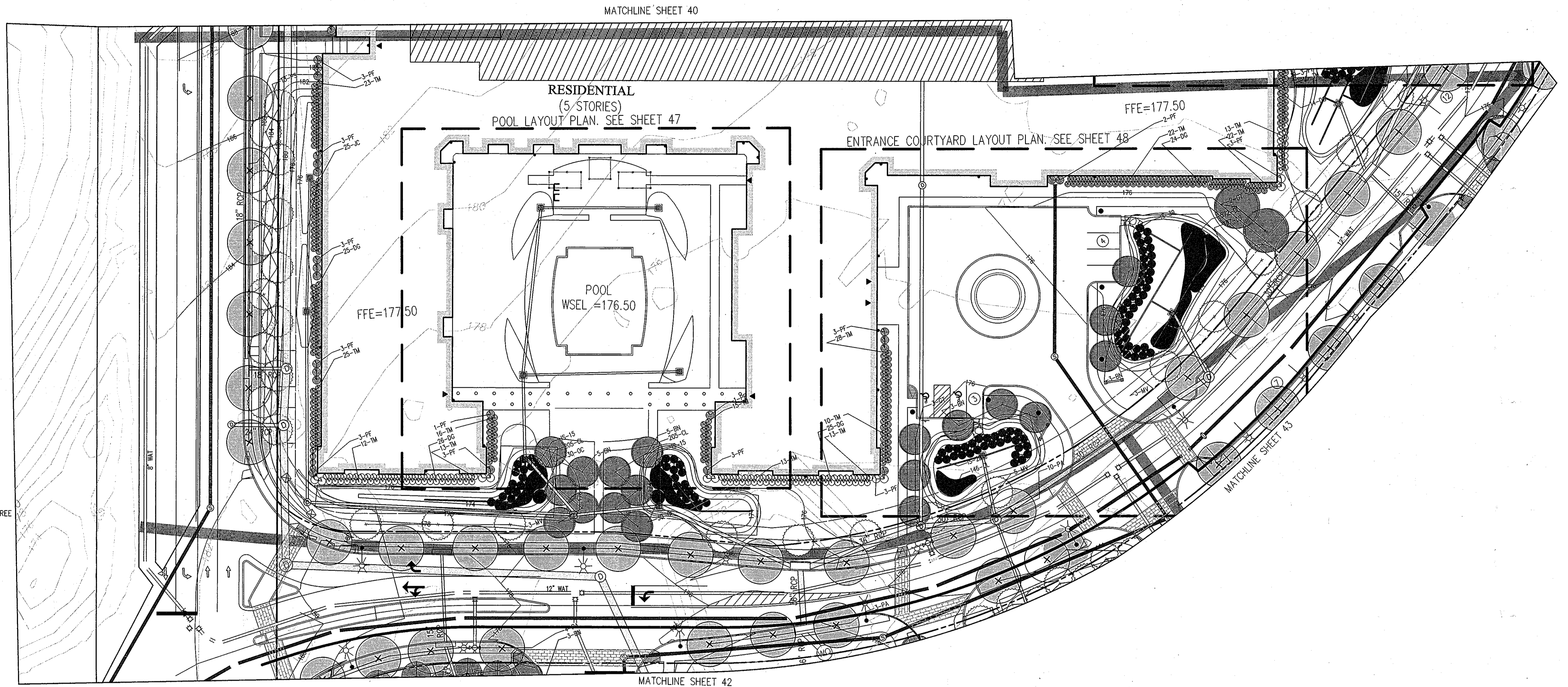
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	40 OF 64



**LEGEND**

- 366 — EX. CONTOUR
- 300 — PROP. CONTOUR
- (C) — PROP. STORM DRAIN
- — EX. STORM DRAIN
- LOD — LIMIT OF SUBMISSION/DISTURBANCE
- EX. 8" S. (public) — EX. SANITARY SEWER
- (private) — PROP. SANITARY SEWER
- (private) — PROP. WATER LINE
- Ex. W. (public) — EX. WATERLINE
- — EX. CURB & GUTTER
- — CONCRETE CURB & GUTTER
- — PROPOSED REVERSE CURB & GUTTER
- — CONCRETE SIDEWALK
- — PAVING
- — EXISTING EASEMENTS
- — AREA OF PARKING GARAGE WITHIN APARTMENT BUILDING
- × 7888 — SPOT SHOT
- (18) — NUMBER OF PARKING SPACES
- (18) — NUMBER OF EXIST. PARKING SPACES
- — PROP. LIGHT FIXTURE & POLE
- — EX. LIGHT FIXTURE & POLE
- M6-11 — MICRO BIO-RETENTION FACILITY LOCATION IDENTIFICATION
- M6-29 — EX. MICRO BIO-RETENTION FACILITY
- (C) — PROPOSED STREET TREE
- (C) — PROPOSED UNDERSTORY DECIDUOUS TREE
- (C) — PROPOSED SHRUB
- (C) — PROPOSED CONIFEROUS TREE
- (C) — EXISTING TREE
- (C) — PROPOSED LARGE DECIDUOUS TREE
- — PROPOSED BUILDING
- — PROPOSED EDGE OF PAVEMENT
- — PROPOSED BUILDING COLUMN
- — PROPOSED PARKING LOT SPACE
- — EXISTING FENCE
- — PROPOSED FENCE
- — PROPOSED LIGHTPOLE LOCATION
- — PROPOSED SIGN LOCATION
- — RIGHT-OF-WAY LINE
- — EXISTING OVERHEAD UTILITY LINE
- — PROPERTY LINE



- COLOR CODE FOR TYPES OF LANDSCAPING REQUIREMENTS
- PERIMETER BUFFER LANDSCAPING
  - STREET TREES
  - INTERNAL (PER DWELLING UNIT) LANDSCAPING
  - MICRO BIORETENTION POND LANDSCAPING
  - PARKING LOT (PER SPACE) LANDSCAPING

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark M. Leung* 2/2/14  
Director Date

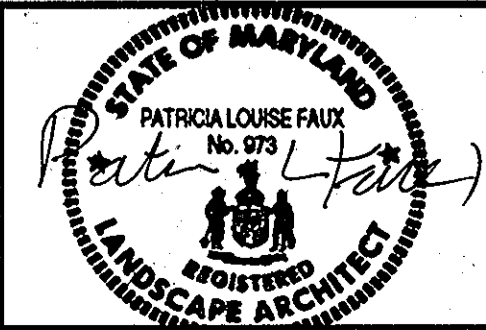
*Kate Schuchman* 3/27/14  
Chief, Division of Land Development Date

*Chad Edman* 2.28.14  
Chief, Development Engineering Division Date

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8668



LANDSCAPE PLAN AREA 2

ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G

ELECTION DISTRICT No. 6 GUILFORD PLAT No. 22097-22101 HOWARD COUNTY, MARYLAND

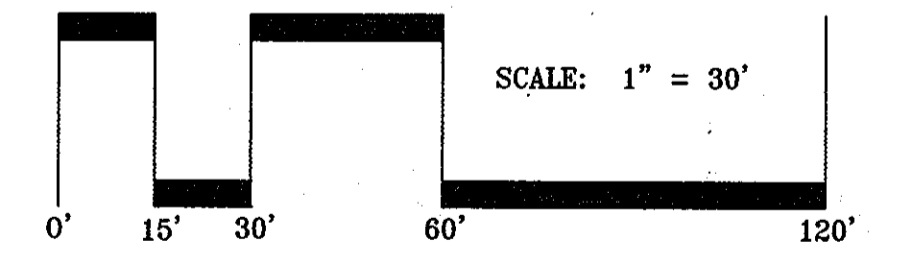
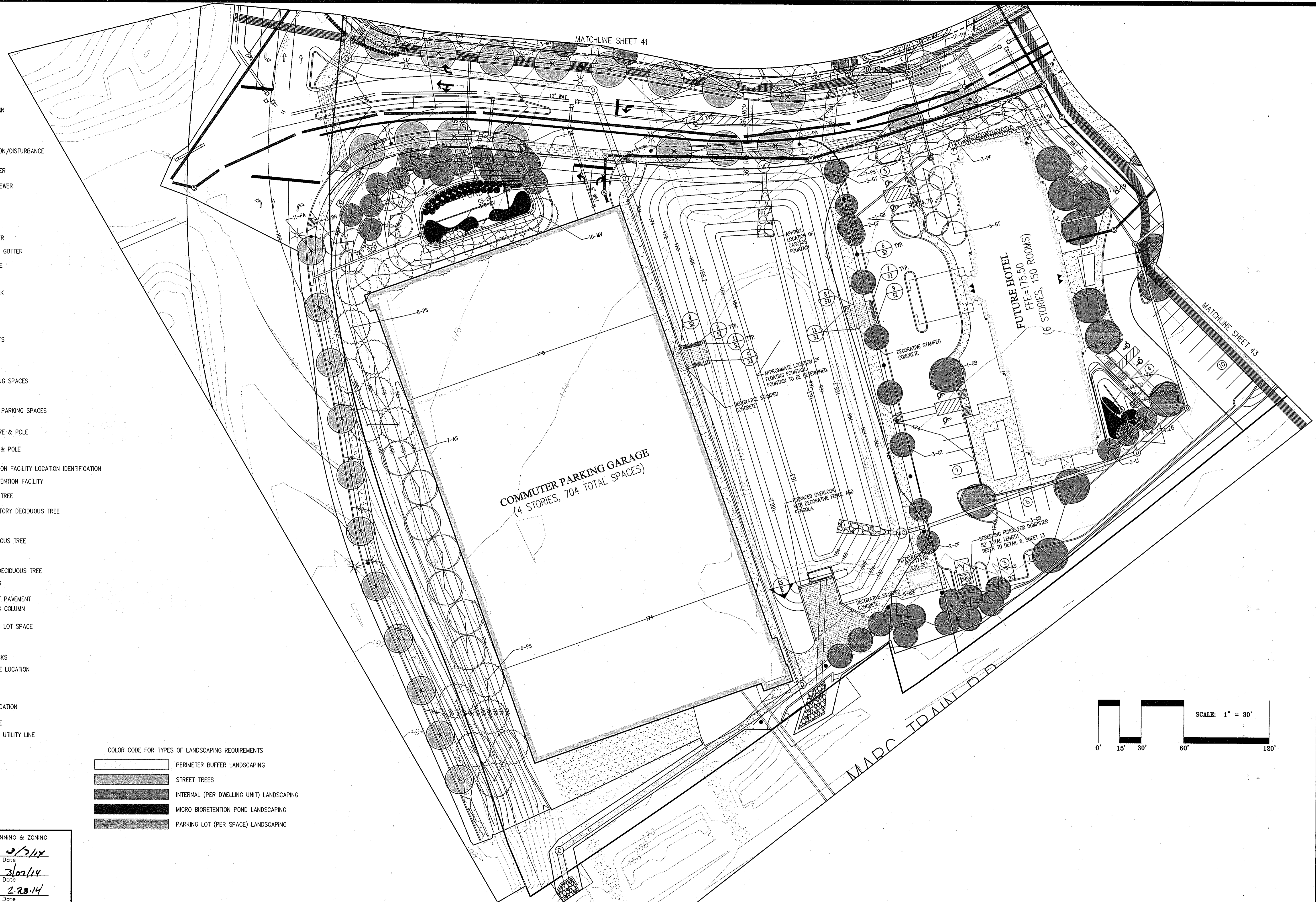
SCALE	ZONING	G. L. W. FILE No.
1"=30'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	41 OF 64



**LEGEND**

- 366 — EX. CONTOUR
- 300 — PROP. CONTOUR
- PROP. STORM DRAIN
- EX. STORM DRAIN
- LOD  
— LIMIT OF SUBMISSION/DISTURBANCE
- (public) EX. 8" S. SANITARY SEWER
- (private) PROP. SANITARY SEWER
- (private) PROP. WATER LINE
- (public) EX. W. WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- CONCRETE SIDEWALK
- PAVING
- EXISTING EASEMENTS
- × 78<sup>88</sup> SPOT SHOT
- (18) NUMBER OF PARKING SPACES
- (18) NUMBER OF EXIST. PARKING SPACES
- PROP. LIGHT FIXTURE & POLE
- EX. LIGHT FIXTURE & POLE
- [M6-11] MICRO BIO-RETENTION FACILITY LOCATION IDENTIFICATION
- [M6-29] EX. MICRO BIO-RETENTION FACILITY
- PROPOSED STREET TREE
- PROPOSED UNDERSTORY DECIDUOUS TREE
- PROPOSED SHRUB
- PROPOSED CONIFEROUS TREE
- EXISTING TREE
- PROPOSED LARGE DECIDUOUS TREE
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BUILDING COLUMN
- PROPOSED PARKING LOT SPACE
- EXISTING FENCE
- EXISTING RAIL TRACKS
- PROPOSED LIGHTPOLE LOCATION
- PROPOSED SIGN LOCATION
- RIGHT-OF-WAY LINE
- EXISTING OVERHEAD UTILITY LINE
- PROPERTY LINE

- COLOR CODE FOR TYPES OF LANDSCAPING REQUIREMENTS
- PERIMETER BUFFER LANDSCAPING
  - STREET TREES
  - INTERNAL (PER DWELLING UNIT) LANDSCAPING
  - MICRO BIORETENTION POND LANDSCAPING
  - PARKING LOT (PER SPACE) LANDSCAPING



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Matthew D. Lytle* 3/2/14  
Director Date

*Kate Landwehr* 3/02/14  
Chief, Division of Land Development Date

*Chad Edman* 2.28.14  
Chief, Development Engineering Division Date

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.


PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688



LANDSCAPE PLAN AREA 3  
ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 2107-1171  
ELECTION DISTRICT No. 6 GUILFORD  
HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING T.O.D.	G. L. W. FILE No. 11107
DATE MAY 30, 2013	TAX MAP - GRID 48-20	SHEET 42 OF 64

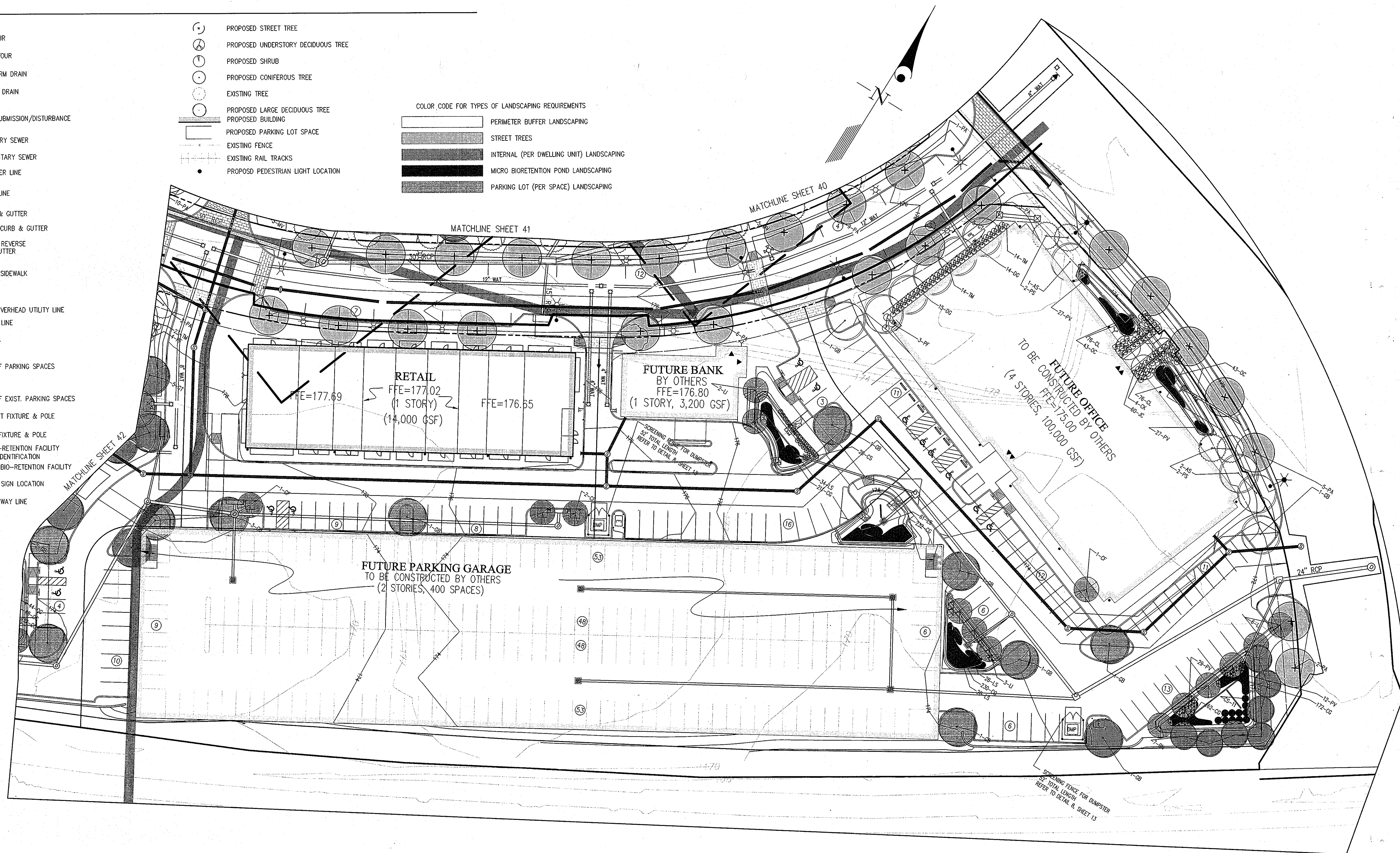


**LEGEND**

- 366 — EX. CONTOUR
- 300 — PROP. CONTOUR
- (C) — PROP. STORM DRAIN
- — EX. STORM DRAIN
- LOD LIMIT OF SUBMISSION/DISTURBANCE
- EX. 8" S. (public) EX. SANITARY SEWER
- (private) — PROP. SANITARY SEWER
- (private) — PROP. WATER LINE
- EX. W. (public) EX. WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- CONCRETE SIDEWALK
- PAVING
- EXISTING OVERHEAD UTILITY LINE
- PROPERTY LINE
- × 78.88 SPOT SHOT
- (18) NUMBER OF PARKING SPACES
- (18) NUMBER OF EXIST. PARKING SPACES
- — PROP. LIGHT FIXTURE & POLE
- — EX. LIGHT FIXTURE & POLE
- [M6-11] MICRO BIO-RETENTION FACILITY LOCATION IDENTIFICATION
- [M6-29] EX. MICRO BIO-RETENTION FACILITY
- — PROPOSED SIGN LOCATION
- — RIGHT-OF-WAY LINE

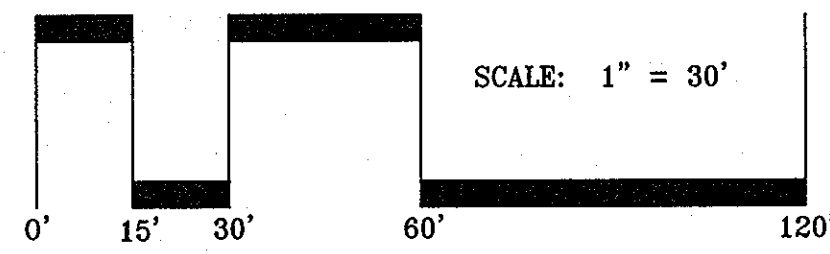
- (C) PROPOSED STREET TREE
- (C) PROPOSED UNDERSTORY DECIDUOUS TREE
- (C) PROPOSED SHRUB
- (C) PROPOSED CONIFEROUS TREE
- (C) EXISTING TREE
- (C) PROPOSED LARGE DECIDUOUS TREE
- (C) PROPOSED BUILDING
- (C) PROPOSED PARKING LOT SPACE
- (C) EXISTING RAIL TRACKS
- (C) PROPOSED PEDESTRIAN LIGHT LOCATION

- COLOR CODE FOR TYPES OF LANDSCAPING REQUIREMENTS
- [Pattern] PERIMETER BUFFER LANDSCAPING
  - [Pattern] STREET TREES
  - [Pattern] INTERNAL (PER DWELLING UNIT) LANDSCAPING
  - [Pattern] MICRO BIORETENTION POND LANDSCAPING
  - [Pattern] PARKING LOT (PER SPACE) LANDSCAPING



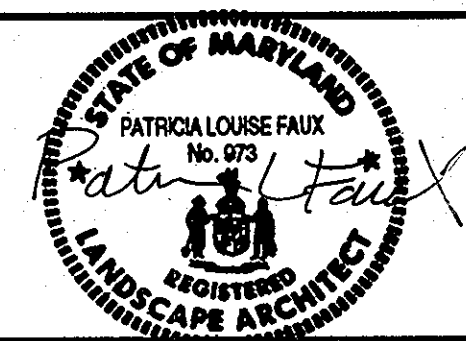
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark A. Long* Date: 5/2/14  
 Chief, Division of Land Development: *Patricia Louise Faux* Date: 3/27/14  
 Chief, Development Engineering Division: *Chad Edman* Date: 2-28-14



**THE FOX GROUP**  
 The Faux Group, Inc.  
 2200 Somerville Road, Suite 200  
 Annapolis, MD 21401  
 Ph. 410.295.6517 F. 410.295.6512

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688



LANDSCAPE PLAN AREA 4  
 ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22697-22701  
 ELECTION DISTRICT No. 6 GUILFORD HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING T.O.D.	G. L. W. FILE No. 11107
DATE MAY 30, 2013	TAX MAP - GRID 48-20	SHEET 43 OF 64

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.



PLANTING SCHEDULES FOR PERIMETER LANDSCAPE EDGES

'SCHEDULE A' FOR PERIMETER BUFFER 'P-1'  
(WEST SIDE OF PROPOSED APARTMENT BUILDING ADJACENT TO DORSEY RUN ROAD)

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	EDGE B	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	680 L.F.	
CREDIT FOR EXISTING VEGETATION	NO	
CREDIT FOR WALL, FENCE, OR BERM	NO	
NUMBER OF PLANTS REQUIRED:		
SHADE TREES: 1:50	13	
EVERGREEN TREES: 1:40	17	
SHRUBS: 0	0	
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	3	
EVERGREEN TREES	32	
OTHER TREES (2:1 SUBSTITUTION)	0	
SHRUBS (10:1 SUBSTITUTION)	25	

'SCHEDULE A' FOR PERIMETER BUFFER 'P-2'  
(NORTHEAST SIDE OF PROPOSED APARTMENT BUILDING ADJACENT TO HENKELS LANE)

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	EDGE B	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	690 L.F.	
CREDIT FOR EXISTING VEGETATION	NO	
CREDIT FOR WALL, FENCE, OR BERM	NO	
NUMBER OF PLANTS REQUIRED:		
SHADE TREES: 1:50	14	
EVERGREEN TREES: 1:40	17	
SHRUBS: 0	0	
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	14	
EVERGREEN TREES	7	
OTHER TREES (2:1 SUBSTITUTION)	0	
SHRUBS (10:1 SUBSTITUTION)	100	

'SCHEDULE A' FOR PERIMETER BUFFER 'P-3'  
(SOUTH SIDE OF PROPOSED APARTMENT BUILDING ADJACENT TO JUNCTION DRIVE)

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	EDGE B	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	842 L.F.	
CREDIT FOR EXISTING VEGETATION	NO	
CREDIT FOR WALL, FENCE, OR BERM	NO	
NUMBER OF PLANTS REQUIRED:		
SHADE TREES: 1:50	17	
EVERGREEN TREES: 1:40	21	
SHRUBS: 0	0	
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	0	
EVERGREEN TREES	19	
OTHER TREES (2:1 SUBSTITUTION)	0	
SHRUBS (10:1 SUBSTITUTION)	190	

'SCHEDULE A' FOR PERIMETER BUFFER 'P-4'  
(WEST SIDE OF PROPOSED PARKING GARAGE ADJACENT TO DORSEY RUN ROAD AND NORTH SIDE OF PROPOSED PARKING GARAGE ADJACENT TO JUNCTION DRIVE)

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	EDGE B	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	380 L.F.	
CREDIT FOR EXISTING VEGETATION	NO	
CREDIT FOR WALL, FENCE, OR BERM	NO	
NUMBER OF PLANTS REQUIRED:		
SHADE TREES: 1:50	8	
EVERGREEN TREES: 1:40	10	
SHRUBS: 0	0	
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	7	
EVERGREEN TREES	12	
OTHER TREES (2:1 SUBSTITUTION)	0	
SHRUBS (10:1 SUBSTITUTION)	0	

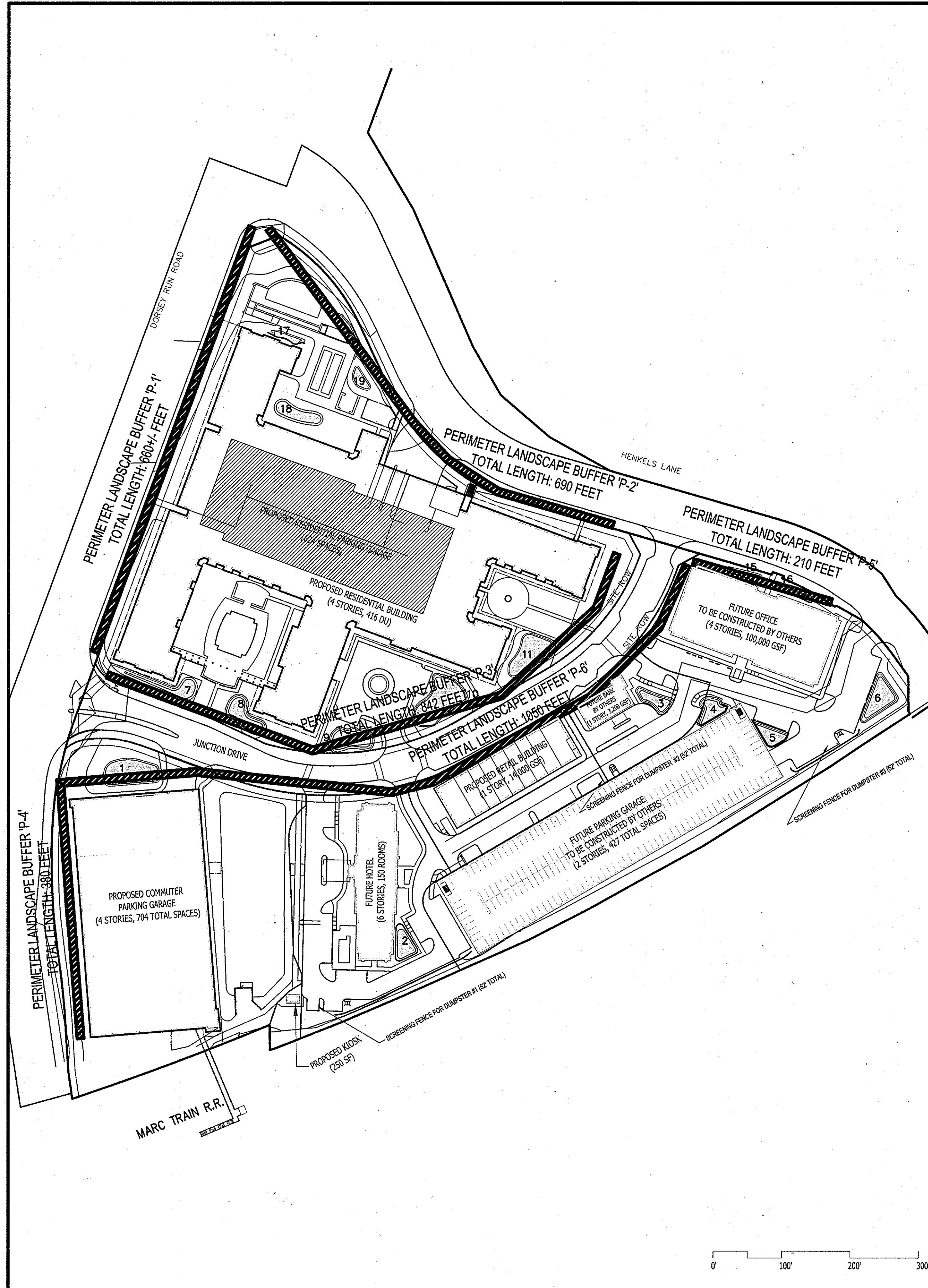
'SCHEDULE A' FOR PERIMETER BUFFER 'P-5'  
(EAST SIDE OF PROPOSED OFFICE BUILDING ADJACENT TO HENKELS LANE)

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	EDGE C	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	210 L.F.	
CREDIT FOR EXISTING VEGETATION	NO	
CREDIT FOR WALL, FENCE, OR BERM	NO	
NUMBER OF PLANTS REQUIRED:		
SHADE TREES: 1:40	5	
EVERGREEN TREES: 1:20	11	
SHRUBS: 0	0	
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	4	
EVERGREEN TREES	4	
OTHER TREES (2:1 SUBSTITUTION)	4	
SHRUBS (10:1 SUBSTITUTION)	60	

'SCHEDULE A' FOR PERIMETER BUFFER 'P-6'  
(SOUTH SIDE OF JUNCTION DRIVE)

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	EDGE B	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	1050 L.F.	
CREDIT FOR EXISTING VEGETATION	NO	
CREDIT FOR WALL, FENCE, OR BERM	NO	
NUMBER OF PLANTS REQUIRED:		
SHADE TREES: 1:50	21	
EVERGREEN TREES: 1:40	26	
SHRUBS: 0	0	
NUMBER OF PLANTS PROVIDED:		
SHADE TREES	20	
EVERGREEN TREES	17	
OTHER TREES (2:1 SUBSTITUTION)	2	
SHRUBS (10:1 SUBSTITUTION)	90	

KEY TO PERIMETER LANDSCAPE EDGES AND SWM PONDS



PARKING LOT INTERNAL LANDSCAPING

'SCHEDULE B' FOR PARKING LOT INTERNAL LANDSCAPING FOR ALL SURFACE PARKING LOTS WITHIN PROPERTY BOUNDARY

NUMBER OF PARKING SPACES	168
NUMBER OF TREES REQUIRED (1 TREE PER EVERY 10 SPACES)	17
NUMBER OF TREES PROVIDED	
SHADE TREES	11
OTHER TREES (2:1 SUBSTITUTION)	12

RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

'SCHEDULE C' FOR RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING CALCULATIONS OF PROPOSED APARTMENT BUILDING

NUMBER OF DWELLING UNITS	416
NUMBER OF TREES REQUIRED (1 TREE PER 3 APARTMENT D.U.'S)	139
NUMBER OF TREES PROVIDED	
SHADE TREES	87
OTHER TREES (2:1 SUBSTITUTION)	21
SHRUBS (10:1 SUBSTITUTION)	423

MICRO BIO RETENTION PONDS COMPLIANCE CHART

POND NUMBER	FILTER AREA SIZE (+/-)	PLANTING COVERAGE REQUIRED (50% OF TOTAL AREA) (+/-)	PLANTING COVERAGE PROVIDED (+/-)
1	2300	1150	1171
2	750	375	396
3	570	285	291
4	650	325	344
5	665	333	342
6	1250	625	632
7	810	405	518
8	1023	512	518
9	1222	611	634
10	2890	1445	1456
11	2100	1050	1054
15	386	193	198
16	386	193	198
17	275	138	138
18	1000	500	520
19	372	186	186

