

GENERAL NOTES

- 1. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS OTHERWISE SPECIFIED.
2. THE PROPERTY LINES SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC. DATED 04/25/12.
3. THE TOPOGRAPHY SHOWN HEREON IS BASED ON AN AERIAL PHOTOGRAMETRIC MAPPING PROVIDED BY POTOMAC AERIAL SURVEYS, INC. DATED 12/17/18, AND BY FIELD RUN SURVEYS BY ROBERT H. VOGEL ENGINEERING, INC. PERFORMED ON 07/20/20, 04/06/12, 08/17/12, 12/30/14, 01/14/16, 10/03/16, 03/08/17, 06/09/18, 06/19/17, 10/23/17, 08/06/18, 10/23/18, 11/12/18, AND 03/12/19.

- 4. TAX MAP: 50 PARCELS: 384/441; PARCELS A-2, B-1, B-2, B-4, C-1, C-2, C-3, C-4, C-5, J, K-2, L, AND OPEN SPACE LOTS D, E-1, F-1, G, H, & I.
5. EXISTING ZONING: TOD (TRANSIT ORIENTED DEVELOPMENT)
6. PROPOSED USE: MIXED USE, RESIDENTIAL, COMMERCIAL OFFICE
7. GROSS AREA OF PROPERTY: 63.345 AC. (INCLUDING AREAS BETWEEN NB & SB ROUTE 1)
8. NET AREA: 4.835 AC.
9. STEEP SLOPES (WITHIN FLOODPLAIN AREA): 0.3010 AC.
10. AREA OF PARCELS: 63.345 AC.
11. NUMBER OF BAY VEHICULARY DEDICATED: 148,390 AC.
12. NUMBER OF BUILDABLE PARCELS: 9
13. NUMBER OF SPACES: 3,500
14. PROPOSED RESIDENTIAL UNITS: 1,000 APARTMENTS
15. PROPOSED RETAIL SPACE: 75,400 SQ FT
16. PROPOSED OFFICE SPACE: 650,000 SQ FT
17. MUHI REQUIRED - APARTMENTS: 1,000 UNITS x 100% = 100 UNITS
18. MUHI PROVIDED - APARTMENTS: 1,000 UNITS
19. AMENITY AREA REQUIRED: 48.50 AC. x 100% = 48.5 AC.
20. AMENITY AREA PROVIDED: 48.5 AC. (MINIMUM OF 48.5 AC. SHALL MINIMALLY BE PROVIDED)

Table with 3 columns: PLAN, PHASE, and AMOUNT OF FEE. Rows include Paddock Pointe SDP-15-043 Phase 1, 2, 3, and Future SDP.

