

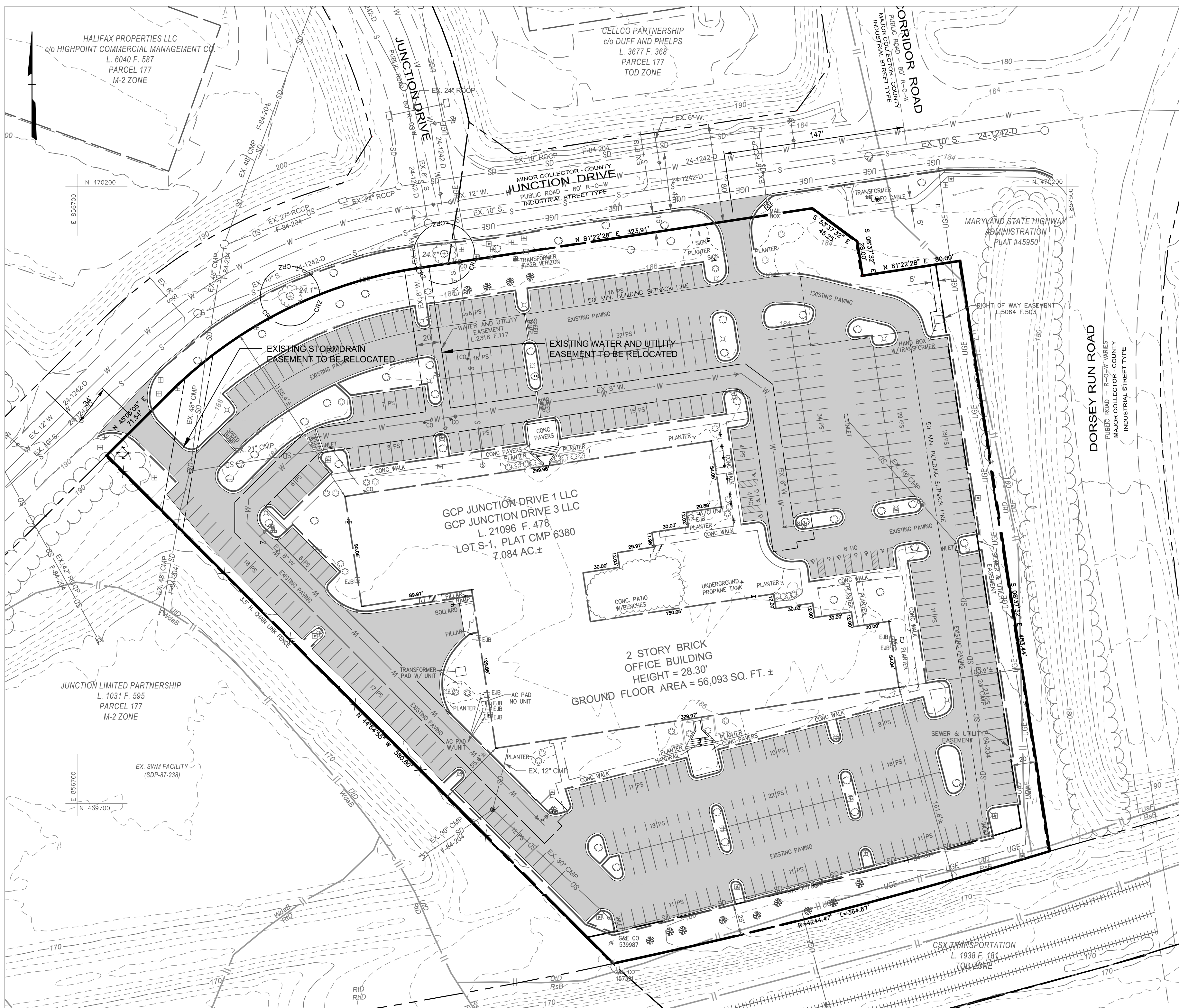
GENERAL NOTES

- 1. The project is in conformance with the latest Howard County Standards unless waivers have been approved.
2. The existing topography is taken from field-run survey with two-foot contour intervals prepared by Century Engineering dated 3/15/2023.
3. The coordinates shown hereon are based upon the Howard County Geodetic Control, which is based upon the Maryland State Plane Coordinate System, Howard County Monument No's. 48DF and 48GM6 were used for this project.
4. Existing Water Contract No. 24-1242-D. On-site water will be public. A Public water plan will be required.
5. Existing Sewer Contract No. 24-1242-D. On-site sewer will be private.
6. Existing utilities are based on field survey by Century Engineering dated 3/15/2023 and supplemented by utility information shown on SDP-87-238.
7. The stormwater management system shown on these plans is an approximation of the size, shape, and location. It is understood that this system has not been designed and the actual design may change, altering the number of units allocated for this development.
8. See Site Data for project background information.
9. No waivers or alternative compliances are requested for this Sketch Plan.
10. Per the TOD Zoning Regulations, at least 15% of the dwelling units shall be Moderate Income Housing Units and shall be developed on the site. The developer shall not provide the moderate income housing units at a different location or pay a fee-in-lieu.
11. Forest Conservation requirements will be further evaluated at the Preliminary Plan stage.
12. Landscaping will be provided in accordance with Section 16.124 of the Subdivision and Land Development Regulations and Landscape Manual.
13. Per Howard County Zoning Code section 127.4, the maximum building height in the TOD district, for a development complying with the Route 1 Manual and with minimum setbacks from a public street Right-of-Way, is 60 feet. The proposed building height is 60 feet for Building 1 and Building 2.
14. A Pre-Submission Community Meeting for this project was held April 18, 2023 at 6:00pm, at Bollman Bridge Elementary School.
15. The Design Advisory Panel meeting for this project was held May 10, 2023.
16. Gross Tract Area: ±7.08 AC
17. Net Tract Area: ±7.08 AC

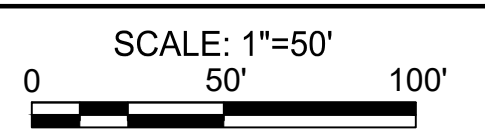
SITE DATA

- 1. OWNER: GCP Junction Drive 1 LLC
25 S. Charles Street, Ste. 1300
Baltimore, Maryland 21201
Contact: Mr. Jeff Clary
410.800.7330
GCP Junction Drive 3 LLC
3600 O'Donnell Street, Ste. 960
Baltimore, Maryland 21224
410.327.4040
2. DEVELOPER: Grand Capital Partners
25 S. Charles Street, Ste. 1300
Baltimore, Maryland 21201
410.800.7330
Obrecht Commercial Real Estate
3600 O'Donnell Street, Ste. 960
Baltimore, Maryland 21224
410.327.4040
3. SITE ADDRESS: 10010 Junction Drive
Annapolis Junction, Maryland 20701
4. DEED REFERENCE: 21096 / 00478
5. PLAT NO.: 6380
6. TAX ACCOUNT: 490131
7. TAX MAP/ GRID/ PARCEL: 0048 / 0019 / 0177
8. COUNCIL DISTRICT: 3
9. CONGRESSIONAL DISTRICT: 3
10. LEGISLATIVE DISTRICT: 13
11. ELECTION PRECINCT: 6-01
12. ZONING: TOD - Transit Oriented Development
13. WATERSHED: Little Patuxent River
14. EXISTING USE: Office / Commercial
15. PROPOSED USE: Residential/650 Units
16. EXISTING TRACT AREA: ±7.08 AC
17. EXISTING IMPERVIOUS AREA: ±6.3 AC (277,564 SF)
18. PROPOSED LOTS: Lot 1 - ±3.48 AC (151,586 SF)
Lot 2 - ±3.60 AC (156,975 SF)
Total LOD - ±5.6 AC (246,114 SF)
19. PROPOSED IMPERVIOUS AREA: Lot 1 - 15,510 SF (10.2%)
Lot 2 - 15,706 SF (10.0%)
20. PROPOSED AMENITY AREA: ±7.3 AC (316,099 SF)
21. LIMIT OF DISTURBANCE: ±7.3 AC (316,099 SF)
22. PARKING SUMMARY
REQUIRED: 2.3 spaces per dwelling unit
@ 650 units = 1,495 spaces
Lot 1 - 759 spaces
Lot 2 - 736 spaces
Total = 1,495 spaces
PROVIDED:
23. STEEP SLOPE AREA (15%): 0 AC/0 SF
24. ERODIBLE SOILS AREA: 0 AC/0 SF
25. This site is not within the Chesapeake Bay Critical Area.
26. There are no existing forest stands on the site.
27. There are no existing wetlands on the site.
28. There are no existing flood plains on the site. The site is located in an area of minimal flood hazard according to FEMA Map Panel 24027C0235D, effective 11/6/2013.
29. This site is not a Howard County Historic Site.

