

SHEET INDEX

- SHEET #1 - SITE PLAN
- SHEET #2 - SEDIMENT CONTROL PLAN & NOTES
- SHEET #3 - SEDIMENT CONTROL NOTES & DETAILS
- SHEET #4 - LANDSCAPE PLAN, REV. A
- SHEET #5 SITE PLAN, REVISED A

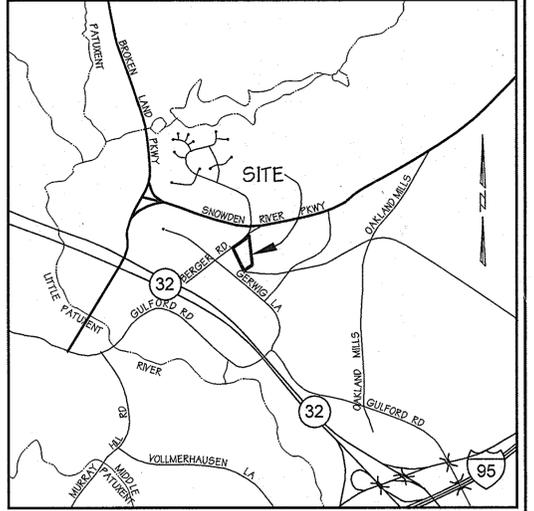
SITE DATA

TOTAL AREA OF SUBMITTAL:	13542 AC.
TOTAL AREA OF SITE:	259,094 SQ. FT. 5.948 AC.
EXISTING ZONING:	NT, EC-IND
PROPERTY REFERENCE:	FDP 55, EGU SEC. 2 AREA 2
EXISTING USE:	OFFICE - WAREHOUSE
PROPOSED USE:	OFFICE - WAREHOUSE
BUILDING COVERAGE:	100,000 SQ. FT. OR 2.30 AC.
% BUILDING COVERAGE:	39.7%
FLOOR AREA RATIO:	3.97
OPEN SPACE:	58,296 SQ. FT. OR 1.3612 AC.
AREA TO BE DISTURBED:	58,989 SQ. FT. OR 1.3542 AC.
AREA TO BE VEGETATIVELY STABILIZED:	8,680 SQ. FT. OR 0.20 AC.
PREVIOUS SDP:	SDP 72-02
FINAL PLAT NO.:	F70-85C
DEED REF.:	558/0543
SETBACKS PER FDP NO. 55:	
RIGHT OF WAY:	25 FEET
NON RIGHT OF WAY SIDE:	0 FEET
NON RIGHT OF WAY REAR:	0 FEET
NON RIGHT OF WAY FRONT:	0 FEET
NEW IMPERVIOUS AREA:	5,489 SQ. FT.
REMOVAL OF IMPERVIOUS AREA:	5,489 SQ. FT.
TOTAL SITE IMPERVIOUS AREA:	198,141 SQ. FT.

PARKING TABULATION

EXIST. FLOOR AREA:	100,000 S.F.
EXIST. USE:	WAREHOUSE
MAXIMUM # OF EMPLOYEES:	100
PARKING REQUIRED PER FDP 55:	1 P.S./2 EMP. = 50 SPACES
EXISTING PARKING PROVIDED:	40 SPACES
PROPOSED PARKING:	59 SPACES

NOTE: SEE SHEET 2 FOR HANDICAP DETAIL
 NOTE: ALL EXTERIOR LIGHTING SHALL COMPLY WITH ZONING REGULATION, SECTION 134
 NOTE: SEE DETAIL R 11.01 FOR ANY MODIFICATION TO SOLID WASTE DISPOSAL PADS.



LOCATION MAP

BENCHMARK :

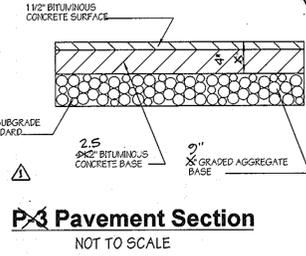
STATION 0016 (2341002)
 ELEV. = 359.673

EXISTING WAREHOUSE BUILDING

PROPOSED 1ST FLOOR AREA: 100,000 SF +/-
 PROPOSED MEZZANINE AREA: 21,500 SF +/-
 TOTAL: 121,500 SF +/-

PLAN

SCALE: 1" = 40'



P-3 Pavement Section

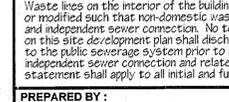
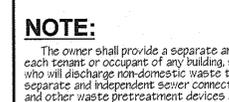
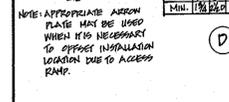
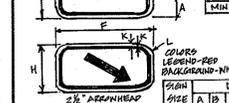
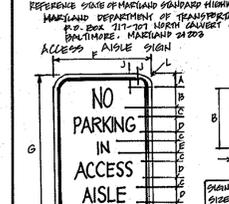
NOT TO SCALE

General Notes

FOR THE REVISIONS INDICATED BY A, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 35320, EXPIRATION DATE: JAN. 6, 2014.