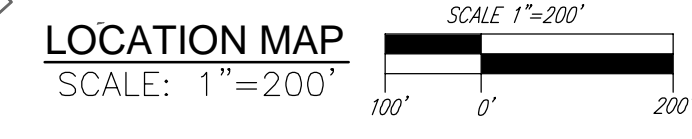
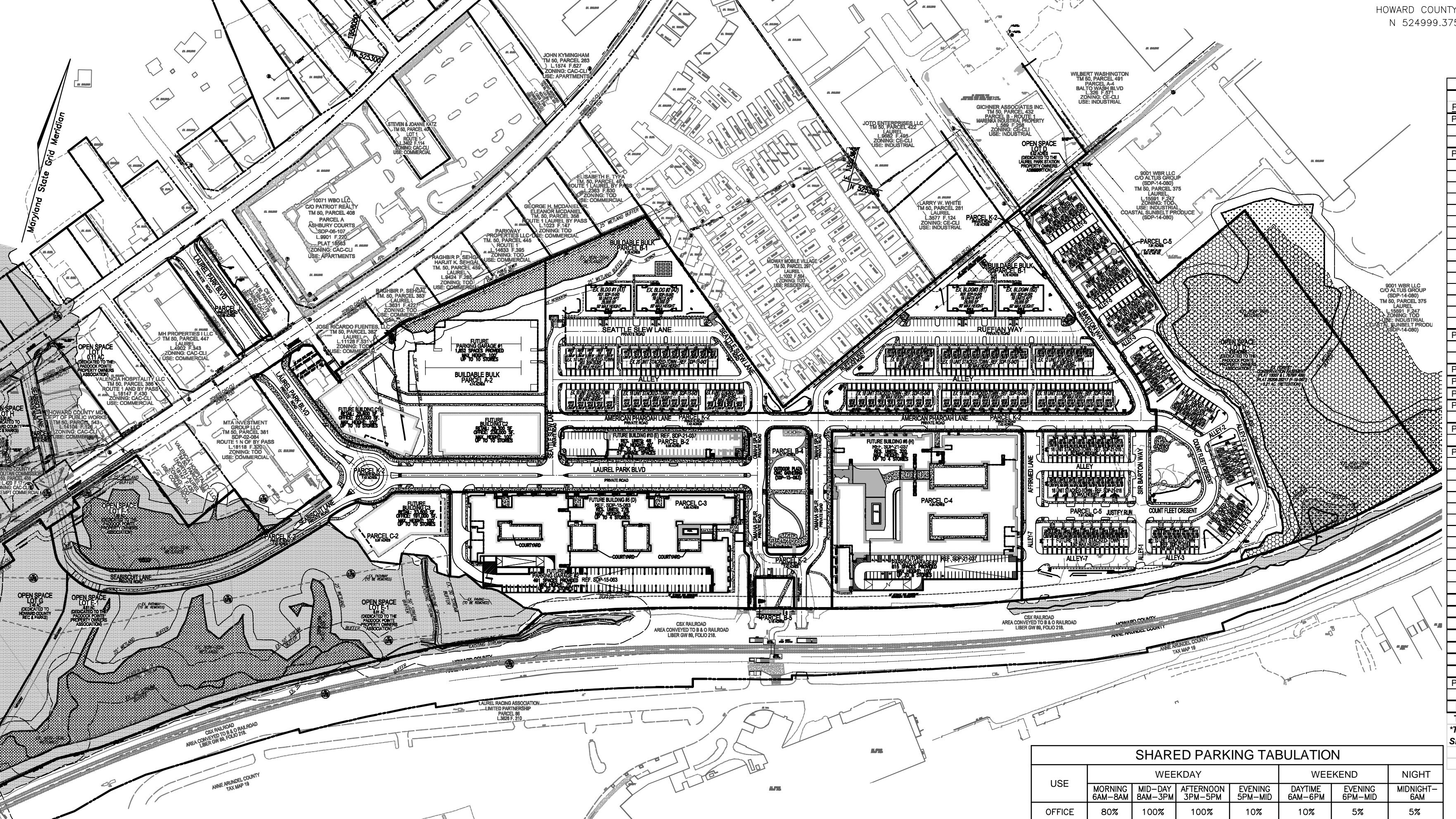
Table with 3 columns: PHASE, PLAN NUMBER, UNITS IN PHASE, and UNITS REQUIRED. Rows include SDP-15-043 Phase 1, 2, 3, and Future SDP.

- 21. THE MODERATE INCOME HOUSING UNITS (MIHU) REQUIREMENTS AND THE MIHU AGREEMENT AND COVENANTS REQUIRED HAVE BEEN OR SHALL BE MET WITH THE INDIVIDUALS SITE DEVELOPMENT PLANS AND THESE REQUIREMENTS ARE SET FORTH IN SECTION 13.402 OF THE COUNTY CODE.
22. LOADING WILL BE PROHIBITED AT THE FRONT OF A BUILDING OR BETWEEN THE BUILDING AND ANY ADJACENT PUBLIC RIGHT OF WAY.
23. STREET LIGHTS SHALL BE PROVIDED IN THIS DEVELOPMENT IN ACCORDANCE WITH THE ROUTE 1 DESIGN MANUAL.
24. FIRE DEPARTMENT SERVICE CONNECTION SHALL BE PROVIDED ON THE FRONT OF THE BUILDINGS.

- 25. LANDSCAPING SHALL BE PROVIDED AS FOLLOWS: SIDE TO SIDE - 15 FEET; ALL OTHER FACADE RELATIONSHIPS - 30 FEET.
26. THE PHASE 1 DEVELOPMENT OF THIS PROJECT (REF. SDP-15-043) REQUIRED COORDINATION WITH CSX REGARDING STORMWATER RUNOFF.
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TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY. Includes signature of Planning Director and date 3/13/2024.