SKETCH PLAN
10010 JUNCTION DRIVE



EXISTING CONDITIONS PLAN



COORDINATES, BEARINGS, AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND COORDINATE SYSTEM (NAD83/2011) AND BASE ON THE FOLLOWING REFERENCE STATIONS VIA GPS OBSERVATIONS:

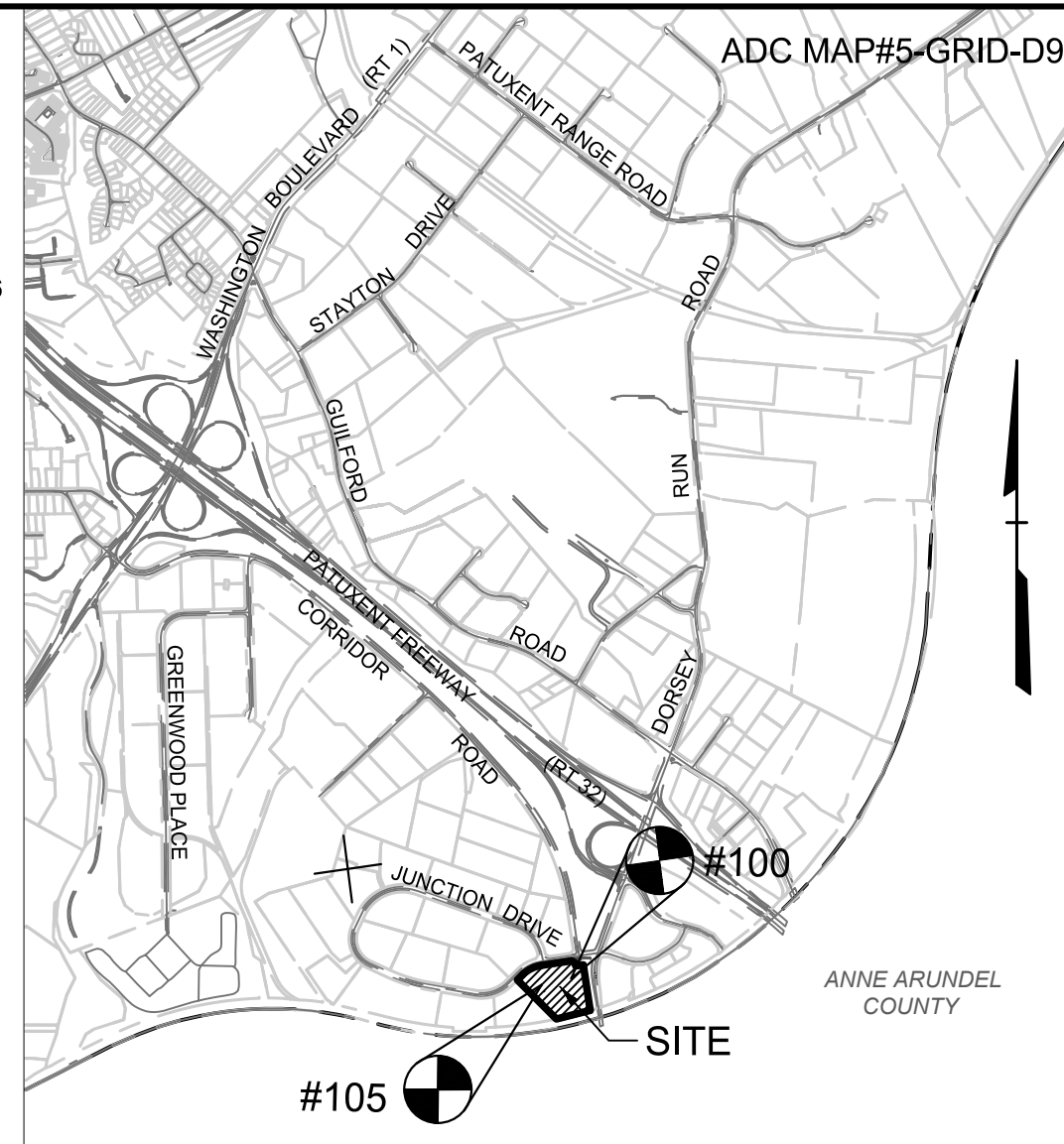
MSDK-388 N 677,226.3107 E 1,410,586.9454 ELEV. 525.6266
LOYF-371 N 476,639.2389 E 1,448,171.6544 ELEV. 61.5276

BENCHMARK DATA

#100 PK NAIL IN A MACADAM PARKING LOT
N 530,803.0769
E 1,369,349.8866 ELEV.184.96
#105 PK NAIL IN A MACADAM PARKING LOT
N 530,855.7553
E 1,369,575.1330 ELEV.184.49

SHEET INDEX

Table with 2 columns: NO. and TITLE. Rows include COVER SHEET, LAYOUT & SUBDIVISION PLAN, GRADING / SWM / UTILITY PLAN, EXISTING DRAINAGE AREA MAP, PROPOSED DRAINAGE AREA MAP, SIGHT DISTANCE EXHIBIT (3 times).



VICINITY MAP

SCALE: 1"=2000'

Table: MODERATE INCOME HOUSING UNIT (MIHU) APPLICATION EXEMPTIONS TRACKING. Columns: CATEGORY, QUANTITY. Rows: TOTAL UNIT COUNT (650), MIHU UNITS (98), NET UNITS requiring allocations (552).

Table: APFO SCHEDULE. Columns: #UNITS, YEAR. Rows: 300 (2026), 252 (2027), TOTAL (552).

LEGEND

- Existing Minor Contour
Existing Major Contour
Existing Edge of Paving
Existing Road Centerline
Zoning Boundary Line
Soils Line
Existing Storm Drain and Inlet
Existing Water and Fire Hydrant
Existing Sewer
Existing Curb and Gutter
Existing Underground Electric
Existing Overhead Electric
Existing Fiber Optic
Existing Cable Television
Existing Gas and Valve
Existing BGE Light Pole
Existing Sign
Existing Electric Structure
Existing Fence Line
Existing Tree Line
Existing Drive
Existing Building
Tract Boundary
Adjacent Property Lines
Utility Easement Line

FIRE PROTECTION NOTE:

- 1. RESIDENTIAL BUILDINGS ARE REQUIRED TO HAVE FIRE PROTECTION TO MEET THE FULL REQUIREMENTS OF NFPA 13.
2. PARKING GARAGES ARE REQUIRED TO HAVE FIRE PROTECTION AND VENTILATION REQUIREMENTS IN ACCORDANCE WITH NFPA 88a/NFPA 13.

PREVIOUS DPZ FILES

- ECF-23-046
SDP-87-238
F-84-204
P-84-010
44-15780-RS-p01

DATA SOURCES:

Off-site information shown on this plan was downloaded from the Howard County G.I.S. web page. On-site information is from a field survey dated 3/15/2023 by Century Engineering.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024

DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY. Includes logo and signature of Linda Benberg, Planning Director, dated 12/1/2023.

CENTURY ENGINEERING A Kleinfelder Company. 10710 Gilroy Road, Hunt Valley, MD 21031. Phone: 443.589.2400 www.centuryeng.com

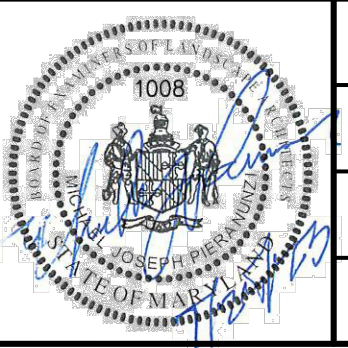


Table with columns: DESIGN BY (LMV / KAD), DRAWN BY (LMV), CHECKED BY (MJP), DATE (7.25.23), and REVISION/DATE columns.