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E. STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION AND/OR AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1800 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL AREAS NOT BEING PAVED OR RECEIVING ANY BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- ALL SLOPES SHALL BE 2:1 OR FLATTER.
- ALL PLAN DIMENSIONS ARE GIVEN TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.

STORMWATER MANAGEMENT IS NOT REQUIRED; THERE IS NO NET INCREASE IN IMPERVIOUS AREA.

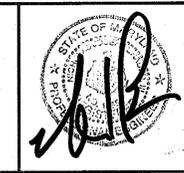


NOTE:

The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants and tenants.

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 658 Kenilworth Drive, Suite 100
 Towson, Maryland 21204
 (410) 825-8120



ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *[Signature]* Date: 10/12/98
 Name: PE 18553

OWNER/DEVELOPER

BRIAN SONG
 HANITECH CORPORATION
 5901 AMMENDALE ROAD
 BELTSVILLE, MD 20705

5720 Executive Drive
 Baltimore, Maryland 21228-1789
 (410) 788-1000

DEVELOPER CERTIFICATION:

I/we certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a certificate of approval from the Department of the Environment and Planning. I/we also certify that the plan was prepared in accordance with the requirements of the Howard Soil Conservation District.

Developer: *[Signature]* Date: 9/15/98
 Name: EDWARD ST. JOHN

DESIGNED BY:

DESIGNED BY: NB
 DRAWN BY: PJT
 CHECKED BY: NB

SITE PLAN

GUILFORD INDUSTRIAL PARK LOT 17 9505 BERGER ROAD

EGU SECTION 2, AREA 2
 FILE NO'S: F70-85C, SDP 72-02, FDP 55
 ELECTION DISTRICT: 6
 HOWARD CO., MARYLAND SHT. 1 OF 5

SCALE: 1" = 40'
 DATE: SEPT 10, 1998

These plans for S.W.M. construction soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT
 DATE: 10/27/98

APPROVED: Howard County Department of Planning and Zoning
 DATE: 10/27/98

APPROVED: Howard County Department of Planning and Zoning
 DATE: 11/2/98

APPROVED: Howard County Department of Planning and Zoning
 DATE: 11/2/98

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 DATE: 11/2/98

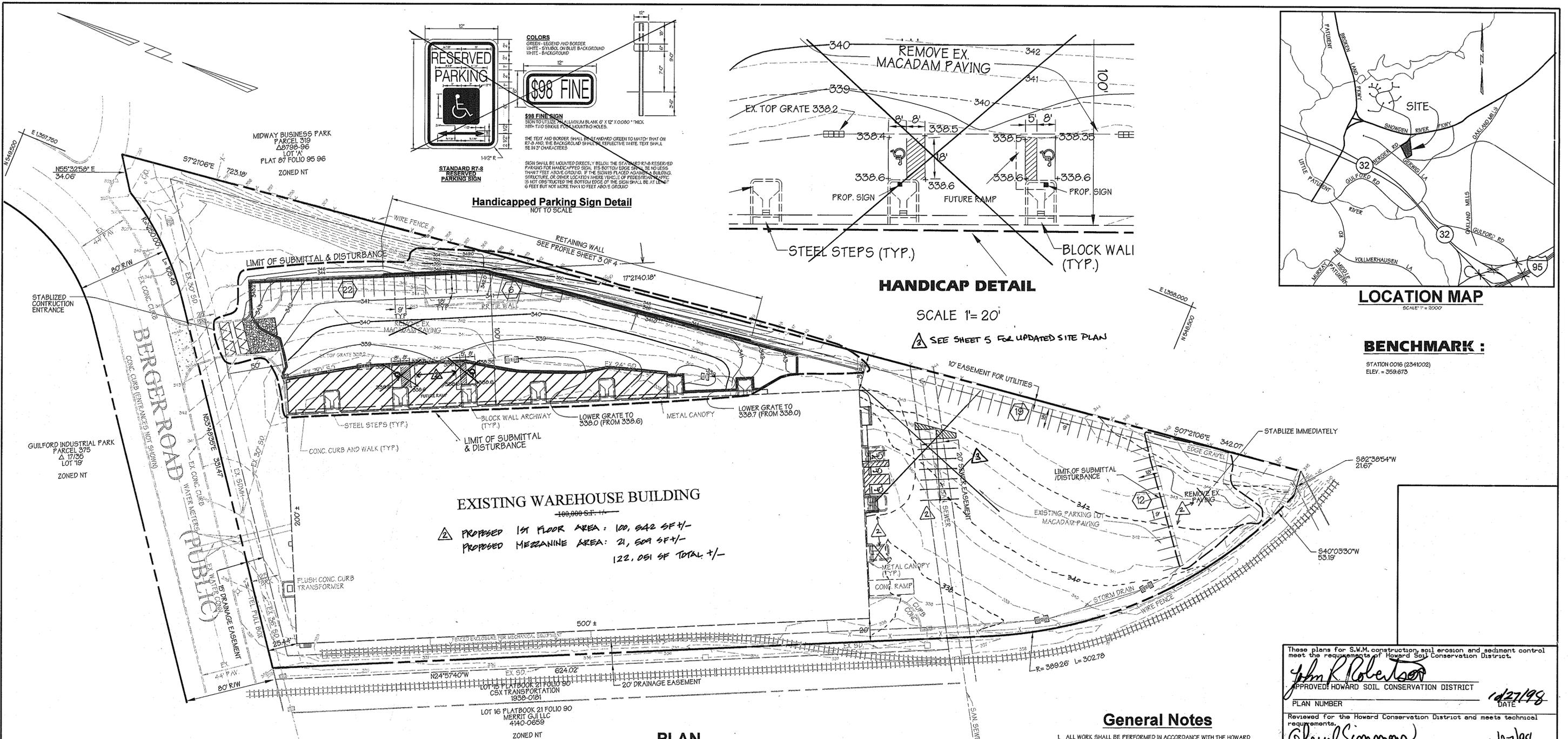
APPROVED: Howard County Department of Planning and Zoning
 DATE: 11/2/98

