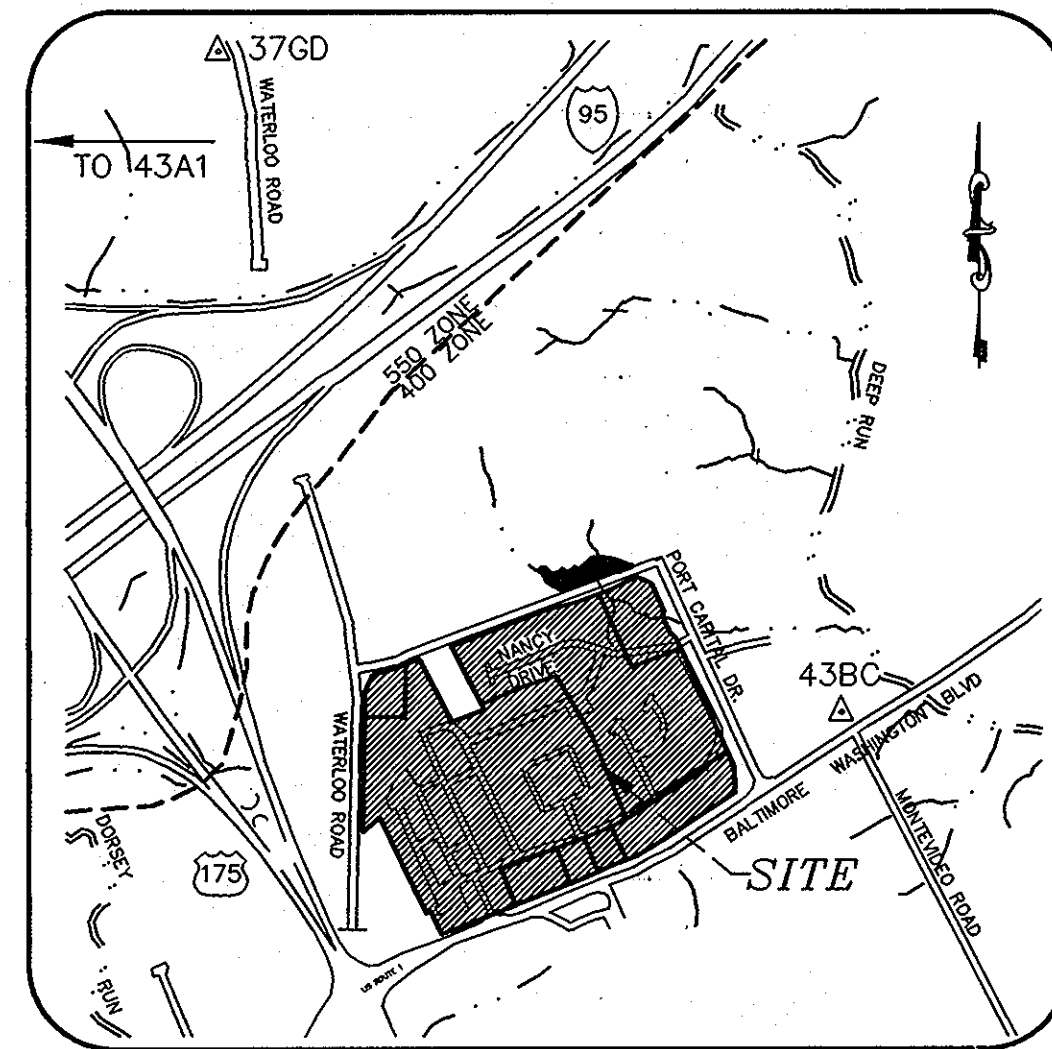


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# SKETCH PLAN ELKRIDGE VILLAGE CENTRE FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP  
SCALE: 1" = 1000'