STREET TREE REQUIREMENTS




LINEAR FEET OF CURB ADJACENT TO DORSEY RUN ROAD	1060 +/- LF
NUMBER OF SHADE TREES REQUIRED ALONG DORSEY RUN ROAD (1:40)	27
NUMBER OF SHADE TREES PROVIDED ALONG DORSEY RUN ROAD	27
LINEAR FEET OF CURB ADJACENT TO HENKELS LANE	851 +/- LF
NUMBER OF SHADE TREES REQUIRED ALONG HENKELS LANE (1:40)	22
NUMBER OF SHADE TREES PROVIDED ALONG HENKELS LANE	22
LINEAR FEET OF CURB ADJACENT TO JUNCTION DRIVE	1,485 +/- LF
NUMBER OF SHADE TREES REQUIRED ALONG JUNCTION DRIVE (1:40)	38
NUMBER OF SHADE TREES PROVIDED ALONG JUNCTION DRIVE	38


PERIMETER LANDSCAPE TYPE REFERENCE CHART:

TABLE 1 - PERIMETER LANDSCAPE TYPES - BASED ON ADJACENT LAND USE

LANDSCAPE EDGE TYPE	LANDSCAPE CHARACTER	SHADE TREE(S) PER LINEAR FOOT	EVERGREEN TREE(S) PER L.F.	SHRUB(S) PER LINEAR FOOT
A	LIGHT BUFFER	1:80	0	0
B	MODERATE BUFFER	1:50	1:40	0
C	HEAVY BUFFER	1:40	1:20	0
D	SCREEN	1:80	1:10	0
E	BUFFER - PARKING ADJACENT TO ROADWAY	1:40	0	1:4

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

 2/3/14  
 Director Date  
 3/6/14  
 Chief, Division of Land Development Date  
 2:28:14  
 Chief, Development Engineering Division Date

 The Fox Group, Inc.  
 2200 Somerville Road, Suite 200  
 Annapolis, MD 21401  
 Ph. 410.295.6517 F. 410.295.6512

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688



LANDSCAPE SCHEDULES  
 ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22697-22721  
 ELECTION DISTRICT No. 6 GULFORD  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=100'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	44 OF 64



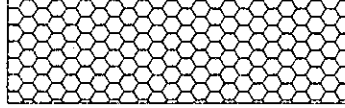
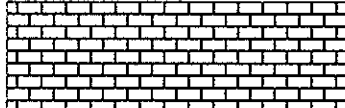
# KEY TO DESIGNATED PEDESTRIAN AMENITY AREAS

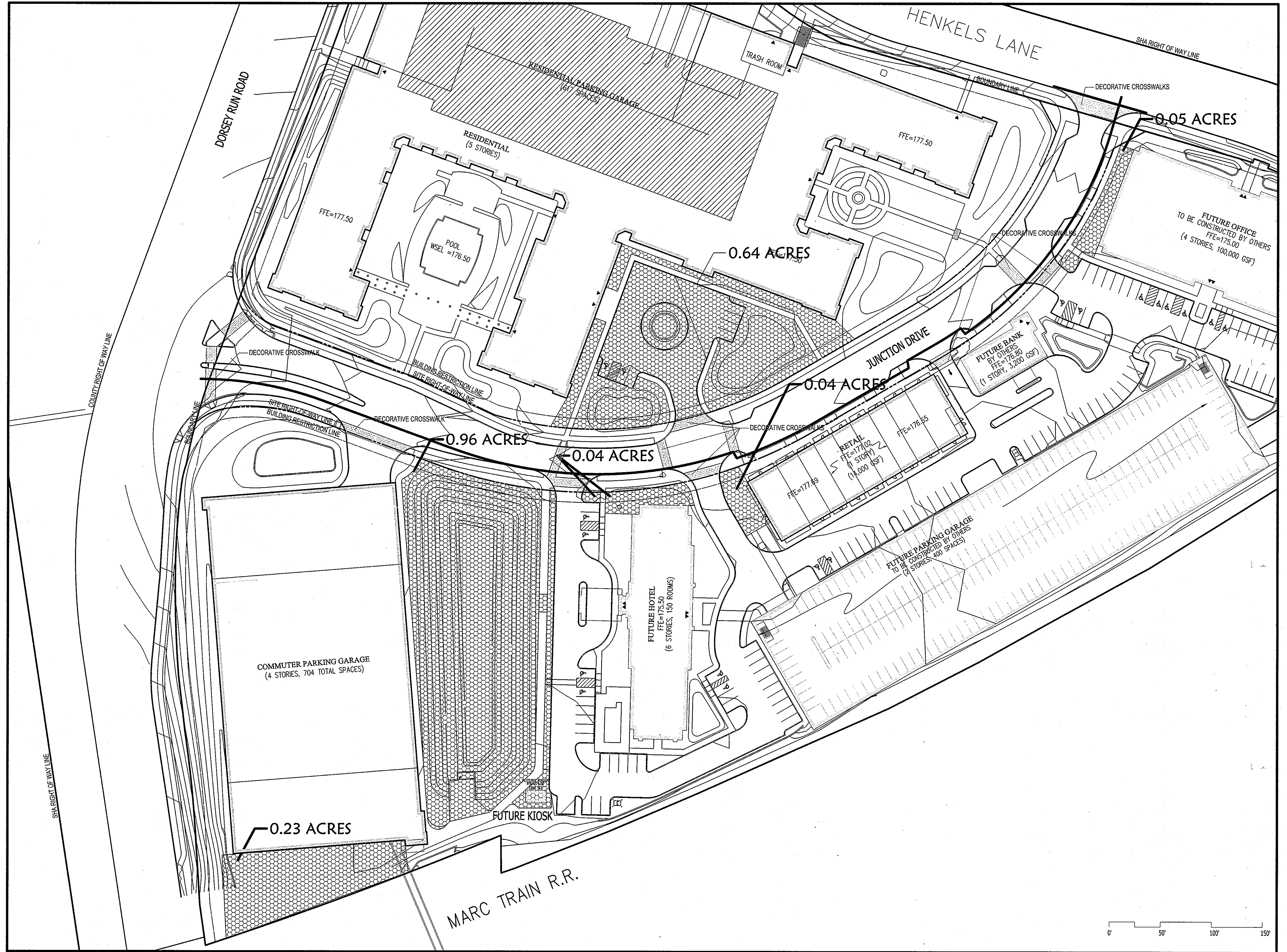
## PEDESTRIAN AMENITY AREA CALCULATIONS

TOTAL SITE AREA: 18.87 ACRES (821,977 SF)

AMENITY AREA REQUIRED: 10% OF TOTAL SITE AREA  
18.87 ACRES X 10% = 1.89 ACRES (82,328 SF)

AMENITY AREA PROVIDED: 1.96 ACRES (85,377 SF)

-  AMENITY AREA
-  DECORATIVE CROSSWALK



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Brandon McLaughlin* 2/2/14  
Director Date

*Wendy DeWade* 3/07/14  
Chief, Division of Land Development Date

*Chad Schneider* 2-28-14  
Chief, Development Engineering Division 4w Date

**THE FOX GROUP**  
The Faux Group, Inc.  
2200 Somerville Road, Suite 200  
Annapolis, MD 21401  
Ph. 410.295.6517 F. 410.295.6512

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8688



PEDESTRIAN AMENITY AREA CALCULATIONS  
ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 1107-1171

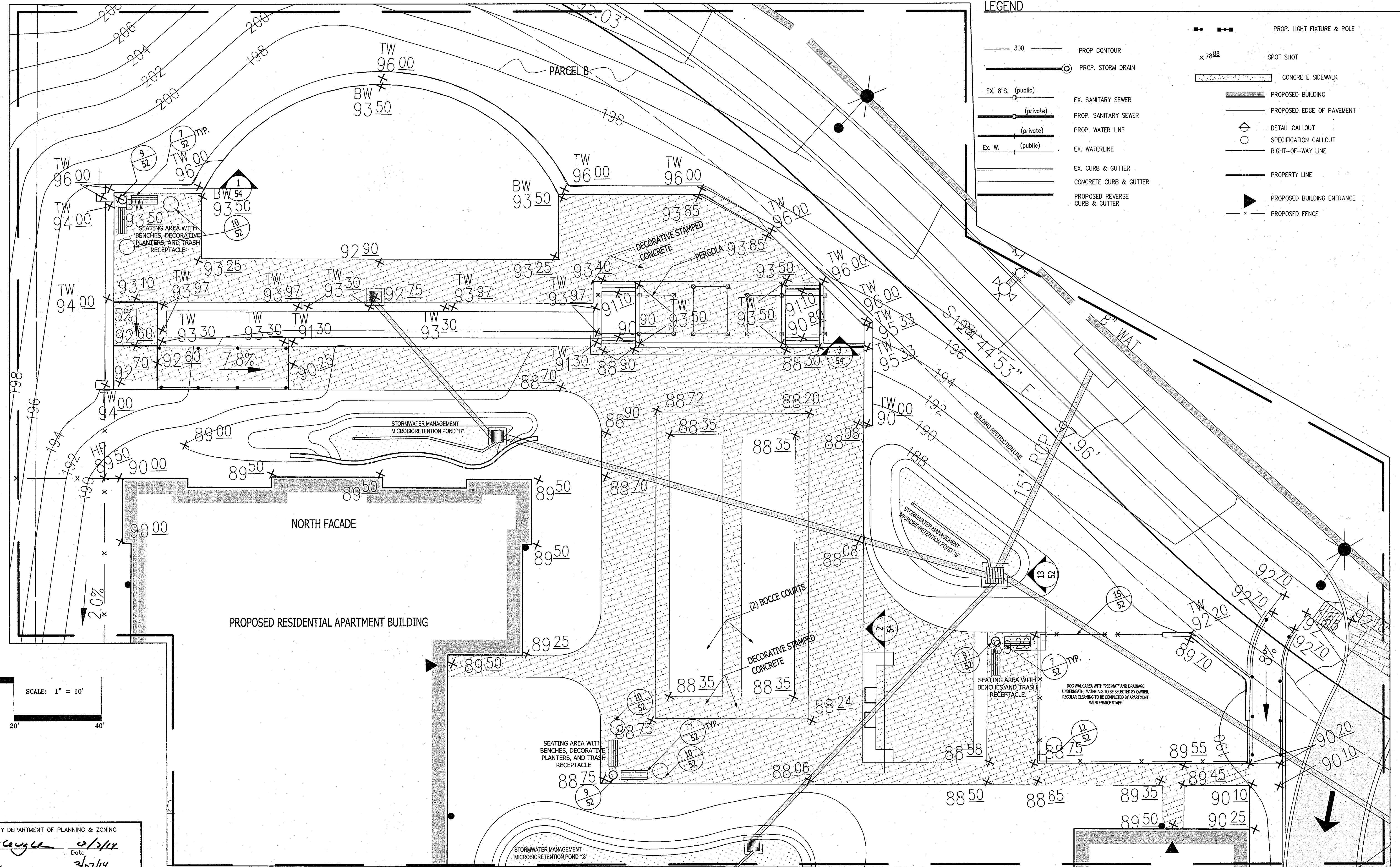
SCALE	ZONING	G. L. W. FILE No.
1"=50'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	45 OF 64

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 6 GUILFORD

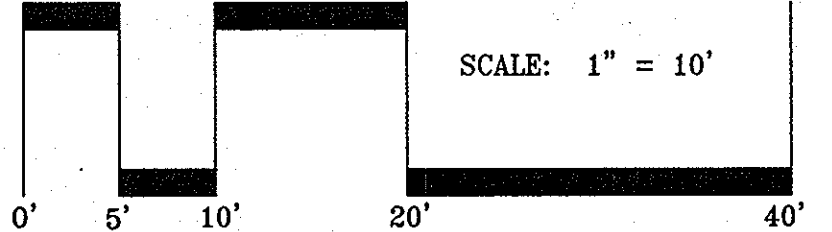
HOWARD COUNTY, MARYLAND





**LEGEND**

— 300 —	PROP. CONTOUR	•••••	PROP. LIGHT FIXTURE & POLE
— (circle with cross) —	PROP. STORM DRAIN	x 7888	SPOT SHOT
— (circle with dot) —	EX. 8" S. (public)	— (dashed) —	CONCRETE SIDEWALK
— (circle with dot) —	(private)	— (dotted) —	PROPOSED BUILDING
— (circle with dot) —	(private)	— (dotted) —	PROPOSED EDGE OF PAVEMENT
— (circle with dot) —	EX. W. (public)	— (dotted) —	DETAIL CALLOUT
— (circle with dot) —	EX. SANITARY SEWER	— (dotted) —	SPECIFICATION CALLOUT
— (circle with dot) —	PROP. SANITARY SEWER	— (dotted) —	RIGHT-OF-WAY LINE
— (circle with dot) —	PROP. WATER LINE	— (dotted) —	PROPERTY LINE
— (circle with dot) —	EX. WATERLINE	— (dotted) —	PROPOSED BUILDING ENTRANCE
— (circle with dot) —	EX. CURB & GUTTER	— (dotted) —	PROPOSED FENCE
— (circle with dot) —	CONCRETE CURB & GUTTER		
— (circle with dot) —	PROPOSED REVERSE CURB & GUTTER		



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Frank J. ...* 01/2/14  
 Director Date

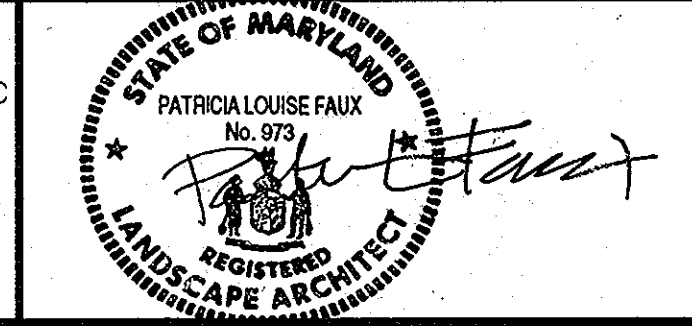
*Victor ...* 3/27/14  
 Chief, Division of Land Development Date

*Chad ...* 7-28-14  
 Chief, Development Engineering Division Date

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
 410-267-8688



AMENITY AREA LAYOUT PLAN

ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22027-22721

ELECTION DISTRICT No. 6 GUILFORD

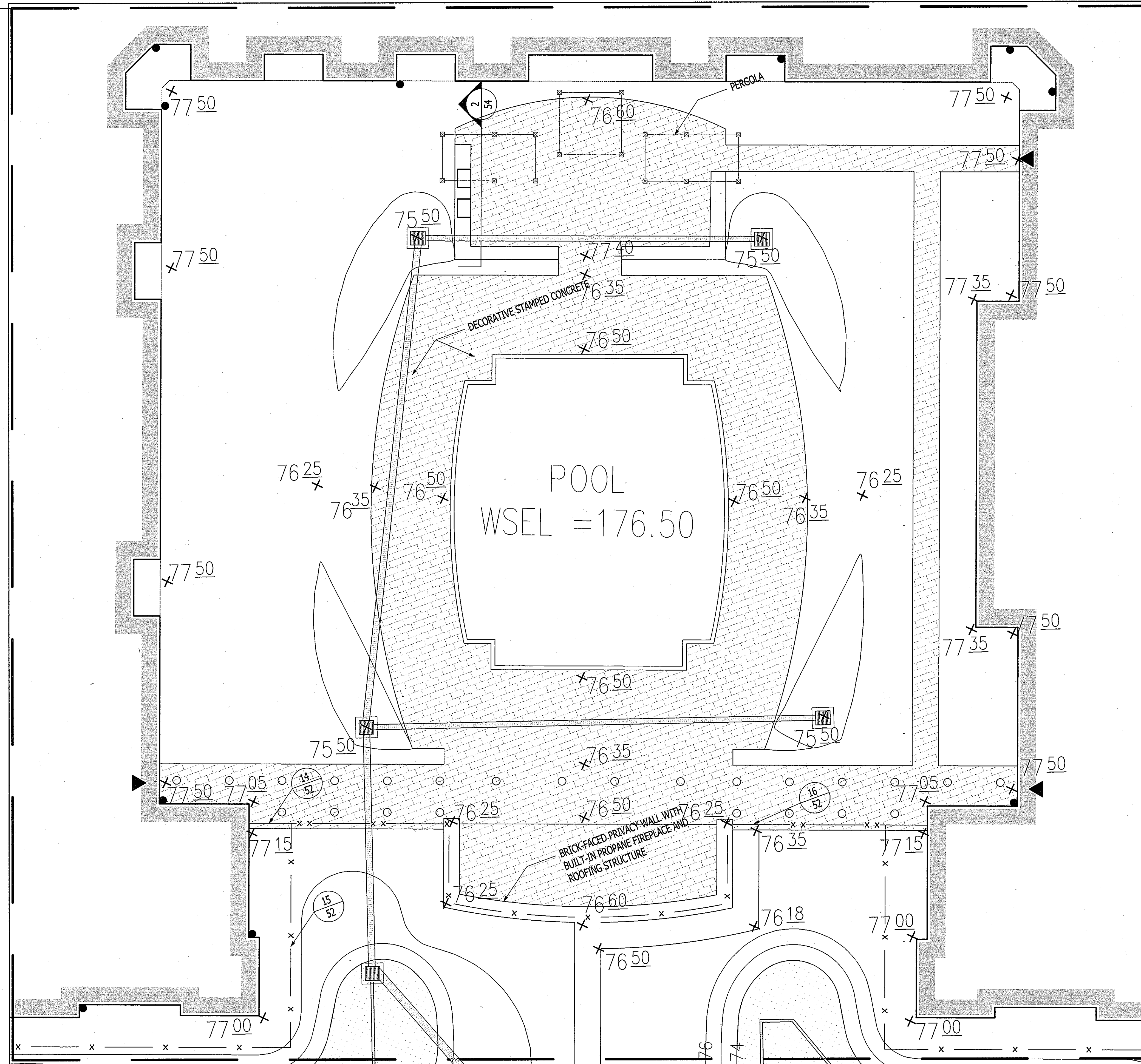
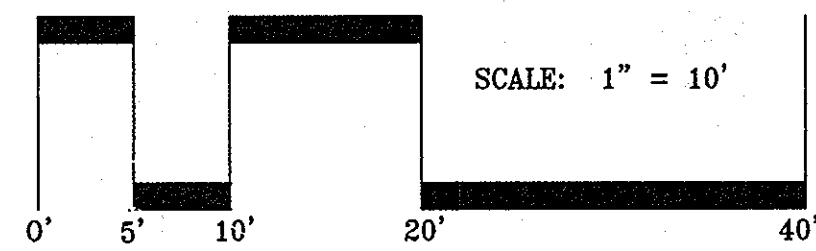
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=10'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	46 OF 64



LEGEND

- 300 — PROP. CONTOUR
- (C) — PROP. STORM DRAIN
- — EX. STORM DRAIN
- (public) — EX. SANITARY SEWER
- (private) — PROP. SANITARY SEWER
- (private) — PROP. WATER LINE
- (public) — EX. WATERLINE
- — EX. CURB & GUTTER
- — CONCRETE CURB & GUTTER
- — PROPOSED REVERSE CURB & GUTTER
- — CONCRETE SIDEWALK
- × 78<sup>88</sup> SPOT SHOT
- x — x — PROPOSED FENCE
- ▶ BUILDING ENTRANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Patrick M. Long* 2/2/14  
Director Date

*Kevin J. ...* 3/07/14  
Chief, Division of Land Development Date

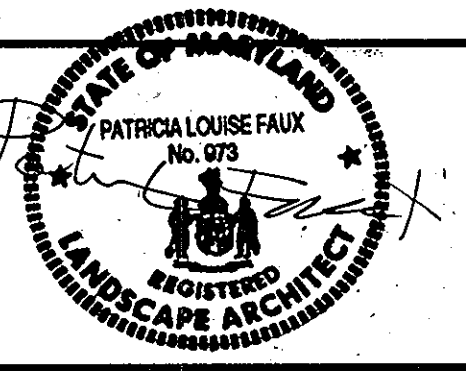
*Chris ...* 2-28-14  
Chief, Development Engineering Division Date

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

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PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8688



POOL COURTYARD LAYOUT PLAN

ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G

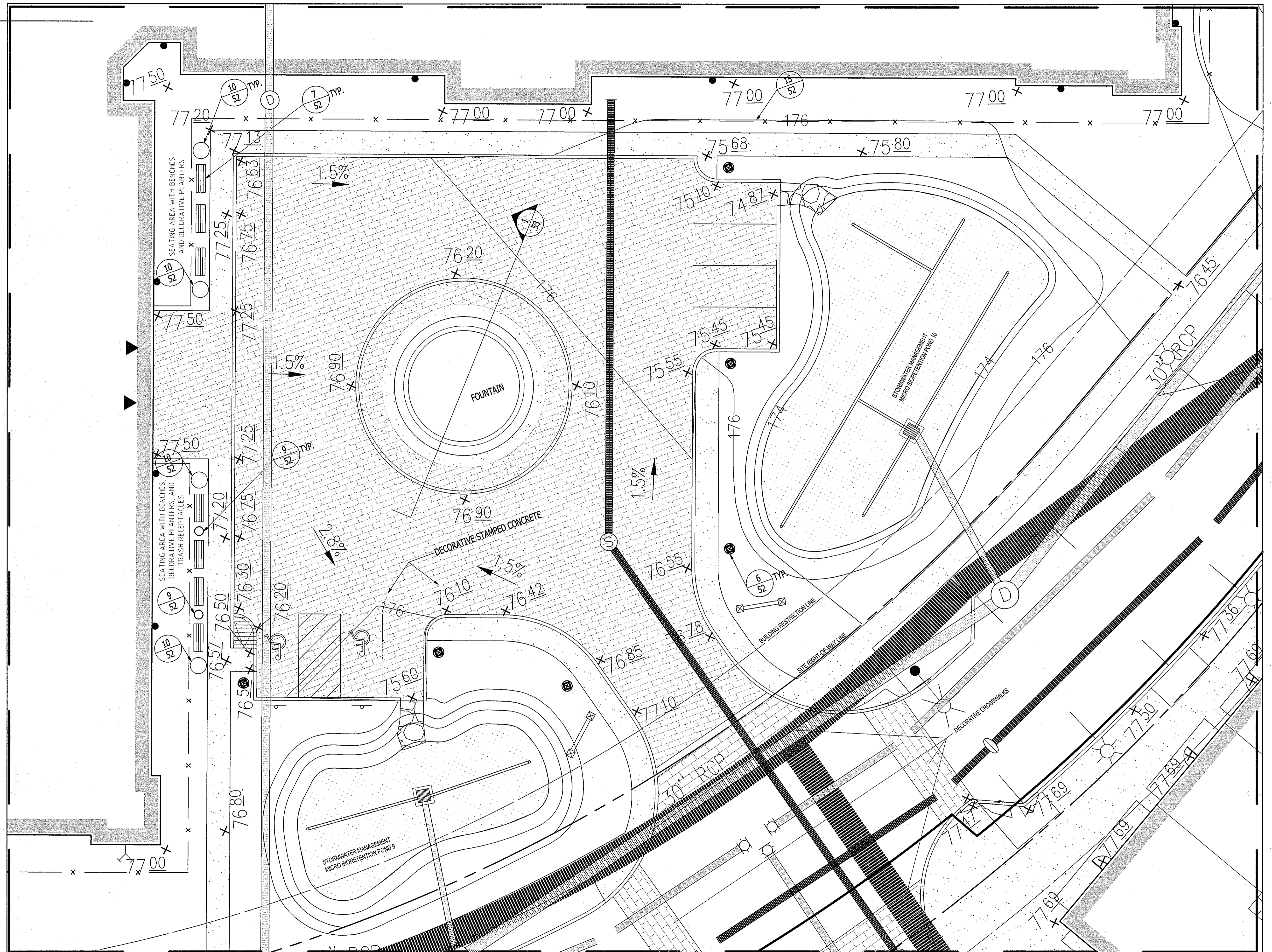
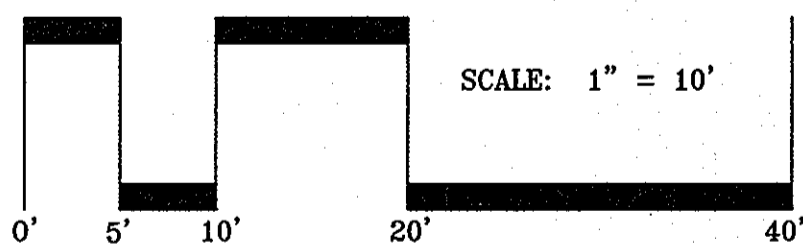
ELECTION DISTRICT No. 6 GUILFORD  
PLAT No. 22077-21721  
HOWARD COUNTY, MARYLAND

SCALE 1"=10'	ZONING T.O.D.	G. L. W. FILE No. 11107
DATE MAY 30, 2013	TAX MAP - GRID 48-20	SHEET 47 OF 64



**LEGEND**

- 300 PROP. CONTOUR
- PROP. STORM DRAIN
- EX. STORM DRAIN
- (private) PROP. SANITARY SEWER
- (private) PROP. WATER LINE
- CONCRETE CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- CONCRETE SIDEWALK
- SPOT SHOT
- PROP. LIGHT FIXTURE & POLE
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPOSED PARKING LOT SPACE
- EXISTING FENCE
- PROPOSED PEDESTRIAN LIGHT
- DETAIL CALLOUT
- SPECIFICATION CALLOUT
- PROPOSED SIGN LOCATION
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- BUILDING ENTRANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Frankie DiGuglielmo* 2/3/14  
Director Date

*Karl Schaefer* 3/27/14  
Chief, Division of Land Development Date

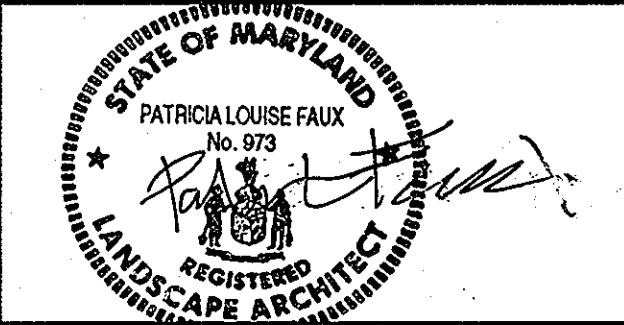
*Phil Chubb* 2/28/14  
Chief, Development Engineering Division Date

**THE FOX GROUP**  
The Faux Group, Inc.  
2200 Somerville Road, Suite 200  
Annapolis, MD 21401  
Ph. 410.295.6517 F. 410.295.6512

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8688



ENTRANCE COURTYARD LAYOUT PLAN

ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G

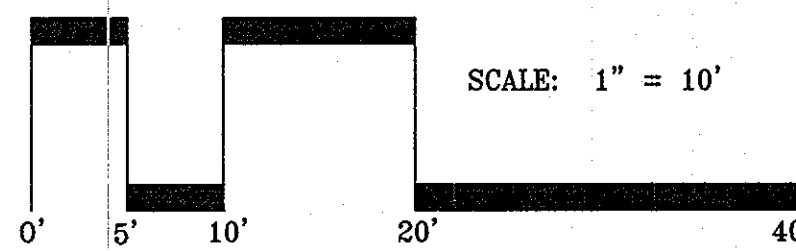
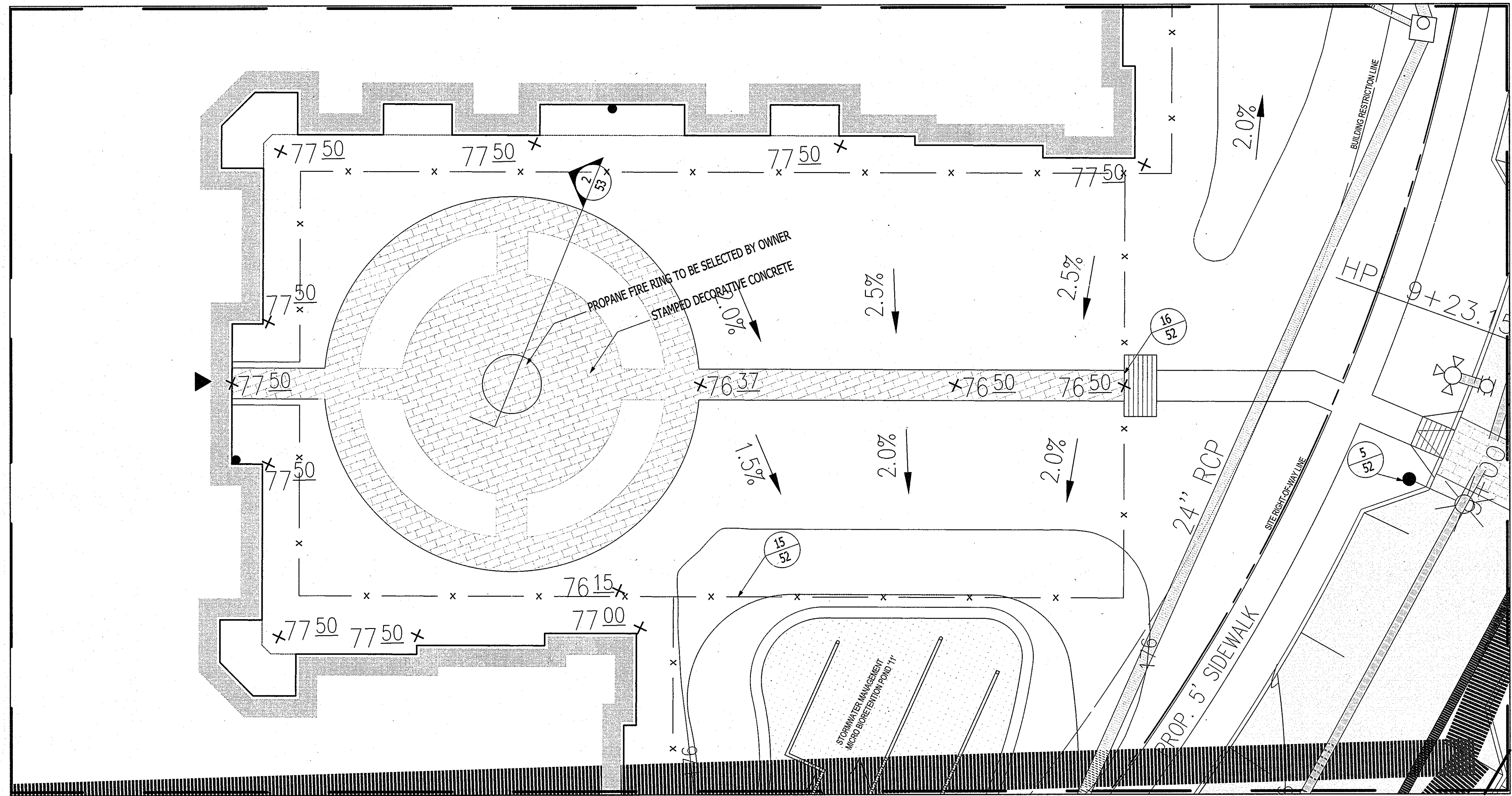
ELECTION DISTRICT No. 6 GUILFORD  
PLAT No. 22027-22701  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=10'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	48 OF 64



**LEGEND**

- 300 — PROP. CONTOUR
- ⊙ PROP. STORM DRAIN
- EX. STORM DRAIN
- LOD LIMIT OF SUBMISSION/DISTURBANCE
- EX. 8" S. (public) EX. SANITARY SEWER
- (private) PROP. SANITARY SEWER
- (private) PROP. WATER LINE
- Ex. W. (public) EX. WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- CONCRETE SIDEWALK
- × 7888 SPOT SHOT
- x — PROPOSED FENCE
- ▶ BUILDING ENTRANCE