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 DATE: 11/2/98

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 DATE: 11/2/98

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 DATE: 11/2/98

APPROVED: Howard County Department of Planning and Zoning
 DATE: 11/2/98



NOTE:
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

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GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 658 Kenilworth Drive, Suite 100
 Towson, Maryland 21204
 (410) 825-8120



ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

ENGINEER: *N. Robertson*
 Name: **NICHOLAS D. ROBERTSON, III**
 Date: 10/17/98
 PE# 18553

OWNER/DEVELOPER:
BRIAN SONG
 HANMECH CORPORATION
 5901 AMMENPALE ROAD
 BELLEVILLE, MD 20705

DEVELOPER CERTIFICATION:
I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certification of Attendance from the Department of the Environment Approved Training Program for the State of Maryland before beginning the project. I/we also authorize the State of Maryland to inspect by the Howard Soil Conservation District.

DEVELOPER: *Edward St. John*
 Name: **EDWARD ST. JOHN**
 Date: 9/15/98

DESIGNED BY: NB
DRAWN BY: PJT
CHECKED BY: NB

REVISIONS:
 ADD ADA AND REGULAR PARKING. UPDATE NOTES.
 CORRECT ITEMS ON PLAN NOT PER EXISTING SITE. 9.11.09 PAS

DATE: 9/15/98

SEDIMENT CONTROL PLAN
GUILFORD INDUSTRIAL PARK
LOT 17
9505 BERGER ROAD
 ELECTION DISTRICT: 6
 HOWARD CO., MARYLAND
 SHEET 2 OF 5
 SCALE: 1" = 40'
 DATE: SEPT 0, 1998

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
# 386	9505 Berger Rd.

SUBDIVISION NAME: GUILFORD INDUSTRIAL PARK E.G.U. SECT 2, AREA 2
SECTION NAME: 2
PARCEL #: 386
PLAT #: 12-1-90
BLOCK #: 24
ZONE: NT
TAX / ZONE MAP: 42
ELECT. DIST.: 6
CENSUS TRACT: 8067.03
WATER CODE: E 06
SEWER CODE: S200400

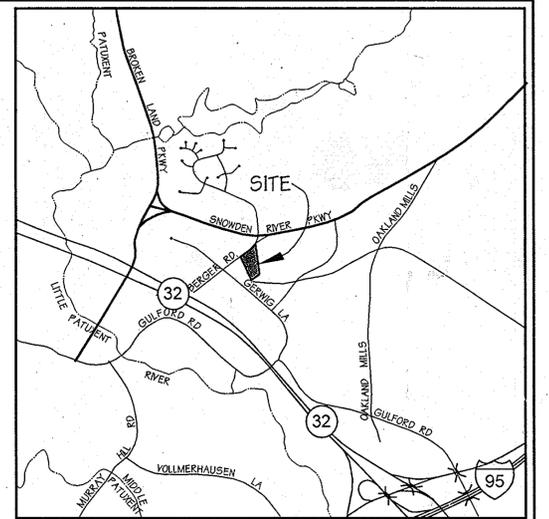
SDP 99-31

SHEET INDEX

SHEET #1 -	SITE PLAN
SHEET #2 -	SEDIMENT CONTROL PLAN + NOTES
SHEET #3 -	SEDIMENT CONTROL NOTES + DETAILS
SHEET #4 -	LANDSCAPE PLAN

