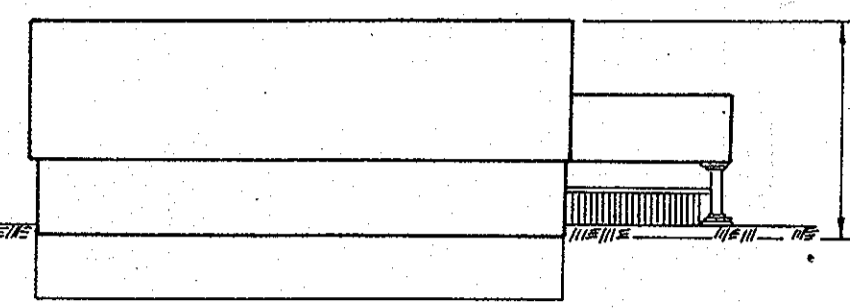


SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS SHOWN ON PLAN (3 DAYS)
- CONTRACT STORMWATER MANAGEMENT FACILITY (10 DAYS)
- MASS GRADE SITE TO SUBGRADE (14 DAYS)
- CONSTRUCT UTILITIES AND BUILDINGS (120 DAYS)
- CONSTRUCT CURB AND GUTTER AND SIDEWALKS (4 DAYS)
- INSTALL SHADE CURBS, FURNISH (2 DAYS)
- FINAL GRADE SITE, INSTALL LANDSCAPING AND PERMANENT SEEDING (20 DAYS)
- AS UPLAND AREAS ARE STABILIZED WITH PERMANENT SEEDING, SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED AS PERMITTED BY GRANTED OF 2.4.5 INSPECTOR.



TYPICAL BUILDING PROFILE

DESIGN PERIOD	ALLOWABLE RELEASE RATE	FACILITY INFLOW	FACILITY DISCHARGE	WATER SURFACE ELEVATION	STORAGE VOLUME (AC FT)
2 YEAR	12.18 CFS	7.89 CFS	1.88 CFS	491.32	0.156
10 YEAR	49.46	19.14 CFS	8.11 CFS	492.45	0.930
100 YEAR	N/A	39.26 CFS	19.25 CFS	492.87	0.916

STRUCTURE CLASSIFICATION: LOW HAZARD CLASS 1A TOND STORAGE - HEIGHT PRODUCT: 0.966 AC FT. 2.87 - 1.48 WATERHOLD AREA TO FACILITY (ACRES) ULTIMATE 0.29 ACRES LEVEL OF MANAGEMENT PROVIDED BY FACILITY TWO AND TEN YEAR PERIODS THIS POND TO BE PRIVATELY OWNED AND MAINTAINED.

OPERATION, MAINTENANCE AND INSPECTION FOR SHALLOW MARSH

- THE SHALLOW MARSH FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
- THE TOP AND SIDE SLOPES OF THE SHALLOW MARSH SHALL BE MOVED A MINIMUM OF ONCE PER YEAR, WITH VEGETATION REACHED 18" IN HEIGHT OR AS ASSESSED.
- ROCKS AND LITTER SHALL BE REMOVED DURING REGULAR MAINTENANCE OPERATIONS AND AS NEEDED.
- VEGETATION STUNTS OF EROSION IN THE FACILITY SHALL BE REPAIRED AS SOON AS IT IS NOTICED.
- REMOVE SILT WHEN IT EXCEEDS FOUR (4) INCHES DEEP IN THE FORBECRACK.

KEY	WATER QUALITY PLANTING NO.
SL	18
SA	9
CO	9
PV	18
PC	9

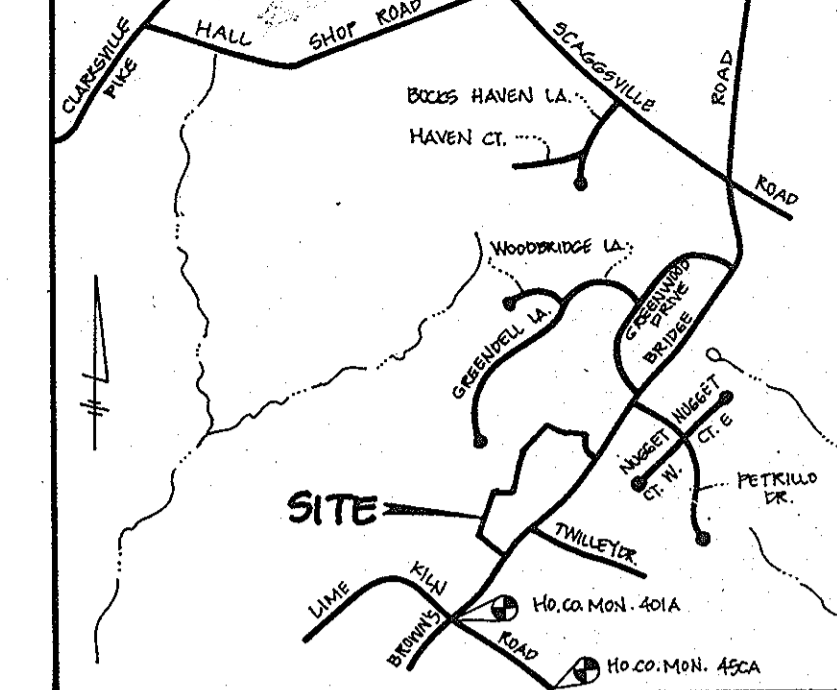
PRIMARY WETLAND VEGETATION

PLANT SPECIES	SIZE	REMARKS
SAGITTARIA LATIFOLIA (SL)	ROOTS	36" O.C.
DUCK POTATO	ROOTS	36" O.C.
SCRIPUS AMERICANUS (SA)	ROOTS	36" O.C.
DUCK POTATO	ROOTS	36" O.C.

SECONDARY WETLAND VEGETATION

PLANT SPECIES	SIZE	REMARKS
CERHALATHUS OCCIDENTALS (SL)	ROOTS	36" O.C.
BUTTON BUSH	ROOTS	36" O.C.
PELTANDRA VIRGINIA (PV)	ROOTS	36" O.C.
DUCK POTATO	ROOTS	36" O.C.
PONTEREDIA CORDATA (PV)	ROOTS	36" O.C.
PICKEREL WEED	ROOTS	36" O.C.

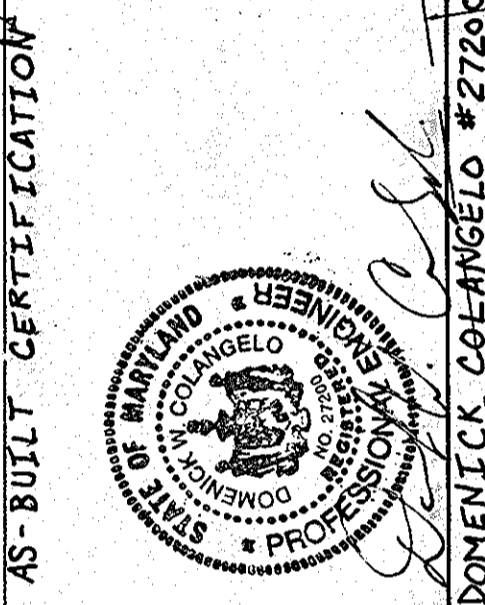
- NOTES:
- ALL PLANT MATERIAL TO BE WET GROWN OR ADAPTED TO WETLAND CONDITIONS.
 - ALTERATIONS TO THE PROPOSED GRADING SHOWN MAY AFFECT THE SUCCESS OF THE PLANT MATERIAL.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO GRADING.



VICINITY MAP

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1080 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS SITE WILL UTILIZE PRIVATE WATER AND SEWER.
- BOUNDARY SURVEY PERFORMED BY FISHER, COLLINS & CARTER, INC. ON OR ABOUT AUGUST, 1998.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:
HO. CO. MON. 401A N 541725.749 E 1325316.841
HO. CO. MON. 45CA N 540070.955 E 1327702.746 ELEV: 426.830
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- A 100 YEAR FLOODPLAIN STUDY IS NOT REQUIRED.
- STORMWATER MANAGEMENT TO BE PRIVATELY OWNED AND MAINTAINED.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB, AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- SITE ANALYSIS DATA:
A. TOTAL PROJECT AREA: 1153 AC.
B. AREA OF PLAN SUBMISSION: 310 AC.
C. LIMIT OF DISTURBED AREA: 310 AC.
D. PRESENT ZONING: RR-DEO
E. PROPOSED USE FOR SITE AND STRUCTURES: RELIGIOUS FACILITY
- PARKING ANALYSIS:
A. NUMBER OF PARKING SPACES REQUIRED: 60
(1 SPACE / 3 SEATS FOR 180 COLLEGIATION)
B. NUMBER OF PARKING SPACES PROVIDED BY COMMON SPACES & HANDICAPPED SPACES: 60
- FOREST CONSERVATION REGULATIONS HAVE BEEN ADOPTED BY FINANCIAL INSTITUTIONS.
- NOISE PROOF IS NOT REQUIRED FOR THIS SITE.
- ALL EXTERIOR LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL ZONING DISTRICTS IN ACCORDANCE WITH SECTION 104 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THIS PROJECT IS SUBJECT TO 6A, CASE 49-218 DATED BY ACTION SEPTEMBER 9, 1998. SPECIAL EXCEPTION SHALL APPLY ONLY TO THE PROPOSED RELIGIOUS FACILITY PROPOSED AS PHASE I AND II. THE SPECIAL EXCEPTION IS SUBJECT TO FUTURE CONDITIONS OF APPROVAL.



ZONED RR-DEO
PERCO L-1673 FF-701

Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
•	Spot Elevation
---	5' - 0" Silt Fence
FF	First Floor Elevation
BC	Basement Elevation
---	Propose' Walkout
---	Earth Dike
---	Tree Protection
---	Existing Tree Line
---	L.O.D. Limit of Disturbance
(S)	Existing Street Tree

- NUMBER OF SEATS FOR RELIGIOUS FACILITY: 180
NUMBER OF GALLONS PER DAY: 180 SEATS @ 5 GALLONS PER DAY: 900 GALLONS
- NUMBER OF BEDROOMS FOR THE EXISTING HOUSE: 3
NUMBER OF GALLONS PER DAY: 3 BEDROOMS @ 150 GALLONS PER DAY: 450 GALLONS
- THIS PROPOSED PRIVATE SEWAGE EASEMENT HAS A POTENTIAL OF 1350 GALLONS PER DAY, OR DISPOSAL. CONFIRMATION TO BE DETERMINED AT THE TIME OF FIN. T. SEPTIC DESIGN.

This area designates a private sewage easement as required by Maryland State Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewage is available. These easements shall become null void upon connection to a public sewage system. The county health officer shall have the authority to grant variances for encroachments into the private sewage easement. Recordation of a modified easement shall not be necessary. The lot shown hereon complies with the minimum ownership width and lot area as required by the Maryland State Department of the Environment. Percolation areas and water wells for adjoining lots within 100 feet of the property lines have been shown.

G.W.A.P. TO BE AMENDED AS NECESSARY PRIOR TO BUILDING PERMIT.

PLAN VIEW

SCALE: 1" = 50'

FIRST FLOOR	AREA - SQUARE FOOT
ENTRANCE HALL	808
ENTRANCE STAIR NO. 1	103
OFFICE NO. 1	170
OFFICE NO. 2	170
CHAPEL	102
STORAGE	102
PREPARATION AREA	142
SERMON AREA	341
FUTURE CHAIR NO. 2	94
NOISE PROOF	171
WOMEN'S TOILET NO. 1	111
MEN'S TOILET NO. 1	116
PREPARATION AREA #2	142
CLOSET NO. 1	10
CLOSET NO. 2	10
TOTAL	4100

SECOND FLOOR	AREA - SQUARE FOOT
FUTURE FELLOWSHIP HALL	908
FUTURE WORK ROOM	250
ELECTRIC/TELEPHONE ROOM	45
MECHANICAL ROOM	60
FUTURE CORRIDOR	80
FUTURE CLASSROOM #1	235
FUTURE CLASSROOM #2	250
FUTURE CLASSROOM #3	250
FUTURE CLASSROOM #4	250
FUTURE CLASSROOM #5	250
FUTURE WOMEN'S TOILET NO. 2	130
FUTURE MEN'S TOILET NO. 2	130
FUTURE STAIR NO. 2	102
FUTURE STAIR NO. 1	121
TOTAL	4100

SHEET INDEX

SHEET NO.	DESCRIPTION
1 OF 5	SITE DEVELOPMENT PLAN
2 OF 5	SEDIMENT CONTROL PLAN
3 OF 5	LANDSCAPING & TRAFFIC CONTROL PLAN
4 OF 5	S.U.M. DETAILS & NOTES
5 OF 5	SED. CONT. DETAILS & NOTES

SITE DEVELOPMENT PLAN

LOT 1
BALTIMORE SUNG RAK CHURCH
RILEY L. CARR PROPERTY
TAX MAP No: 40 PARCEL: 116
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT, 1998
SHEET 1 OF 5

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE, P.O. BOX 10272, BALTIMORE NATIONAL FIRE ELLIOTT CITY, MARYLAND 21226
410.461.2955

LOT #	STREET ADDRESS
1	7724 BROWN'S BRIDGE ROAD

STATE OF MARYLAND
DEPARTMENT OF THE ENVIRONMENT
5-31-00

ENGINEER'S CERTIFICATE
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer (Print name below signature) *Paul M. Sutt* Date 5-31-00

DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer (Print name below signature) *Elaine Chong* Date 8-1-00

Reviews for HOWARD SCD and meets Technical Requirements.
Cheryl Sumner 8/13/00
U.S.D.A. - Natural Resources Conservation Service
This development plan is approved for erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Jim K. Johnston 8/13/00
Howard SCD

OWNER & DEVELOPER
BALTIMORE SUNG RAK CHURCH
7724 BROWN'S BRIDGE ROAD
FULTON, MARYLAND 20777

APPROVED: DEPARTMENT OF PLANNING AND ZONING
James S. Smith 8/30/00
Director - Department of Planning and Zoning
Conrad Hamilton 9/25/00
Chief, Division of Land Development
Michael Williams 11/16/00
Chief, Development Engineering Division

SUBDIVISION	SECTION/AREA	LOT NO.
RILEY L. CARR PROPERTY		1
PLAT NO.	BLOCK NO.	ZONE
10203	15	RR
TAX/ZONE	ELEC. DIST.	CENSUS TR.
40	5TH	6051.02
WATER CODE	SEWER CODE	

GENERAL NOTES

These specifications are applicable to all ponds within the scope of the Ordinance for practice MD-378. All references to ASHTO and AASHTO specifications apply to the most recent editions.

Site Preparation
Areas designated for borrow areas, embankment, and structural work shall be cleared, graded and sloped to avoid erosion. All trees, stumps, vegetation, rocks and other objectionable material shall be removed. Channels and steep slopes shall be sloped to no steeper than 1:1. Areas to be covered by the reservoir will be cleared of all trees, brush, logs, stumps and other objectionable material unless otherwise specified. When specified, sufficient quantity of stone will be provided in a suitable location for use in the embankment and other designated areas.

Earth Fill
The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubble, stones larger than 12 inches or other objectionable material. Fill material for the center of the embankment and cut off trench shall conform to Unified Soil Classification C-1, C-2, or CL and shall be compacted to a minimum of 95% relative compaction. The material shall be free of roots and other debris. Embankment areas supervised by a professional engineer.

Construction
Areas on which fill is to be placed shall be fortified prior to placement of fill. Fill materials shall be placed in minimum 8 inch thick layers compacted to 95% relative compaction. The material shall be placed in a suitable location for use in the embankment and other designated areas. The principal surface of the embankment shall be compacted with a minimum of 8 inch layers. The embankment shall be compacted to a minimum of 95% relative compaction.

Completion
The movement of the embankment and spreading equipment over the embankment shall be controlled so that the entire surface of the embankment is covered by a layer of material. The surface shall be compacted to a minimum of 95% relative compaction. The surface shall be covered by a layer of material. The surface shall be compacted to a minimum of 95% relative compaction.

Final Condition
All areas on which fill is to be placed shall be fortified prior to placement of fill. Fill materials shall be placed in minimum 8 inch thick layers compacted to 95% relative compaction. The material shall be placed in a suitable location for use in the embankment and other designated areas. The principal surface of the embankment shall be compacted with a minimum of 8 inch layers. The embankment shall be compacted to a minimum of 95% relative compaction.

STONE OUTLET TRAP (ST II)

DRAINAGE AREA: 2.81 AC.
VOLUME REQUIRED: 1016 CU. FT.
VOLUME PROVIDED: 11250 CU. FT.
WEIR ELEVATION: 453.00
TOP OF EMBANKMENT: 454.00
DEPTH: 5.00
CLEARANCE: 453.00
BOTTOM: 450.00

ZONED R.R.-DEO

PEPCO L-1675 FF-701

LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
---	Spot Elevation
---	Spot Elevation
---	Silt Fence
---	First Floor Elevation
---	Basement Elevation
---	Proposed Walkout
---	Cart Path
---	Tree Protection
---	Existing Tree Line
---	Limit of Disturbance
---	Existing Street Tree

MD-378 POND SPECIFICATIONS

Materials - Reinforced concrete pipe shall be made and applied with rubber gaskets and shall meet or exceed ASTM Designation C152. Reinforced concrete pipe shall be made and applied with rubber gaskets and shall meet or exceed ASTM Designation C152.

Shading - All reinforced concrete pipe conduits shall be laid in concrete bedding for their entire length. This bedding shall consist of high strength concrete placed under the pipe and on the sides of the pipe at least 10% of its outside diameter with a minimum thickness of 3 inches or as shown on the drawings.

3. Material - 18" and 24" pipe shall be placed with the bed and bedding. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length, the bedding shall be placed so that all joints under the original line and grade of the pipe. The first joint must be sealed within 7 feet from the clear.

4. Material - 18" and 24" pipe shall be placed with the bed and bedding. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length, the bedding shall be placed so that all joints under the original line and grade of the pipe. The first joint must be sealed within 7 feet from the clear.

5. Material - 18" and 24" pipe shall be placed with the bed and bedding. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length, the bedding shall be placed so that all joints under the original line and grade of the pipe. The first joint must be sealed within 7 feet from the clear.

Foundation and Settlement Control
Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. Stone and soil will be constructed to meet the requirements of ASHTO and AASHTO specifications. Stone and soil will be constructed to meet the requirements of ASHTO and AASHTO specifications.

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

1. Material - 18" and 24" pipe shall be placed with the bed and bedding. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length, the bedding shall be placed so that all joints under the original line and grade of the pipe. The first joint must be sealed within 7 feet from the clear.

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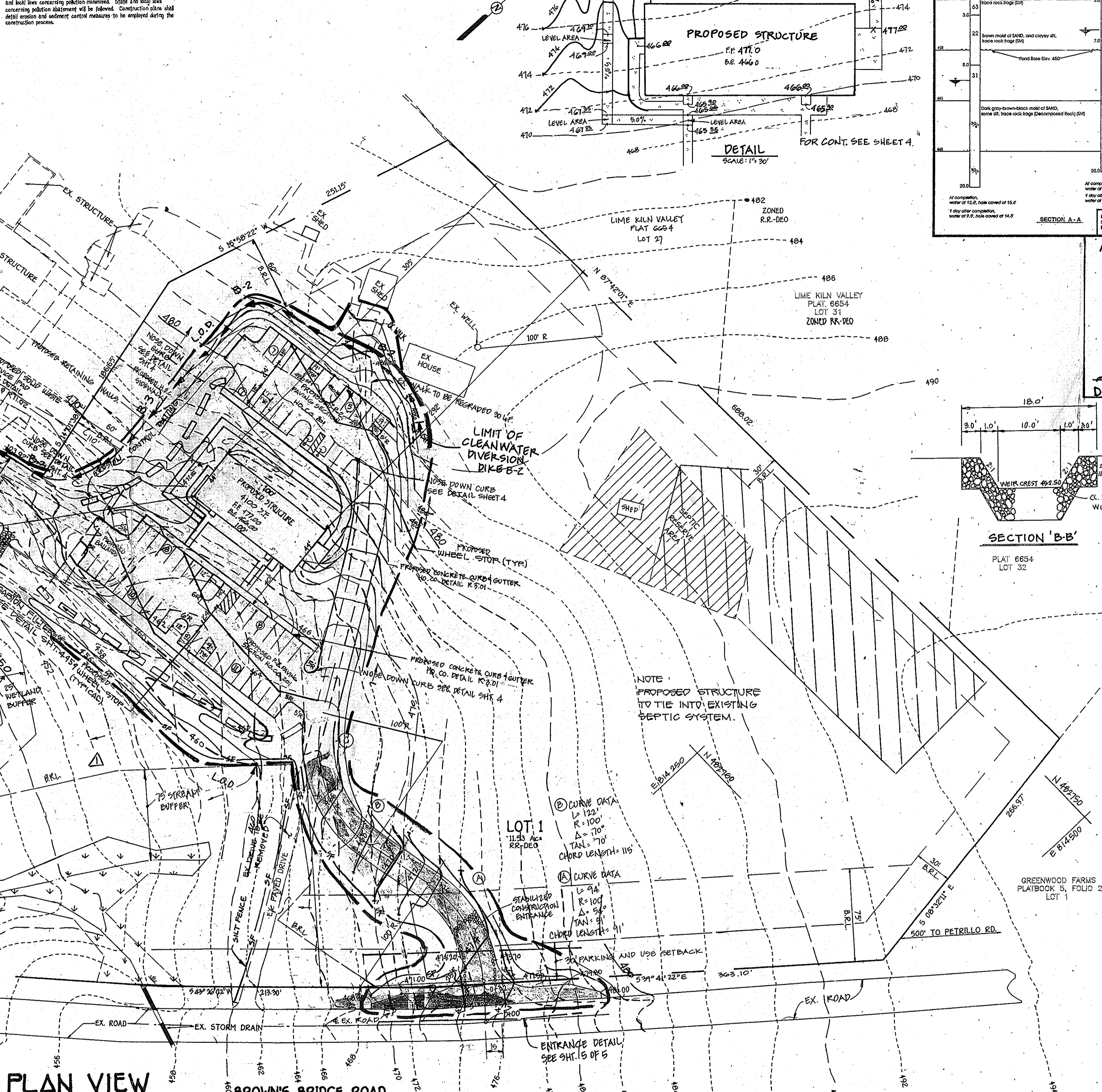
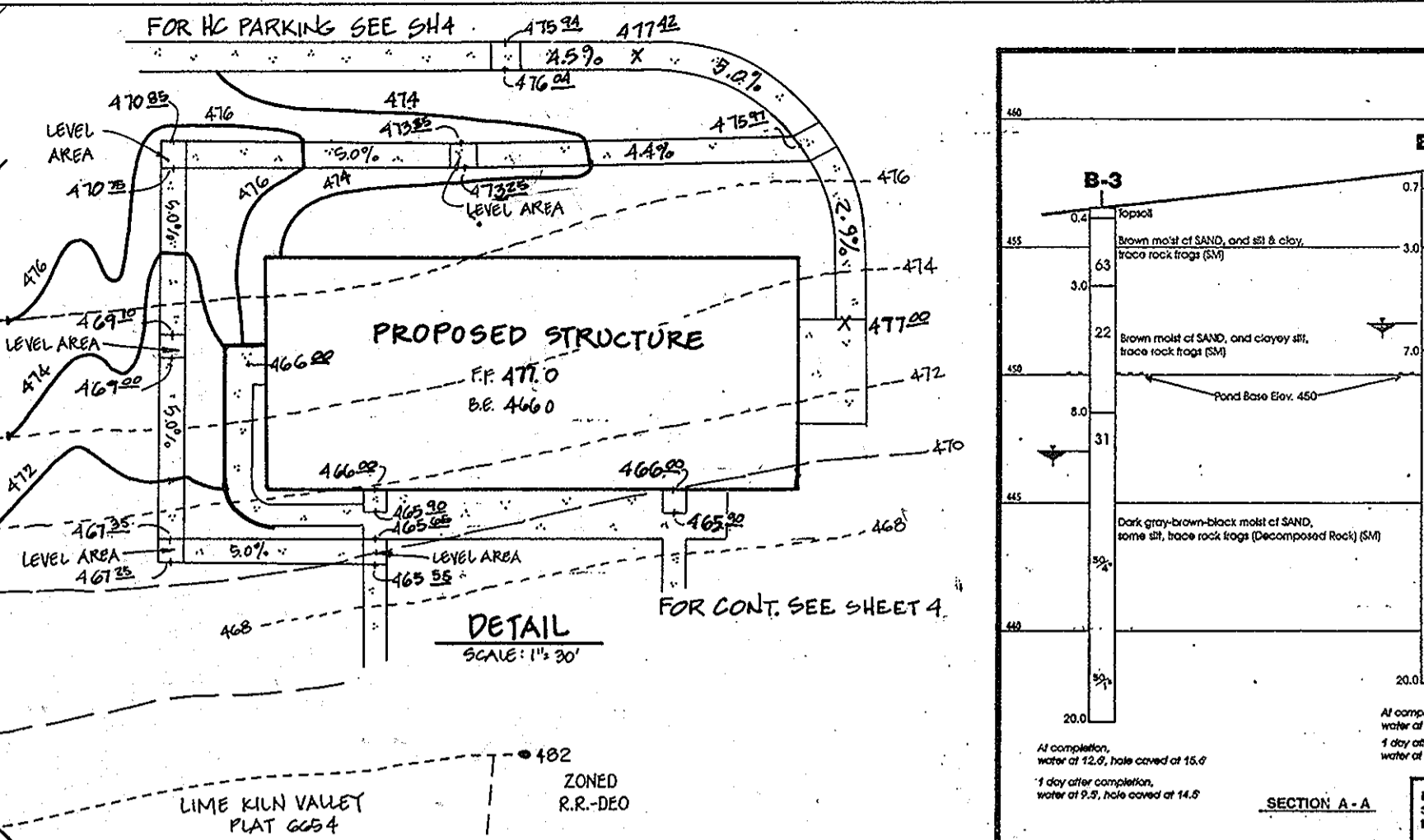
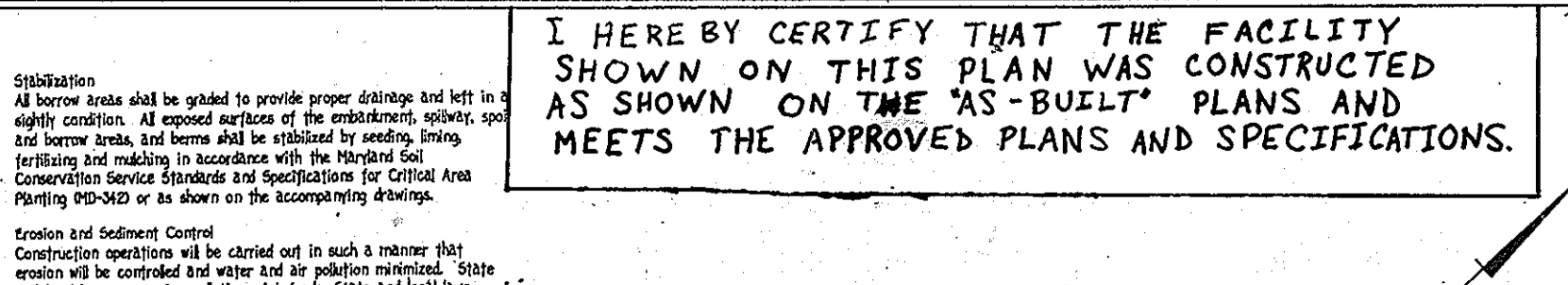
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9. Material - 18" and 24" pipe shall be placed with the bed and bedding. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length, the bedding shall be placed so that all joints under the original line and grade of the pipe. The first joint must be sealed within 7 feet from the clear.