### GENERAL NOTES:

- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
- PROJECT BACKGROUND:  
LOCATION: TAX MAP 43, PARCEL 8 AND "BOULEVARD MANOR, SECT. 1" RESERVED PARCEL 'B' & 'C' AND A PORTION OF LOTS 1-4 AND RESERVED PARCEL 'A' (P.B. 7, PAGE 83), PARCEL 118, PARCEL 12, "PLATZER TRACT" PARCEL 'B' (PLAT NO. 4607), "RESUBDIVISION OF PLATZER TRACT" PARCEL 'B-1' (PLAT NO. 4774), SAVING AND EXCEPTING "PLATZER TRACT" PARCEL 'B' (PLAT NO. 4607), "RESUBDIVISION OF PLATZER TRACT" PARCEL 'A-1' (PLAT NO. 4774), "RESUBDIVISION OF PLATZER TRACT" PARCEL 'C-1' (PLAT NO. 4774), AND "BOULEVARD MANOR, SECT. 1", A PORTION OF LOTS 5 & 6 (P.B. 7, PAGE 83), AND "RESUBDIVISION OF PLATZER TRACT" PARCEL 'D-1'.  
ZONING: PROPERTY IS ZONED CAC-CLU PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06.  
ELECTION DISTRICT: 1ST  
DPZ No. - SDP-92-79, WP-92-165, WP-93-44, WP-93-94, WP-94-47, WP-06-114, WP-07-052.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL SURVEY WITH TWO CONTOUR FOOT INTERVALS PREPARED BY WINGS TOPOGRAPHY DATED APRIL 2005.
- AREA TABULATION:  
CAC-CLU (CORRIDOR ACTIVITY CENTER) DISTRICT  
GROSS AREA: 43.7 AC.  
NET AREA: 43.2 AC.  
AREA OF ROAD DEDICATION: 0.22 AC.  
AMENITY AREA PROVIDED: 4.32 AC.  
AMENITY AREA PROVIDED: 7.89 AC.  
DENSITY: RESIDENTIAL 25 UNITS/NET ACRE  
COMMERCIAL 300 SQ.FT./UNIT  
NO. RESIDENTIAL UNITS ALLOWED: 1,067 UNITS  
NO. RESIDENTIAL UNITS PROVIDED: 1,067 UNITS  
(173 TOWNHOMES, 234 TWO OVER TWO, 128 CONDOMINIUM BUILDINGS, 532 APARTMENTS (ROUTE 1 FRONTAGE))  
NO. MODERATE INCOME HOUSING UNITS: 25% TOTAL UNITS = 267 UNITS  
AREA OF COMMERCIAL REQUIRED: 320,100 SQ.FT.  
(43,600 SQ.FT. RETAIL (GROUND FLOOR), 174,400 SQ.FT. OFFICE (ABOVE RETAIL), 102,100 SQ.FT. HOTEL (FREESTANDING-180 ROOMS))  
PARKING SPACES REQUIRED (RESIDENTIAL TOWNHOMES, TWO OVER TWO, CONDOMINIUM BUILDINGS): 2 SPACES/UNIT = 1070 SPACES  
OVERFLOW PARKING SPACES = 3 SPACES/UNIT = 161  
TOTAL PARKING SPACES REQUIRED RESIDENTIAL = 1231  
PARKING SPACES PROVIDED (RESIDENTIAL):  
TOWNHOMES (2 CAR GARAGES & 2 CAR DRIVEWAYS) = 692  
TWO OVER TWO UNITS (1 CAR GARAGE & 1 CAR DRIVEWAY) = 468 SPACES  
GARAGE STRUCTURES (CONDOMINIUM): 235 SPACES  
ON-STREET PARKING SPACES (1 SIDE): 175 SPACES  
PARKING SPACES REQUIRED (COMMERCIAL/RESIDENTIAL ALONG ROUTE 1):  
BASED ON SECTION 133.E PERMITTED REDUCTIONS IN OFF-STREET PARKING REQUIREMENTS OF THE 2006 ZONING REGULATIONS THE TOTAL NUMBER OF PARKING SPACES REQUIRED FOR THE BUILDINGS LOCATED ALONG ROUTE 1 = 1766 SPACES (INCLUDES RETAIL, OFFICE, RESIDENTIAL AND OVERFLOW)  
TOTAL PARKING SPACES PROVIDED ALONG ROUTE 1 (IN GARAGES) = 1766 SPACES  
TOTAL PARKING REQUIRED FOR HOTEL: 180 SPACES  
TOTAL PARKING PROVIDED FOR HOTEL: 180 SPACES (PROVIDED IN SAME BUILDING)  
TOTAL PARKING SPACES REQUIRED: 3,177 SPACES  
TOTAL PARKING SPACES PROVIDED: 3,576 SPACES
- WATER IS PUBLIC.
- SEWER IS PUBLIC.
- COORDINATES BASED ON NAD'83 MARYLAND COORDINATES SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 37GD, 43A1, AND 43BC  
STA. 37GD N 553,237.2140 E 1,372,353.6000 EL.290.95  
STA. 43A1 N 552,081.8230 E 1,370,625.8100 EL.307.48  
STA. 43BC N 549,592.0910 E 1,375,468.5200 EL.214.87
- BOUNDARY INFORMATION IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY, 2002 BY MILDENBERG, BOENDER AND ASSOCIATES, INC.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND SWM DESIGN MANUAL. SWM IS BEING PROVIDED PER REDEVELOPMENT CRITERIA. Rev. 01/01. CPM MANAGEMENT IS NOT REQUIRED. WWS SHALL BE PROVIDED BY A WET POND, APPROXIMATELY 2 ACRES OF THE PROJECT WILL BE LOCATED IN A NATURAL AREA CONSERVATION. SWM WILL BE PRIVATE.
- EXISTING UTILITIES WERE LOCATED BASED ON HOWARD COUNTY'S AS-BUILT DRAWINGS.
- WETLANDS STUDY AND FOREST STAND DELINEATION IS BY ECO-SCIENCE PROFESSIONAL, INC. DATED JANUARY 2006. APFO STUDY PERFORMED BY THE TRAFFIC GROUP ON JANUARY 2006.
- NO CEMETERIES OR HISTORIC STRUCTURES EXIST ON SITE.
- NO STEEP SLOPES EXIST ON SITE.
- DENOTES WETLANDS
  - DENOTES LAND DEDICATED TO STATE HIGHWAY ADMINISTRATION FOR THE PURPOSE OF A PUBLIC ROAD RIGHT-OF-WAY.
  - DENOTES SIDEWALK
  - DENOTES TOWNHOMES
  - DENOTES TWO OVER TWO UNITS
  - DENOTES CONDOMINIUMS/APARTMENTS
  - DENOTES PARKING SPACES
  - DENOTES PERENNIAL STREAM
  - DENOTES INTERMITTENT STREAM
- ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
- WP-06-114 WAS APPROVED ON AUGUST 28, 2006 WAIVING SECTION 16.119(f) OF THE SUBDIVISION REGULATIONS. THE APPROVAL WAS SUBJECT TO THE FOLLOWING CONDITION:  
1. THE PROPOSED ROAD AND ACCESS IMPROVEMENTS WILL REQUIRE AN ACCESS PERMIT ISSUED BY THE STATE ENGINEERING ACCESS PERMITS DIVISION. THE DEVELOPER MUST MEET ALL TERMS AND CONDITIONS OF THE ACCESS PERMIT.
- THE STORMWATER MANAGEMENT SYSTEM SHOWN ON THESE PLANS IS AN APPROXIMATION OF THE SIZE, SHAPE AND LOCATION. IT IS UNDERSTOOD THAT THE SIZE OF THE SYSTEM MAY CHANGE BASED ON FINAL DESIGN, POSSIBLY ALTERING THE NUMBER OF UNITS ALLOCATED FOR THIS DEVELOPMENT.