PADDOCK POINTE (FORMERLY LAUREL PARK STATION) OFFICE, RETAIL AND RESIDENTIAL AMENDED SKETCH PLAN. PARCELS A-2, B-1, B-2, B-4, B-5, C-2, C-3, C-4, C-5, J, K-2, L, AND OPEN SPACE LOTS D, E-1, F-1, G, H, & I. P. 384 (L.10518/F.157) P. 441 (L.13296/F.377)



GENERAL NOTES (CONTINUED)

- 42. REFERENCE WP-19-069, APPROVED 01/25/18, TO WAIVE SECTION 16.144(a)(3)(1) - SUBMISSION OF FINAL PLAN, SECTION 16.106(0) - MILESTONES (TIMING FOR NON-RESIDENTIAL PROJECTS) APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
43. REFERENCE WP-15-001, APPROVED 07/30/14, TO WAIVE SECTION 16.144(a)(3)(3) - SUBMISSION OF FINAL PLAN, SECTION 16.106(0) - MILESTONES (TIMING FOR NON-RESIDENTIAL PROJECTS) APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
44. REFERENCE WP-15-001, APPROVED 07/30/14, TO WAIVE SECTION 16.144(a)(3)(3) - SUBMISSION OF FINAL PLAN, SECTION 16.106(0) - MILESTONES (TIMING FOR NON-RESIDENTIAL PROJECTS) APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

SHARED PARKING TABULATION table showing weekly and weekend parking requirements for Office, Retail, and Residential uses.

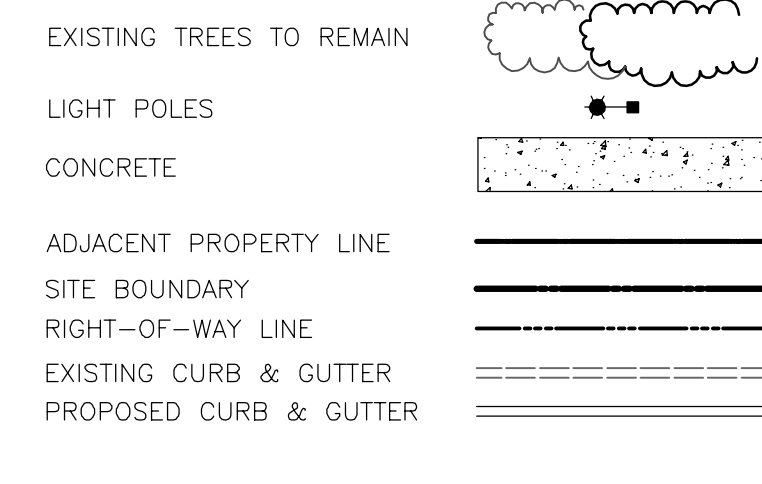
RESIDENTIAL PHASING SCHEDULE table showing phasing for phases I, II, III, and IV from 2013 to 2019.

NON-RESIDENTIAL PHASING table showing phasing for Office, Retail, and Residential uses from 2013 to 2019.

- PURPOSE NOTE: 1. TO SHOW THE AMENDED DESIGN OF PHASE 3 WHICH REMOVED APARTMENT UNITS AND REPLACES WITH STACKED CONDO UNITS.
2. TO RELOCATE 18 UNIT ALLOCATIONS FROM PHASE 3 TO PHASE 2.
3. TO SHOW THE AMENDED DESIGN OF PHASES 2 & 4.
4. TO REMOVE THE NON-RESIDENTIAL PHASING FROM PHASE 3.
5. TO REMOVE THE NON-RESIDENTIAL PHASING IN PHASE 4.
6. TO AMEND PUBLIC AMENITY SPACES.