SITE DATA

TOTAL AREA OF SUBMITTAL:	13542 Ac.+/-
TOTAL AREA OF SITE:	5948 Ac.+/-
EXISTING ZONING:	NT, EC-IND
PROPERTY REFERENCE:	FDP 55, EGU SECT 2 AREA 2
EXISTING USE:	OFFICE/WAREHOUSE
PROPOSED USE:	OFFICE/WAREHOUSE
BUILDING COVERAGE:	128,523 Sq. Ft. or 2.30 Ac.+/-
FLOOR AREA RATIO:	38.7%
OPEN SPACE:	102,248 Sq. Ft. or 2.35 Ac.+/-
AREA TO BE DISTURBED:	382,250 Sq. Ft. or 8.322 Ac.+/-
AREA TO BE VEGETATIVELY STABILIZED:	54819 Sq. Ft. or 1.2041 Ac.+/-
PREVIOUS SDP:	SDP 72-02
FINAL PLAN NO.:	F70-055 DEED REF: 55810543
SFT. BACKS PER FFP:	55
RIGHT OF WAY:	25 FEET
NON RIGHT OF WAY SIDE:	0 FEET
NON RIGHT OF WAY REAR:	0 FEET
NON RIGHT OF WAY FRONT:	0 FEET

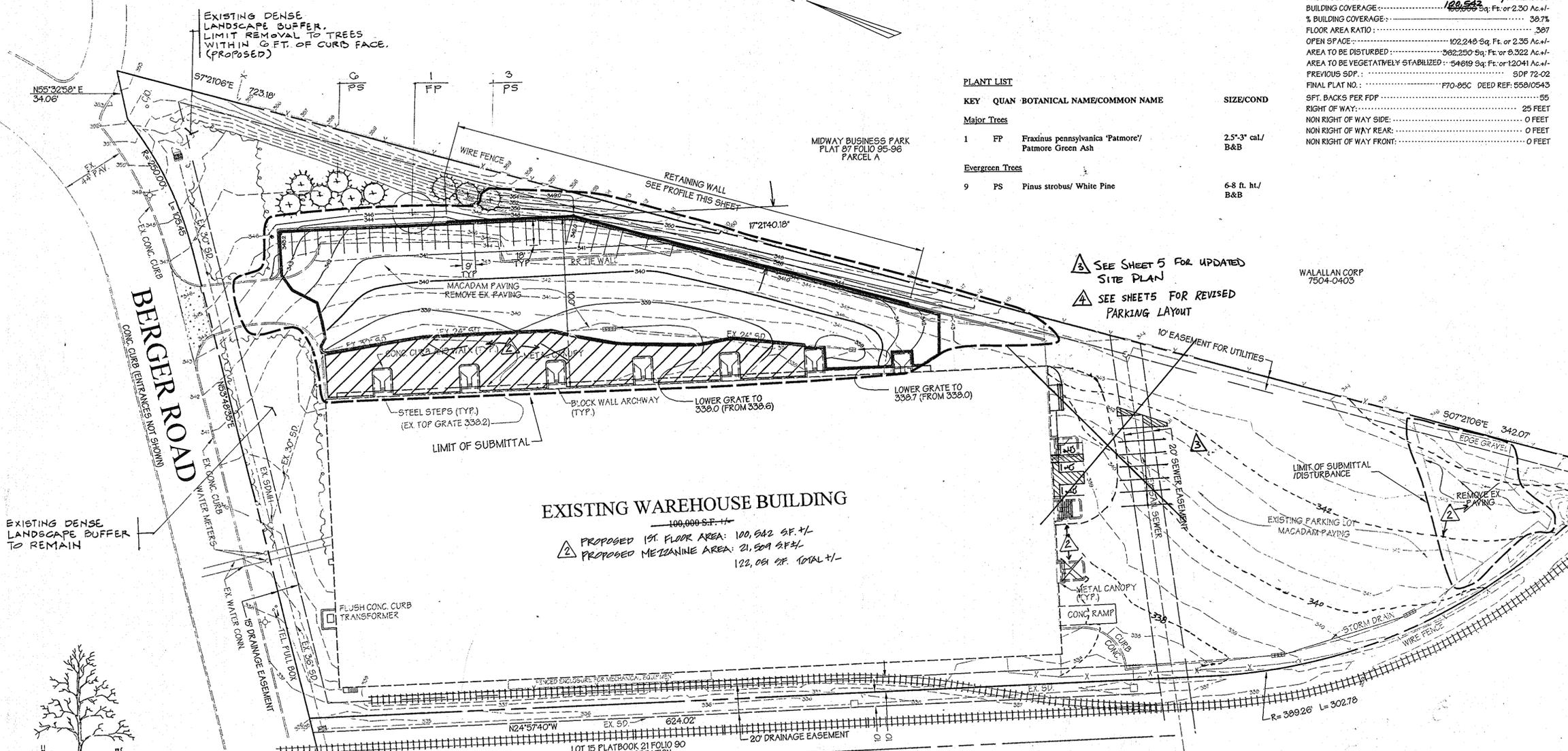


LOCATION MAP

SCALE 1" = 200'

BENCHMARK :