PLAN VIEW SCALE: 1" = 50'

ADDRESS CHART

LOT #	STREET ADDRESS
1	7724 BROWN'S BRIDGE ROAD

ENGINEER'S CERTIFICATE

I certify that this plan and sediment control represents a practical and workable plan based on the best knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *E. L. [Signature]* Date: 5-31-00

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Elaine Chong* Date: 8-1-00

OWNER & DEVELOPER

BALTIMORE SUNG RAK CHURCH
7724 BROWN'S BRIDGE ROAD
FULTON, MARYLAND 20777

SEDIMENT CONTROL PLAN

LOT 1
BALTIMORE SUNG RAK CHURCH
RILEY L. CARR PROPERTY

TAX MAP No: 40 PARCEL: 116
5TH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT, 1998
SHEET 2 OF 5

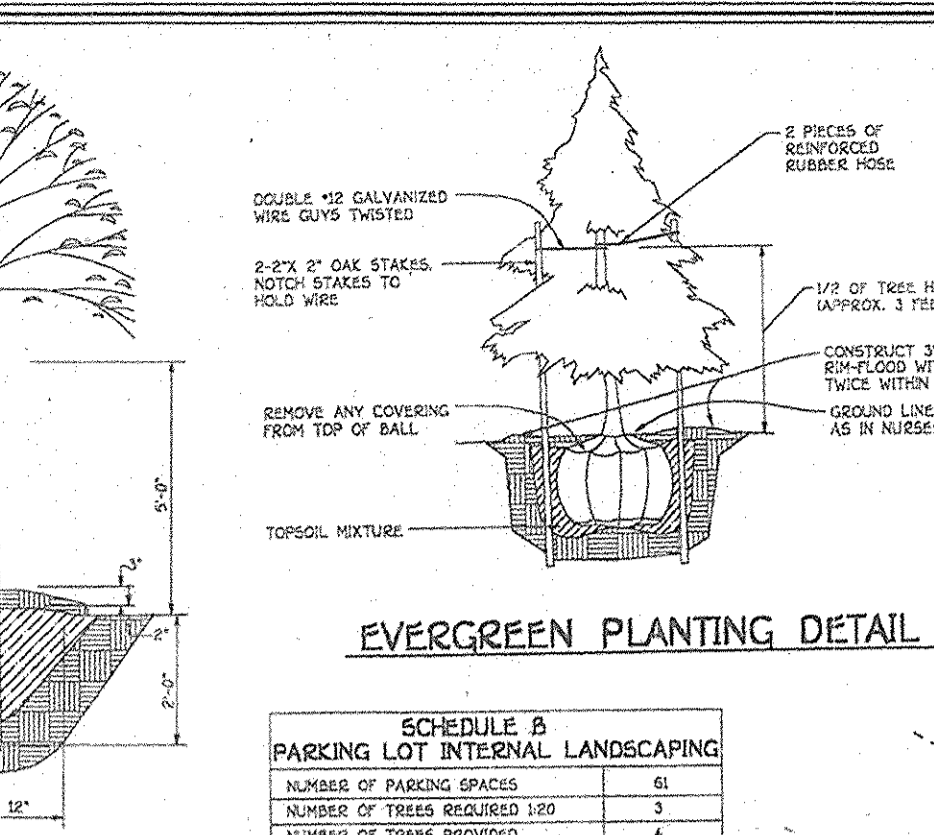
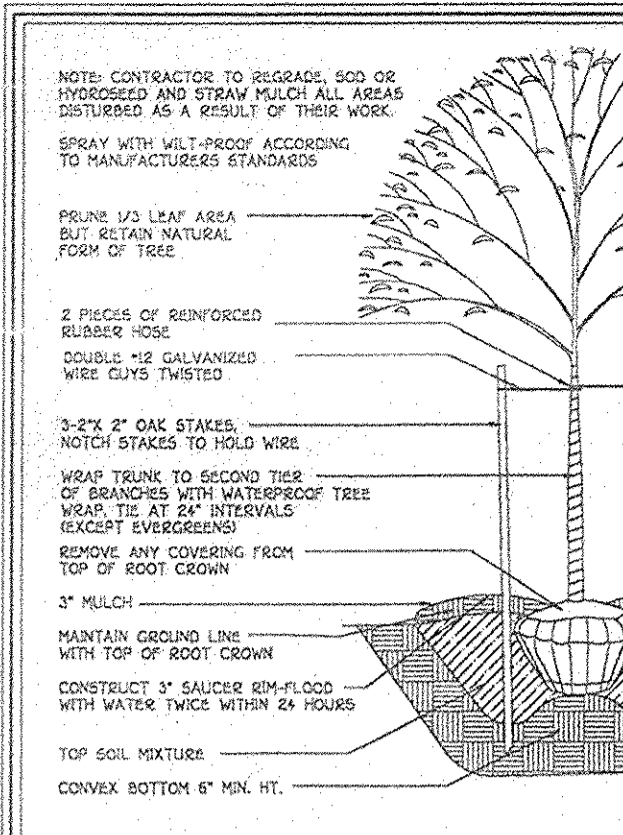
BALTIMORE SUNG RAK BAPTIST CHURCH
9316MD
AUG, 1998

AS-BUILT CERTIFICATION

DOMENICK COLANGELO #27200

BORING PROFILES

BORING NO.	DATE	DEPTH	SOIL TYPE	REMARKS
B-1	8/30/00	11	CLAY	
B-2	8/30/00	11	CLAY	
B-3	8/30/00	11	CLAY	
B-4	8/30/00	11	CLAY	



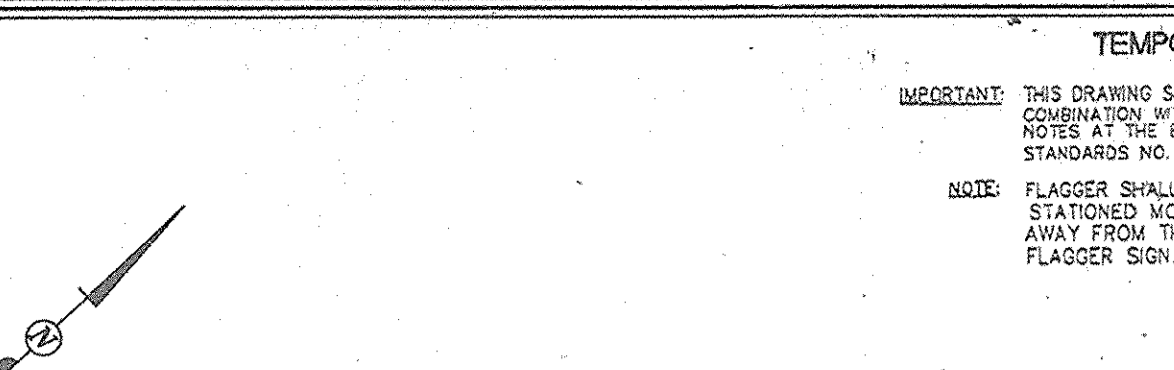
SCHEDULE A

PERIMETER	BUFFER TYPE AND LENGTH	NUMBER PLANTS REQUIRED	EVERGREEN	SHRUBS	SHRUBS
1	A (438')			7	
2	C (690')		34	17	
3	C (280')		13	7	
4	A (180')		13	5	
5	NOT REQUIRED				
TOTAL LANDSCAPING PROVIDED			47	48	45

DEVELOPER/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Elaine Chong DATE: 8-1-00



AS-BUILT CERTIFICATION

THIS DRAWING SHALL BE USED IN COMBINATION WITH THE GENERAL NOTES AT THE BEGINNING OF STANDARDS NO. 104.00.

IMPORTANT: THIS DRAWING SHALL BE USED IN COMBINATION WITH THE GENERAL NOTES AT THE BEGINNING OF STANDARDS NO. 104.00.

DATE: 10/10/00

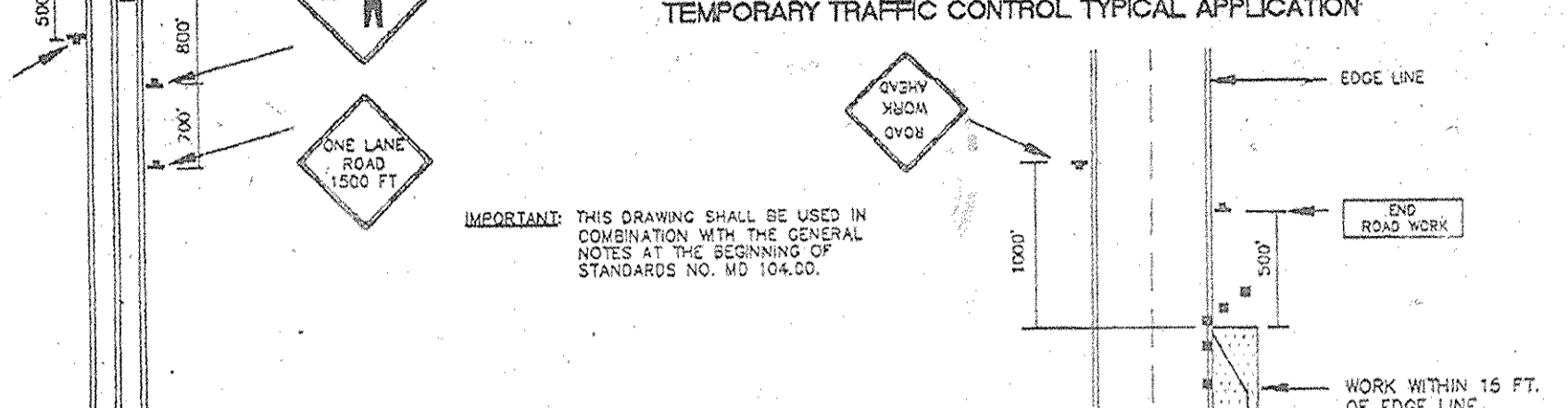
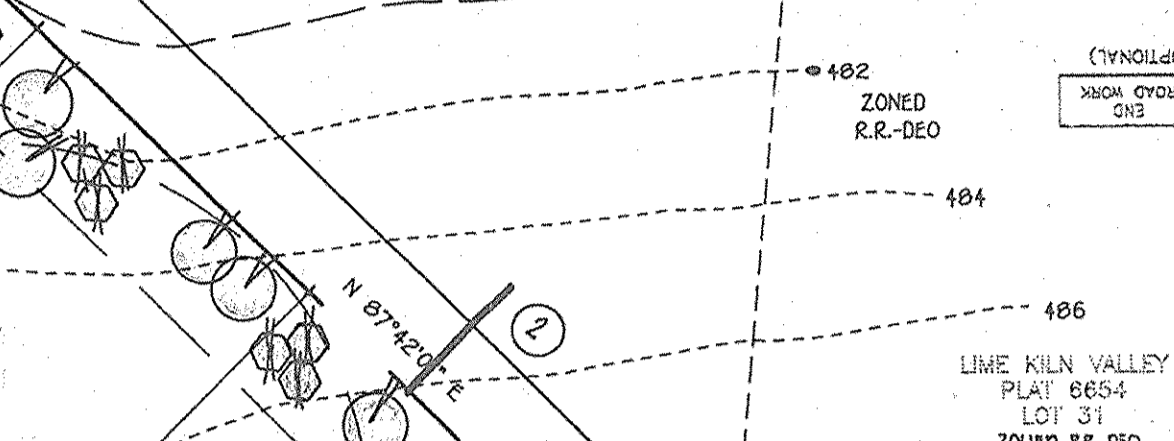
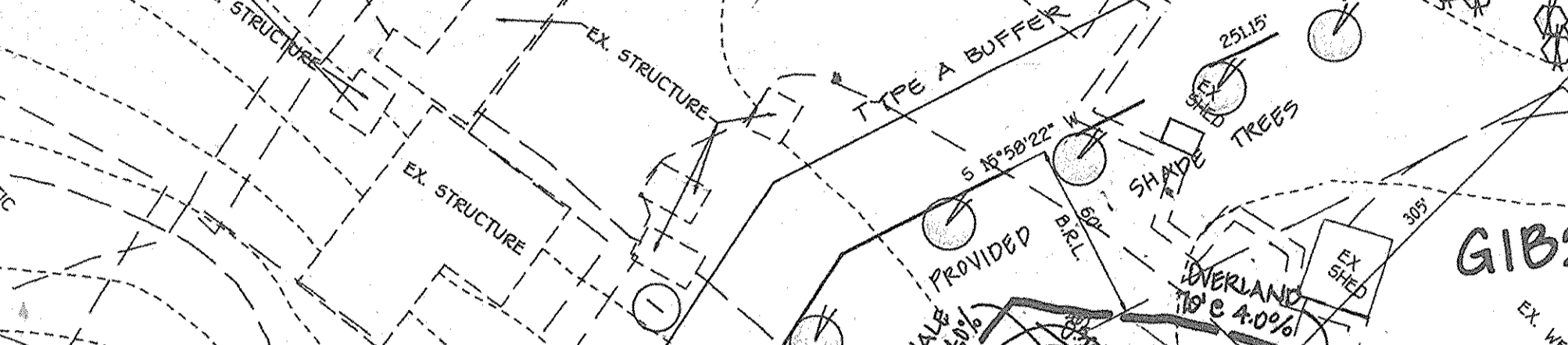
DOMENICK COLANGELO #27200

LANDSCAPE LEGEND

QUANTITY	SYMBOL	DESCRIPTION
66	(Symbol)	ACER RUBRUM, OCTOGON GLOVEY / RED SUNSET, RED MAPLE 6 1/2" x 7" CAL.
61	(Symbol)	PINUS STROBILIFERA/RED WHITE PINE 6-8' HEIGHT
45	(Symbol)	SLYONYLUS CLAUSCHOVICUS SIEBODANA SIC BOLD SLYONYLUS

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED
60	3	4
189	4	4
SHADE TREES		4
OTHER TREES (21 SUBSTITUTION)		-
LANDSCAPE ISLANDS REQUIRED		3
LANDSCAPE ISLANDS PROVIDED		4

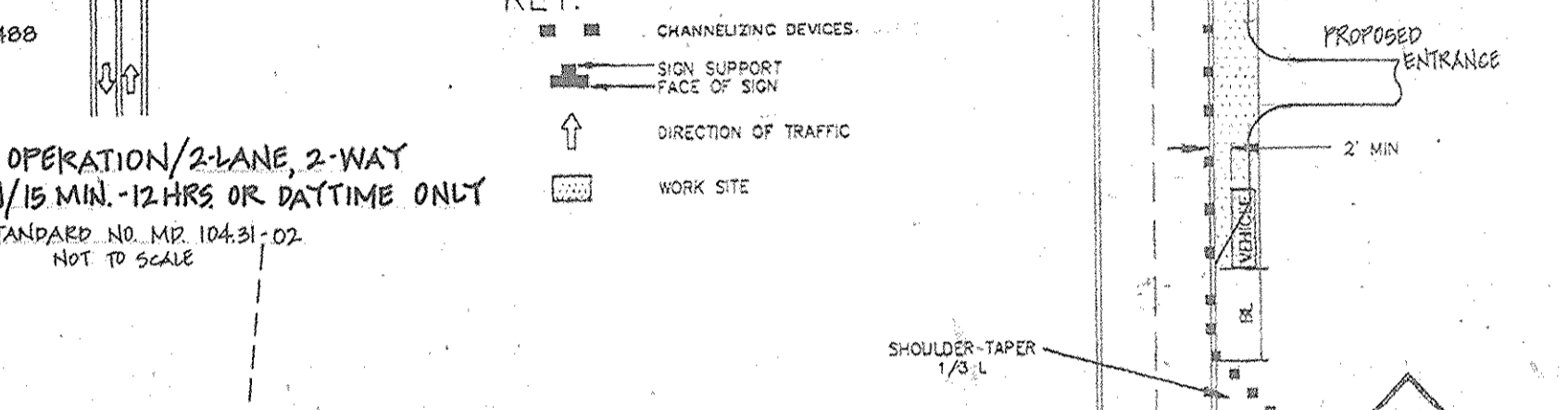
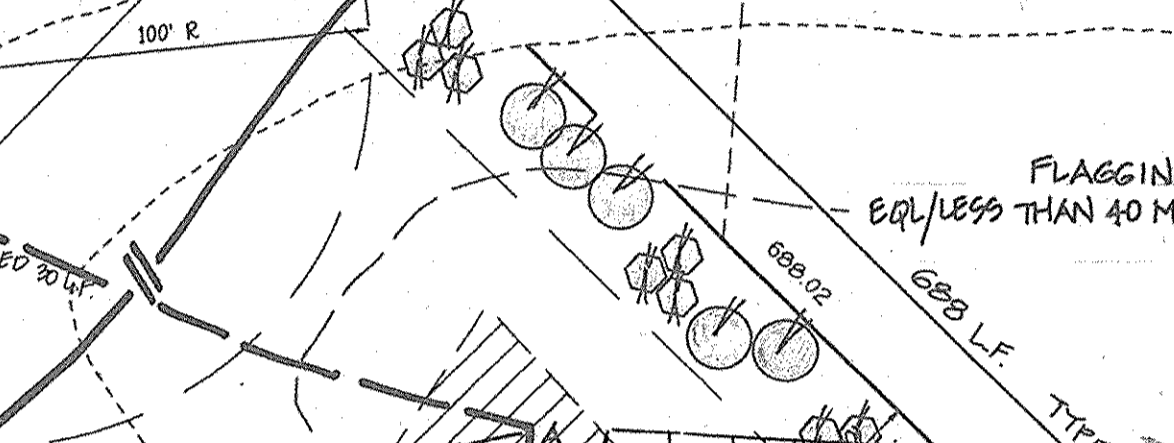


SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING

Linear Feet of Perimeter	Number of Trees Required	Number of Trees Provided
650 LF	16	16
650 LF	20	20
650 LF	20	20
650 LF	20	20
650 LF	20	20
650 LF	20	20
650 LF	20	20
650 LF	20	20
650 LF	20	20
650 LF	20	20

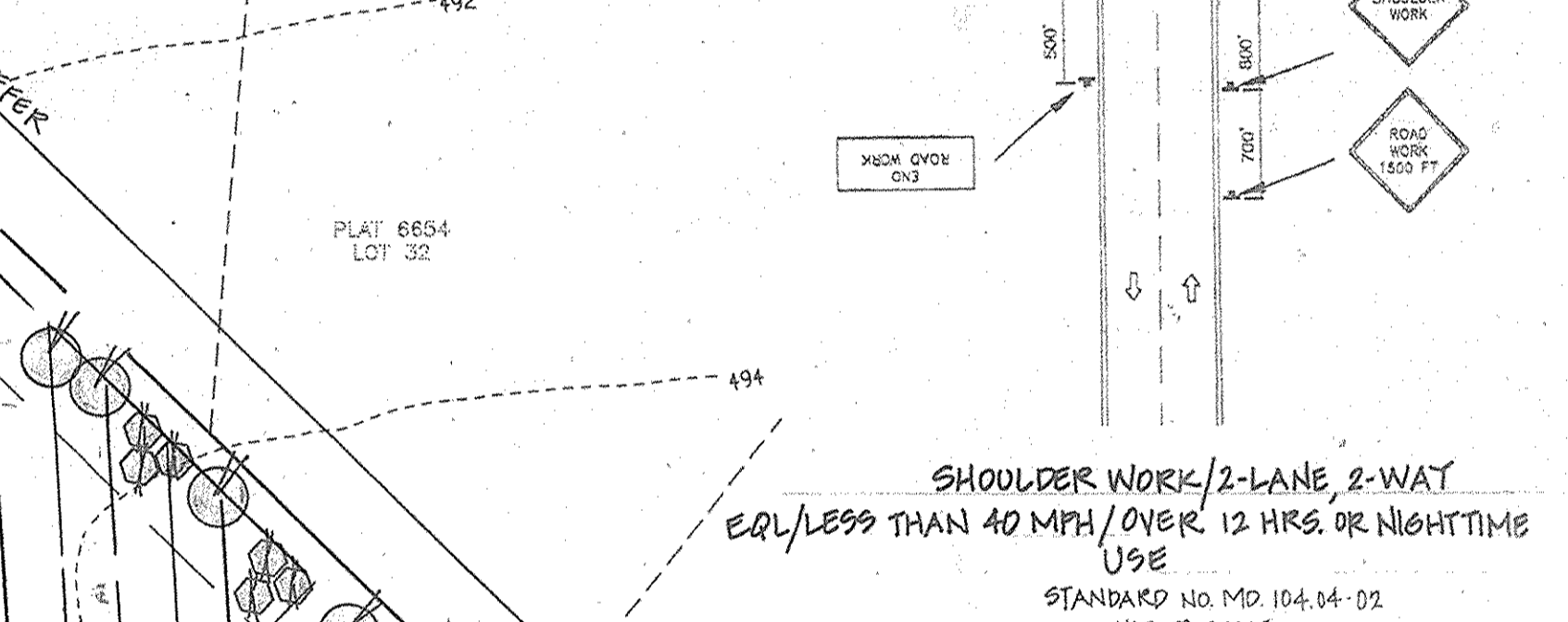
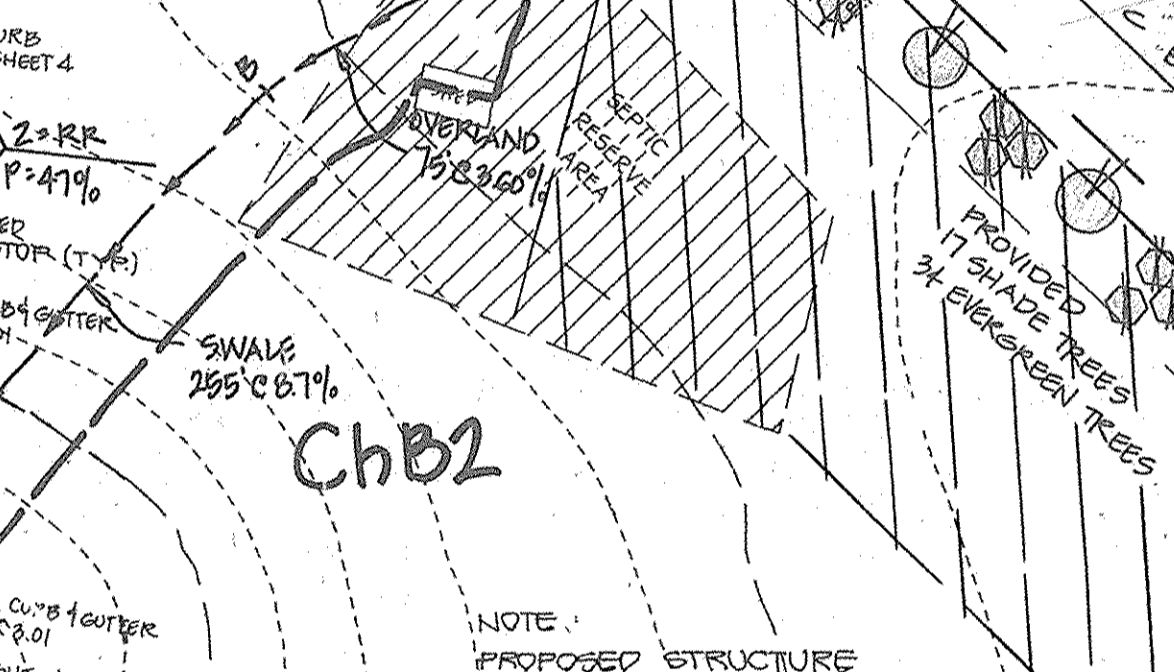
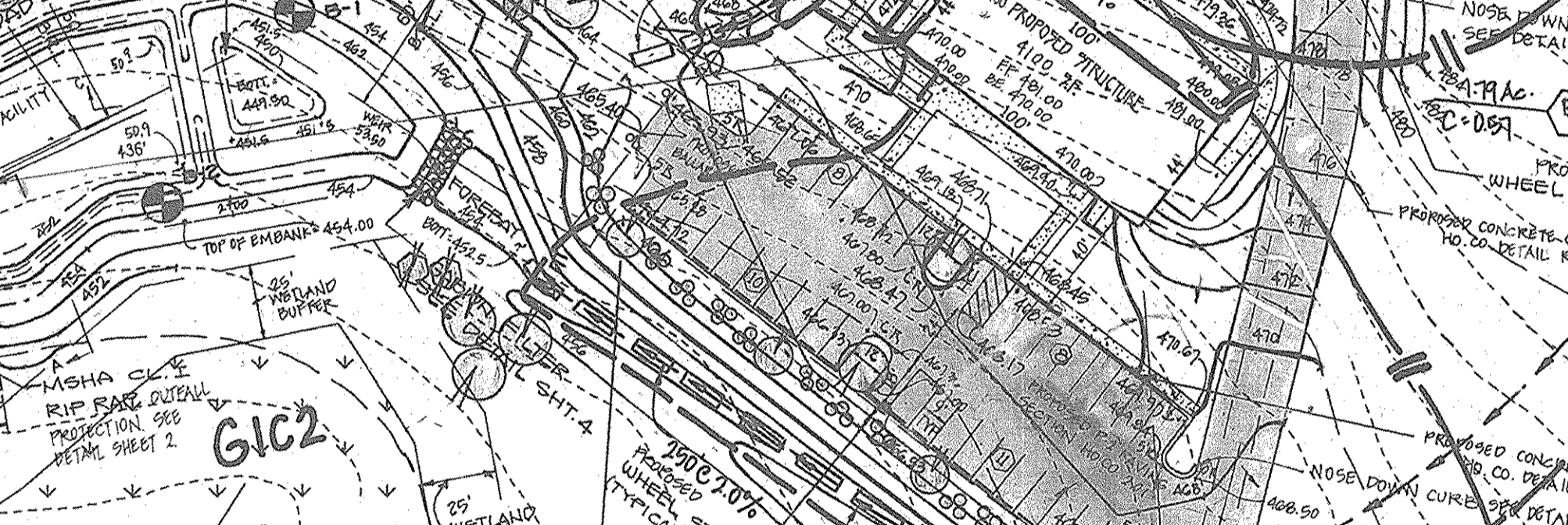
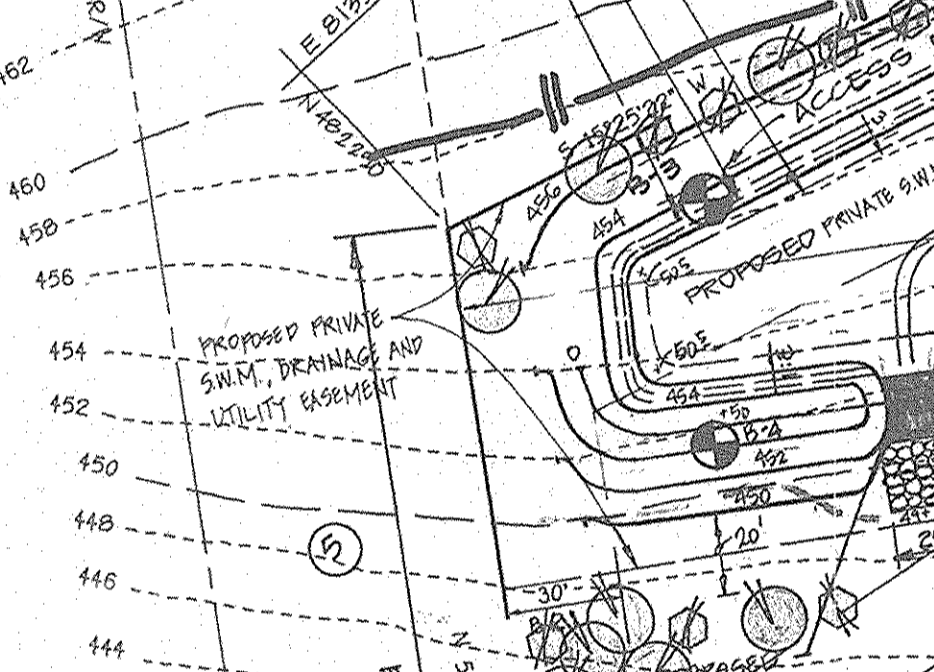
SHALLOW MARSH FOR WATER QUALITY

Linear Feet of Perimeter	Number of Trees Required	Number of Trees Provided
451.92	16	16
492.46	20	20
432.87	20	20
16	16	16
20	20	20



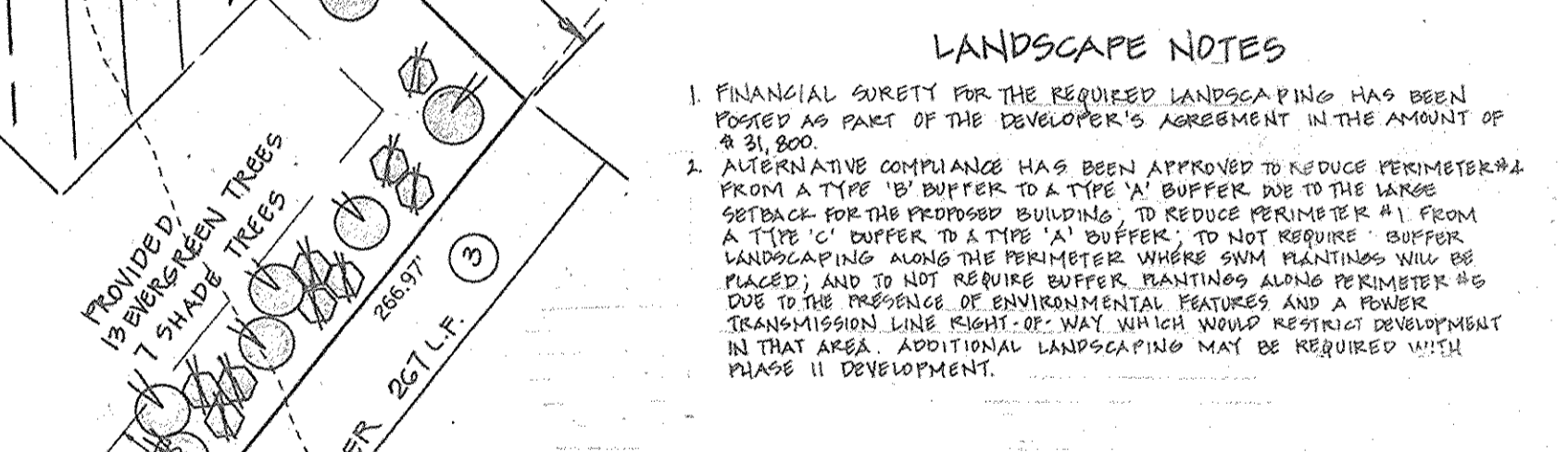
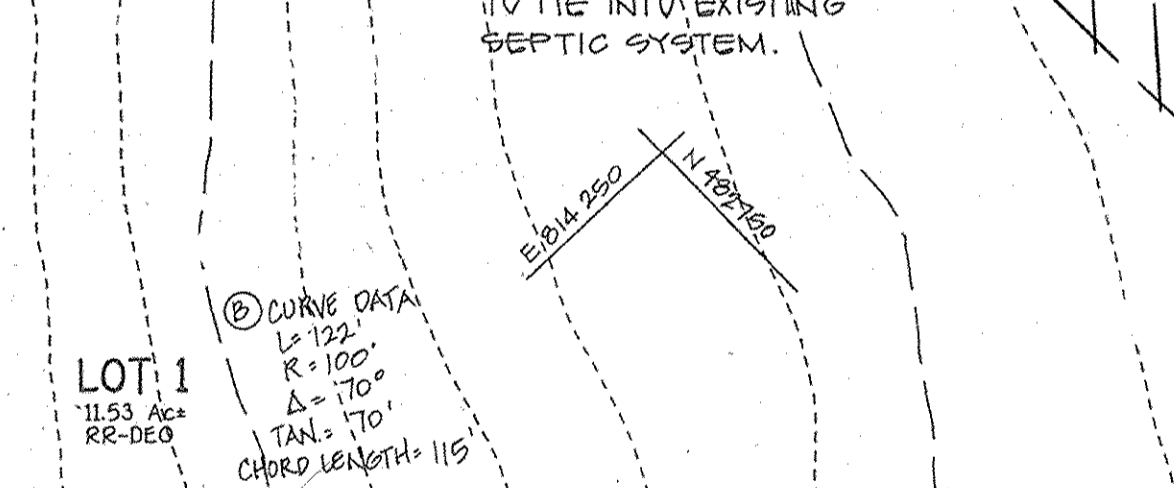
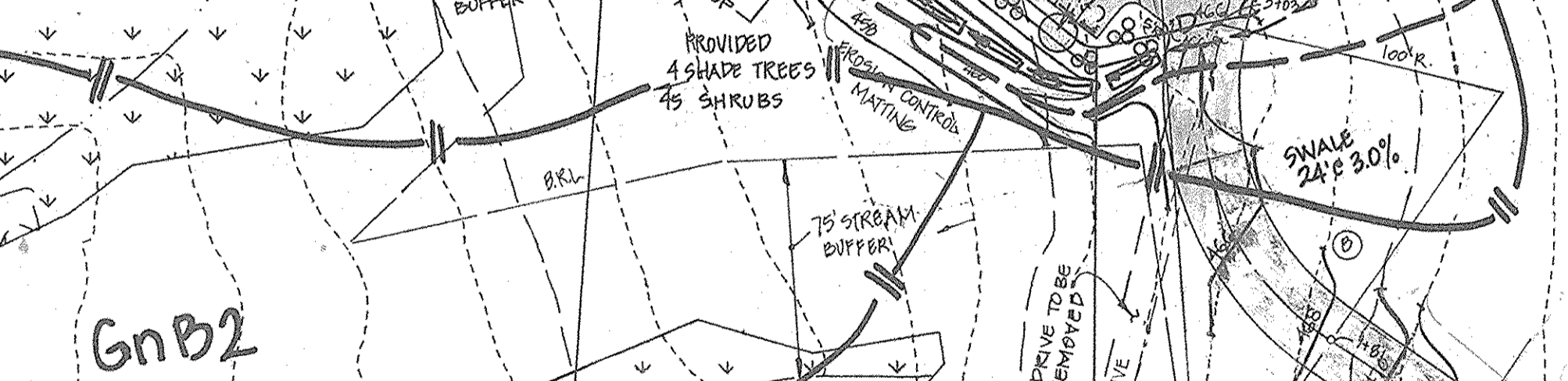
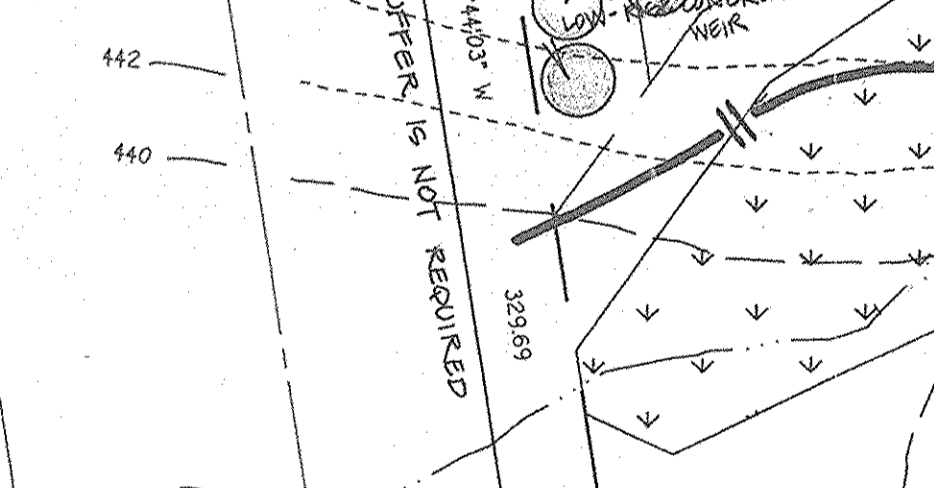
LEGEND