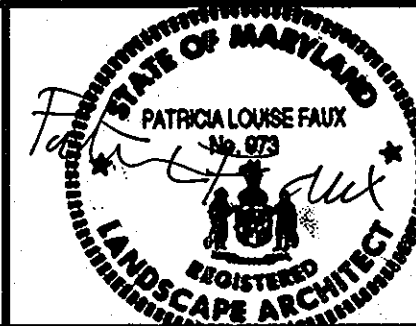
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark DeLughe* Date: *3/11/14*  
 Chief, Division of Land Development  
 Chief, Development Engineering Division: *Paul Edwards* Date: *2-28-14*

THE FOX GROUP  
 The Fox Group, Inc.  
 2200 Somerville Road, Suite 200  
 Annapolis, MD 21401  
 Ph. 410.295.6517 F. 410.295.6512

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORÉTZKY  
 410-287-8688



FIRE COURTYARD LAYOUT PLAN  
 ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22097-22701  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=10'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
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SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SPACING	CONDITION	TOTAL NUMBER	ADDITIONAL NOTES
<b>LARGE DECIDUOUS TREES</b>							
AS	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5'-3" CALIPER	AS SHOWN	B&B	16	
BN	Betula nigra 'Heritage'	Heritage Clump River Birch	10'-12' HEIGHT	AS SHOWN	B&B	63	MULTI-STEMMED WITH 3 LEADERS
GB	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2.5'-3" CALIPER	AS SHOWN	B&B	19	MALE CULTIVARS ONLY
GT	Gleditsia triacanthos var. inermis 'Shademaster'	Thornless honeylocust	2.5'-3" CALIPER	AS SHOWN	B&B	41	THORNLESS SPECIES ONLY
PA	Platanus x acerifolia 'Columbia'	Columbia London Plane Tree	2.5" CALIPER	40' O/C	B&B	94	87 OF THESE ARE PUBLIC STREET TREES
						233	
<b>UNDERSTORY DECIDUOUS TREES</b>							
CF	Cornus florida	Flowering Dogwood	8'-10' HEIGHT	AS SHOWN	B&B	21	
CK	Cornus kousa	Kousa Dogwood	8'-10' HEIGHT	AS SHOWN	B&B	4	
LI	Lagerstromia indica	Crapemyrtle	6'-8' HEIGHT	AS SHOWN	B&B	14	
						39	
<b>EVERGREEN TREES</b>							
MV	Magnolia grandiflora	Southern Magnolia	6'-8' HEIGHT	AS SHOWN	B&B	29	
PS	Pinus strobus	Eastern White Pine	6'-8' HEIGHT	AS SHOWN	B&B	62	
						91	
<b>SHRUBS</b>							
CS	Cornus stolonifera	Red-Osier Dogwood	2.5'-3' HEIGHT	AS SHOWN	CONTAINER	20	
DG	Deutzia gracilis 'Nikki'	Slender Deutzia	2.5'-3' HEIGHT	AS SHOWN	CONTAINER	208	
JC	Juniperus communis var. depressa effusa	Common Dwarf Juniper	0.5'-1.5' HEIGHT	AS SHOWN	CONTAINER	179	
PF	Photinia x fraserii	Fraser's Photinia	3'-3.5' HEIGHT	AS SHOWN	CONTAINER	83	
TM	Taxus media 'Densiformis'	Densiformis Yew	2.5'-3' HEIGHT	AS SHOWN	CONTAINER	398	
						888	

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SPACING	CONDITION	TOTAL NUMBER	ADDITIONAL NOTES
<b>GROUND COVER</b>							
LS	Liriope spicata	Creeping Lilyturf	Quart	12" o/c	Container	610	
CL	Chasmanthium latifolium	Inland Seaots	Quart	12" o/c	Container	2909	
OC	Osmunda cinnamomea	Cinnamon Fern	Quart	12" o/c	Container	238	
PV	Panicum virgatum	Switchgrass	Quart	12" o/c	Container	739	
CG	Chelon glabra	White Turtlehead	Quart	12" o/c	Container	852	
						5,348	
<b>SHRUBS</b>							
CS	Cornus stolonifera	Red-Osier Dogwood	2.5'-3' HEIGHT	AS SHOWN	CONTAINER	79	
IS	Ilex (serrata x verticillata)	Sparkleberry	2.5'-3' HEIGHT	AS SHOWN	CONTAINER	78	
						157	

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
SHADE TREES (AT \$300 PER TREE)	234 x \$300		\$70,200
ORNAMENTAL AND EVERGREEN TREES (AT \$150 PER TREE)	102 x \$150		\$15,300
SHRUBS (AT \$30 PER SHRUB)	0 x \$30		\$0
FENCING (AT \$10 PER LINEAR FOOT)	156 x \$10		\$1,560
WALLS (AT \$20 PER LINEAR FOOT)	0 x \$20		\$0
			\$87,060

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
SHADE TREES (AT \$300 PER TREE)	87 x \$300		\$26,100

\*REFER TO CIVIL ENGINEERING SHEETS FOR SURETY CALCULATIONS OF CONSTRUCTION ASSOCIATED WITH THE MICRO-BIO POND LANDSCAPING

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME Neil A. Greenberg, Manager, Annapolis Junction Town Center, LLC DATE 02/12/2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

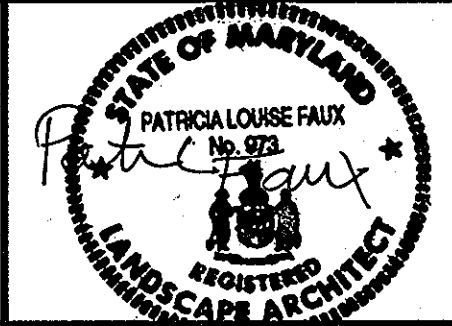
Shirley A. Leung 02/12/14  
Director

Chad Edwards 2/20/14  
Chief, Development Engineering Division

THE FOX GROUP  
2200 Somerville Road, Suite 200  
Annapolis, MD 21401  
Ph. 410.295.6517 F. 410.295.6512

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814

ATTN: PETER ZADORETZKY  
410-267-8688



LANDSCAPE SPECIFICATIONS

A. MATERIALS

1. PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. THEY SHALL HAVE BEEN ROOT PRUNED, PREFERABLY WITHIN THE LAST YEAR.

THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, PEST, EGGS OR LARVAE, AND SHALL HAVE A HEALTHY DEVELOPED ROOT SYSTEM.

PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH A DAMAGED OR CROOKED LEADER OR MULTIPLE LEADERS, ABRASIONS ON THE BARK, SUNSCALED, DISFIGURING KNOTS OR FRESH CUTS OVER 1 1/2" WILL BE REJECTED.

NO CHANGE IN QUANTITY, SIZE, KIND OR QUALITY OF PLANT SPECIFIED WILL BE PERMITTED WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.

2. TOPSOIL SHALL BE FERTILE, FRIABLE AND TYPICAL OF THE LOCALITY; IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS AND SHALL NOT BE DELIVERED IN A FROZEN OR MUDDY CONDITION.

3. PLANTING SOIL (BACKFILL MIX) SHALL BE FIVE-PARTS TOPSOIL AND ONE-PART WET, LOOSE PEAT MOSS.

4. STAKING MATERIALS: GUYS WIRE SHALL BE PLIABLE #12 GAUGE GALVANIZED TWISTED TWO-STRAND WIRE. HOSE SHALL BE A SUITABLE LENGTH OF TWO-PLY RUBBER HOSE 3/4 INCH DIAMETER, STAKES SHALL CONFORM TO THE DETAIL ON THIS SHEET.

5. SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.

6. AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

B. APPLICABLE SPECIFICATIONS AND STANDARDS

1. "STANDARD PLANT NAMES," LATEST EDITION JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.

2. "AMERICAN STANDARD OF NURSERY STOCK," LATEST EDITION, AMERICAN ASSOCIATION OF NURSERYMAN.

C. DIGGING AND HANDLING OF PLANT MATERIALS

1. IMMEDIATELY BEFORE DIGGING, SPRAY ALL EVERGREEN OR DECIDUOUS PLANT MATERIAL IN FULL LEAF WITH ANTI-DESICCANT, APPLYING AN ADEQUATE FILM OVER TRUNKS, BRANCHES, TWIGS AND/OR FOLIAGE.

2. DIG BALLED AND BUR LAPPED (B&B) PLANTS WITH FIRM NATURAL BALLS OF EARTH, OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY AMERICAN STANDARD FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.

D. EXCAVATION OF PLANTING AREA

1. STAKE OUT ON THE GROUND, LOCATIONS FOR PLANTS AND OUTLINES OF AREA TO BE PLANTED, AND OBTAIN APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATION IS BEGUN. LANDSCAPED AREAS SHALL BE THOROUGHLY WEEDED PRIOR TO PLANTING OPERATIONS.

E. PLANTING OPERATIONS

1. SET PLANTS WITH TOP OF ROOT BALL HIGHER WITH PROPOSED GRADE AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. USE PLANTING SOIL TO BACKFILL APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE INSTALLING REMAINDER OF THE PLANTING SOIL TO TOP OF PITS, ELIMINATING ALL AIR POCKETS.

2. SET PLANTING PLUMB AND BRACE RIGIDLY IN POSITION UNTIL THE PLANTING SOIL HAS BEEN STAMPED SOLIDLY AROUND THE BALL AND ROOTS. CUT ROPES OR STRINGS FROM THE TOP OF BALL AFTER PLANT HAS BEEN SET. LEAVE BURLAP OR CLOTH WRAPPING INTACT AROUND BALLS. TURN UNDER AND BURY PORTIONS OF BURLAP AT TOP OF BALL.

3. PROTECT PLANTS AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CAN NOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED WITH SOIL, PEAT MOSS OR OTHER ACCEPTABLE MATERIAL AND SHALL BE KEPT WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY.

4. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO NOT DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL ONLY.

F. STAKING, WRAPPING AND PRUNING

1. STAKING SHALL BE COMPLETED IMMEDIATELY AFTER PLANTING. PLANTS SHALL STAND PLUMB AFTER STAKING. STAKES AND GUY WIRES SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.

2. WRAP DECIDUOUS TREE TRUNKS STARTING AT THE BASE OF THE TREE UP TO THE SOUND BRANCH. REMOVE WRAPPING AT THE END OF THE GUARANTEE PERIOD.

3. PRUNE PLANTS AT THE TIME OF PLANTING AS DIRECTED BY THE LANDSCAPE ARCHITECT TO REMOVE 1/5 TO 1/3 OF THE FOLIAGE. REMOVE ALL DEAD WOOD, SUCKERS OR BROKEN BRANCHES AND PRESERVE THE NATURAL CHARACTER OF THE PLANT.

G. GUARANTEE

1. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE FULL CALENDAR YEAR COMMENCING AT ACCEPTANCE OF PLANTINGS BY LANDSCAPE ARCHITECT. PLANT MATERIAL SHALL BE IN HEALTHY AND VIGOROUS CONDITION AT THE END OF THE GUARANTEE PERIOD.

H. TREE PRESERVATION

1. SNOW FENCING SHALL BE ERECTED AROUND ALL AREAS WHERE EXISTING VEGETATION IS TO BE PRESERVED.

2. INDIVIDUAL TREES AND GROUPS OF TREES SHALL BE PROTECTED BY FENCING AROUND A PERIMETER OF THEIR BRANCHES USING STANDARD, 48" HIGH SNOW FENCE SECURELY MOUNTED TO STANDARD STEEL POSTS SET NOT MORE THAN 6' APART.

3. FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

STANDARD & SPECIFICATIONS FOR TOPSOIL DEFINITION

ANY SOILS USED FOR THE PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. THEREBY ALL SOILS USED IN THIS REGARD SHOULD NOT HAVE THE FOLLOWING LIMITATIONS: LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIAL TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS

THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

A.) THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

B.) THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

C.) THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIALS TOXIC TO THE PLANT GROWTH.

D.) THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. THE AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

SOIL ANALYSIS TESTING

1. SOIL SAMPLE ANALYSIS TO BE DONE BY THE CONTRACTOR, FOR ALL SOILS TO BE USED AS TOPSOIL AND/OR BACKFILL PURPOSES. SOIL SAMPLES SHALL BE GATHERED FROM THE TOPSOIL STOCKPILES BY THE LANDSCAPE ARCHITECT, TO BE THAN TURNED OVER TO THE CONTRACTOR FOR PROFESSIONAL TESTING BY THE SOILS AND AGGREGATE TECHNOLOGY DIVISION (S.A.T.D.).

2. FOR ACTIVE CONSTRUCTION PROJECTS, THE CONTRACTOR AND/OR THE ENGINEER SHALL CONTACT S.A.T.D. FOR SAMPLING AND TESTING AT LEAST 30 CALENDAR DAYS PRIOR TO THE STRIPPING OF SALVAGED TOPSOIL, PLACING OF FURNISHED TOPSOIL, AND/OR THE SEEDING OF NON-TOPSOIL AREAS.

3. SOIL SAMPLES SHALL BE TAKEN FROM ALL FURNISHED TOPSOIL STOCKPILE LOCATIONS ON SITE. ALL SOIL SAMPLES SHOULD CONFORM TO THE ADMINISTRATION'S REQUIREMENTS FOR TEXTURAL ANALYSIS (FOR PERCENTAGE OF SAND, SILT AND CLAY), PH AND ORGANIC MATTER.

4. ONE POUND TOPSOIL SAMPLES SHALL BE TAKEN OF EQUAL GATHERINGS FROM EACH OF THE DIFFERENT LOCATIONS (CAN BE NO LESS THAN TEN DIFFERENT LOCATIONS). THE SOIL SHALL BE SAMPLES AT VARIOUS DEPTHS THROUGHOUT THE PILE AND NOT THE SURFACE. THE FOLLOWING INFORMATION SHALL BE LABELED ON EACH OF THE SAMPLES: DATE OF SAMPLE, NAME OF SOURCE, AND STOCKPILE IDENTIFICATION.

CONSTRUCTION AND MATERIALS

1. TOPSOIL SALVAGED FROM THE EXISTING CONDITIONS MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SPECIFIED. THE TYPICAL DEPTH OF TOPSOIL TO BE SALVAGED CAN BE FOUND IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH THE MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

2. TOPSOIL MUST BE FREE OF ALL PLANTS AND PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISLE OR ANY OTHERS AS SPECIFIED.

3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, THE CONTRACTOR SHALL GROUND LIMESTONE AT A RATE OF 4-8 TONS/ACRE (200-400 LBS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT

OF APPROVED TOPSOIL. THE CONTRACTOR SHALL DISTRIBUTE THE LIMESTONE UNIFORMLY OVER DESIGNATED AREAS WITH TILLAGE OPERATIONS. TOPSOIL SUBSTITUTES OR AMENDMENTS (AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE LANDSCAPE ARCHITECT) MAY BE USED IN LIEU OF NATURAL TOPSOIL.

4. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

TOPSOIL APPLICATION

1. WHEN APPLYING TOPSOIL, THE CONTRACTOR MUST MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS: DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. THE CONTRACTOR SHALL REFER TO THE SOIL AND SEDIMENT CONTROL PLANS FOR DETAILS, AND COORDINATE PLACEMENT EFFORTS.

2. PROPOSED FINISHED GRADES, PREVIOUSLY ESTABLISHED SHALL BE MAINTAINED AT A MAXIMUM OF 4-8" HIGHER IN ELEVATION.

3. THE CONTRACTOR SHALL UNIFORMLY DISTRIBUTE THE APPROVED TOPSOIL IN 4-8" LAYERS, AND LIGHTLY COMPACT THE TOPSOIL TO A MINIMUM 4" THICKNESS IN DEPTH. THE APPLICATION OF APPROVED TOPSOIL TO EACH OF THE DESIGNATED AREAS SHOULD REDUCE THE NEED FOR ANY ADDITIONAL SOIL PREPARATION FOR SEEDING AND SODDING, AND TILLAGE.

4. THE CONTRACTOR SHALL MINIMIZE ALL IRREGULARITIES TO THE FINISHED GRADE SURFACE, IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS AND/OR WATER POCKETS.

5. TOPSOIL SHALL NOT BE DISTRIBUTED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDED PREPARATION.

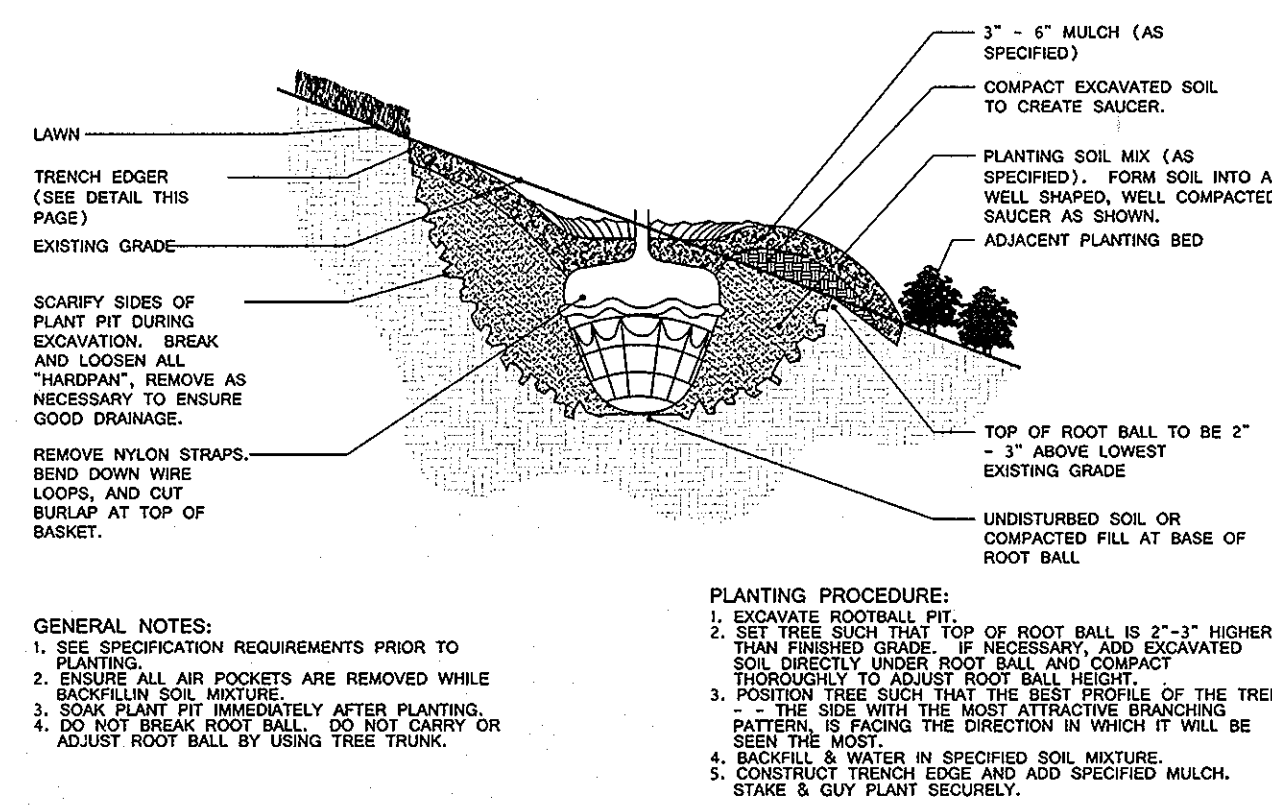
POSTING OF SURETY

POSTING OF SURETY IS REQUIRED FOR LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL IN THE AMOUNT OF \$87,060 FOR 234 SHADE TREES, 102 EVERGREEN, AND 156 LINEAR FEET OF FENCING/WALLS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT/GRADING PERMIT.

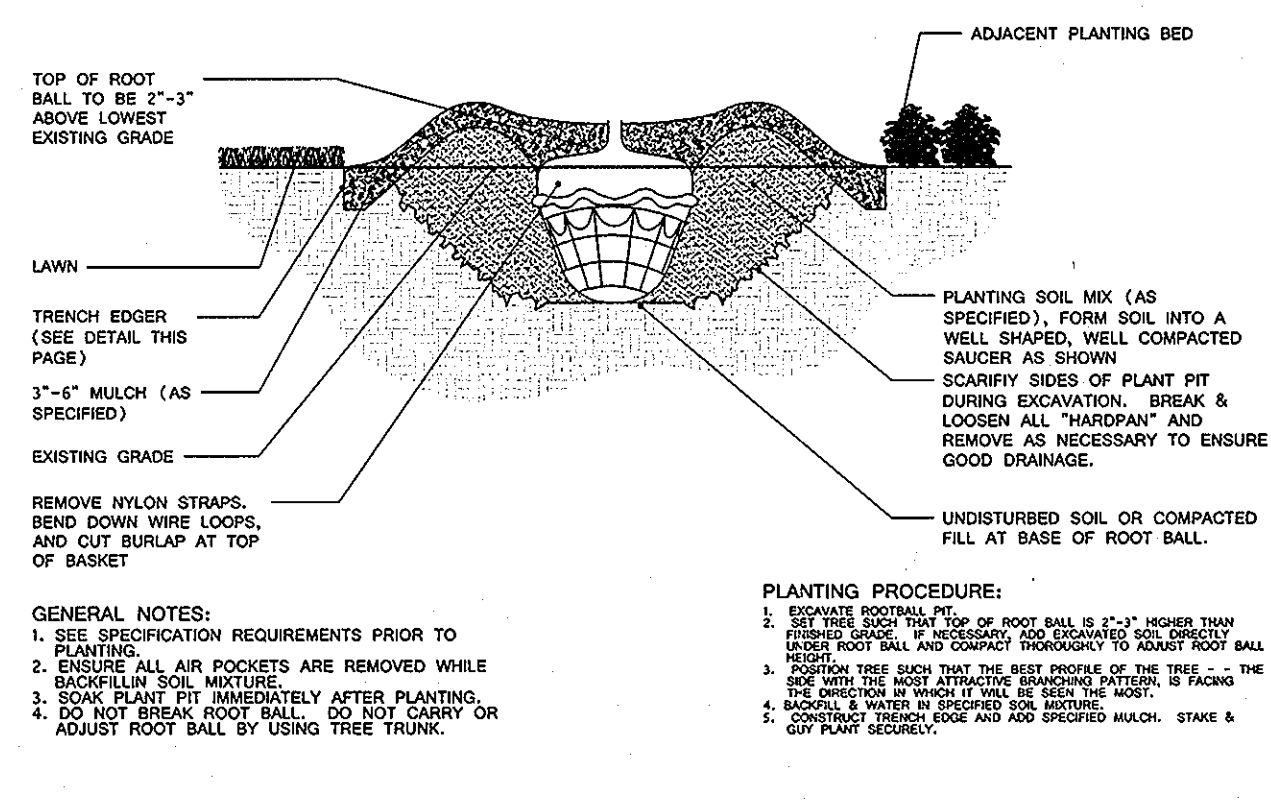
THE FINANCIAL SURETY FOR 87 PUBLIC STREET TREES IN THE AMOUNT OF \$26,100 WILL BE INCLUDED AS PART OF THE COST ESTIMATE GENERATED BY THE HOWARD COUNTY DEVELOPMENT ENGINEERING DIVISION.

PLANT LIST AND PLANTING NOTES			SCALE	ZONING	G. L. W. FILE No.
ANNAPOLIS JUNCTION TOWN CENTER HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING) RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE PARCELS A - G PLAT No. <u>22097-22701</u>			N/A	T.O.D.	11107
ELECTION DISTRICT No. 6 GULFORD			DATE	TAX MAP - GRID	SHEET
HOWARD COUNTY, MARYLAND			MAY 30, 2013	48-20	50 OF 64

