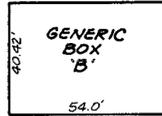


NOTE: All Models Fit



NOTE: Amy Beth, Polly Anne and Cambridge Only

LANDSCAPE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
	3	QUERCUS RUBRA	RED OAK	2 1/2" - 3" Cal.

SCHEDULE A
PERIMETER LANDSCAPE EDGE

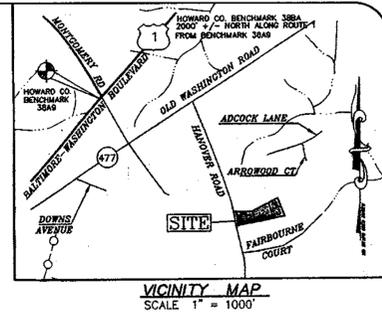
Landscaping Type	Quantity	Notes
Linear Feet of Treeless Perimeter	222 LF	
Credit for Existing Vegetation (Yes, No, Linear Feet)	YES 15 LF*	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	NO	
Number of Plants Required (Shade Trees (1"60) Evergreen Trees)	3 0	
Number of Plants Provided (Shade Trees (1"60) Evergreen Trees)	3 0	

Comments: * RETAIN 15 LINEAR FEET OF EXISTING VEGETATION ALONG 93.6' LOT LINE

NOTE: Financial Surety for the required Landscaping for Lot 4 shall be posted as part of the Grading Permit Surety in the amount of \$ 900.00 (3 required trees x \$300.00/tree)

LEGEND

- Landscape Edge Planting Provided by F96-169
- 4' x 4' x 4' Deep Private Dry Well (F96-169)
- Roof Leader
- 4" Underground Drain
- Unit Orientation
- Contour Interval Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Walkout Basement
- Trees to be saved
- Min. C.E.
- Minimum Cellar Elevation
- Proposed Landscape Perimeter Tree (Proposed by this site plan)



SHEET INDEX

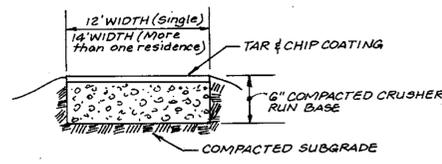
SHT. No.	TITLE
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL PLAN
3	NOTES and DETAILS

MINIMUM LOT SIZE CHART

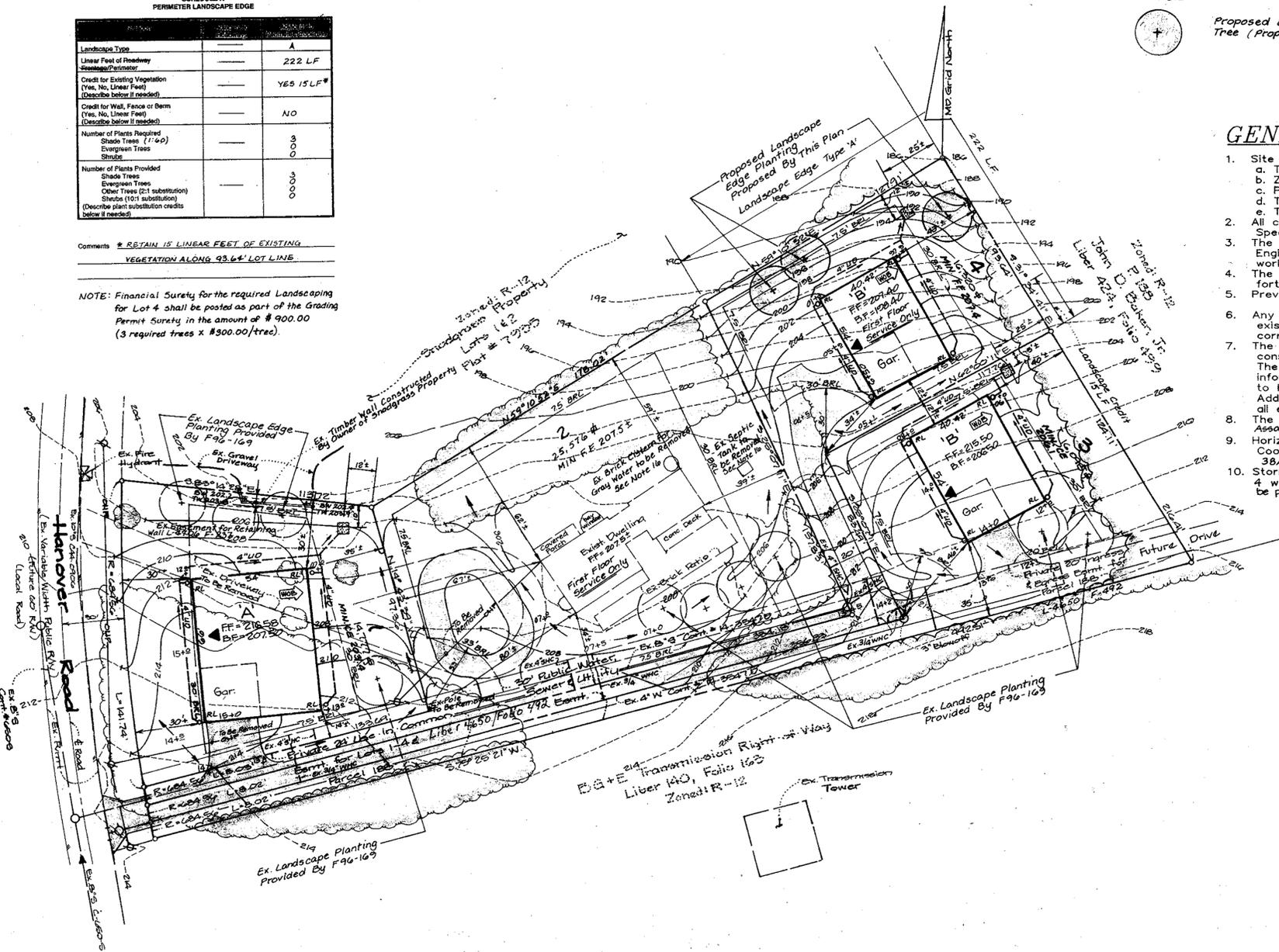
LOT No.	GROSS AREA	PIPESTEM AREA	MIN. LOT SIZE
2	25,576	1,072	24,504
3	16,098	2,857	13,241
4	16,320	4,320	12,000

USE-IN-COMMON DRIVEWAY NOTE:

- DRIVEWAY (S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- Width - 12 Feet (14 Feet if serving more than one residence)
 - Surface - 6 inches of compacted crusher run base with tar and chip coating.
 - Geometry - Maximum 15% Grade, Maximum 10% Grade Change and Minimum 45 Foot Turning Radius
 - Structures (Culverts/Bridges) Capable of supporting 25 Gross Tons (H25 Loading).
 - Drainage Elements - Capable of safely passing 100 Year Flood with no more than 1 Foot depth over driveway surface.
 - Structure Clearances - Minimum 12 Feet
 - Maintenance - Sufficient to insure all weather use.