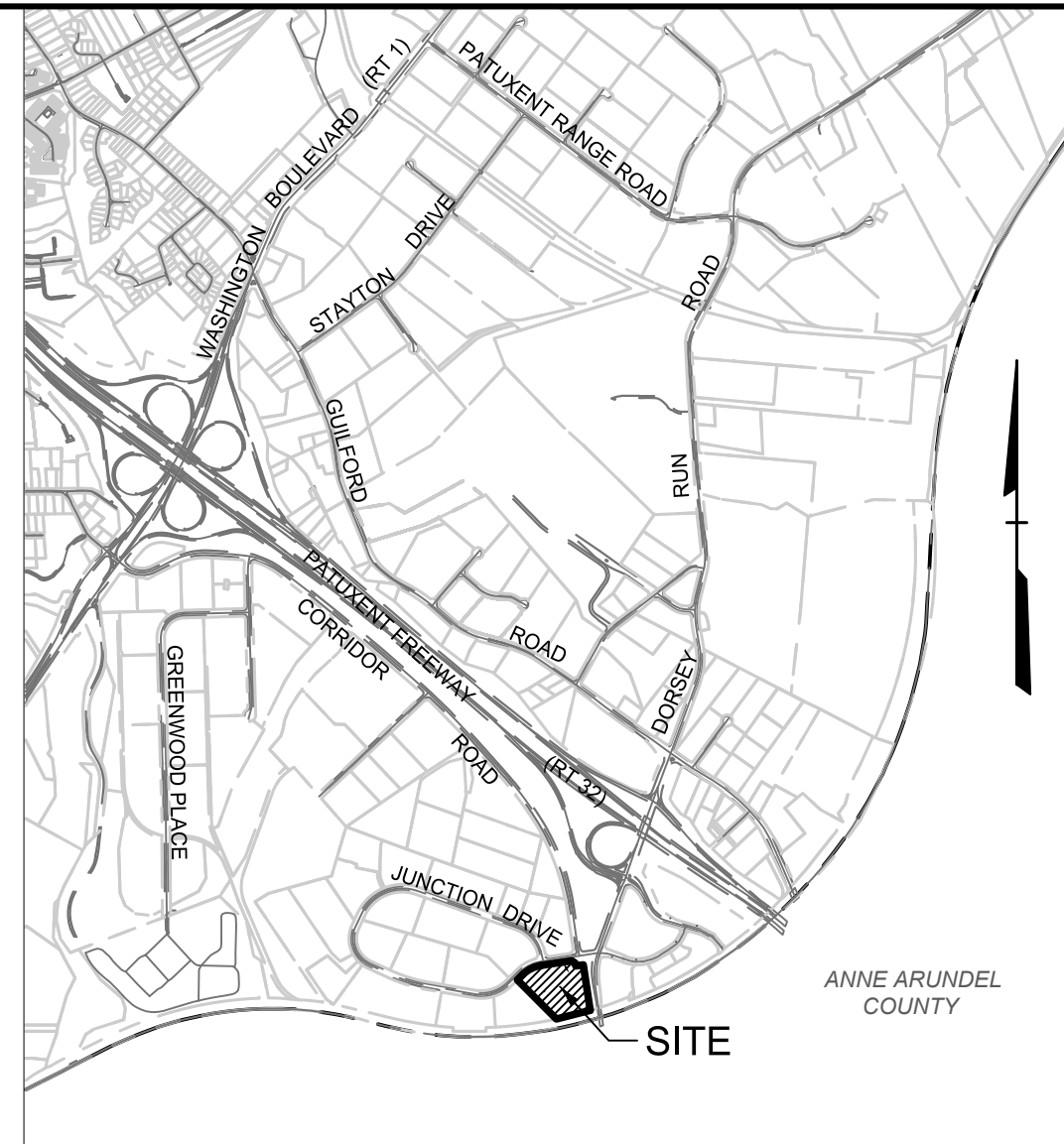
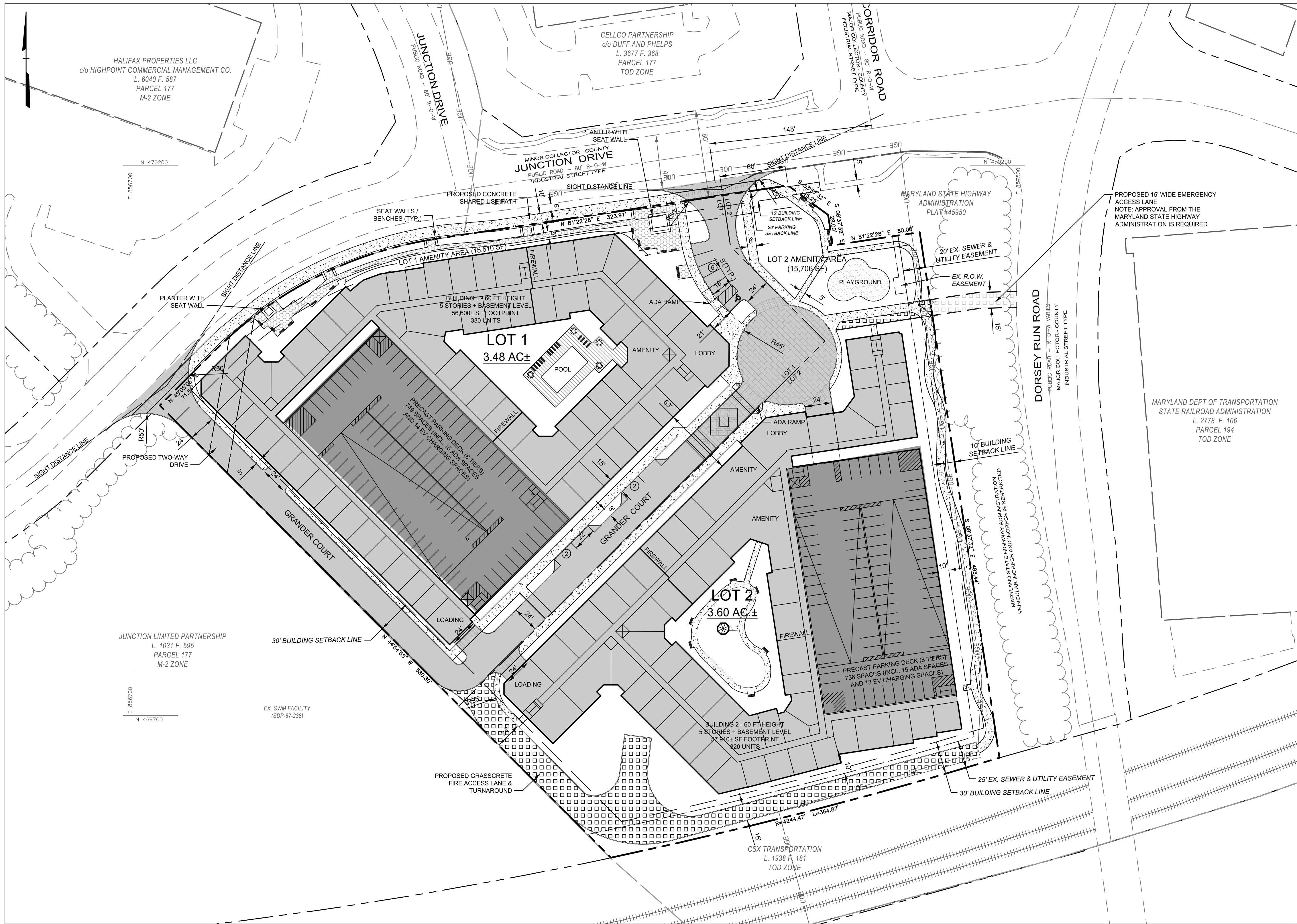
OWNER (TENANCY IN COMMON)
GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC
25 S. CHARLES STREET, SUITE 1300 BALTIMORE, MARYLAND 21201
3600 O'DONNELL STREET, SUITE 960 BALTIMORE, MARYLAND 21224

COVER SHEET SKETCH PLAN 10010 Junction Drive. SHEET 1 OF 8. Election District 6-01, TOD Zone.

C.E.I. PROJECT NUMBER 211133.001A. SCALE: As Shown.

PROGRAM SUMMARY

- 1. PROPOSED LOTS: Lot 1 - ±3.48 AC (151,586 SF)
Lot 2 - ±3.60 AC (156,975 SF)
- 2. PROPOSED UNITS: Lot 1 - 330 units
Lot 2 - 320 units
- 3. RESIDENTIAL USE AREA: Lot 1 - ±56,500 SF (37.3%)
Lot 2 - ±57,910 SF (36.9%)
- 4. PROPOSED AMENITY AREA: Lot 1 - 15,510 SF (10.2%)
Lot 2 - 15,706 SF (10.0%)
- 5. INTERIOR ROAD AREA: ±27,000 SF
- 6. PARKING SUMMARY
Lot 1 - 10 surface parking spaces (Incl. 1 ADA space)
749 garage parking spaces (Incl. 15 ADA spaces)
Total = 759 spaces
Lot 2 - 736 garage parking spaces (Incl. 15 ADA spaces)
Total = 736 spaces
- 7. BUILDING SUMMARY
Lot 1 (Building 1) = 60 ft height (5 stories + basement level)
Lot 2 (Building 2) = 60 ft height (5 stories + basement level)



VICINITY MAP

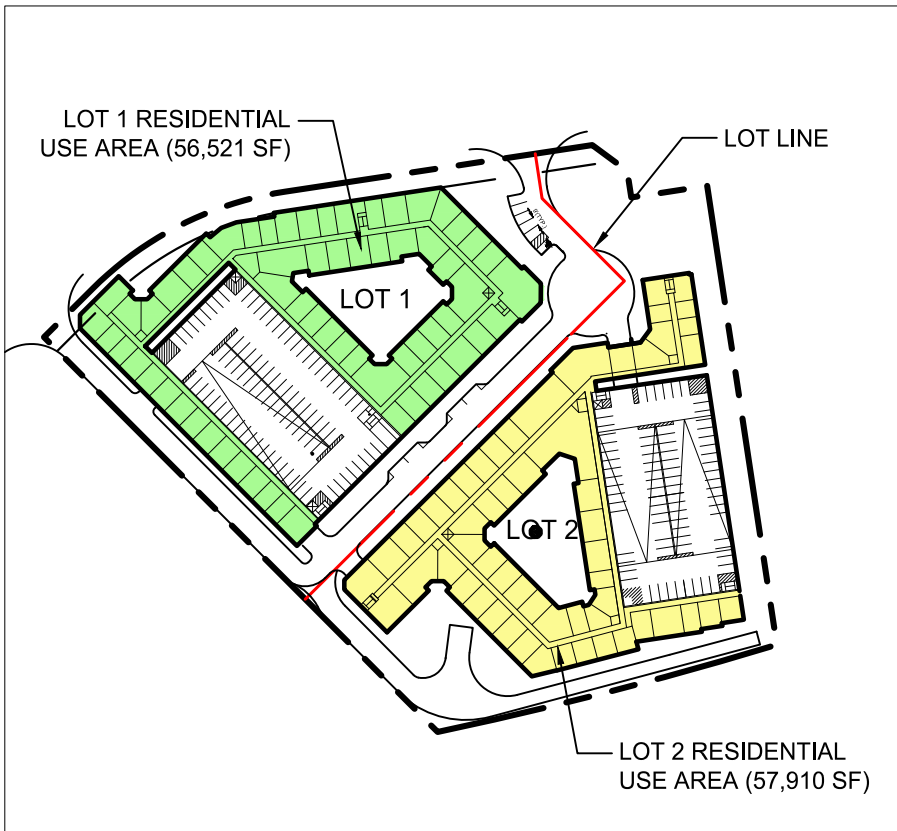
SCALE: 1"=2000'

LEGEND

- Tract Boundary
- Interior Lot Line
- Adjacent Property Lines
- Utility Easement Line
- Building Setback Line
- Zoning Boundary Line
- Existing Edge of Paving
- Existing Road Centerline
- Existing Curb and Gutter
- Existing Tree Line
- Existing Building
- Proposed Building
- Proposed Parking Structure
- Proposed Paving
- Proposed Curb & Gutter
- Limit of Disturbance
- Proposed Concrete Sidewalk
- Grasscrete Fire Lane

FIRE PROTECTION NOTE:

1. RESIDENTIAL BUILDINGS ARE REQUIRED TO HAVE FIRE PROTECTION TO MEET THE FULL REQUIREMENTS OF NFPA 13.
2. PARKING GARAGES ARE REQUIRED TO HAVE FIRE PROTECTION AND VENTILATION REQUIREMENTS IN ACCORDANCE WITH NFPA 88a/NFPA 13.