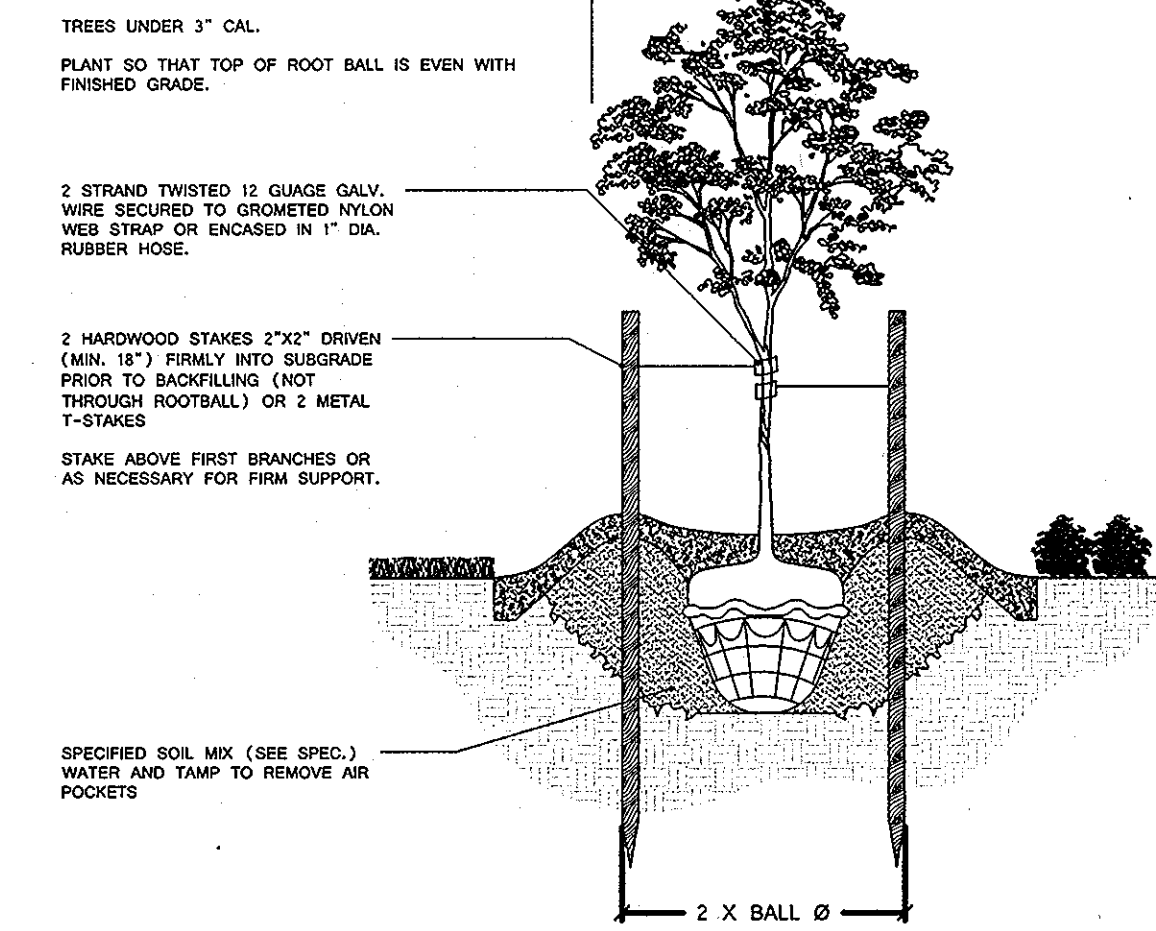




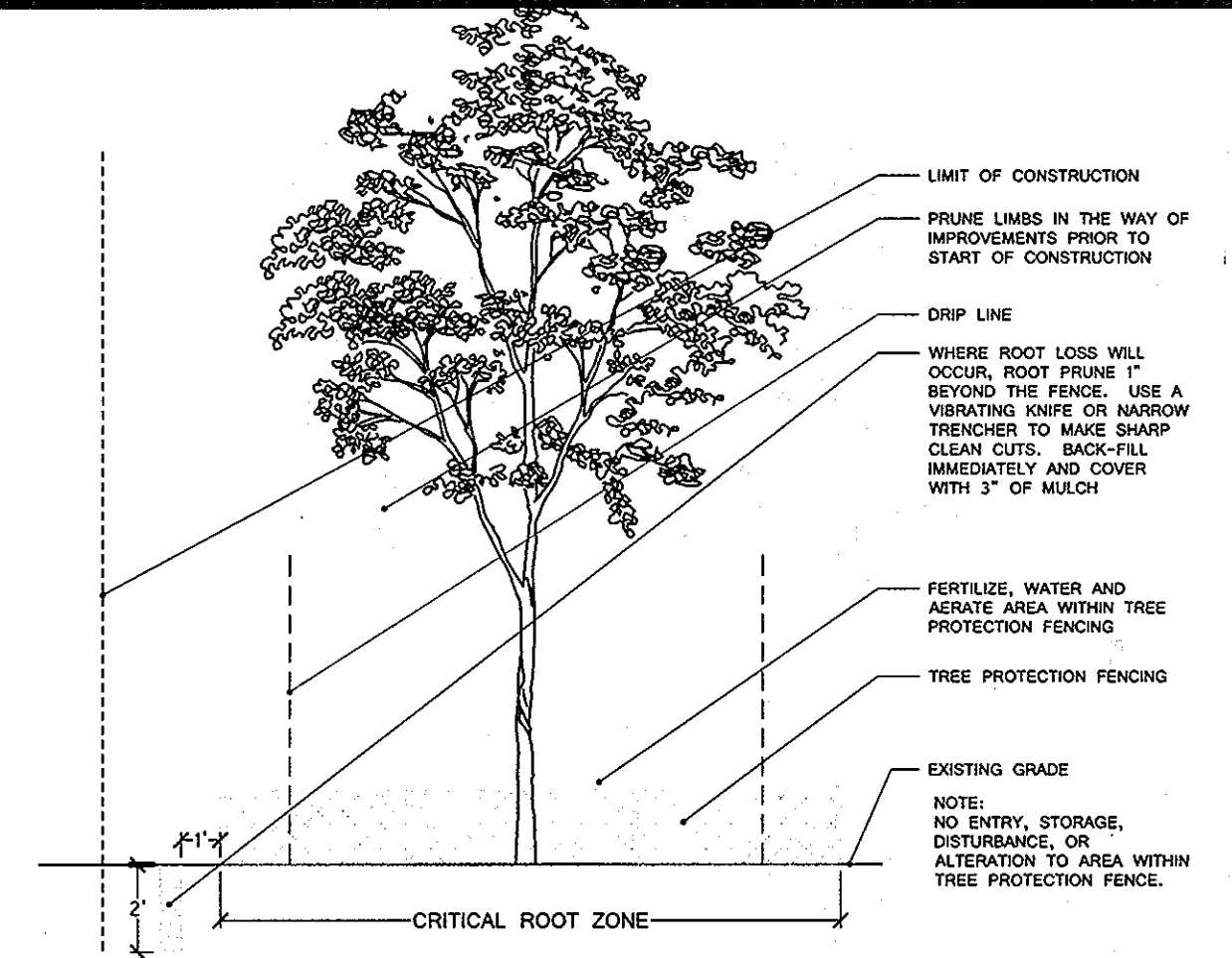
**TREE PLANTING DETAIL - ON SLOPE**  
SECTION SCALE: NTS



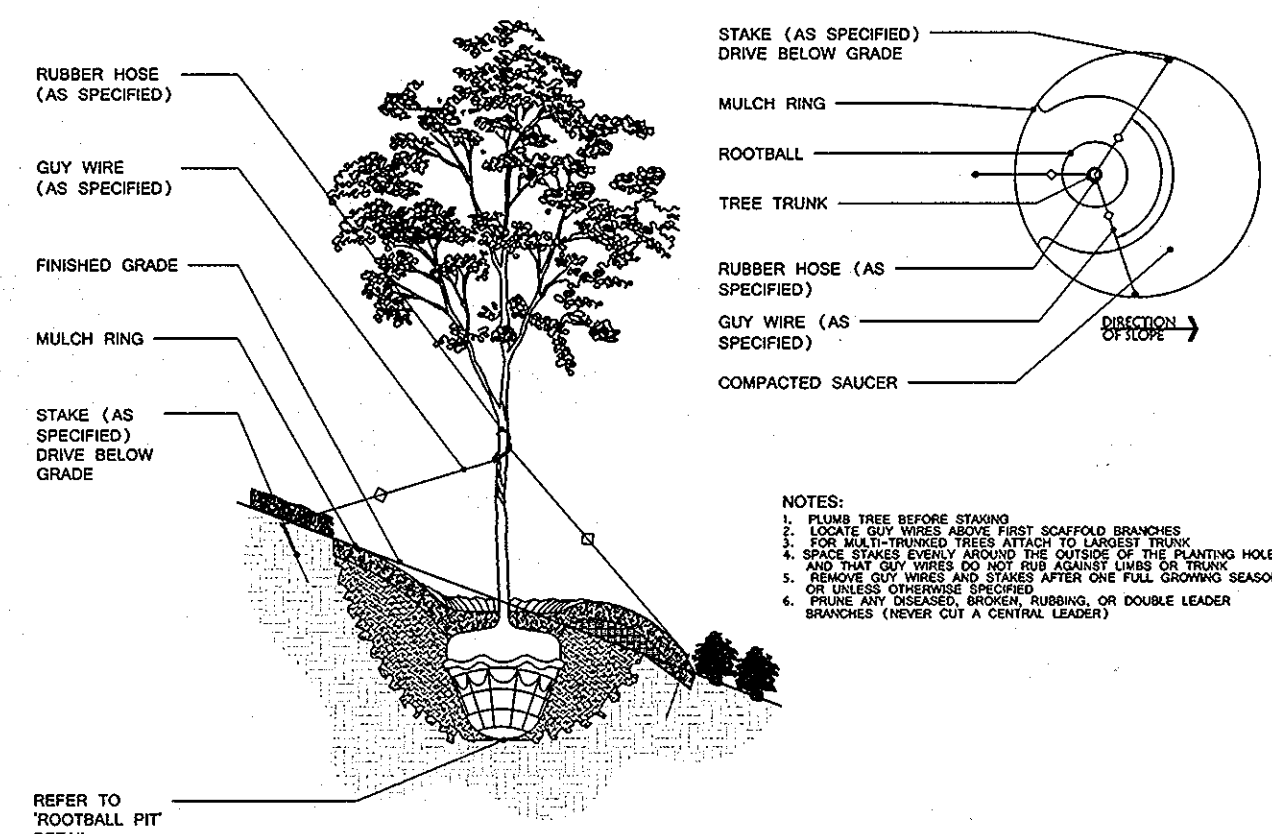
**TREE PLANTING DETAIL**  
SECTION SCALE: NTS



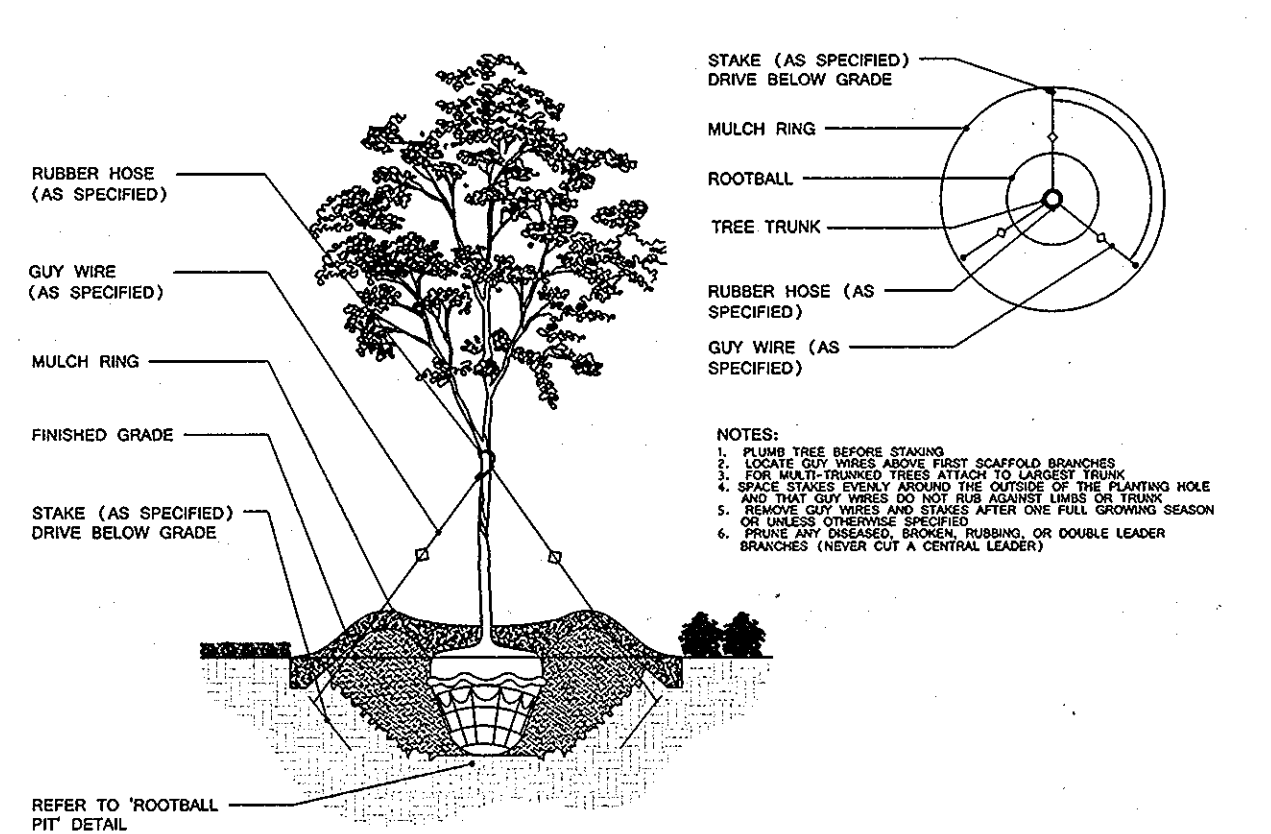
**TREE STAKING DETAIL**  
SECTION SCALE: NTS



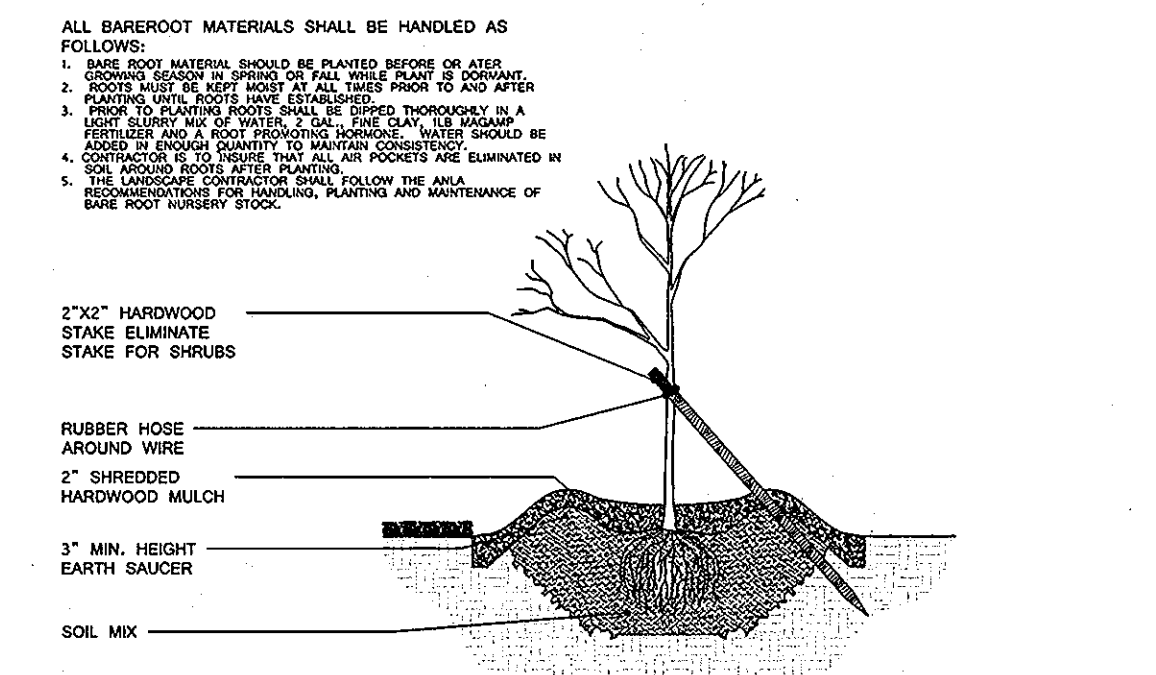
**TREE PROTECTION DETAIL**  
SECTION SCALE: NTS



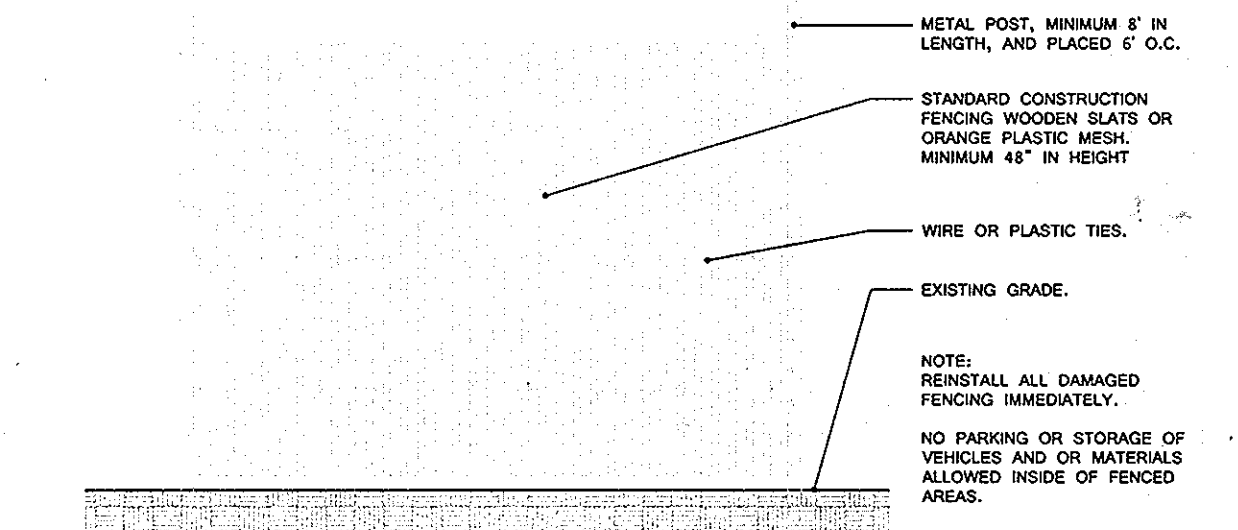
**TREE GUYING DETAIL - ON SLOPE**  
SECTION SCALE: NTS



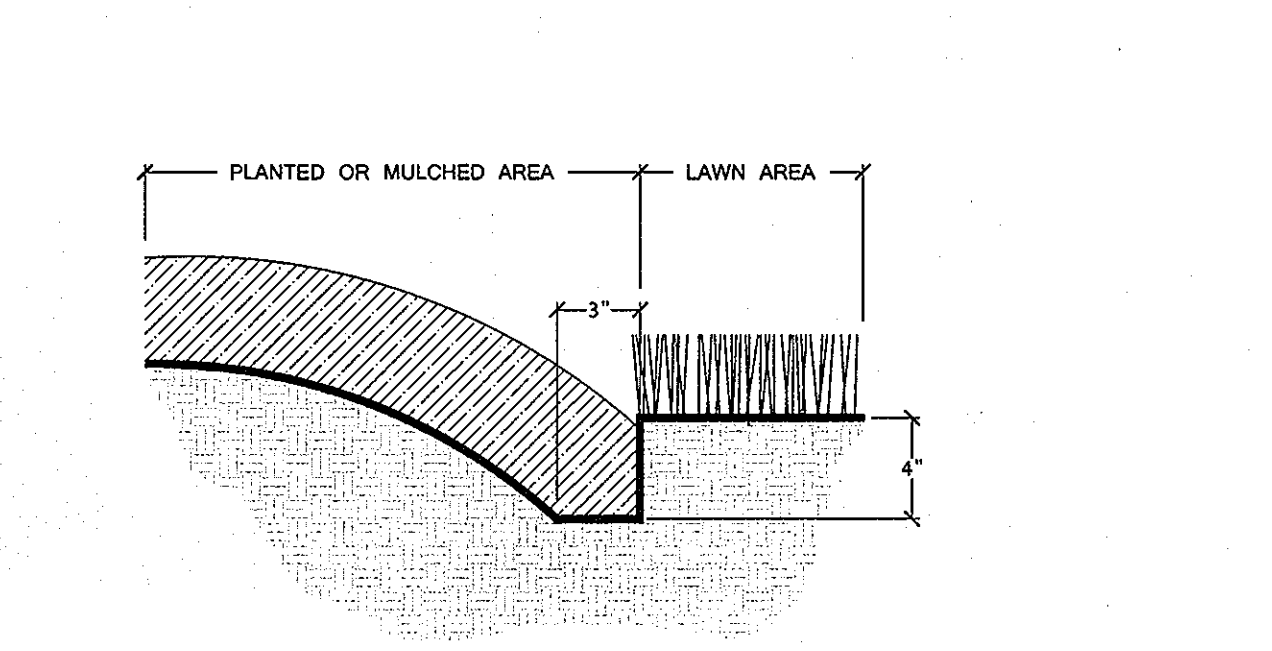
**TREE GUYING DETAIL**  
SECTION SCALE: NTS



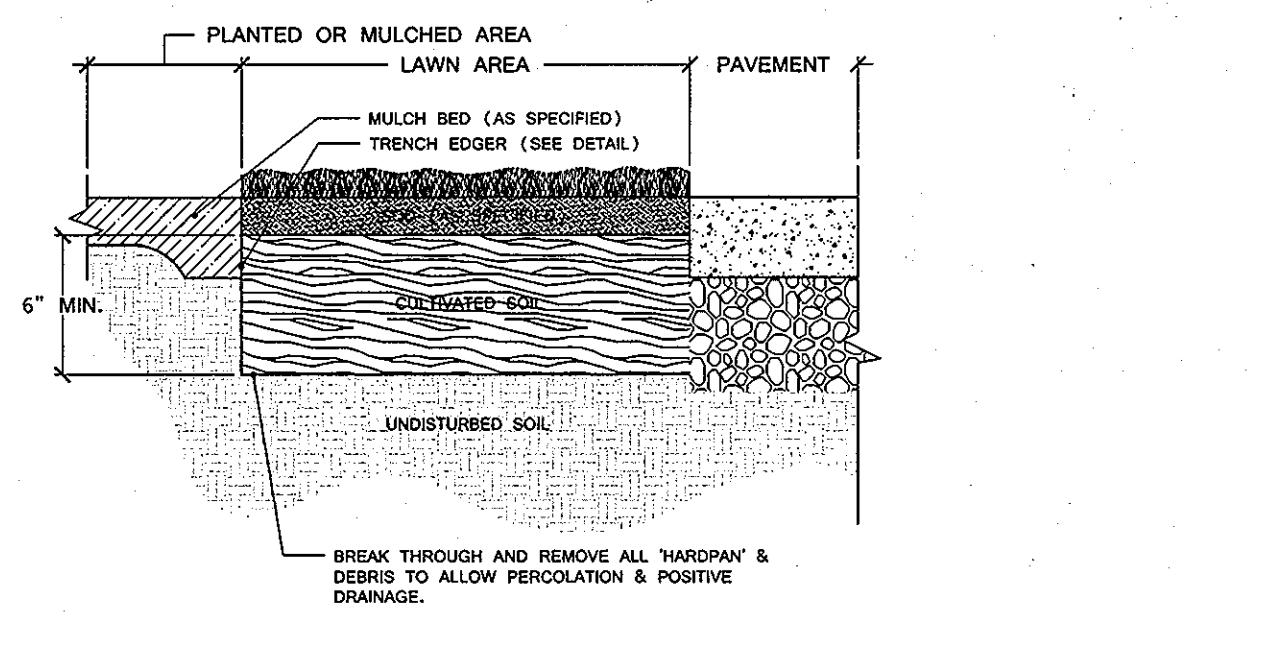
**BAREROOT TREE SEEDLING/SHRUB PLANTING**  
SECTION SCALE: NTS



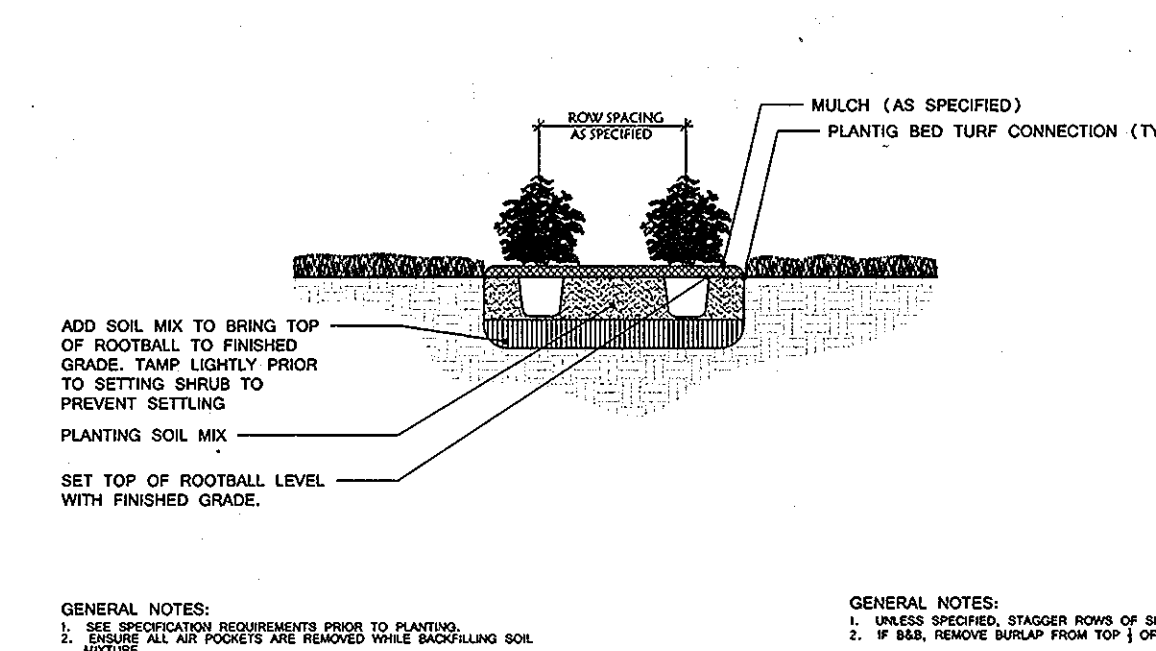
**TREE PROTECTION FENCING DETAIL**  
SECTION SCALE: NTS



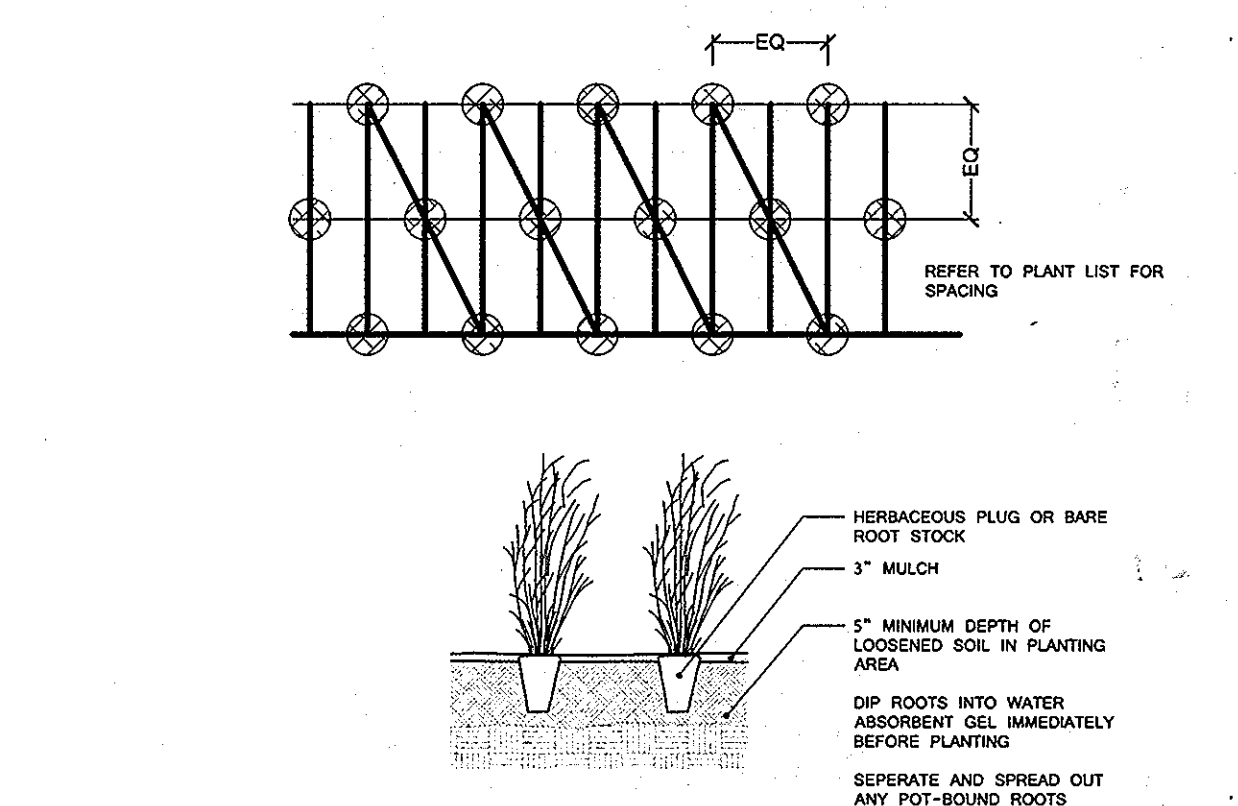
**PLANTING BED/TURF CONNECTION**  
SECTION SCALE: NTS



**SOD INSTALLATION**  
SECTION SCALE: NTS



**SHRUB PLANTING DETAIL**  
SECTION SCALE: NTS



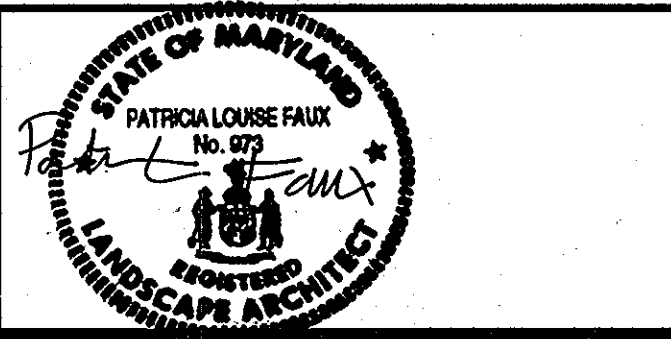
**PLUG PLANTING DETAIL**  
SECTION SCALE: NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark A. Gagliardi* 3/2/14  
 Chief, Division of Land Development: *Chad Edwards* 2/28/14  
 Chief, Development Engineering Division: *AW*

**LANDSCAPE DETAILS**  
SCALE: NTS

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

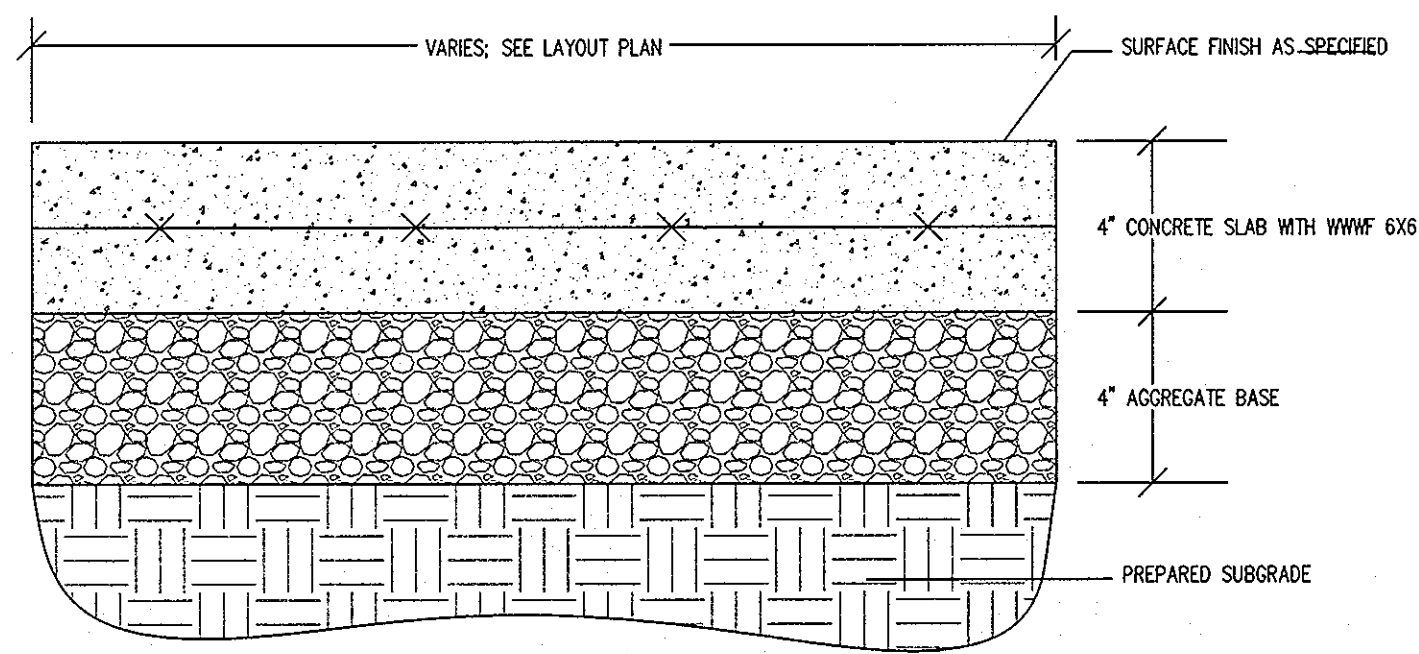
PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688



PLANTING DETAILS  
 ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22097-22201  
 ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
NTS	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	51 OF 64





1  
52 TYPICAL CONCRETE PAVING SECTION NTS

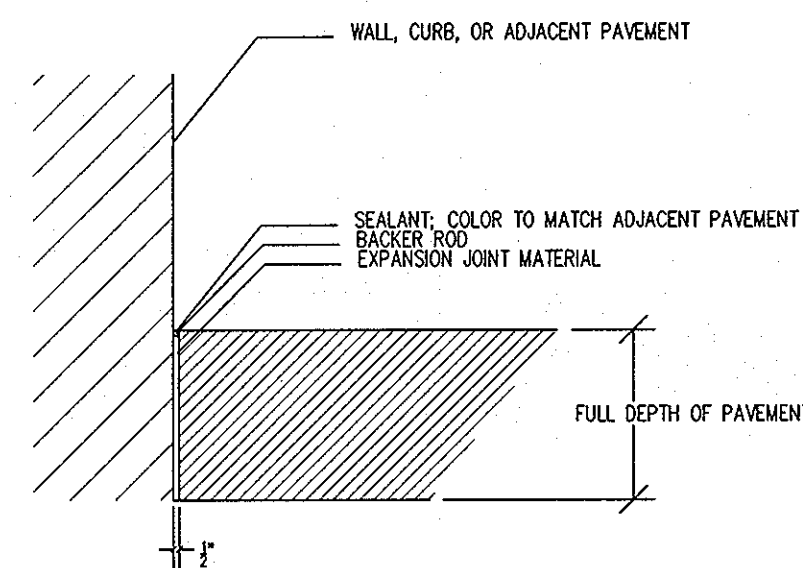
REFER TO CIVIL ENGINEERING SHEETS FOR THE BGE STREETLIGHT THAT IS TO BE USED THROUGHOUT THE PROJECT AREA.



PROPOSED PEDESTRIAN LIGHTPOLE:  
BGE STANDARD LIGHTPOLE. 12\"/>

5  
52 TYPICAL PROPOSED STREETLIGHT SPECIFICATION

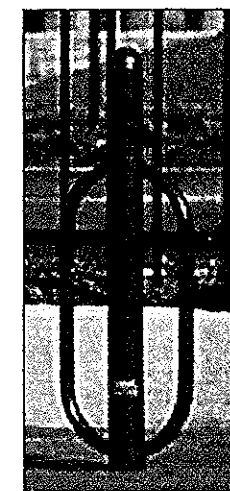
6  
52 TYPICAL STREETLIGHT ALONG PRIVATE SIDEWALKS WITHIN AMENITY AREA SPECIFICATION



2  
52 TYPICAL PAVING EXPANSION JOINT AT VERTICAL ELEMENTS SECTION NTS



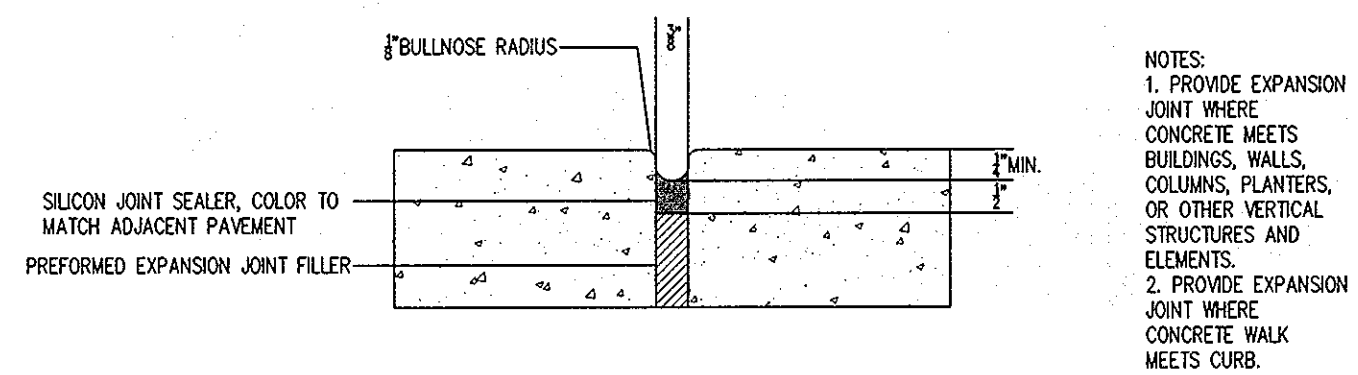
Manufacturer: Victor Stanley, Inc.  
Classic Series, Model CS-138  
6' Length, with center armrests, Color: BLACK



Manufacturer: Victor Stanley, Inc.  
Bollard 35, BKR Permanent Mount; Color: BLACK

7  
52 TYPICAL BENCH SPECIFICATION

8  
52 TYPICAL BOLLARD SPECIFICATION



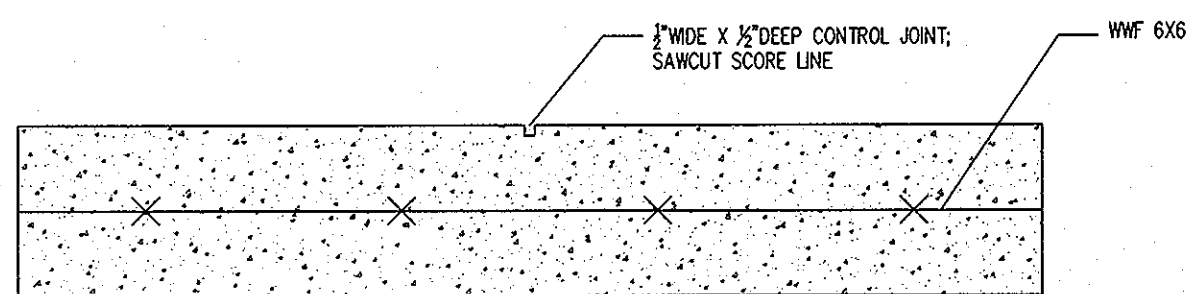
3  
52 TYPICAL EXPANSION JOINT IN CONCRETE PAVING SECTION NTS

Manufacturer: Victor Stanley, Inc. Ironsites Series, Model S-42  
36 Gallon; color: BLACK

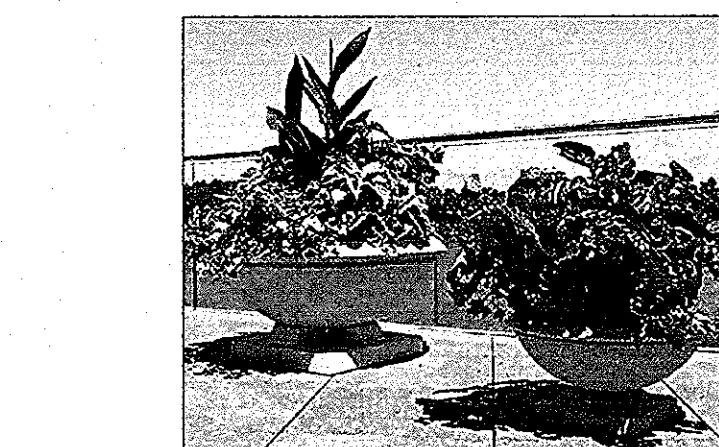
Manufacturer: Asian Ceramics, Inc.; Model Number: 4-60390-GM;  
Tall Square Tapered Gunmetal Planter; Size: 18"x18"x40"; Weight: 226  
Pounds; Planted with annuals.