STATION 0016 (2341002)
ELEV. = 359.673



EXISTING WAREHOUSE BUILDING

100,000 S.F. +/-
 PROPOSED 1ST FLOOR AREA: 100,842 SF +/-
 PROPOSED MEZZANINE AREA: 21,504 SF +/-
 122,346 SF. TOTAL +/-

PLAN

SCALE: 1" = 40'

Legend

Ex. Contours	--- 394
Prop. Contours	--- 394
Ex. Curb & Gutter	=====
Prop. Curb & Gutter	=====
Ex. Sanitary	=====
Ex. Storm Drain	=====
Ex. Water	=====
Prop. Water	=====
Resurfing	=====
Prop. Retaining wall	=====
P-3 Paving Section	=====

PLANTING NOTES

Plant locations shall be field adjusted to avoid utilities. Contractor is responsible for locating utilities prior to start of work. All trees and shrubs shall be mulched to a minimum of 18" beyond the edge of the root ball. Shrub masses shall be planted in continuous mulch beds. All wire, plastic and twine ties shall be removed from top of root ball.

LANDSCAPE SPECIFICATIONS

Landscape specifications shall conform to 3rd Edition of the "LCA Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", including planting procedures and soil preparation for shrub and perennial beds. A one-year warranty period shall be required. Maintenance required to honor the one-year warranty shall be performed as part of this contract.

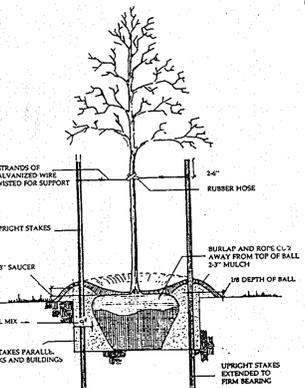
ONE-YEAR ANNIVERSARY FOLLOWUP REQUIREMENTS

Contractor shall schedule site walk thru with owner's representative prior to end of warranty period. As part of walk thru remove stakes and gags, prune dead wood and make necessary replacements.

PLANT STANDARDS

All nursery stock shall be top quality and in accordance with the American Association of Nurserymen, Inc. "American Standards for Nursery Stock", latest edition. Plants of each species shall be provided as matched items. Inferior nursery stock will be subject to rejection by the Landscape Architect. Bare-root shall not be allowed for any tree defined as major deciduous, minor deciduous or evergreen.

Contractor shall review and test subsoil drainage characteristics 30 days prior to planting and notify owner of unsatisfactory conditions. No exceptions to the guarantee provisions are allowed unless agreed to in writing prior to planting.



TYPICAL TREE PLANTING
SCALE: NONE

NOTE:
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



WILLIAM F. KIRWIN, INC.
 Landscape Architecture
 Land Planning
 Environmental Design
 Phone: 410.337.0075
 Fax: 410.823.3827
 28 E. Susquehanna Avenue
 Towson, MD 21286-5218

PROFESSIONAL CERTIFICATION
 FOR THE REVIEWS INDICATED BY THIS CHECK I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MARYLAND LICENSE NO. 34184 EXPIRATION DATE: AUGUST 14, 2011.



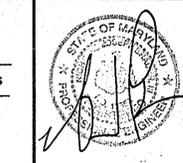
OWNER/DEVELOPER
 BRIAN SONG
 HANTECH CORPORATION
 5901 AMMENDALE RD.
 BELTSVILLE, MD 20705

DEVELOPER CERTIFICATION
 I/WE certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for Control of Sediment and Erosion before beginning the project. I/WE also authorize the Landscape Architect to conduct on-site inspection by the Howard Soil Conservation District.

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 REVISIONS:
 1. UPDATE SITE PLAN 5/15/08 FOR PROPERTY BOUNDARY
 2. ADD RPA & REGULAR PARKING UPRIDE NOTES
 3. CORRECT LEGAL AN PAVK NOT PER BOUNDARY SHEET 4-14-08

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 REVISIONS:
 1. UPDATE SITE PLAN 5/15/08 FOR PROPERTY BOUNDARY
 2. ADD RPA & REGULAR PARKING UPRIDE NOTES
 3. CORRECT LEGAL AN PAVK NOT PER BOUNDARY SHEET 4-14-08

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 658 Kenilworth Drive, Suite 100
 Towson, Maryland 21204
 (410) 825-8120



ENGINEER CERTIFICATION
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: [Signature] Date: 9/15/08
Name: Nick Bladner PE# 18558



DEVELOPER CERTIFICATION
 I/WE certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for Control of Sediment and Erosion before beginning the project. I/WE also authorize the Landscape Architect to conduct on-site inspection by the Howard Soil Conservation District.