- WP-07-052 WAS APPROVED ON MAY 8, 2007 WAIVING SECTION 16.116(a)(1) AND 16.116(a)(2)(iv) OF THE SUBDIVISION REGULATIONS. THE APPROVAL IS SUBJECT TO THE FOLLOWING:  
1. UNDERGROUND SWM IN THE CURRENT LOCATION OF THE EXISTING SWM POND WILL BE INSTALLED AS NECESSARY. THE UNDERGROUND FACILITY WILL BE DESIGNED AND SUBMITTED FOR REVIEW AT THE PRELIMINARY, FINAL AND SITE DEVELOPMENT PLAN STAGES.  
2. LIMITS OF DISTURBANCE WILL BE THE MINIMUM NECESSARY TO INSTALL THE IMPROVEMENTS AND SHALL NOT EXCEED THE DISTURBANCE SHOWN ON THE WAIVER PETITION EXHIBIT SUBMITTED ON 4/4/07. DISTURBANCE IS LIMITED AS FOLLOWS:  
AREA 1 - 1600 SQ.FT. OF WETLAND DISTURBANCE AND 7500 SQ.FT. OF WETLAND BUFFER DISTURBANCE.  
AREA 2 - 18750 SQ.FT. OF WETLAND DISTURBANCE AND 19500 SQ.FT. OF WETLAND BUFFER DISTURBANCE.  
AREA 3 - 30000 SQ.FT. OF WETLAND DISTURBANCE, 35250 SQ.FT. OF WETLAND BUFFER DISTURBANCE AND 62250 SQ.FT. OF STREAM BUFFER DISTURBANCE.  
3. ALL NECESSARY STATE AND LOCAL PERMITS WILL BE OBTAINED PRIOR TO ANY GRADING AND/OR CONSTRUCTION ACTIVITY.  
4. SUPER SILT FENCING SHALL BE INSTALLED ALONG THE ENTIRE LOD FOR THE SIDEWALK IMPROVEMENTS FOR AREA 1 PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR GRADING ACTIVITY AND SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.  
5. THE GREENSPACE/OPEN AREA IN THE NORTHEASTERN PORTION OF THE SITE SHALL BE INCREASED BY A MINIMUM OF 20,150 SQUARE FEET (THE AREA OF WETLAND AND WETLAND BUFFER DISTURBANCE ALONG U.S. ROUTE 1 THAT IS ABOVE AND BEYOND THE NECESSARY DISTURBANCE FOR ROUTE 1 ROAD IMPROVEMENTS), BUILDING #43, ITS ACCESS AND OTHER IMPERVIOUS AREAS INCLUDING SIDEWALKS SHALL BE RELOCATED AND/OR REDESIGNED TO ALLOW FOR THIS ADDITIONAL GREENSPACE. THIS AREA SHALL BE USED TO ADDRESS A PORTION OF THE SITES FOREST CONSERVATION OBLIGATION.  
6. AN ALTERNATIVE COMPLIANCE REQUEST TO DESIGN MANUAL, VOLUME III, APPENDIX A, WHICH REQUIRES 26' OF PAVEMENT WIDTH FOR PRIVATE ROADS WAS DENIED ON APRIL 24, 2007 BASED ON LACK OF JUSTIFICATION. IT IS UNDERSTOOD THAT THIS PROJECT WAS APPROVED WITHOUT APPROVAL OF THE WAIVER AND THAT WHEN PROJECT REACHES PRELIMINARY STAGE ALL ROADS MUST BE DESIGNED AS REQUIRED AND HOUSING ALLOCATIONS MAY BE LOST DUE TO THE REDESIGN. IT IS AGREED THAT ADDITIONAL JUSTIFICATION WILL BE PROVIDED AT FUTURE DESIGN STAGES AT WHICH TIME MORE CONCRETE INFORMATION CAN BE PROVIDED.  
7. IN A MEETING HELD ON MAY 1, 2007 WITH MEMBERS OF DED, IT WAS DETERMINED THAT OUTSTANDING ROAD DESIGN AND STORMWATER MANAGEMENT ISSUES WOULD BE DEFERRED TO THE NEXT DESIGN STAGE. AT THAT TIME THE ACCESS TO ALLEYS FROM THE PRIVATE ROADS SHALL BE DISTINGUISHED TO LIMIT THRU TRAFFIC BEHIND UNITS.  
