

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-98-117 AND F-98-118. CONTOUR INTERVAL IS 2 FEET.
- HORIZONTAL AND VERTICAL DATUM ARE NAD '83 - MONUMENTS 24GB, 24DB AND BM1 AND BM2
- ALL ROADWAYS ARE PUBLIC.
- EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CONTRACT DRAWINGS 24-3689-B & 24-3653-D AND ROAD CONSTRUCTION PLANS F-98-117 AND F-98-118. IF NECESSARY, CONTRACTOR SHALL ADJUST ALL TOP ELEVATIONS TO MATCH SDP GRADES.
- STORMWATER MANAGEMENT IS PROVIDED FOR THESE LOTS UNDER ROAD CONSTRUCTION PLANS F-98-117 AND F-98-118. BY MEANS OF EXTENDED DETENTION.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, WETLAND BUFFERS, STREAM BUFFERS OR FOREST CONSERVATION AREAS.
- PORCHES, FIREPLACES, CHIMNEYS, EXTERIOR STAIRWAYS, DECKS AND BAY WINDOWS WHICH EXTEND ACROSS THE BRL SHALL BE IN ACCORDANCE WITH SECTION 128 (a)(1) OF THE HOWARD COUNTY ZONING REGULATIONS.
- PREVIOUS HOWARD COUNTY FILE NOS. S-92-07, P-93-07, P-92-12, F-93-16, F-95-147, S-96-21, F-97-150, PB-310, P-98-07, WP-97-109, F-98-117, F-98-118, F-99-149
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
- BRL INDICATES BUILDING RESTRICTION LINE.
- FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAIL R-6.06.
- FOR EASEMENT, LOT SIZE AND OTHER RELATED INFORMATION REFER TO PLAT NOS. 13446-13448, 13456-13458 AND 13836-13837
- HOUSES/GARAGES WILL BE SITED ON LOTS SO THAT A SECOND CAR, IF PARKED IN THE DRIVEWAY, WILL NOT OVERHANG THE USE-IN-COMMON ACCESS DRIVEWAY.
- DRIVEWAY SLOPES SHOWN ARE AVERAGE. THE SLOPE AT THE OUTSIDE EDGES COULD BE FLATTER OR STEEPER DEPENDING ON GRADE OF ROADWAY.
- ON APRIL 25, 1997, WAIVER PETITION WP-97-109 WAS APPROVED TO WAIVE SECTION 16.144(G) REQUIRING A SKETCH PLAN, SECTION 16.144(F) REQUIRING A PRELIMINARY PLAN, AND SECTION 16.121(G)(4) REQUIRING 25% OPEN SPACE FOR THE RECORDING OF THE SUBDIVISION PLAT SUBMITTED AS F-97-150.
- STORMWATER MANAGEMENT FOR THESE LOTS IS PROVIDED BY EXTENDED DETENTION UNDER F-98-118.
- STREET TREES FOR MADELAINE COURT ARE PROPOSED UNDER F-98-118. PERIMETER LANDSCAPING FOR THESE LOTS WAS CALCULATED UNDER F-98-118. EXISTING LANDSCAPING SHOWN IS PART FOR THE ROAD PLANS FOR F-98-118.
- THE FOREST CONSERVATION OBLIGATION FOR THESE LOTS WAS MET UNDER F-98-118 AND A PAYMENT OF \$100.00 FOR REMOVAL OF 167 S.F. OF FOREST CONSERVATION EASEMENT MADE UNDER F-99-149.

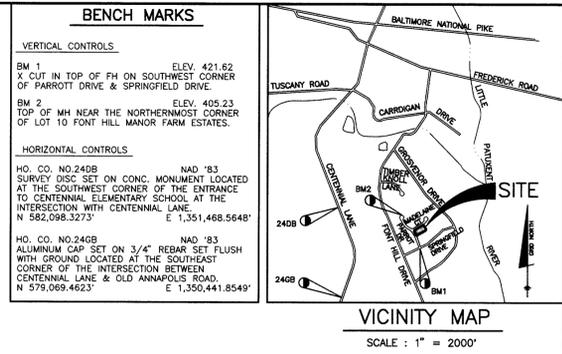
SITE DEVELOPMENT PLAN

FONT HILL MANOR FARM ESTATES

SECTION 2; LOTS 54-58 PHASE 2

2nd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



SITE ANALYSIS DATA CHART

GENERAL SITE DATA

- PRESENT ZONING: R-ED
- APPLICABLE DPZ FILE REFERENCES:
S-92-07 P-93-07 P-92-12 F-93-16 F-95-147 S-96-21
F-97-150 PB-310 P-98-07 WP-97-109 F-98-117
F-98-118 F-99-149
- PROPOSED USE OF SITE: SINGLE FAMILY DETACHED
- PROPOSED WATER AND SEWER SYSTEMS: PUBLIC PRIVATE