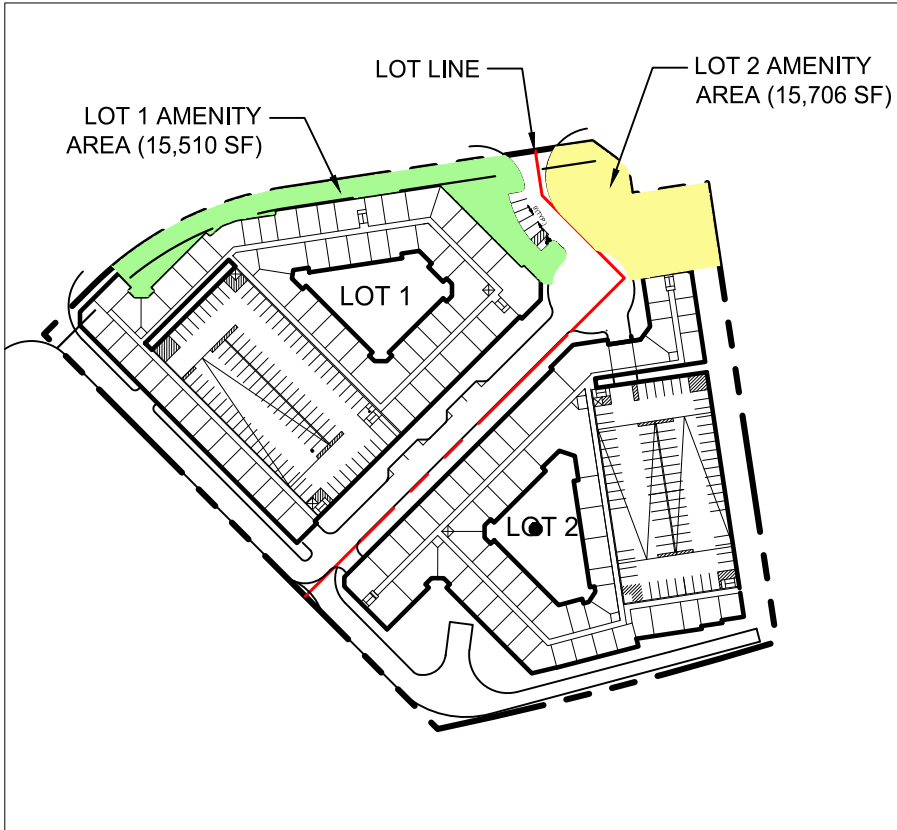


RESIDENTIAL USE AREA

SCALE: 1"=200'

LOT 1:
DEVELOPABLE AREA = 151,586 SF
RESIDENTIAL USE = 56,521 SF (37.3%)

LOT 2:
DEVELOPABLE AREA = 156,975 SF
RESIDENTIAL USE = 57,910 SF (36.9%)



AMENITY AREA

SCALE: 1"=200'

LOT 1:
LOT AREA = 151,586 SF
AMENITY AREA = 15,510 SF (10.2%)

LOT 2:
LOT AREA = 156,975 SF
AMENITY AREA = 15,706 SF (10.0%)

NOTE: NO MORE THAN 50% OF THE DEVELOPABLE AREA, EXCLUDING ROAD RIGHT-OF-WAY AND OPEN SPACE, SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND PARKING. FOR PARCELS THAT ARE 5 ACRES OR LESS, NO MORE THAN 50% OF THE DEVELOPABLE ACREAGE, EXCLUDING ROAD RIGHT-OF-WAYS, OPEN SPACE, AND STRUCTURED PARKING, SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND SURFACE PARKING LOTS.

PLAN

SCALE: 1"=50'



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024

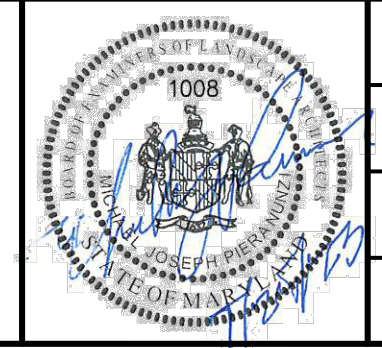
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Documented by: *Lynda Benary*
PLANNING DIRECTOR

12/1/2023
DATE

CENTURY ENGINEERING
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com



| | | | | |
|-------------|-----------|----------|------|--|
| DESIGN BY: | Ci / LMV | | | |
| DRAWN BY: | LMV / KAD | | | |
| CHECKED BY: | MJP | | | |
| DATE: | 7.25.23 | | | |
| BY | NO. | REVISION | DATE | |

OWNER
(TENANCY IN COMMON)

GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC

25 S. CHARLES STREET, SUITE 1300 3600 O'DONNELL STREET, SUITE 960
BALTIMORE, MARYLAND 21201 BALTIMORE, MARYLAND 21224
PHONE: 410-800-7330 PHONE: 410-327-4040

SITE LAYOUT & SUBDIVISION PLAN
SKETCH PLAN
10010 Junction Drive

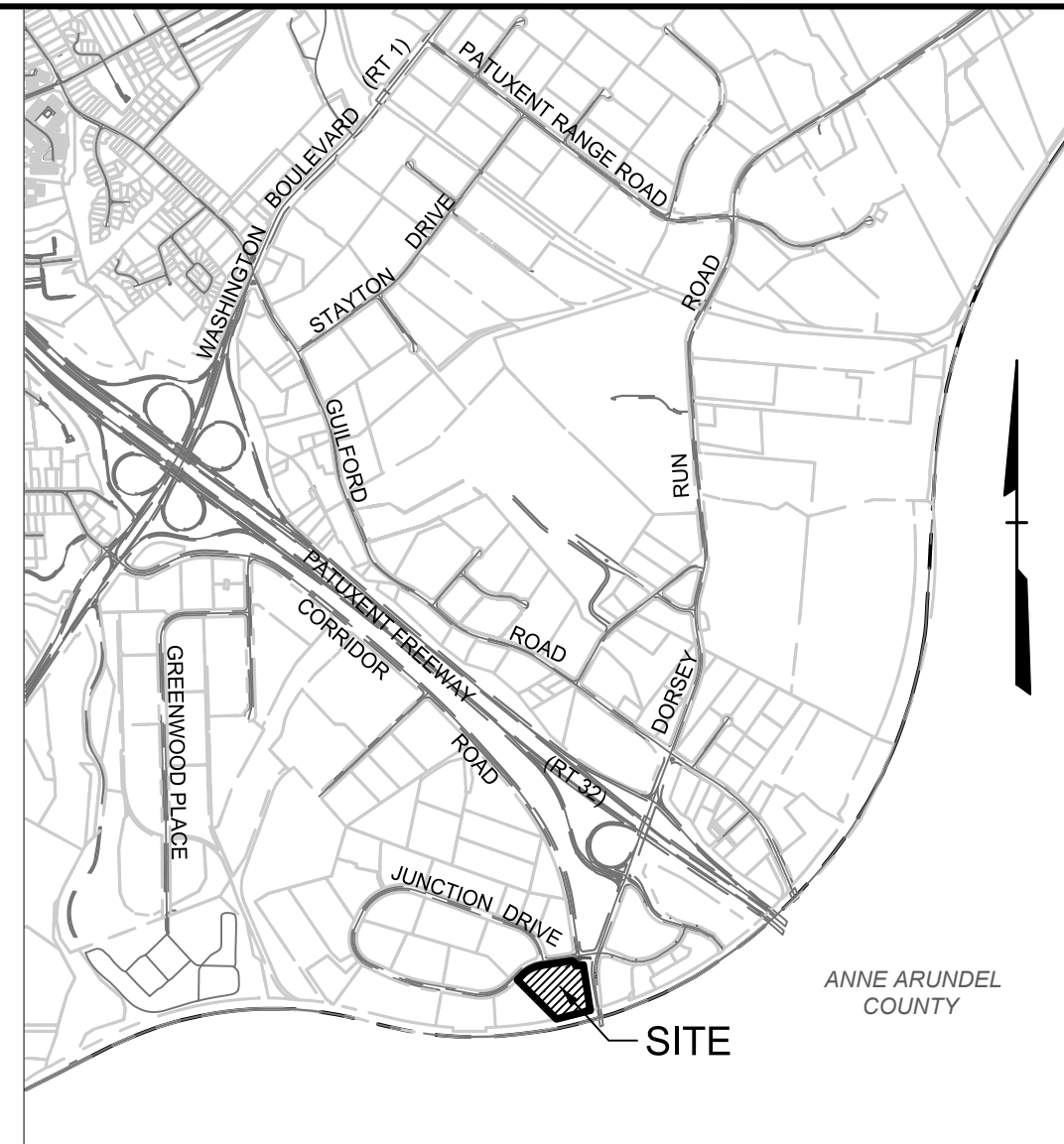
Junction Industrial Park, Parcel S-1
Annapolis Junction, Howard County, Maryland 20701
Tax Map: 0048 Grid: 0019 Parcel: 0177 Lot: S-1
Plan #5379-6380

Election District 6-01 SHEET 2 OF 8 TOD Zone

C.E.I. PROJECT NUMBER
21133.001A

SCALE:
As Shown

S-23-004



VICINITY MAP

SCALE: 1"=2000'

LEGEND

- - - - - 576 - - - - - Existing Minor Contour
- - - - - 670 - - - - - Existing Major Contour
- - - - - Existing Edge of Paving
- - - - - Existing Road Centerline
- - - - - Existing Boundary Line
- Av || Soils Line
- EX. 15" D. SD Existing Storm Drain and Inlet
- EX. 12" W. Existing Water and Fire Hydrant
- EX. 8" S. Existing Sewer
- Existing Curb and Gutter
- UGE Existing Underground Electric
- OHE Existing Overhead Electric
- FO Existing Fiber Optic
- CTV Existing Cable Television
- EX. 4" GAS (HP) Existing Gas and Valve
- BGE542497 Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- X - X - Existing Fence Line
- Existing Tree Line
- Existing Drive
- Existing Building
- Tract Boundary
- Lot Line
- Adjacent Property Lines
- Utility Easement Line
- Proposed Grades
- 660
- 658
- PR. 8" S. Proposed Sewer
- PR. 8" W. Proposed Water and Fire Hydrant
- PR. SD. Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- X - X - Proposed Fence
- Proposed Concrete Sidewalk
- LOD Limit of Disturbance
- Proposed Parking Structure
- Proposed Building & Paving
- Proposed SWM Structure

PLAN
SCALE: 1"=50'

FIRE PROTECTION NOTE:
 1. RESIDENTIAL BUILDINGS ARE REQUIRED TO HAVE FIRE PROTECTION TO MEET THE FULL REQUIREMENTS OF NFPA 13.
 2. PARKING GARAGES ARE REQUIRED TO HAVE FIRE PROTECTION AND VENTILATION REQUIREMENTS IN ACCORDANCE WITH NFPA 88a/NFPA 13.