DEVELOPER: [Signature] Date: 9/15/08
Name: EDWARD J. JOHN

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: Howard Soil Conservation District
 PLAN NUMBER: [Blank]
 DATE: 10/27/98

APPROVED: Howard Conservation District and meets technical requirements.
 [Signature]
 NATURAL RESOURCES CONSERVATION SERVICE
 DATE: 10/27/99

APPROVED: Howard County Department of Planning and Zoning
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 DATE: 10/30/98

APPROVED: Howard County Department of Planning and Zoning
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 11/2/99

APPROVED: Howard County Department of Planning and Zoning
 [Signature]
 DIRECTOR
 DATE: 11/2/98

ADDRESS CHART
 PARCEL NO. 47386
 STREET ADDRESS 9505 Berger Rd.

SUBDIVISION NAME: GUILFORD INDUSTRIAL PARK
SECTION NAME: 2
PARCEL #: 47386

PLAT: EGU 55, 2000
BLOCK: 24
ZONE: NT
ELECT. DIST.: 6
CENSUS TRACT: 6067.03
WATER CODE: E06
SEWER CODE: 520400

LANDSCAPE PLAN
GUILFORD INDUSTRIAL PARK
LOT 17
9505 BERGER ROAD
 ELECTION DISTRICT: 6
 HOWARD CO., MARYLAND
 SCALE: 1" = 40'
 SHEET 4 OF 4
 DATE: SEPT 10, 1998

△ PARKING TABULATION AND SITE DATA UPDATES

EXISTING 1ST FLOOR AREA	100,542 SF
EXISTING MEZZANINE AREA	21,509 SF
122,051 SF TOTAL	
EXISTING OFFICE AREA	26,490 SF
EXISTING WAREHOUSE AREA	65,771 SF
EXISTING SDP PARKING	71 REGULAR +3 HANDICAPPED 74 SPACES TOTAL
PROPOSED 1ST FLOOR AREA	100,542 SF
PROPOSED MEZZANINE AREA	21,509 SF
122,051 SF TOTAL	
PROPOSED OFFICE AREA	38,175 SF
PROPOSED WAREHOUSE AREA	30,475 SF
PROPOSED RETAIL AREA	1,028 SF
PROPOSED SOCCER/FUTSAL	49,375 SF
PROPOSED PARKING	98 SPACES
(2 SPACES PER 1,000 SF OFFICE)	77 SPACES
(5 SPACES PER 1,000 SF RETAIL)	21 SPACES
PARKING REQUIRED (PER FDP 55)	98 SPACES
REQUIRED HANDICAPPED SPACES	8 SPACES
89 REGULAR	89 SPACES
28 HANDICAPPED	28 SPACES
117 SPACES TOTAL	

NO ADDITIONAL PARKING REQUIRED FOR WAREHOUSE
ALL WAREHOUSE EMPLOYEES HAVE OFFICE SPACE
PARKING ANALYSIS BY LEMHART TRAFFIC CONSULTING, INC.
ATTACHED DEMONSTRATES 89 PARKING SPACES SUFFICIENT
TO SERVE AS SHARED PARKING SINCE TIMES OF OPERATION
DO NOT COINCIDE BETWEEN THE SOCCER/FUTSAL USE AND
THE OTHER USES.