AREA TABULATION

- TOTAL PROJECT AREA: 13.79 AC.
- AREA OF THIS PLAN SUBMISSION: 0.97 AC.
- APPROXIMATE LIMIT OF DISTURBANCE: 0.99 AC.
- TOTAL NUMBER OF LOTS ALLOWED AS SHOWN ON FINAL PLAT(S): 5
- TOTAL NUMBER OF RESIDENTIAL UNITS/LOTS PROPOSED ON THIS SUBMISSION: 5
- OPEN SPACE ON-TOTAL SITE: 3.68 AC. (SECTION 2)
PERCENTAGE OF GROSS AREA: 26.5%
- AREA OF RECREATIONAL OPEN SPACE REQUIRED: 6,750 S.F.
- AREA OF RECREATIONAL OPEN SPACE PROVIDED: 6,975 S.F.

NOTE: THE PRIVATE SETBACKS SHOWN WHICH ARE IN EXCESS OF THE ZONING SETBACKS ARE TO PROVIDE ADDITIONAL SETBACKS FROM ADJOINING RESIDENTIAL LOTS FOR THE PURPOSE OF COMPLYING WITH PRIVATE AGREEMENTS RECORDED AMONG THE LAND RECORDS IN LIBER 3861 FOLIO 0413. HOWARD COUNTY IS NOT RESPONSIBLE FOR ENFORCING THE PRIVATE SETBACKS. ENFORCEMENT SHALL BE IN ACCORDANCE WITH THE RECORDED PRIVATE AGREEMENTS.

ADDRESS CHART

LOT	ADDRESS
54	9816 TIMBERKNOLL LANE
55	9812 TIMBERKNOLL LANE
56	9808 TIMBERKNOLL LANE
57	9804 TIMBERKNOLL LANE
58	9800 TIMBERKNOLL LANE



PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL#			
FONT HILL MANOR FARM ESTATES	2, PH. 2	54-58			
PLAT Nos.	BLOCK No.	ZONE	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
13456-13458	14	R-ED	24	2nd	6023.01
WATER CODE	F12	SEWER CODE	5880000 & 5881200		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Richard Blood 7/15/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION