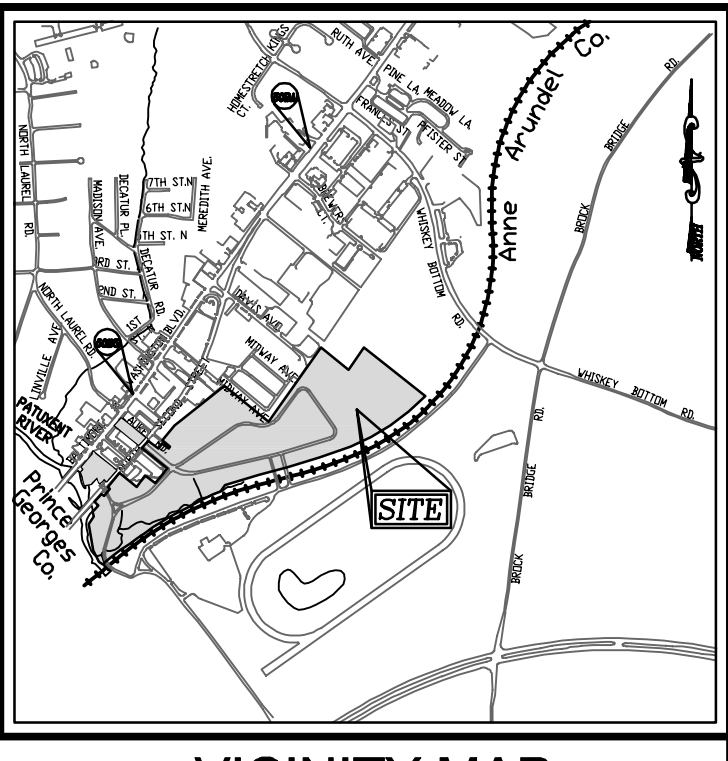
SHEET INDEX table listing COVER SHEET, LAYOUT SHEET, and RESIDENTIAL DEVELOPMENT AREA EXHIBIT. Includes OWNER and OWNER/DEVELOPER information.

LEGEND



BENCHMARKS

HOWARD COUNTY BENCHMARK - 508A N 527561.6780 E 1359772.6040
HOWARD COUNTY BENCHMARK - 5085 N 524999.3750 E 1357925.7480



ADIC MAP COORDINATES PAGE 5169 - F4, G4, G3

Paddock Pointe Project Summary Chart table with columns for Parcel/Lot, Parcel Size, Phase, Building Designation, Projected Use, Office (SF), Retail (SF), Residence (Units), and Parking (Units).

TOTALS 63.34 650,000 175,400 1,000 4,007. THE AREAS AND DENSITIES IN THE ABOVE CHART MAY BE SHIFTED BETWEEN BUILDINGS.

PARKING TABULATION table showing OFFICE SPACE, RETAIL SPACE, APARTMENTS, and MARC STATION PARKING requirements.

- NOTES: 1. PARKING PROVIDED IS IN ACCORDANCE WITH SECTION 133 OF THE HOWARD COUNTY ZONING REGULATIONS.
2. REQUIRED PARKING FOR APARTMENTS REQUIRED TO 1.5 SPACES PER UNIT PLUS 0.3 VISITOR SPACES PER UNIT.
3. SURPLUS SPACES CAN BE UTILIZED FOR TRANSIT.

AMENDED SKETCH PLAN COVER SHEET

PADDOCK POINTE (FORMERLY LAUREL PARK STATION) OFFICE, RETAIL AND RESIDENTIAL. Includes tax map, block, and zoning information.

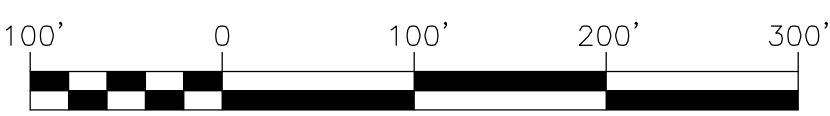
VOGEL ENGINEERING and TIMMONS GROUP logos and contact information. Includes a PROFESSIONAL CERTIFICATE and design details.





ROUTE 1 SIDEWALK @ SEABISCUIT ENTRANCE  
SCALE: 1"=20'

LOCATION MAP  
SCALE: 1"=100'



**LEGEND**

- EXISTING CONTOUR
- ADJACENT PROPERTY LINE
- SITE BOUNDARY
- RIGHT-OF-WAY LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING FENCE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE (FIELD LOCATED)
- PROPOSED TREELINE
- PROPOSED SIDEWALK
- EX. PUBLIC 100-YR FLOODPLAIN
- AREA OF 15 TO 24.9 PERCENT SLOPES
- AMENITY AREA
- EX. WETLANDS