USE-IN-COMMON DRIVEWAY SECTION
NOT TO SCALE



GENERAL NOTES

- Site Analysis
 - Total area of lots 1.67 Ac. plus/minus
 - Zoning R-12 per 10/18/93 Comprehensive Rezoning Plan.
 - Proposed use of structures: Residential Single Family Detached Dwellings
 - Total number of units allowed: 4
 - Total number of units provided: 4
- All construction shall be in accordance with Howard County Standards, Specifications and Details, Volume IV.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
- Previous Submittals: F96-169
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- The existing utilities shown hereon are located from field surveys and construction drawings of record and Water and Sewer Contract #14-3547-D. The approximate location of existing utilities are shown for the contractor's information and convenience. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service.
- The existing topography shown is based on a survey by Mildenberg, Boender & Assoc., Inc. (April 1990)
- Horizontal and vertical datums are related to the Maryland State Plane Coordinate System as projected from Howard County control stations No. 38A4 and No. 38 BA
- Stormwater management is provided by payment of a fee-in-lieu. Lot 1, 3 and 4 will be provided with a dry well for water quality. The on lot dry well will be privately maintained by the lot owner. (See F-96-169 for design of Dry Wells)
- Forest Conservation requirements have been satisfied by the payment of a fee-in-lieu of forest conservation.
- Open space requirements have been satisfied by the payment of a fee-in-lieu of open space.
- There is an existing house located on Lot 2. No new additions or structures will be constructed at a distance less than the applicable zoning regulations will allow.
- Per Section 128. All of the Zoning Regulations, chimneys, bay windows, and overhangs no greater than 10 ft. wide may project up to 4 ft. into the required setback area. Open or enclosed decks and porches may project up to 10 ft. into any front or rear setback area or project boundary setback.
- The existing Private Water Connection serving the existing Dwelling on Lot 2 shall be abandoned upon connection to the 14" WIC constructed under Contract No. 14-3547-D. Location of the Existing Water Connection is unknown and must be verified in the field prior to abandonment.
- The existing Private Septic System and Private Well located on the property which serve the existing Dwelling on Lot 2 shall be removed in accordance with approved Howard County Health Department procedures. The location of any well on the property is unknown. The location of the Private Septic System is approximate and must be verified in the field prior to abandonment.
- In accordance with the approval of the Final Plat (F96-169) the existing Dwelling on Lot 2 is required to connect to the Public Sewer (4" House Connection constructed under Contract No. 14-3547-D) within 60 days of availability.

SPECIAL NOTE:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this SDP are not to be used for construction. For construction, see approved Water and Sewer Plans Contract No. 14-3547-D.

Subdivision Name: Greter Property		Section/Area: 1-4	Lot: 1-4
Plat No. 13146	Block No. 9	Zone: R-12	Tax Map No. 26
Water Code: A21	Election District: 192L	Census Tract: 6012	Sewer Code: 2010000

REVISIONS

No.	Date	Description

ADDRESS CHART

Lot No.	Street Address
1	6095 Hanover Road
2	6099 Hanover Road
3	6107 Hanover Road
4	6103 Hanover Road

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: B.O.B. SITE DEVELOPMENT PLAN SCALE: 1" = 30'

DRAWN: B.E.I. DREHER PROPERTY LOTS 1-4 DRAWING: 1 of 3

CHECKED: B.D.B. Tax Map 26 Parcel No. 187 Blk. 9 JOB NO. 280A1

DATE: 8/98 192L Election District HOWARD COUNTY, MARYLAND FILE NO. SDP 99-17

Owner/Developer: LAWYERS HILL L.L.P. 8810 Sherret Place - Suite #201 Columbia, MD 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/17/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 5/17/99
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/18/99
DIRECTOR

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature] 5/12/99
NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5/12/99
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 3/8/99
SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE FEES AND OBTAIN PERMISSION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

[Signature] 8-6-98
SIGNATURE OF DEVELOPER

[Signature] 3/8/99
DAVID B. DEPTON
REGISTERED PROFESSIONAL ENGINEER

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction. (1515-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", and revisions thereto.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL - Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section 3) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	167	Acres
Area Disturbed	136	Acres
Area to be graded or paved	9.96	Acres
Area to be vegetatively stabilized	0.16	Acres
Total Cut	1800	Cu. Yds.
Total Fill	1800	Cu. Yds.

**HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding. If not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- PREFERRED** - Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 800 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000sq. ft.)
- ACCEPTABLE** - Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue and 2 lbs. per acre (0.5 lbs/1000sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - Seed with 60 lbs per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

MULCHING - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

MAINTENANCE - Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

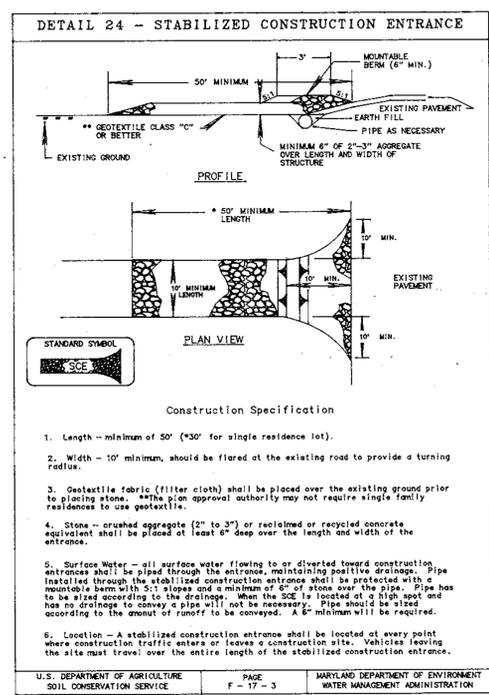
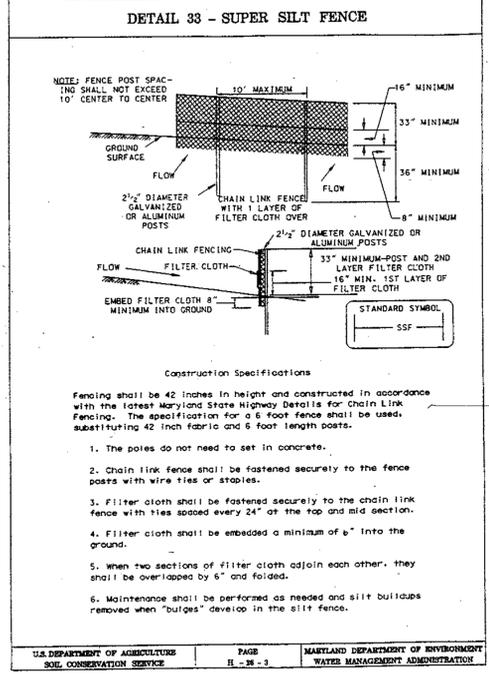
SEEDBED PREPARATION: - Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding. If not previously loosened.

SOIL AMENDMENTS: - Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.).

SEEDING - For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-12 bushels per acre of annual rye (3.2 lbs/1000sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.7 lbs/1000sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.