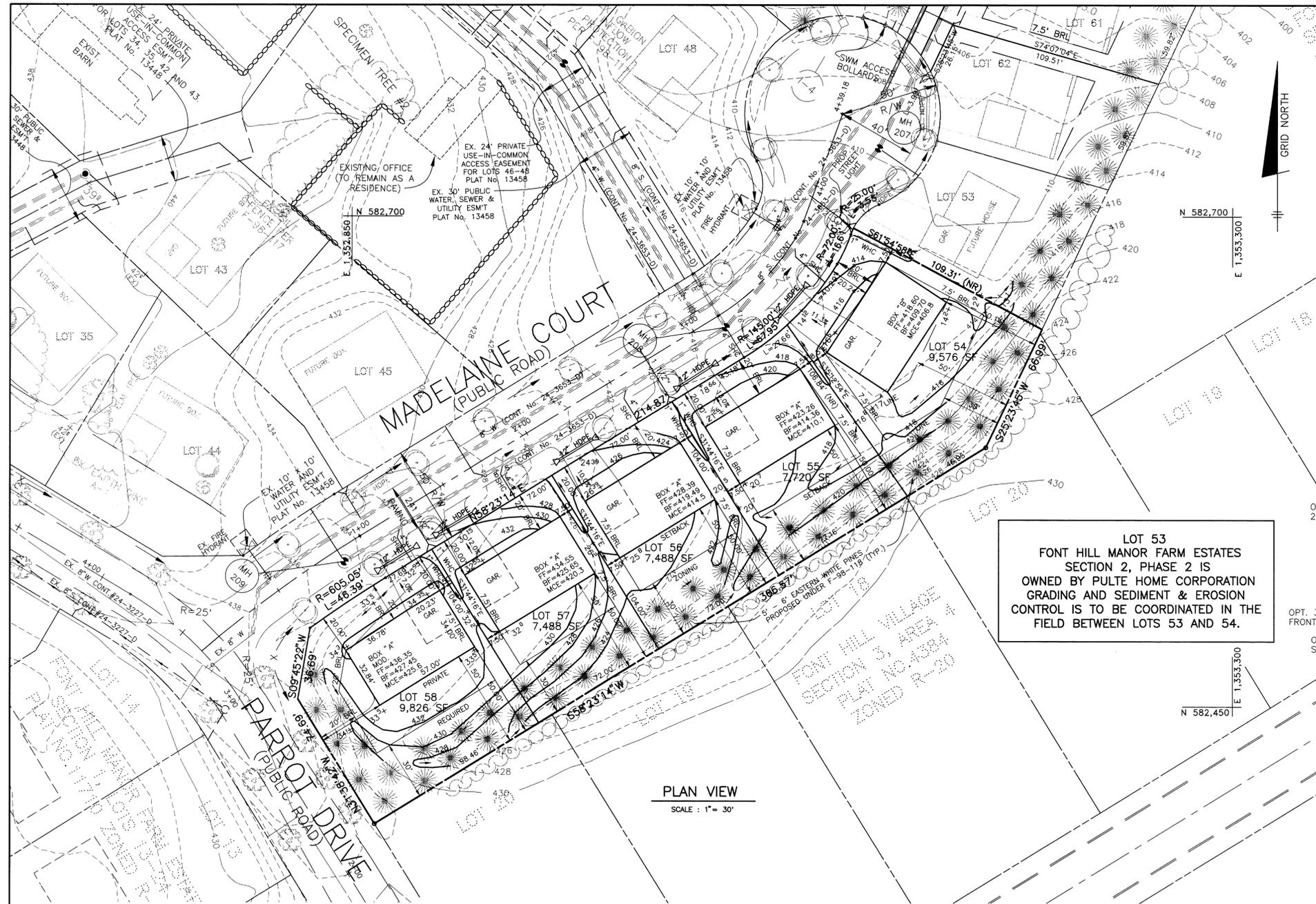
Richard Blood 7/30/99
CHIEF, DIVISION OF LAND DEVELOPMENT

James S. Smith 8/3/99
DIRECTOR

SHEET INDEX

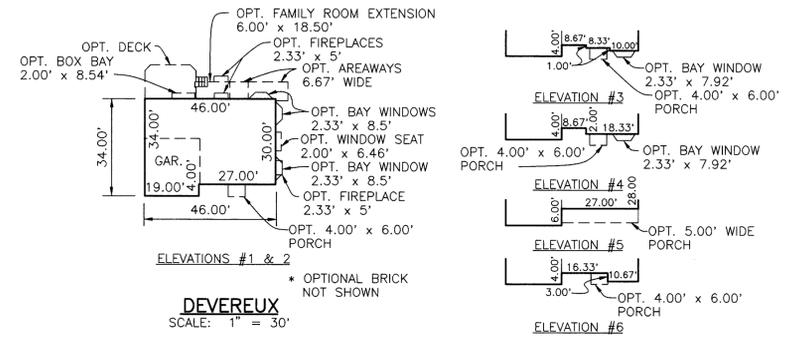
NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	SEDIMENT AND EROSION CONTROL PLAN, NOTES AND DETAILS

<p>BENCHMARK ENGINEERING INC. ENGINEERS • LAND SURVEYORS • PLANNERS</p> <p>8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043 PHONE: 410-465-6105 FAX: 410-465-6644</p>	
<p>OWNER/DEVELOPER: PULTE HOME CORPORATION 1501 SOUTH EDGEWOOD STREET SUITE K BALTIMORE, MD 21227 410-644-5603</p>	
<p>PROJECT: FONT HILL MANOR FARM ESTATES SECTION 2 LOTS 54-58 PHASE 2</p>	
<p>LOCATION: TAX MAP 24 - BLOCKS 8 & 14 - PARCEL 725 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND</p>	
<p>TITLE: SITE DEVELOPMENT PLAN</p>	
<p>DATE: MAY, 1999 PROJECT NO. 1239</p>	
<p>DESIGN: JMC DRAFT: JMC SCALE: AS SHOWN DRAWING 1 OF 3</p>	

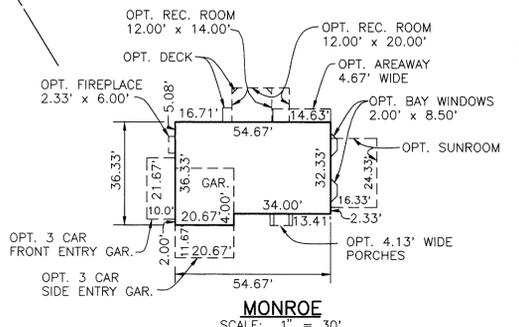


LOT 53
FONT HILL MANOR FARM ESTATES
SECTION 2, PHASE 2 IS
OWNED BY PULTE HOME CORPORATION
GRADING AND SEDIMENT & EROSION
CONTROL IS TO BE COORDINATED IN THE
FIELD BETWEEN LOTS 53 AND 54.