Symbol	Description
(Symbol)	Existing Contour 2' Interval
(Symbol)	Existing Contour 10' Interval
(Symbol)	Proposed Contour 2' Interval
(Symbol)	Proposed Contour 10' Interval
(Symbol)	Spot Elevation
(Symbol)	Silt Fence
(Symbol)	First Floor Elevation
(Symbol)	Basement Elevation
(Symbol)	Proposed Walkout
(Symbol)	Earth Dike
(Symbol)	Tree Protection
(Symbol)	Existing Tree Line
(Symbol)	Limit of Disturbance
(Symbol)	Existing Street Tree



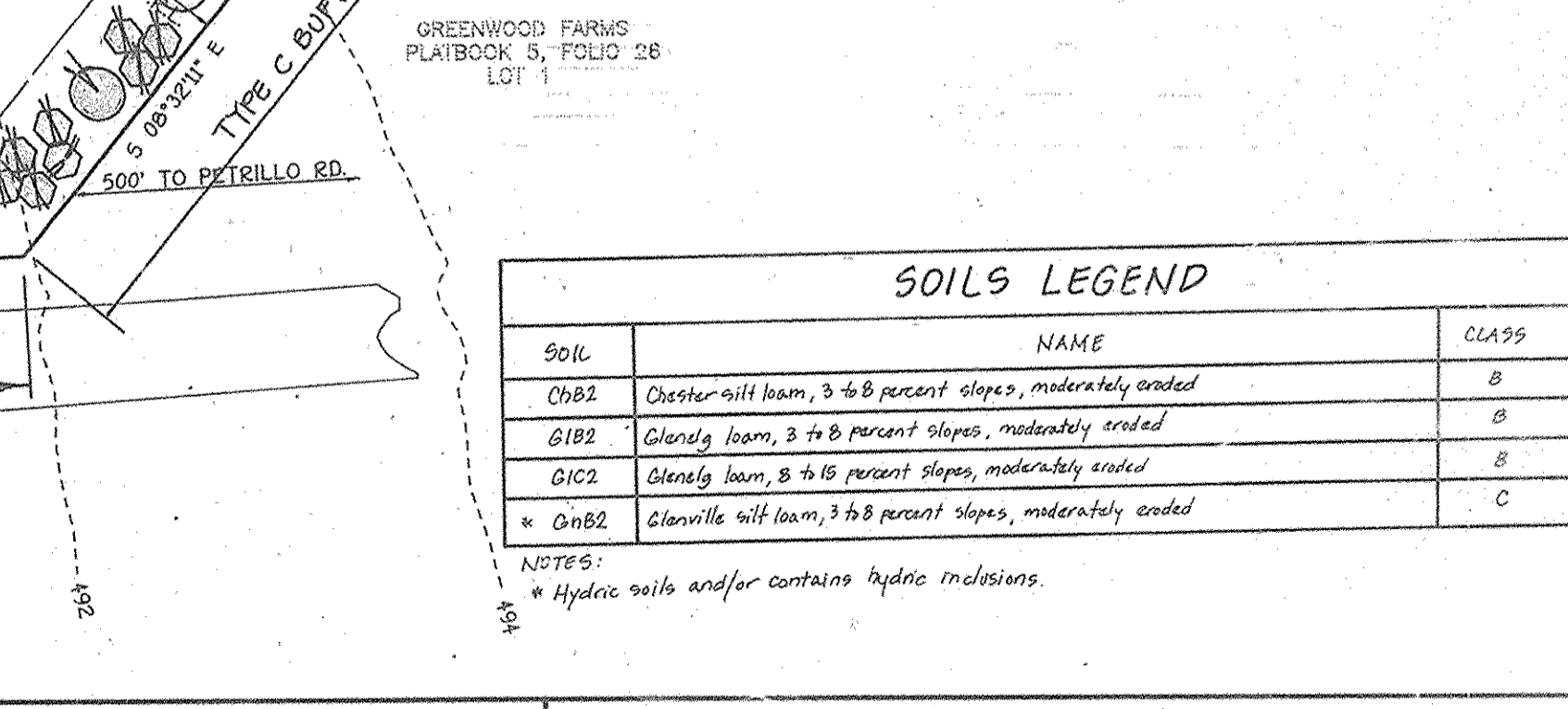
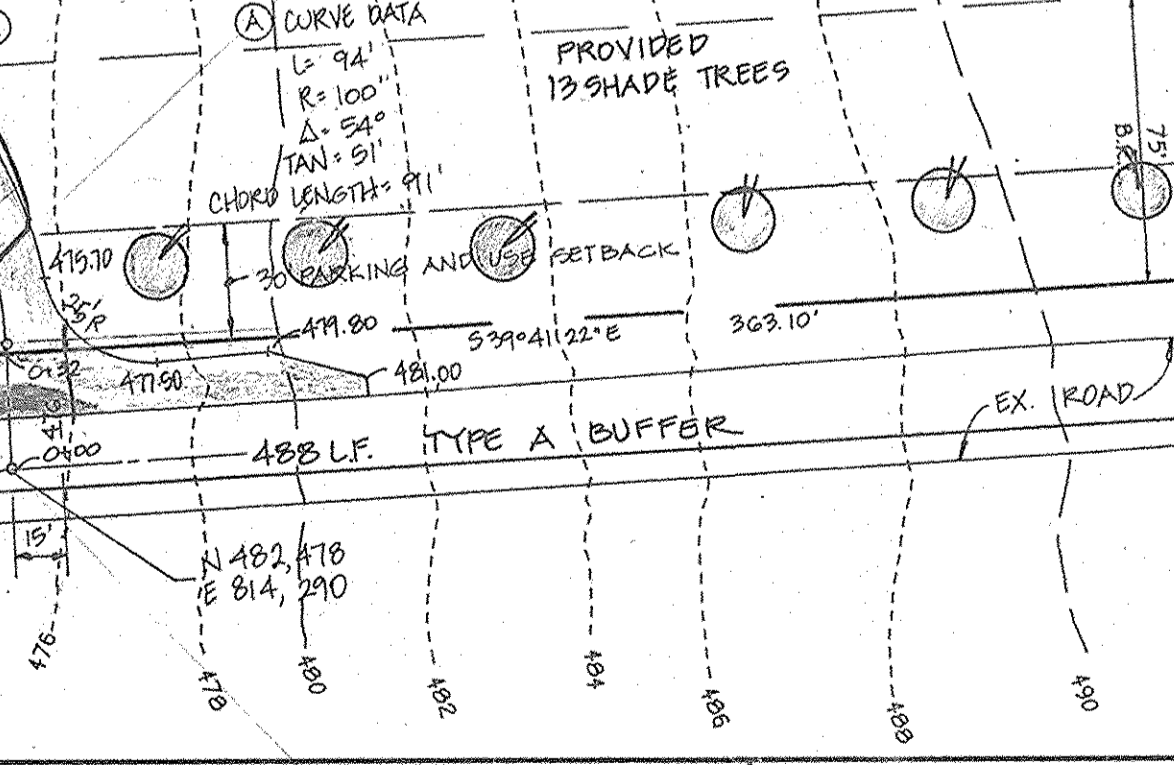
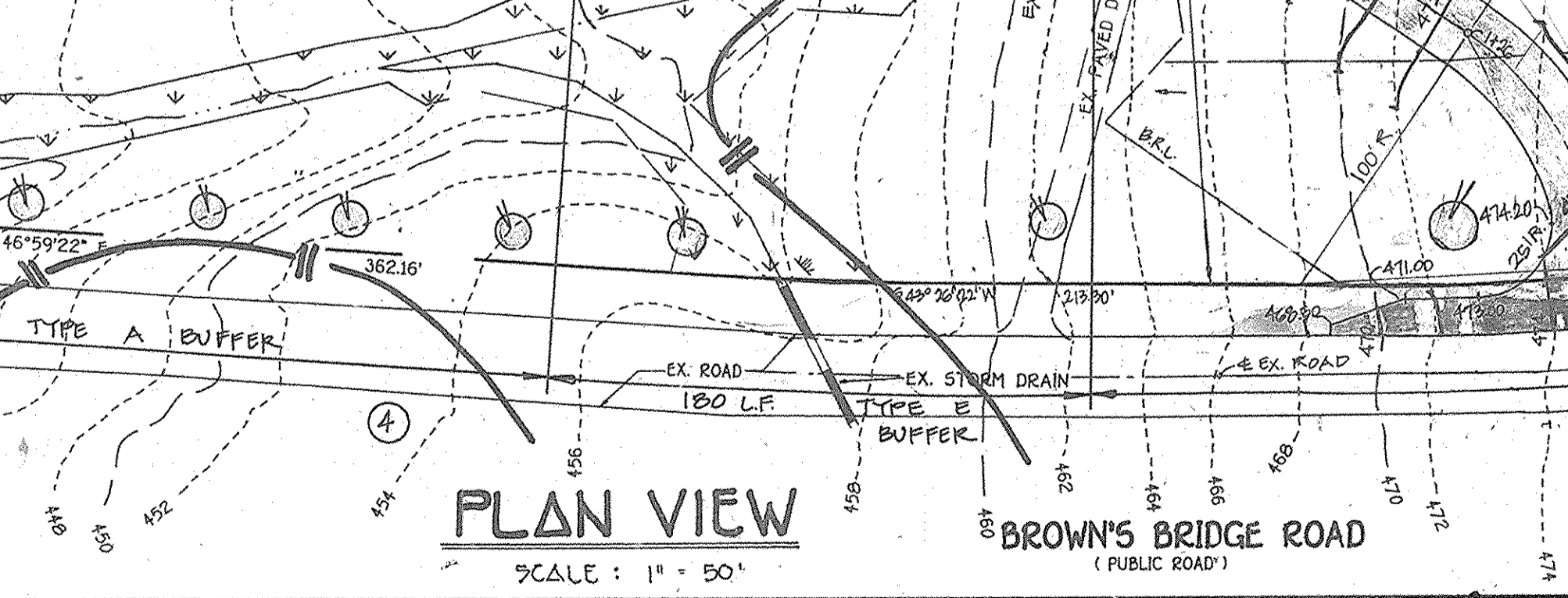
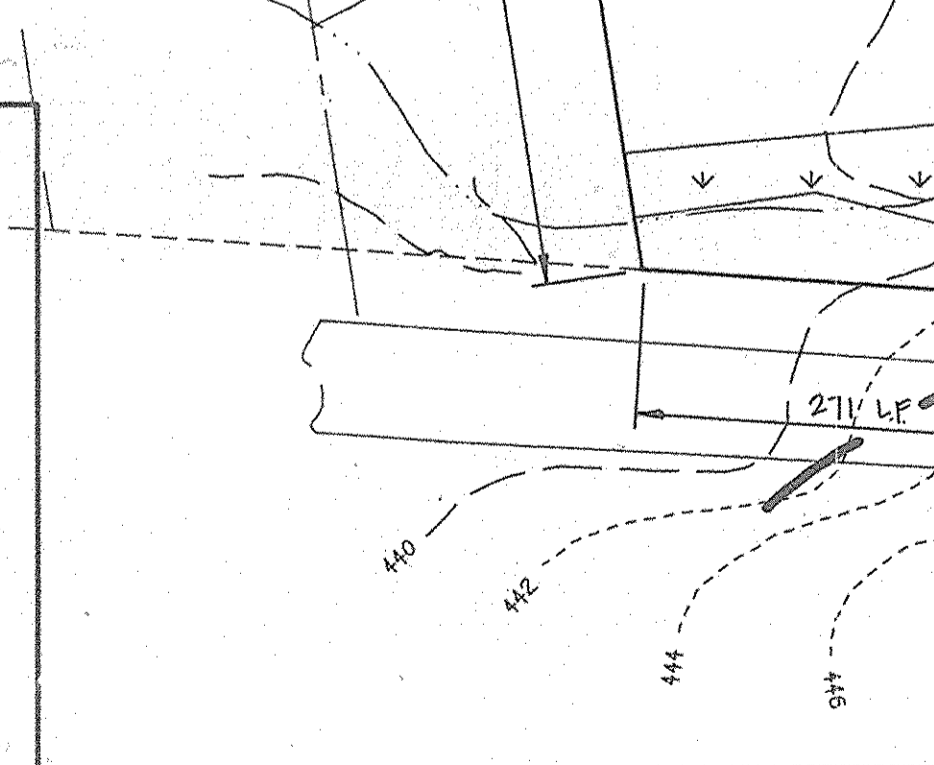
SOILS LEGEND

SOIL	NAME	CLASS
ChB2	Chester Hill loam, 3 to 8 percent slopes, moderately eroded	B
G1B2	Glenlyon loam, 3 to 8 percent slopes, moderately eroded	B
G1C2	Glenlyon loam, 8 to 15 percent slopes, moderately eroded	B
GnB2	Glenlyon loam, 3 to 8 percent slopes, moderately eroded	C



ADDRESS CHART

LOT #	STREET ADDRESS
1	7724 BROWN'S BRIDGE ROAD



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10275 MARSHALL ROAD
ELLSWORTH CITY, MARYLAND 21117
410-461-2855

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
Tom M... 8/23/00 DATE

ENGINEER'S CERTIFICATE
I certify that this plan of erosion and sediment control represents a practical and workable plan based on the general knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: Elaine Chong DATE: 8-31-00

DEVELOPER'S CERTIFICATE
I/WE certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

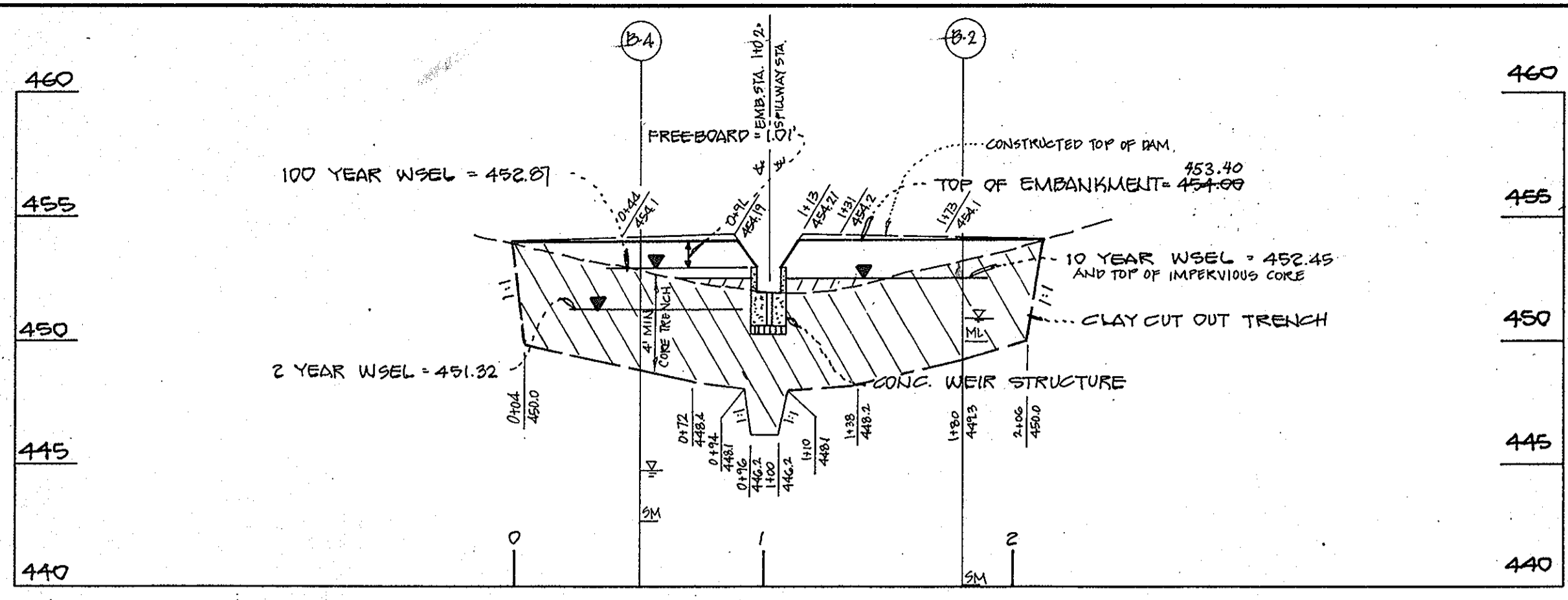
Signature of Developer (Print name below signature): Elaine Chong DATE: 8-1-00

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: John ... DATE: 8/13/00
Chief, Division of Land Development: John ... DATE: 8/15/00
Chief, Development Engineering Division: John ...

OWNER & DEVELOPER
BALTIMORE SUNG RAK CHURCH
7724 BROWN'S BRIDGE ROAD
FULTON, MARYLAND 20777

LANDSCAPING, TRAFFIC CONTROL PLAN AND DRAINAGE AREA MAP

LOT 1
BALTIMORE SUNG RAK CHURCH
RILEY L. CARR PROPERTY
TAX MAP No: 40 PARCEL: 116
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT., 1998
SHEET 3 OF 5

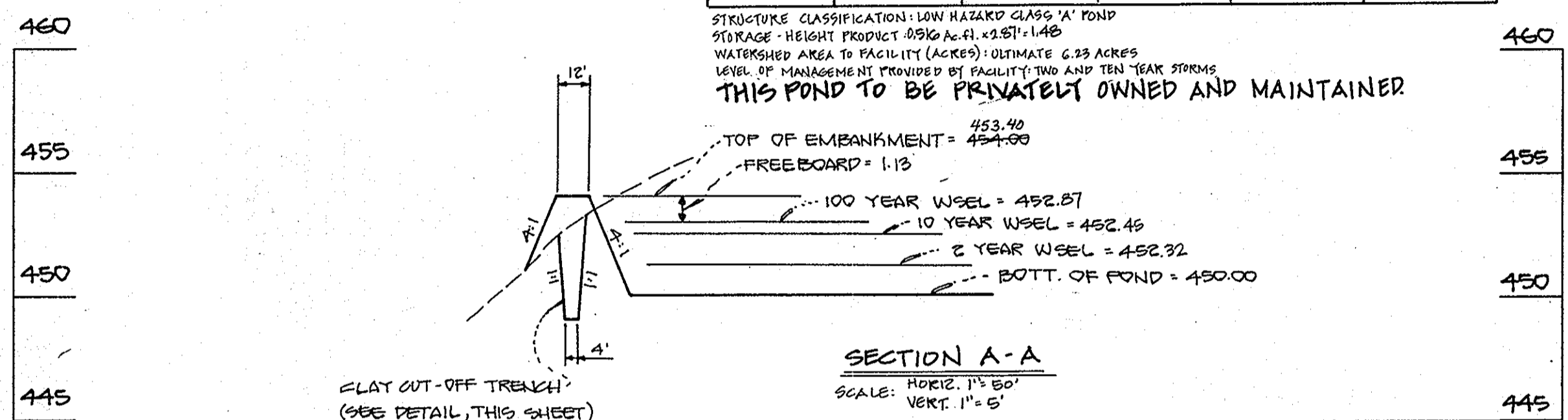


PROFILE ALONG C-C OF EMBANKMENT

SCALE HORIZ. 1" = 50'
VERT. 1" = 5'

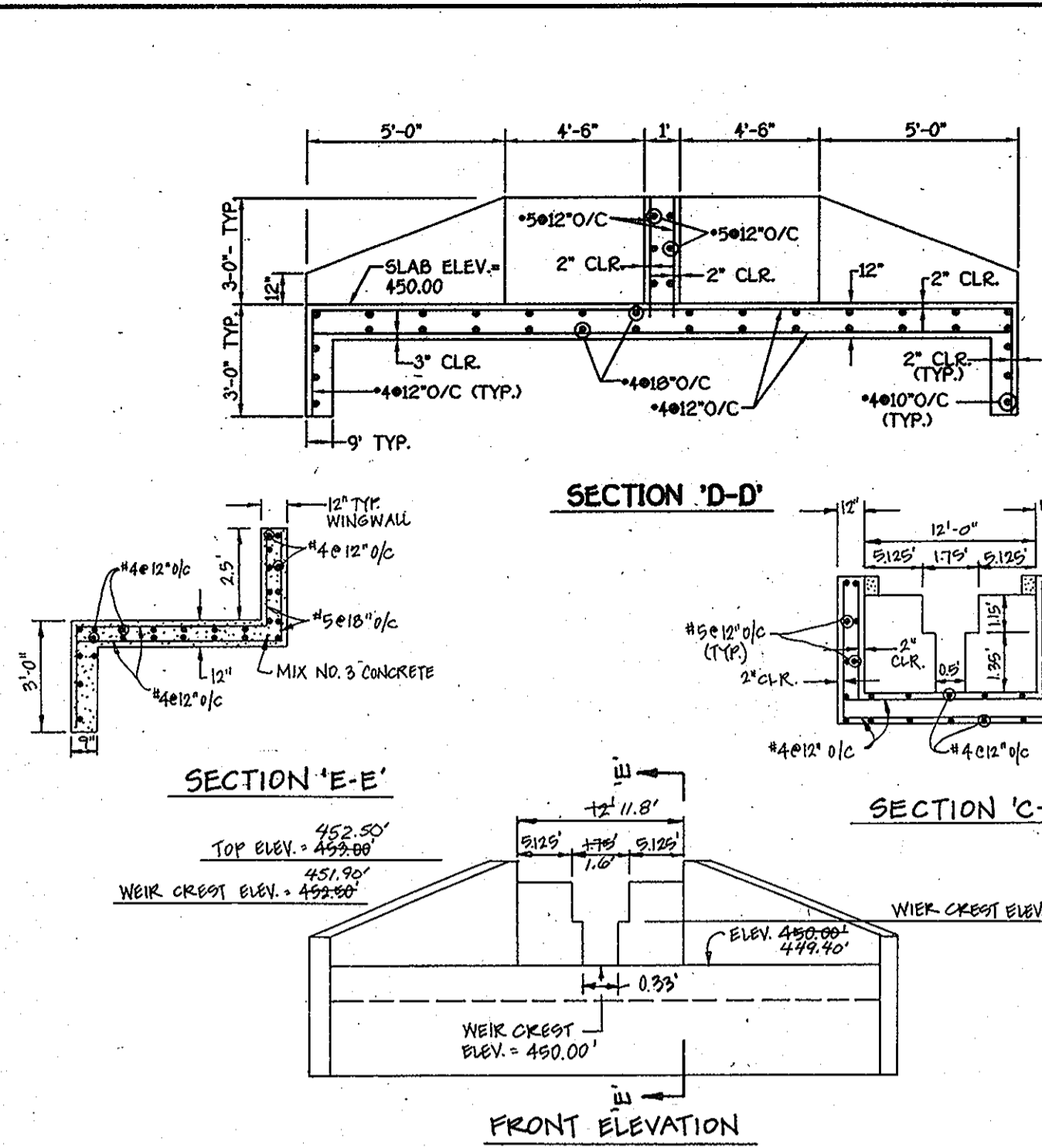
DESIGN STORM	ALLOWABLE RELEASE RATE	FACILITY INFLOW	FACILITY DISCHARGE	WATER SURFACE ELEVATION	STORAGE VOLUME (Ac-ft)
2 YEAR	SITE: 12.18 CFS	7.83 CFS	1.58 CFS	451.32	0.156
10 YEAR	SITE: 45.49	19.14 CFS	8.11 CFS	451.45	0.390
100 YEAR	N/A	33.39 CFS	13.25 CFS	451.87	0.516

STRUCTURE CLASSIFICATION: LOW HAZARD CLASS 'A' POND
STORAGE HEIGHT PRODUCT: 0.916 Ac-ft x 4.57' = 4.148
WATERSHED AREA TO FACILITY (ACRES): 0.25 ACRES
LEVEL OF MANAGEMENT PROVIDED BY FACILITY: TWO AND TEN YEAR STORMS
THIS POND TO BE PRIVATELY OWNED AND MAINTAINED