21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (74 days min.) to permit dissipation of phytotoxic materials.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

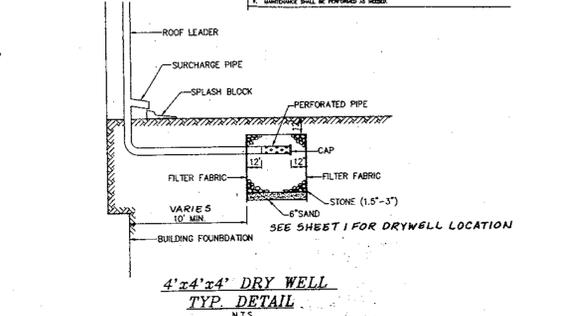
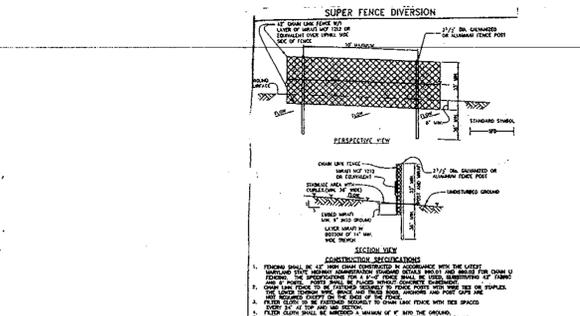
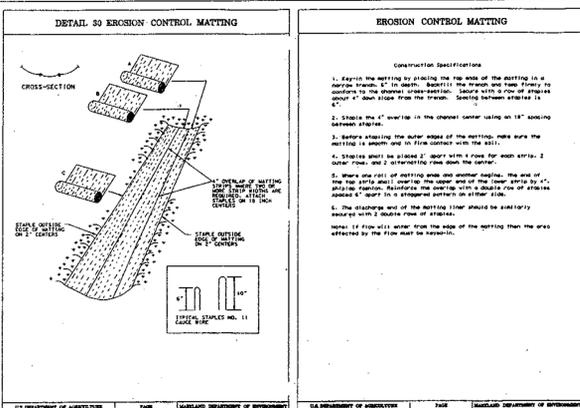
Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, a least 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, as specified above, the following shall be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.06.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb./1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.



NOTE: The Drywell design shown was approved under F96-19 by Milldenburg, Roender & Assoc., Inc.

3.4.6.1. Construction Specifications

3.4.6.1.1. Siting
A dry well shall not be constructed or placed in service until all of the controlling drainage area has been stabilized and approved by the responsible inspector.

3.4.6.1.2. Dry Well Preparation
Remove the dry well in the full dimension. Excavated materials shall be placed away from the excavated area to maintain soil stability. Large trees involving in existing drainage shall be removed. The site shall be graded to the original surface and compacted to the original surface.

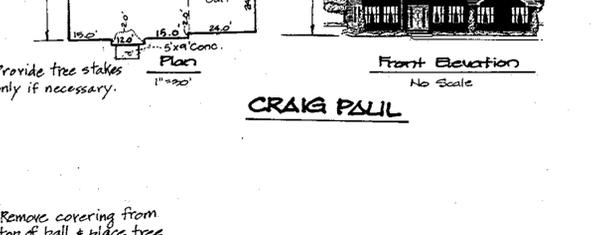
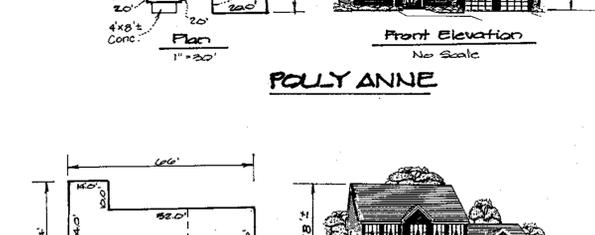
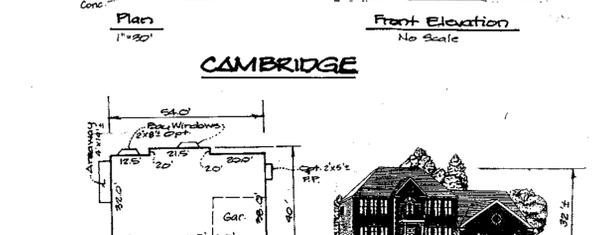
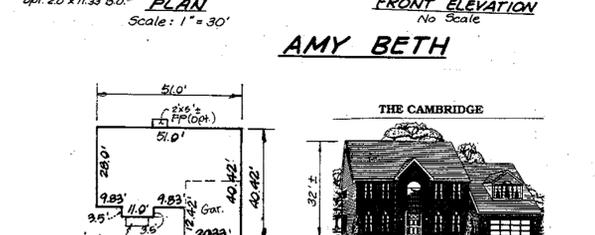
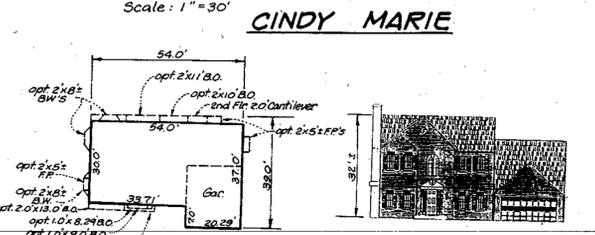
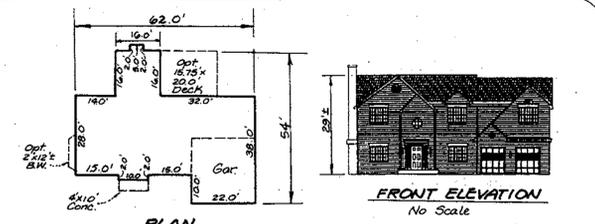
3.4.6.1.3. Fabric Location
The filter fabric shall be set to the proper width and set to the proper depth and set to the proper depth and set to the proper depth. The filter fabric shall be set to the proper width and set to the proper depth. The filter fabric shall be set to the proper width and set to the proper depth.

3.4.6.1.4. Aggregate Placement and Compaction
Aggregate shall be placed in a minimum of 12 inches of 1/2 inch to 3/4 inch aggregate. The aggregate shall be placed in a minimum of 12 inches of 1/2 inch to 3/4 inch aggregate. The aggregate shall be placed in a minimum of 12 inches of 1/2 inch to 3/4 inch aggregate.

3.4.6.1.5. Backfilling and Covering
Following aggregate placement, the fabric previously weighed by stones shall be placed over the aggregate to form a 4" minimum topsoil. The dry well shall be placed over the top of sufficient aggregate to maintain the top during subsequent backfilling.

3.4.6.1.6. Construction
Care shall be exercised to prevent material on fill walls from descending into the dry well. Aggregate shall be compacted and covered with a minimum of 12 inches of 1/2 inch to 3/4 inch aggregate.