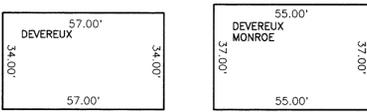
PLAN VIEW
 SCALE: 1" = 30'



DEVEREUX
 SCALE: 1" = 30'



MONROE
 SCALE: 1" = 30'



BOX A SCALE: 1" = 30'
BOX B SCALE: 1" = 30'

SEE OPTIONS TABLE FOR HOUSE TYPES AND GENERIC BOXES FOR ALL AVAILABLE OPTIONS THAT FIT WITHIN THE BUILDING ENVELOPE.

LOT	BOX OR HOUSE	DEVEREUX	MONROE
54	B	Y,1	Y,2,3,4
55	A	Y,1,5	N
56	A	Y,1,5	N
57	A	Y,1,5	N
58	A MOD.	Y,1,5	N
AREA		2,198 SF	2,988 SF

Y - MODEL FITS WITH OPTIONS AS INDICATED
 N - MODEL DOES NOT FIT

- OPTIONS:
- 1.) NO FAMILY ROOM EXTENSION
 - 2.) NO REC. ROOM
 - 3.) NO SIDE SUNROOM
 - 4.) NO 3 CAR GARAGE
 - 5.) NO BRICK OR STONE FACE
 - 6.) NO FULL FRONT PORCH

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Richard Blouel 7/15/99
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

Richard Blouel 7/30/99
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

Paul Harts 8/3/99
 DIRECTOR
 DATE

NO.	DATE	REVISION

BENCHMARK ENGINEERING INC.
 ENGINEERS • LAND SURVEYORS • PLANNERS

8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 FAX: 410-465-6644

Donald Mann

OWNER/DEVELOPER: PULTE HOME CORPORATION
 1501 SOUTH EDGEWOOD STREET
 SUITE K
 BALTIMORE, MD 21227
 410-644-5603

PROJECT: **FONT HILL MANOR FARM ESTATES**
 SECTION 2
 LOTS 53-58 PHASE 2

LOCATION: TAX MAP 24 - BLOCKS 8 & 14 - PARCEL 725
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: **SITE DEVELOPMENT PLAN**

DATE: MAY, 1999 PROJECT NO. 1239
 SCALE: AS SHOWN DRAWING 2 OF 3

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (313-1850).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL. REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RESTORATION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. BY 14 DAYS AS TO ALL OTHERS DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOW MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STRUM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDBEDS (SDP 99-147) (SEC. 54), TEMPORARY SEEDING (SEC. 52) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PERMANENT SEEDING AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
 TOTAL AREA OF SITE (THIS SUBMISSION) 0.97 ACRES
 AREA DISTURBED 0.99 ACRES
 AREA TO BE ROOFED OR PAVED 0.24 ACRES
 AREA TO BE VEGETATIVELY STABILIZED 0.66 ACRES
 TOTAL CUT 1,215 CY
 TOTAL FILL 3,111 CY
 OFFSITE WASTE/BORROW AREA LOCATION N/A

PERMANENT SEEDBED PREPARATIONS

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 3 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT THE END OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ FT).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 100 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30 AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS PER ACRE (0.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.01 LBS/1000 SQ FT) OF WEEDING LONGGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS PER ACRE OF KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE OF WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (6 GAL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TOPSOIL SPECIFICATIONS

- Topsoil salvaged from the existing site may be used provided that it meets that standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting texture subsoils and soil content less than 5% by volume of coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quack grass, johnson grass, nutgrass, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be presented to raise the pH to 6.5 or higher.
 - Organic content or topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- Topsoil Application
 - When topsoiling, maintain needed erosion and sediment control practices such as diversions, grass stabilization structures, earth dikes, slope silt fence and sediment traps and basins.
 - Grades on the area to be topsoiled, which have been previously established, shall be maintained, albeit 4" higher in elevation.
 - Topsoil shall be uniformly distributed in a 4" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