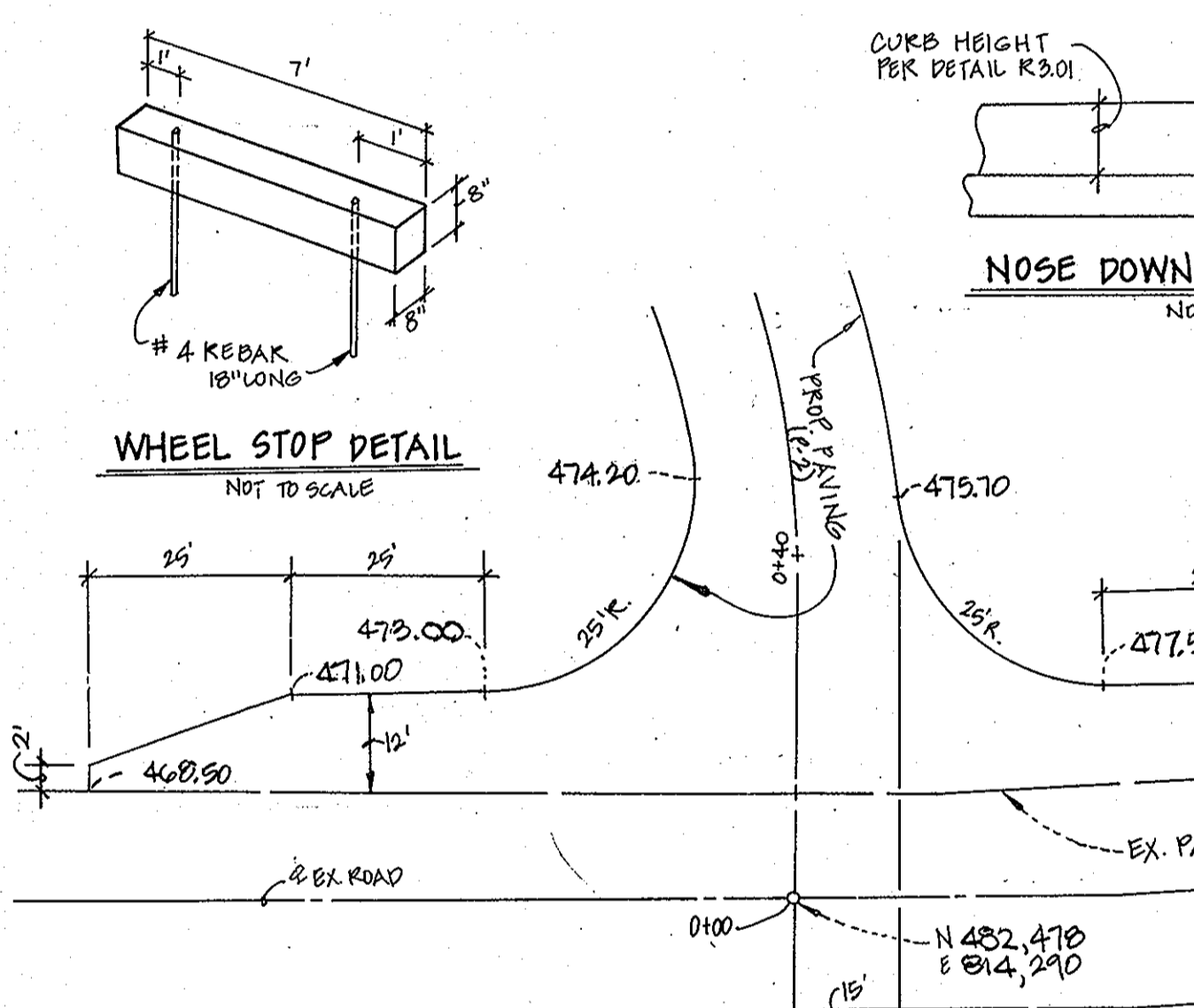


SECTION A-A

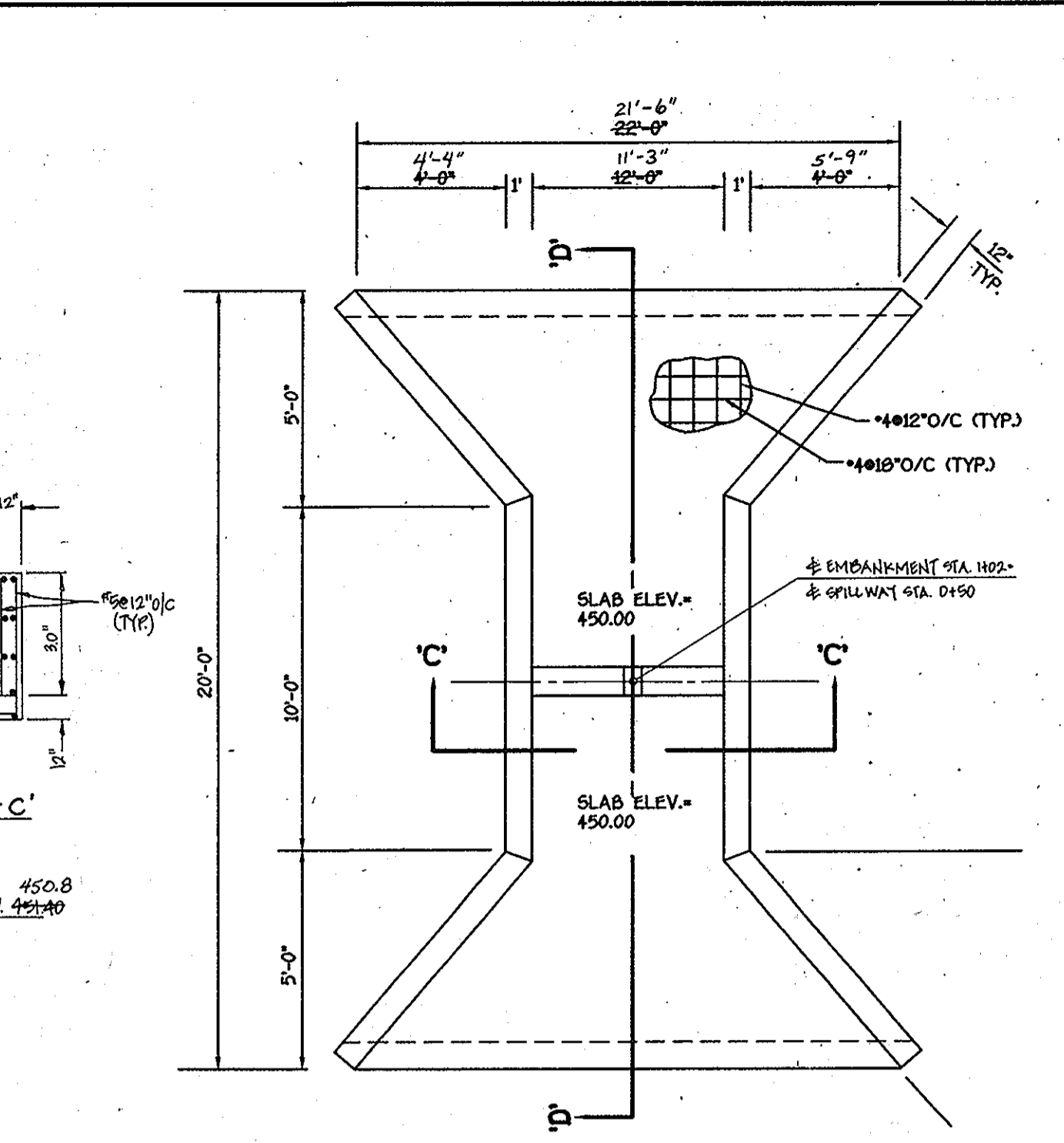
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



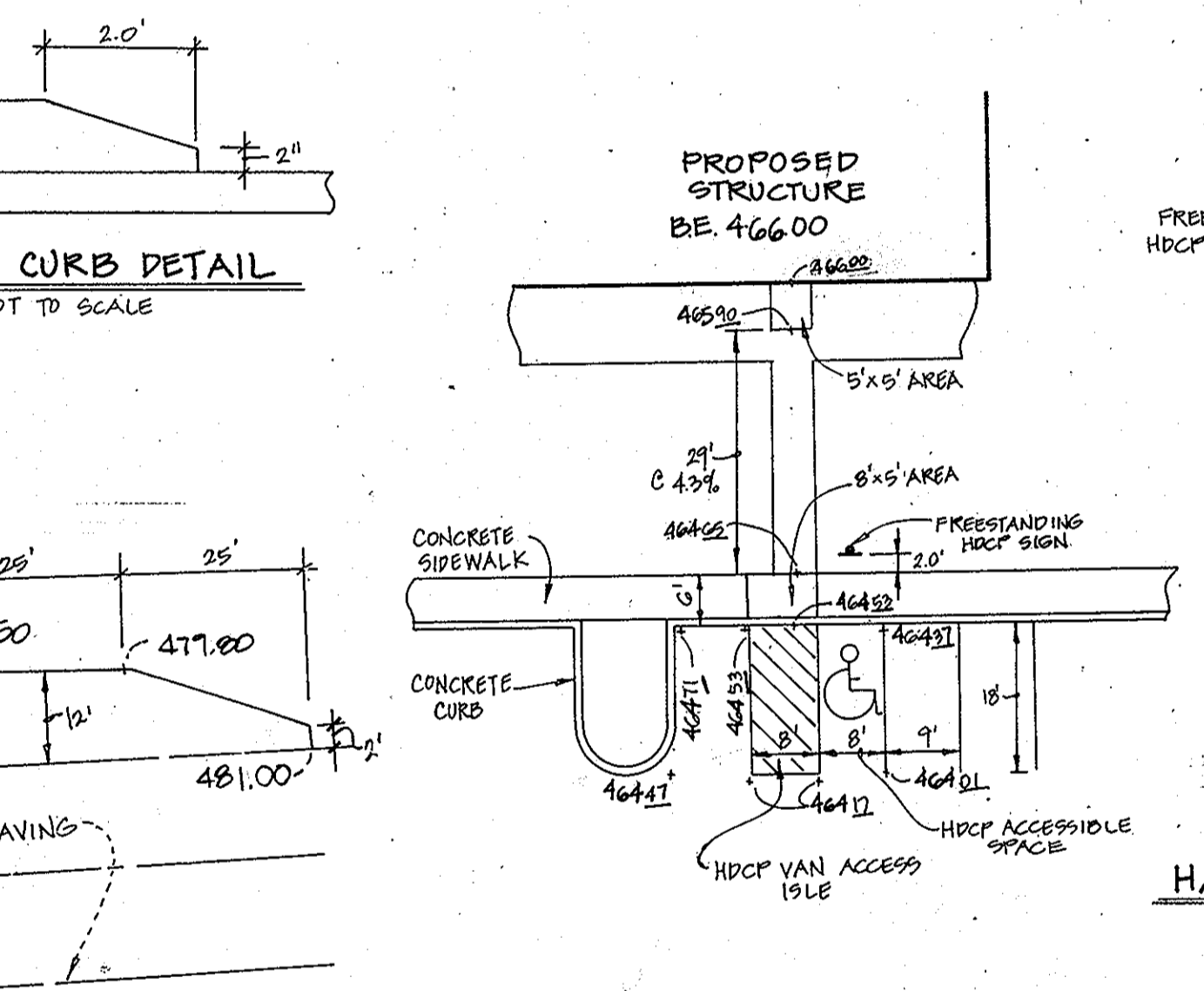
CONCRETE WEIR STRUCTURE DETAIL



BROWNS BRIDGE ROAD ENTRANCE DETAIL



PLAN



PROPOSED STRUCTURE BE 466.00

OPERATION AND MAINTENANCE SCHEDULE OF HOME OWNERS ASSOCIATION OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITY

HOME OWNERS ASSOCIATION'S MAINTENANCE RESPONSIBILITIES:

- Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
- Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.
- When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

OPERATION AND MAINTENANCE SPECIFICATIONS

I hereby certify that I will operate and maintain the completed pond in accordance with the following:

1) Periodic inspections of the facility will be made to identify potential problems that may affect its safety. These inspections will be made after periods of heavy rainfall and at least twice annually. Inspection reports shall be kept until the next subsequent inspection. Inspection items to be looked at include:

- Spillway and outlet works
- Rip-rap
- Vegetative cover
- Cracks in the fill
- Slope failures and
- Seepage and other signs of distress.

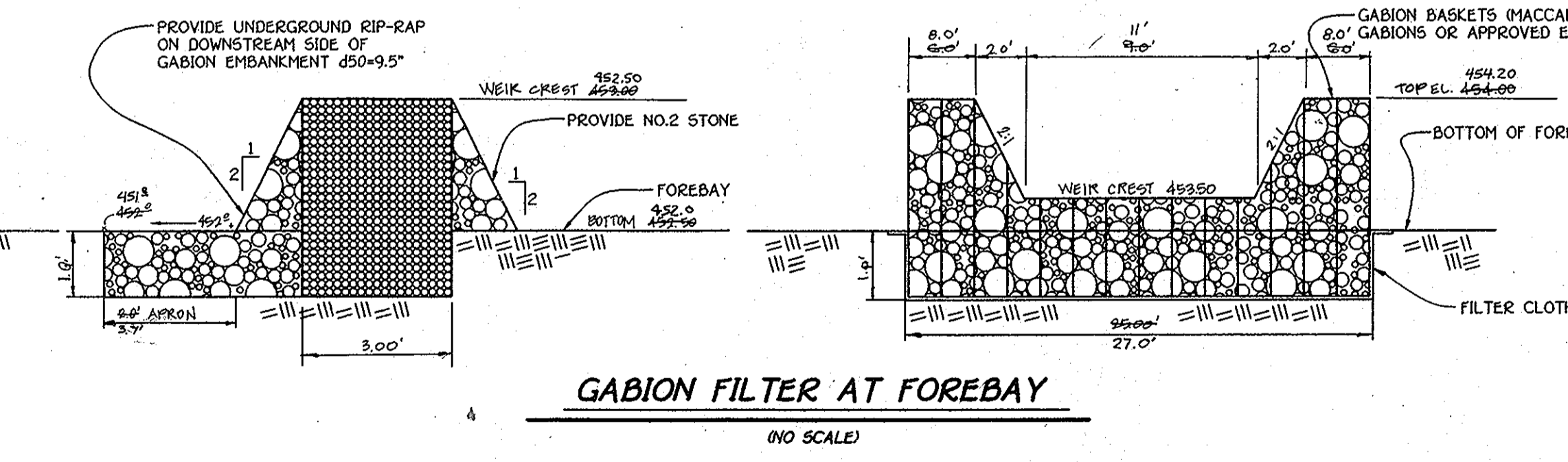
2) Problems identified during inspections will be promptly corrected. Major problems will be brought to the attention of the soil conservation district and the dam safety division of the Maryland Water Resources Administration. As a very minimum, grassy vegetation will be maintained in a dense and healthy state, and woody vegetation will not be permitted to grow on the embankment.

NOTES

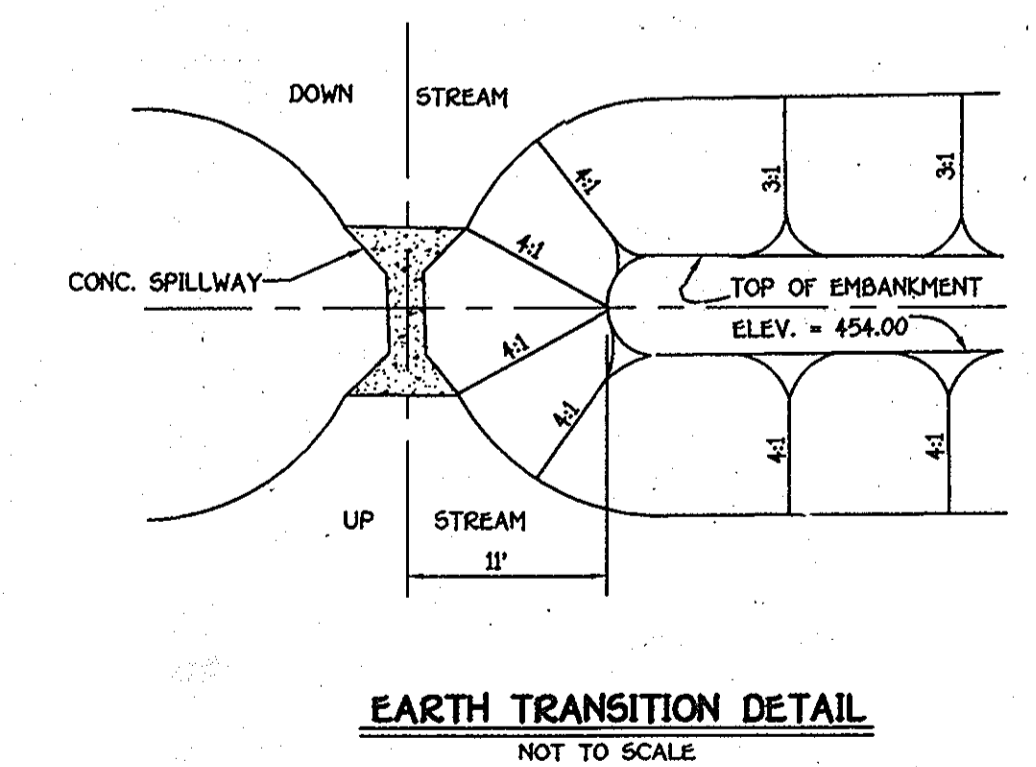
- Concrete shall conform to the Maryland D.O.T.S.H.A. Standard Specs for construction and materials, 1982 Mix No. 6, except that Type III Cement and A.S.T.M. C 33 No. 3 coarse AGC shall be used.

AS-BUILT CERTIFICATION

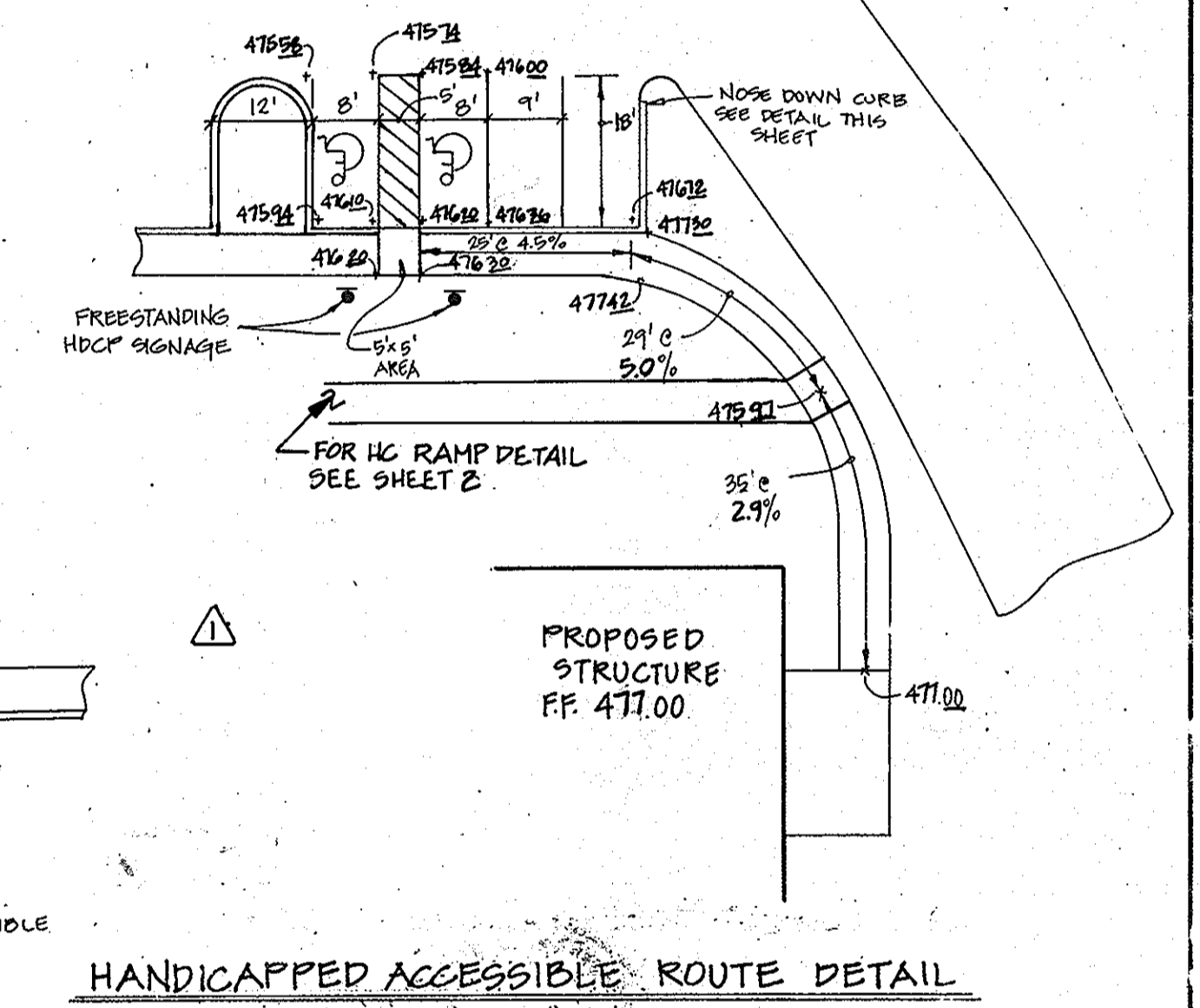
DOMENICK COLANGELO #27200 DATE 10/10/06



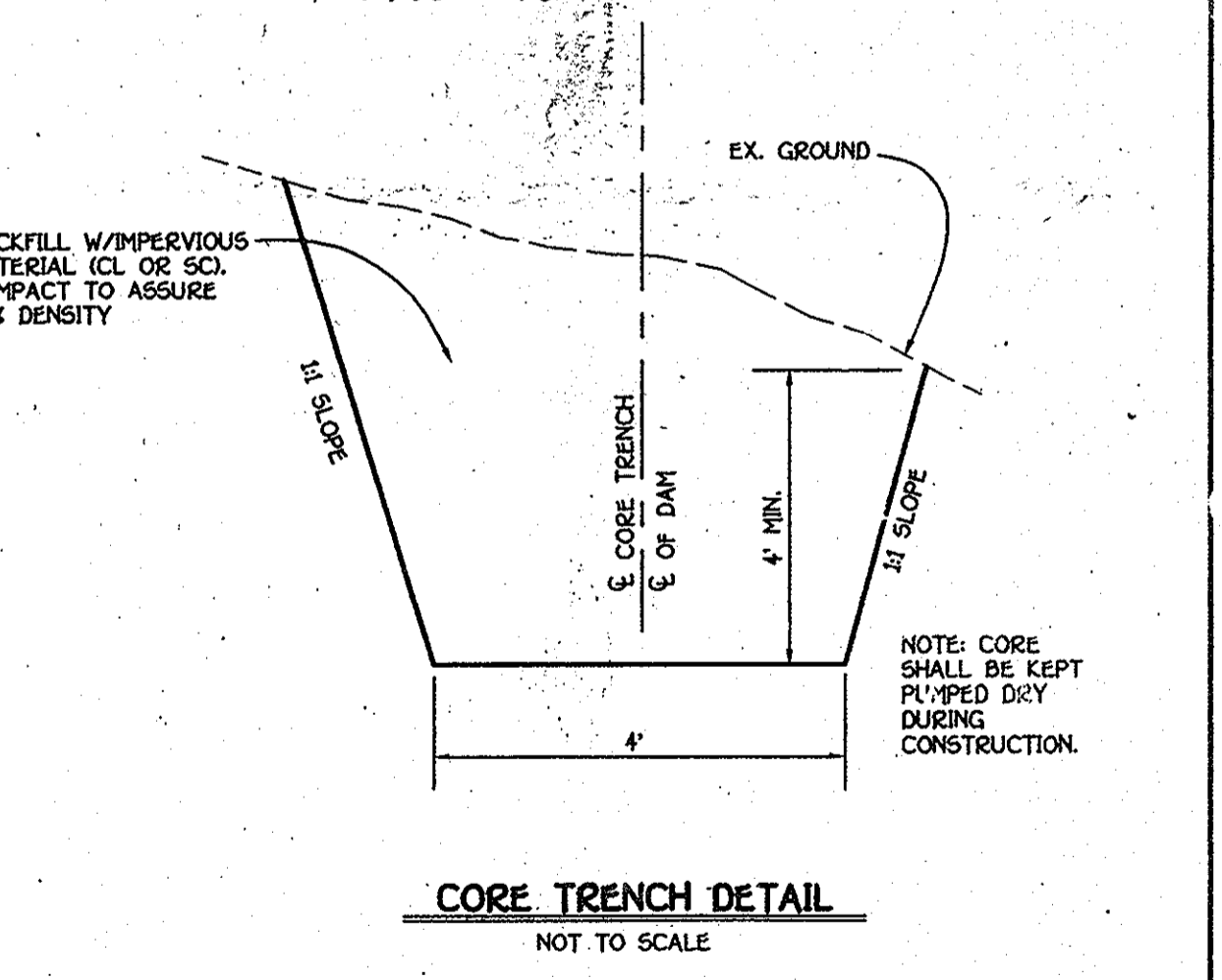
GABION FILTER AT FOREBAY



EARTH TRANSITION DETAIL



HANDICAPPED ACCESSIBLE ROUTE DETAIL



CORE TRENCH DETAIL

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21114
410-461-2955

DATE	NO.	REVISION
2-5-04	A	REVISED HC DETAILS

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
DATE: 8/23/00

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Elaine Chang 8-1-00
Signature of Engineer (Print name below signature) Date

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Elaine Chang 8-1-00
Signature of Developer (Print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements.
John Summers 8/15/00
USDA-Natural Resources Conservation Service
This development is approved for erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John Summers 8/15/00
Howard SCD Date

OWNER AND DEVELOPER
BALTIMORE SUNG RAK CHURCH
7724 BROWNS BRIDGE ROAD
FULTON, MARYLAND 20777

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Summers 8/20/00
Director, Department of Planning and Zoning Date

John Summers 8/25/00
Chief, Division of Land Development Date

John Summers 8/16/00
Chief, Development Engineering Division Date

SUBDIVISION	SECTION/AREA	LOT NO.
RILEY L. CARR PROPERTY		1
PLAT NO.	BLOCK NO.	ZONE
40203	15	RR
TAX/ZONE	ELEC. DIST.	CENSUS TR.
40	FIFTH	6051.02
WATER CODE	SEWER CODE	

SWM NOTES AND DETAILS

LOT 1
BALTIMORE SUNG RAK CHURCH
RILEY L. CARR PROPERTY

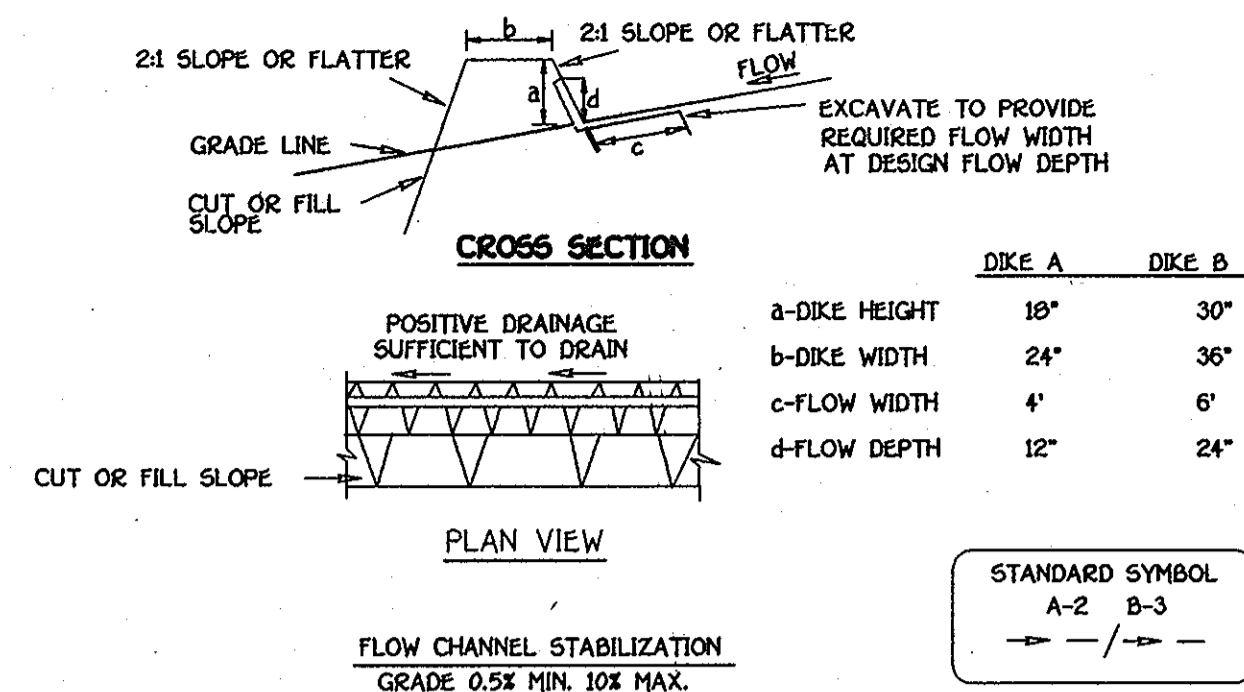
TAX MAP No: 4J PARCEL: 116
FIFTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER, 1998

SHEET 4 OF 5

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Using vegetation as cover for barren soil to protect it from erosion...
DEFINITIONS
 EROSION CONTROL: The application of vegetation to exposed soil...
 VEGETATIVE STABILIZATION: The application of vegetation to exposed soil...
CONDITIONS WHERE PRACTICE APPLIES
 This practice shall be used on denuded areas as specified on the plan...
EFFECTS ON WATER QUALITY AND QUANTITY
 Planting vegetation in disturbed areas will have an effect on the water budget...
SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS
A. Site Preparation
 1. Initial erosion and sediment control structures...
B. Soil Amendment
 1. Soil tests must be performed to determine the exact ratios...
C. Seeding Preparation
 1. Temporary Seeding
 2. Permanent Seeding

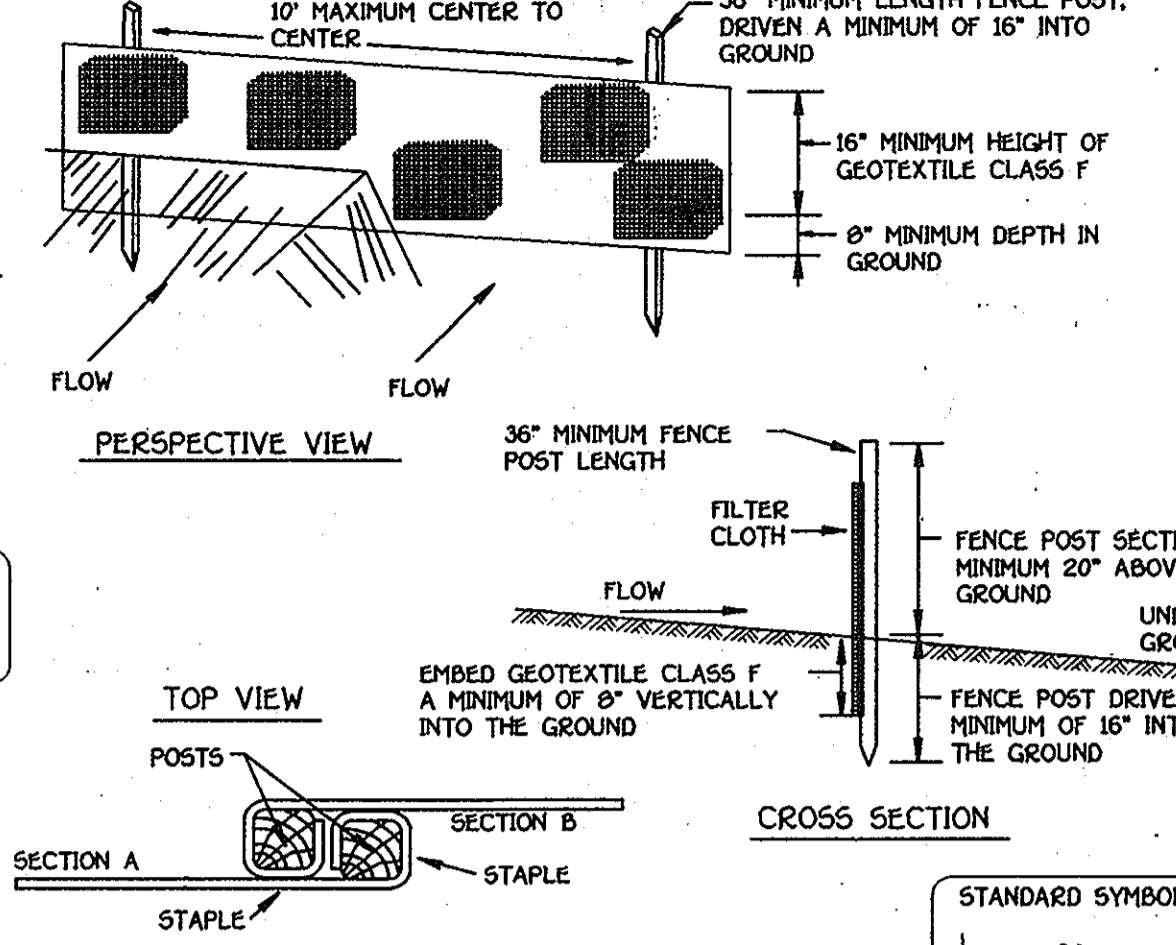
EARTH DIKE



DIKE A	DIKE B
a-DIKE HEIGHT	18" 30"
b-DIKE WIDTH	24" 36"
c-FLOW WIDTH	4" 6"
d-FLOW DEPTH	12" 24"

Construction Specifications
 1. Seed and cover with straw mulch.
 2. Seed and cover with Erosion Control Matting or lime with sod.
 3. 4" x 7" stone or recycled concrete equivalent pressed into the soil 7" minimum.
 4. All temporary earth dikes shall have uninterrupted positive grade to an outlet...
 5. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
 6. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
 7. All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
 8. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein...
 9. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
 10. Inspection and maintenance must be provided periodically and after each rain event.