SITE DATA

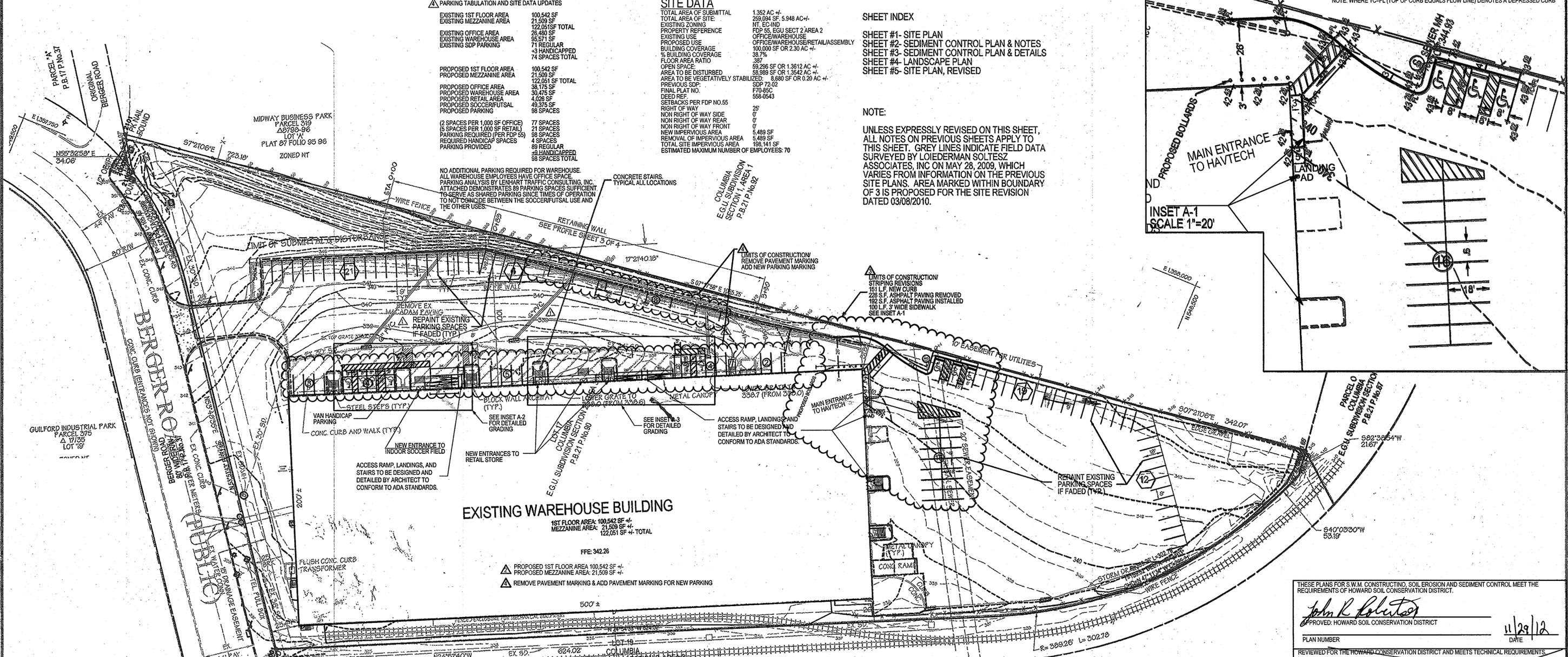
TOTAL AREA OF SUBMITTAL	1,352 AC +/-
TOTAL AREA OF SITE	269,084 SF, 5.948 AC +/-
PROPERTY REFERENCE	FDP 55, EGU SECT 2 AREA 2
EXISTING USE	OFFICE/WAREHOUSE
PROPOSED USE	OFFICE/WAREHOUSE/RETAIL/ASSEMBLY
BUILDING COVERAGE	100,000 SF OR 2.30 AC +/-
FLOOR AREA RATIO	38.7%
OPEN SPACE	59,295 SF OR 1.3612 AC +/-
AREA TO BE DISTURBED	59,989 SF OR 1.3542 AC +/-
AREA TO BE VEGETATIVELY STABILIZED	8,880 SF OR 0.20 AC +/-
PREVIOUS SDP	SDP 72.02
FINAL PLAT NO.	F70.8C
DEED REF.	558-0543
SETBACKS PER FDP NO.55	25'
RIGHT OF WAY	0'
NON RIGHT OF WAY SIDE	0'
NON RIGHT OF WAY REAR	0'
NON RIGHT OF WAY FRONT	0'
NEW IMPERVIOUS AREA	5,489 SF
REMOVAL OF IMPERVIOUS AREA	5,489 SF
TOTAL SITE IMPERVIOUS AREA	193,141 SF
TOTAL SITE IMPERVIOUS PERCENTAGE	14.3%
ESTIMATED MAXIMUM NUMBER OF EMPLOYEES: 70	

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SHEET #1- SITE PLAN
SHEET #2- SEDIMENT CONTROL PLAN & NOTES
SHEET #3- SEDIMENT CONTROL PLAN & DETAILS
SHEET #4- LANDSCAPE PLAN
SHEET #5- SITE PLAN, REVISED

NOTE:
UNLESS EXPRESSLY REVISED ON THIS SHEET, ALL NOTES ON PREVIOUS SHEETS APPLY TO THIS SHEET. GREY LINES INDICATE FIELD DATA SURVEYED BY LOIEDERMAN SOLTESZ ASSOCIATES, INC ON MAY 28, 2009, WHICH VARIES FROM INFORMATION ON THE PREVIOUS SITE PLANS. AREA MARKED WITHIN BOUNDARY OF 3 IS PROPOSED FOR THE SITE REVISION DATED 03/08/2010.

INSET A-1
SCALE 1"=20'



EXISTING WAREHOUSE BUILDING

1ST FLOOR AREA: 100,542 SF +/-
MEZZANINE AREA: 21,509 SF +/-
122,051 SF +/- TOTAL

- △ PROPOSED 1ST FLOOR AREA 100,542 SF +/-
- △ PROPOSED MEZZANINE AREA 21,509 SF +/-
- △ REMOVE PAVEMENT MARKINGS & ADD PAVEMENT MARKING FOR NEW PARKING