3.4.6.1.7. Inside Silted Fabric
Walls can be coated between the fabric and aggregate sides and should be avoided. Rebar shall be placed at other intervals from the trench walls in one corner at each side. Rebar shall be placed in these walls at the



ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THE PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Redacted] DATE: 2/8/99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Signature: Cheryl Simmons DATE: 5/12/99

Signature: [Redacted] DATE: 5/12/99

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: [Redacted] DATE: 5/12/99

Signature: [Redacted] DATE: 5/12/99

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE ALSO AUTHORIZE REGULAR ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT ON THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [Redacted] DATE: 8-6-98

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: [Redacted] DATE: 5/12/99

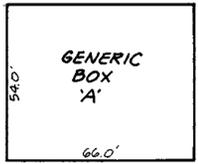
Signature: [Redacted] DATE: 5/12/99

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

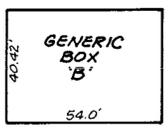
NOTES & DETAILS
DREHER PROPERTY
LOTS 1-4

DESIGNED	D.B.	SCALE	A0
DRAWN	BE.1.	NOTED	9 of 3
CHECKED	B.B.	DRAWING	98-041
DATE	8/98	JOB NO.	SDP 99-17

Tax Map 66 Parcel N8 187 Bk. 9
1st Elevation District
Howard County, Maryland
Owner/Developer: LAWYERS HILL L.L.P.
8070 Shernet Place - Suite #201
Columbia, MD 21044



NOTE: All Models Fit



NOTE: Amy Beth, Polly Anne and Cambridge Only

LANDSCAPE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
	3	QUERCUS RUBRA	RED OAK	2 1/2" - 3" Cal.

SCHEDULE A
PERIMETER LANDSCAPE EDGE

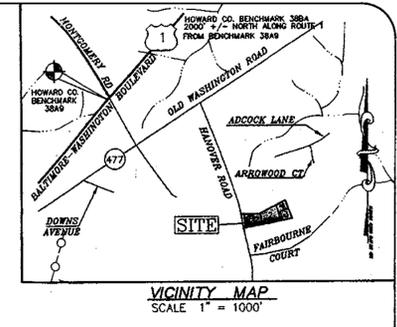
Category	Quantity	Notes
Linear Feet of Roadway Edge Planting Provided	222 LF	
Credit for Existing Vegetation (Yes, No, Linear Feet)	YES 15 LF*	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	NO	
Number of Plants Required (Shade Trees, Evergreen Trees, Shrubs)	0 0 0	
Number of Plants Provided (Shade Trees, Evergreen Trees, Other Trees, Shrubs)	0 0 0	

Comments: * RETAIN 15 LINEAR FEET OF EXISTING VEGETATION ALONG 93.64' LOT LINE

NOTE: Financial Surety for the required Landscaping for Lot 4 shall be posted as part of the Grading Permit Surety in the amount of \$900.00 (3 required trees x \$300.00/tree)

LEGEND

- Landscape Edge Planting Provided by F96-169
- 4' x 4' x 4' Deep Private Dry Well (F96-169)
- Roof Leader
- 4" underground Drain
- Unit Orientation
- Contour Interval
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Walkout Basement
- Trees to be saved
- Min. C.E.
- Minimum Ceiling Elevation
- Proposed Landscape Perimeter Tree (Proposed by this site plan)



GENERAL NOTES

- Site Analysis
 - Total area of lots 1.67 Ac. plus/minus
 - Zoning R-12 per 10/18/98 Comprehensive Rezoning Plan.
 - Proposed use of structures: Residential Single Family Detached Dwellings
 - Total number of units allowed: 4
 - Total number of units provided: 4
- All construction shall be in accordance with Howard County Standards, Specifications and Details, Volume IV.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
- Previous Submittals: F96-169
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- The existing utilities shown hereon are located from field surveys and construction drawings of record and Water and Sewer Contract #14-3547-D. The approximate location of existing utilities are shown for the contractor's information and convenience. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service.
- The existing topography shown is based on a survey by Milenberg, Boender & Assoc., Inc. (April 1996)
- Horizontal and vertical datums are related to the Maryland State Plane Coordinate System as projected from Howard county control stations No. 38A9 and No. 38 BA
- Stormwater management is provided by payment of a fee-in-lieu. Lot 1, 3 and 4 will be provided with a dry well for water quality. The on lot dry well will be privately maintained by the lot owner. (See F.96-169 for design of Dry Wells)
- Forest Conservation requirements have been satisfied by the payment of a fee-in-lieu of forest conservation.
- Open Space requirements have been satisfied by the payment of a fee-in-lieu of open space.
- There is an existing house located on Lot 2. No new additions or structures will be constructed at a distance less than the applicable zoning regulations will allow.
- Per Section 12B.A.1 of the Zoning Regulations, chimneys, bay windows, and araways no greater than 16 ft. wide may project up to 4 ft. into the required setback area. Open or enclosed decks and porches may project up to 10 ft. into any front or rear setback area or project boundary setback.
- The existing Private Water Connection serving the existing Dwelling on Lot 2 shall be abandoned upon connection to the 3/4" WIC constructed under Contract No. 14-3547-D. Location of the Existing Water Connection is unknown and must be verified in the field prior to abandonment.
- The existing Private Septic System and Private Well located on the property which serve the existing Dwelling on Lot 2 shall be removed in accordance with approved Howard County Health Department procedures. The location of any well on the property is unknown. The location of the Private Septic System is approximate and must be verified in the field prior to abandonment.
- In accordance with the approval of the Final Plat (F96-169) the existing Dwelling on Lot 2 is required to connect to the Public Sewer (4" House Connection constructed under Contract No. 14-3547-D) within 60 days of availability.

SPECIAL NOTE:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this SDP are not to be used for construction. For construction, see approved Water and Sewer Plans Contract No. 14-3547-D.

SHEET INDEX

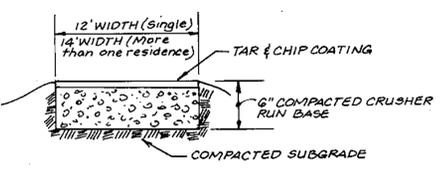
SHT. No.	TITLE
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL PLAN
3	NOTES and DETAILS