NO.	REVISION	DATE

AMENDED SKETCH PLAN

LAYOUT PLAN

**PADDOCK POINTE** PARCELS: 384/441  
 (FORMERLY LAUREL PARK STATION) PARCELS A-2, B-1, B-2,  
 OFFICE, RETAIL, AND RESIDENTIAL B-4, B-5, C-2, C-3, C-4,  
 P-384 (L10518/E157) C-5, J, K-2, L, and  
 P-341 (L13295/F377) OPEN SPACE LOTS D, E-1, F-1, G, H, & I  
 ZONED: TOD  
 TAX MAP: 50 BLOCK: 10  
 6TH ELECTION DISTRICT  
 PRINCE GEORGES COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P. 410.461.7666 F. 410.461.8961 www.timmons.com



DESIGN BY: RHW/DZE  
 DRAWN BY: DZE  
 CHECKED BY: RHW  
 DATE: DEC 2023  
 SCALE: AS SHOWN  
 W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS  
 WERE PREPARED OR APPROVED BY ME, AND  
 THAT I AM A FULLY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE STATE  
 OF MARYLAND, LICENSE NO. 16193  
 EXPIRATION DATE: 09-27-2024

TENTATIVELY APPROVED  
 DEPARTMENT OF PLANNING AND ZONING  
 HOWARD COUNTY

DocuSigned by:  
 Lynda Eschenberg  
 4220863386342DE  
 PLANNING DIRECTOR

3/13/2024  
 DATE

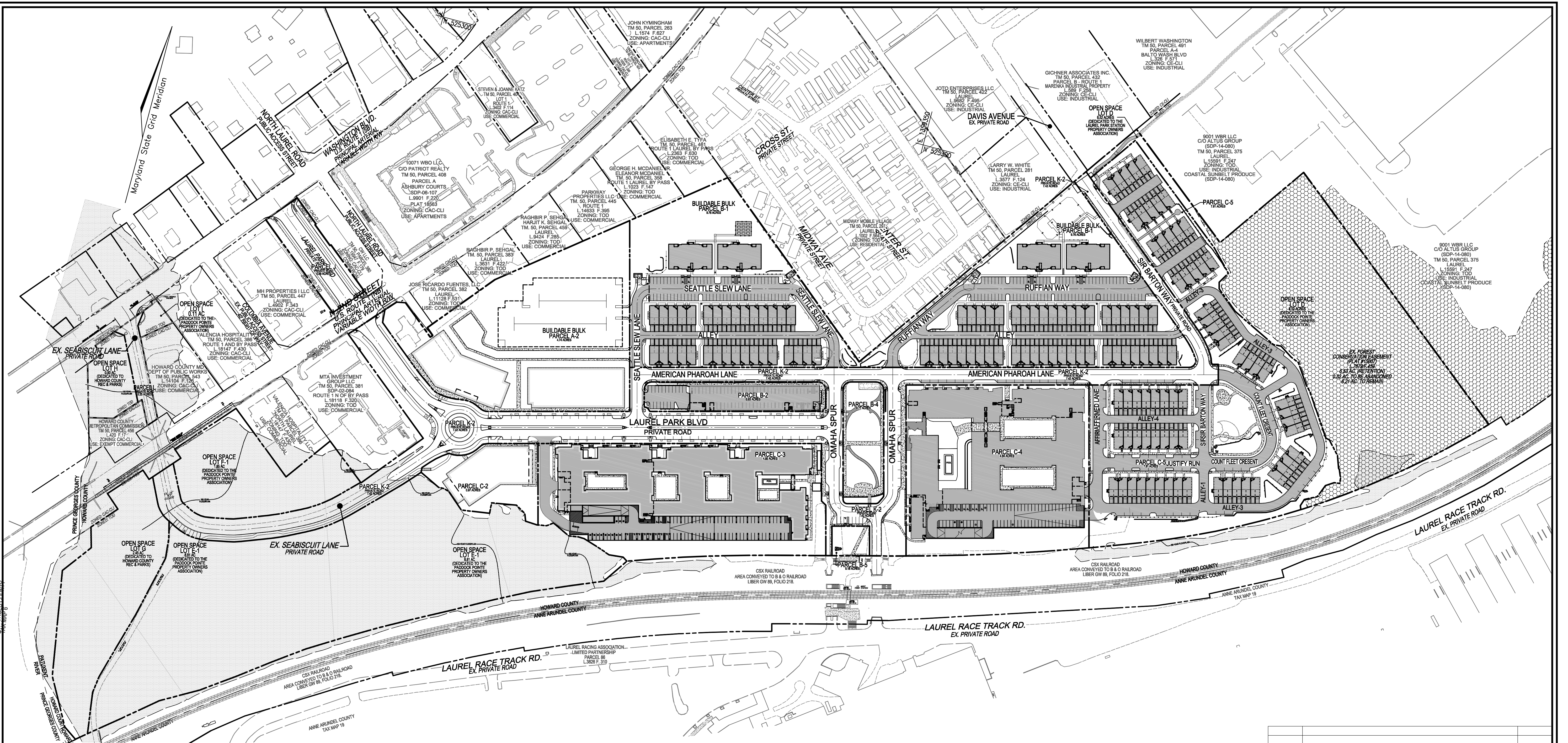
**SIDEWALK NOTE:**  
 SIDEWALK WIDTHS ARE SUBJECT TO CHANGE.