8. ADDITIONAL OPENSPACE WILL BE PROVIDED IN THE AREA OF BUILDINGS 24, 25, 34 AND 31, TO BE DETERMINED ON THE PRELIMINARY PLAN.
- PER SECTION 127.5.D.2 OF THE 2006 ZONING REGULATIONS THE MAXIMUM BUILDING HEIGHT OF PARCELS ABUTTING ROUTE 1 IS 55 FEET. ALL BUILDINGS ON THIS SITE WILL BE EQUAL OR LESS THAN 55 FEET.
- PER SECTION 127.5.D.4 OF THE 2006 ZONING REGULATIONS THE FOLLOWING SETBACKS ARE REQUIRED AND ABIDDED BY:  
A. MINIMUM SETBACKS FROM THE PUBLIC STREET RIGHT-OF-WAY:  
1. PRINCIPAL STRUCTURES AND AMENITY AREAS 0 FEET  
2. ALL OTHER STRUCTURES AND USES 10 FEET  
B. MINIMUM SETBACKS FROM VICINAL PROPERTIES:  
1. FROM RESIDENTIAL DISTRICTS:  
A. NON RESIDENTIAL STRUCTURES AND ASSOCIATED USES 30 FEET  
B. STRUCTURES CONTAINING RESIDENCES AND ASSOCIATED USES 20 FEET  
2. FROM ALL OTHER ZONING DISTRICT:  
ALL STRUCTURES AND USES 0 FEET  
3. IF A RESIDENTIAL DISTRICT IS SEPARATED FROM THE CAC DISTRICT BY A PUBLIC STREET RIGHT OF WAY, ONLY THE SETBACKS FROM A PUBLIC STREET RIGHT OF WAY SHALL APPLY.  
C. MAXIMUM STRUCTURE SETBACK FROM PUBLIC STREET RIGHT OF WAY:  
1. AS PROVIDED IN THE ROUTE 1 MANUAL, THE BUILDING FACADE CLOSEST TO A PUBLIC STREET SHOULD BE LOCATED NO MORE THAN 10 FEET FROM THE EDGE OF THE PUBLIC STREET RIGHT OF WAY UNLESS TOPOGRAPHY, UTILITIES OR OTHER PHYSICAL CONSTRAINTS MAKE A GREATER SETBACK NECESSARY. THIS 10-FOOT SETBACK MAY BE INCREASED WITHOUT A VARIANCE IN ACCORDANCE WITH THE ROUTE 1 MANUAL.  
2. IN A MEETING ON NOVEMBER 21, 2006 IT WAS PROPOSED THAT THE EXISTING POND WOULD BE ELIMINATED AND A 300'X300' BALL FIELD BE PROVIDED IN ITS PLACE OVER A NEW UNDERGROUND STORMWATER MANAGEMENT FACILITY. THIS PROPOSAL IS BEING DISCUSSED WITH ALL AGENCIES AND IF DISTURBANCE OF THE WETLANDS IS ALLOWED WILL BE IMPLEMENTED. THIS WILL BE DONE AT LATER STAGES OF THE PROCESS. TRAILS AND SEATING AREAS IN THE GREEN SPACE SURROUNDING THE STREAM IN THE NORTHEASTERN PORTION OF THE SITE WERE ALSO DISCUSSED AND WILL ALSO BE IMPLEMENTED AT LATER STAGES OF THE DEVELOPMENT WHEN FINAL GRADING AND DESIGN IS KNOWN.
- ALL PUBLIC AND PRIVATE ROADS ON THIS SITE ARE TWO-DIRECTIONAL.
- ALL PARKING 90 DEGREE PARKING SPACES SHALL BE 18' LONG AND 9' WIDE. PARALLEL PARKING SPACES SHALL BE 22' LONG AND 8' WIDE. DRIVEWAYS SHALL BE 18' LONG MINIMUM.
- FRONTAGE IMPROVEMENTS SHALL BE SHOWN AT A LATER STAGE OF THE DEVELOPMENT PROCESS. WHEN FINAL DESIGN IS KNOWN, FRONTAGE IMPROVEMENTS TO INCLUDE ANY IMPROVEMENTS TO THE EXISTING STORMDRAIN SYSTEM ALONG ROUTE ONE AS WELL AS ANY NEW STORMDRAIN INLETS NEEDED ALONG PORT CAPITAL ROAD DUE TO THE ADDITION OF CURB AND GUTTER.