MINIMUM LOT SIZE CHART

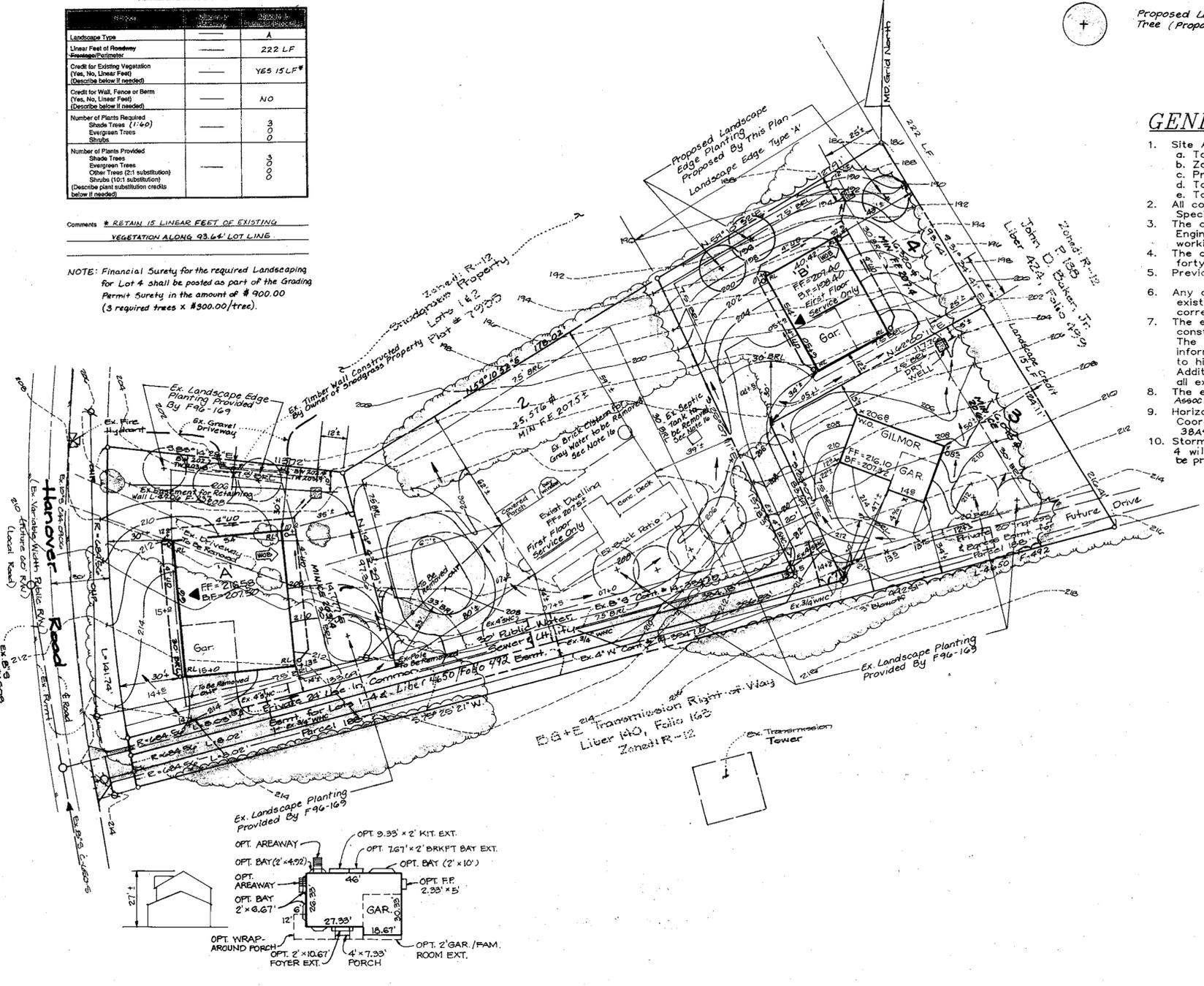
LOT No.	GROSS AREA	PIPESTEM AREA	MIN. LOT SIZE
2	25,576	1,072	24,504
3	16,098	2,857	13,241
4	16,320	4,320	12,000

USE-IN-COMMON DRIVEWAY NOTE:

- DRIVEWAY (S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- Width - 12 Feet (14 Feet if serving more than one residence)
 - Surface - 6 inches of compacted crusher run base with tar and chip coating.
 - Geometry - Maximum 15% Grade, Maximum 10% Grade Change and Minimum 45 Foot Turning Radius
 - Structures (Culverts/Bridges) Capable of supporting 25 Gross Tons (H25 Loading).
 - Drainage Elements - Capable of safely passing 100 Year Flood with no more than 1 Foot depth over driveway surface.
 - Structure Clearances - Minimum 12 Feet
 - Maintenance - Sufficient to insure all weather use.



USE-IN-COMMON DRIVEWAY SECTION
NOT TO SCALE



GILMOR
SCALE: 1" = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division 5/17/99
Chief, Division of Land Development 5/17/99
Director 5/18/99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Chief, Natural Resource Conservation Service 5/12/99

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Director 5/12/99

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

David D. Barton 3/8/99

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE FEEDBACK ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

James L. Mendenhall 8-6-88

Donald Moon 11/9/99

FOR REVISIONS PERFORMED BY BENCHMARK ENGINEERING, INC. ONLY

REVISIONS

No.	Date	Description
1	11-16-99	HSE SITING LOTS 3, ADD GILMOR HSE TYPE

ADDRESS CHART

Lot No.	Street Address
1	6095 Hanover Road
2	6099 Hanover Road
3	6107 Hanover Road
4	6103 Hanover Road

Subdivision Name:	Section/Area	Lot Area
Greener Property		1-4

Plot No.	Block No.	Zone	Tax Map No.	Election District	Census Tract
13146	9	R-12	25	12E	6012

Water Code	Sewer Code
AQ1	20A0000

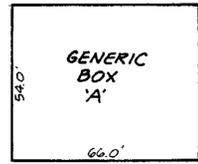
LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: B.D.B.
DRAWN: B.E.I.
CHECKED: B.D.B.
DATE: 8/98

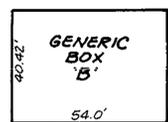
SITE DEVELOPMENT PLAN
DREHER PROPERTY
LOTS 1-4

SCALE: 1" = 30'
DRAWING: 1 of 3
JOB NO.: 980A1
FILE NO.: SDP 99-17

Owner/Developer: LAWYERS WILL L.L.P.
5970 Sherret Place - Suite #201
Columbia, MD 21044



NOTE: All Models Fit



NOTE: Amy Beth, Polly Anne and Cambridge Only

LANDSCAPE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
(Symbol)	3	QUERCUS RUBRA	RED OAK	2 1/2" - 3" Cal.

SCHEDULE A
PERIMETER LANDSCAPE EDGE

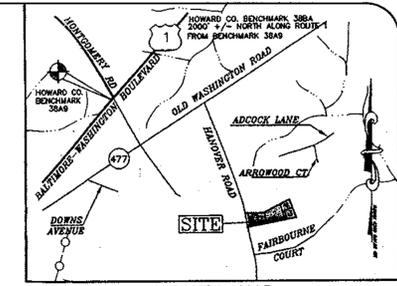
LANDSCAPE TYPE	QUANTITY	COMMON NAME
Linear Feet of Roadway Edge Planting	222 LF	
Credits for Existing Vegetation (Yes, No, Linear Feet)	YES 15 LF	
Credits for Wall, Fence or Berm (Yes, No, Linear Feet)	NO	
Number of Plants Required	3	
Shade Trees (1" x 2")	0	
Evergreen Trees	0	
Shrubs	0	
Number of Plants Provided	3	
Shade Trees	0	
Evergreen Trees	0	
Other Trees (2" substitution)	0	
Shrubs (10:1 substitution)	0	

Comments: RETAIN 15 LINEAR FEET OF EXISTING VEGETATION ALONG 93.64' LOT LINE

NOTE: Financial Surety for the required Landscaping for Lot 4 shall be posted as part of the Grading Permit Surety in the amount of \$900.00 (3 required trees x \$300.00/tree)