NOTE

- THE RETAIL USE WILL PRIMARILY SELL OR SERVICE MERCHANDISE MANUFACTURED ON THE PREMISES IN ACCORDANCE WITH FDP 55. ANY OTHER RETAIL USE FOR THIS SITE MUST PROVIDE WRITTEN APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING, DIVISION OF PUBLIC SERVICES AND ZONING ADMINISTRATION.
- THERE IS NO PROPOSED EXPANSION OF THE MEZZANINE AS PART OF THE SDP 99-031 APPLICATION.
- THE PROPOSED INDOOR SOCCER FIELD IS A BY-RIGHT USE. HOWEVER, FOR PARKING PURPOSES, THE INDOOR SOCCER FACILITY CANNOT BE IN OPERATION DURING THE HOURS OF THE OFFICE/WAREHOUSE OPERATION. THEREFORE, THE INDOOR SOCCER FIELD IS ONLY IN OPERATION DURING THE FOLLOWING TIMES:
- 8 PM - 8 AM MONDAY TO FRIDAY
- ALL DAY ON HOLIDAYS AND WEEKENDS.
AND THE RETAIL AREA WILL ONLY BE OPEN DURING THE WAREHOUSE/OFFICE HOURS OF OPERATION, WHICH IS:
- 8 AM - 5 PM MONDAY TO FRIDAY

PURPOSE STATEMENT:

THE PURPOSE OF THE ADDITION OF SHEET 5 IS TO REVISE THE ADA ACCESS PARKING LOCATION AND ROUTE AND TO UPDATE THE FIELD DATA TO REPRESENT THE SURVEY DATA COLLECTED BY LOIEDERMAN SOLTESZ ASSOCIATES, INC. ON MAY 28, 2009.

ENGINEER CERTIFICATION
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *XIN YI* DATE: 11/14/12

DEVELOPER CERTIFICATION
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

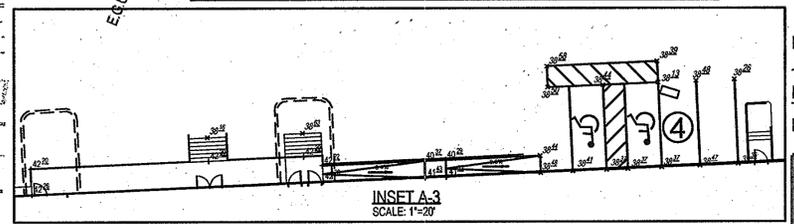
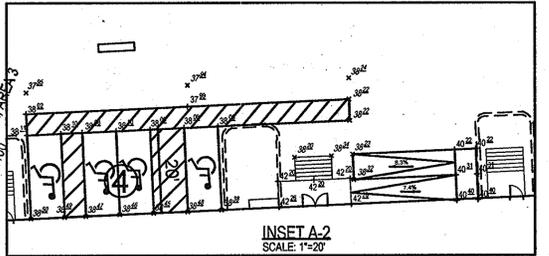
DEVELOPER: *Brian Song for owner as agent* DATE: 11/14/12

Legend

Ex. Contours	---
Prop. Contours	---
Ex. Curb & Gutter	---
Prop. Curb & Gutter	---
Ex. Sanitary	---
Ex. Storm Drain	---
Ex. Water	---
Resurfacing	▨
Prop. Retaining Wall	▨
Paving Section	▨
Limit of Submittal and Disturbance	---

LEGEND

▲ PROP. SPOT ELEV.
● EX. SPOT ELEV.



THESE PLANS FOR S.W.M. CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John K. Soltesz*
HOWARD SOIL CONSERVATION DISTRICT DATE: 11/29/12

PLAN NUMBER: _____ DATE: _____

REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

NATURAL RESOURCES CONSERVATION SERVICE DATE: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK: *J.R.* DATE: 12/14/12

CHIEF, DIVISION OF LAND DEVELOPMENT: *Mark S. ...* DATE: 12/07/12

DIRECTOR: *Mark S. ...* DATE: 12/7/12

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
386	9505 BERGER RD.

SUBDIVISION NAME: GUILFORD INDUSTRIAL PARK SECTION NAME: 2 PARCEL #: 386
E.G.U. SECT 2 AREA 3

PLAT #	BLOCK #	TAX / ZONE MAP	ELECT. DIST.	CENSUS TRACT
L-11529 F: 432		42	6	6057.03

WATER CODE E06 SEWER CODE 5200400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 35236 EXPIRATION DATE: 1/6/14

Brian Song
11/16/12

REVISED SITE DEVELOPMENT PLAN

GUILFORD INDUSTRIAL PARK
LOT 17
9505 BERGER ROAD
ELECTION DISTRICT 6, HOWARD COUNTY, MARYLAND
FILE NO'S F70-85c; SDP 72-02, FDP 55
SDP 99-31

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER/APPLICANT
BRIAN SONG CORPORATION
5901 AMMENDALE ROAD
BELTSVILLE, MD 20705

Legend

UPDATE PARKING STRIPING & COUNT	BCG	6/13/12
UPDATE HANDICAP PARKING	BCG	3/8/10

DATE: MARCH 2010 CAD STANDARDS VERSION: V8 - 2000
DESIGNED: BCG TECHNICIAN: BCG CHECKED: KAS

Rockville Lanham Waldorf Leonardtown

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Engineering Planning Surveying Environmental Sciences

SHEET 5 OF 5
PROJECT NO. 1411-01-00

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