5/31/07

### OWNER/DEVELOPER

ALADDIN ROCK, LLC  
6800 DEERPATH ROAD, SUITE 100  
ELKRIDGE, MARYLAND 21075  
410-579-2442

TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY

PLANNING DIRECTOR *[Signature]* 4/5/07  
DATE

date	MAY 2007
project	04081
illustration	HSP
scale	1"=100'
revision	HSP
approval	RH

description	revisions
no.	date

ELKRIDGE VILLAGE CENTRE  
TAX MAP 43 (SEE GENERAL NOTES FOR PARCELS)  
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SKETCH PLAN

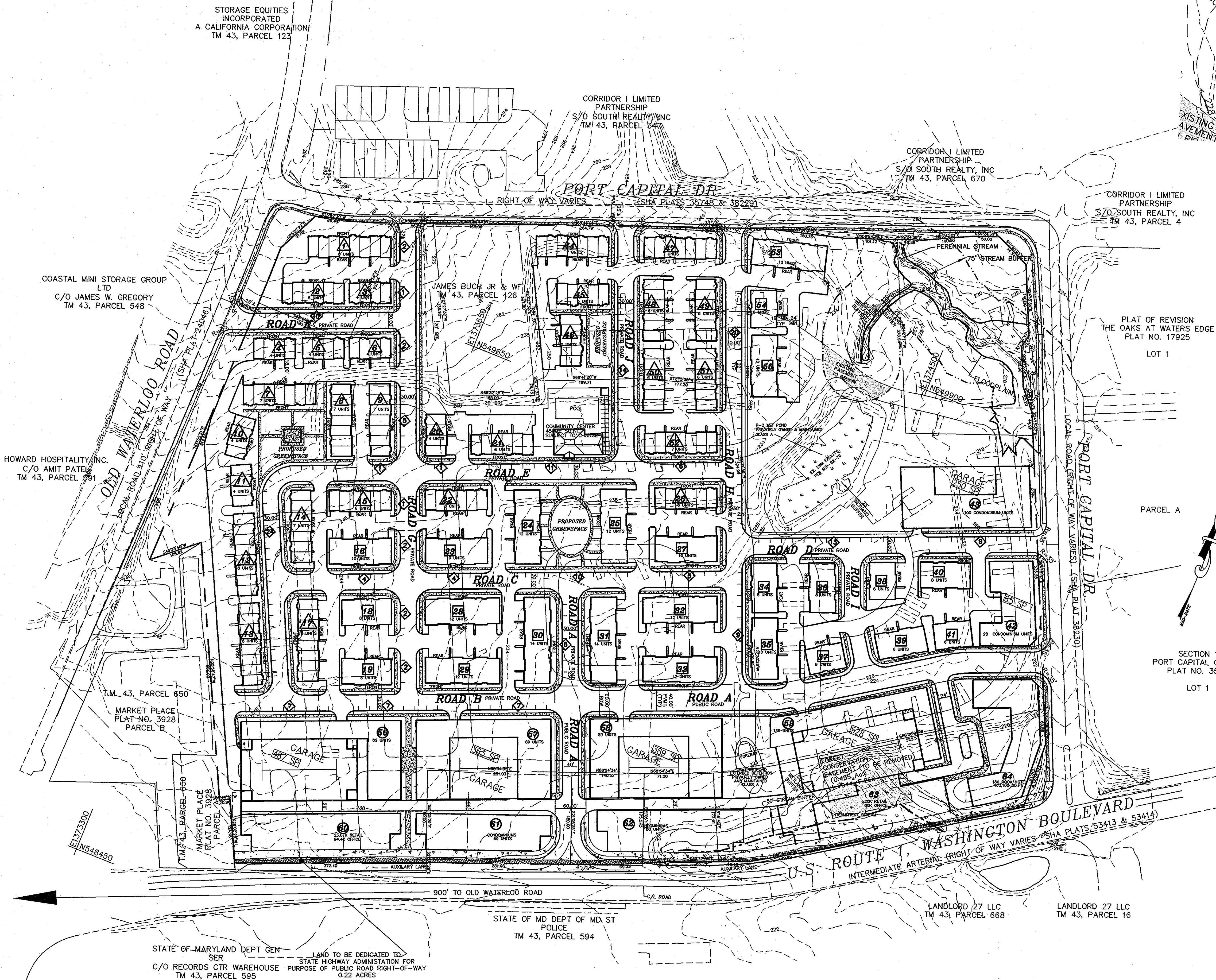
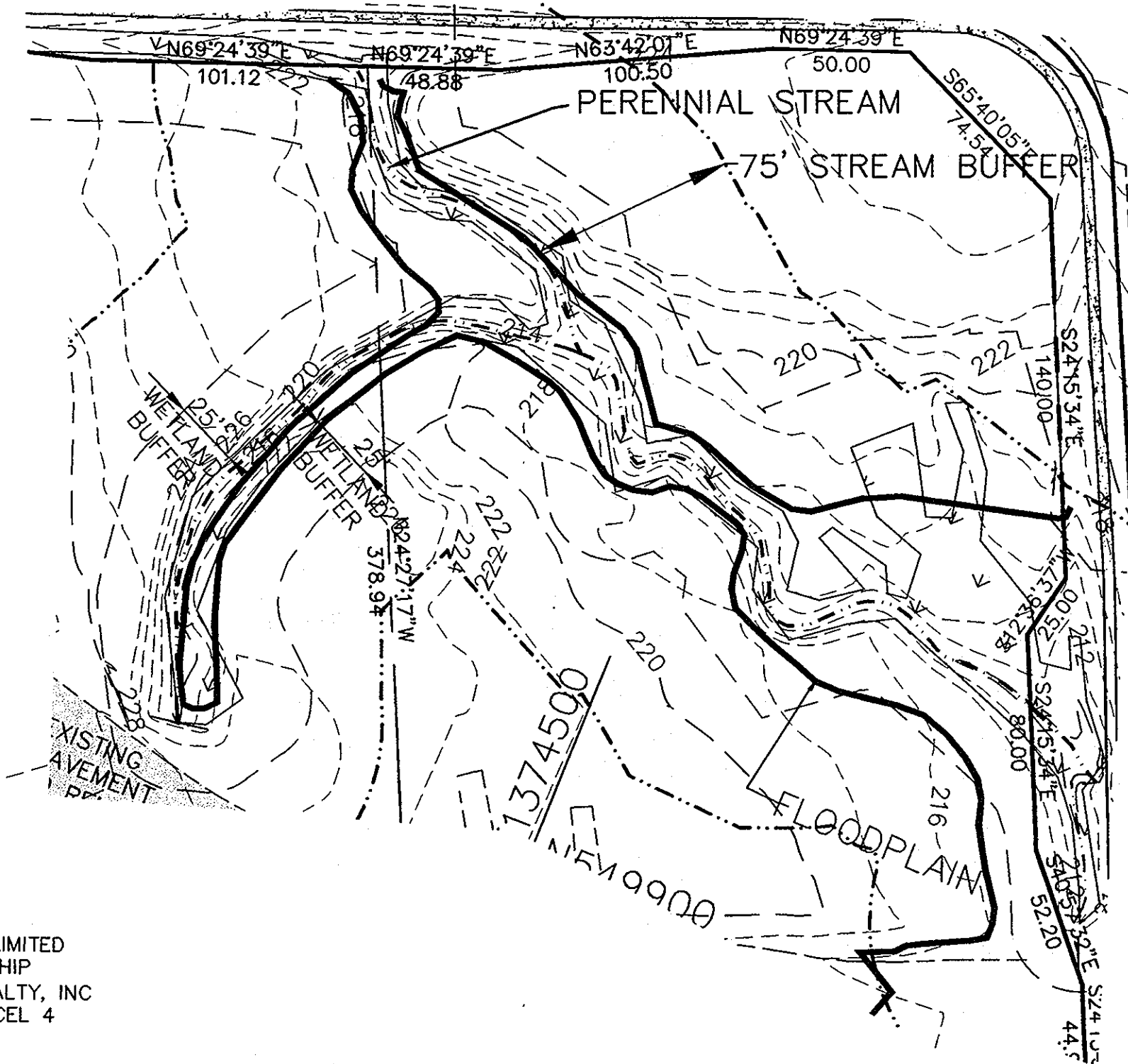
MILDENBERG, BOENDER & ASSOC., INC.  
Engineers Planners Surveyors  
6072 Dorsy Hall Drive, Suite 202, Ellicott City, Maryland 21042  
(410) 997-0286 Fax (301) 621-5621 Wash. (410) 997-0288 Fax