LEGEND

- (Symbol) Landscape Edge Planting Provided by F96-169
- (Symbol) 4' x 4' x 4' Deep Private Dry Well (F96-169)
- (Symbol) Roof Leader
- (Symbol) 4" Underground Drain
- (Symbol) Unit Orientation
- (Symbol) Contour Interval
- (Symbol) Existing Contour
- (Symbol) Proposed Contour
- (Symbol) Spot Elevation
- (Symbol) Direction of Drainage
- (Symbol) Walkout Basement
- (Symbol) Trees to be saved
- (Symbol) Min. C.E.
- (Symbol) Proposed Landscape Perimeter Tree (Proposed by this site plan)



VICINITY MAP
SCALE 1" = 100'

GENERAL NOTES

- Site Analysis
 - Total area of lots 1.67 Ac. plus/minus
 - Zoning R-12 per 10/18/19 Comprehensive Rezoning Plan.
 - Proposed use of structures: Residential Single Family Detached Dwellings
 - Total number of units allowed: 4
 - Total number of units provided: 4
- All construction shall be in accordance with Howard County Standards, Specifications and Details, Volume IV.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
- Previous Submittals: F96-169
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- The existing utilities shown hereon are located from field surveys and construction drawings of record and Water and Sewer Contract #14-3547-D. The approximate location of existing utilities are shown for the contractor's information and convenience. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service.
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- Stormwater management is provided by payment of a fee-in-lieu. Lot 1, 3 and 4 will be provided with a dry well for water quality. The on-lot dry well will be privately maintained by the lot owner. (see F.96-169 for design of Dry Wells)
 - Forest Conservation requirements have been satisfied by the payment of a fee-in-lieu of forest conservation.
 - Open space requirements have been satisfied by the payment of a fee-in-lieu of open space.
- There is an existing house located on Lot 2. No new additions or structures will be constructed at a distance less than the applicable zoning regulations will allow.
- Per Section 128.A.1 of the Zoning Regulations, chimneys, bay windows, and araways no greater than 10 ft. wide may project up to 4 ft. into the required setback area. Open or enclosed decks and porches may project up to 10 ft. into any front or rear setback area or project boundary setback.
- The existing Private Water Connection serving the existing Dwelling on Lot 2 shall be abandoned upon connection to the 3/4" W.C. constructed under Contract No. 14-3547-D. Location of the Existing Water Connection is unknown and must be verified in the field prior to abandonment.
- The existing Private Septic System and Private Well located on the property which serve the existing Dwelling on Lot 2 shall be removed in accordance with approved Howard County Health Department procedures. The location of any well on the property is unknown. The location of the Private Septic System is approximate and must be verified in the field prior to abandonment.
- In accordance with the approval of the Final Plat (F96-169) the existing Dwelling on Lot 2 is required to connect to the Public Sewer (4" House Connection constructed under Contract No. 14-3547-D) within 60 days of availability.

SPECIAL NOTE:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this SDP are not to be used for construction. For construction, see approved Water and Sewer Plans Contract No. 14-3547-D.

SHEET INDEX

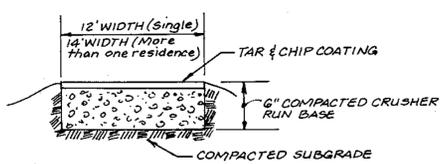
SHT. No.	TITLE
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL PLAN
3	NOTES and DETAILS

MINIMUM LOT SIZE CHART

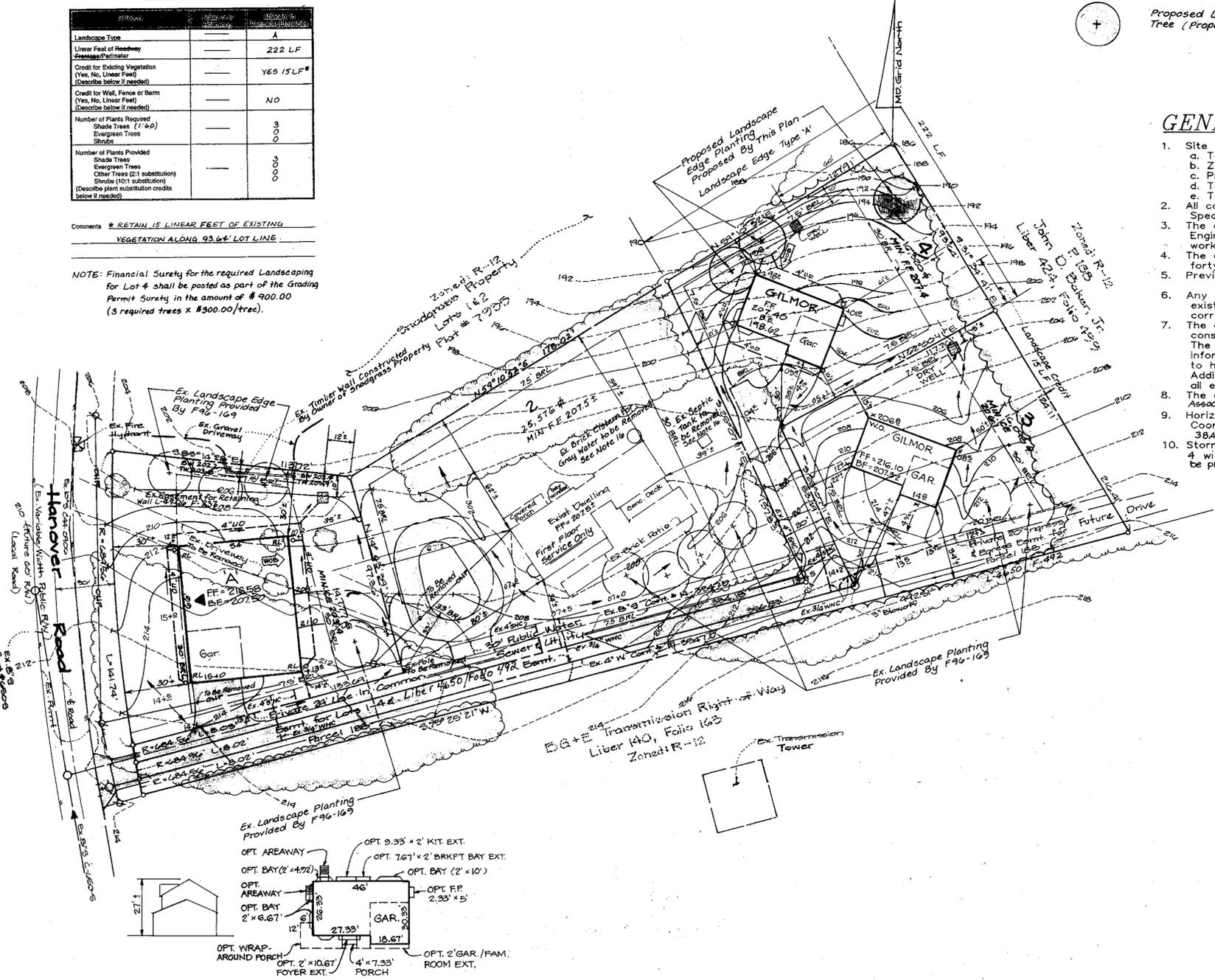
LOT No.	GROSS AREA	PIPESTEM AREA	MIN. LOT SIZE
2	25,576	1,072	24,504
3	16,098	2,857	13,241
4	16,320	4,320	12,000

USE-IN-COMMON DRIVEWAY NOTE:

- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- Width - 12 Feet (14 Feet if serving more than one residence).
 - Surface - 6 inches of compacted crusher run base with tar and chip coating.
 - Geometry - Maximum 15% Grade, Maximum 10% Grade Change and Minimum 45 Foot Turning Radius
 - Structures (Culverts/Bridges) Capable of supporting 25 Gross Tons (H25 Loading).
 - Drainage Elements - Capable of safely passing 100 Year Flood with no more than 1 Foot depth over driveway surface.
 - Structure Clearances - Minimum 12 Feet
 - Maintenance - Sufficient to insure all weather use.