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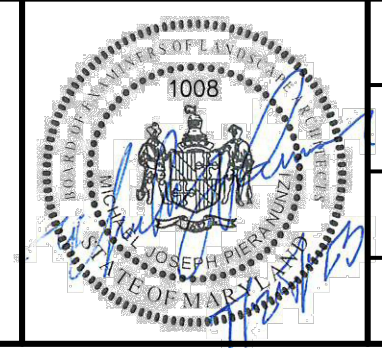
TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

DocuSigned by:
 Lynda Eisenberg
 12/1/2023

PLANNING DIRECTOR DATE

CENTURY ENGINEERING
 A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 www.centuryeng.com



| | | | |
|------------------------|--|----------|------|
| DESIGN BY: Ci / KAD | | | |
| DRAWN BY: KAD | | | |
| CHECKED BY: MJP | | | |
| DATE: 7.25.23 | | | |
| BY NO. | | REVISION | DATE |

OWNER
 (TENANCY IN COMMON)

GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC

25 S. CHARLES STREET, SUITE 1300 3600 O'DONNELL STREET, SUITE 900
 BALTIMORE, MARYLAND 21201 BALTIMORE, MARYLAND 21224
 PHONE: 410-800-7330 PHONE: 410-327-4040

GRADING / SWM / UTILITY PLAN
SKETCH PLAN
 10010 Junction Drive

Junction Industrial Park, Parcel S-1
 Annapolis Junction, Howard County, Maryland 20701
 Tax Map: 0048 Grid: 0019 Parcel: 0177 Lot: S-1
 Plat: R6379-6380

Election District 6-01 SHEET 3 OF 8 TOD Zone

C.E.I. PROJECT NUMBER
 211133.001A

SCALE:
 As Shown

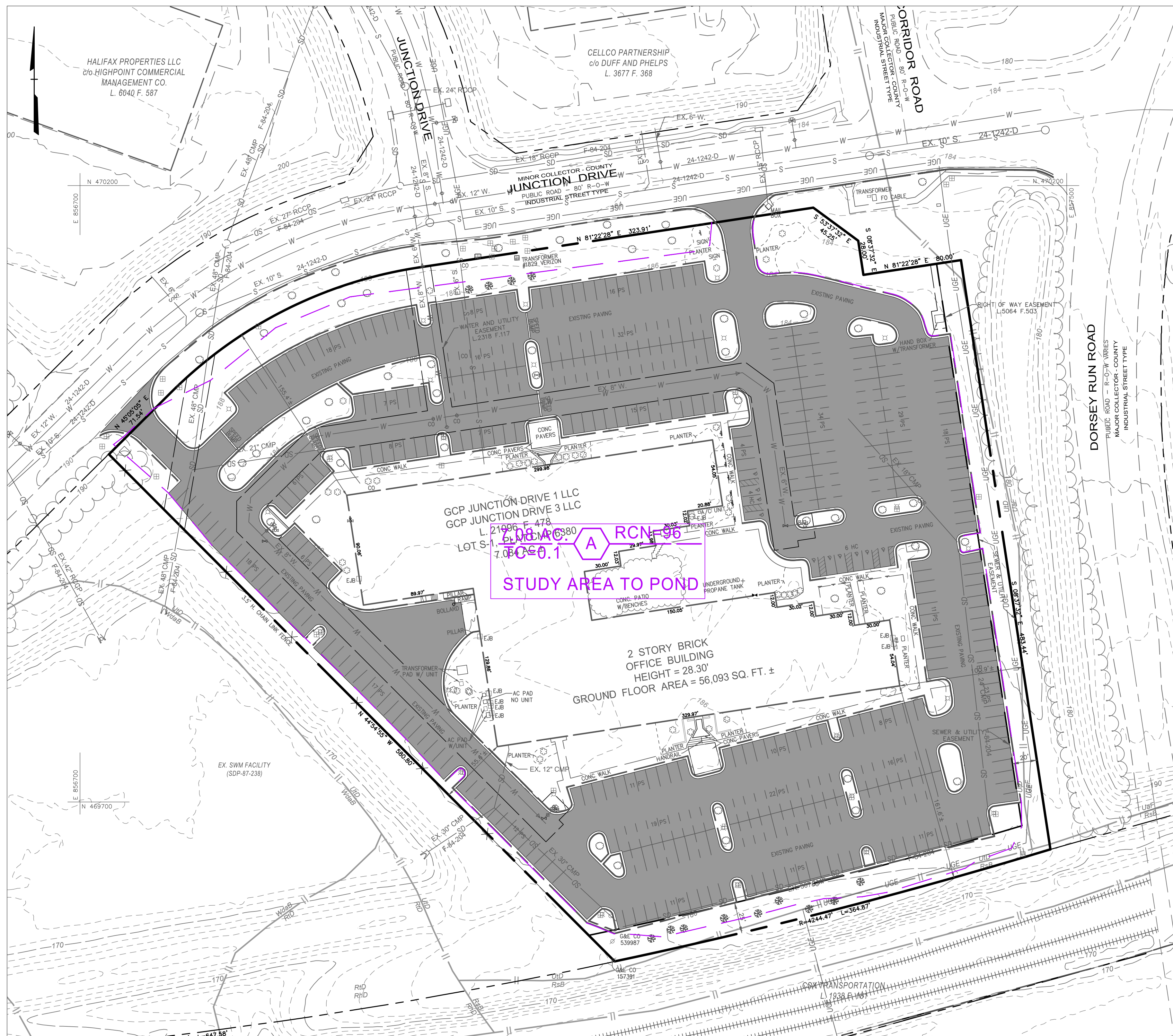
S-23-004

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T:\2024\Facilities\21133.00 Junction Industrial Park Section 1\GM\LCADD\Drawings\4_Sketch Plan\21133.00 (SP-04) EX Drainage Area Map.dwg Oct 05, 2023 8:07pm kdaley

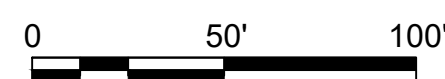
LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Existing Road Centerline
- Zoning Boundary Line
- Soils Line
- Existing Storm Drain and Inlet
- Existing Water and Fire Hydrant
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- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Field-Run Topography
- Tract Boundary
- Adjacent Property Lines
- Utility Easement Line
- Limit of Disturbance
- Drainage Area Line
- Drainage Areas



PLAN

SCALE: 1"=50'



VICINITY MAP

SCALE: 1"=2000'

| SOIL CHART | | | | | |
|------------|----------------------------------|--------|------------------|-------------|----------|
| KEY | NAME | SLOPE | HYDROLOGIC GROUP | HYDRIC SOIL | K-FACTOR |
| Rsb | Russett Fine Sandy Loam | 2-5% | C | NO | .28 |
| RtD | Russett-Alloway-Hambrook Complex | 10-15% | C | NO | .28 |
| UaF | Udorthents, Highway | 0-65% | - | NO | - |
| UHD | Urban Land-Udorthents Complex | 0-15% | D | NO | - |
| WdaB | Woodstown Sandy Loam | 2-5% | C | NO | .24 |

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LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024

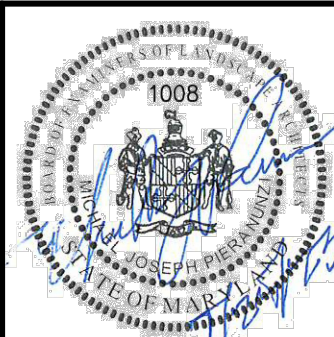
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynda Eisenberg
220693586942E

PLANNING DIRECTOR DATE: 12/1/2023

CENTURY ENGINEERING
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com



| | | | |
|--------------------|-----|----------|------|
| DESIGN BY: KAD | | | |
| DRAWN BY: KAD | | | |
| CHECKED BY: MJP | | | |
| DATE: 7.25.23 | | | |
| BY | NO. | REVISION | DATE |

OWNER
(TENANCY IN COMMON)

GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC

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BALTIMORE, MARYLAND 21201 BALTIMORE, MARYLAND 21224
PHONE: 410-800-7330 PHONE: 410-327-4040

EXISTING DRAINAGE AREA MAP
SKETCH PLAN
10010 Junction Drive

Junction Industrial Park, Parcel S-1
Annapolis Junction, Howard County, Maryland 20701
Tax Map: 0048 Grid: 0019 Parcel: 0177 Lot: S-1
Plan: R5379-6380