**SWM SUMMARY**

WQV REQUIRED	DA-2 = 0.24 ACRES-FEET DA-3 = 0.65 ACRES-FEET
Rev REQUIRED	NOT REQUIRED (REDEVELOPMENT)
Cpv (0-1YR) FOR SITE	NOT REQUIRED (REDEVELOPMENT)
10-YR VOLUME	N/A
100-YR VOLUME	N/A

DA #2- WQV SHALL BE LOCATED WITHIN THE P-1 WET POND EXTENDED DETENTION.  
 DA #3- WQV SHALL BE LOCATED WITHIN THE WET POND.  
 APPROXIMATELY 2 ACRES OF NATURAL AREA CONSERVATION IS PROPOSED WITHIN THE FLOODPLAIN.



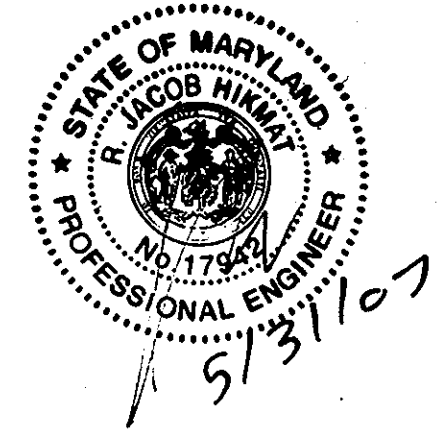
PLAT OF REVISION  
 THE OAKS AT WATERS EDGE  
 PLAT NO. 17925

LOT 1

--- DENOTES PERENNIAL STREAM  
 --- DENOTES INTERMITTENT STREAM

PARCEL A

SECTION 1  
 PORT CAPITAL CENTER  
 PLAT NO. 3545  
 LOT 1



TENTATIVELY APPROVED  
 DEPARTMENT OF PLANNING AND ZONING  
 HOWARD COUNTY  
 [Signature] 6/5/07  
 PLANNING DIRECTOR DATE

**OWNER/DEVELOPER**  
 ALADDIN ROCK, LLC  
 6800 DEERPATH ROAD, SUITE 100  
 ELK RIDGE, MARYLAND 21075  
 410-579-2442

date	MAY 2007	engineering	HSP	approval	RH
project	04081	illustration	HSP	scale	1"=100'