**NOISE STUDY NOTE:**  
 A NOISE STUDY WILL BE REQUIRED WITH FUTURE SITE  
 PLANS THAT ARE ADJACENT TO THE CSX RAILROAD.









PLAN VIEW  
SCALE: 1"=120'

TOD RESIDENTIAL DEVELOPMENT TRACKING		
GROSS AREA (LAUREL PARK PROJECT)	63.33 AC.	
MINUS FLOOPLAIN & STEEP SLOPES	14.84 AC.	
DEVELOPABLE ACREAGE (NET)	48.49 AC.	
50% OF DEVELOPABLE AREA (NOT TO EXCEED)	24.25 AC.	
PHASE/PROJECT	AREA	% OF NET
PHASE 1 RESIDENTIAL AREA (SDP-15-043)	5.59 AC.	11.52%
PHASE 2 RESIDENTIAL AREA (SDP-15-063)	3.23 AC.	6.67%
PHASE 3A RESIDENTIAL AREA (SDP-21-016)	3.32 AC.	6.84%
PHASE 3B RESIDENTIAL AREA (FUTURE SDP)	3.05 AC.	12.58%
PHASE 4 RESIDENTIAL AREA (SDP-21-037)	3.69 AC.	15.22%
TOTAL	18.88 AC.	38.94%

\* NO MORE THAN 50% OF THE DEVELOPABLE AREA ACREAGE EXCLUDING ROAD RIGHT OF WAY AND OPEN SPACE SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND PARKING.

NOTE: PHASE 3B WILL BE PART OF A FUTURE SITE DEVELOPMENT PLAN FOR THE CONSTRUCTION OF 98 UNITS (REPLACEMENT FOR THE PREVIOUS DESIGN OF PHASE 3 WHICH INCLUDED 3 APARTMENT BUILDINGS, TOTALING 76 UNITS)

**LEGEND**

- [Shaded Area] TOD RESIDENTIAL AREA
- [Hatched Area] 100-YR FLOODPLAIN

TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY

Decided by:  
*Lynda Eisenberg*  
PLANNING DIRECTOR

3/13/2024  
DATE

**OWNER**  
TRIPLE BELL FARMS, LLC.  
198 LAUREL RACE TRACK RD  
LAUREL, MD 20725  
(301) 470-5494

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
198 LAUREL RACE TRACK RD  
LAUREL, MD 20725  
(301) 470-5494

NO.	REVISION	DATE

AMENDED SKETCH PLAN  
**RESIDENTIAL DEVELOPMENT AREA EXHIBIT**

**Paddock Pointe**  
(FORMERLY LAUREL PARK STATION)  
OFFICE, RETAIL AND RESIDENTIAL  
PARCELS: 384/441  
PARCELS A-2, B-1, B-2, B-4, B-5, C-2, C-3, C-4, C-5, J, K-2, L, AND P-384 (L11518/F-157) P-441 (L13248/F-377)  
ZONED: TOD

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**HOWARD COUNTY, MARYLAND**

**VOGEL ENGINEERING**  
+  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: DEC. 2023  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

4 SHEET OF 4