USE-IN-COMMON DRIVEWAY SECTION
NOT TO SCALE



GILMOR
SCALE: 1" = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/12/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 5/17/99
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/18/99
DIRECTOR

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature] 5/12/99
NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5/12/99
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 3/6/99
SIGNATURE OF ENGINEER

DEVELOPER CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE REGULAR ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

[Signature] 8-6-88
SIGNATURE OF DEVELOPER

STATE OF MARYLAND
DEPARTMENT OF PLANNING AND ZONING
DIVISION OF LAND DEVELOPMENT

[Signature] 3/8/99

Donald Moon
FOR REVISIONS PERFORMED BY BENCHMARK ENGINEERING, INC. ONLY

11/19/99

REVISIONS

No.	Date	Description
1	11-18-99	HSE SITING LOT 3, ADD GILMOR HSE TYPE
2	12-2-99	REVISE HSE, 1' GRD. LOT 4; B BOX TO GILMOR

ADDRESS CHART

Lot No.	Street Address
1	6095 Hanover Road
2	6099 Hanover Road
3	6107 Hanover Road
4	6103 Hanover Road

Subdivision Name: Dresher Property	Section/Area: -	Lot Area: 1-4
Plat No. 13146	Block No. 9	Zone R-12
Water Code ACR1	Tax Map No. 26	Election District 1E1
	Sewer Code 202000	Census Tract 6012

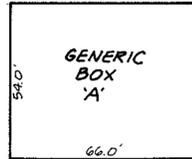
LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: B.O.B.
DRAWN: B.E.I.
CHECKED: B.D.B.
DATE: 8/98

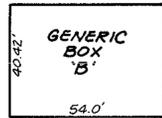
SITE DEVELOPMENT PLAN
DRESHER PROPERTY
LOTS 1-4

SCALE: 1" = 30'
DRAWING: 1 of 3
JOB NO.: 95241
JOB NO.: 95241
FILE NO.: SDP 99-17

Owner/Developer: LAWYERS HILL L.L.P.
6810 Sherret Place - Suite #201
Columbia, MD 21044



NOTE: All Models Fit



NOTE: Amy Beth, Polly Anne and Cambridge Only

SHEET INDEX	
SHT. No.	TITLE
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL PLAN
3	NOTES and DETAILS

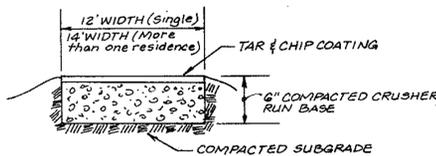
MINIMUM LOT SIZE CHART

LOT No.	GROSS AREA	PIPESTEM AREA	MIN. LOT SIZE
2	25,576	1,072	24,504
3	16,098	2,857	13,241
4	16,320	4,320	12,000

USE-IN-COMMON DRIVEWAY NOTE:

DRIVEWAY (S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:

- Width - 12 Feet (14 Feet if serving more than one residence).
- Surface - 6 inches of compacted crusher run base with tar and chip coating.
- Geometry - Maximum 15% Grade, Maximum 10% Grade Change and Minimum 45 Foot Turning Radius.
- Structures - (Culverts/Bridges) Capable of supporting 25 Gross Tons (H25 Loading).
- Drainage Elements - Capable of safely passing 100 Year Flood with no more than 1 Foot depth over driveway surface.
- Structure Clearances - Minimum 12 Feet.
- Maintenance - Sufficient to insure all weather use.



USE-IN-COMMON DRIVEWAY SECTION
NOT TO SCALE

LANDSCAPE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
	3	QUERCUS RUBRA	RED OAK	2 1/2" - 3" Cal.

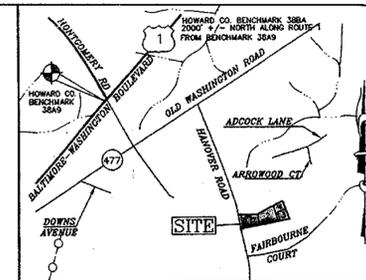
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
	3	QUERCUS RUBRA	RED OAK	2 1/2" - 3" Cal.

Comments: *RETAIN 15 LINEAR FEET OF EXISTING VEGETATION ALONG 93.64' LOT LINE

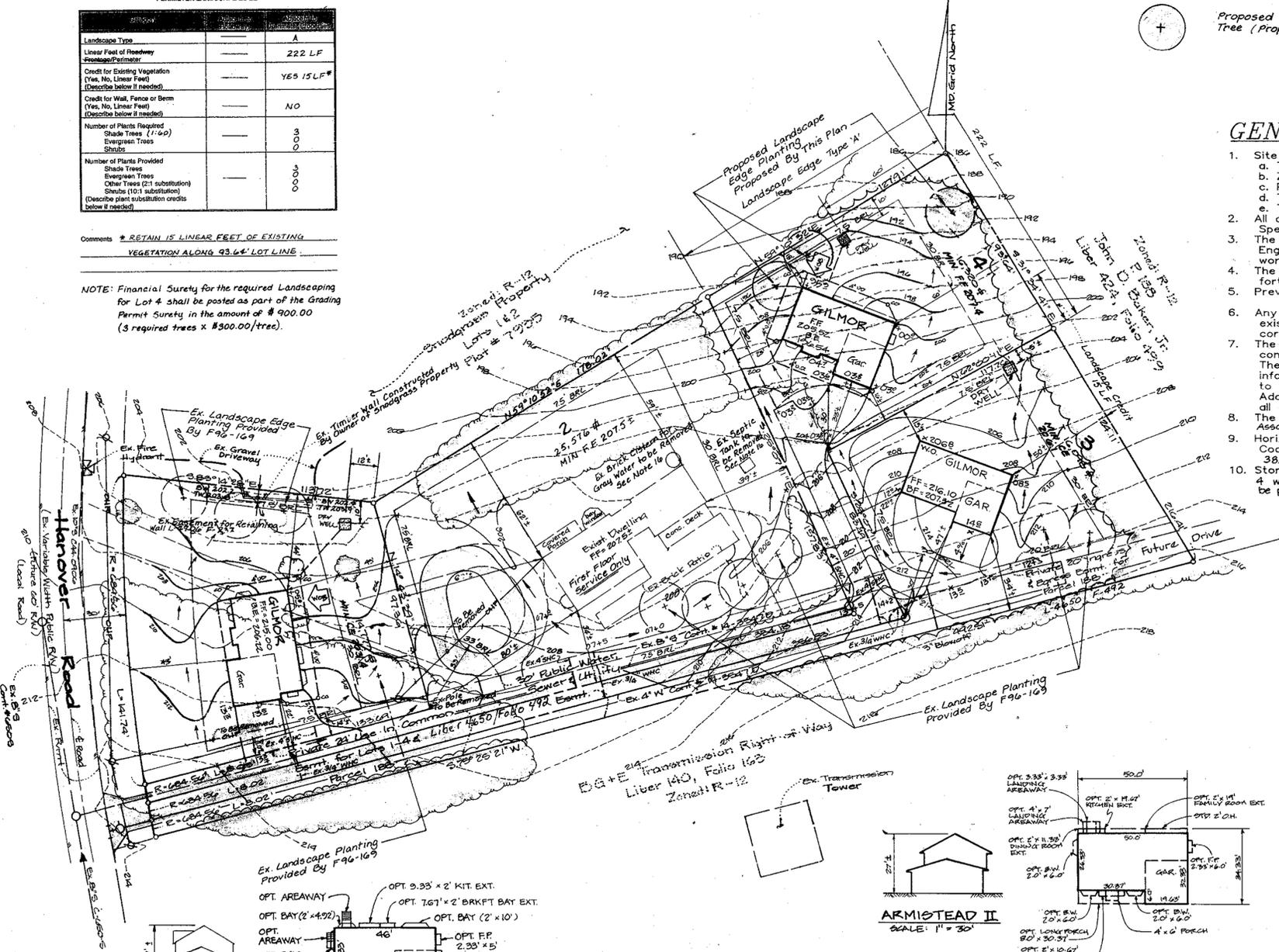
NOTE: Financial Surety for the required Landscaping for Lot 4 shall be posted as part of the Grading Permit Surety in the amount of \$900.00 (3 required trees x \$300.00/tree).