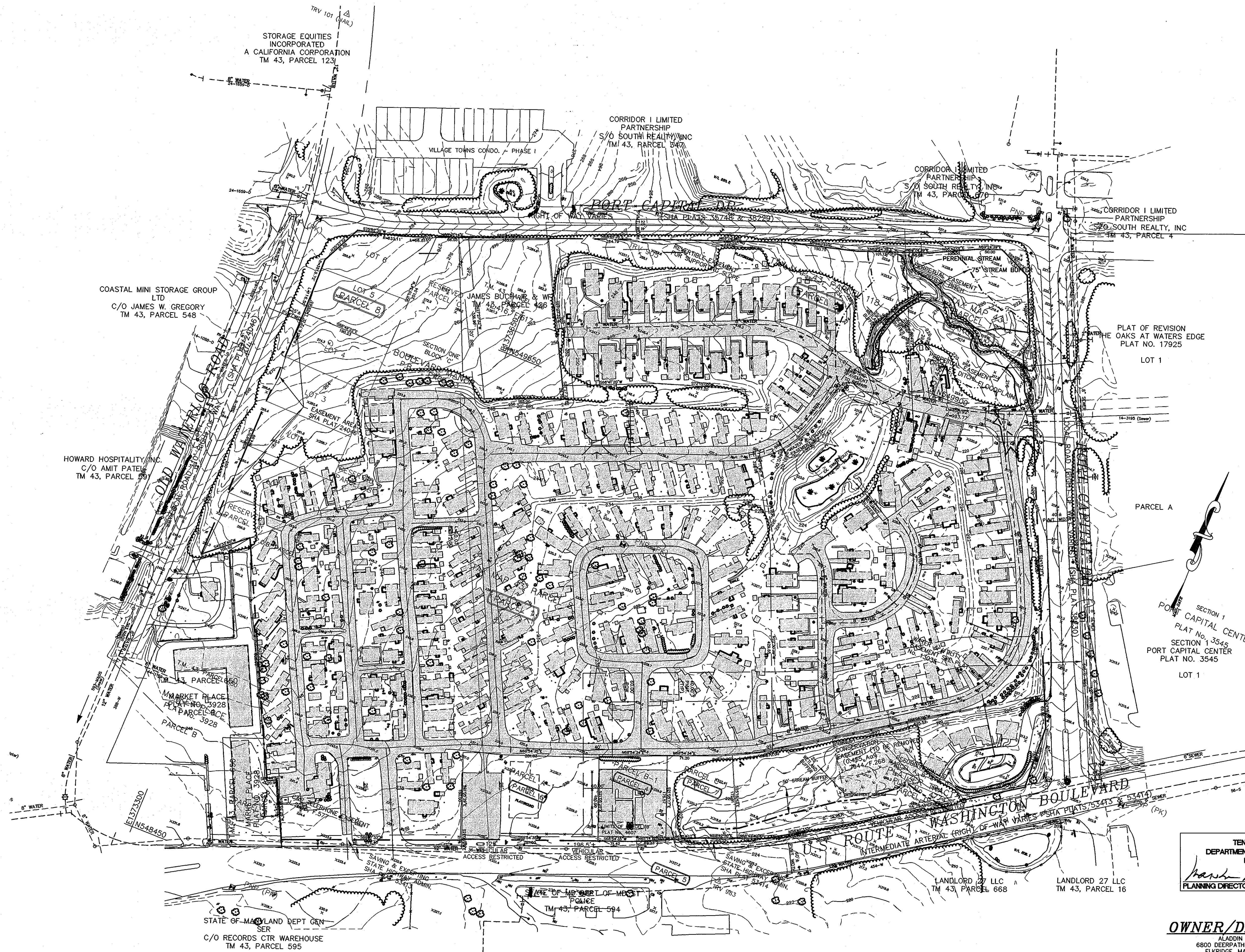
no.	description	revisions	date
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**ELK RIDGE VILLAGE CENTRE**  
 TAX MAP 43 (SEE GENERAL NOTES FOR PARCELS)  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SKETCH PLAN

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Planners, Engineers, Surveyors  
 6072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 997-0286 Fax (301) 621-5521 Wash (410) 997-0286 Fax



EXISTING CONDITIONS HAVE BEEN SHOWN SEPARATELY FOR CLARITY ONLY.  
ALL EXISTING STRUCTURES TO BE REMOVED.



TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY  
*Mark H. Coyle* 6/5/17  
PLANNING DIRECTOR DATE

**OWNER/DEVELOPER**  
ALADDIN ROCK, LLC  
6800 DEERPATH ROAD, SUITE 100  
ELKRIDGE, MARYLAND 21075  
410-579-2442

Project	04081	date	MAY 2007
Illustration	HSP	engineering	HSP
scale	1" = 100'	approval	RH