9  
52 TYPICAL TRASH RECEPTACLE SPECIFICATION

11  
52 PLANTER TYPE 1 SPECIFICATION



4  
52 CONTROL JOINT IN CONCRETE PAVING SECTION NTS



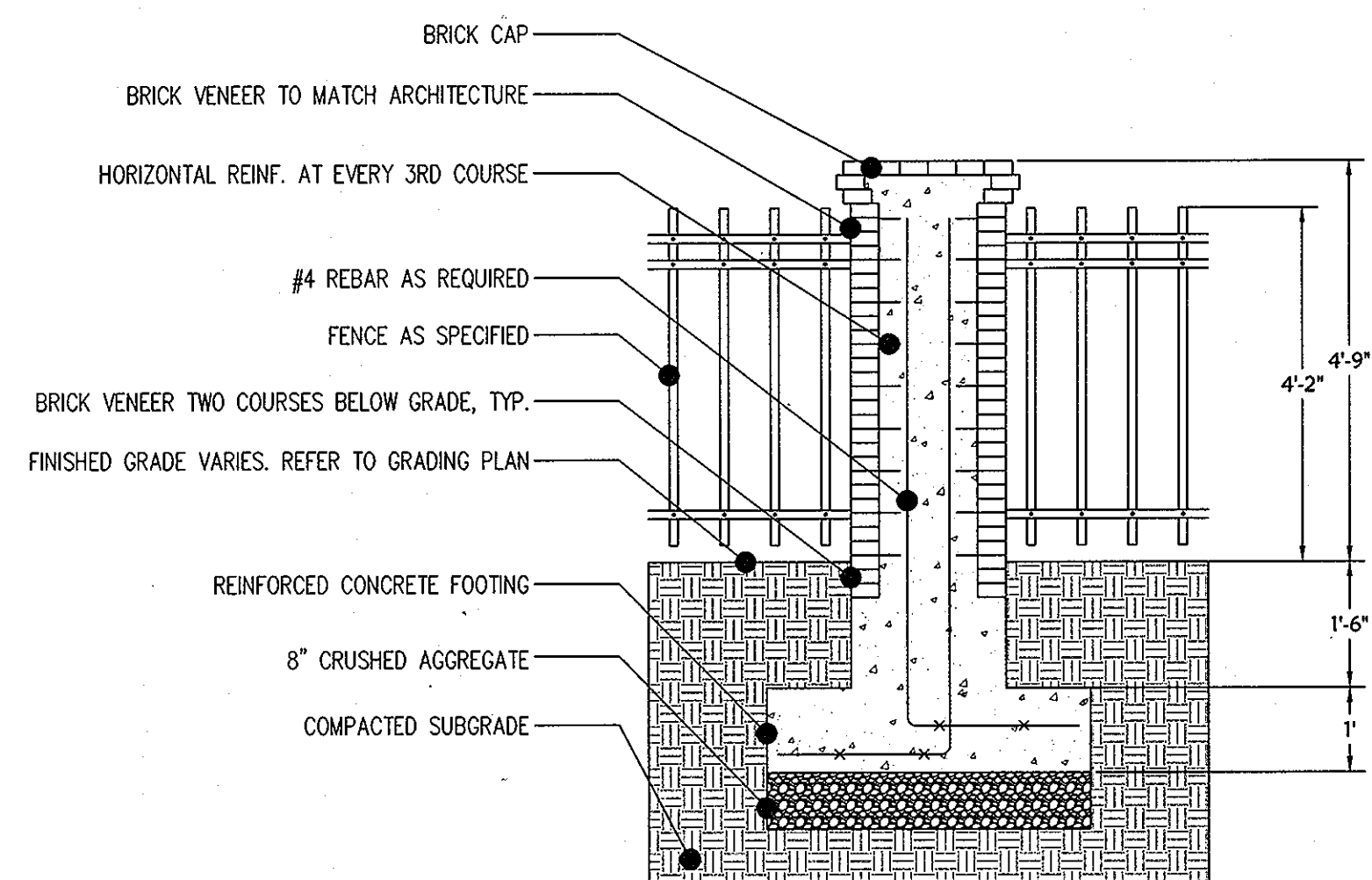
Manufacturer: Longshadow Planters; Glencoe 42 Planter & Square  
Base 24, LS 9227; 21" high, 42" diameter, 24" square base; 570  
pounds; Planted with annuals.



Manufacturer: The Park Catalog  
Item #135-1003; Pet Waste Station with Sign

10  
52 PLANTER TYPE 2 SPECIFICATION

12  
52 PET WASTE STATION SPECIFICATION

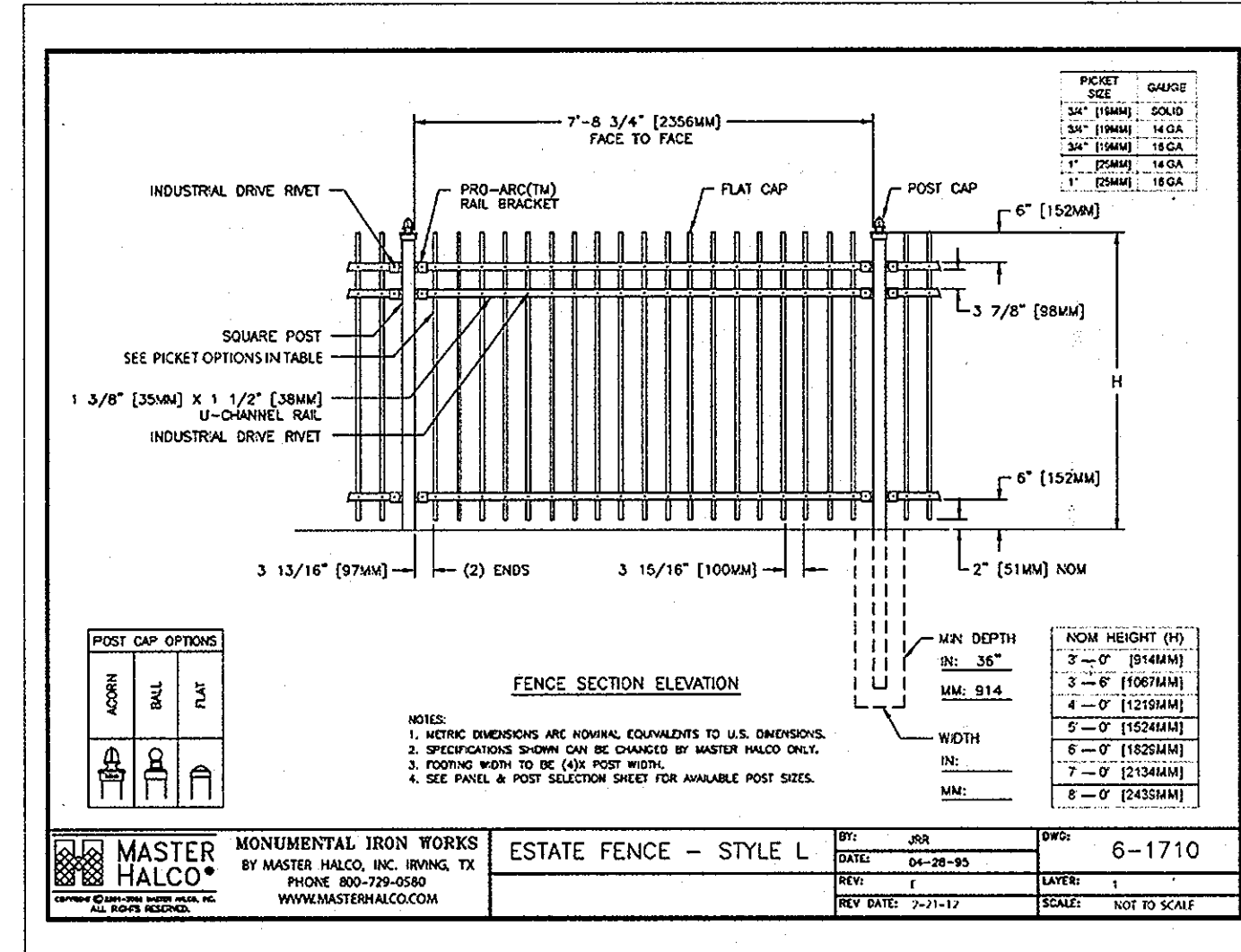


13  
52 BRICK FENCE PIER SECTION NTS



SUPPLIER: Master Halco; STYLE: Universal Spear Colonial Aluminum Fence  
HEIGHT: 48"; PANEL WIDTH: 6'; GATE WIDTH: 5'; POST CAPS: 2" FLAT CAP  
OR EQUAL AS APPROVED BY OWNER

14  
52 POOL PERIMETER FENCE SPECIFICATION

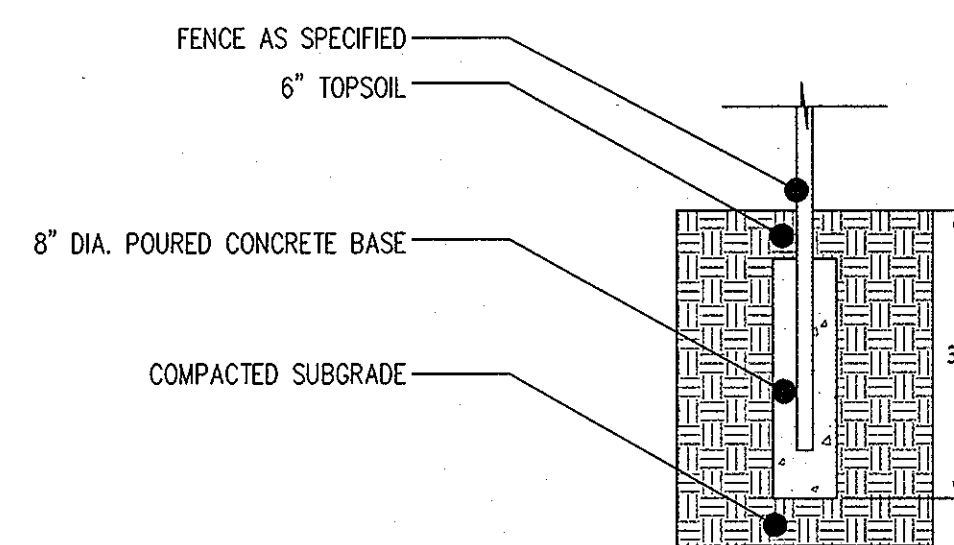


MONUMENTAL IRON WORKS FENCE; ESTATE FENCE; STYLE 'L'; 1" PICKETS AND FLAT POST  
CAP. OR EQUAL AS APPROVED BY OWNER. INSTALL AS PER MANUFACTURER'S  
INSTRUCTIONS. 410.633.6500

15  
52 DECORATIVE FENCE AROUND APARTMENT SPECIFICATION

SUPPLIER: MASTER HALCO  
STYLE: ALUMINUM FENCE, SINGLE SWING  
GATE: 6' HEIGHT WITH 1" PICKETS AND FLAT POST  
CAP OR EQUAL AS APPROVED BY OWNER. INSTALL  
PER MANUFACTURER'S INSTRUCTION.

16  
52 DOUBLE LEAF GATE SPECIFICATION



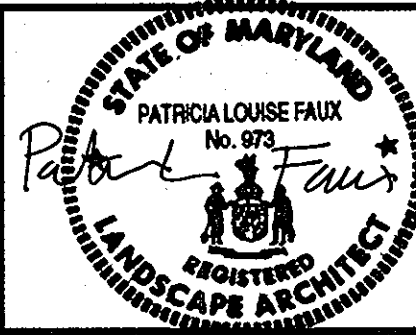
17  
52 POST FOOTING SECTION NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Paula M. Gough* Date: 5/3/14  
Chief, Division of Land Development: *Robert Shanderson* Date: 3/07/14  
Chief, Development Engineering Division: *Chad Edwards* Date: 2-28-14

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

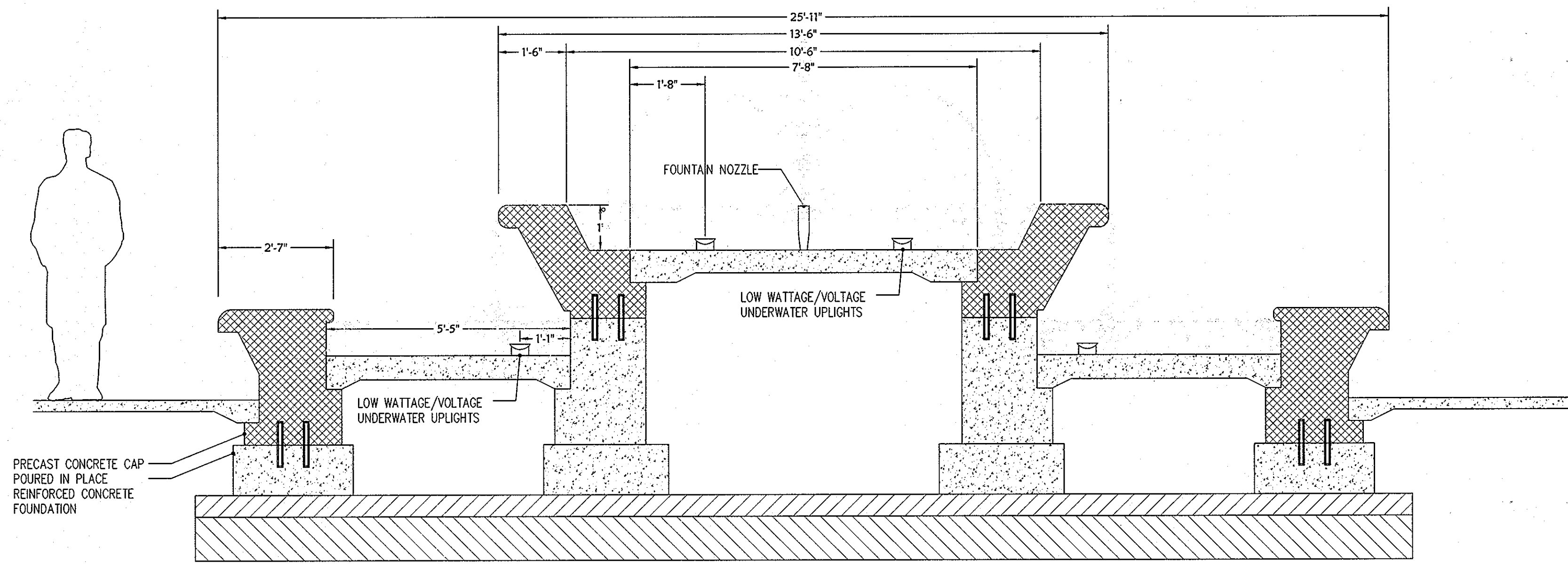
PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688



LANDSCAPE ARCHITECTURAL DETAILS  
ANNAPOLIS JUNCTION TOWN CENTER  
HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
PARCELS A - G  
PLAT No. 22071-22701  
ELECTION DISTRICT No. 6 GUILFORD HOWARD COUNTY, MARYLAND

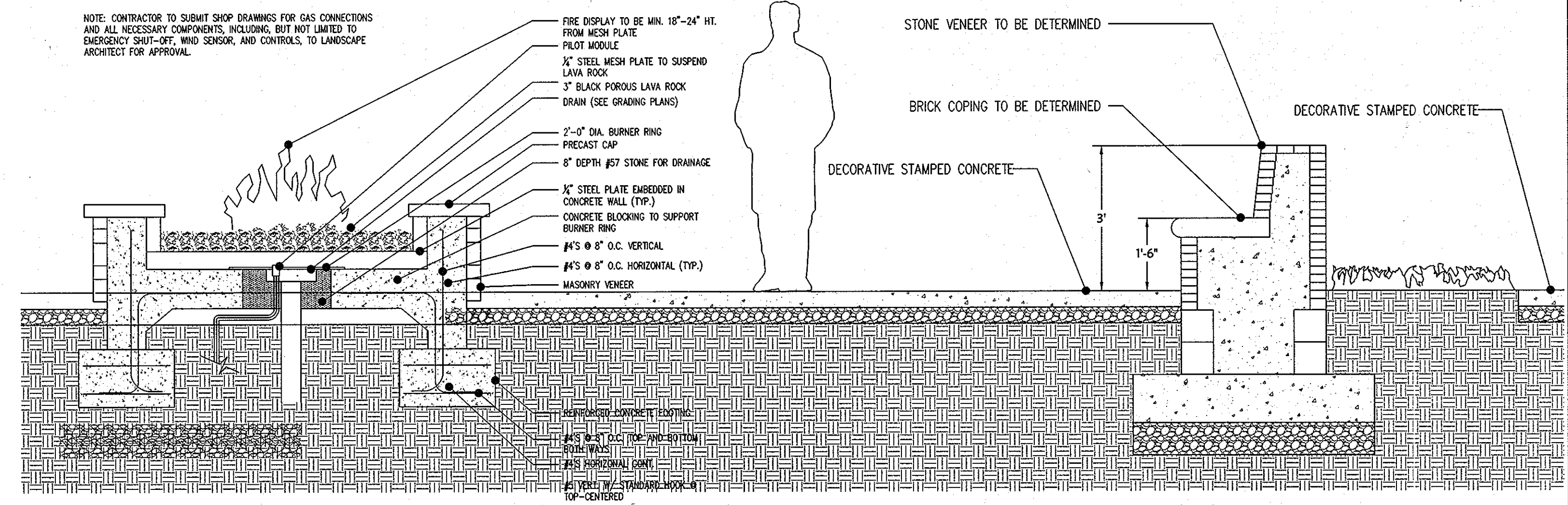
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NTS	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	52 OF 64





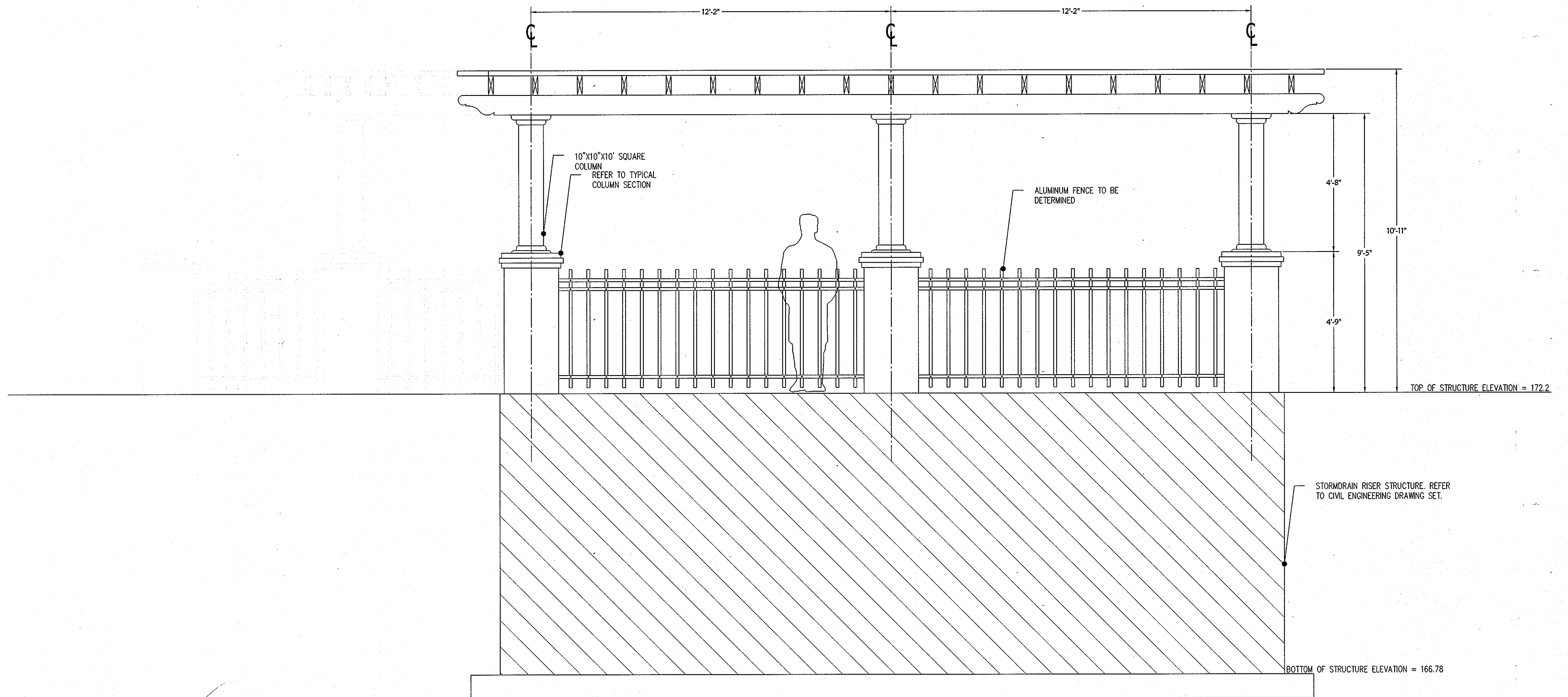
1  
53 ENTRANCE COURTYARD FOUNTAIN  
CONCEPTUAL SECTION

SCALE: 1/2" = 1'-0"



2  
53 FIRE COURTYARD SEAT WALL  
CONCEPTUAL SECTION

SCALE: 1/2" = 1'-0"



3  
53 PERGOLA 'B'  
CONCEPTUAL ELEVATION

SCALE: 1/2" = 1'-0"

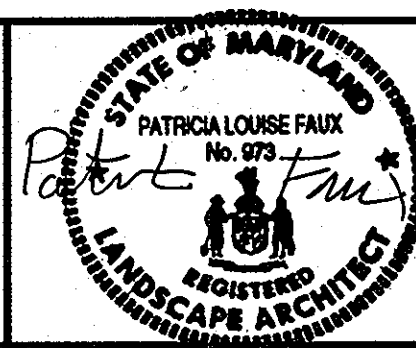
NOTE: DETAILS ARE INTENDED TO DEPICT APPROXIMATE DESIGN AND CONSTRUCTION INTENT ONLY. NOT SUITABLE FOR CONSTRUCTION PURPOSES. DESIGN AND CONSTRUCTION MAY CHANGE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark H. Long* Date: 2/2/14  
 Chief, Division of Land Development: *Victor Shaulov* Date: 3/02/14  
 Chief, Development Engineering Division: *Chad Edman* Date: 2-28-14

DES. RK	DRN. RK	CHK. PF	DATE	REVISION	BY	APPR.

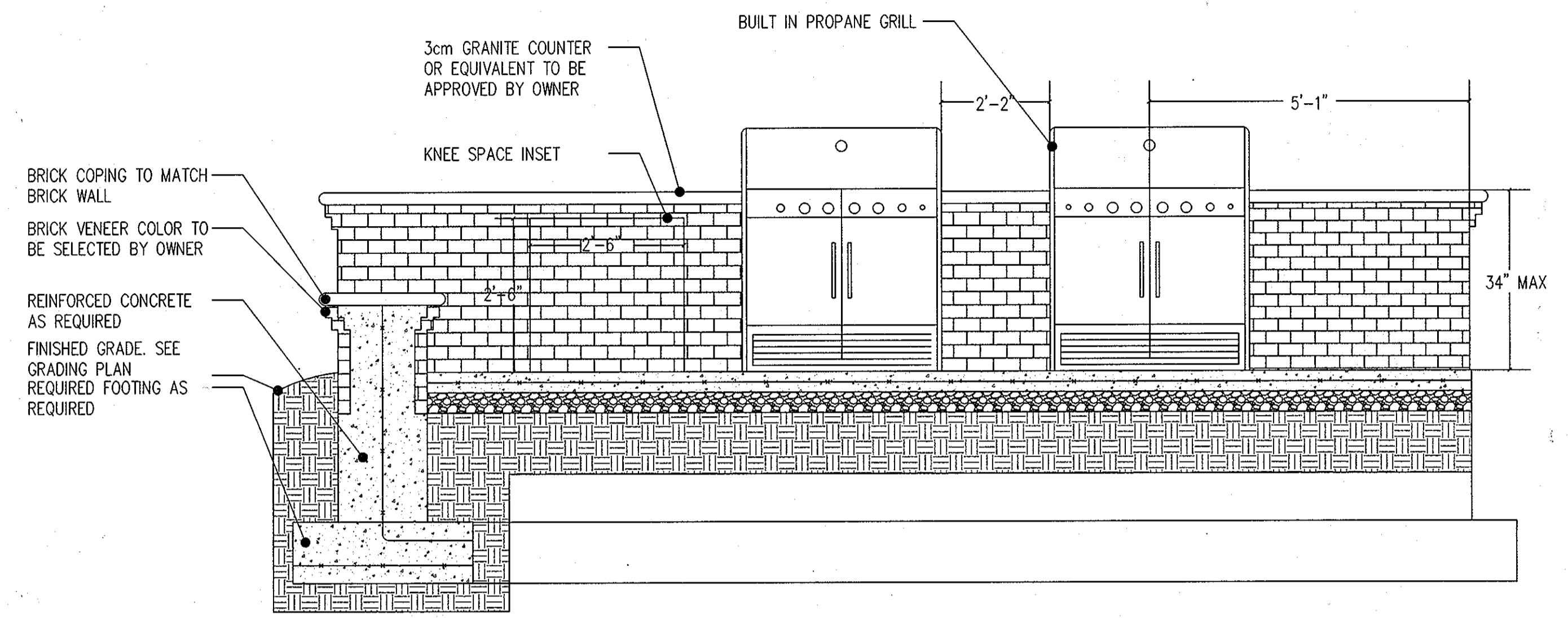
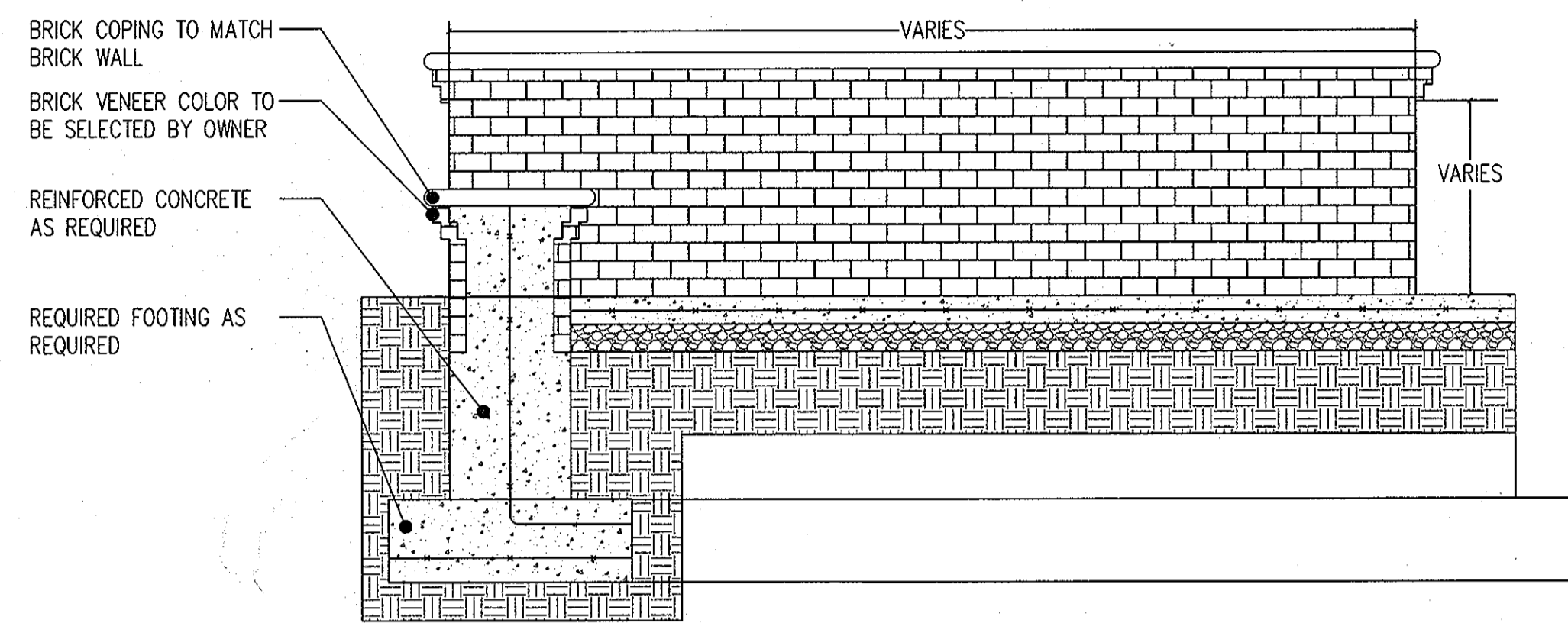
PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688



LANDSCAPE ARCHITECTURAL DETAILS  
 ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22021-22701  
 HOWARD COUNTY, MARYLAND