TEMPORARY SEEDBED PREPARATIONS

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIOD MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEDING LONGGRASS (0.7 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (6 GAL/1000 SQ FT) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEQUENCE OF CONSTRUCTION

NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT CONTROLS THAT ARE NOTED TO BE INSTALLED UNDER THIS SDP. THE EXISTING CONTROLS THAT WERE INSTALLED UNDER F-98-118 THAT ARE TO REMAIN SHALL BE INSPECTED AND/OR MODIFIED AS SHOWN ON PLAN TO ENSURE THEY MEET COMPLIANCE WITH SPECIFICATIONS. ANY REMAINING CONTROLS INSTALLED UNDER F-98-118 THAT WILL NOT BE UTILIZED UNDER THIS SDP SHALL BE REMOVED BY THE DEVELOPER.
- EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDBED NOTES.
- CONSTRUCT HOUSES, BACKFILL AND CONSTRUCT DRIVEWAYS.
- FINAL GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDBED NOTES. REFURBISH AND CONVERT PONDS TO PERMANENT DESIGN AS SHOWN ON F-98-118.
- WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.
 - INDICATES SINGLE HOUSE CONSTRUCTION.

NOTE: 1. SEDIMENT CONTROL LOCATION AND IMPLEMENTATION SHOWN ON THESE PLANS IS SUBJECT TO REVISION IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.
 2. EROSION CONTROL MATTING SHALL BE PLACED IN SWALES UNTIL VEGETATION IS ESTABLISHED OR SOIL SOD SHOULD BE USED.

LEGEND

EXISTING CONTOUR 402
 PROPOSED GRADE 404

LIMIT OF WETLAND

EXISTING WOODSLINE

PROPOSED WOODSLINE

PROPOSED EARTH DIKE

EXISTING EARTH DIKE

PROPOSED SILT FENCE

EXISTING SILT FENCE

STABILIZED CONSTRUCTION ENTRANCE

EX. STONE CHECK DAM

LIMIT OF DISTURBANCE

SOIL STABILIZATION MATTING

DETAIL 22 - SILT FENCE

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- Fence posts shall be a minimum of 3/4" long driven 18" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of treated quality lumber. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples of top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.5 gpm/ft (min.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation is reached.

U.S. DEPARTMENT OF AGRICULTURE PAGE 15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION SPECIFICATIONS

- Length - minimum of 50' (30' for slope residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Gateable (flap gate) shall be placed over the existing ground prior to placing stone. Flap gate approval authority may require single panel reinforced to use gateable.
- Stone - crushed aggregate (2" to 2 1/2") or recycled or recycled concrete equivalent and be placed to a depth of 6" over the length and width of the entrance.
- Structure - at surface water flowing to or through stabilized construction entrance shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a minimum of 6" of stone over the pipe. Pipe shall be at least 12" in diameter. The structure shall be of stone over the pipe. Pipe shall have no drainage to convey a pipe shall not be necessary. Pipe shall be sized according to the amount of runoff to be conveyed.
- Location - A stabilized construction entrance shall be located at every spot where construction traffic enters or leaves a construction site. Vehicles leaving the site shall travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE PAGE 17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 1 - EARTH DIKE

CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Design for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, base and truss rods or post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section and shall meet the following requirements for Geotextile Class F:

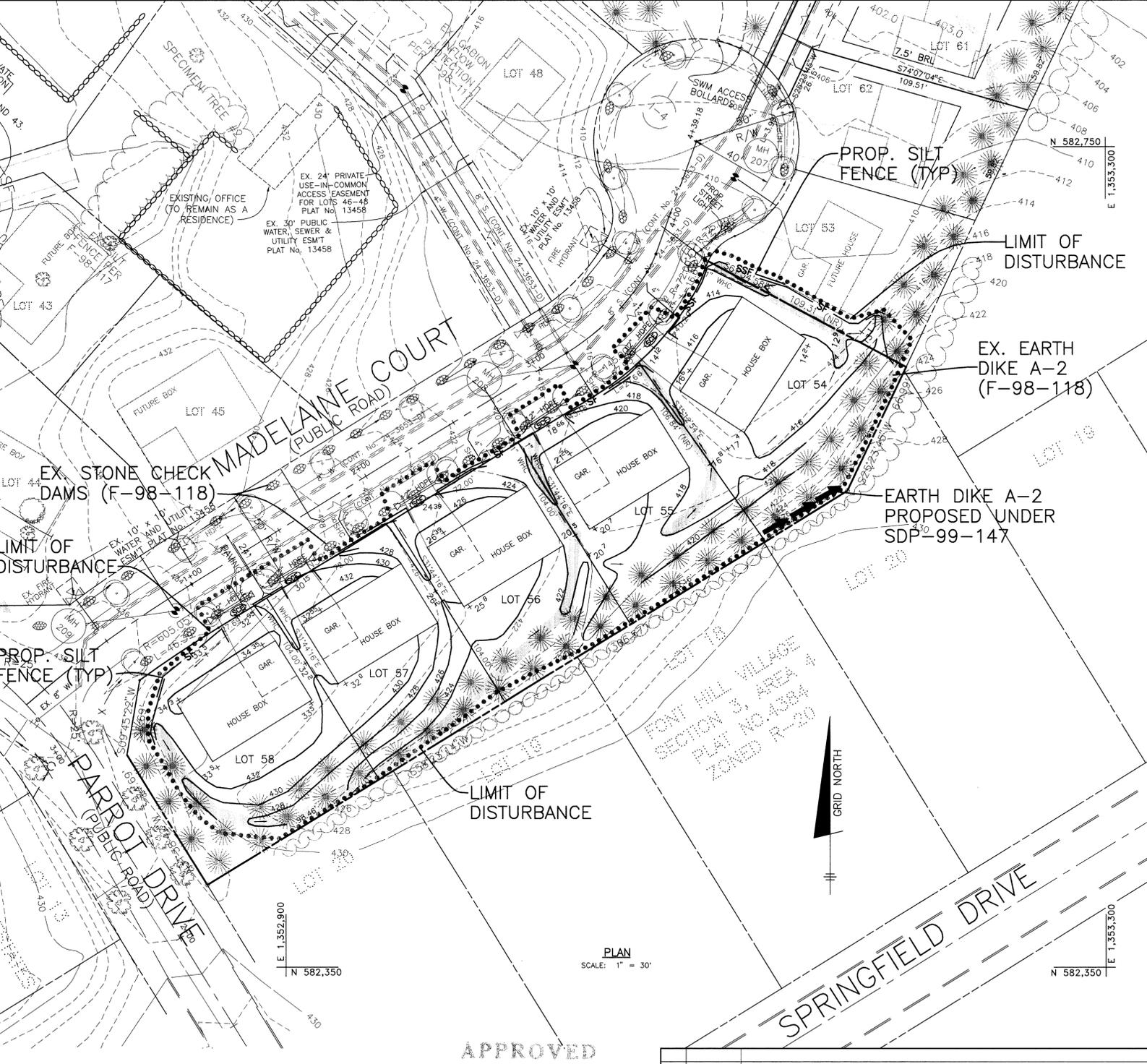
Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.5 gpm/ft (min.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples of top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.5 gpm/ft (min.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

SUPER SILT FENCE DESIGN CRITERIA

Slope	Silt Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

U.S. DEPARTMENT OF AGRICULTURE PAGE 26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



DETAIL 33 - SUPER SILT FENCE

CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Design for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, base and truss rods or post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.5 gpm/ft (min.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples of top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.5 gpm/ft (min.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

SUPER SILT FENCE DESIGN CRITERIA

Slope	Silt Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

U.S. DEPARTMENT OF AGRICULTURE PAGE 26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

7/9/99 DATE

BY THE ENGINEER:

I/WE CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

7/1/99 DATE

7/6/99 DATE

8/8/99 DATE

ENGINEER - DONALD A. MASON, P.E. # 21443

APPROVED FOR HOWARD SOIL CONSERVATION DISTRICT

7/9/99 DATE

7/9/99 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DEVELOPER - PULTE HOME CORPORATION

7/1/99 DATE

7/6/99 DATE

8/8/99 DATE

BENCHMARK ENGINEERING INC.

ENGINEERS • LAND SURVEYORS • PLANNERS

8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 FAX: 410-465-6644

OWNER/DEVELOPER: PULTE HOME CORPORATION
 1501 SOUTH EDGEWOOD STREET SUITE K BALTIMORE, MD 21227
 410-644-5603

PROJECT: FOUNT HILL MANOR FARM ESTATES SECTION 2 LOTS 54-58 PHASE 2

LOCATION: TAX MAP 24 - BLOCKS 8 & 14 - PARCEL 725 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT AND EROSION CONTROL PLAN, NOTES & DETAILS

DATE: MAY, 1999 PROJECT NO. 1239

SCALE: AS SHOWN DRAWING 3 OF 3

DESIGN: JMC DRAFT: JMC