SILT FENCE

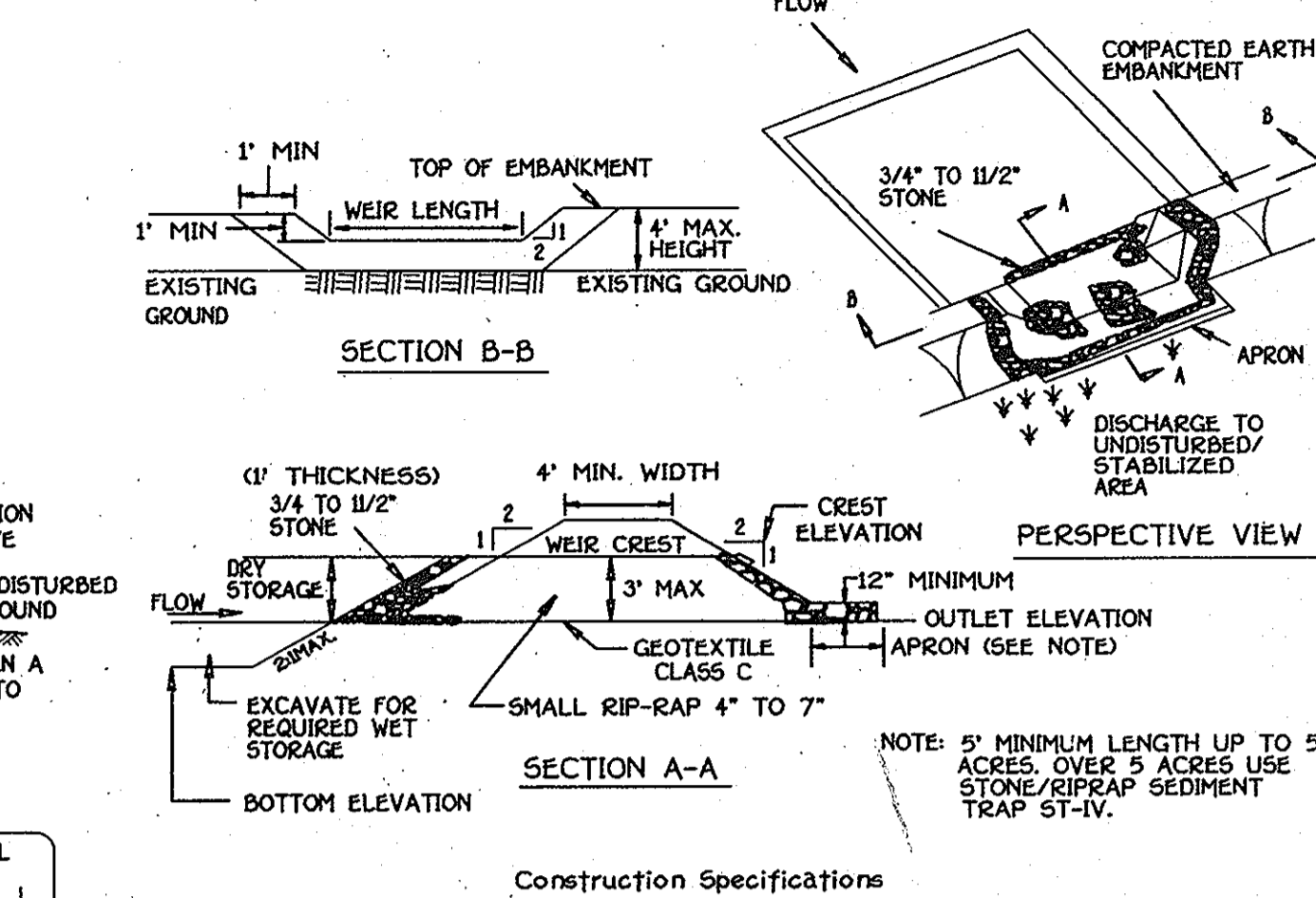


Construction Specifications
 1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground...
 2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section...
 3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 4. Silty fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.
Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2:1 slope and sandy soils USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

STONE OUTLET SEDIMENT TRAP - ST II



Construction Specifications
 1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat...
 2. The fill material for the embankment shall be free of roots and other woody vegetation...
 3. All cut and fill slopes shall be 2:1 or flatter.
 4. The stone used in the outlet shall be small rip-rap 4" to 7" in size with a 1" thick layer of 3/4" to 1/2" washed aggregate placed on the upstream face of the outlet...
 5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to one half of the wet storage depth...
 6. The structure shall be inspected periodically and after each rain and repairs made as needed.
 7. Construction of traps shall be carried out in such a manner that sediment pollution is abated...
 8. The structure shall be dewatered by approved methods, removed and the area stabilized when the drainage area has been properly stabilized.
 9. Refer to Section D for specifications concerning trap dewatering.
 10. Minimum trap depth shall be measured from the weir elevation.
 11. The elevation of the top of any dike directing water into the trap must equal or exceed the elevation of the trap embankment.
 12. Geotextile Class C shall be placed over the bottom and sides of the outlet channel prior to the placement of stone...
 13. Outlet - An outlet shall be provided, including a means of conveying the discharge in an erosion free manner to an existing stable channel.

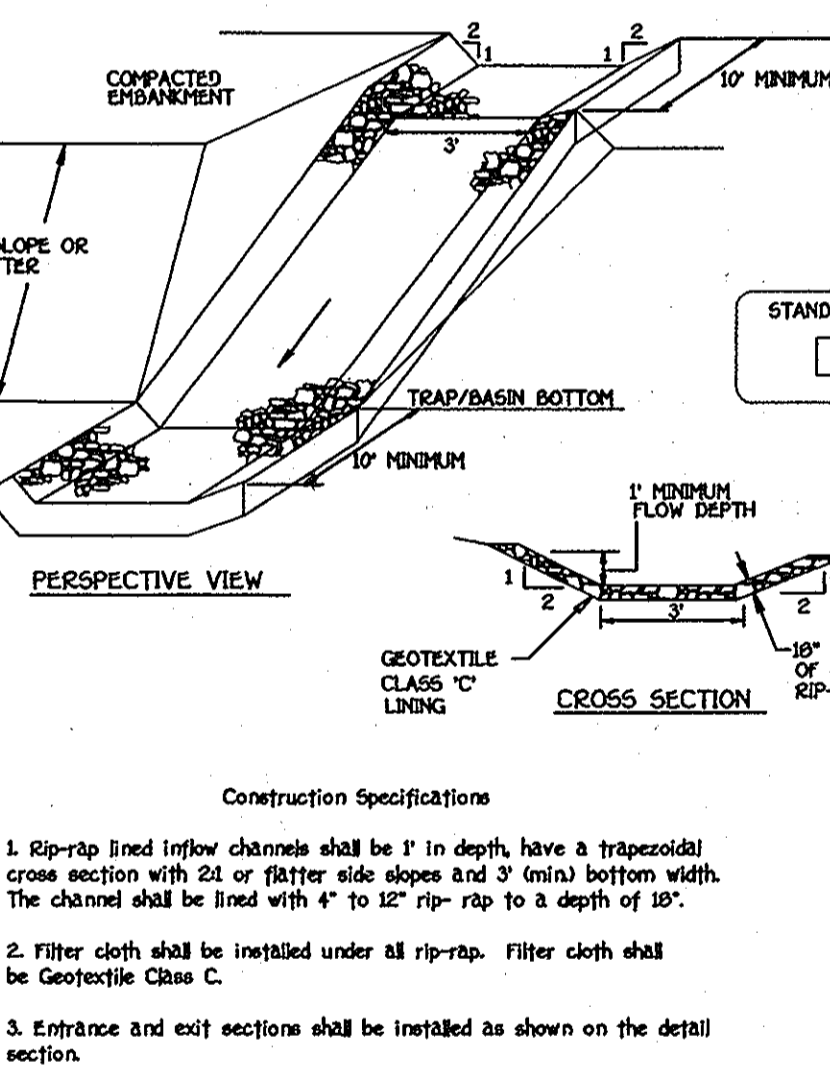
SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division...
 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...
 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 31 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES...
 4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...
 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...
 6. ANY SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL DIVISION...
 7. SITE ANALYSIS
 TOTAL AREA OF SITE: 11.65 ACRES
 AREA TO BE REGRADED OR PAVED: 9.10 ACRES
 AREA TO BE VEGETATIVELY STABILIZED: 2.55 ACRES
 TOTAL CUT: 44.0 CUBIC YARDS
 TOTAL FILL: 44.0 CUBIC YARDS
 OFFSITE WASTE/BORROW AREA LOCATION: CLYDE, MARYLAND
 8. ANY ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR...
 9. APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS...
 10. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE FEET LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

PERMANENT SEEDING NOTES

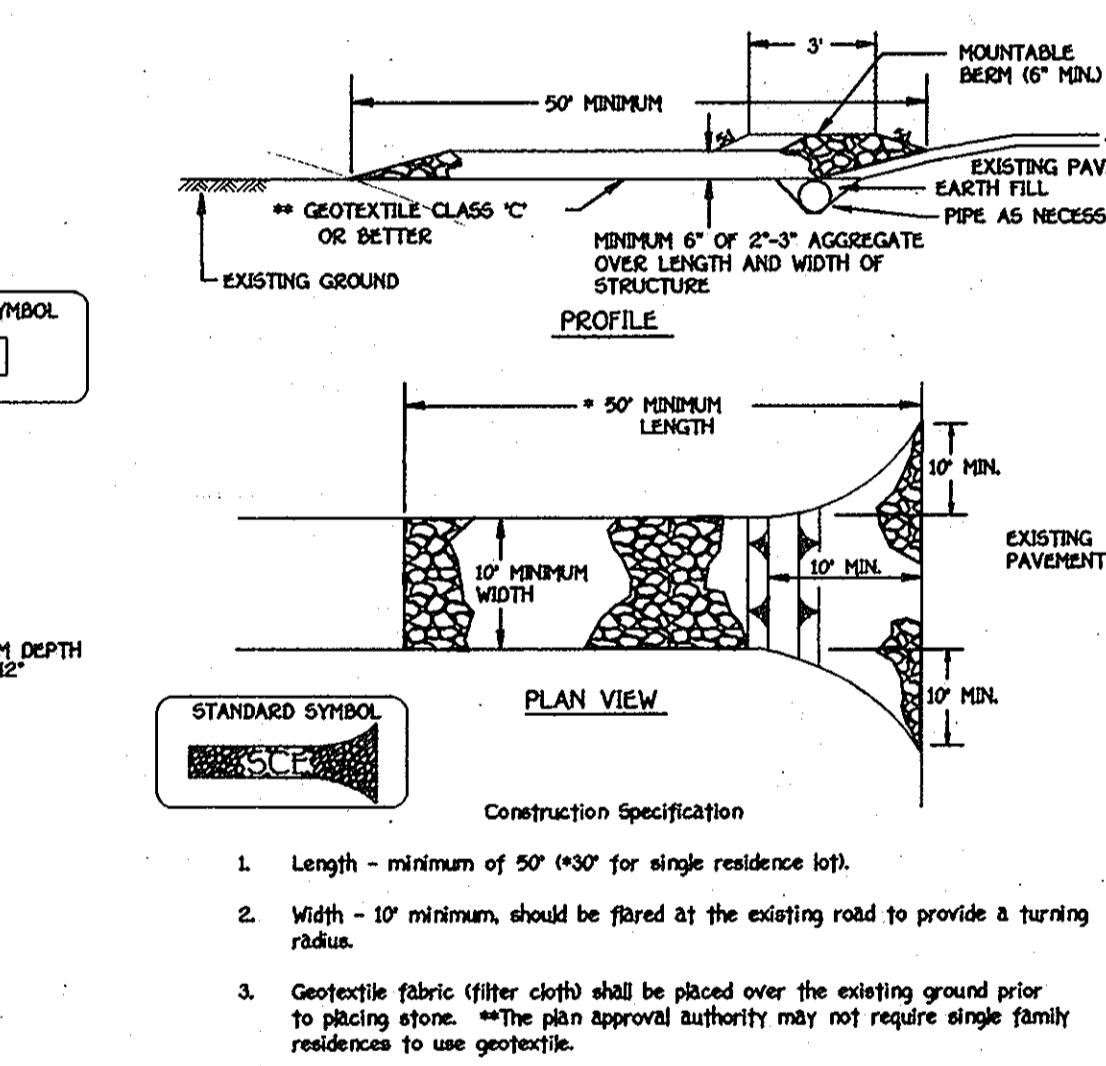
ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS:
SEEDING PREPARATION
 LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.
SOIL AMENDMENTS
 APPLY TWO TONS PER ACRE DOLOMITE LIMESTONE (92 LBS./1,000 SQFT) OR 600 LBS. PER ACRE 0-20-20 FERTILIZER (14 LBS./1,000 SQFT) BEFORE SEEDING HARROW OR DISC INTO UPPER THREE INCHES OF SOIL...
SEEDING
 FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE 123 PERIOD MAY 1 THROUGH JULY 31, SEED WITH 60 LBS./ACRE (14 LBS./1,000 SQFT) KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (0.05 LBS./1,000 SQFT) OF WEEPING LOVEGRASS...
MULCHING
 APPLY 1 TO 2 TONS PER ACRE (70 TO 90 LBS./1,000 SQFT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING...
TEMPORARY SEEDING NOTES
 APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

RIP-RAP INFLOW PROTECTION



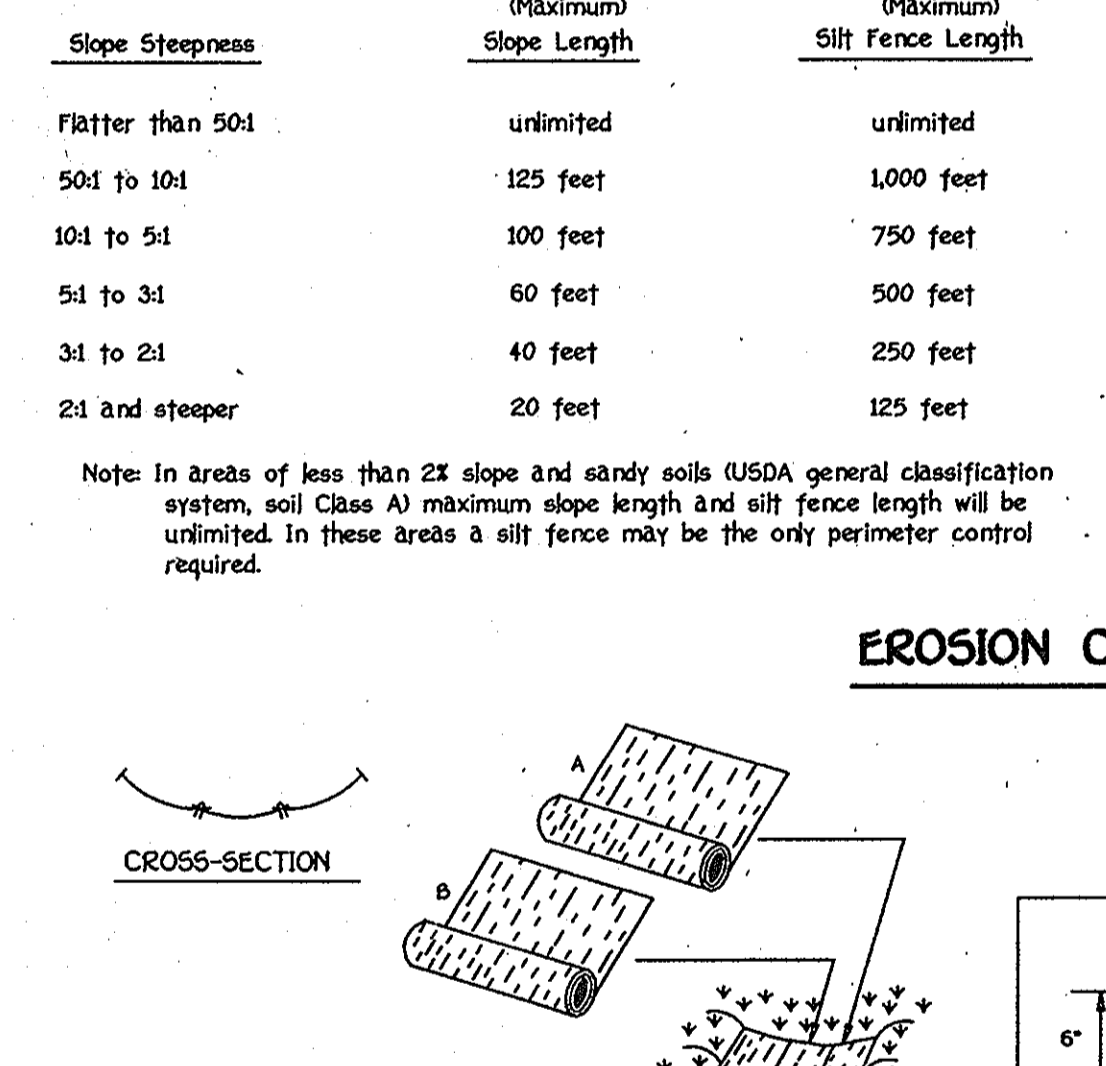
Construction Specifications
 1. Rip-rap lined inflow channels shall be 18" in depth, have a trapezoidal cross section with 2:1 or flatter side slopes and 3" (min) bottom width...
 2. Filter cloth shall be installed under all rip-rap. Filter cloth shall be Geotextile Class C.
 3. Entrance and exit sections shall be installed as shown on the detail section.
 4. Rip-rap used for the lining may be recycled for permanent outlet protection if the drain is to be converted to a stormwater management facility.
 5. Gabion Inflow Protection may be used in lieu of Rip-rap Inflow Protection.
 6. Rip-rap should blend into existing ground.
 7. Rip-rap Inflow Protection shall be used where the slope is between 4:1 and 10:1, for slopes flatter than 10:1 use Earth Dike or Temporary Swale being criteria.

STABILIZED CONSTRUCTION ENTRANCE

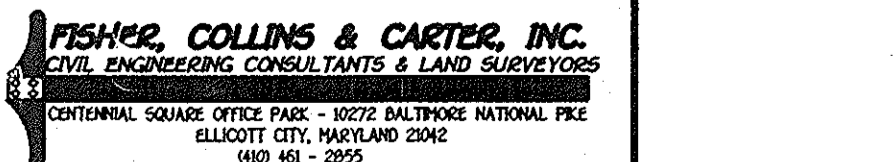


Construction Specifications
 1. Length - minimum of 50' (30' for single residence lot).
 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone...
 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage...
 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site...
 7. Rip-rap Inflow Protection shall be used where the slope is between 4:1 and 10:1, for slopes flatter than 10:1 use Earth Dike or Temporary Swale being criteria.

EROSION CONTROL MATTING



Construction Specifications
 1. Key-in the matting by placing the top ends of the matting in a narrow trench, 2" in depth...
 2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
 3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
 4. Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
 5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", ship-lap fashion...
 6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples.
 Note: If flow enters from the edge of the matting then the area affected by the flow must be key-in.



APPROVED FOR PROPOSED WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 8/23/00

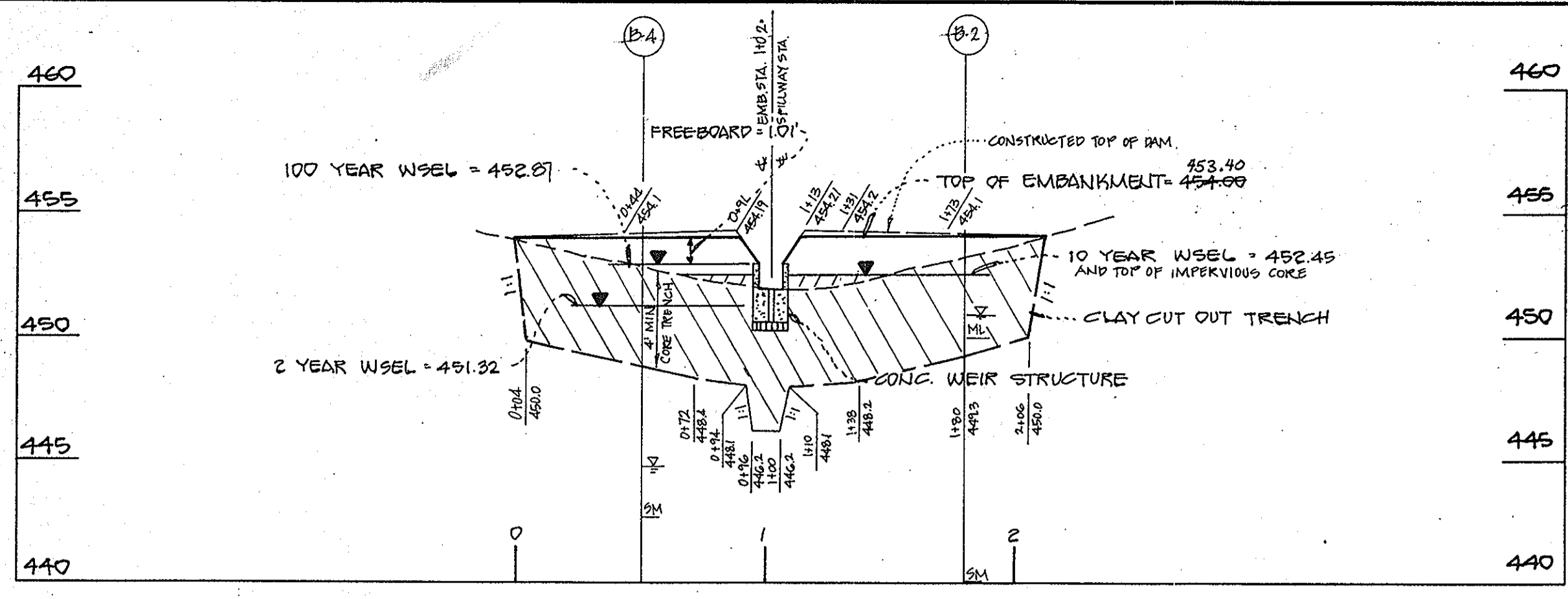
ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer (Print name below signature): *E. D. ...*
 Date: 5-31-00

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (Print name below signature): *... Chung*
 Date: 8-1-00

OWNER AND DEVELOPER
 BALTIMORE SUNG RAK CHURCH
 7724 BRUNN BRIDGE ROAD
 FULTON, MARYLAND 20777

SEDIMENT CONTROL NOTES AND DETAILS
 LOT 1
BALTIMORE SUNG RAK CHURCH
 RILEY L. CARR PROPERTY

TAX MAP No: 40 PARCEL: 116
 FIFTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER, 1998
 SHEET 5 OF 5

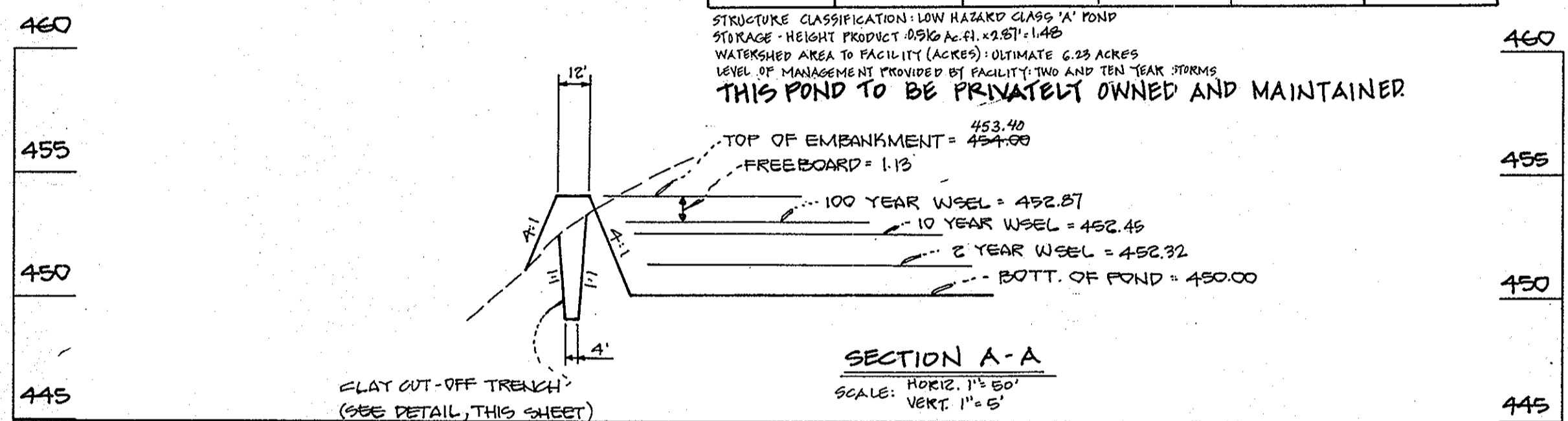


PROFILE ALONG C-C OF EMBANKMENT

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

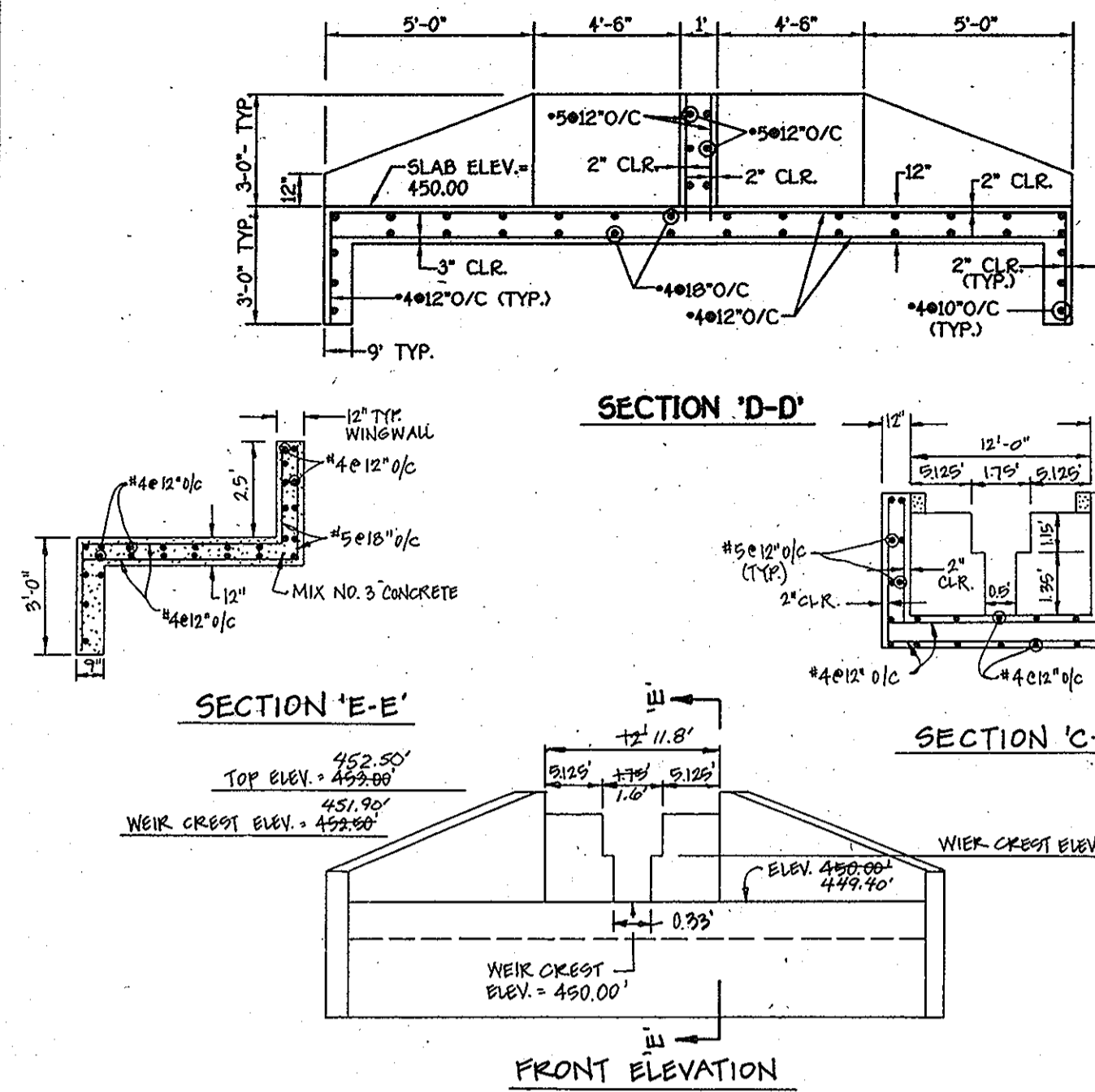
DESIGN STORM	ALLOWABLE RELEASE RATE	FACILITY INFLOW	FACILITY DISCHARGE	WATER SURFACE ELEVATION	STORAGE VOLUME (Ac-ft)
2 YEAR	918.1	7.83 CFS	1.58 CFS	451.32	0.156
10 YEAR	4549.5	19.14 CFS	8.11 CFS	452.45	0.370
100 YEAR	N/A	33.35 CFS	13.25 CFS	453.87	0.516