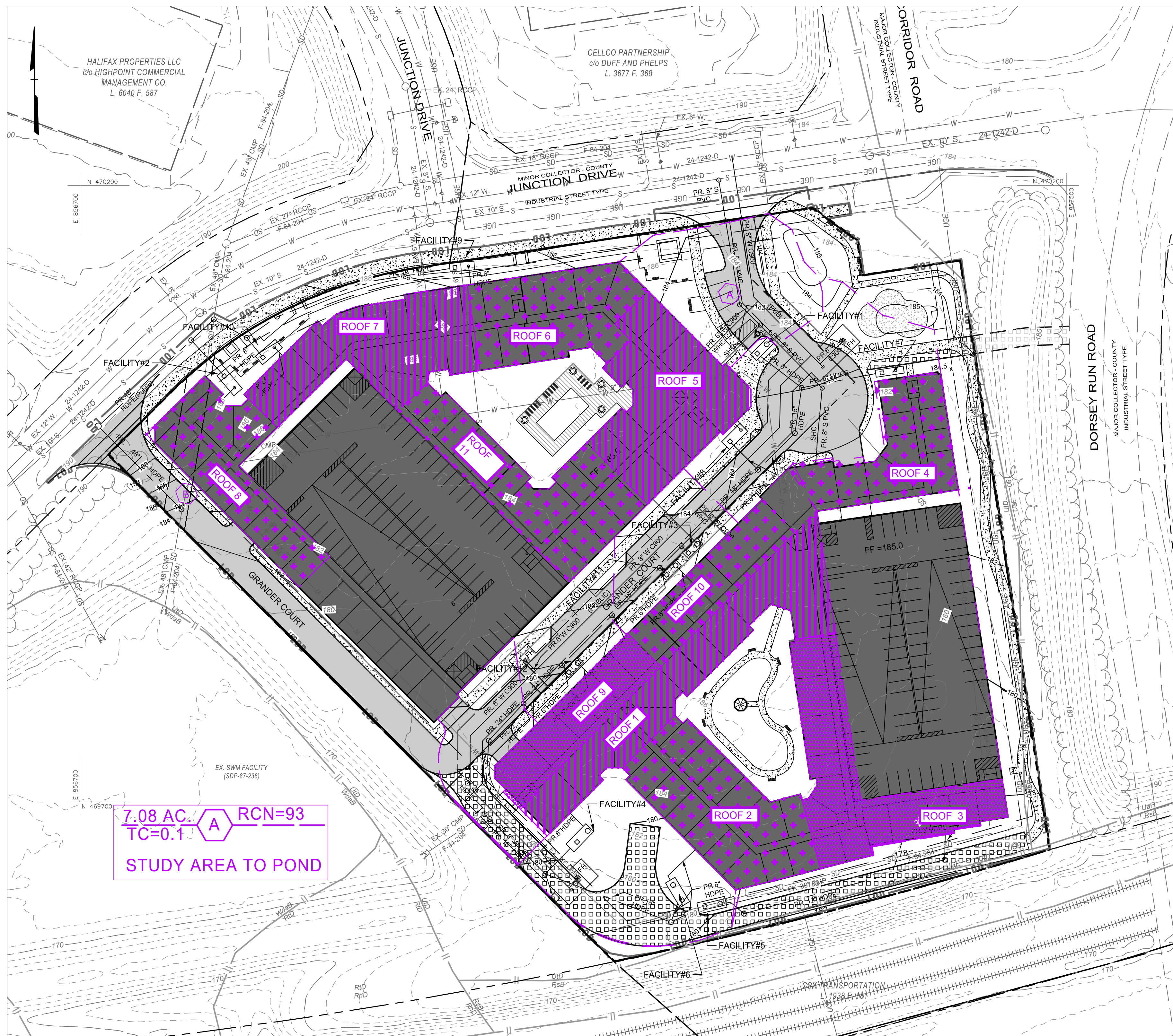
Election District 6-01 SHEET 4 OF 8 TOD Zone

C.E.I. PROJECT NUMBER: 211133.001A
SCALE: As Shown

T:\2024\Facilities\21133.00 (SP-05) PR Drainage Area Map.dwg Nov 21, 2023 9:34am lvsccare

LEGEND

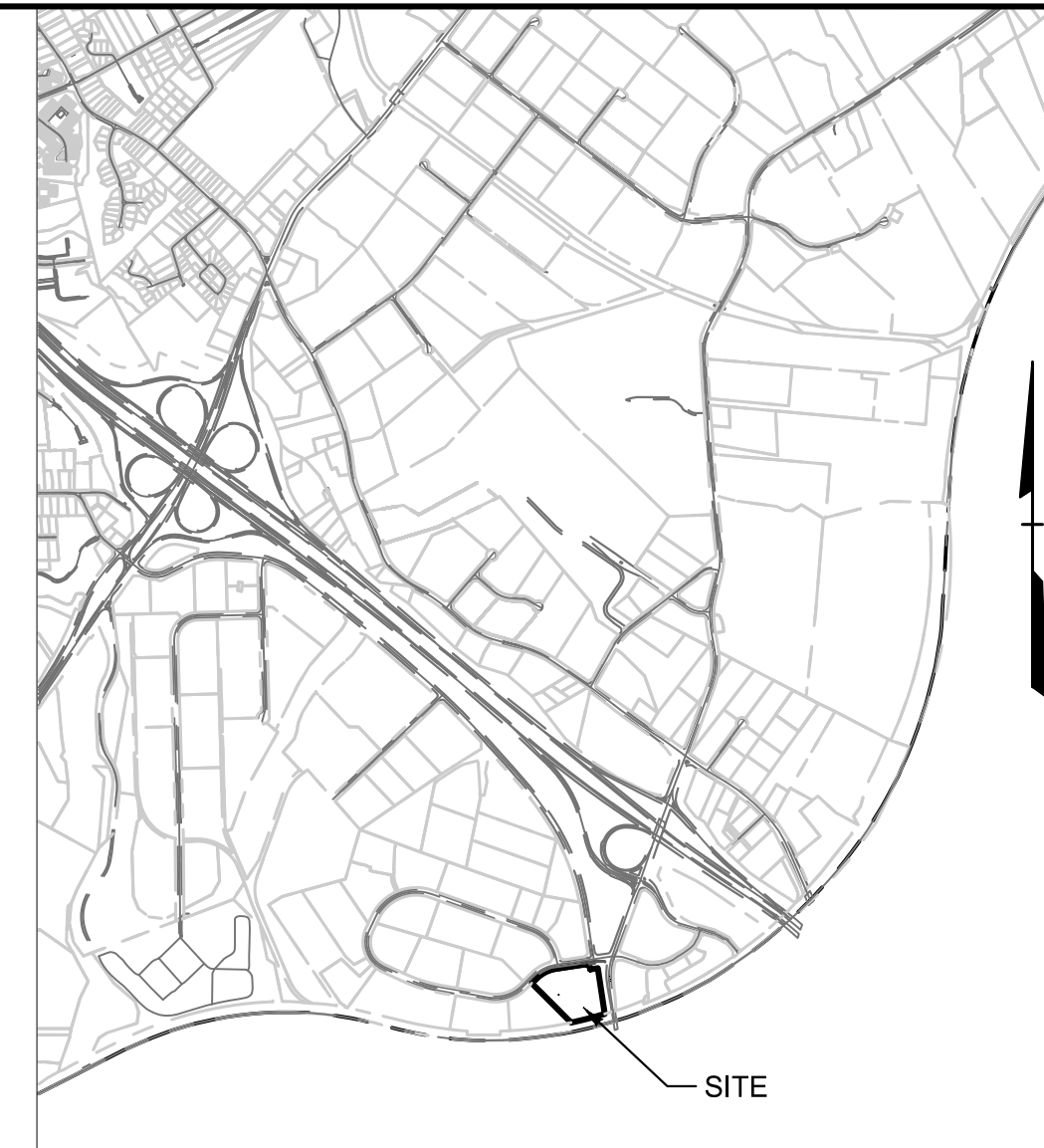
- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Existing Road Centerline
- Zoning Boundary Line
- Soils Line
- Existing Storm Drain and Inlet
- Existing Water and Fire Hydrant
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- Existing Sign
- Existing Electric Structure
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- Existing Retaining Wall
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- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- Proposed Fence
- Proposed Concrete Sidewalk
- Limit of Disturbance
- Proposed Building
- Proposed Paving
- Proposed SWM Structure
- Roof Drainage Areas
- Drainage Area Divide
- Drainage Areas
- Proposed Concrete Sidewalk
- Grasscrete Fire Lane



PLAN

SCALE: 1"=50'
0 50' 100'

NOTE: THE SWM SYSTEMS SHOWN ON THIS PLAN ARE AN APPROXIMATION OF THE SIZE, SHAPE AND LOCATION. IT IS UNDERSTOOD THAT THIS SYSTEM HAS NOT BEEN DESIGNED AND THE ACTUAL DESIGN MAY CHANGE, ALTERING THE NUMBER OF UNITS ALLOWED.