LEGEND

- Landscape Edge Planting Provided by F96-169
- 4' x 4' x 4' Deep Private Dry Well (F96-169) Roof Leader
- 4" underground Drain
- Unit Orientation
- Contour Interval
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- W/O Basement
- Trees to be saved
- Min. C.E.
- Proposed Landscape Perimeter Tree (Proposed by this site plan)



VICINITY MAP
SCALE 1" = 100'

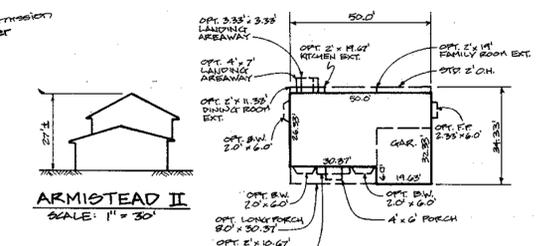


GENERAL NOTES

- Site Analysis
 - Total area of lots 1.67 Ac. plus/minus
 - Zoning R-12 per 10/18/93 Comprehensive Rezoning Plan.
 - Proposed use of structures: Residential Single Family Detached Dwellings
 - Total number of units allowed: 4
 - Total number of units provided: 4
- All construction shall be in accordance with Howard County Standards, Specifications and Details, Volume IV.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
- Previous Submittals: F96-169
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- The existing utilities shown hereon are located from field surveys and construction drawings of record and Sewer Contract #14-3547-D. The approximate location of existing utilities are shown for the contractor's information and convenience. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service.
- The existing topography shown is based on a survey by Mildenberg, Boender & Assoc., Inc. (April 1996)
- Horizontal and vertical datums are related to the Maryland State Plane Coordinate System as projected from Howard County control stations No. 3849 and No. 38 BA
- Stormwater management is provided by payment of a fee-in-lieu. Lot 1, 3 and 4 will be provided with a dry well for water quality. The on-lot dry well will be privately maintained by the lot owner. (See F.96-169 for design of Dry Wells)
- Forest Conservation requirements have been satisfied by the payment of a fee-in-lieu of forest conservation.
- Open space requirements have been satisfied by the payment of a fee-in-lieu of open space.
- There is an existing house located on Lot 2. No new additions or structures will be constructed at a distance less than the applicable zoning regulations will allow.
- Per Section 128.2.1 of the Zoning Regulations, chimneys, bay windows, and awnings no greater than 6 feet wide may project up to 4 feet into the required setback area. Open or enclosed decks and porches may project up to 10 feet into any front or rear setback area or project boundary setback.
- The existing Private Water Connection serving the existing Dwelling on Lot 2 shall be abandoned upon connection to the 3/4" WIC constructed under Contract No. 14-3547-D. Location of the Existing Water Connection is unknown and must be verified in the field prior to abandonment.
- The existing Private Septic System and Private Well located on the property which serve the existing Dwelling on Lot 2 shall be removed in accordance with approved Howard County Health Department procedures. The location of any well on the property is unknown. The location of the Private Septic System is approximate and must be verified in the field prior to abandonment.
- In accordance with the approval of the Final Plat (F.96-169) the existing Dwelling on Lot 2 is required to connect to the Public Sewer (4" House Connection constructed under Contract No. 14-3547-D) within 60 days of availability.

SPECIAL NOTE:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this SDP are not to be used for construction. For construction, see approved Water and Sewer Plans Contract No. 14-3547-D.



GILMOR
SCALE: 1" = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/17/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 5/17/99
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/18/99
DIRECTOR

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature] 5/12/99
NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5/10/99
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 3/8/99
SIGNATURE OF ENGINEER

DEVELOPER CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE FEEDBACK ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

[Signature] 8-6-98
SIGNATURE OF DEVELOPER

[Signature] 3/8/99

[Signature] 11/19/99

FOR REVISIONS PERFORMED BY BENCHMARK ENGINEERING, INC. ONLY

REVISIONS		
No.	Date	Description
1	11-16-99	HSE SITING LOT 3, ADD GILMOR HSE TYPE
2	12-2-99	REVISE HSE, # GAR, LOT 4; B BOX TO GILMOR
3	2-14-00	REV. HSE, # GAR, LOT 1; ADD ARMISTEAD II HSE.
4	5-17-00	REV. HSE, # GAR, LOT 1 & 4; ADD OPT. GAR TO GILMOR

ADDRESS CHART	
Lot No.	Street Address
1	6095 Hanover Road
2	6094 Hanover Road
3	6107 Hanover Road
4	6103 Hanover Road

Subdivision Name: Dreher Property	Section/Area: -	Lot #/B: 1-4
Plot No. 13146	Block No. 9	Zone R-12
Water Code AQ1	Tax Map No. 25B	Election District 12E
	Census Tract 6012	

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED B.O.B.	SITING DEVELOPMENT PLAN DREHER PROPERTY LOTS 1-4	SCALE 1" = 30'
DRAWN B.E.I.		DRAWING 1 of 3
CHECKED B.D.B.	Tax Map 25B Parcel No. 187 Bk. 9	JOB NO. 250A1
DATE 8/98	12E Election District Howard County, Maryland	FILE NO. SDP 99-17

Owner/Developer: **LAWYERS HILL, L.L.P.**
5570 Sherman Place, Suite #201
Columbia, MD 21044