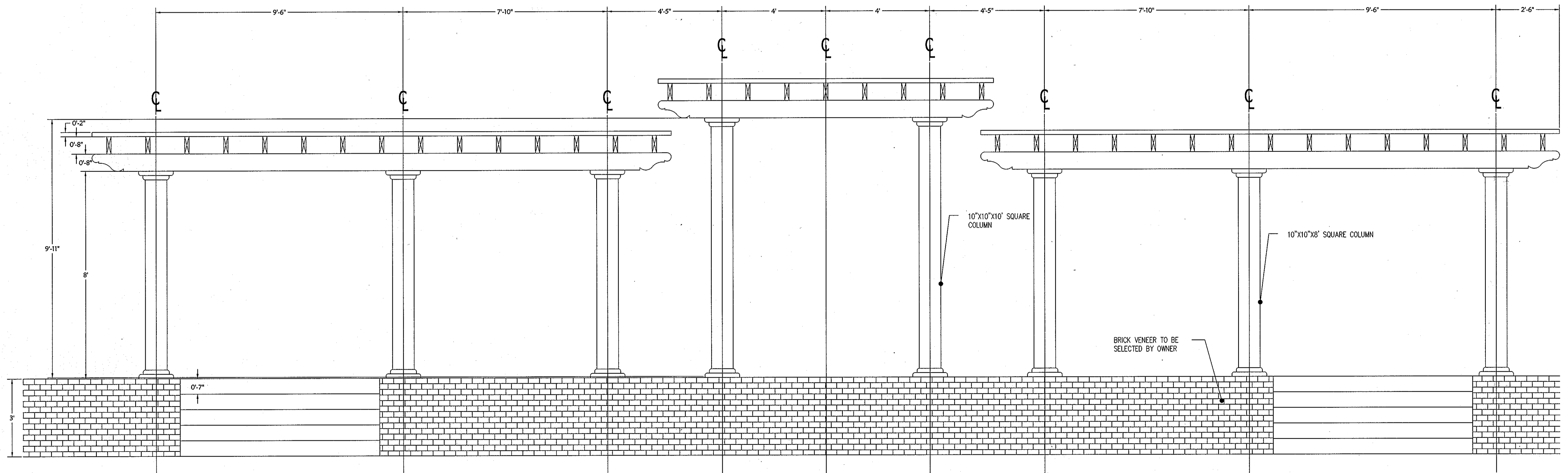
SCALE	ZONING	G. L. W. FILE No.
1/2" = 1'-0"	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	53 OF 64





1  
54 TYPICAL WALL DETAIL THROUGHOUT AMENITY AREA  
CONCEPTUAL SECTION

2  
54 GRILL SECTION  
CONCEPTUAL SECTION



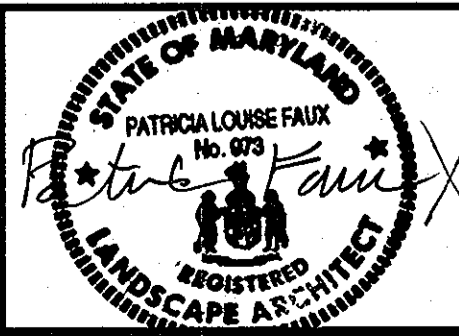
3  
54 PERGOLA 'A'  
CONCEPTUAL ELEVATION

NOTE: DETAILS ARE INTENDED TO DEPICT APPROXIMATE DESIGN AND CONSTRUCTION INTENT ONLY. NOT SUITABLE FOR CONSTRUCTION PURPOSES. DESIGN AND CONSTRUCTION MAY CHANGE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Franklin Dr. Craig* Date: 3/3/14  
 Chief, Division of Land Development: *Franklin Dr. Craig* Date: 3/3/14  
 Chief, Development Engineering Division: *Chris Edman* Date: 2/28/14

**THE FOX GROUP**  
 The Faux Group, Inc.  
 2200 Somerville Road, Suite 200  
 Annapolis, MD 21401  
 Ph. 410.295.6517 F. 410.295.6512

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688



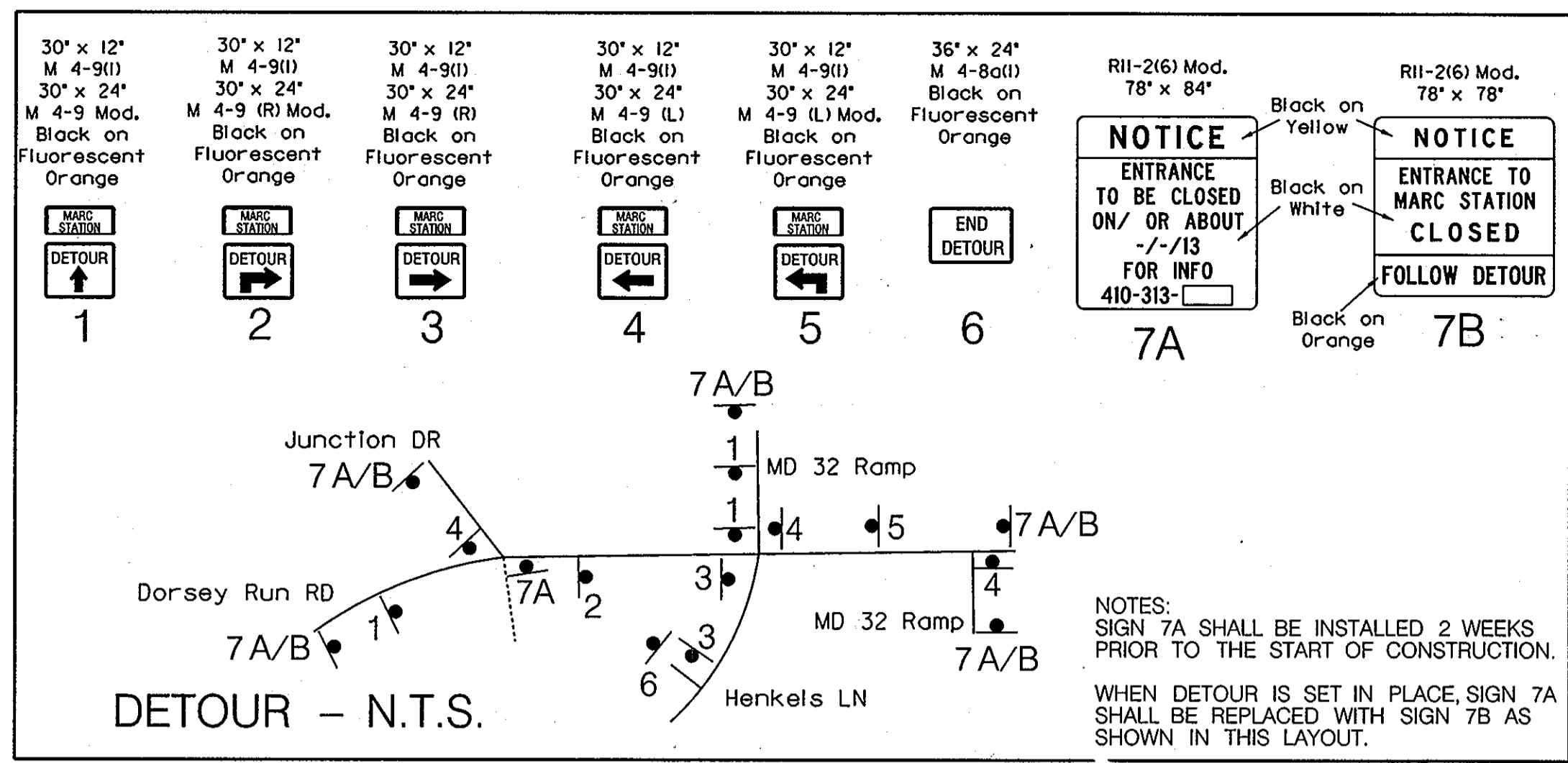
LANDSCAPE ARCHITECTURAL DETAILS  
 ANNAPOLIS JUNCTION TOWN CENTER  
 HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)  
 RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE  
 PARCELS A - G  
 PLAT No. 22071-2221  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1/2"=1'-0"	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 30, 2013	48-20	54 OF 64

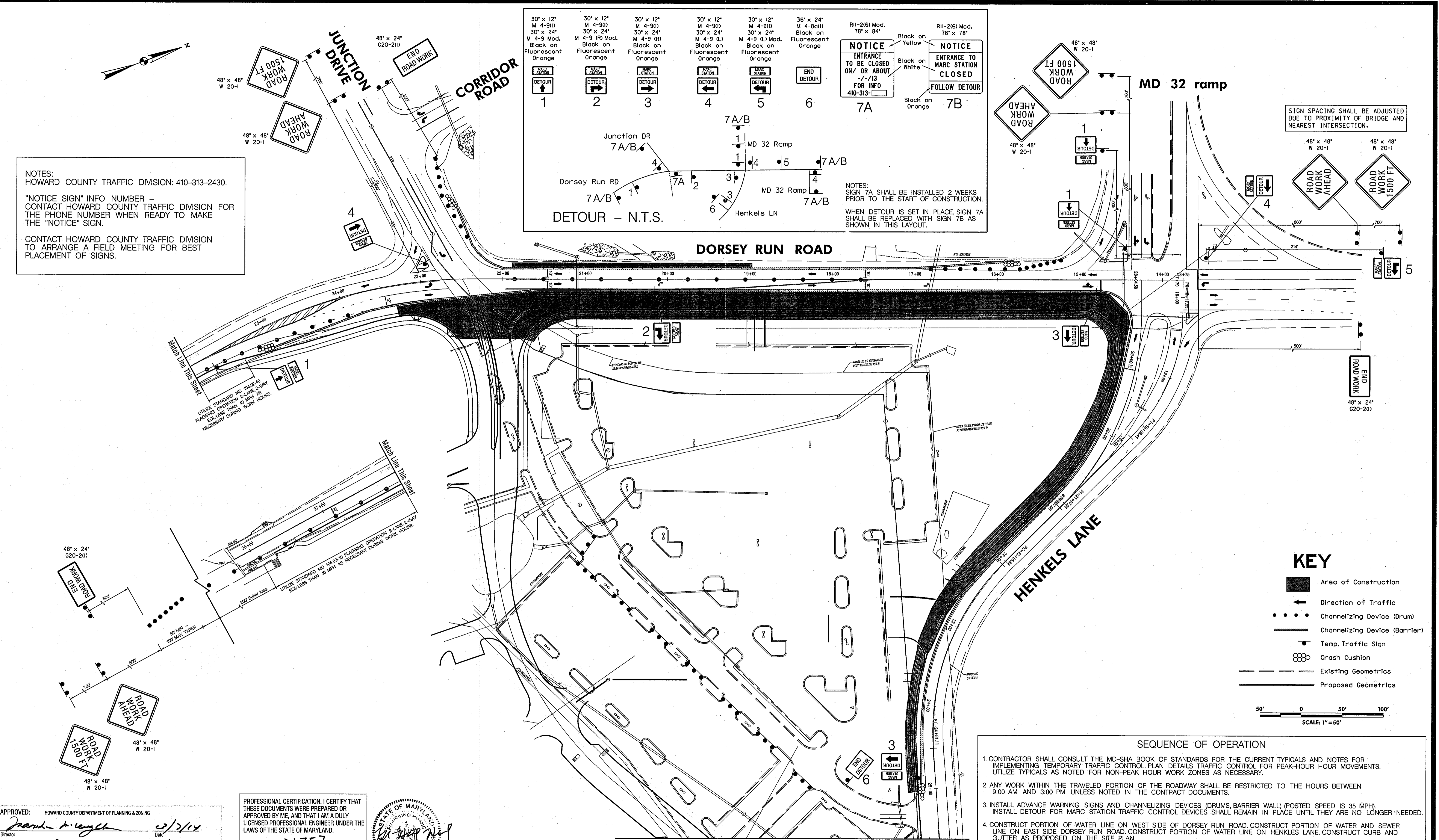
DES. RK	DRN. RK	CHK. RK	DATE	REVISION	BY	APPR.



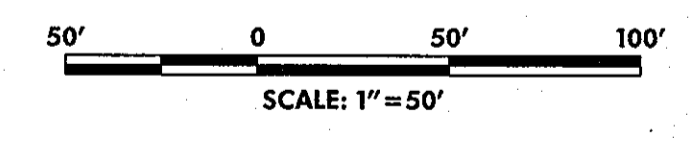
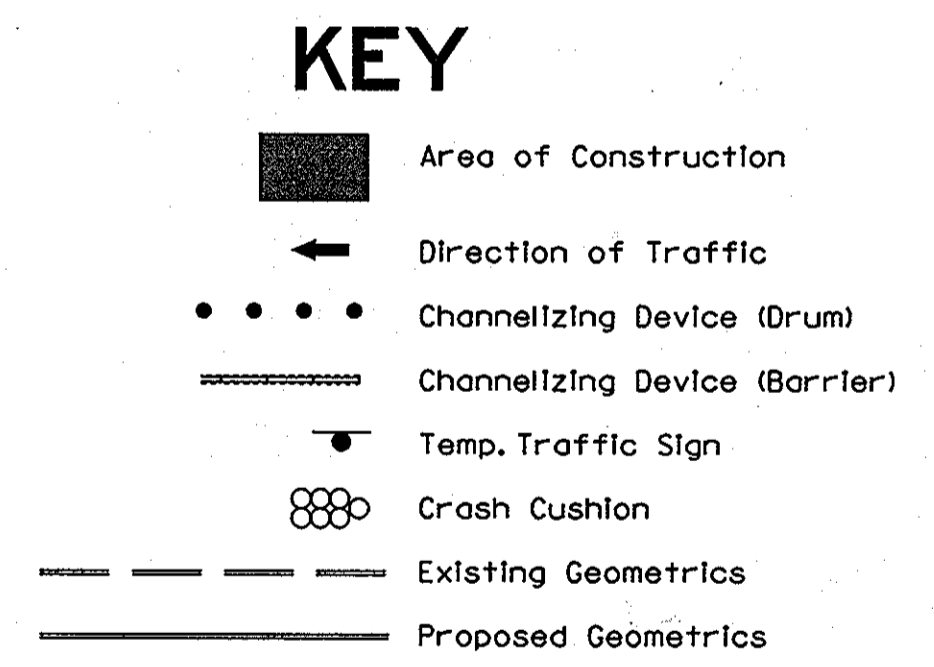
NOTES:  
 HOWARD COUNTY TRAFFIC DIVISION: 410-313-2430.  
 "NOTICE SIGN" INFO NUMBER - CONTACT HOWARD COUNTY TRAFFIC DIVISION FOR THE PHONE NUMBER WHEN READY TO MAKE THE "NOTICE" SIGN.  
 CONTACT HOWARD COUNTY TRAFFIC DIVISION TO ARRANGE A FIELD MEETING FOR BEST PLACEMENT OF SIGNS.



NOTES:  
 SIGN 7A SHALL BE INSTALLED 2 WEEKS PRIOR TO THE START OF CONSTRUCTION.  
 WHEN DETOUR IS SET IN PLACE, SIGN 7A SHALL BE REPLACED WITH SIGN 7B AS SHOWN IN THIS LAYOUT.



SIGN SPACING SHALL BE ADJUSTED DUE TO PROXIMITY OF BRIDGE AND NEAREST INTERSECTION.



- SEQUENCE OF OPERATION**
- CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL. PLAN DETAILS TRAFFIC CONTROL FOR PEAK-HOUR MOVEMENTS. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
  - ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM UNLESS NOTED IN THE CONTRACT DOCUMENTS.
  - INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS, BARRIER WALL) (POSTED SPEED IS 35 MPH). INSTALL DETOUR FOR MARC STATION. TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
  - CONSTRUCT PORTION OF WATER LINE ON WEST SIDE OF DORSEY RUN ROAD. CONSTRUCT PORTION OF WATER AND SEWER LINE ON EAST SIDE DORSEY RUN ROAD. CONSTRUCT PORTION OF WATER LINE ON HENKELS LANE. CONSTRUCT CURB AND GUTTER AS PROPOSED ON THE SITE PLAN.
  - ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Frank A. Leight* 2/2/14  
 Chief, Division of Land Development: *Kat Slademan* 3/27/14  
 Chief, Development Engineering Division: *Chad Edmister* 2-28-14

PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 31757  
 EXPIRATION DATE 6/28/2015



The Traffic Group, Inc.  
 Suite H  
 9900 Franklin Square Drive  
 Baltimore, Maryland 21236  
 410-931-6600  
 1-800-553-8411  
 Fax 410-931-6601  
 "Merging Innovation and Excellence"

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

MAINTENANCE OF TRAFFIC PLAN - PHASE 1  
 ANNAPOLIS JUNCTION TOWN CENTER  
 PARCELS A - G  
 Plot No. 22097-22701

SCALE	ZONING	G.L.W. FILE NO.
1"=50'	T.O.D.	11107
DATE	TAXMAP-GRD	SHEET
MAY 23, 2013	48-20	55 OF 64

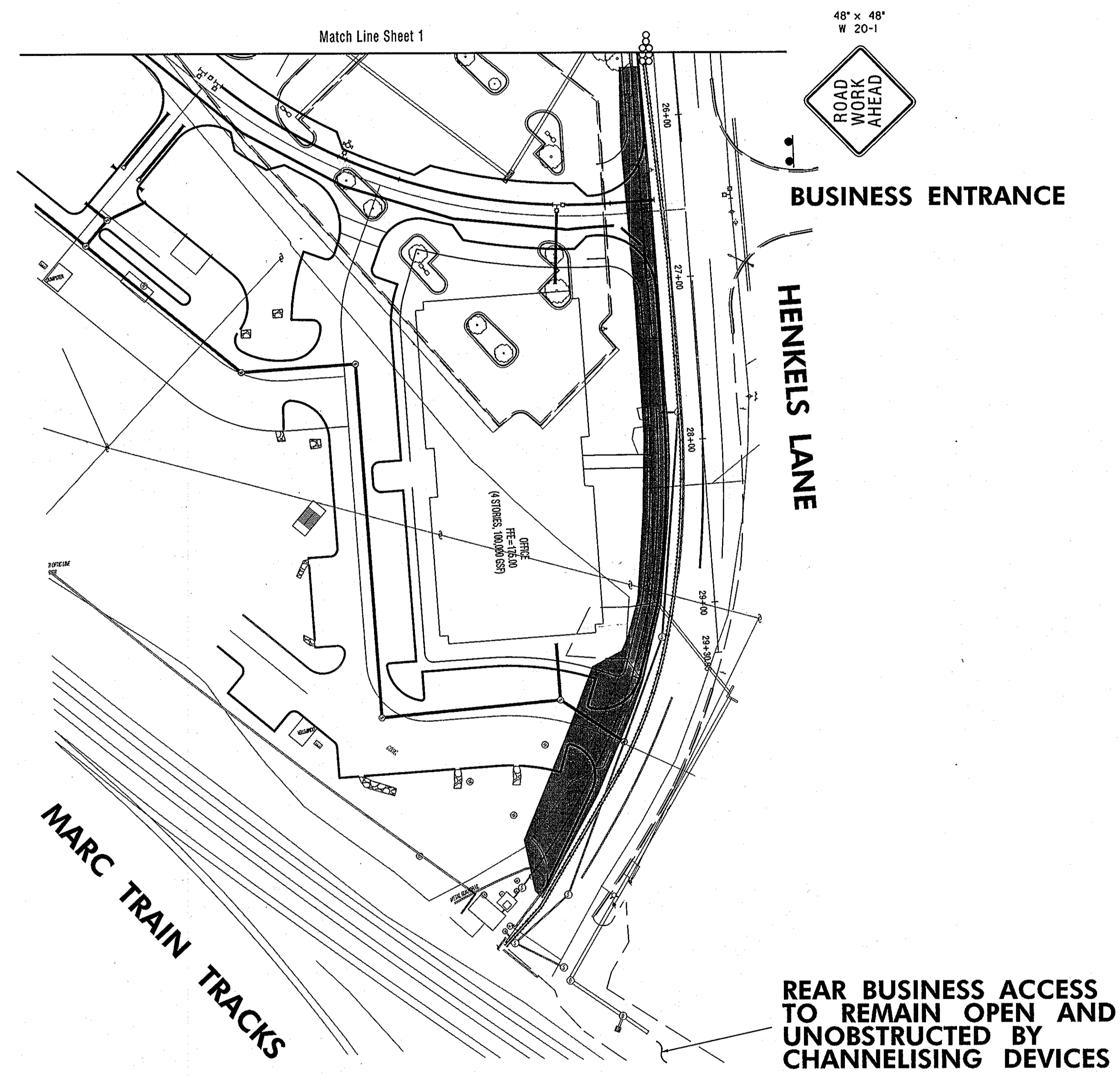
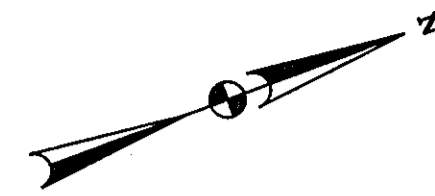
PLOTTED: Friday, January 31, 2014 AT 02:23 PM  
 FILE: F:\2006\2006-0533\04\TOD\MOT - Utility 1 barrier wall.dgn

DRN	JES	CHK	JJD	DATE	REVISION	BY	APP.

ELECTION DISTRICT No. 6 GUILFORD

HOWARD COUNTY, MARYLAND





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Frank P. Loyell* 3/27/14  
Director Date

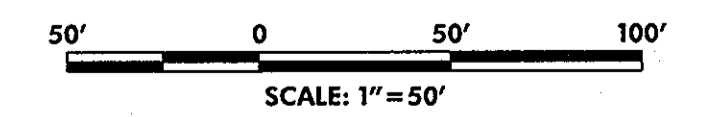
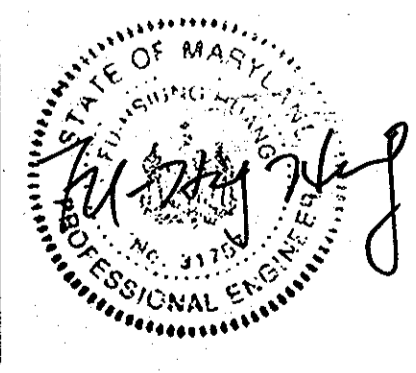
*V. J. Sheehy* 3/27/14  
Chief, Division of Land Development Date

*Chad Edwards* 2-28-14  
Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 21757

EXPIRATION DATE 6/28/2015



**The Traffic Group, Inc.**  
9900 Franklin Square Drive  
Baltimore, Maryland 21236  
410-931-6800  
1-800-483-6411  
Fax 410-931-6601  
"Merging Innovation and Excellence"

NO.	REVISION	DATE	BY	APPR.

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

MAINTENANCE OF TRAFFIC PLAN - PHASE 1  
ANNAPOLIS JUNCTION TOWN CENTER  
PARCELS A - G  
Plot No. 220097-22701

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 23, 2013	48-20	56 OF 64

PLOTTED: Friday, January 31, 2014 AT 02:24 PM  
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DRN. JES  
CHK. JUD

DATE BY APPR.

ELECTION DISTRICT No. 6 GULFORD

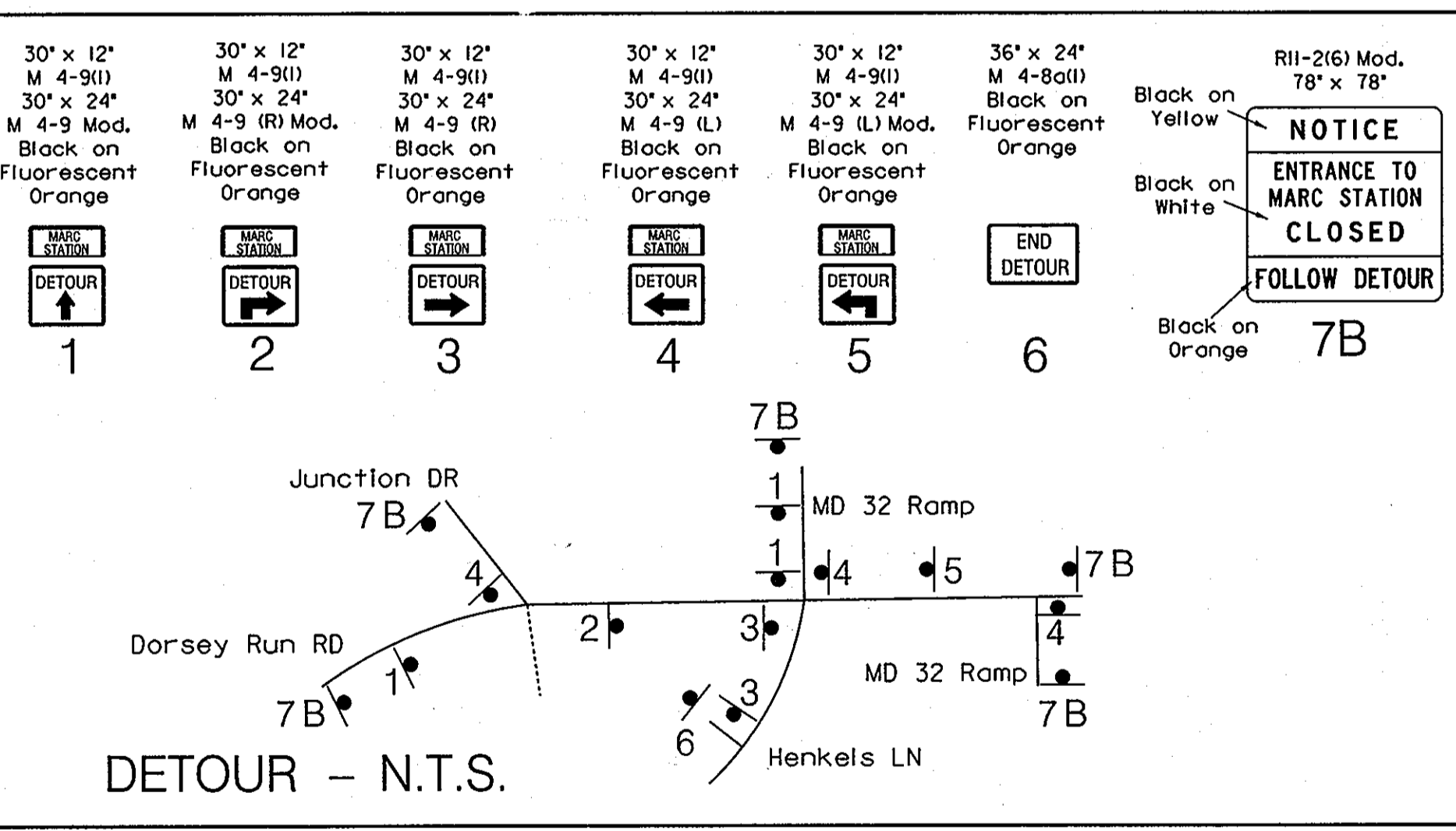
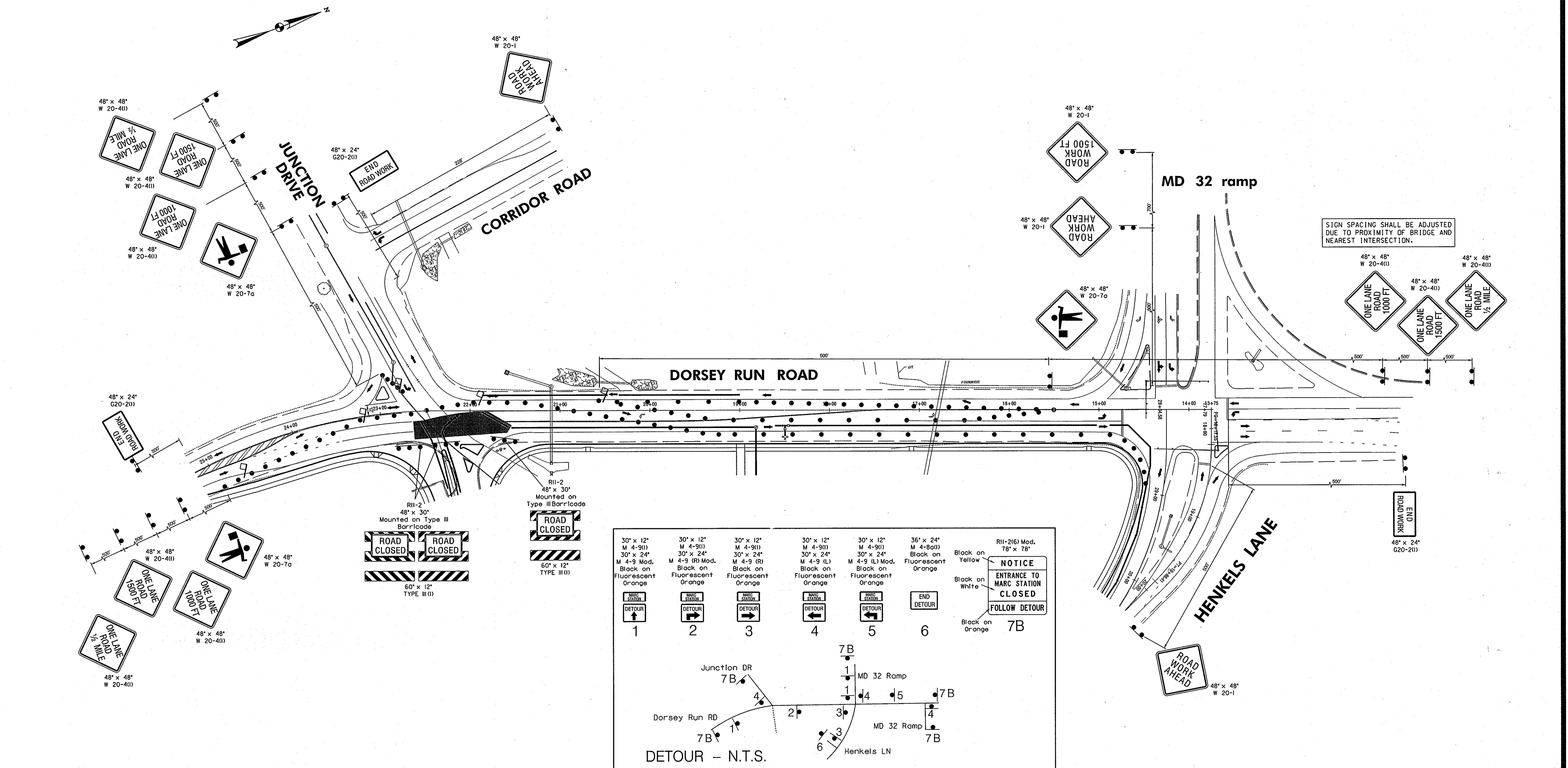
HOWARD COUNTY, MARYLAND

HOWARD COUNTY, MARYLAND

HOWARD COUNTY, MARYLAND

PLOTTED BY: jstork





**SEQUENCE OF OPERATION**

- CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLAN DETAILS TRAFFIC CONTROL FOR PEAK-HOUR MOVEMENTS. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
- IT IS SUGGESTED THAT THE WORK TO BE PERFORMED DURING THIS PHASE BE COMPLETED DURING NIGHT TIME HOURS.
- INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (POSTED SPEED IS 35 MPH). DETOUR FOR MARC STATION SHALL REMAIN IN PLACE UNTIL IT IS DETERMINED THAT IT IS NO LONGER NEEDED. TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
- CONSTRUCT PORTIONS OF WATER LINE SEWER LINE AT THIS INTERSECTION OF DORSEY RUN ROAD AND JUNCTION DRIVE.
- ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.

SIGN SPACING SHALL BE ADJUSTED DUE TO PROXIMITY OF BRIDGE AND NEAREST INTERSECTION.