VICINITY MAP

SCALE: 1"=2000'

ESDv SUMMARY
 SWM LOD=7.08 Acres
 Existing Impervious=6.37 Acres (90% Impervious)
 Proposed Impervious=5.65 Acres
 IART=6.37 x 0.50 = 3.186 -(6.37-5.65=0.72)=2.46 Acres
 ESDv REQUIRED=8,497cu.ft.
 PROVIDED=11,492 cu.ft.
 TOTAL IART REQUIRED TO BE TREATED= 2.46 ACRES
 PROVIDED=2.6 ACRES

| ESD FACILITY SUMMARY TABLE | | | | | |
|----------------------------|-----------------------------|--------------------|------------------|--------------------|----------------------|
| Facility Number | Facility Type | Drainage Area Name | Drainage Area SF | Impervious Area SF | Equivalent WQV(cf) * |
| 1 | Storm Garden SGPT-10'X8' | A | 12,413 | 6,928 | 1,252 |
| 2 | Storm Garden SGRL-0810 | Roof 8 | 8,163 | 8,163 | 1,072 |
| 3 | Storm Garden SGRL-0810 | Roof 11 | 10,794 | 10,794 | |
| 4 | Storm Garden SGRL-0810 | Roof 1 | 12,160 | 12,160 | |
| 5 | Storm Garden SGRL-0810 | Roof 2 | 11,584 | 11,584 | |
| 6 | Storm Garden SGRL-0810 | Roof 3 | 12,172 | 12,172 | |
| 7 | Storm Garden SGRL-0810 | Roof 4 | 9,981 | 9,981 | |
| 8 | Storm Garden SGRL-0608 | Roof 5 | 9,031 | 9,031 | |
| 9 | Storm Garden SGRL-0810 | Roof 6 | 11,696 | 11,696 | |
| 10 | Storm Garden SGRL-0608 | Roof 7 | 8,964 | 8,964 | |
| 12* | Storm Garden SGRL-0606 | Roof 9 | 6,113 | 6,113 | |
| 11* | Storm Garden SGRL-0606 | Roof 10 | 5,883 | 5,883 | |
| *Custom Size equivalent | | | | | |
| | | | TOTAL PROVIDED | 113,469 2.6 AC. | 11,492 |

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY
 Planning Director: *Linda Esenberg*
 DATE: 12/1/2023

CENTURY ENGINEERING
 A Kleinfelder Company
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 www.centuryeng.com

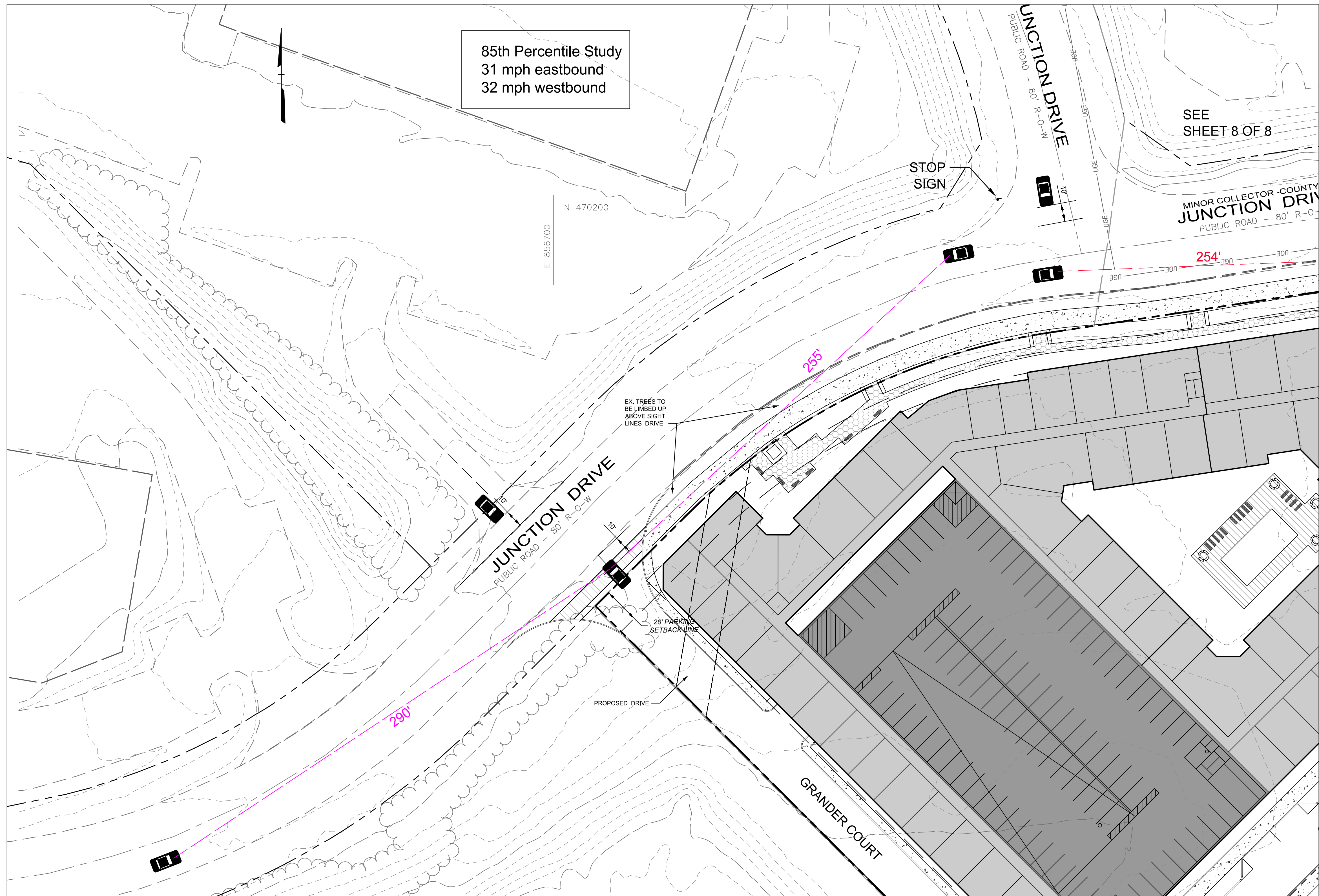


| | | | |
|-------------------------|--|----------|------|
| DESIGN BY: LMV / KAD | | | |
| DRAWN BY: LMV | | | |
| CHECKED BY: MJP | | | |
| DATE: 7.25.23 | | | |
| BY NO. | | REVISION | DATE |

OWNER
 (TENANCY IN COMMON)
 GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC
 25 S. CHARLES STREET, SUITE 1300 3600 O'DONNELL STREET, SUITE 960
 BALTIMORE, MARYLAND 21201 BALTIMORE, MARYLAND 21224
 PHONE: 410-800-7330 PHONE: 410-327-4040

PROPOSED DRAINAGE AREA MAP
SKETCH PLAN
 10010 Junction Drive
 Junction Industrial Park, Parcel S-1
 Annapolis Junction, Howard County, Maryland 20701
 Tax Map: 0048 Grid: 0019 Parcel: 0177 Lot: S-1
 Plat: R6379-6380
 SHEET 5 OF 8
 Election District 6-01
 TOD Zone

C.E.I. PROJECT NUMBER
 211133.001A
 SCALE:
 As Shown



85th Percentile Study
31 mph eastbound
32 mph westbound

SEE SHEET 8 OF 8

MINOR COLLECTOR - COUNTY
JUNCTION DRIVE
PUBLIC ROAD - 80' R-0-

STOP SIGN

JUNCTION DRIVE
PUBLIC ROAD - 80' R-0-W

EX. TREES TO BE LIMBED UP ABOVE SIGHT LINES DRIVE

20' PARKING SETBACK LINE

PROPOSED DRIVE

GRANDUR COURT

PLAN

SCALE: 1"=30'
0 30' 60'

SEE PROFILE SHEET 7

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024

DATA SOURCES:
Off-site information shown on this plan was downloaded from the Howard County G.I.S. web page. On-site information is from a field survey dated 3/15/2023 by Century Engineering.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Linda Esenberg
PLANNING DIRECTOR

12/1/2023
DATE

CENTURY ENGINEERING
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

| | | | |
|----------------------------------|----|-----|----------|
| DESIGN BY: LMV LMV | | | |
| DRAWN BY: LMV | | | |
| CHECKED BY: MJP | | | |
| DATE: 7.25.23 | BY | NO. | REVISION |
| | | | DATE |

OWNER
(TENANCY IN COMMON)

GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC

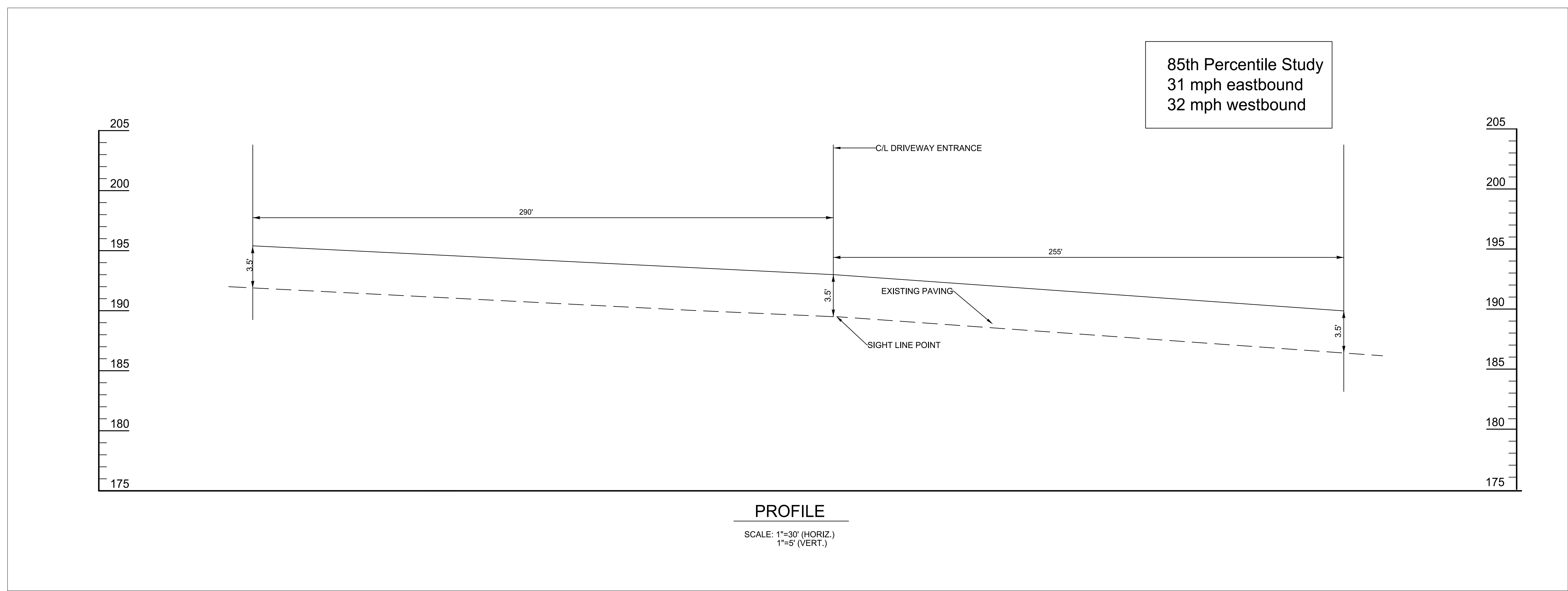
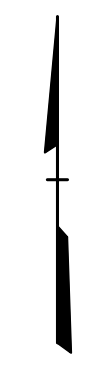
25 S. CHARLES STREET, SUITE 1300 3600 O'DONNELL STREET, SUITE 960
BALTIMORE, MARYLAND 21201 BALTIMORE, MARYLAND 21224
PHONE: 410-800-7330 PHONE: 410-327-4040