no.	description	date

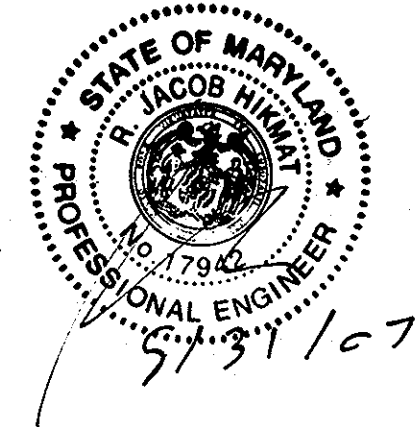
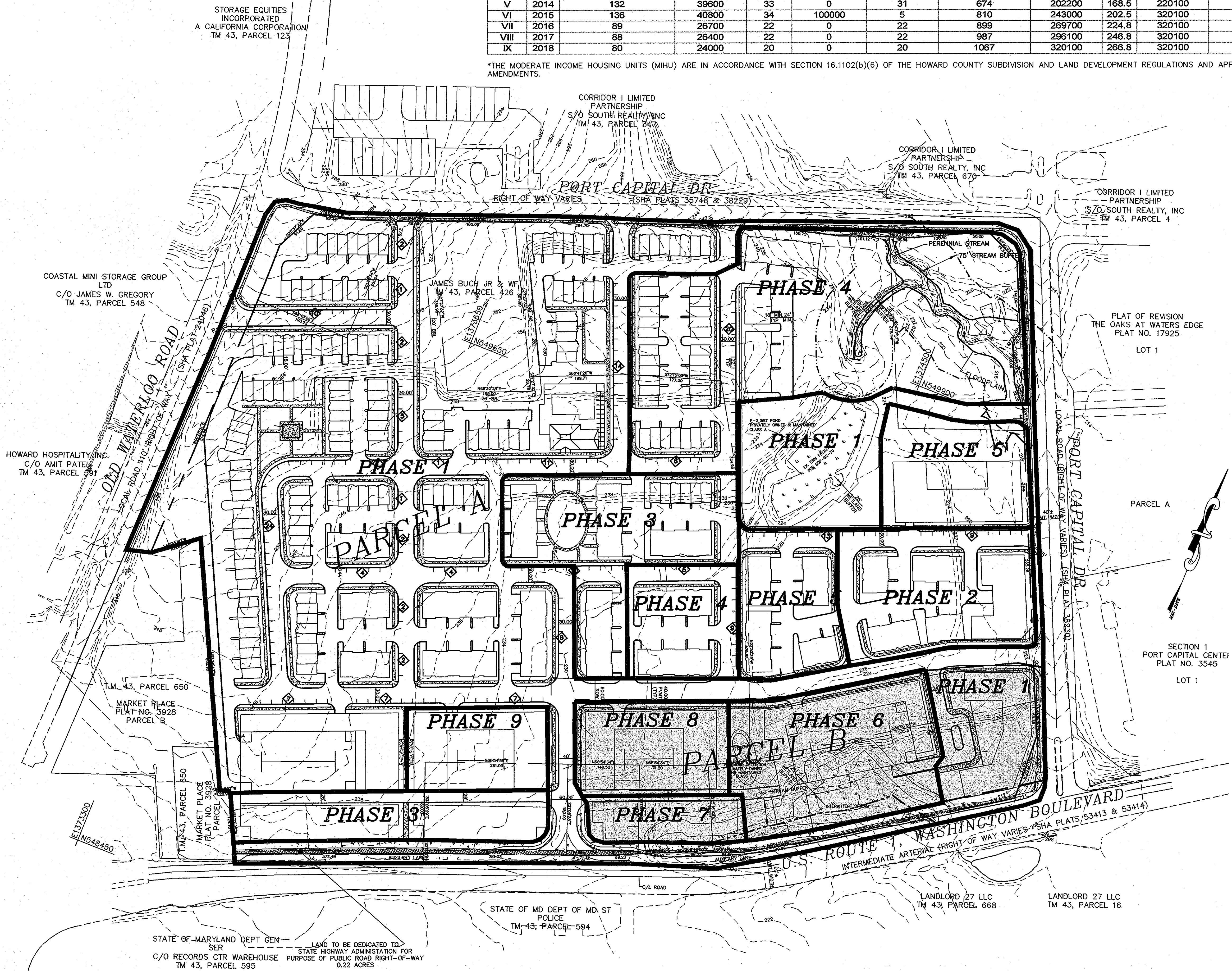
**ELKRIDGE VILLAGE CENTRE**  
TAX MAP 43 (SEE GENERAL NOTES FOR PARCELS)  
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
EXISTING CONDITIONS

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5072 Dorsey Hill Drive, Suite 202, Ellicott City, Maryland 21042  
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PHASE	YEAR	RESIDENTIAL UNITS	PHASE REQUIRED			PHASE PROVIDED			PROJECT TOTAL REQUIRED			PROJECT TOTAL PROVIDED		
			COMMERCIAL (SQ. FT)	MIHU*	COMMERCIAL (SQ. FT)	MIHU*	TOTAL RESIDENTIAL UNITS	COMMERCIAL (SQ. FT)	MIHU*	COMMERCIAL (SQ. FT)	MIHU*			
I	2010	280	84000	70	102100	70	280	84000	70	102100	70			
II	2011	56	16800	14	0	28	336	100800	84	102100	98			
III	2012	123	36900	31	118000	69	459	137700	114.8	220100	167			
IV	2013	83	24900	21	0	0	542	162600	135.5	220100	167			
V	2014	132	39600	33	0	31	674	202200	168.5	220100	198			
VI	2015	136	40800	34	100000	5	810	243000	202.5	320100	203			
VII	2016	89	26700	22	0	22	899	269700	224.8	320100	225			
VIII	2017	88	26400	22	0	22	987	296100	246.8	320100	247			
IX	2018	80	24000	20	0	20	1067	320100	266.8	320100	267			

\*THE MODERATE INCOME HOUSING UNITS (MIHU) ARE IN ACCORDANCE WITH SECTION 16.1102(b)(6) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND APPLICABLE AMENDMENTS.



TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY  
*Mark D. Lyle* 6/5/07  
PLANNING DIRECTOR DATE

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6800 DEERPATH ROAD, SUITE 100  
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project	04081	date	MAY 2007
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ELKRIDGE VILLAGE CENTRE  
TAX MAP 43 (SEE GENERAL NOTES FOR PARCELS)  
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
PHASING PLAN

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