**KEY**

- Area of Construction
- Direction of Traffic
- Channelizing Device (Drum)
- Flagger
- Temp. Traffic Sign
- Existing Geometrics
- Proposed Geometrics

50' 0 50' 100'  
SCALE: 1" = 50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*[Signature]* 3/7/14  
 Director  
*[Signature]* 3/07/14  
 Chief, Division of Land Development  
*[Signature]* 2-28-14  
 Chief, Development Engineering Division

PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 31757  
 EXPIRATION DATE 6/28/2015



The Traffic Group, Inc.  
 Suite H  
 9900 Franklin Square Drive  
 Baltimore, Maryland 21228  
 410-931-6600  
 1-800-583-8411  
 Fax 410-931-6601  
 "Merging Innovation and Excellence"

PLOTTED: Friday, January 31, 2014 AT 02:28 PM  
 FILE: F:\2006\2006-0531\del\TEDO\MOT - Utility 2.dgn

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

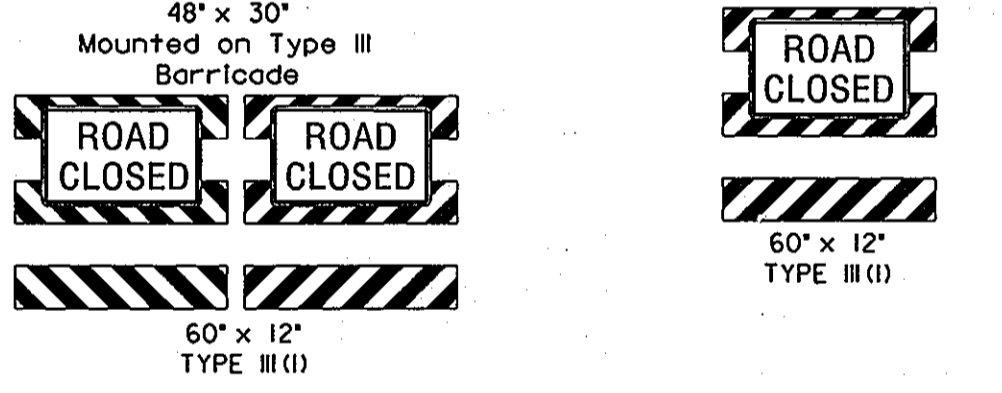
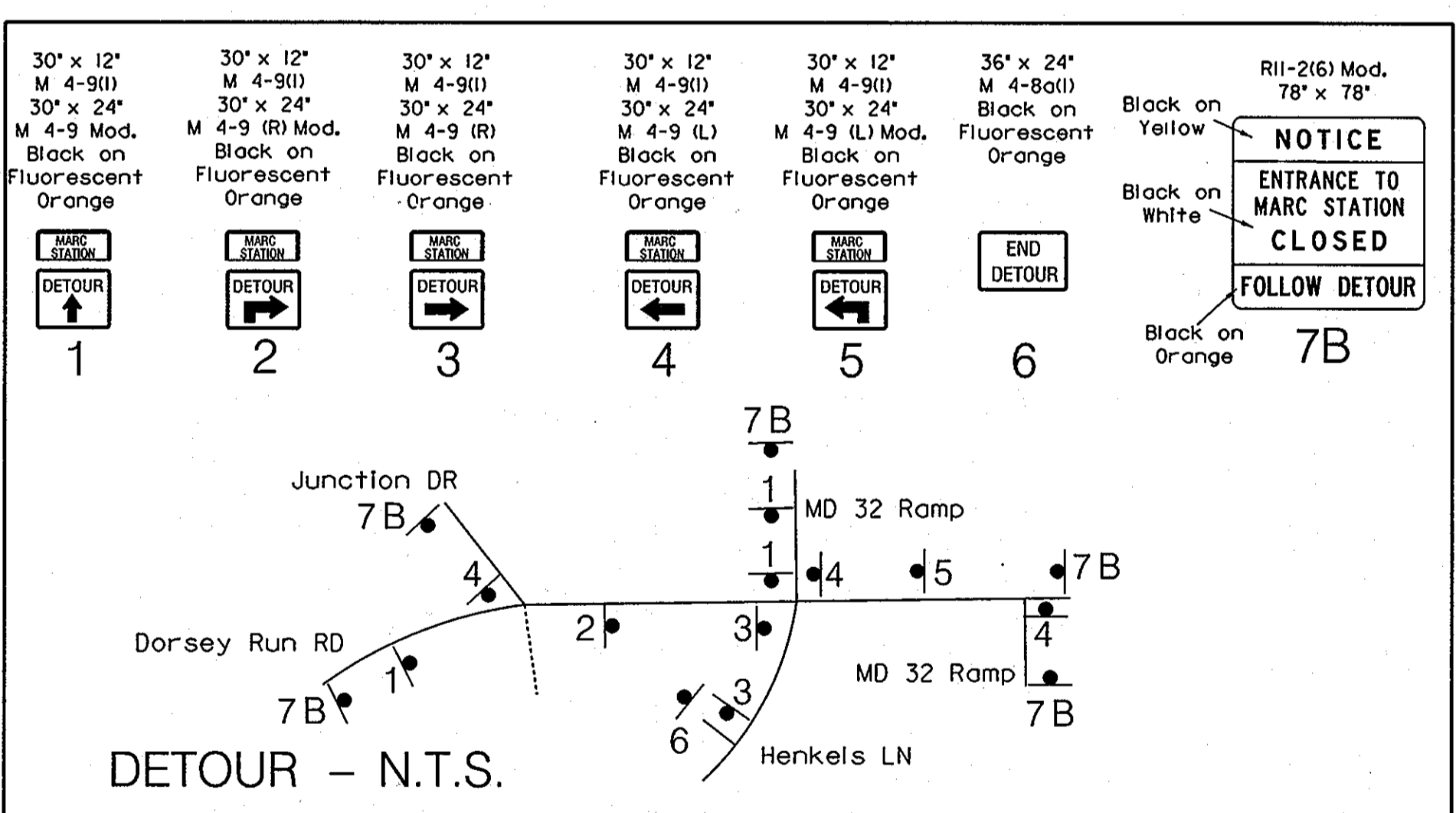
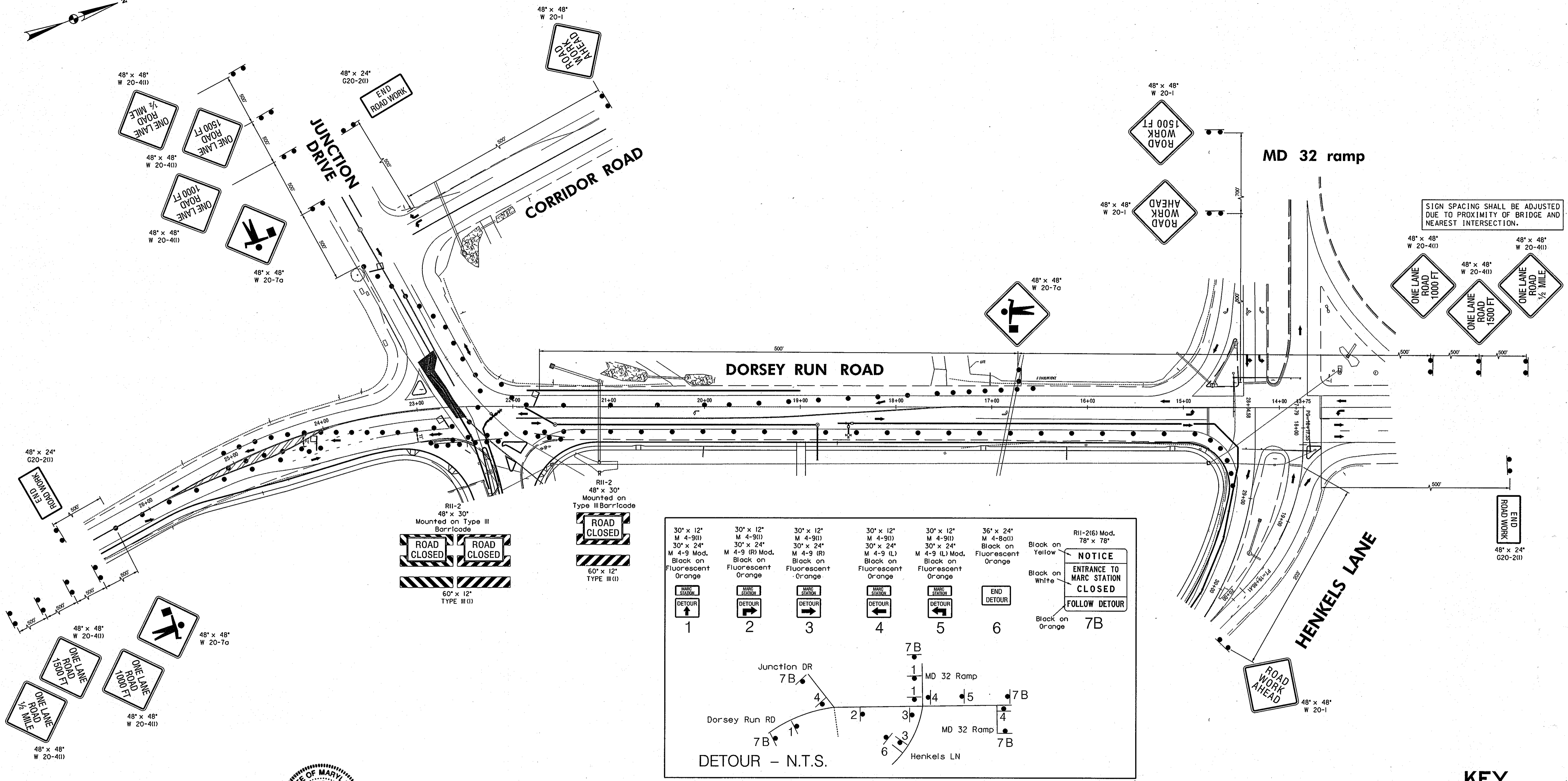
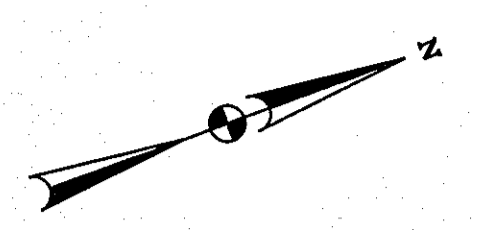
MAINTENANCE OF TRAFFIC PLAN - PHASE 2  
 ANNAPOLIS JUNCTION TOWN CENTER  
 PARCELS A - G  
 Plat No. 22077-22701

SCALE	ZONING	G.L.W. FILE NO.
1"=50'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 23, 2013	48-20	57 OF 64

ELECTION DISTRICT No. 6 GULFORD

HOWARD COUNTY, MARYLAND





**SEQUENCE OF OPERATION**

1. CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLAN DETAILS TRAFFIC CONTROL FOR PEAK-HOUR MOVEMENTS. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
2. IT IS SUGGESTED THAT THE WORK TO BE PERFORMED DURING THIS PHASE BE COMPLETED DURING NIGHT TIME HOURS.
3. INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (POSTED SPEED IS 35 MPH). DETOUR FOR MARC STATION SHALL REMAIN IN PLACE UNTIL IT IS DETERMINED THAT IT IS NO LONGER NEEDED. TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
4. CONSTRUCT PORTIONS OF WATER LINE SEWER LINE AT THIS INTERSECTION OF DORSEY RUN ROAD AND JUNCTION DRIVE.
5. ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Franklin Long* Date: 2/7/14  
 Chief, Division of Land Development: *Vestel Lebowitz* Date: 3/27/14  
 Chief, Development Engineering Division: *Chad Edwards* Date: 2-25-14

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 No. 21757  
 F. W. [Signature]  
 PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 31757  
 EXPIRATION DATE 6/28/2015

The Traffic Group, Inc.  
 Suite H  
 9900 Franklin Square Drive  
 Baltimore, Maryland 21236  
 410-331-6600  
 1-800-553-8411  
 Fax 410-931-6601  
 "Merging Innovation and Excellence"  
 PLOTTED: Friday, January 31, 2014 AT 02:31 PM  
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DATE	REVISION	BY	APPR.

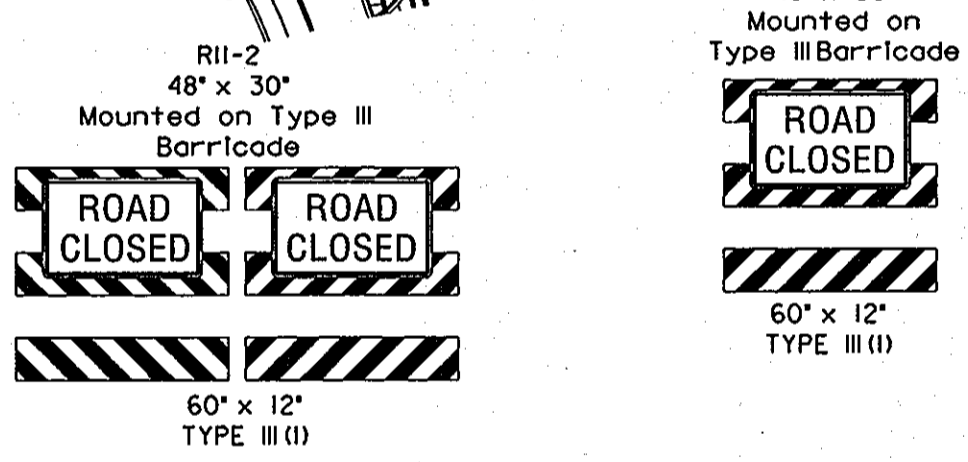
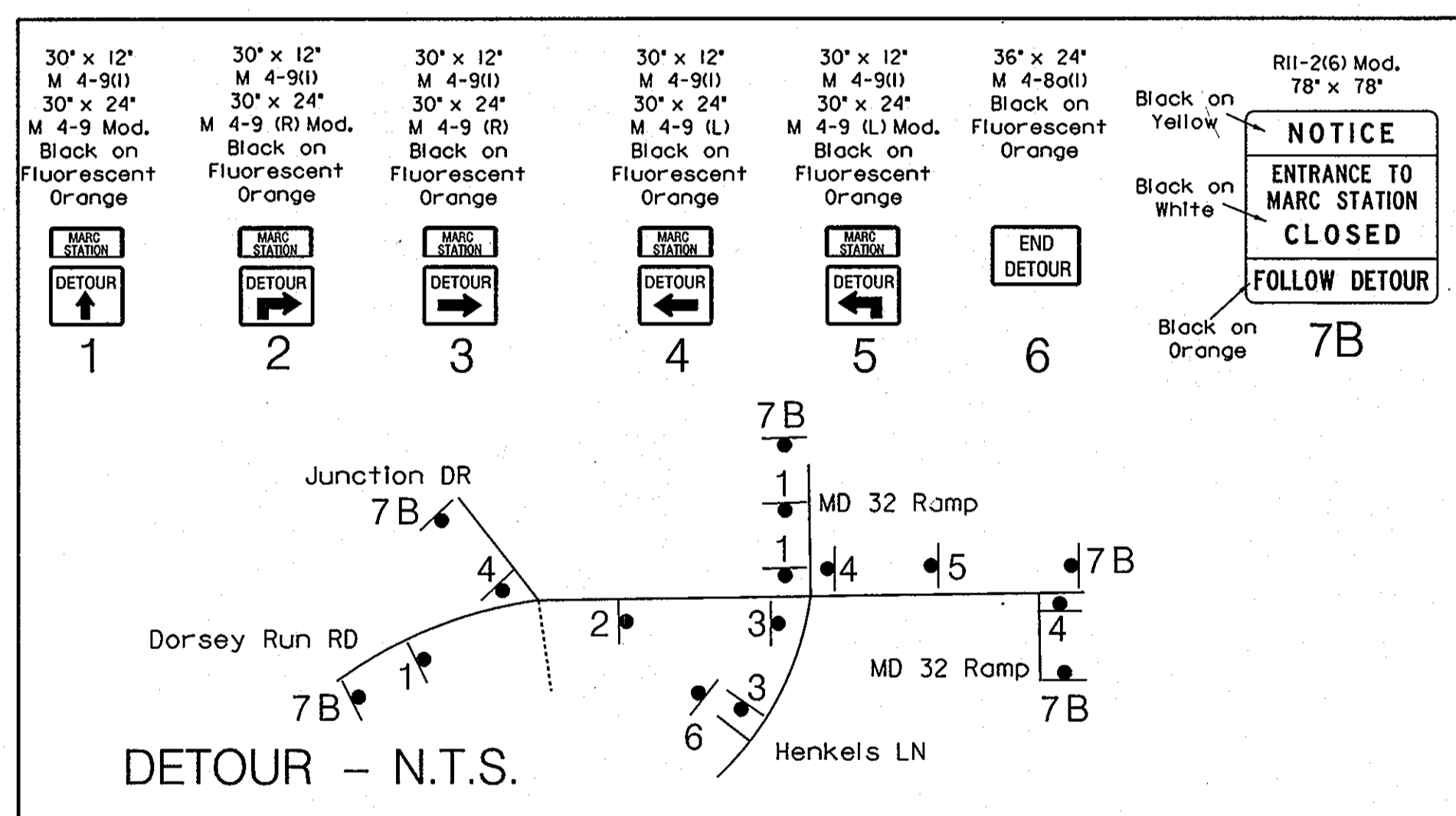
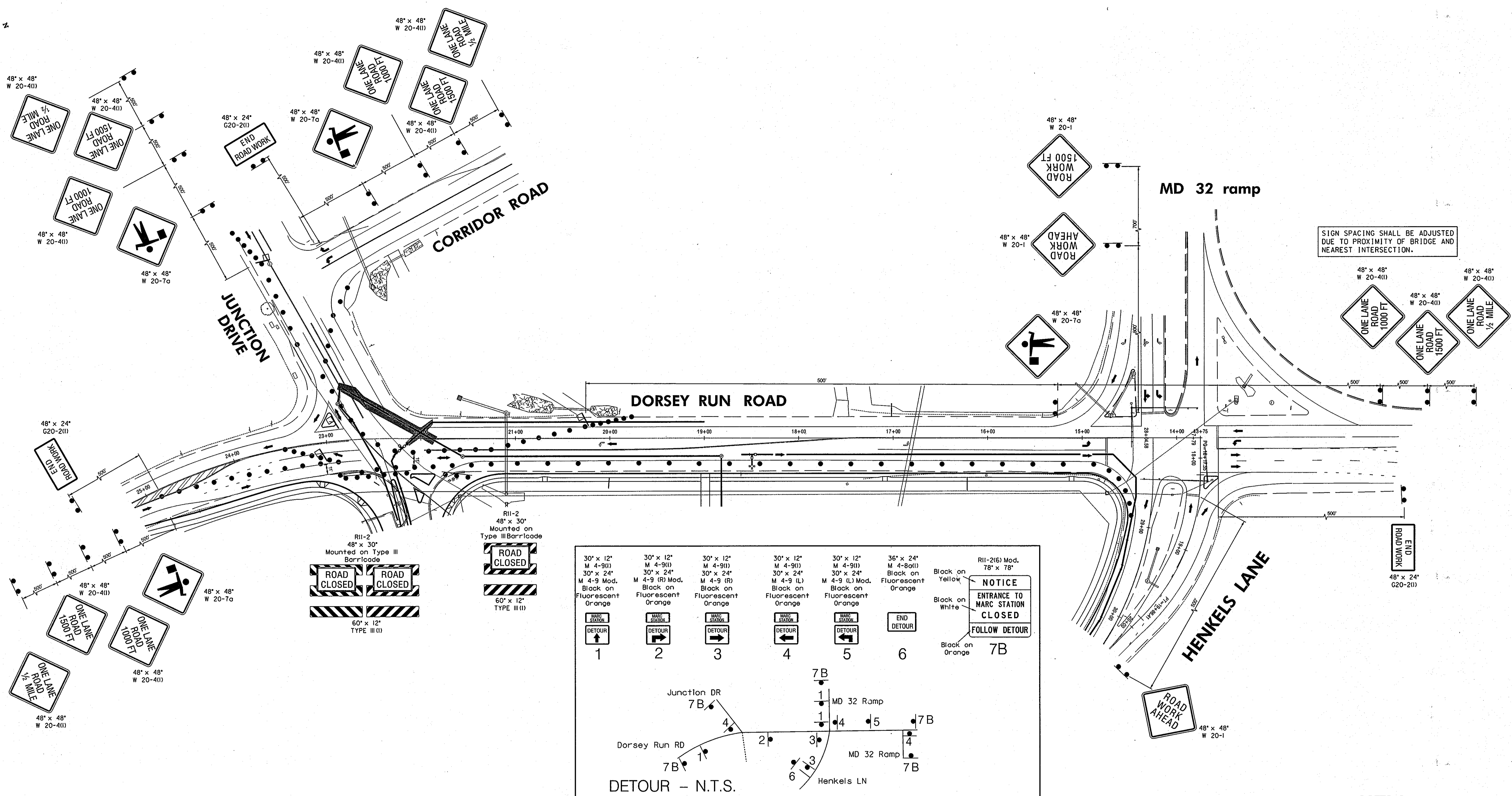
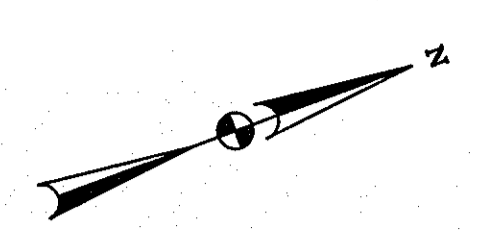
PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

MAINTENANCE OF TRAFFIC PLAN - PHASE 3  
 ANNAPOLIS JUNCTION TOWN CENTER  
 PARCELS A - G  
 Plat No. 22097-21701

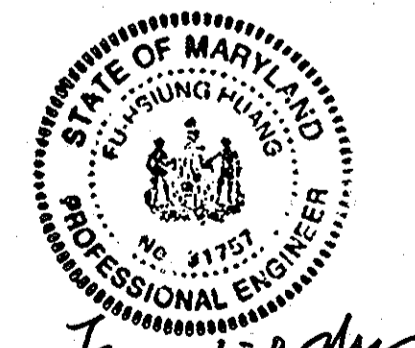
SCALE	ZONING	G.L.W. FILE NO.
1"=50'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 23, 2013	48-20	58 OF 64

ELECTION DISTRICT No. 6 GUILFORD  
 HOWARD COUNTY, MARYLAND





- SEQUENCE OF OPERATION**
- CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLAN DETAILS TRAFFIC CONTROL FOR PEAK-HOUR MOVEMENTS. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
  - IT IS SUGGESTED THAT THE WORK TO BE PERFORMED DURING THIS PHASE BE COMPLETED DURING NIGHT TIME HOURS.
  - INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (POSTED SPEED IS 35 MPH). DETOUR FOR MARC STATION SHALL REMAIN IN PLACE UNTIL IT IS DETERMINED THAT IT IS NO LONGER NEEDED. TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
  - CONSTRUCT PORTIONS OF WATER LINE SEWER LINE AT THIS INTERSECTION OF DORSEY RUN ROAD AND JUNCTION DRIVE.
  - ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.



PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. **31757**  
 EXPIRATION DATE **6/28/2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David M. Gault* 02/14  
 Director Date

*Kristen L. ...* 3/07/14  
 Chief, Division of Land Development Date

*Chad ...* 2-28-14  
 Chief, Development Engineering Division Date

**The Traffic Group, Inc.**  
 Suite 11  
 9900 Franklin Square Drive  
 Baltimore, Maryland 21226  
 410-931-6600  
 1-800-583-8411  
 Fax 410-931-6601  
 "Merging Innovation and Excellence"

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814

ATTN: PETER ZADORTZKY  
 410-267-8688

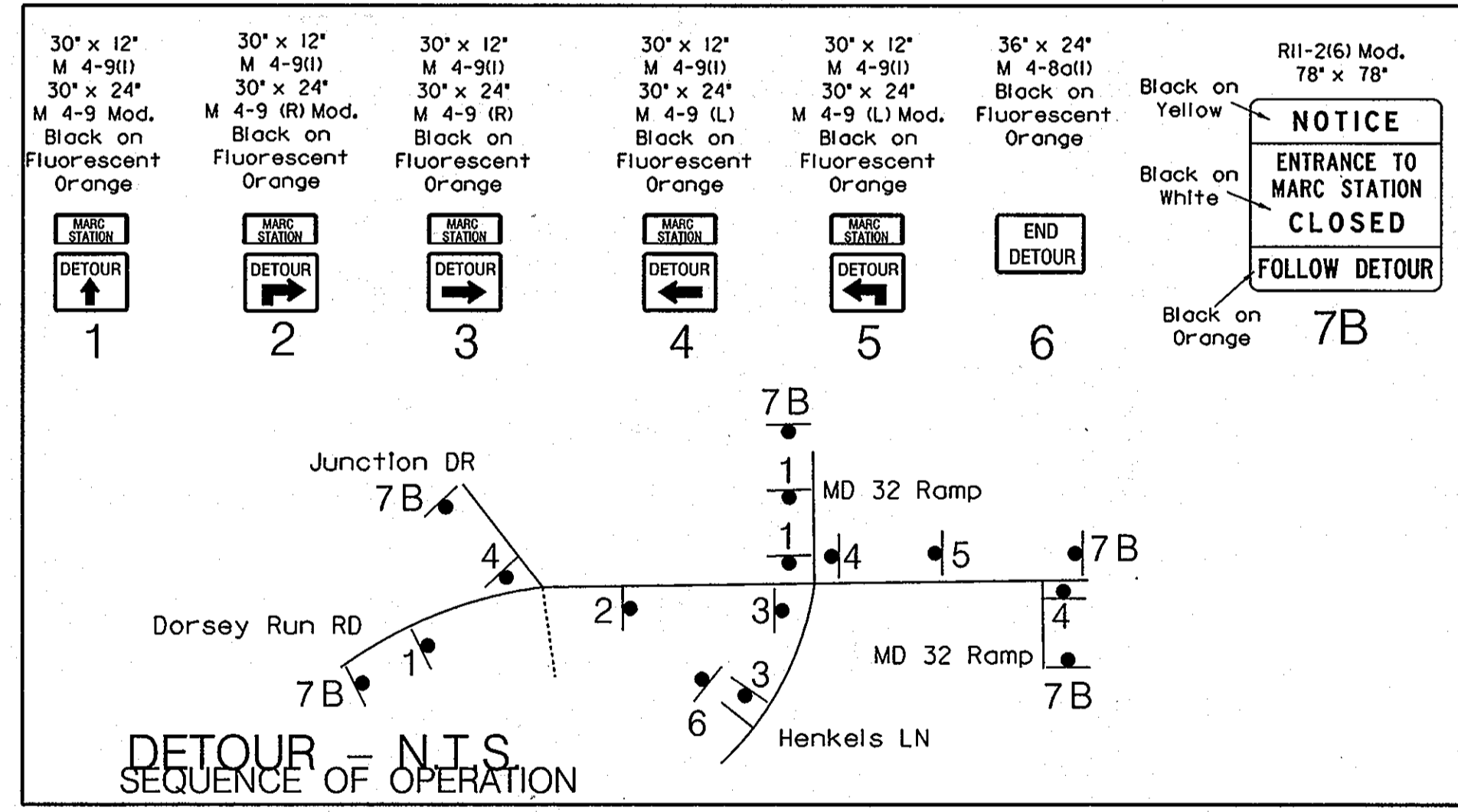
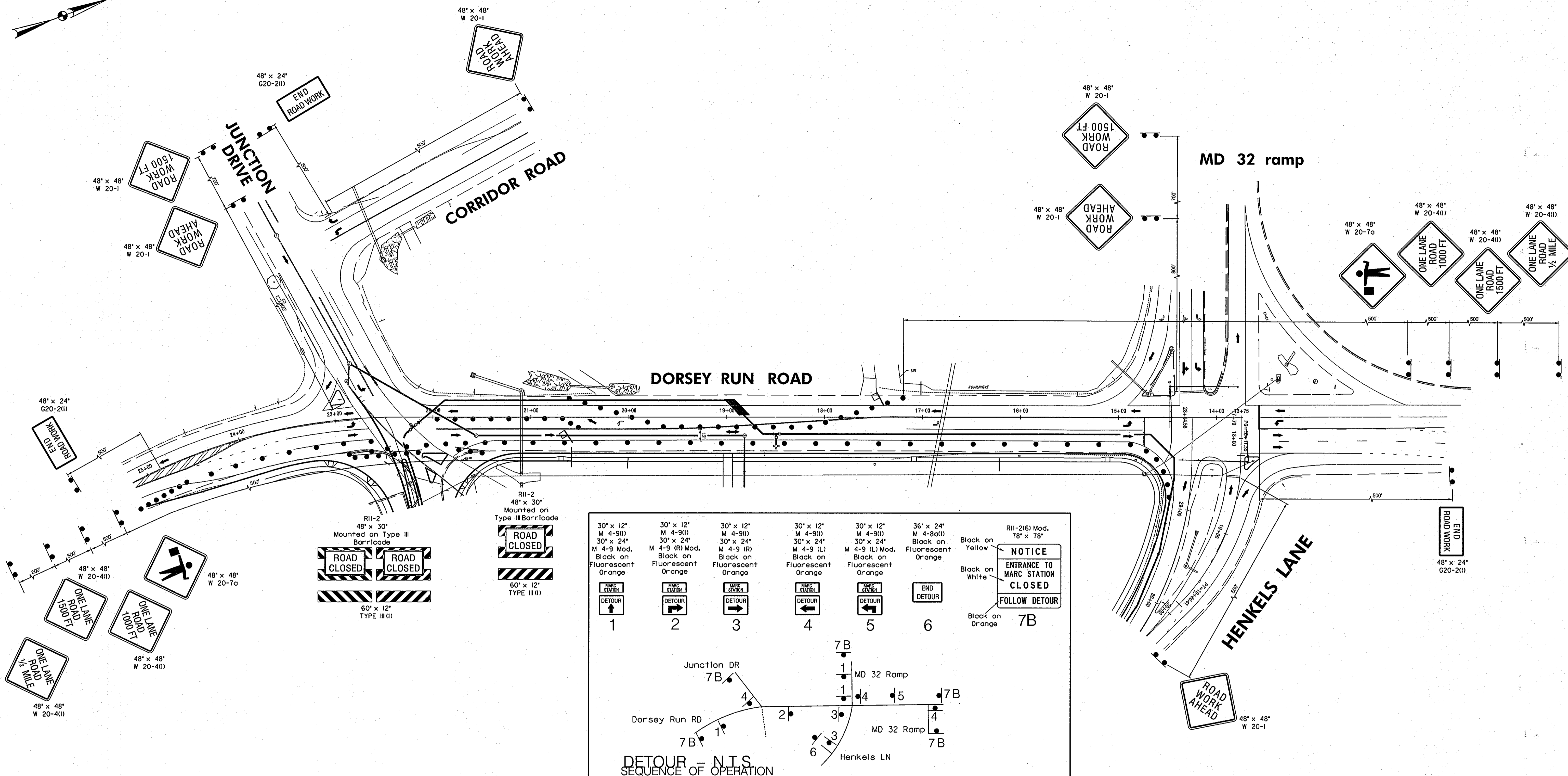
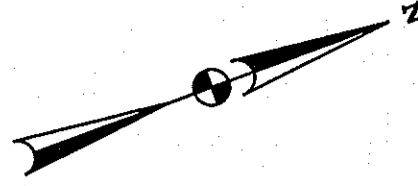
MAINTENANCE OF TRAFFIC PLAN - PHASE 4  
 ANNAPOLIS JUNCTION TOWN CENTER  
 PARCELS A - G  
 Plat No. 22097-2270

SCALE 1"=50'	ZONING T.O.D.	G.L.W. FILE NO. 11107
DATE MAY 23, 2013	TAX MAP - GRID 48-20	SHEET 59 OF 64









- SEQUENCE OF OPERATION**
- CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLAN DETAILS TRAFFIC CONTROL FOR PEAK-HOUR HOUR MOVEMENTS. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
  - IT IS SUGGESTED THAT THE WORK TO BE PERFORMED DURING THIS PHASE BE COMPLETED DURING NIGHT TIME HOURS.
  - INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (POSTED SPEED IS 35 MPH). DETOUR FOR MARC STATION SHALL REMAIN IN PLACE UNTIL IT IS DETERMINED THAT IT IS NO LONGER NEEDED. TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
  - CONSTRUCT PORTIONS OF WATER LINE ALONG DORSEY RUN ROAD.
  - ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.