SIGHT DISTANCE EXHIBIT
SKETCH PLAN
10010 Junction Drive

Junction Industrial Park, Parcel S-1
Annapolis Junction, Howard County, Maryland 20701
Tax Map: 0048 Grid: 0019 Parcel: 0177 Lot: S-1
Plot #5379-6380

Election District 6-01 SHEET 6 OF 8 TOD Zone

C.E.I. PROJECT NUMBER: 211133.001A
SCALE: As Shown



PROFILE

SCALE: 1"=30' (HORIZ.)
1"=5' (VERT.)

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024

DATA SOURCES:
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T:\2024\Facilities\211133.00 Junction Industrial Park Section 1\GM\LCD\DD\Drawings\4_Sketch Plan\211133.00 (SP-xx) Site\Distance Exhibit.dwg Oct 05, 2023 5:59pm kdaley

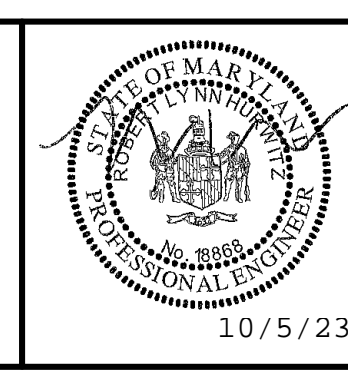
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynda Eschenberg
220683583942E

PLANNING DIRECTOR DATE: 12/1/2023

CENTURY ENGINEERING
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com



| | | | | |
|-------------|----------|----------|------|--|
| DESIGN BY: | Ci / LMV | | | |
| DRAWN BY: | LMV | | | |
| CHECKED BY: | MJP | | | |
| DATE: | 7.25.23 | | | |
| BY | NO. | REVISION | DATE | |

OWNER
(TENANCY IN COMMON)

GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC

25 S. CHARLES STREET, SUITE 1300 3600 O'DONNELL STREET, SUITE 960
BALTIMORE, MARYLAND 21201 BALTIMORE, MARYLAND 21224
PHONE: 410-800-7330 PHONE: 410-327-4040

SIGHT DISTANCE EXHIBIT
SKETCH PLAN
10010 Junction Drive

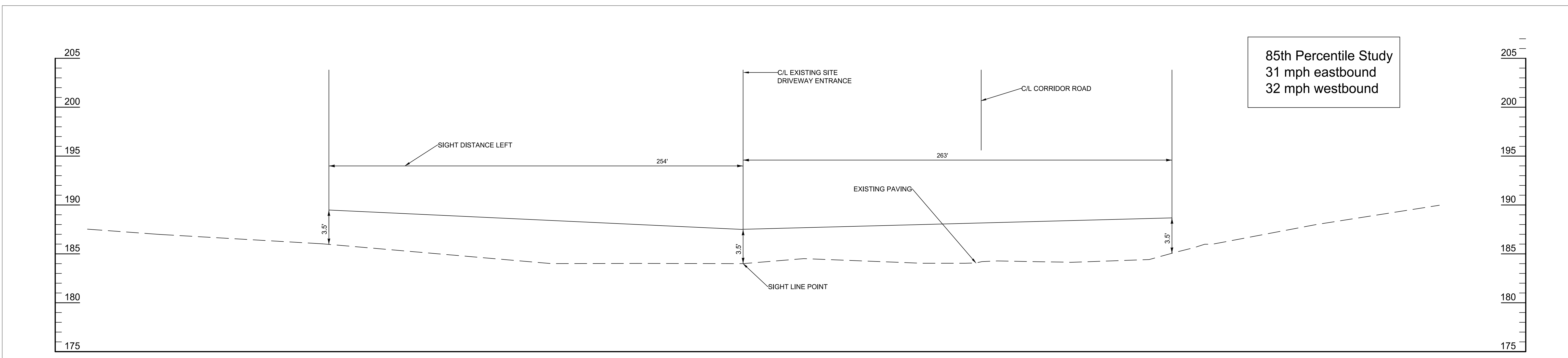
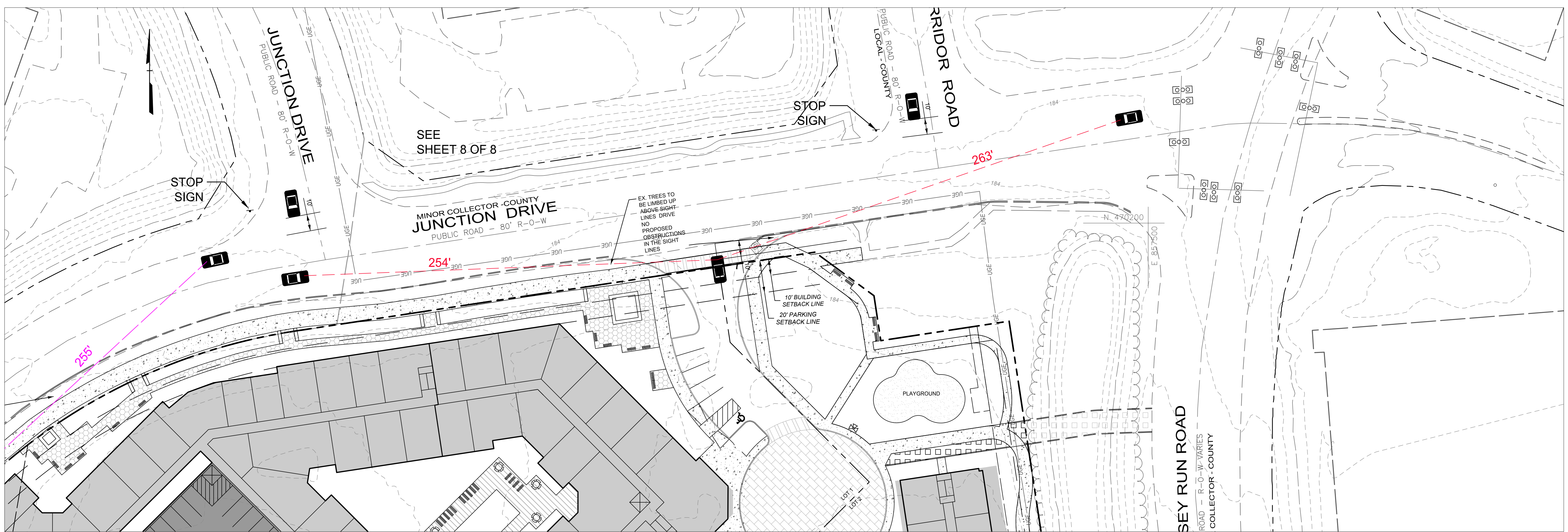
Junction Industrial Park, Parcel S-1
Annapolis Junction, Howard County, Maryland 20701
Tax Map: 0048 Grid: 0019 Parcel: 0177 Lot: S-1
Plot: 60379-6380

Election District 6-01 SHEET 7 OF 8 TOD Zone

C.E.I. PROJECT NUMBER
211133.001A

SCALE:
As Shown

S-23-004



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 1008 EXPIRATION DATE: 5/20/2024

DATA SOURCES:
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TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynnda Eisenberg
PLANNING DIRECTOR

12/1/2023
DATE

CENTURY ENGINEERING
A Kleinfelder Company

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

| | | | |
|------------------------------|----|-----|----------|
| DESIGN BY: LMV LMV | | | |
| DRAWN BY: LMV | | | |
| CHECKED BY: MJP | | | |
| DATE: 7.25.23 | BY | NO. | DATE |
| | | | REVISION |

OWNER
(TENANCY IN COMMON)

GCP JUNCTION DRIVE 1 LLC GCP JUNCTION DRIVE 3 LLC

25 S. CHARLES STREET, SUITE 1300 BALTIMORE, MARYLAND 21201 PHONE: 410-800-7330

3600 O'DONNELL STREET, SUITE 960 BALTIMORE, MARYLAND 21224 PHONE: 410-327-4040

SIGHT DISTANCE EXHIBIT
SKETCH PLAN
10010 Junction Drive

Junction Industrial Park, Parcel S-1
Annapolis Junction, Howard County, Maryland 20701
Tax Map: 0048 Grid: 0019 Parcel: 0177 Lot: S-1
Plan: B5379-6380

Election District 6-01 SHEET 8 OF 8 TOD Zone

C.E.I. PROJECT NUMBER
211133.001A

SCALE:
As Shown

S-23-004