STRUCTURE CLASSIFICATION: LOW WATER CLASP AT POND
STORAGE HEIGHT PRODUCT: 0.916 Ac-ft x 0.571 L48
WATERSHED AREA TO FACILITY (ACRES): 0.23 ACRES
LEVEL OF MANAGEMENT PROVIDED BY FACILITY: TWO AND TEN YEAR STORMS
THIS POND TO BE PRIVATELY OWNED AND MAINTAINED

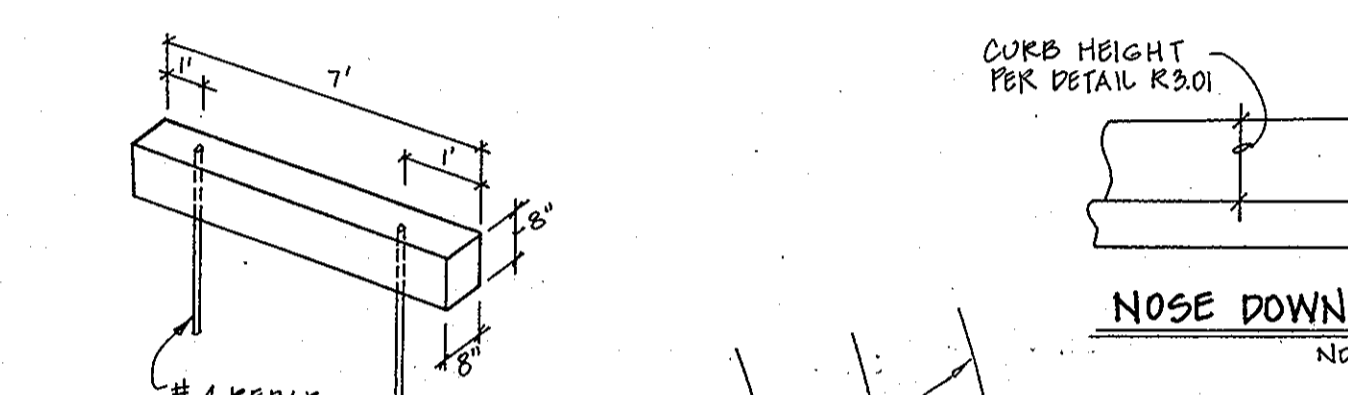


SECTION A-A

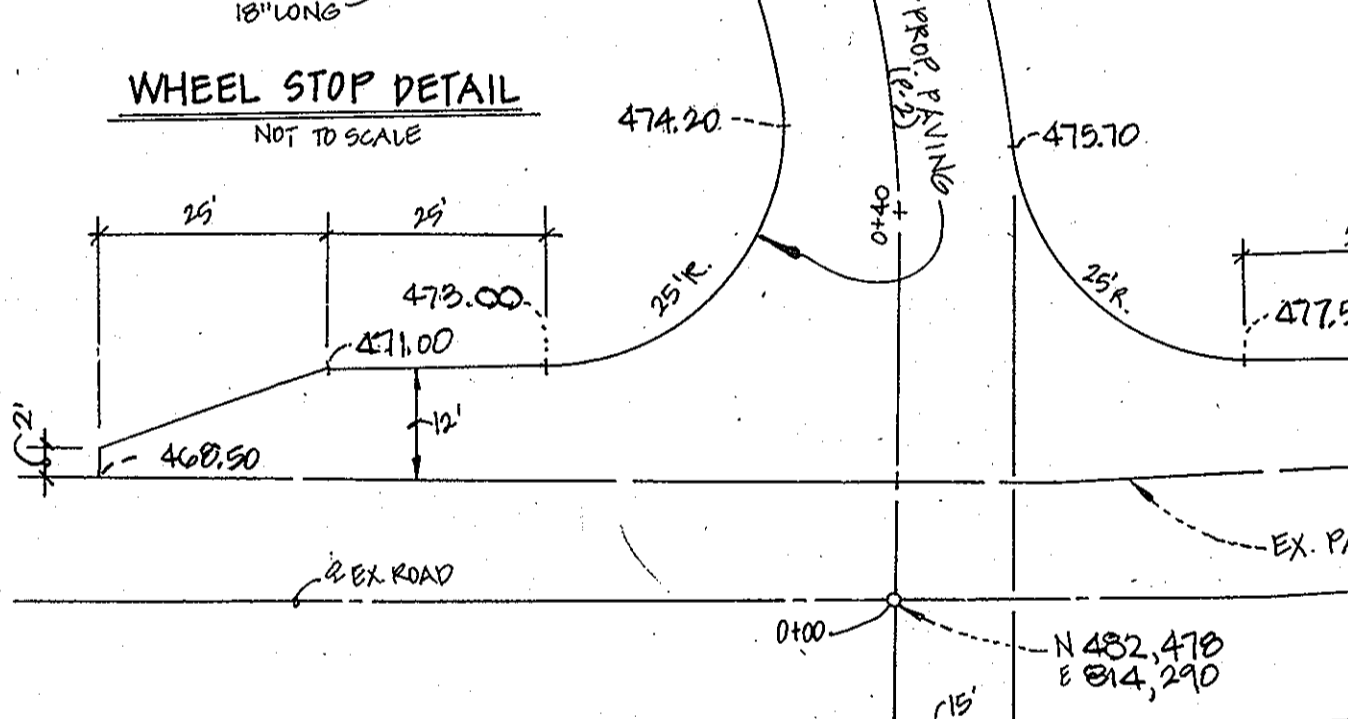
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



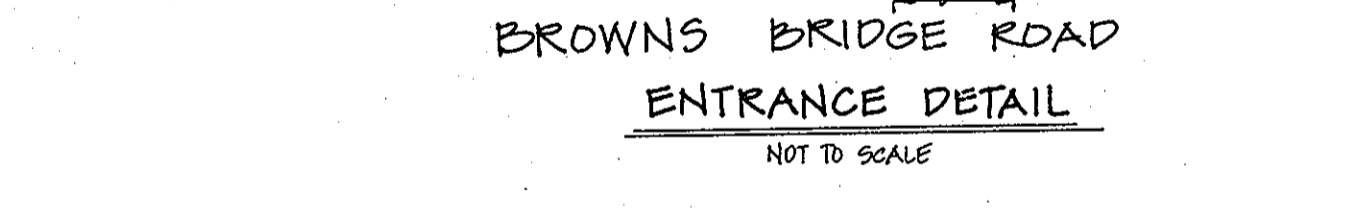
CONCRETE WEIR STRUCTURE DETAIL



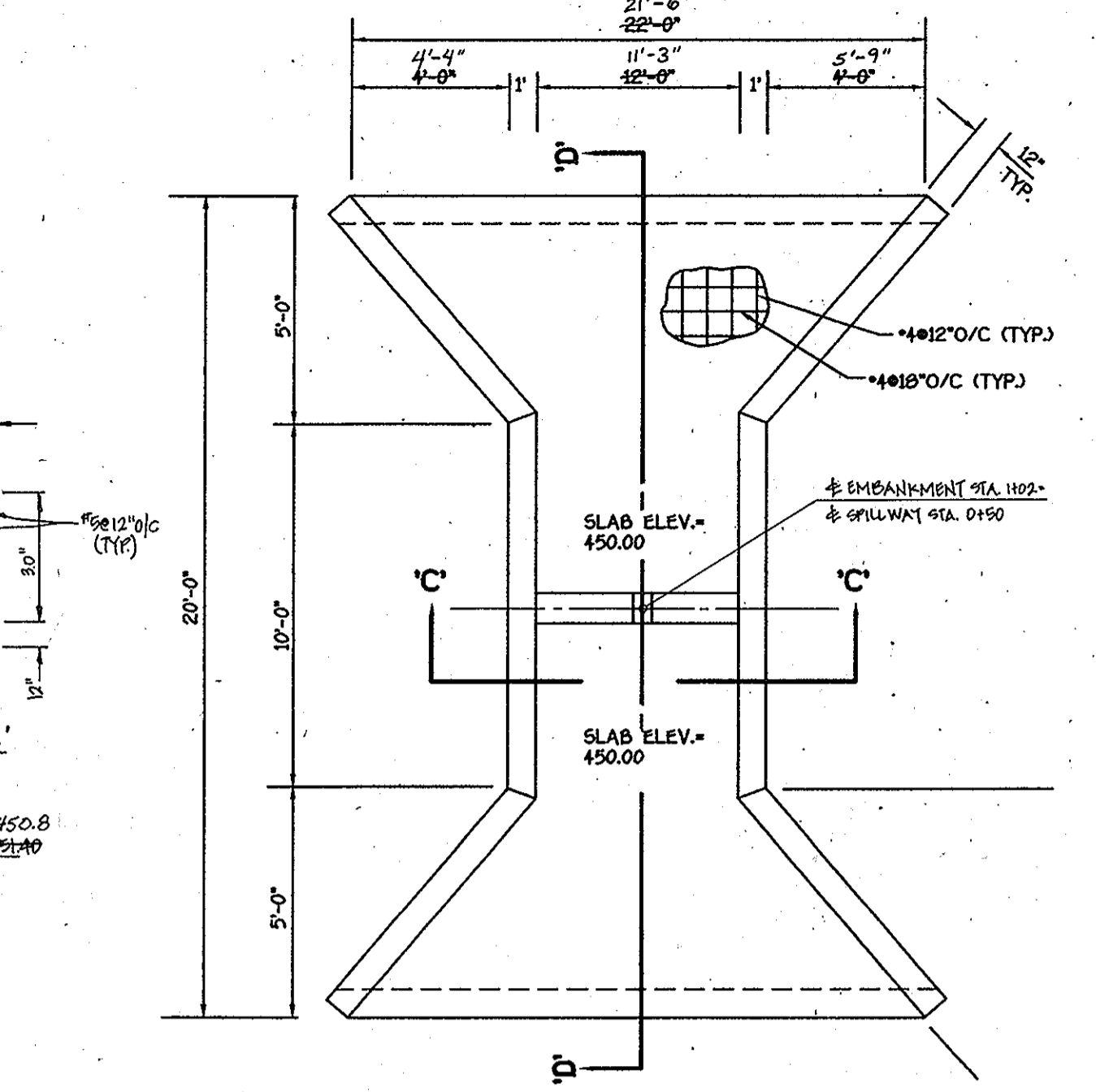
NOSE DOWN CURB DETAIL



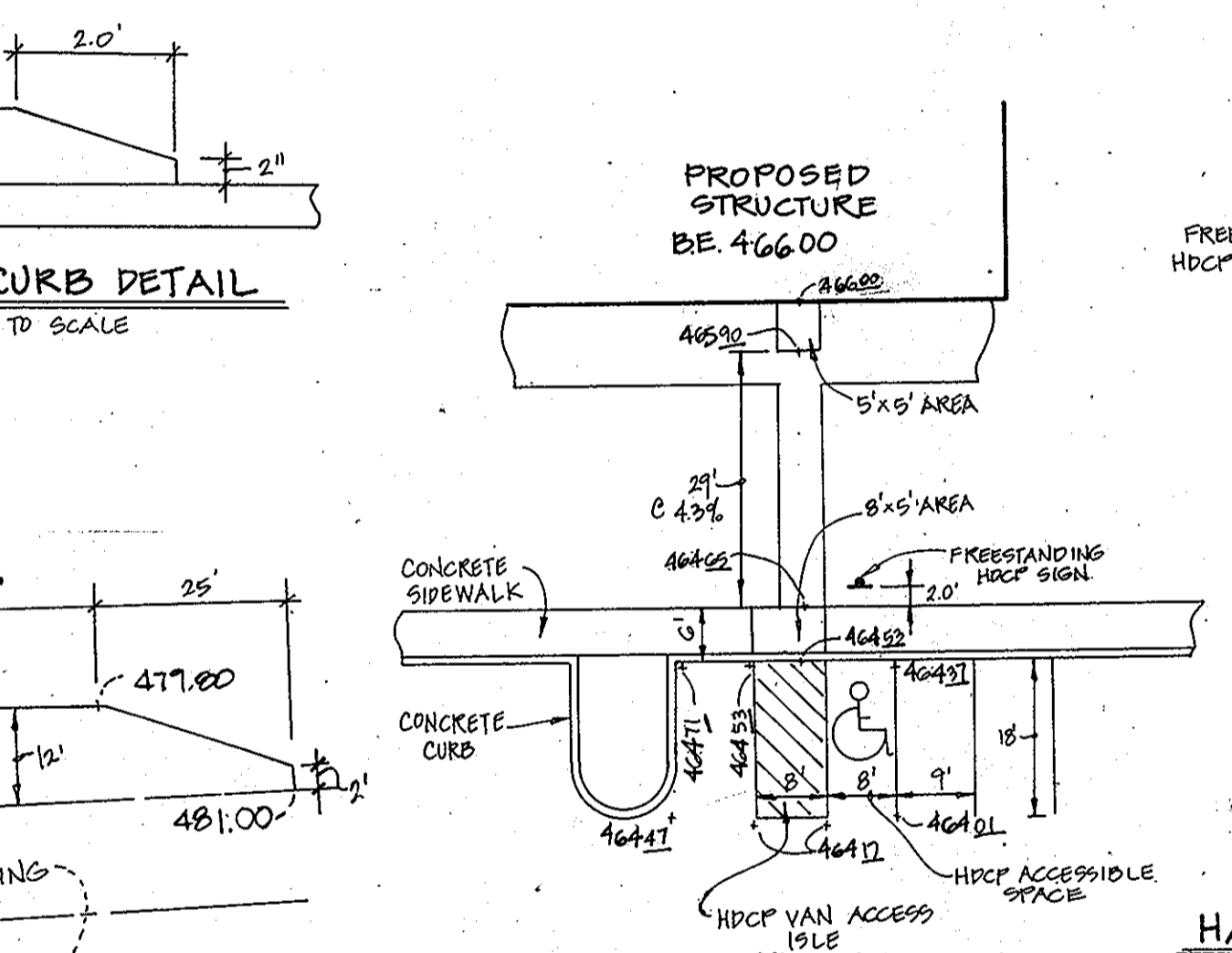
WHEEL STOP DETAIL



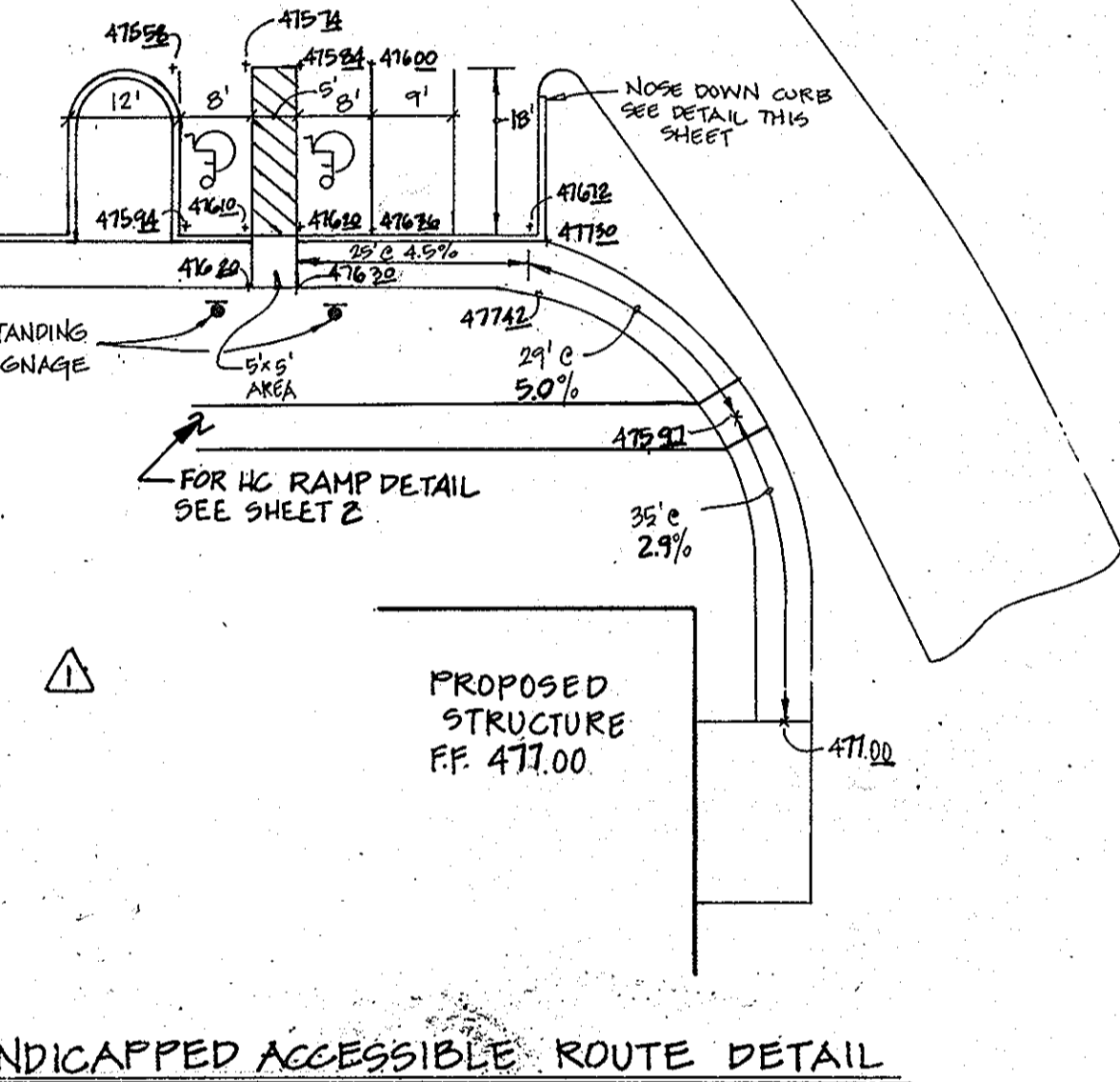
BROWNS BRIDGE ROAD ENTRANCE DETAIL



PLAN

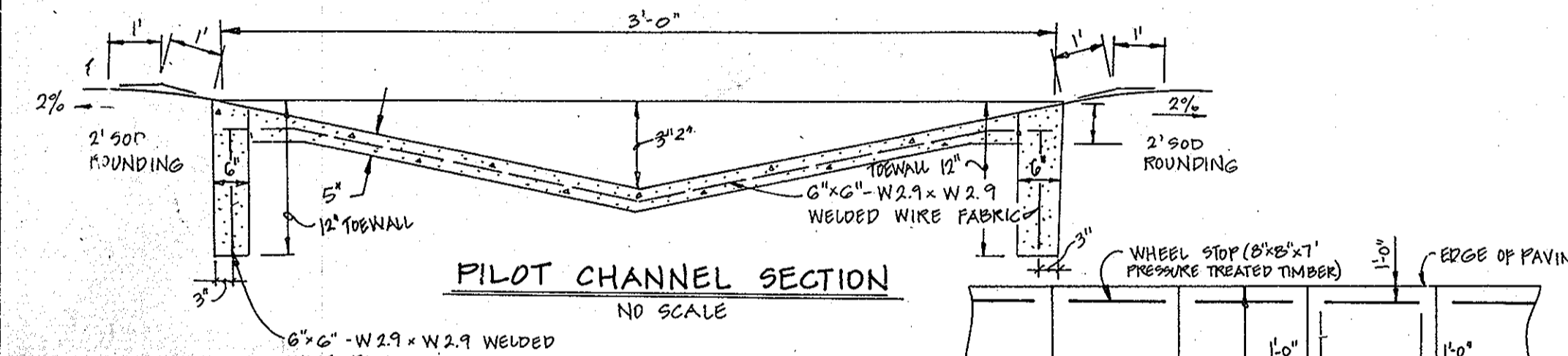


PROPOSED STRUCTURE BE 466.00



HANDICAPPED ACCESSIBLE ROUTE DETAIL

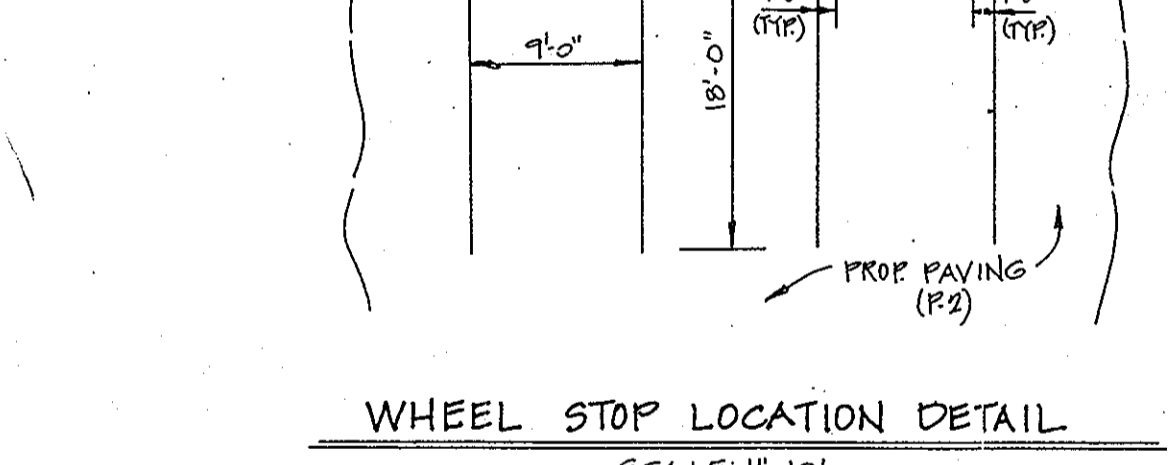
CONSTRUCTION SPECIFICATIONS
1. THE SUBGRADE FOR THE FILTER RIP-RAP OR GABION SHALL BE SHOWN TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED IN THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SUBORDINATE MATERIAL.
2. THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WITHIN THE INSTALLED STRUCTURE.
3. GEOTEXTILE CLASS 'C' OR BETTER SHALL BE PROVIDED FROM PURCHASING, CUTTING, OR TRIMMING. ANY DAMAGE OTHER THAN OCCASIONAL SMALL HOLES SHALL BE REPAIRED BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED AREA AND SECURING IT TO THE ADJACENT GEOTEXTILE WITH STAPLES. THE DAMAGED AREA SHALL BE A MINIMUM OF 2' BY 2'.
4. STOPS FOR THE FILTER RIP-RAP SHALL BE PLACED BY CONSTRUCTION. THEY SHALL BE CONSTRUCTED TO THE FULL CROSS THICKNESS OF THE GABION WITH IMPERVIOUS AND IN SUCH A MANNER AS TO PROVIDE PROTECTION OF UNDERLYING MATERIAL. MATERIAL (CL OR SC) IN A MANNER THAT WILL GUARANTEE THAT IT IS FULLY COMPACTED WITH THE COMPACT TO ASSURE STABLE STONES AND GRAVELS REMAINING IN PLACE BETWEEN THE LARGEST STONES. RIP-RAP SHALL BE PLACED IN A MANNER TO PREVENT STONES TO TILT OR SLIP. IT SHALL BE NECESSARY TO PREVENT DAMAGE TO THE FACILITY BY THE EXISTING GROUND IF THE STONE IS PLACED TO THE POINT WHERE THE STONE WILL BE PROUD OUT OF THE CHANNEL AND STONE ADJACENT TO THE STONE WILL OCCUR. REFERENCE TO THE EMBANKMENT IS REQUIRED IN EACH SECTION.
5. FILTER CLOTH OF GRADED AGGREGATE FILTER SHALL BE PLACED TO THE FULL THICKNESS OF THE GABION.