- KEY**
- Area of Construction
  - Direction of Traffic
  - Channelizing Device (Drum)
  - Flagger
  - Temp. Traffic Sign
  - Existing Geometrics
  - Proposed Geometrics

50' 0 50' 100'  
SCALE: 1" = 50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Mark A. Langley* 2/3/14  
 Director Date  
*Kurt Slavovick* 3/07/14  
 Chief, Division of Land Development Date  
*Chad Edwards* 2-23-14  
 Chief, Development Engineering Division Date  
 AW

PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 31757  
 EXPIRATION DATE 6-28-2015

The Traffic Group, Inc.  
 Suite H  
 9900 Franklin Square Drive  
 Baltimore, Maryland 21226  
 410-931-6600  
 1-800-583-8411  
 Fax 410-931-6601  
 "Merging Innovation and Excellence"

DATE	REVISION	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

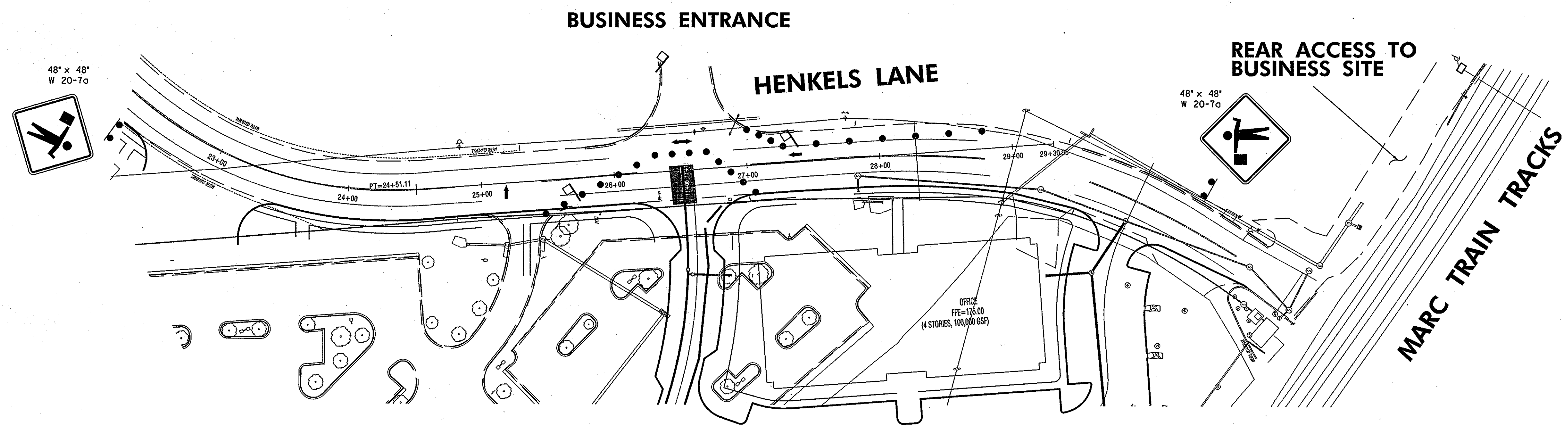
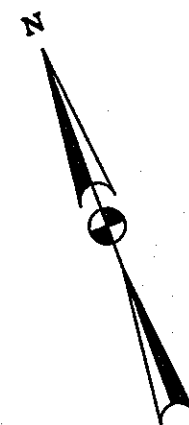
MAINTENANCE OF TRAFFIC PLAN - PHASE 5B  
 ANNAPOLIS JUNCTION TOWN CENTER  
 PARCELS A - G  
 Plat No. 22097-22701

SCALE	ZONING	G.L.W. FILE NO.
1"=50'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 23, 2013	46-20	61 OF 64

HOWARD COUNTY, MARYLAND  
 ELECTION DISTRICT NO. 6 GUILFORD

PLOTTED BY: jstorck





**SEQUENCE OF OPERATION**

1. CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLAN DETAILS TRAFFIC CONTROL FOR PEAK-HOUR HOUR MOVEMENTS. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
2. IT IS SUGGESTED THAT THE WORK TO BE PERFORMED DURING THIS PHASE BE COMPLETED DURING NIGHT TIME HOURS.
3. INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (POSTED SPEED IS 35 MPH). TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED. SPACING FOR ADVANCE WARNING SIGNS SHALL BE ADJUSTED DUE TO LIMITED SPACE ALONG HENKELS LANE.
4. CONSTRUCT PORTIONS OF WATER LINE ALONG HENKELS LANE.
5. ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.

**KEY**

- Area of Construction
  - Direction of Traffic
  - Channelizing Device (Drum)
  - Flagger
  - Temp. Traffic Sign
  - Existing Geometrics
  - Proposed Geometrics
- 50' 0 50' 100'  
SCALE: 1"=50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Mansha Patel* 2/7/14  
 Director Date  
*Christy Edwards* 3/27/14  
 Chief, Division of Land Development Date  
*Chris Edwards* 2-28-14  
 Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 31757  
 EXPIRATION DATE 6/28/2015  
*Fa-Ship Han*



The Traffic Group, Inc.  
 Suite H  
 8900 Franklin Square Drive  
 Baltimore, Maryland 21236  
 410-931-6500  
 1-800-583-8411  
 Fax 410-931-6501  
 "Merging Innovation and Excellence"

DATE	REVISION	BY	APP'R.

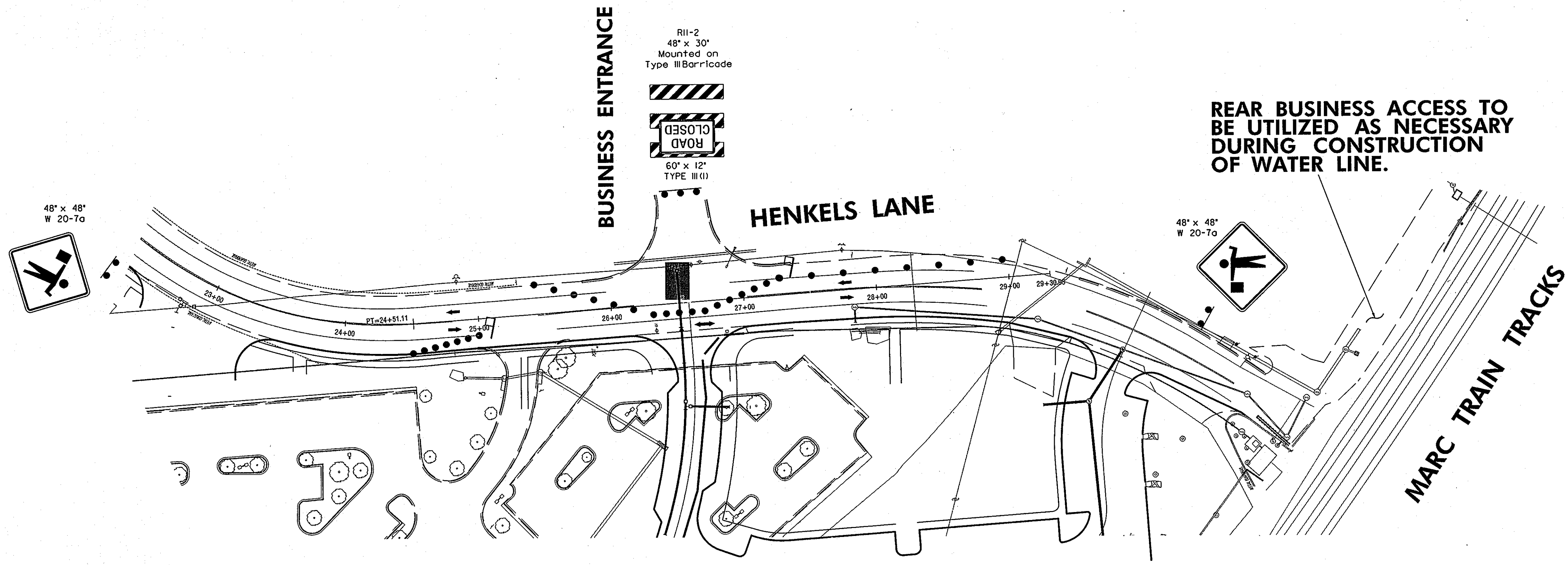
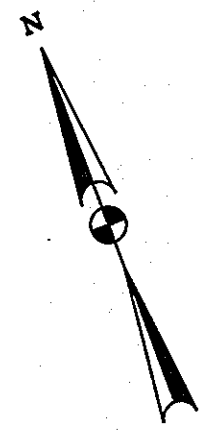
PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8086

MAINTENANCE OF TRAFFIC PLAN - PHASE 6A  
 ANNAPOLIS JUNCTION TOWN CENTER  
 PARCELS A - G  
 Plat No. 22607-22701  
 ELECTION DISTRICT NO. 6 GULFORD  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G.L.W. FILE No.
1"=50'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 23, 2013	48-20	62 OF 64

PLOTTED BY: jstorck





PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 31757  
 EXPIRATION DATE 6/28/2015

- SEQUENCE OF OPERATION**
- CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLAN DETAILS TRAFFIC CONTROL FOR PEAK-HOUR HOUR MOVEMENTS. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
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**KEY**

- Area of Construction
- Direction of Traffic
- Channelizing Device (Drum)
- Flagger
- Temp. Traffic Sign
- Existing Geometrics
- Proposed Geometrics

50' 0 50' 100'  
SCALE: 1" = 50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark DeLoach* 3/2/14  
 Director Date

*Ken DeLoach* 3/27/14  
 Chief, Division of Land Development Date

*Chad Edwards* 2-28-14  
 Chief, Development Engineering Division Date

**The Traffic Group, Inc.**  
 Suite H  
 9900 Franklin Square Drive  
 Baltimore, Maryland 21238  
 410-931-6600  
 1-800-583-8411  
 Fax 410-931-6601  
 "Merging Innovation and Excellence"

PLOTTED: Friday, January 31, 2014 AT 02:37 PM  
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REVISION	DATE	BY	APPR.

PREPARED FOR:  
 ANNAPOLIS JUNCTION TOWN CENTER, LLC  
 4816 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: PETER ZADORETZKY  
 410-267-8688

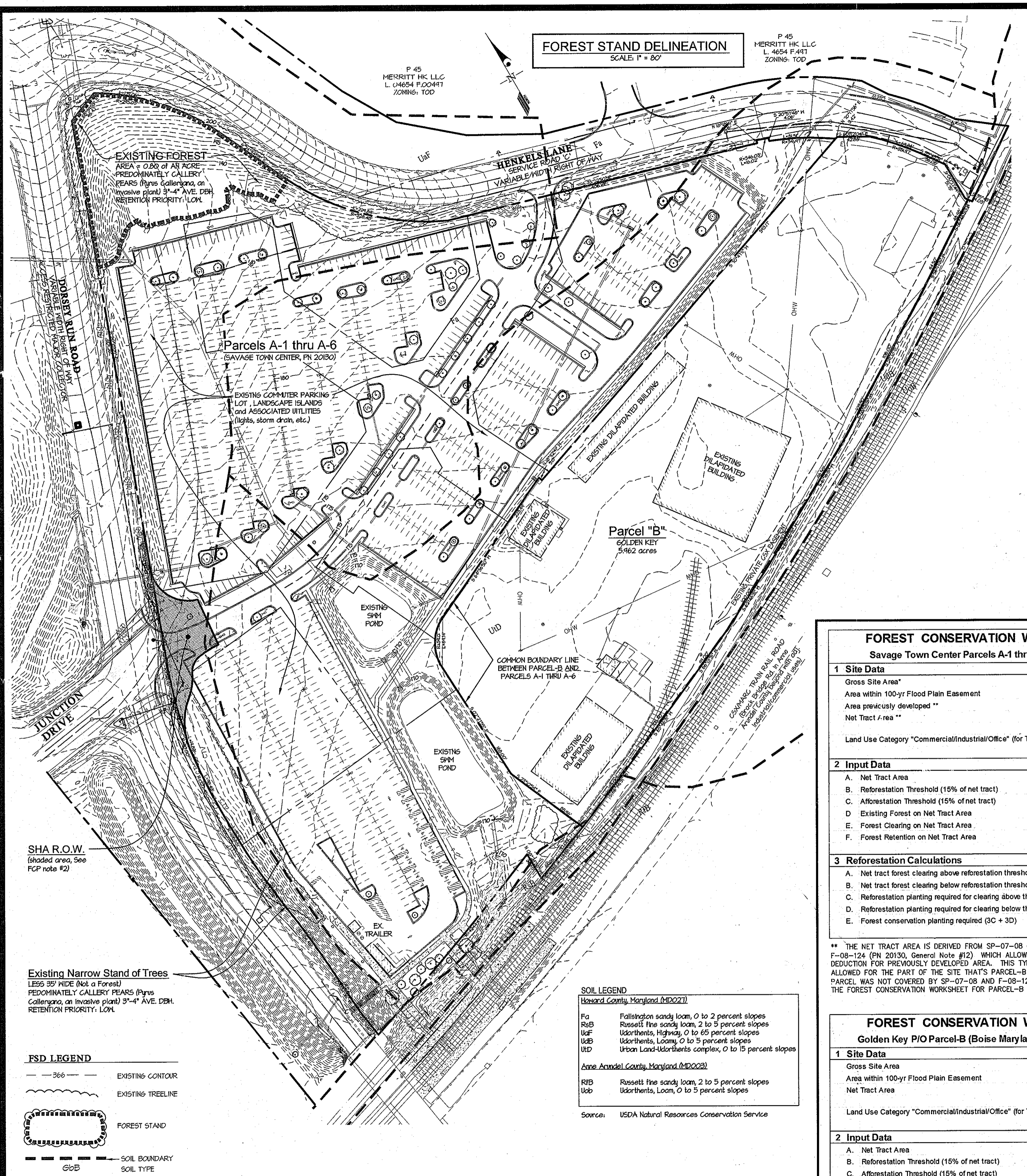
MAINTENANCE OF TRAFFIC PLAN - PHASE 6B  
 ANNAPOLIS JUNCTION TOWN CENTER  
 PARCELS A - G  
 Plat No. 22007-22701

SCALE	ZONING	G. L. W. FILE No.
1"=50'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY 23, 2013	48-20	63 OF 64

HOWARD COUNTY, MARYLAND

PLOTTED BY: jstark





**FOREST STAND DELINEATION**  
SCALE: 1" = 80'

P 45  
MERRITT HK LLC  
L. 04654 F.00417  
ZONING: TOD

Parcels A-1 thru A-6  
(SAVAGE TOWN CENTER, PN 20130)

Parcel "B"  
GOLDEN KEY  
5.962 acres

SHA R.O.W.  
(shaded area, See  
FCP note #2)

Existing Narrow Stand of Trees  
LESS THAN 30' WIDE (Not a Forest)  
PREDOMINATELY CALLERY PEARS (Pyrus Calleryana, an invasive plant) 3'-4" AVE. DBH.  
RETENTION PRIORITY: LOW.

**FSD LEGEND**  
--- 366 --- EXISTING CONTOUR  
--- --- EXISTING TREELINE  
 FOREST STAND  
--- --- SOIL BOUNDARY  
SOIL TYPE

**SOIL LEGEND**  
Howard County, Maryland (M2002)  
F0 Fallington sandy loam, 0 to 2 percent slopes  
R0B Russell fine sandy loam, 2 to 9 percent slopes  
U0F Udorthents, Highway, 0 to 65 percent slopes  
U0B Udorthents, Loom, 0 to 5 percent slopes  
U0D Udon Land-Udorthents complex, 0 to 15 percent slopes  
Anne Arundel County, Maryland (M2002)  
R0B Russell fine sandy loam, 2 to 5 percent slopes  
U0B Udorthents, Loom, 0 to 5 percent slopes  
Source: USDA Natural Resources Conservation Service

- NOTES:**
- ALSO SEE SHEET 36, "EXISTING CONDITION PLAN", FOR STEEP SLOPE DELINEATION AND DEMOLITION INFORMATION.
  - AS INDICATED IN GENERAL NOTE #85 ON SHEET NO. 1, NO JURISDICTIONAL WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS OR 100-YR FLOODPLAINS ARE ON THIS SITE. NO RARE, THREATENED AND ENDANGERED SPECIES OR THEIR HABITAT AND STATE CHAMPION TREES ARE ON THIS SITE.
  - THIS SITE IS IN PATUXENT RIVER WATERSHED, DNR WATERSHED DESIGNATION 02-13-II.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Wanda D. Lough* 3/7/14  
Director Date  
*Ket S. Slawson* 3/7/14  
Chief, Division of Land Development Date  
*Chad E. Blumberg* 2-28-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-680-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L:\CAD\DRAWINGS\1107\PLANS BY QWP\SP\1107-64-SP-F04.dwg DES. MAJ DRN. JGJ CHK. MAJ DATE REVISION BY APPR.

**FOREST CONSERVATION WORKSHEET**  
Savage Town Center Parcels A-1 thru A-6 (F-08-124)

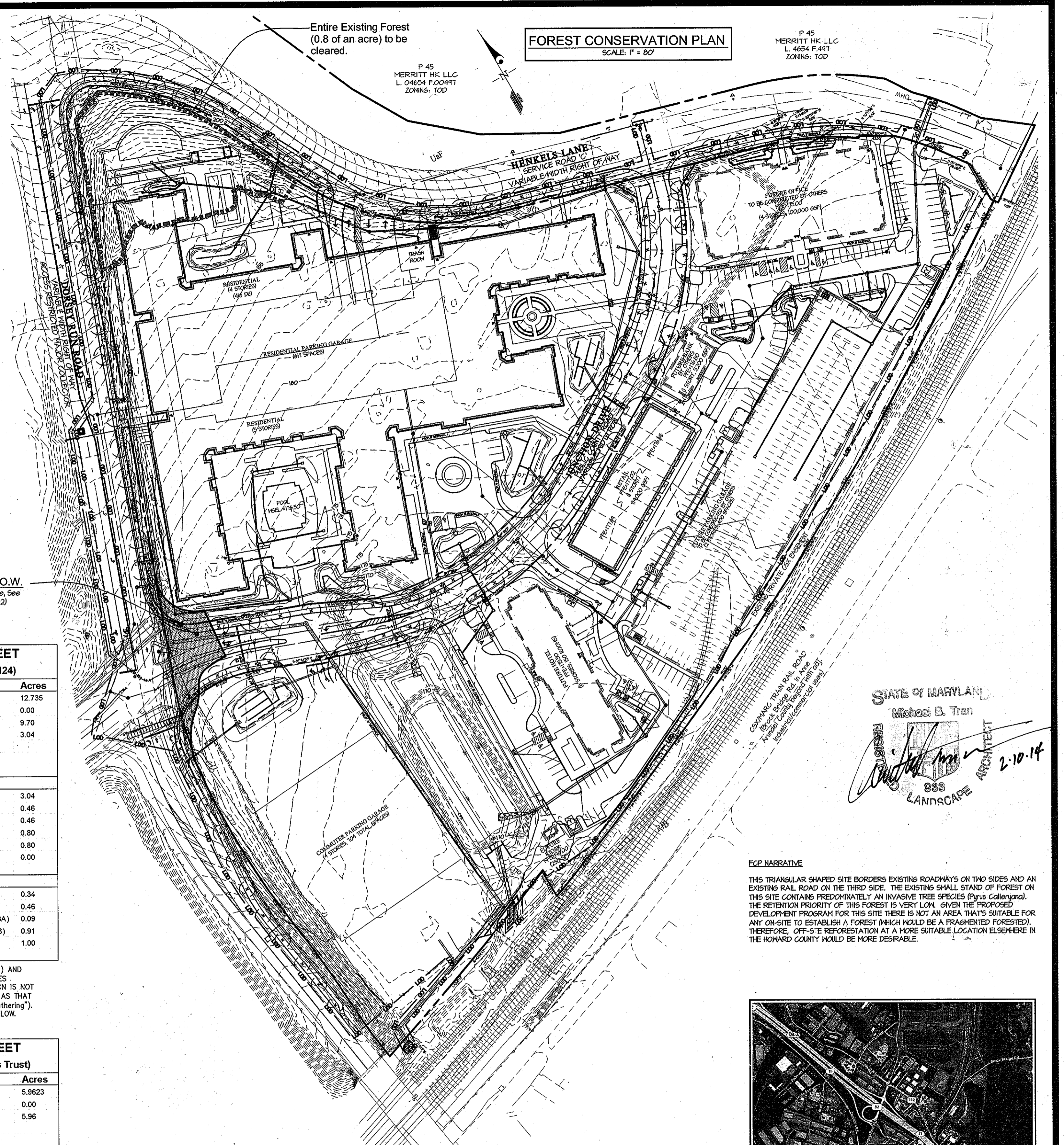
1 Site Data	Acres
Gross Site Area*	12.735
Area within 100-yr Flood Plain Easement	0.00
Area previously developed**	9.70
Net Tract Area**	3.04
Land Use Category "Commercial/Industrial/Office" (for TOD Zone)	
2 Input Data	
A. Net Tract Area	3.04
B. Reforestation Threshold (15% of net tract)	0.46
C. Afforestation Threshold (15% of net tract)	0.46
D. Existing Forest on Net Tract Area	0.80
E. Forest Clearing on Net Tract Area	0.80
F. Forest Retention on Net Tract Area	0.00
3 Reforestation Calculations	
A. Net tract forest clearing above reforestation threshold	0.34
B. Net tract forest clearing below reforestation threshold	0.46
C. Reforestation planting required for clearing above threshold (0.25x3A)	0.09
D. Reforestation planting required for clearing below threshold (2.0x3B)	0.91
E. Forest conservation planting required (3C + 3D)	1.00

\*\* THE NET TRACT AREA IS DERIVED FROM SP-07-08 (sheet 36 of 41) AND F-08-124 (PN 20130, General Note #12) WHICH ALLOWED A 9.7 ACRES DEDUCTION FOR PREVIOUSLY DEVELOPED AREA. THIS TYPE OF DEDUCTION IS NOT ALLOWED FOR THE PART OF THE SITE THAT'S PARCEL-B (GOLDEN KEY) AS THAT PARCEL WAS NOT COVERED BY SP-07-08 AND F-08-124 (for "Grandfathering"). THE FOREST CONSERVATION WORKSHEET FOR PARCEL-B IS PROVIDED BELOW.

**FOREST CONSERVATION WORKSHEET**  
Golden Key P/O Parcel-B (Boise Maryland Business Trust)

1 Site Data	Acres
Gross Site Area	5.9623
Area within 100-yr Flood Plain Easement	0.00
Net Tract Area	5.96
Land Use Category "Commercial/Industrial/Office" (for TOD Zone)	
2 Input Data	
A. Net Tract Area	5.96
B. Reforestation Threshold (15% of net tract)	0.89
C. Afforestation Threshold (15% of net tract)	0.894
D. Existing Forest on Net Tract Area	0.00
E. Forest Clearing on Net Tract Area	N/A
F. Forest Retention on Net Tract Area	N/A
3 Afforestation Calculations	
A. Afforestation required	0.8943
B. Forest conservation planting required	0.8943

SHA R.O.W.  
(shaded area, See  
FCP note #2)



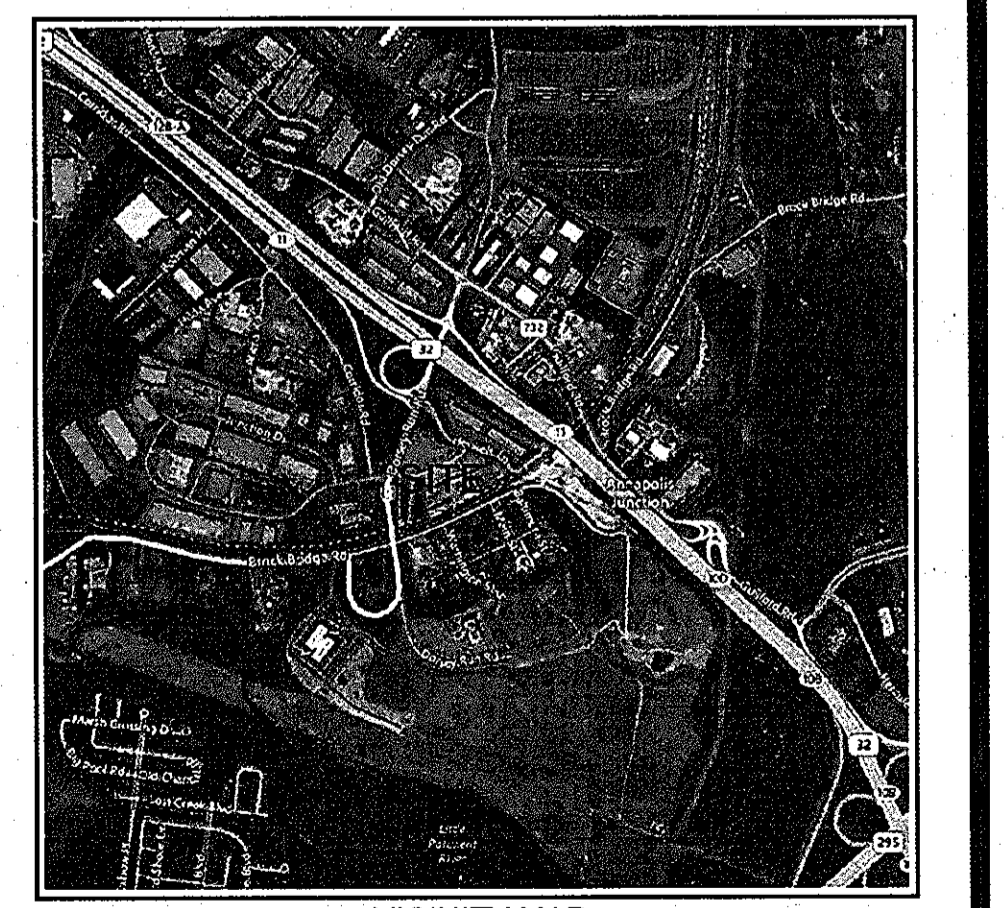
**FOREST CONSERVATION PLAN**  
SCALE: 1" = 80'

P 45  
MERRITT HK LLC  
L. 04654 F.00417  
ZONING: TOD

Entire Existing Forest  
(0.8 of an acre) to be  
cleared.

P 45  
MERRITT HK LLC  
L. 04654 F.00417  
ZONING: TOD

**FCP NARRATIVE**  
THIS TRIANGULAR SHAPED SITE BORDERS EXISTING ROADWAYS ON TWO SIDES AND AN EXISTING RAIL ROAD ON THE THIRD SIDE. THE EXISTING SMALL STANDS OF FOREST ON THIS SITE CONTAINS PREDOMINATELY AN INVASIVE TREE SPECIES (Pyrus Calleryana). THE RETENTION PRIORITY OF THIS FOREST IS VERY LOW. GIVEN THE PROPOSED DEVELOPMENT PROGRAM FOR THIS SITE THERE IS NOT AN AREA THAT'S SUITABLE FOR ANY ON-SITE TO ESTABLISH A FOREST (WHICH WOULD BE A FRAGMENTED FOREST). THEREFORE, OFF-SITE REFORESTATION AT A MORE SUITABLE LOCATION ELSEWHERE IN THE HOWARD COUNTY WOULD BE MORE DESIRABLE.



VICINITY MAP  
SCALE: 1" = 2000'

- FCP NOTES:**
- FOR CLARITY, EXISTING IMPROVEMENTS AND OLD PARCEL LINES ARE NOT SHOWN WITH THE PROPOSED IMPROVEMENTS ON THE FCP.
  - THIS SITE COMPRISES OF 12.744 ACRES (APPROVED AS PARCELS "A-1" THRU "A-6" UNDER S-07-08 AND F-08-124) AND AN ADJOINING PARCEL-B (of 5.962 acres). THE STATE HIGHWAY ADMINISTRATION STILL OWNS A SMALL IRREGULAR PIECE OF LAND AT THE DORSEY RUN ROAD ENTRANCE AND THAT LAND IS INCLUDED ON THE NEM PLAN OF SUBDIVISION (F-13-068) TO FACILITATE THE TRANSFER OF APPROXIMATELY 0.124 ACRE OF THAT LAND TO HOWARD COUNTY FOR THE JUNCTION DRIVE PUBLIC ROAD R/W EXTENSION TO HENKELS LANE. THAT 0.124 OF AN ACRE ARTIFICIALLY INFILLS THE PROJECT AREA FROM 18.71 TO 18.84.
  - NO FOREST CONSERVATION EASEMENTS ARE PROPOSED ON THIS SITE (F-13-068).
  - THE TOTAL REFORESTATION AND AFFORESTATION PLANTING OBLIGATION FOR THIS PROJECT IS 1.8943 ACRES (FOR BOTH FOREST CONSERVATION WORKSHEETS). PART OF THIS OBLIGATION WAS FILLED BY A FEE-IN-LIEU PAYMENT FOR 1.02 ACRES WITH THE PREVIOUSLY APPROVED PLAN F-08-124 (PN 20130). THE REMAINING FOREST CONSERVATION OBLIGATION FOR THIS PROJECT IS FULFILLED BY THE PURCHASE OF AT LEAST 0.8743 OF AN ACRE OF FOREST CONSERVATION EASEMENT AT BRIGHTON MILL (ON BUILDABLE PRESERVATION PARCEL "A" AND NON-BUILDABLE PRESERVATION PARCEL "D", TH 44) PN 2017-2081. ALSO SEE SDP-II-056 (BRIGHTON MILL PROPERTY - FOREST MITIGATION BANK) FOR THE "FOREST UTILIZATION TABLE" IN THE UPPER LEFT CORNER OF SHEET 2. THE REMAINDER OF THE FOREST CONSERVATION OBLIGATION FOR THIS PROJECT IS CALCULATED BELOW.

TOTAL OBLIGATION: 1.8943 ac. x 42560 \$/ac = 80,616 \$  
PREVIOUSLY FILLED UNDER F-08-124 (PN 20130) = 42,424 \$  
REMAINING FOREST CONSERVATION OBLIGATION = 38,192 \$

PREPARED FOR:  
ANNAPOLIS JUNCTION TOWN CENTER, LLC  
4816 DEL RAY AVENUE  
BETHESDA, MARYLAND 20814  
ATTN: PETER ZADORETZKY  
410-267-8688

**FOREST STAND DELINEATION & FOREST CONSERVATION PLAN**  
**ANNAPOLIS JUNCTION TOWN CENTER**  
**HOTEL (FUTURE)/RESIDENTIAL APARTMENT BUILDING (GREEN BUILDING)**  
**RETAIL/OFFICE (FUTURE)/BANK(FUTURE)/COMMUTER GARAGE**  
**PARCELS A - G**  
ELECTION DISTRICT No. 6 GULFORD  
PLAT No. 11-07-11701  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 80'	T.O.D.	11107
DATE	TAX MAP - GRID	SHEET
MAY, 2013	48-20	64 OF 64