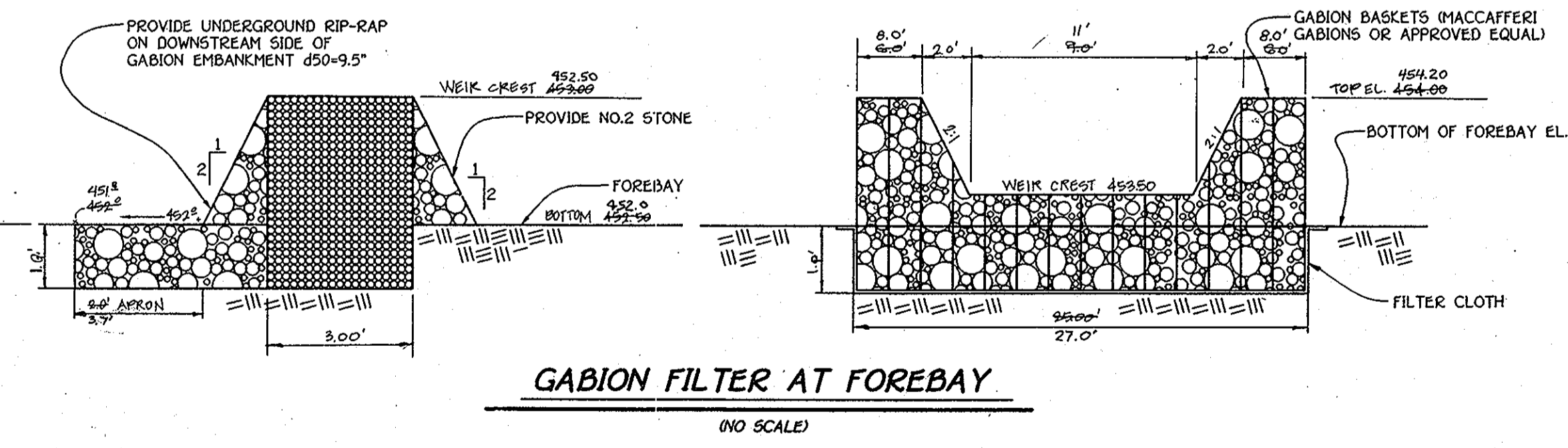
PILOT CHANNEL SECTION

AS-BUILT CERTIFICATION

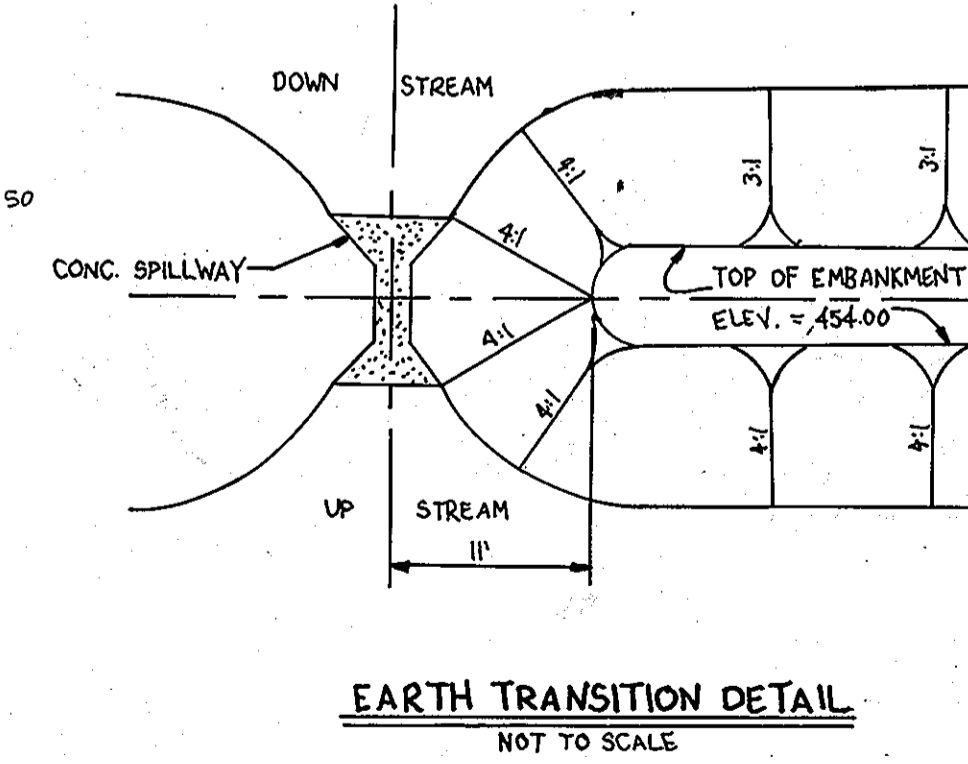
DOMENICK COLANGELO #27200 DATE 10/10/06



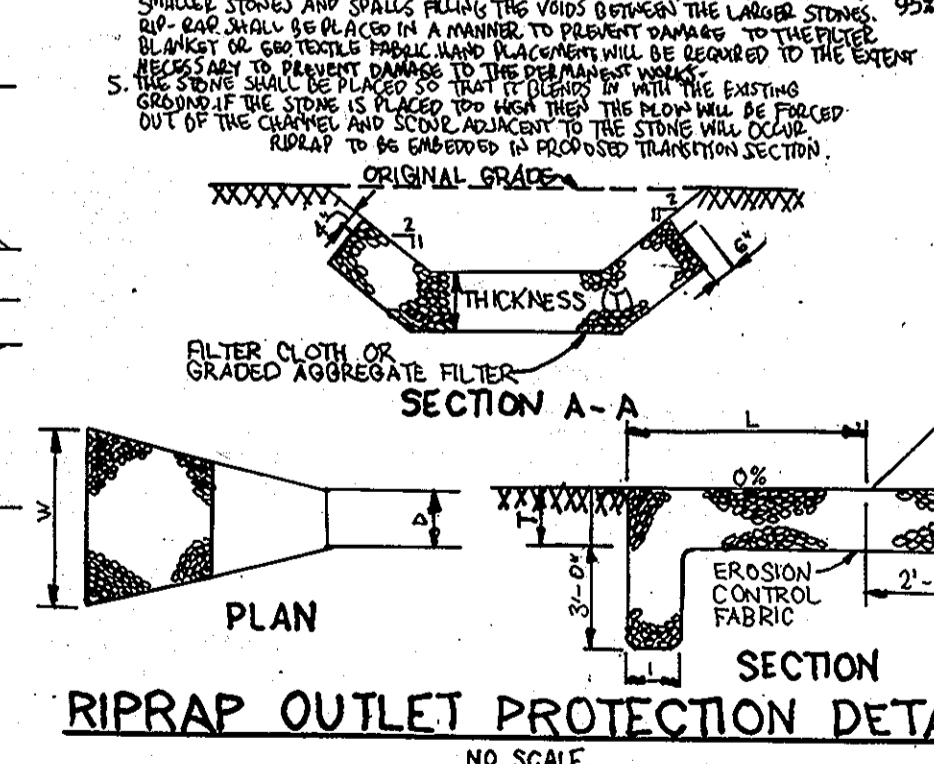
WHEEL STOP LOCATION DETAIL



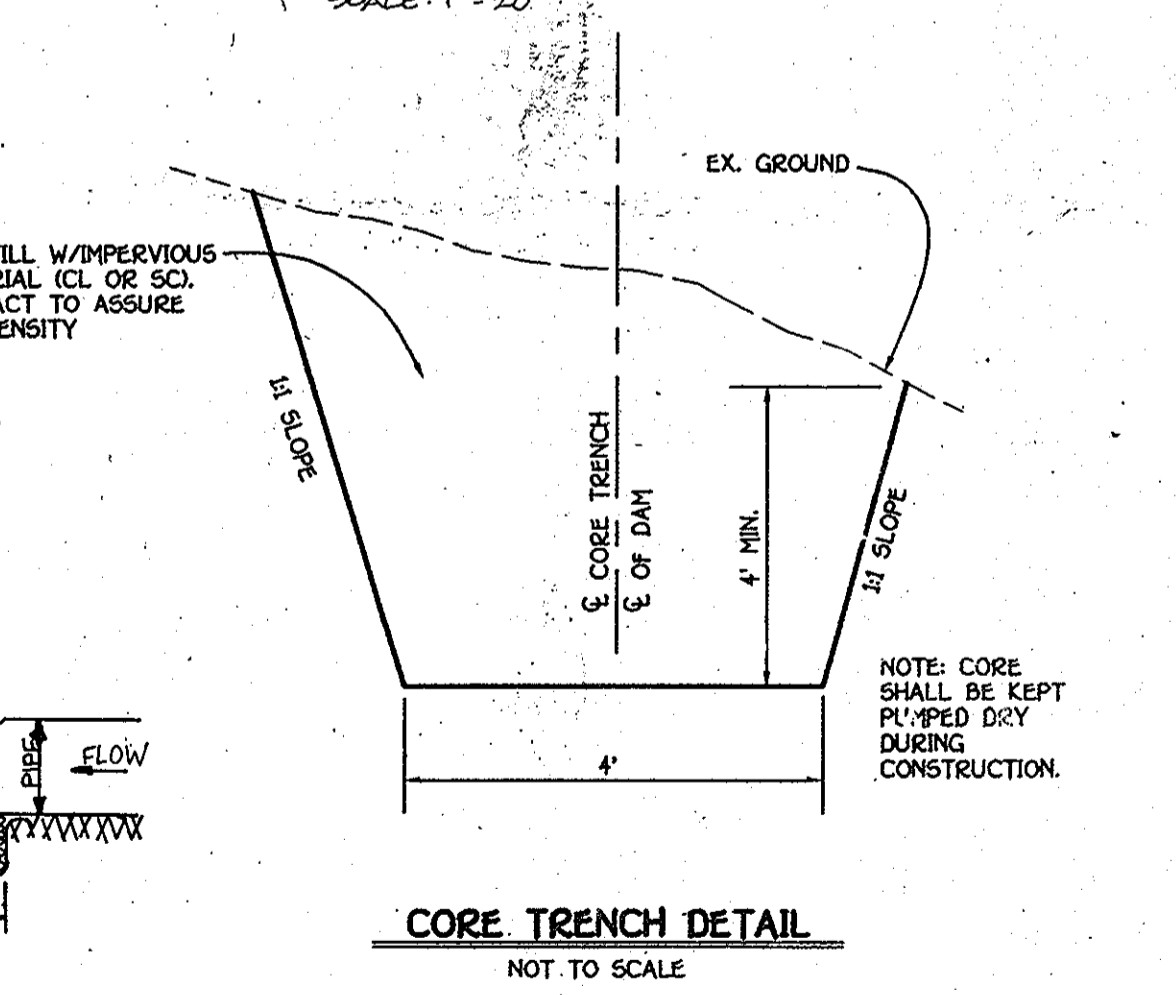
GABION FILTER AT FOREBAY



EARTH TRANSITION DETAIL



RIPRAP OUTLET PROTECTION DETAIL



CORE TRENCH DETAIL

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FREE
ELLSWORTH CITY, MARYLAND 21114
(410) 461-2855

STATE OF MARYLAND PROFESSIONAL ENGINEER
11/10/07
2-5-04 REVISED HC DETAILS
DATE NO REVISION
APPROVED: PERKINS WATER AND PRIVATE SEWERAGE DISTRICTS, HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: CW
DATE: 8/23/10

ENGINEER'S CERTIFICATE
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer (Print name below signature) Date 5-31-00
DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer (Print name below signature) Date 8-1-00

Approved for HOWARD SOCD and meets Technical Requirements.
USDA - Natural Resources Conservation Service
This document is for erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Summers 9/15/00
John R. Summers 9/15/00
OWNER AND DEVELOPER
BALTIMORE SUNG RAK CHURCH
7724 BROWNS BRIDGE ROAD
FULTON, MARYLAND 20777

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division
8/30/06
8/25/06
8/16/06
SUBDIVISION RILEY L. CARR PROPERTY
SECTION/AREA LOT NO.
PLAT NO. 10203 BLOCK NO. 15 ZONE RR TAX/ZONE 40 ELEC. DIST. FIFTH CENSUS TR. 6051-02
WATER CODE SEWER CODE

SWM NOTES AND DETAILS
LOT 1
BALTIMORE SUNG RAK CHURCH
RILEY L. CARR PROPERTY
TAX MAP No: 4J PARCEL: 116
FIFTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER, 1998
SHEET 4 OF 5

MD-378 POND SPECIFICATIONS

These specifications are applicable to all ponds within the scope of the Subchapter 09-200. All references to ASHTO and AASHTO specifications refer to the most recent version.

Site Preparation
Areas designated for borrow areas, embankment, and structural work shall be cleared, graded and staked to true. All trees, stumps, rocks, roots and other obstructions shall be removed. Channels and slope breaks shall be cleared to no steeper than 1:1. Areas to be covered by the reservoir will be staked to true. Trees, logs, stumps, rocks and other obstructions shall be removed. Areas to be covered by the reservoir will be staked to true. Trees, logs, stumps, rocks and other obstructions shall be removed. Areas to be covered by the reservoir will be staked to true. Trees, logs, stumps, rocks and other obstructions shall be removed.

Materials - Aluminum Coated Steel Pipe - This pipe and its appurtenances shall conform to the requirements of ASHTO Specification M27.2 for Aluminum Coated Steel Pipe. The following coatings or an approved equal may be used: Aluminum Coated Steel Pipe, Aluminum Coated Steel Pipe, Aluminum Coated Steel Pipe.

Materials - Aluminum Pipe - This pipe and its appurtenances shall conform to the requirements of ASHTO Specification M27.2 for Aluminum Pipe. The following coatings or an approved equal may be used: Aluminum Pipe, Aluminum Pipe, Aluminum Pipe.

Materials - Polyethylene Pipe - This pipe and its appurtenances shall conform to the requirements of ASHTO Specification M27.2 for Polyethylene Pipe. The following coatings or an approved equal may be used: Polyethylene Pipe, Polyethylene Pipe, Polyethylene Pipe.

Materials - PVC Pipe - This pipe and its appurtenances shall conform to the requirements of ASHTO Specification M27.2 for PVC Pipe. The following coatings or an approved equal may be used: PVC Pipe, PVC Pipe, PVC Pipe.

Materials - Concrete - This concrete shall conform to the requirements of ASHTO Specification M31.1 for Concrete. The following coatings or an approved equal may be used: Concrete, Concrete, Concrete.

Materials - Gravel - This gravel shall conform to the requirements of ASHTO Specification M19.1 for Gravel. The following coatings or an approved equal may be used: Gravel, Gravel, Gravel.

Materials - Sand - This sand shall conform to the requirements of ASHTO Specification M28.1 for Sand. The following coatings or an approved equal may be used: Sand, Sand, Sand.

Materials - Riprap - This riprap shall conform to the requirements of ASHTO Specification M29.1 for Riprap. The following coatings or an approved equal may be used: Riprap, Riprap, Riprap.

Materials - Geotextile - This geotextile shall conform to the requirements of ASHTO Specification M26.1 for Geotextile. The following coatings or an approved equal may be used: Geotextile, Geotextile, Geotextile.

Materials - Filter Cloth - This filter cloth shall conform to the requirements of ASHTO Specification M25.1 for Filter Cloth. The following coatings or an approved equal may be used: Filter Cloth, Filter Cloth, Filter Cloth.

Materials - Filter Fabric - This filter fabric shall conform to the requirements of ASHTO Specification M24.1 for Filter Fabric. The following coatings or an approved equal may be used: Filter Fabric, Filter Fabric, Filter Fabric.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M23.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M22.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M21.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M20.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M19.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M18.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M17.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M16.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M15.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M14.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M13.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M12.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M11.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M10.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M9.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M8.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M7.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M6.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

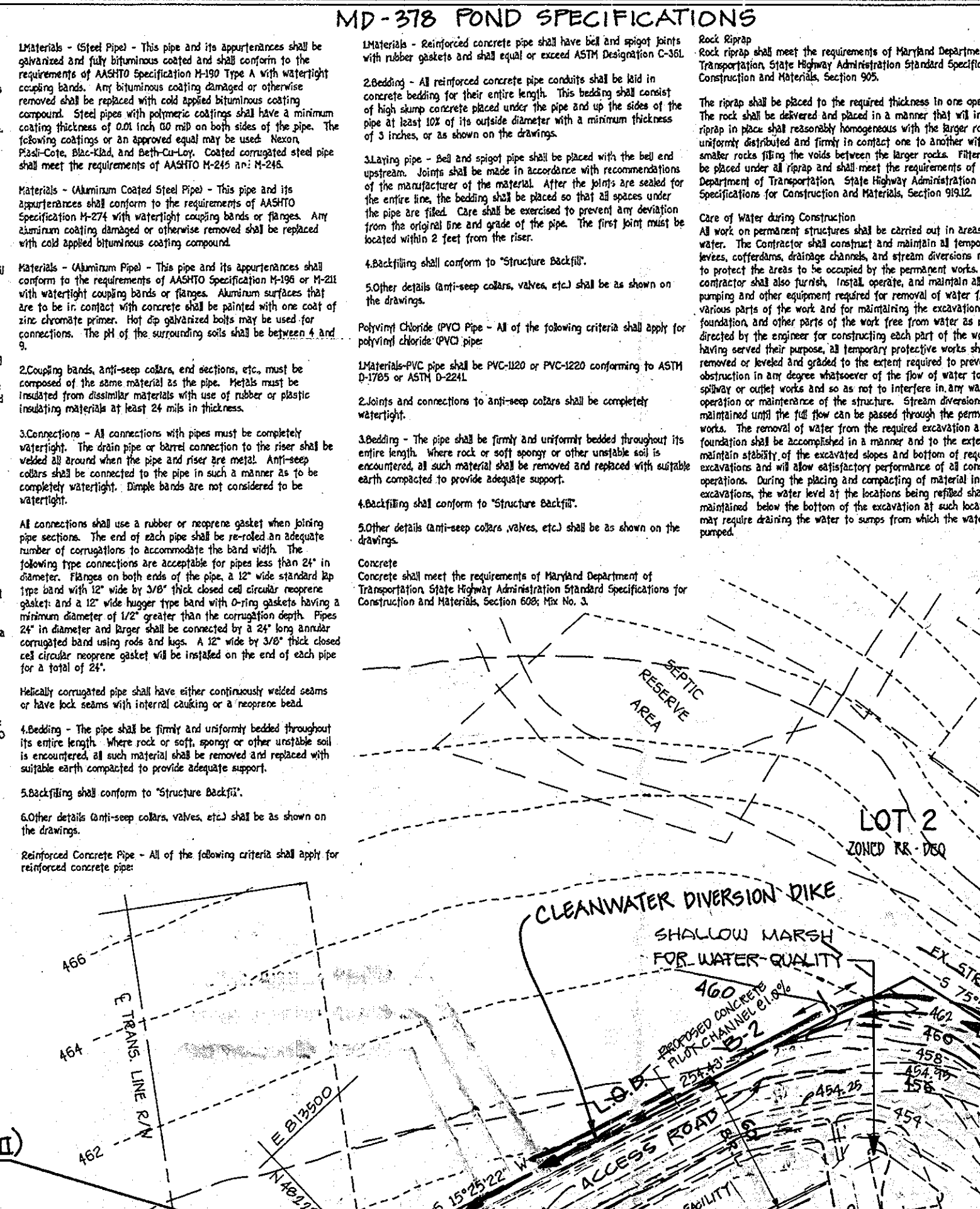
Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M5.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M4.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M3.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.

Materials - Filter Fabric Linings - This filter fabric linings shall conform to the requirements of ASHTO Specification M2.1 for Filter Fabric Linings. The following coatings or an approved equal may be used: Filter Fabric Linings, Filter Fabric Linings, Filter Fabric Linings.

Materials - Filter Cloth Linings - This filter cloth linings shall conform to the requirements of ASHTO Specification M1.1 for Filter Cloth Linings. The following coatings or an approved equal may be used: Filter Cloth Linings, Filter Cloth Linings, Filter Cloth Linings.



I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

AS-BUILT CERTIFICATION

DOMENICK COLANGELO #27200

PROPOSED STRUCTURE

DETAIL

SECTION A-A

SECTION B-B

SECTION C-C

SECTION D-D

SECTION E-E

SECTION F-F

SECTION G-G

SECTION H-H

SECTION I-I

SECTION J-J

SECTION K-K

SECTION L-L

SECTION M-M

SECTION N-N

SECTION O-O

SECTION P-P

SECTION Q-Q

SECTION R-R

SECTION S-S

SECTION T-T

SECTION U-U

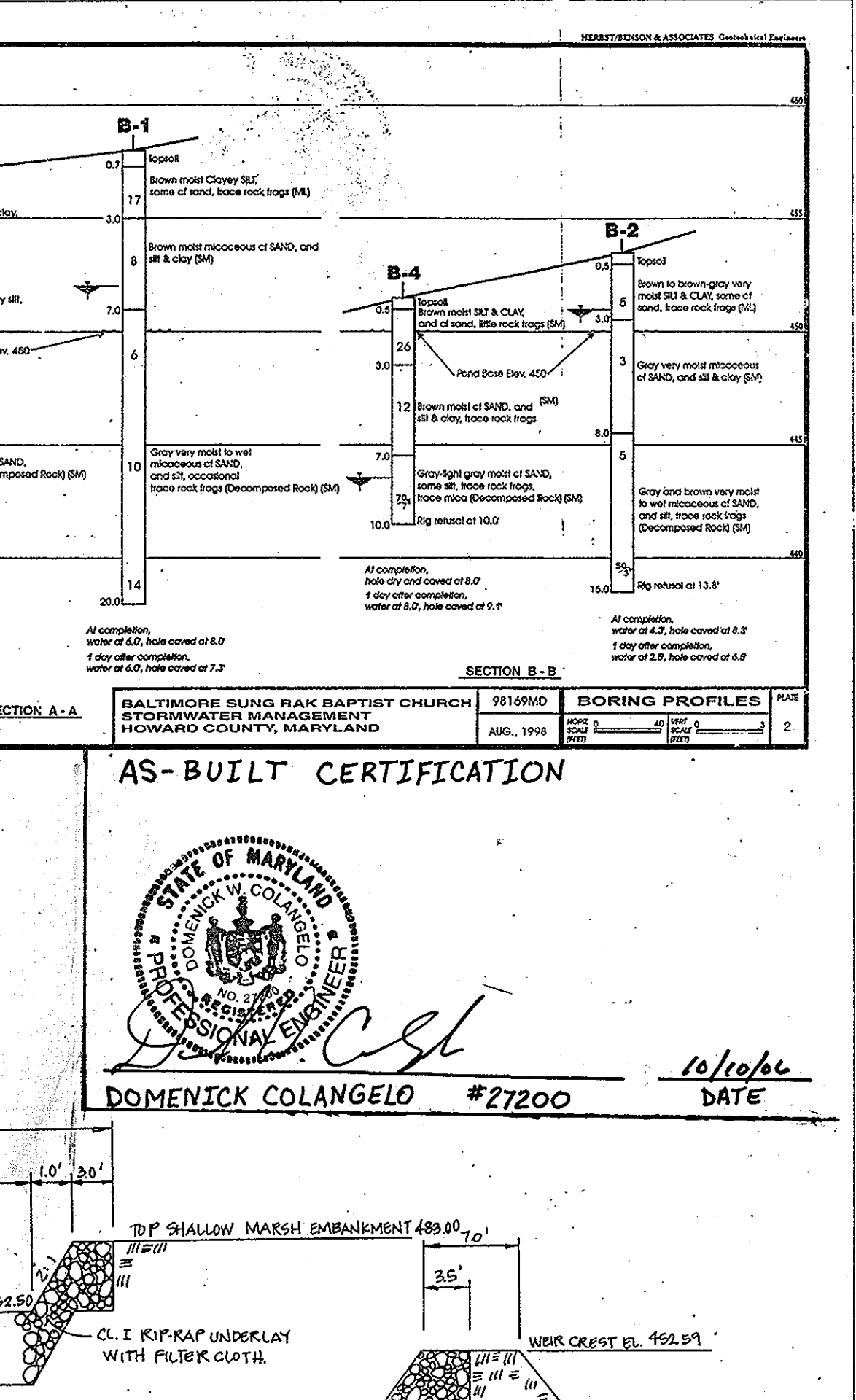
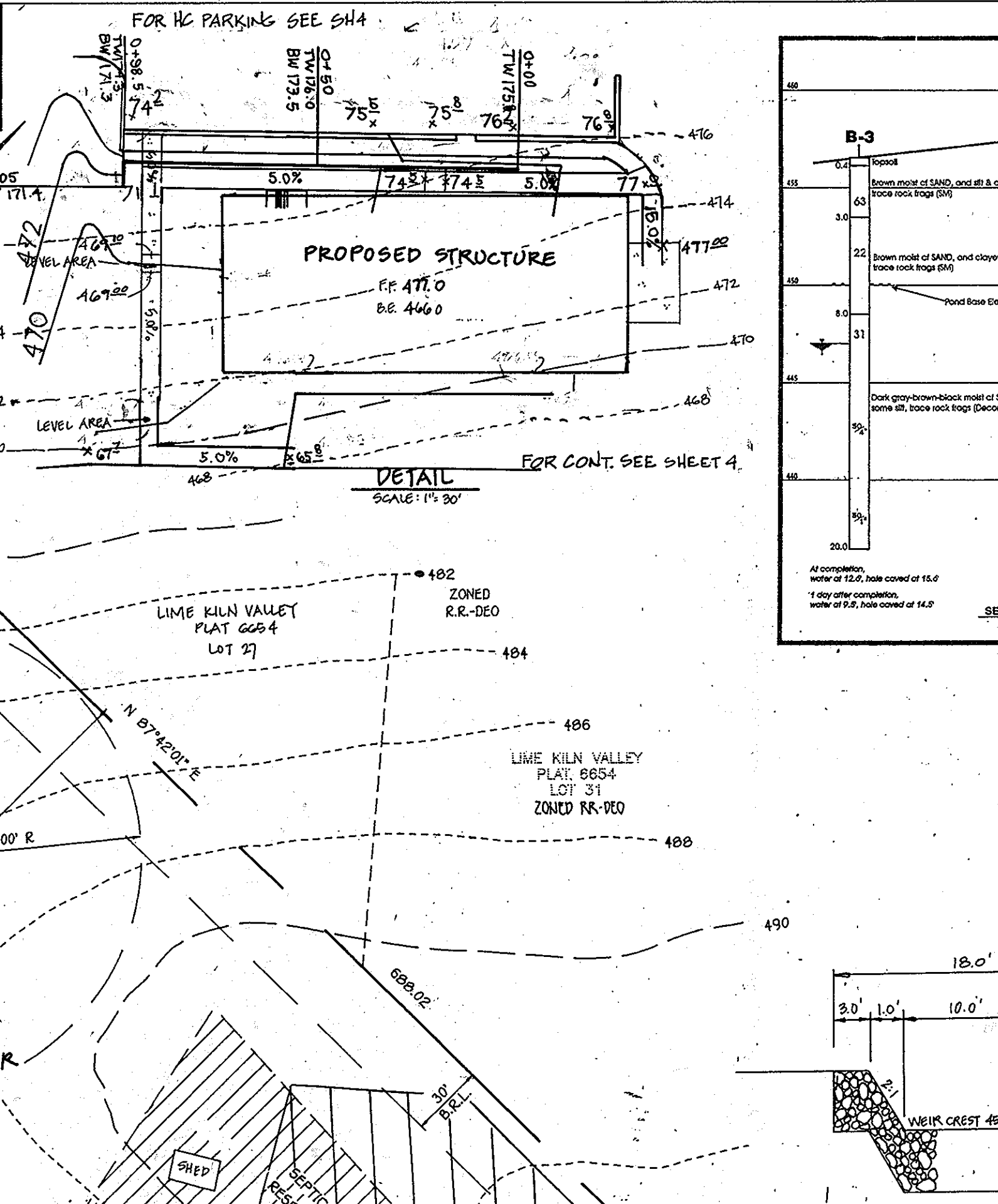
SECTION V-V

SECTION W-W

SECTION X-X

SECTION Y-Y

SECTION Z-Z



ADDRESS CHART

LOT #	STREET ADDRESS
1	7724 BROWN'S BRIDGE ROAD

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410 461 - 2000

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

DATE: 8/12/00

REVISION

DATE	NO.	REVISION
8/12/00	1	REVISED GRADING

ENGINEER'S CERTIFICATE

I certify that the design and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: [Signature]

Date: 8/12/00

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: [Signature]

Date: 8-1-00

OWNER & DEVELOPER

BALTIMORE SUNG RAK CHURCH
7724 BROWN'S BRIDGE ROAD
FULTON, MARYLAND 20777

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature of Director: [Signature]

Date: 8/30/00

Signature of Chief: [Signature]

Date: 8/15/00

Signature of Chief: [Signature]

Date: 8/16/00

SEDIMENT CONTROL PLAN

LOT 1

BALTIMORE SUNG RAK CHURCH

RILEY L. CARR PROPERTY

TAX MAP NO: 40 PARCEL: 116
5TH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT, 1998

SHEET 2 OF 5

SEDIMENT CONTROL PLAN

LOT 1

BALTIMORE SUNG RAK CHURCH

RILEY L. CARR PROPERTY

TAX MAP NO: 40 PARCEL: 116
5TH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT, 1998

SHEET 2 OF 5

ADDRESS CHART

LOT #	STREET ADDRESS
1	7724 BROWN'S BRIDGE ROAD

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410 461 - 2000

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

DATE: 8/12/00

REVISION

DATE	NO.	REVISION
8/12/00	1	REVISED GRADING

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Signature of Developer: [Signature]

Date: 8-1-00

OWNER & DEVELOPER

BALTIMORE SUNG RAK CHURCH
7724 BROWN'S BRIDGE ROAD
FULTON, MARYLAND 20777

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature of Director: [Signature]

Date: 8/30/00

Signature of Chief: [Signature]

Date: 8/15/00

Signature of Chief: [Signature]

Date: 8/16/00

SEDIMENT CONTROL PLAN

LOT 1

BALTIMORE SUNG RAK CHURCH

RILEY L. CARR PROPERTY

TAX MAP NO: 40 PARCEL: 116
5TH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT, 1998

SHEET 2 OF 5

SEDIMENT CONTROL PLAN

LOT 1

BALTIMORE SUNG RAK CHURCH

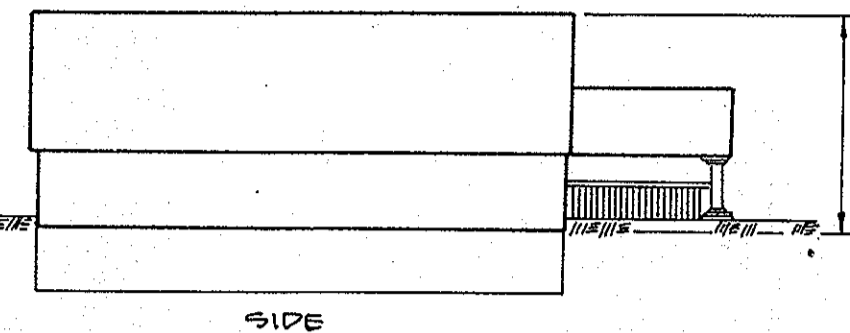
RILEY L. CARR PROPERTY

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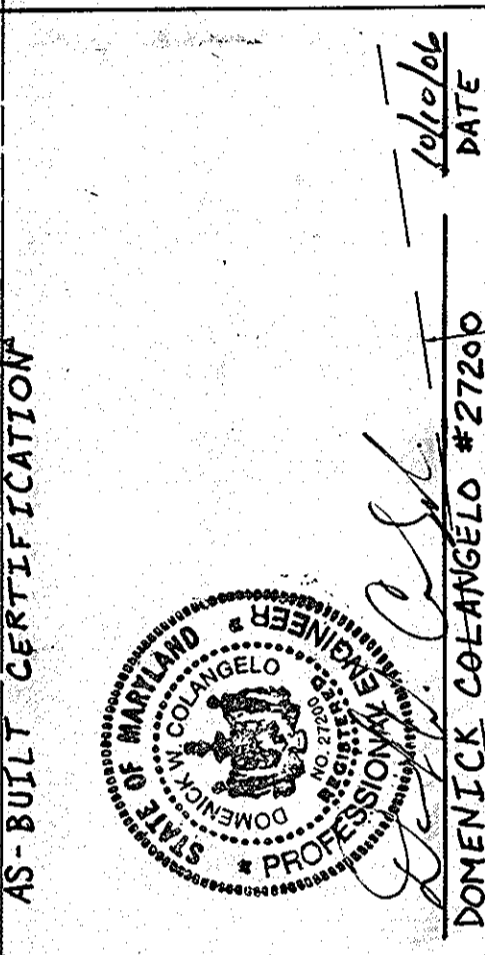
SHEET 2 OF 5

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS SHOWN ON PLAN(S) (A) & (B).
- CONSTRUCT STORMWATER MANAGEMENT FACILITY (10 DAYS).
- MASS GRADE SITE TO SUBGRADE (14 DAYS).
- CONSTRUCT UTILITIES AND BUILDINGS (180 DAYS).
- CONSTRUCT CURB AND GUTTER AND SIDEWALKS (4 DAYS).
- INSTALL BASE COURSE PAVING (2 DAYS).
- FINISH GRADE SITE, INSTALL LANDSCAPING AND PERMANENT SEEDING (20 DAYS).
- AS UPLAND AREAS ARE STABILIZED WITH PERMANENT SEEDING, SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED AS PERMITTED BY E & S INSPECTOR.



TYPICAL BUILDING PROFILE



ZONED R.R.-DEO
BEPCO L-1673 FF-701

LEGEND

---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
• 62.4	Spot Elevation
—	Stiff Fence
FF	First Floor Elevation
BE	Basement Elevation
⊙	Proposed Walkout
⊙	Proposed Walkout
X-X	Tree Protection
---	Existing Tree Line
L.O.D.	Limit of Disturbance
(1)	Existing Street Tree

- NUMBER OF SEATS FOR RELIGIOUS FACILITY: 180
- NUMBER OF GALLONS PER DAY: 180 SEATS @ 5 GALLONS PER DAY; 900 GALLONS
- NUMBER OF BEDROOMS FOR THE EXISTING HOUSE: 3
- NUMBER OF GALLONS PER DAY: 3 BEDROOMS @ 150 GALLONS PER DAY; 450 GALLONS

3. THIS PROPOSED PRIVATE SEWAGE EASEMENT HAS A POTENTIAL OF 1350 GALLONS PER DAY - OR DISPOSAL. CONFIRMATION TO BE DETERMINED AT THE TIME OF FINAL SEPTIC DESIGN.

This area designates a private sewage easement as required by Maryland State Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewage is available. These easements shall become null void upon connection to a public sewage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewage easement. Recordation of a modified easement shall not be necessary.

The lot shown hereon complies with the minimum overhead width and lot area as required by the Maryland State Department of the Environment.

Percolation areas and water wells for adjoining lots within 100 feet of the property lines have been shown.

G.W.A.P. TO BE AMENDED AS NECESSARY PRIOR TO BUILDING PERMIT.

DESIGN SUMMARY

DESIGN STORM	ALLOWABLE RELEASE RATE	FACILITY INFLOW	FACILITY DISCHARGE	WATER SURFACE ELEVATION	STORAGE VOLUME (AC FT)
2 YEAR	12.18 CFS	7.83 CFS	1.98 CFS	494.32	0.196
10 YEAR	49.49	19.14 CFS	8.11 CFS	492.45	0.390
100 YEAR	N/A	99.26 CFS	19.26 CFS	492.87	0.916

STRUCTURE CLASSIFICATION: LOW HAZARD CLASS 1A POND
STORAGE - HEIGHT PRODUCT: 0.916 AC FT x 2.87' = 2.63
WATER RISE AREA TO FACILITY (AC FT) ULTIMATE 6.93 AC FT
LEVEL OF MANAGEMENT PROVIDED BY FACILITY: TWO (2) YEAR STORMS
THIS POND TO BE PRIVATELY OWNED AND MAINTAINED.

OPERATION, MAINTENANCE AND INSPECTION FOR SHALLOW MARSH

- THE SHALLOW MARSH FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
- THE TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MAINTAINED TO A MINIMUM OF ONE PER CENT, WITH VEGETATION MAINTAINED 18" IN HEIGHT OR AS NEEDED.
- DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MAINTENANCE OPERATIONS AND AS NEEDED.
- VOIDS AND EROSION IN THE FACILITY SHALL BE REPAIRED AS SOON AS IT IS NOTICED.
- REMOVE SILT WHEN IT EXCEEDS FOUR (4) INCHES DEEP IN THE FOREBAY.

KEY WATER QUALITY PLANTING

SL	18
SA	9
CO	9
PV	18
PC	9

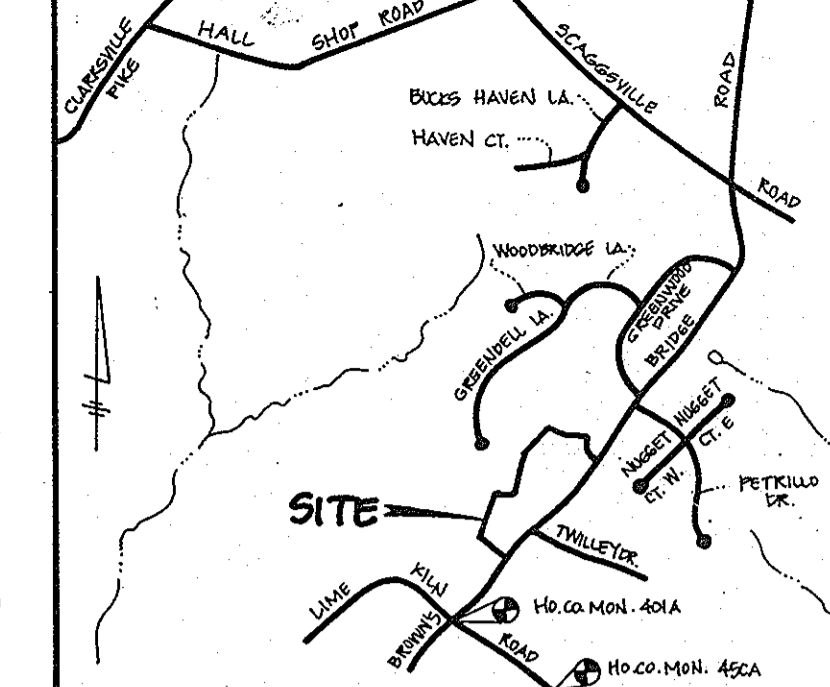
PRIMARY WETLAND VEGETATION

PLANT SPECIES	SIZE	REMARKS
SAGITTARIA LATIFOLIA (SL)	ROOTS	36" O.C.
BITTON BUSH	ROOTS	36" O.C.
SCIRPUS AMERICANUS (SA)	ROOTS	36" O.C.
DUCK POTATO	ROOTS	36" O.C.

SECONDARY WETLAND VEGETATION

PLANT SPECIES	SIZE	REMARKS
CEPHALATHUS OCCIDENTALS (SL)	ROOTS	36" O.C.
FELTANDRA VIRGINIA (PV)	ROOTS	36" O.C.
DUCK POTATO	ROOTS	36" O.C.
PONTEDERIA CORDATA (PV)	ROOTS	36" O.C.
PICKEREL WEED	ROOTS	36" O.C.

- NOTES:**
- ALL PLANT MATERIAL TO BE WET GROWN OR ADAPTED TO WETLAND CONDITIONS.
 - ALTERATIONS TO THE PROPOSED GRADING SHOWN MAY AFFECT THE SUCCESS OF THE PLANT MATERIAL.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO GRADING.



VICINITY MAP
SCALE: 1" = 200'

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1000 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS SITE WILL UTILIZE PRIVATE WATER AND SEWER.
- BOUNDARY SURVEY PERFORMED BY FISHER, COLLINS & CARTER, INC. ON OR ABOUT AUGUST, 1998.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:
HO. CO. MON. 401A N 541725.749 ELEV: 360.099
HO. CO. MON. 45CA N 540707.954 ELEV: 426.830
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- A 100 YEAR FLOODPLAIN STUDY IS NOT REQUIRED.
- STORMWATER MANAGEMENT TO BE PRIVATELY OWNED AND MAINTAINED.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- NOTE: SITE ANALYSIS DATA:
A. TOTAL PROJECT AREA: 11.53 AC.
B. AREA OF PLAN SUBMISSION: 3.10 AC.
C. LIMIT OF DISTURBED AREA: 3.10 AC.
D. PRESENT ZONING: RR-DEO
E. PROPOSED USE FOR SITE AND STRUCTURES: RELIGIOUS FACILITY
- PARKING ANALYSIS:
A. NUMBER OF PARKING SPACES REQUIRED: 60
(1 SPACE / 3 SEATS FOR 180 CONGREGATION)
B. NUMBER OF PARKING SPACES PROVIDED: 61
(58 COMMON SPACES & 3 HANDICAPPED SPACES)
- STORMWATER CONSERVATION OBLIGATIONS HAVE BEEN AVOIDED BY FILING OF A DECLARATION OF INTENT.
- NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- ALL EXISTING UTILITIES SHALL BE PROTECTED FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL ZONING DISTRICTS IN ACCORDANCE WITH SECTION 184 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THIS PROPERTY IS SUBJECT TO BA. CASE 48-218 DATE OF ACTION SEPTEMBER 3, 1998. SPECIAL EASEMENT GRANTED HEREIN TO THE PROPOSED RELIGIOUS FACILITY CONSIDERED AS PHASE I AND II - THE OFFICIAL DESCRIPTION IS SUBJECT TO FUTURE CONDITIONS OF APPROVAL.

FIRST FLOOR	AREA - SQUARE FOOT
ENTRANCE HALL	608
FUTURE STAIR NO. 1	103
OFFICE NO. 1	170
OFFICE NO. 2	170
CHAPEL	1900
STORAGE	102
PREPARATION AREA	142
SERMON AREA	321
FUTURE STAIR NO. 2	92
NURSERY	176
WOMEN'S TOILET NO. 1	111
WOMEN'S TOILET NO. 2	119
PREPARATION AREA #2	142
CLOSET NO. 1	10
CLOSET NO. 2	10
TOTAL	4100

SECOND FLOOR	AREA - SQUARE FOOT
FUTURE FELLOWSHIP HALL	1910
FUTURE WORK ROOM	250
ELECTRIC/TELEPHONE ROOM	40
MECHANICAL ROOM	60
FUTURE CORRIDOR	80
FUTURE CLASSROOM #1	235
FUTURE CLASSROOM #2	150
FUTURE CLASSROOM #3	250
FUTURE CLASSROOM #4	250
FUTURE CLASSROOM #5	230
FUTURE WOMEN'S TOILET NO. 2	130
FUTURE MEN'S TOILET NO. 2	130
FUTURE STAIR NO. 2	104
FUTURE ALCOVE NO. 2	32
FUTURE STAIR NO. 1	121
TOTAL	4100

SHEET INDEX

SHEET NO.	DESCRIPTION
1 OF 5	SITE DEVELOPMENT PLAN
2 OF 5	SEPTIC CONTROL PLAN
3 OF 5	LANDSCAPING & TRAFFIC CONTROL PLAN
4 OF 5	S.W.A.P. DETAILS & NOTES
5 OF 5	SEPT. CONT. DETAILS & NOTES

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1672 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
410-461-5955

ADDRESS CHART

LOT #	STREET ADDRESS
1	7724 BROWN'S BRIDGE ROAD

REVISIONS

DATE	NO.	REVISION
10/11/07	1	SHIPPED WITH BIDDING LOTS - SIGNED AND CLOSER TO 8/14/07 - SEE GRADING
2-9-04	2	REVISED GRADING

APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER CD

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Earl H. Call
Signature of Engineer (Print name below signature) Date: 5-31-00

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Jaine Chong
Signature of Developer (Print name below signature) Date: 8-1-00

Review for HOWARD SOCD and meets Technical Requirements.

Cheryl Summers 8/13/00
U.S.D.A. - Natural Resources Conservation Service
This development plan is approved for erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John K. Runtz 8/13/00
Howard SOCD

OWNER & DEVELOPER
BALTIMORE SUNG RAK CHURCH
7724 BROWN'S BRIDGE ROAD
FULTON, MARYLAND 20777

APPROVED: DEPARTMENT OF PLANNING AND ZONING

James S. Ruffolo 8/30/00
Director - Department of Planning and Zoning
Gregg K. Hester 8/25/00
Chief, Division of Land Development
William J. Summers 8/16/00
Chief, Development Engineering Division

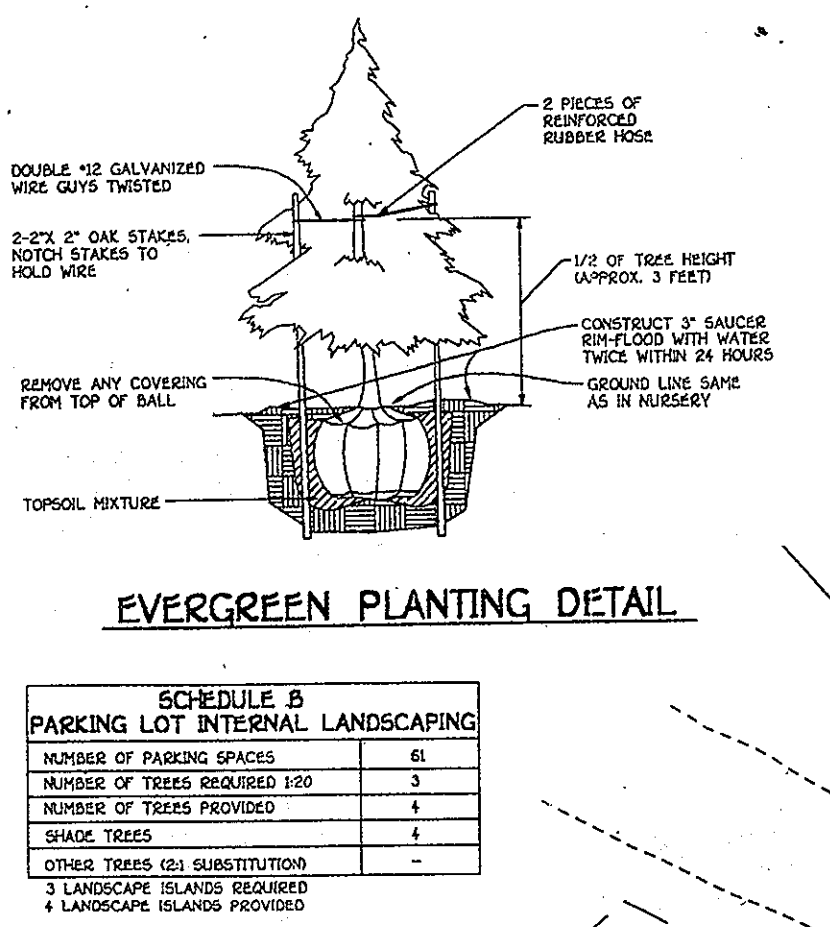
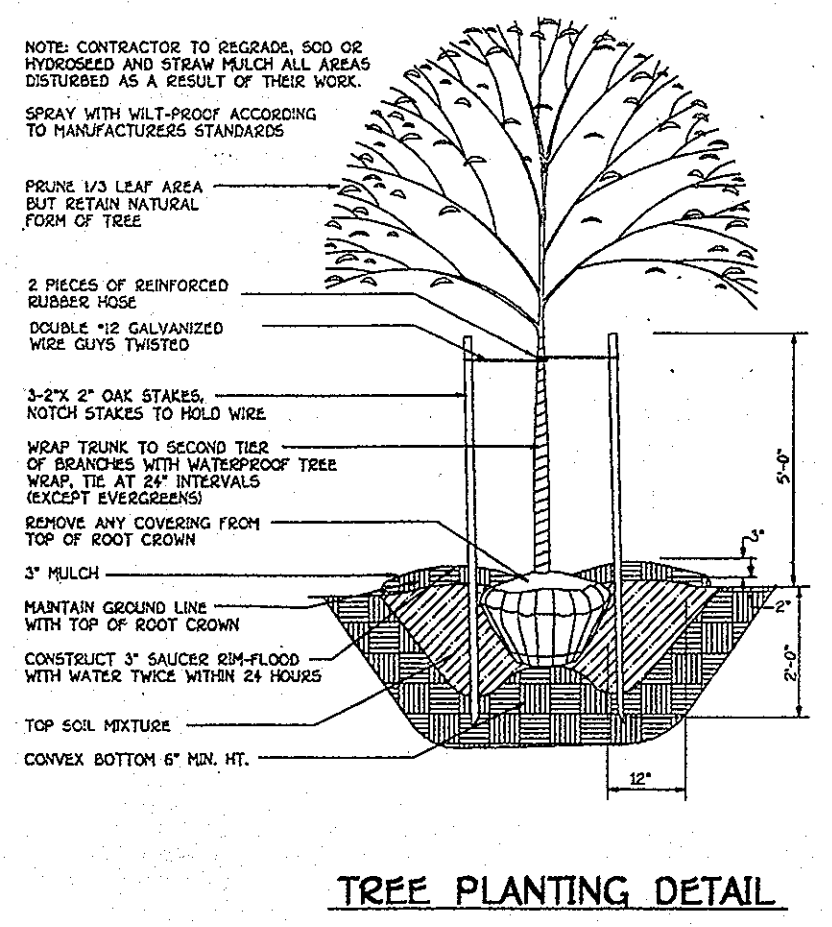
SUBDIVISION: RILEY L. CARR PROPERTY
SECTION/AREA: 15
LOT NO.: 1
PLAT NO.: 10203
BLOCK NO.: 15
ZONE: R.F.
TAX/ZONE: 40
ELEC. DIST.: 5TH
CENSUS TR.: G051.02
WATER CODE:
SEWER CODE:

SITE DEVELOPMENT PLAN

LOT 1
BALTIMORE SUNG RAK CHURCH
RILEY L. CARR PROPERTY

TAX MAP No: 40 PARCEL: 116
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT, 1998

SHEET 1 OF 5



LANDSCAPE LEGEND

QUANTITY	SYMBOL	DESCRIPTION
66	(Symbol)	ACER RUBRUM, OCTOBER GLORY / RED SUNSET, RED MAPLE 2 1/2" CAL
67	(Symbol)	PINUS STROBUS/EASTERN WHITE PINE 6'-8' HEIGHT
68	(Symbol)	QUONKUS KAMTSCHOWICUS SIBIRIANA SIE BOLD QUONKUS

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING

Linear Feet of Perimeter	800 LF
Number of Trees Required	16
Shade Trees 150	20
Evergreen Trees 140	4
Credit for Existing Vegetation (0% Tree and 3")	NO
Credit for Other Landscaping (0% Tree and 3")	NO
Number of Trees Provided	16
Shade Trees 150	20
Evergreen Trees 140	4
Other Trees 02 substitute	0

LEGEND

Symbol	Description
(Symbol)	Existing Contour 2' Interval
(Symbol)	Existing Contour 10' Interval
(Symbol)	Proposed Contour 2' Interval
(Symbol)	Proposed Contour 10' Interval
(Symbol)	Spot Elevation
(Symbol)	Silt Fence
(Symbol)	First Floor Elevation
(Symbol)	Basement Elevation
(Symbol)	Proposed Walkout
(Symbol)	Earth Dike
(Symbol)	Tree Protection
(Symbol)	Existing Tree Line
(Symbol)	Limit of Disturbance
(Symbol)	Existing Street Tree

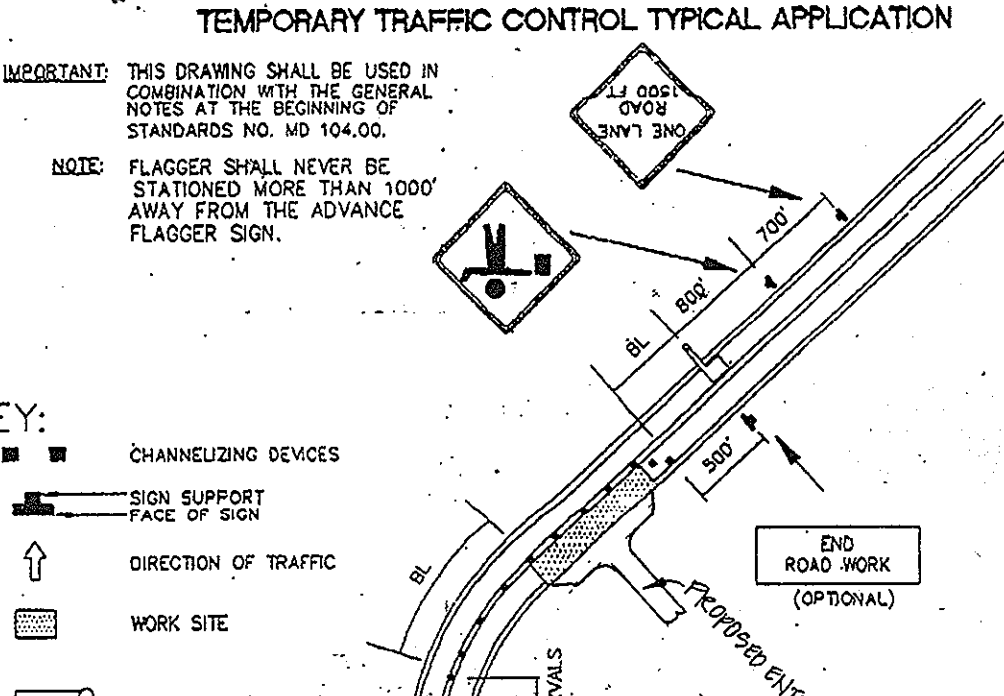
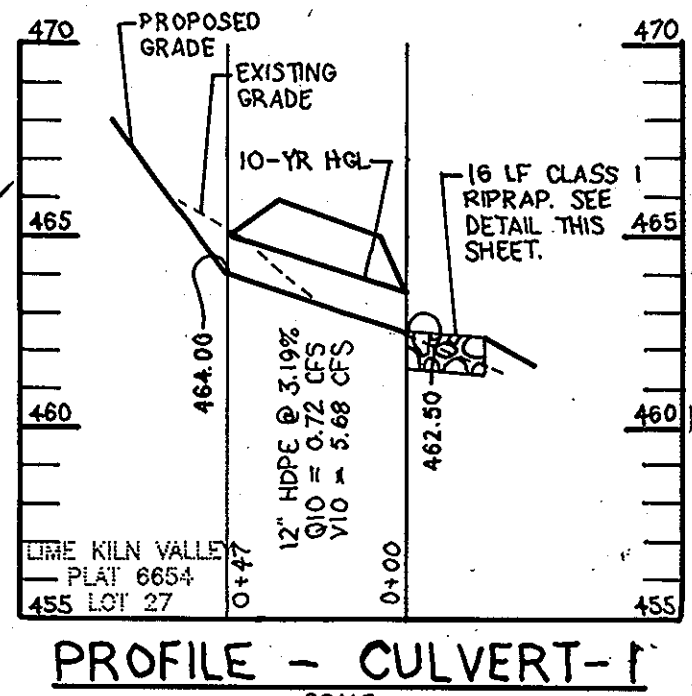
SCHEDULE A DEVELOPER'S CERTIFICATE

PERIMETER	BUFFER TYPE AND LENGTH	NUMBER PLANTS REQUIRED		
		EVERGREEN	SHADE	SHRUBS
1	A (438)	34	17	
2	C (688)	34	17	
3	C (280)	13	7	
4	X (120)	13	7	
5	NOT REQUIRED			
TOTAL LANDSCAPING PROVIDED		47	48	65

DEVELOPER'S/BUILDER'S CERTIFICATE

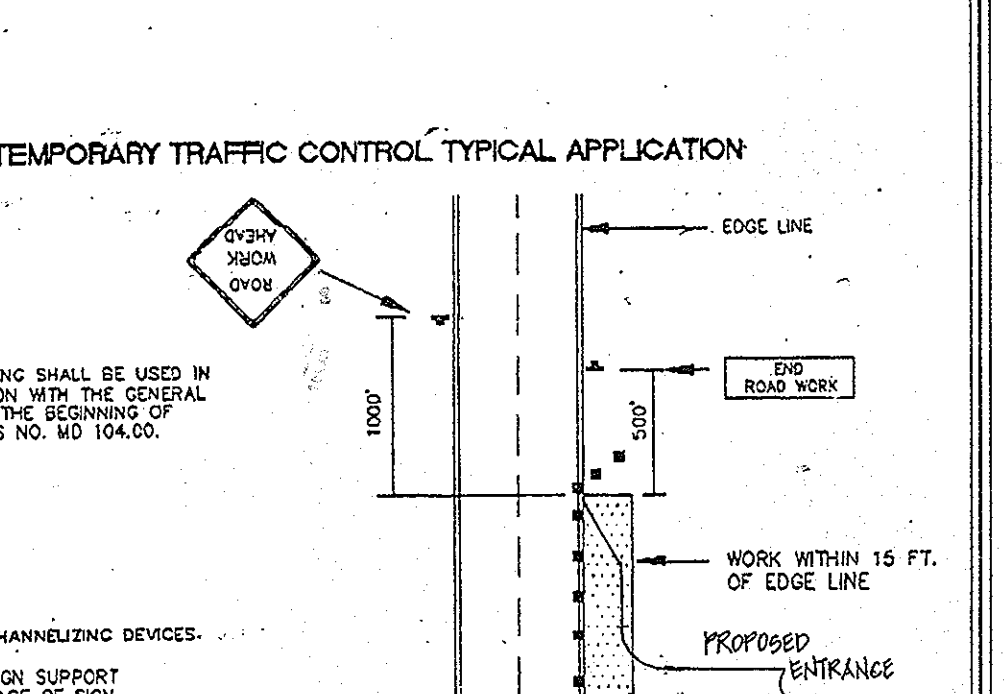
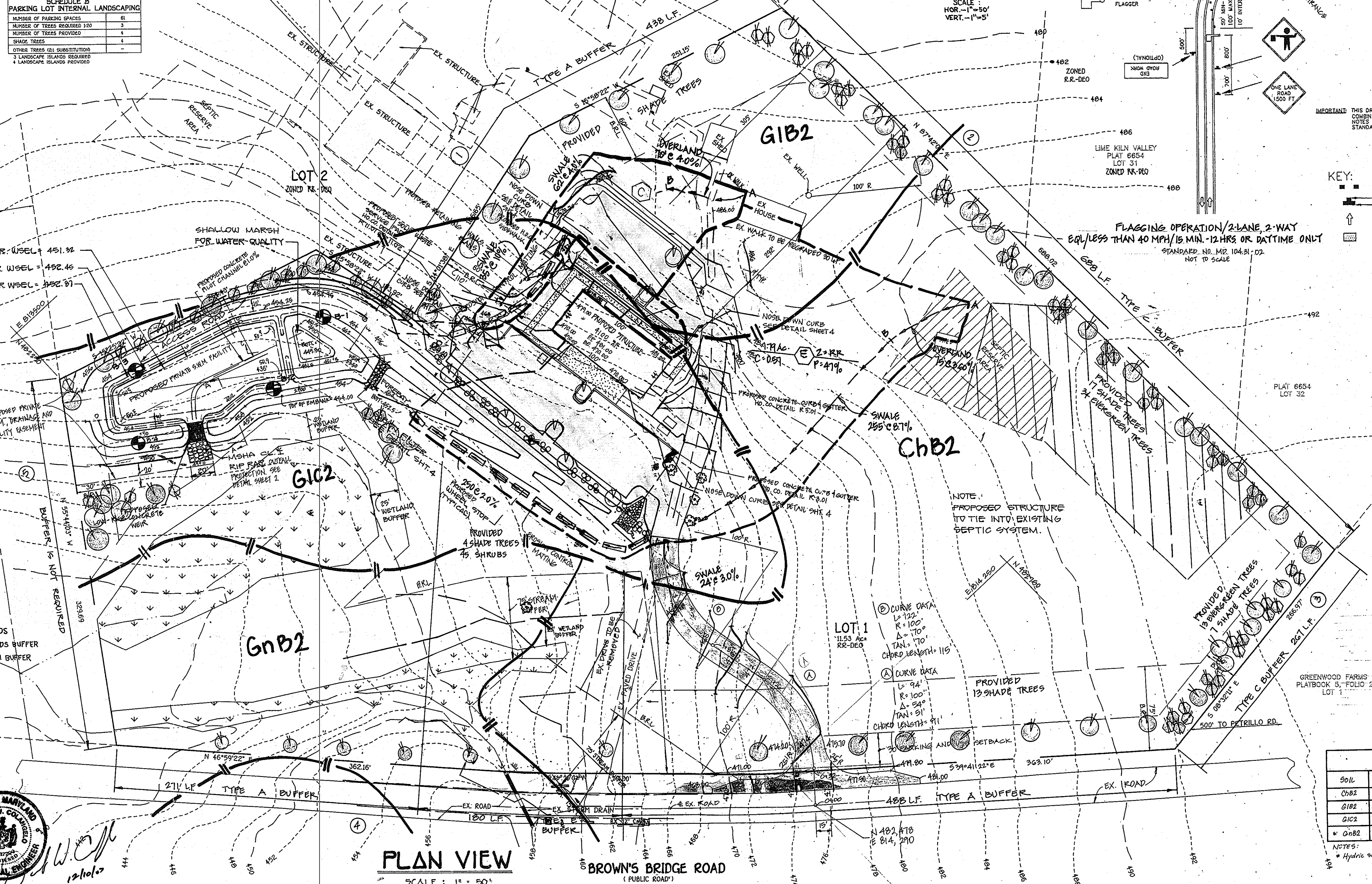
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Elaine Chong DATE: 8-1-00



AS-BUILT CERTIFICATION

STATE OF MARYLAND
 DOMINICK COLANGELO #27200
 DATE: 10/10/06



LANDSCAPE NOTES

1. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN PROVIDED AS PART OF THE DEVELOPER'S AGREEMENT WITH THE AMOUNT OF \$3,800.

2. ALTERNATIVE COMPLIANCE HAS BEEN APPROVED TO REDUCE PERIMETER FROM A TYPE 'B' BUFFER TO A TYPE 'A' BUFFER, DUE TO THE LARGE SETBACK FOR THE PROPOSED BUILDING, TO REDUCE PERIMETER #1 FROM A TYPE 'C' BUFFER TO A TYPE 'A' BUFFER, TO NOT REQUIRE BUFFER LANDSCAPING ALONG THE PERIMETER WHERE SWM PLANTINGS WILL BE PLANTED, AND TO NOT REQUIRE BUFFER PLANTINGS ALONG PERIMETER #2 DUE TO THE PRESENCE OF ENVIRONMENTAL FEATURES AND A POWER TRANSMISSION LINE RIGHT-OF-WAY WHICH WOULD RESTRICT DEVELOPMENT IN THAT AREA. ADDITIONAL LANDSCAPING MAY BE REQUIRED WITH PHASE II DEVELOPMENT.

SOILS LEGEND

SOIL	NAME	CLASS
ChB2	Clayey silt loam, 3 to 8 percent slopes, moderately eroded	B
G1B2	Clayey loam, 3 to 8 percent slopes, moderately eroded	B
G1C2	Clayey loam, 8 to 15 percent slopes, moderately eroded	B
GnB2	Clayey silt loam, 3 to 8 percent slopes, moderately eroded	C

NOTES:
 * Hydric soils and/or contains hydric inclusions.

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 CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
 ELIOTT CITY, MARYLAND 21114
 (410) 461-2255

ADDRESS CHART

LOT #	STREET ADDRESS
1	7724 BROWN'S BRIDGE ROAD

ENGINEER'S CERTIFICATE

I certify that this plan of erosion and sediment control represents a practical and workable plan based on the physical characteristics of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: Elaine Chong Date: 8-31-00

DEVELOPER'S CERTIFICATE

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Signature of Developer: Elaine Chong Date: 8-1-00

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Signature of Developer: Elaine Chong Date: 8-1-00

OWNER & DEVELOPER

BALTIMORE SUNG RAK CHURCH
 7724 BROWN'S BRIDGE ROAD
 FULTON, MARYLAND 20777

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: David Smith Date: 8/15/00
 Director, Department of Planning and Zoning

Signature: John K. Danton Date: 8/15/00
 Chief, Division of Land Development

Signature: John K. Danton Date: 8/15/00
 Chief, Development Engineering Division

SUBDIVISION: RILEY L. CARK PROPERTY SECTION/AREA: LOT NO. 1
 PLAT NO. 10020 BLOCK NO. 15 ZONE FK TAX/ZONE 40 ELEC. DIST. 5TH CENSUS TR. G051.02
 WATER CODE SEWER CODE

LANDSCAPING, TRAFFIC CONTROL PLAN AND DRAINAGE AREA MAP

LOT 1
BALTIMORE SUNG RAK CHURCH
 RILEY L. CARK PROPERTY
 TAX MAP No: 40 PARCEL: 116
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: OCT, 1998
 SHEET 3 OF 5